



City of Coral Gables Planning Division Application

305.460.5211

planning@coralgables.com

www.coralgables.com

Application request

The undersigned applicant(s)/agent(s)/property owner(s) request City of Coral Gables consideration and review of the following application(s) (please check all that apply):

- ☐ Abandonment and Vacations
☐ Annexation
☒ Comprehensive Plan Map Amendment - Small Scale
☐ Comprehensive Plan Map Amendment - Large Scale
☐ Comprehensive Plan Text Amendment
☐ Conditional Use - Administrative Review
☒ Conditional Use with Site Plan
☐ Conditional Use without Site Plan
☐ Coral Gables Mediterranean Architectural Design Special Locational Site Plan
☐ Development Agreement
☐ Development of Regional Impact
☐ Development of Regional Impact - Notice of Proposed Change
☐ Mixed Use Site Plan
☒ Planned Area Development Designation and Site Plan
☐ Planned Area Development Major Amendment
☐ Restrictive Covenants and/or Easements
☐ Separation/Establishment of a Building Site
☐ Site Plan
☐ Subdivision Review for a Tentative Plat and Variance
☐ Transfer of Development Rights Receiving Site Plan
☐ University Campus District Modification to the Adopted Campus Master Plan
☒ Zoning Code Map Amendment
☐ Zoning Code Text Amendment
☐ Other: _____

General information

Street address of the subject property: 760 PONCE DE LEON BLVD; 112 & 120 AVILA COURT

Property/project name: _____

Legal description: Lot(s) See legal description on enclosed survey

Block(s) 18 Section (s) CORAL GABLES FLAGLER ST

Property owner(s): 760 PONCE DE LEON LLC

Property owner(s) mailing address: 2555 SW 8 ST, SUITE 301 MIAMI, FL 33135

Telephone: Business _____ Fax _____

Other _____ Email _____



City of Coral Gables Planning Division Application

Applicant(s)/agent(s): Jorge L. Navarro (Legal Representative)

Applicant(s)/agent(s) mailing address: 333 SE 2nd Avenue, Suite 4100

Telephone: Business _____ Fax _____

Other _____ Email _____

Property information

Current land use classification(s): Single Family Low Density and Commercial Low Rise Intensity

Current zoning classification(s): SFR and MX1

Proposed land use classification(s) (if applicable): Multi Family Low Density & Commercial Low Rise Intensity

Proposed zoning classification(s) (if applicable): MF3 & MX1

Supporting information (to be completed by Planning Staff)

A Preapplication Conference is required with the Planning Division in advance of application submittal to determine the information necessary to be filed with the application(s). Please refer to the Planning Division Development Review Process Handbook, Section 3.0, for an explanation of each item. If necessary, attach additional sheets to application. The Planning Division reserves the right to request additional information as necessary throughout the entire review process.

- ☐ Aerial.
- ☐ Affidavit providing for property owner's authorization to process application.
- ☐ Annexation supporting materials.
- ☐ Application fees.
- ☐ Application representation and contact information.
- ☐ Appraisal.
- ☐ Architectural/building elevations.
- ☐ Art in Public Places plan or statement.
- ☐ Building floor plans.
- ☐ Comprehensive Plan analysis.
- ☐ Comprehensive Plan text amendment justification.
- ☐ Concurrency impact statement.
- ☐ Encroachments plan.
- ☐ Environmental assessment.
- ☐ Historic contextual study and/or historical significance determination.
- ☐ Landscape plan.
- ☐ Lighting plan.
- ☐ Massing model and/or 3D computer model.
- ☐ City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- ☐ Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- ☐ Parking study.
- ☐ Photographs of property, adjacent uses and/or streetscape.
- ☐ Plat.



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- ☐ Property owners list, notification radius map and two sets of labels.
- ☐ Property survey and legal description.
- ☐ Public Realm Improvements Plan for mixed use projects.
- ☐ Public school preliminary concurrency analysis (residential land use/zoning applications only).
- ☐ Sign master plan.
- ☐ Site plan and supporting information.
- ☐ Statement of use and/or cover letter.
- ☐ Streetscape master plan.
- ☐ Traffic accumulation assessment.
- ☐ Traffic impact statement.
- ☐ Traffic impact study.
- ☐ Traffic stacking analysis.
- ☐ Utilities consent.
- ☐ Utilities location plan.
- ☐ Vegetation survey.
- ☐ Video of the subject property.
- ☐ Warranty Deed.
- ☐ Zoning Analysis (Preliminary).
- ☐ Zoning Code text amendment justification.
- ☐ Other: _____

Application submittal requirements

1. Hard copies. The number of application binders to be submitted shall be determined by Staff at the preapplication meeting. The application shall include all the items identified in the preapplication meeting.
2. Digital media copy. One (1) thumb-drive of the entire application including all items identified in the Preapplication Conference. Each document shall be separated into PDF files (i.e., application; site plan, landscape plan; etc.). Please include a "Table of Contents" identifying all PDF file name(s). Each PDF file size shall not exceed 10 MB.

Applicant/agent/property owner affirmation and consent

(I) (We) affirm and certify to all of the following:

1. Submission of the following:
 - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
 - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.



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5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. Additional costs in addition to the application fees may be assessed associated with the review of applications by the City. These are costs that may be incurred by the applicant due to consultant fees paid by City to review the application. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; traffic impact analyses; vegetation/environmental assessments; archeological/historic assessments; market studies; engineering studies or reports; and legal fees. Such fees will be assessed upon finalization of the City application review.

Property owner(s) signature(s): 	Property owner(s) print name: Pedro Camejo & Joel Campo on behalf of 760 Ponce De Leon Blvd LLC	
Property owner(s) signature(s):	Property owner(s) print name:	
Property owner(s) signature(s):	Property owner(s) print name:	
Address: 2555 SW 8 ST Suite 301 Miami FL 33135		
Telephone:	Fax:	Email:

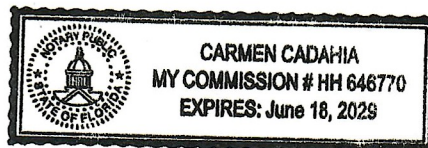
NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 14 day of AUGUST by 2025

(Signature of Notary Public - State of Florida)





(Print, Type or Stamp Commissioned Name of Notary Public)

☒ Personally Known OR ☐ Produced Identification; Type of Identification Produced personally Known



City of Coral Gables Planning Division Application

Contract Purchaser(s) Signature:	Contract Purchaser(s) Print Name: N/A
Contract Purchaser(s) Signature:	Contract Purchaser(s) Print Name:

Address:

Telephone:

Fax:

Email:

NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this _____ day of _____ by _____
(Signature of Notary Public - State of Florida)

(Print, Type or Stamp Commissioned Name of Notary Public)

☐ Personally Known OR ☐ Produced Identification; Type of Identification Produced _____

Applicant(s)/Agent(s) Signature:

Applicant(s)/Agent(s) Print Name:

Jorge L. Navarro

Address: 333 SE 2nd Avenue, Suite 4100
Miami, FL 33137

Telephone: 305-579-0821

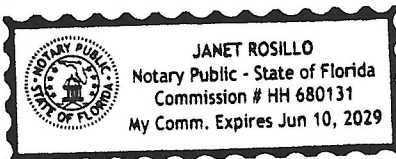
Fax:

Email: navarrojo@gtlaw.com

NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 18th day of August 2025 by Jorge Navarro
(Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)

☒ Personally Known OR ☐ Produced Identification; Type of Identification Produced _____

September 2014

August 20, 2025

VIA ELECTRONIC SUBMITTAL

Douglas Ramirez, Deputy Director
Development Services Department
City of Coral Gables
427 Biltmore Way, 2nd Floor
Coral Gables, Florida 33134

**Re: 760 Ponce de Leon Boulevard / Statement of Use / Planning Division
Application for properties located at 760 Ponce de Leon Boulevard and 112 &
120 Avila Court in Coral Gables, Florida (the “City”) (Miami Dade County
Folio Nos. 03-4105-050-1860; 03-4105-050-1850; 03-4105-050-1840; & 03-
4105-050-1830) (the “Property”)**

On behalf of 760 Ponce De Leon Blvd. LLC (the “**Applicant**”), please accept this Statement of Use in connection with the Applicant’s request for approval of a new mixed-use project at the Property (the “**Project**”). The Project is designed to revitalize the Property with a complimentary mix of uses, including medical office space, transitional residential units, ground floor restaurant and retail uses, and publicly accessible open space amenities. To support the development of the Project in a way that better integrates within the existing neighborhood context, the Applicant requests the following: (1) Small Scale Comprehensive Plan/Future Land Use Map Amendment; (2) Zoning Map Amendment; (3) Planned Area Designation (PAD); and Conditional Use Site Plan Approval (collectively, the “**Application**”).

I. PROPERTY INFORMATION

The Property consists of approximately 2.05 acres of land located north of SW 8th Street, between Boabadilla Street and Ponce De Leon Boulevard. The Property occupies a full city block within the Flagler Street Section and currently functions as a transitional buffer between the more intensive commercial uses along SW 8th Street and the adjacent single-family residential neighborhood. The Property is currently improved with an outdated medical office building and an ancillary commercial surface parking lot, which is insufficient to accommodate its current parking demands.



Images: Existing Future Land Use Map (*left*); Zoning Map (*right*)

As reflected above, the Property currently has a dual land use designation under the Future Land Use Map, with a portion designated as “Single-Family Low Density” and another portion designated as “Commercial Low-Rise Intensity.” Similarly, the Property is subject to dual zoning classifications, with part zoned SFR (Single-Family Residential) and part zoned MX1 (Mixed-Use 1). If developed separately, the SFR and MX1 portions would not provide an adequate internal buffer to properly accommodate residential uses. However, the existing SFR portion is currently approved for and may be as commercial surface parking to support a future mixed-use development within the MX1 zoned portions of the Property, and as such, does not provide a suitable or effective transition to the adjoining residential areas. This fragmented regulatory framework also creates challenges to cohesive planning and hinders the implementation of a high-quality mixed-use project that thoughtfully incorporates appropriate transitional uses, enhanced streetscapes, and public open space amenities for the neighborhood.

II. PROPOSED PROJECT

The Applicant proposes to revitalize the Property with a thoughtfully designed, high-quality mixed-use project that replaces the existing medical office uses with new Class A healthcare facilities, introduces residential uses to provide appropriate transitions to adjacent neighborhoods, and enhances the area through significant landscaping and green space improvements for the community. As detailed in the enclosed plans prepared by Behar Font & Partners dated July 18, 2025 (the “**Site Plan**”), the development features a 5-story mixed-use building along Ponce De Leon that includes 9,910 SF of ground floor commercial space, 96,770 SF of upper-level medical office space and 533 internalized parking spaces. The Project also incorporates four (4) transitional 2-story townhomes and a substantial 8,975 +/- square foot public plaza to create an internal transition from the single family homes along Boabadilla Street, providing both a valuable community amenity and an enhanced buffer from adjacent uses.



Image: Project Rendering Aerial

The Project has been thoughtfully designed to better integrate within the context of the surrounding neighborhood by incorporating enhanced setbacks, tiered building heights, and landscaped open space elements along residential frontages. The overall massing of the Project is oriented toward the commercial frontage along Ponce De Leon Boulevard. As the development transitions toward the residential areas to the North and West, increased building setbacks and articulated façade elements have been introduced to reduce the perception of scale and create a tiered height profile. To further enhance compatibility with the neighborhood, the Project includes a row of two-story townhome units and a large public plaza along Boabadilla Street. Each townhome features a generously landscaped front yard and private garage access, helping to maintain and reinforce the residential character along Boabadilla Street. These architectural design elements and sensitive massing transitions were reviewed and approved by the City’s Board of Architects on July 7, 2024 for Mediterranean Architecture Level I, and August 22, 2024 for Preliminary Design¹.

The Project has also been thoughtfully designed to enhance the streetscape and maximize public green space, dedicating over 23% of the Property to open space amenities. Sidewalks along all frontages have been designed to improve safety and walkability, featuring wide, well-lit pathways lined with new street trees to create a more inviting pedestrian environment. These sidewalks connect to a network of public open spaces strategically integrated throughout the Project, enhancing compatibility with the surrounding neighborhood. The key community-oriented open space features include a 1,400 square foot pocket park located at the northeast corner of the Property, adjacent to the Rotary Centennial Park, that creates a green focal point along Avila Court. This pocket park also enables the preservation of a mature specimen tree at this location. In

¹ Please note that the Site Plan was approved by BOA prior to the adoption of the City Ordinance No. 2025-01, amending the Mediterranean Architectural Bonus design standards.

addition, an 8,975 +/- square foot public plaza located at the southern edge of the Property will serve as a vibrant community gathering space, featuring water elements, outdoor seating, and passive landscaped areas.



Image: Project Rendering

Parking for the Project will be accommodated via a fully internalized parking garage containing 533 parking spaces offering convenient access for all residents, employees, and visitors. Additionally, vehicular access has been carefully planned to occur only from the commercial frontage along Ponce De Leon to minimize traffic impacts on surrounding residential streets. To further ensure that all parking and loading activities are contained within the site, the Project includes a dedicated, fully internalized passenger pick-up and drop-off area located within the ground floor of the parking structure. This design feature is intended to prevent spillover onto public streets and enhance overall traffic circulation and safety.

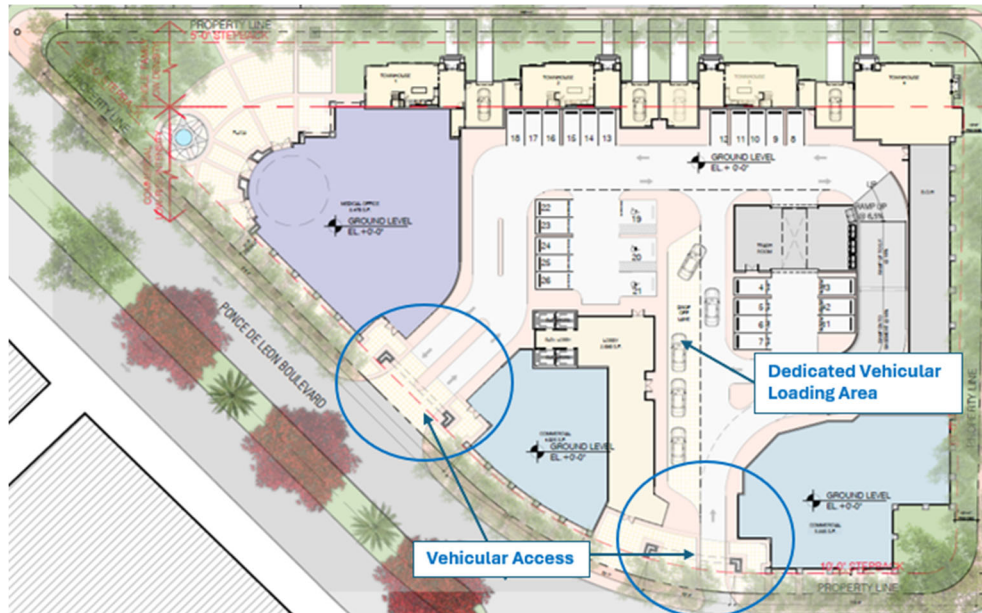


Image: Rendered Project Site Plan

Overall, the Project presents a more context-sensitive approach to redevelopment, allowing for the transformation of this underutilized site into a vibrant, walkable and community-oriented mixed-use development. With its enhanced architectural design, thoughtful transitional elements, and integrated open spaces, the Project delivers a level of compatibility and community benefits that could not otherwise be achieved under the Property’s current zoning and land use configuration.

III. FLUM AMENDMENT & REZONING REQUESTS

In order to facilitate the cohesive planning and development of the Property as a high-quality mixed-use project that promotes neighborhood compatibility and provides meaningful open space amenities, the Applicant requests to designate the western 36 feet (approximate) of the Property as “Multi-Family Low Density” with a corresponding rezoning to the “MF3” district. This request will help accommodate the proposed townhome residential units along Boabadilla and ensure that this frontage remains exclusively residential. The remainder of the Property will be designated as “Commercial Low Rise Intensity” with a corresponding rezoning to “MX1”, consistent with its current commercial designation. Together, these requests create an appropriate transition between the residential neighborhoods to the west and north and the commercial uses to the south.

A. Analysis – FLUM Amendment

For the reasons outlined below, the proposed FLUM Amendments meet the criteria established in Section 14-213.6 of the City and are entitled to approval.

1. The Project is consistent with and specifically advances the objectives and policies of the Comprehensive Plan.

The proposed FLUM amendments directly support key objectives and policies of the City's Comprehensive Plan by promoting high-quality, context-sensitive mixed-use development. The Project advances the Plan's goals to revitalize underutilized sites, enhance neighborhood compatibility through appropriate transitions between varying land use intensities, and provide meaningful community amenities, including public green spaces and pedestrian-oriented streetscapes. The requested dual designation - with residential zoning along Boabadilla Street and commercial zoning along Ponce De Leon Boulevard - is consistent with the Comprehensive Plan's emphasis on land use compatibility and the incorporation of effective buffers between residential and commercial areas.

Specifically, approval of the FLUM Amendment will advance the following Policies and Objectives from the City's Comprehensive Plan:

- **GOAL FLU-1** by providing desirable local business opportunities and attractive public open spaces that complement the neighborhood's character, all within a unified development that enhances the Property so that it complements the quality and character of the surrounding neighborhood, creating a vibrant place to live, work, and play.
- **Objective FLU-1.10**, by redeveloping the Property in a manner consistent with the Comprehensive Plan.
- **POLICY FLU-1.3.1**, by providing a cohesive and consistent land use and zoning designation across the entire Property
- **POLICY HOU-1.2.6** by providing a residential transition with large landscaped front yards and tiered building heights, the Project is scaled and designed in a way that integrates seamlessly with the surrounding residential context.
- **Objective DES-1.1** by introducing a high quality, appropriately scaled mixed use development with low rise townhomes, enhanced with publicly accessible greenspaces that are in harmony with the surrounding land use pattern.
- **Policy MOB-1.1.1**, by providing a mixed-use development that places office and commercial services near housing and other employment centers, thereby reducing drive times and encouraging alternative modes of transportation.
- **Policy MOB-1.1.4**, by delivering a thoughtfully integrated mixed-use development that places office and commercial uses near public transit and existing housing options, thereby supporting a more connected and accessible community setting.
- **Policy MOB-1.1.6**, by locating active uses along the Coral Gables Trolley route, thereby supporting increased ridership and promoting greater use of transit.

- **Policy MOB-2.3.5**, by delivering an expanded pedestrian sidewalk network and an internalized drop-off area, reducing potential conflicts with pedestrians and cyclists along adjacent roadways.
 - **Policy MOB-2.7.1 and Objective MOB-3.2** by locating vehicular access points along Ponce de Leon Boulevard, thereby discouraging traffic intrusion into the adjacent residential streets.
 - **Policy DES-1.2.1** by providing a Project that is designed in accordance with the Coral Gables Mediterranean architectural design standards (Level 1) and utilizes certain elements including but not limited to, the use of architecture design features, landscape elements, height transitions, and enhanced stepbacks to deliver meaningful public benefits, such as the creation of open space amenities and improved pedestrian streetscapes.
2. The Project enhances public infrastructure and environmental resources as consistent with the goals and policies of the Comprehensive Plan.

The Project has been thoughtfully designed to reduce impacts on public infrastructure while enhancing mobility, connectivity, and the environmental character of the area. To minimize impacts on the City's residential roadway network, vehicular access for the Project is limited to the primary commercial frontage along Ponce de Leon Boulevard. Additionally, all loading and passenger pick-up and drop-off areas are fully internalized within the Property to prevent spillover onto adjacent roadways. The thoughtful integration of residential, commercial, and office uses within walking distance of existing housing and employment centers - and within an area served by multiple public transit routes – further promotes alternative transportation modes and creates a more walkable, pedestrian-friendly environment as envisioned by the City's Comprehensive Plan.

The Project also delivers substantial public realm and environmental enhancements. Over 23% of the Property is preserved as open space and landscaped areas, enabling the retention of existing mature trees, the introduction of new vegetation, and the creation of green areas to improve on-site drainage and stormwater retention. Together, these elements contribute to the City's broader sustainability and resilience goals as set forth in the Comprehensive Plan.

3. The Project Supports the Broader Housing Goals in the City's Comprehensive Plan.

The Project directly advances the City's Comprehensive Plan housing goals by delivering a context-sensitive, mixed-use development that introduces diverse residential options, specifically transitional townhomes, on an underutilized infill site strategically located near public transit, employment centers, medical services, and existing housing. These townhomes serve as a compatible, lower-scale residential buffer between the more intense commercial development to the South and the adjacent single-family neighborhood. This thoughtful transition preserves the neighborhood's character while introducing greater housing diversity. Combined with generous open space buffers and tiered building massing elements, the Project ensures that new development remains sensitive to its surroundings and contributes positively to the existing built environment.

Additionally, the Project strategically places residential and medical office uses within walking distance of transit, retail, and public open spaces, fostering a vibrant, pedestrian-oriented, and transit-accessible neighborhood. By integrating housing, healthcare and neighborhood-servicing commercial uses in close proximity, the Project advances the City's broader planning goals of aligning housing, jobs, and services to enable residents to live near where they work and play. This approach promotes shorter commute times, reduces automobile dependence, and lowers transportation costs to ultimately improve quality of life and support long-term affordability.

In doing so, the Project furthers a range of housing-related goals and policies in the Comprehensive Plan, including:

- **Goal HOU-1**, which provides for housing diversity to enhance the City's social and economic growth;
- **Policy HOU-1.1.4**, which promotes access to housing near transit, employment, and services;
- **Policy HOU-1.2.7**, ensuring new housing preserves neighborhood character;
- **Objective HOU-1.5** and related policies (**HOU-1.5.1, 1.5.2, 1.5.8**), which encourage infill housing, mixed-use development, and a range of housing types to support a sustainable, inclusive urban environment.

B. Analysis – Zoning Map Amendment

For the reasons outlined below, the proposed Zoning Map Amendment meets the criteria established in Section 14-212 of the Zoning Code and should be approved.

1. The proposed Zoning Map Amendment is consistent with the Comprehensive Plan.

The proposed rezoning of the western portion of the Property to the MF3 zoning district, – intended to accommodate transitional townhome units – aligns with the low- and low-density residential use types permitted under the proposed “Multi-Family Low Density” FLUM designation. The remainder of the Property, zoned MX1, will be developed with commercial and office uses consistent with the “Commercial Low-Rise Intensity” FLUM designation.

Importantly, although the Project has been approved for Mediterranean Level I design bonus, the overall Project remains well below the maximum permitted thresholds for density and intensity under the applicable land use and zoning designations. For instance, the mixed-use portion of the Project is designed with an FAR of only 112,510 square feet (1.2 FAR) compared to the maximum 3.2 FAR permitted within the MX1 zoning district with Mediterranean Bonus I. Similarly, the proposed building height of 5 stories/61'8" remains below the maximum allowable building height of 63.5 feet with Mediterranean Bonus I.

Additionally, the Project is expected to meet or exceed all applicable level of service standards for public infrastructure, including transportation, water and sewer, and stormwater

management, as established in the City's Comprehensive Plan. To ensure ongoing compliance, the Applicant will record a Declaration of Restrictive Covenants to tie the development of the Property to the maximum density, intensity, height, and uses reflected in the Site Plan, as approved, and to provide for any required concurrency mitigation or public infrastructure improvements that may be required as part of the Project.

2. The Proposed Zoning Map Amendment and Project Will Benefit the City by Enhancing Mobility, Reducing Vehicle Miles Traveled, and Promoting Alternative Modes of Transportation.

The Project is conveniently located within walking and biking distance of a wide range of neighborhood-serving uses such as restaurants, retail shops, health care providers and office centers along the SW 8th Street corridor. In addition to this proximity, the Property is well-served by transit, including three (3) Coral Gables Trolley stops along Ponce De Leon and multiple Miami-Dade County Metrobus stops located within a short walk.



Image: City Trolley Map

By introducing a well-integrated mix of residential, healthcare, and ground-floor commercial uses, the Project allows future residents, employees, and visitors to live, work, shop, and access services without relying on a personal vehicle—promoting walkability and reducing the need for daily commutes. This co-location of housing and employment on a transit-accessible site supports local mobility goals and helps alleviate traffic impacts by encouraging greater use of alternative transportation modes such as transit, walking, and biking.

3. The Project will enhance the quality of development in the area resulting in increased value to the neighborhood.

The Project will not result in any diminution of value for adjacent properties nor materially diminish their suitability for existing uses. On the contrary, the Project represents an opportunity to transform an aging and outdated medical office building with a large uninviting

surface parking lot into a new high-quality, mixed-use project. The Project will introduce new Class A medical office space, context-sensitive townhome units, neighborhood-serving ground floor commercial uses, and significant public realm improvements.

Beyond the upgraded architecture, the Project delivers a range of public realm enhancements that significantly increase the aesthetic appeal and value of the surrounding area. These enhancements include usable public green spaces that serve as a community gathering space and new landscaped streetscapes that create a more walkable and attractive environment. These types of improvements are proven to increase surrounding property values and enhance the character of a neighborhood.

Importantly, the proposed medical office uses are not new to the area but are consistent with the established uses at the Property and adjacent properties along this corridor, which include a mix of residential, medical office and commercial uses. The Project simply reflects a continuation of the established land use pattern in the area, but with updated architecture, higher design standards, and a more appropriate transition between uses. However, what distinguished this Project from other similar uses in the area, are the thoughtful transitions, tiered building massing, and dedicated residential and green space buffers that have been provided to ensure compatibility with the adjacent residential areas. By incorporating these transitional design features, the Project ensures a seamless integration of commercial uses with adjacent properties and significantly elevates the aesthetic character of the surrounding neighborhood.

4. The Project delivers Housing Opportunities for People Who Live and Work in the City of Coral Gables.

As discussed in Section III(A)(3) above, the Project delivers diverse housing opportunities to the neighborhood and supports the City's broader planning objectives of integrating housing, jobs, and services within close proximity – enabling residents to live near where they work.

5. The Zoning Amendment and Project advance the goals and policies of the City's Comprehensive Plan.

As discussed in Section III(A) above, the Project advances several key objectives of the City's Comprehensive Plan by delivering a high-quality, pedestrian-friendly mixed-use development that provides meaningful public green space amenities and ensures appropriate transitions between adjacent uses.

IV. PLANNED AREA DESIGNATION

The Applicant seeks approval of a Planned Area Development (PAD), pursuant to Division 5, Article 2 of the City's Zoning Code, to facilitate a thoughtfully designed mixed-use project that responds to the unique characteristics of the Property and its surrounding context. As outlined below, the proposed PAD advances the purpose and intent of the PAD regulations and serves the public interest by providing the enhanced design flexibility necessary to deliver a more cohesive, context-sensitive development. In doing so, it enables the delivery of meaningful public realm improvements and satisfies the approval criteria set forth in Section 14-206.1 of the Zoning Code.

1. The requested PAD enables a more innovative and thoughtfully integrated development that delivers greater public benefits than would be achievable under conventional zoning regulations.

The proposed PAD provides the design flexibility necessary to deliver a context-sensitive mixed-use development that thoughtfully responds to the surrounding neighborhood by integrating a balanced mix of neighborhood-serving uses and meaningful public amenities. The PAD framework enables a more creative and intentional site plan - featuring enhanced transitions between building heights, tiered massing, deeper setbacks, and generous landscaped buffers - that promotes compatibility with adjacent residential properties. Notably, the PAD allows the Project to dedicate over 23% of the site to publicly accessible open space, a level of public realm integration that would not be feasible under standard zoning. It also allows for internalized parking and concentrates vehicular access along Ponce de Leon Boulevard, reducing traffic impacts on residential streets and enhancing overall walkability. Collectively, the PAD results in a higher-quality, thoughtfully integrated development that aligns with the City's long-term goals for vibrant, connected, and livable neighborhoods.

2. The Project encourages the enhancement and preservation of land with unique scenic and environmental value by sensitively integrating new development with meaningful open space amenities, mature tree preservation, new tree plantings and architectural elements that reflect and complement the area's historical character and identity.
3. The Project delivers an enhanced design that creates a safer street network, provides meaning public open space amenities, and maintains neighborhood compatibility.

The Project provides for a more efficient land use pattern by incorporating a residential transitional zone between commercial uses and the adjacent neighborhood. To enhance compatibility and increase access to public green spaces, the Project features a large landscaped public plaza adjacent to residential areas and dedicates over 23% of the Property to publicly accessible open spaces, providing valuable recreational amenities for the community. As discussed in Section III above, the Project also improves connectivity and walkability within the neighborhood by including wide, shaded sidewalks, pedestrian lighting, and internalized drop-off areas that promote safe and comfortable pedestrian circulation throughout the site. These design elements not only enhance the overall functionality and safety for both vehicles and pedestrian, but also strengthen the neighborhood's identity through context-sensitive architectural features, tiered building heights, and thoughtful transitions that complement the surrounding community.

4. The Project ensures compatibility through a variety of architectural solutions.

As detailed in Section II above, the Project's design incorporates several architectural solutions - including enhanced building setbacks, tiered building heights, and thoughtfully landscaped elements - to effectively reduce perceived building mass. These features create appropriate transitions along residential frontages, ensuring the Project remains compatible with the surrounding neighborhood context.

5. The Project applies professional planning and design techniques to create a cohesive, well-coordinated development.

As discussed above, the Property's existing fragmented zoning and land use designations present challenges to cohesive planning and limit the potential for a high-quality mixed-use project. The PAD request facilitates thoughtful planning and appropriate allocation of uses across the Property, incorporating effective transitional buffers, enhanced compatibility design elements, and the delivery of meaningful streetscape and public open space improvements that benefit the surrounding neighborhood.

6. The Project's proposed deviations from conventional zoning standards promote a more compatible design that respects the intent of the regulations while delivering substantial public open space improvements.
7. The PAD request and resulting Project directly advance the Goals and Objectives of the City's Comprehensive Plan.

As discussed in Section III(A) above, the Project advances several key objectives of the City's Comprehensive Plan

V. CONDITIONAL USE

The Applicant requests conditional use approval for the proposed mixed-use site plan, including the medical office uses incorporated therein. As outlined below, the proposed conditional use is appropriate for the Property, aligns with the intent and standards of Section 14-203.8 of the Zoning Code, and satisfies all applicable criteria for approval.

1. As discussed in Section III(A) The Project is consistent with the Goals, Policies and Objectives of the City's Comprehensive Plan. as well as the City regulations implemented to carry out these policies.
2. The Project is appropriate for the Property and Compatible with Existing and Planned Uses in the Surrounding Area.

The Property is currently designated for mixed use commercial and residential development, consistent with the proposed uses at the Property. Additionally, the Property is also already improved with an existing medical office uses and commercial parking lot. The proposed medical office uses represent a natural extension of the existing medical office development and align with adjacent and established medical office uses. This makes the continuation of such uses on the Property, along with the incorporation of a residential transition along Boabadilla Street, both appropriate and consistent with the established land use pattern. Lastly, as detailed in Section II above, the Project ensures compatibility through various architectural design elements and strategically placed public open space amenities.

3. The Project does not conflict with the needs and character of the neighborhood and the City.

The Project is thoughtfully designed to complement the existing neighborhood and the broader City by providing a compatible mix of uses that responds to local needs. The Project introduces transitional residential units that buffer the single-family homes from more intensive commercial uses, thereby preserving neighborhood character. The enhanced of the existing medical office uses on the Property will improve health care access and services, supported by upgraded parking facilities with sufficient parking and internalized circulation to minimize impacts to adjacent residential areas. Additionally, the Project provides for abundant public open spaces and enhanced streetscapes throughout, offering a valuable community amenity that promotes recreational opportunities and walkability.

4. As discussed in Section III(B)(3) above, the Project is designed to ensure compatibility and prevent adverse impacts on surrounding properties through thoughtful planning and the incorporation of various architectural design elements. Instead, the Project will enhance the overall aesthetics of the area and contribute to creating a more vibrant and attractive community.
5. As discussed in Section V above, the Project is appropriate for the Property and compatible with the existing and planned uses in the surrounding area.

As discussed in Section V(2) above, the Property is already designated for commercial and residential uses and is currently improved with a medical office building. Additionally, the Property is located along Ponce de Leon Boulevard, just north of the SW 8th Street corridor - an area characterized by health care centers, office buildings, and commercial uses. Accordingly, the Project's proposed use represents a natural continuation of these adjacent commercial uses and an enhancement of the existing development at the Property, offering an improved architectural design along with upgraded parking facilities, additional landscape buffers, and new open space amenities.

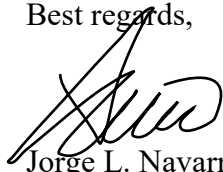
6. The Property, comprising approximately 2.05 acres and occupying an entire City block, significantly exceeds the minimum site size requirement for a PAD development.
7. The Project is not detrimental to the health, safety, or general welfare of the community. On the contrary, it enhances both the aesthetics and quality of life by delivering a thoughtfully designed, high-quality mixed-use development with improved open space amenities for community enjoyment.
8. As discussed in Sections III(A)(2) and IV(3) above, the Project is designed to minimize impacts on the City's residential streets by concentrating vehicular access along Ponce de Leon Boulevard, incorporating fully internalized parking and dedicated drop-off areas to improve traffic flow within the Property, and introducing enhanced streetscapes that create a safer, more clearly defined network for both vehicles and pedestrians.
9. The Project will satisfy the concurrency standards in the City Zoning Code.

The Project will meet or exceed all applicable level of service standards for public infrastructure, including transportation, water and sewer, and stormwater management, as established in the City's Zoning Code. To ensure ongoing compliance, the Applicant will record a Declaration of Restrictive Covenants to tie the development of the Property to the maximum density, intensity, height, and uses reflected in the Site Plan, as may be approved by City Commission, and to provide for any required concurrency mitigation or public infrastructure improvements that may be required as part of the Project.

VI. CONCLUSION

Based on the foregoing, the proposed Project is consistent with the goals and intent of the Comprehensive Plan and the implementing regulations in the City's Zoning Code and complies with the applicable criteria for approval of the proposed requests. We look forward to your favorable consideration of this Application. As always, should you have any questions or require any additional information, please do not hesitate to contact me at 305-579-0821.

Best regards,

A handwritten signature in black ink, appearing to read 'J. Navarro', is written over the printed name.

Jorge L. Navarro
Greenberg Traurig

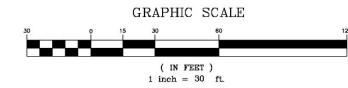
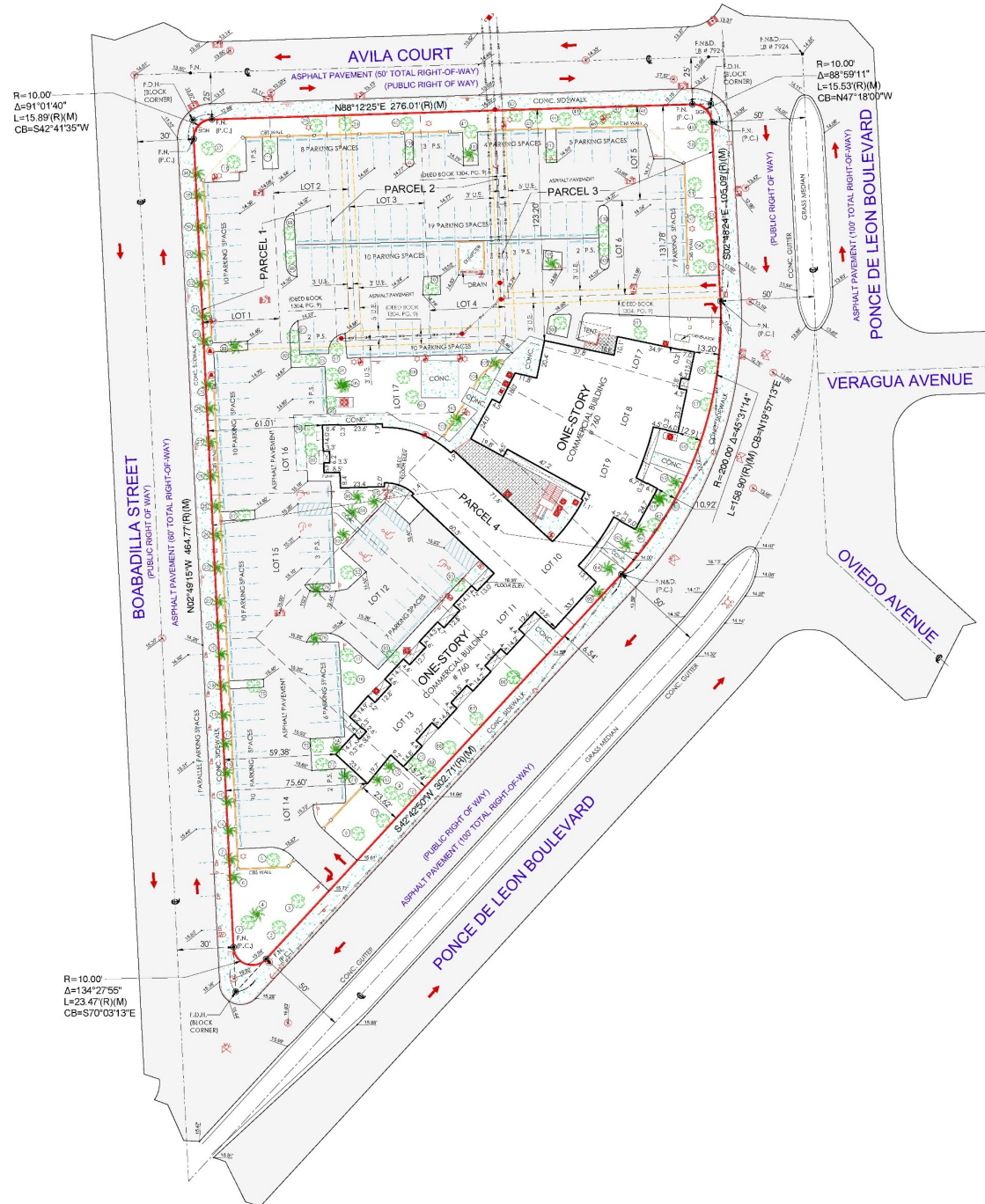
SKETCH OF BOUNDARY SURVEY ALTA / NSPS LAND TITLE SURVEY

LEGEND

(C) = Calculated
C = Center Line
CONC. = Concrete
CH = Chord Bearing
CBS. = Concrete Block Stucco
Δ = Delta
F.F.E.L. = Finish Floor Elevation
F.I.P. = Found Iron Pipe
F.I.R. = Found Iron Rod
F.N. = Found Nail
F.N&D. = Found Nail & Disc
F.D.H. = Found Drill Hole
I.D. = Identification
L = Length
(M) = Measured
M = Monument Line
O/L = On Line
R = Property Line
(P) = Plat
P.S. = Parking Space
P.C. = Point of Curvature
P.B. = Plat Book
P.C. = Page
R = Radius
(R) = Record
R/W = Right of Way
U.E. = Utility Easement

SYMBOLS

AIR CONDITIONER
 CABLE TV
 CATCH BASIN
 CONCRETE POLE
 ELECTRIC BOX
 MAN-HOLE
 SIGN
 WATER VALVE
 WATER METER
 WOOD POLE
 ANCHOR
 BOX
 TREE
 PALM
 STORM MANHOLE
 FIRE HYDRANT
 FPL TRANSFORMER
 HANDICAP
 LIGHT POLE
 PARKING METER
 SEWER VALVE
 TELEPHONE BOX
 TRAFFIC FLOW
 EXISTING ELEVATION
 COVERED AREA
 CHAIN LINK FENCE (C.L.F.)
 METAL FENCE (M.F.)
 OVERHEAD LINES
 HAND RAIL
 WOOD FENCE (W.F.)
 WIRE FENCE (W.R.F.)
 CBS WALL



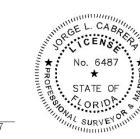
JORGE L. CABRERA
Professional Surveyor and Mapper
State of Florida
PLS/PSW License No. 6487
2852 SW 14th Ave, Miami, Florida 33165
Phone: (305) 447-5537
Email: jorgecabrerapl@gmail.com

No.	Date	Description

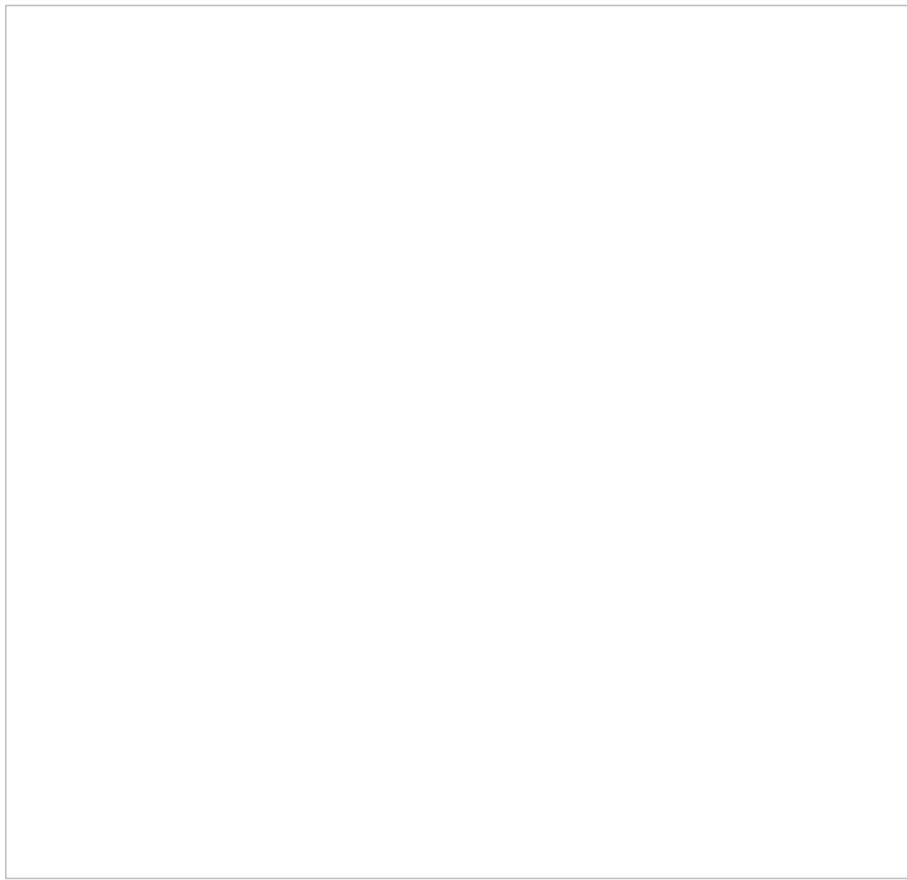
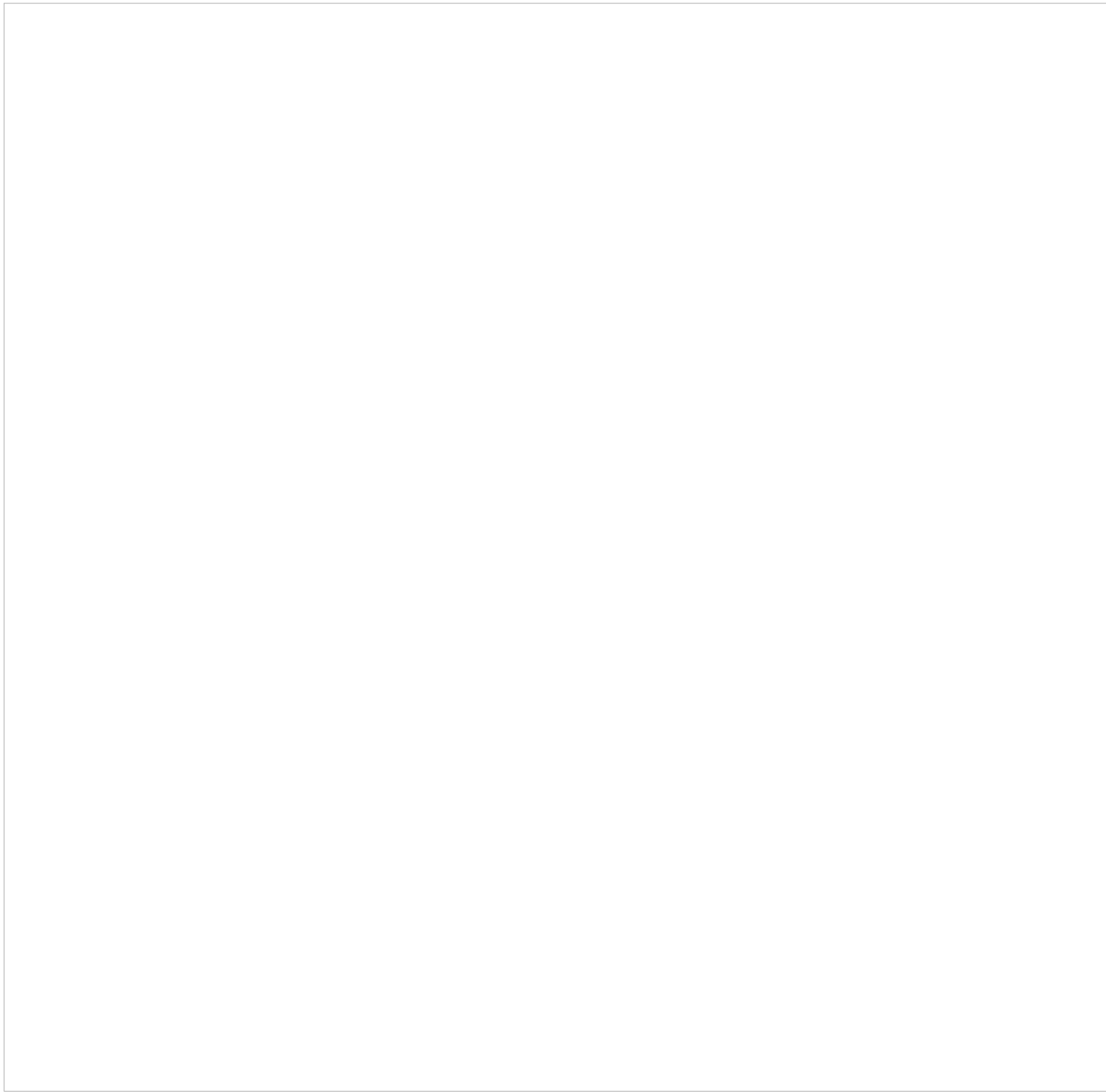
Prepared for:
**SSI, LLC and
JCKF Investments, LLC**

CHECKED BY: JLC
DRAWN BY: JF/ELF
FIELD DATE: 04/25/2023
DATE: 05/01/2023
SCALE: 1" = 30'
JOB No. 23-7333

SHEET
2 OF 2



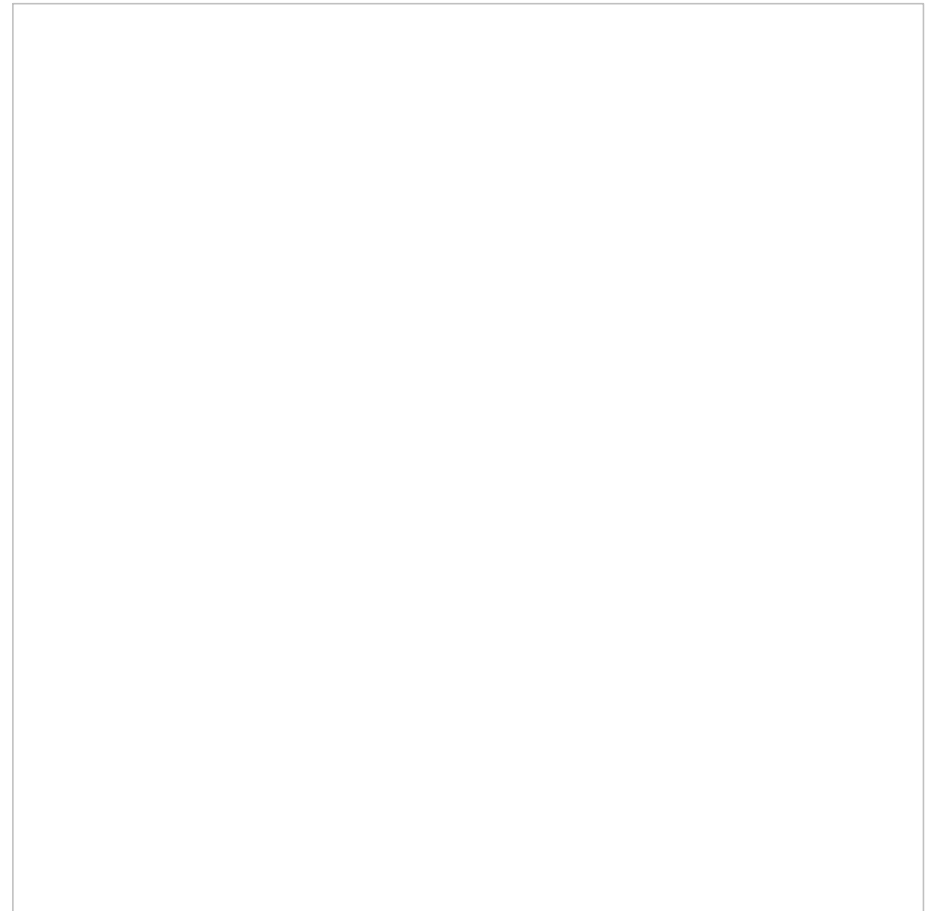
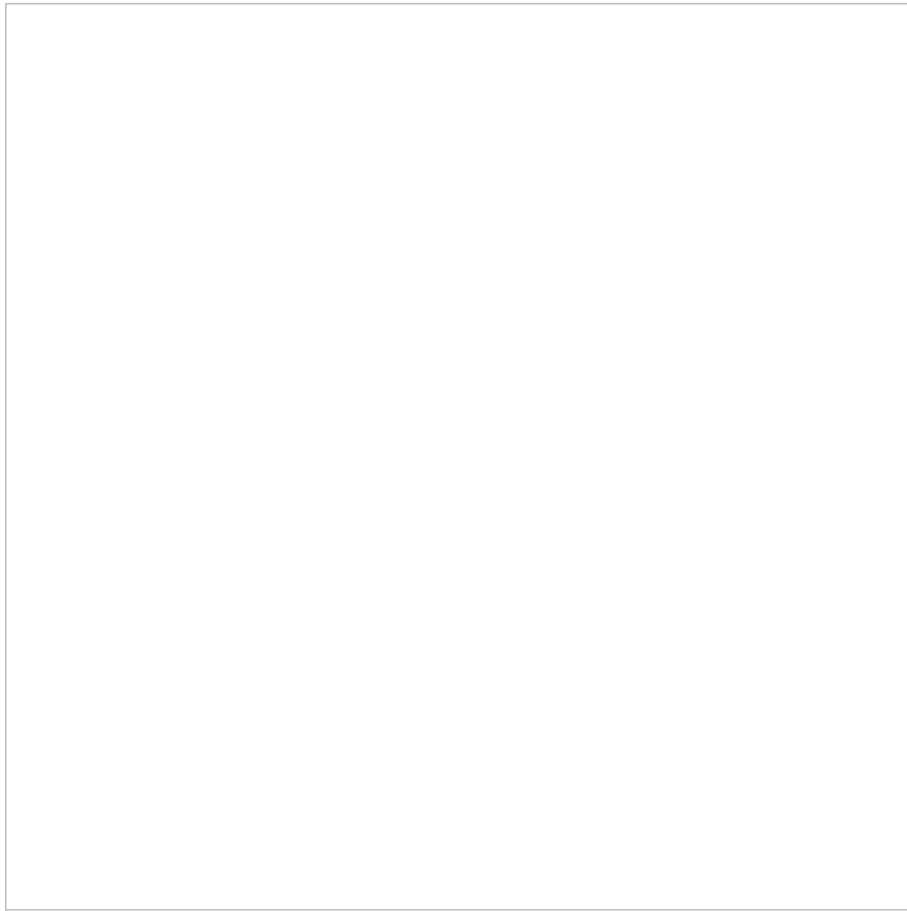
JORGE L. CABRERA
Jorge L. Cabrera
Professional Surveyor & Mapper, # 6487
State of Florida



PROFESSIONAL MEDICAL
OFFICE BUILDING
760 PONCE

760 PONCE DE LEON BOULEVARD
CORAL GABLES, FL 33134

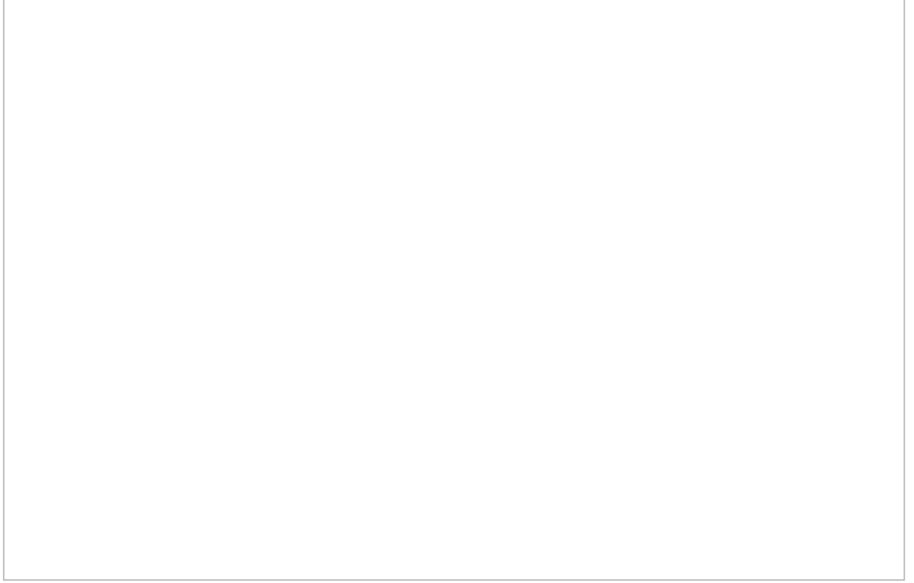
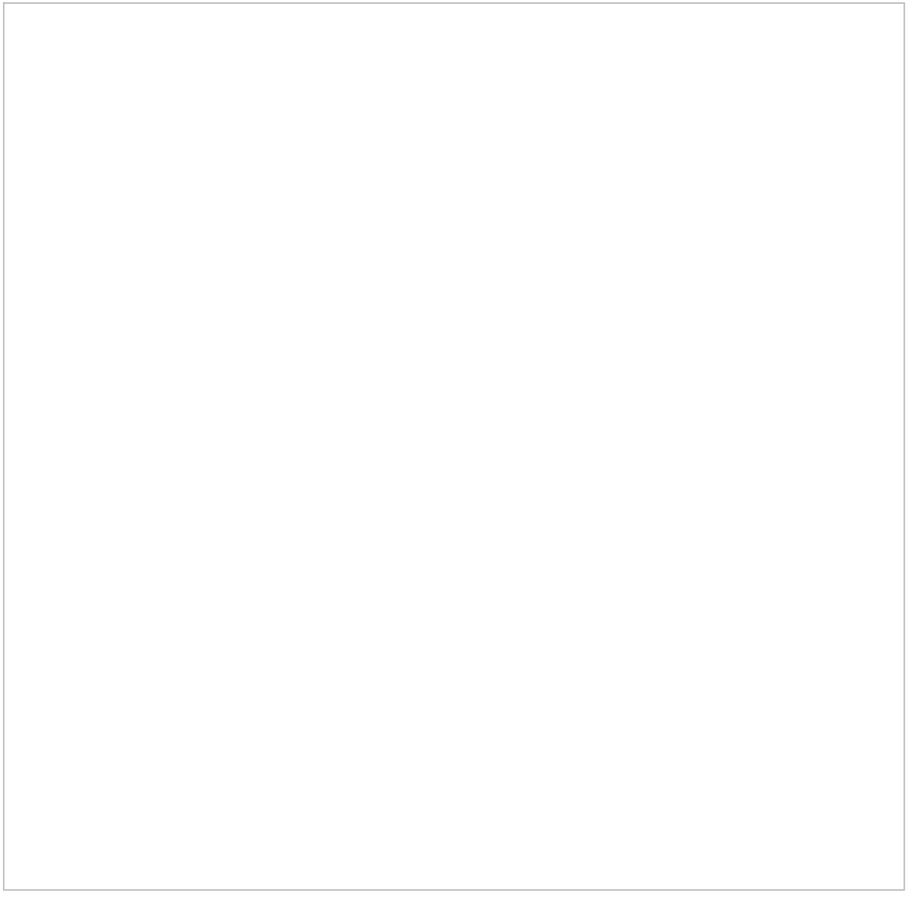
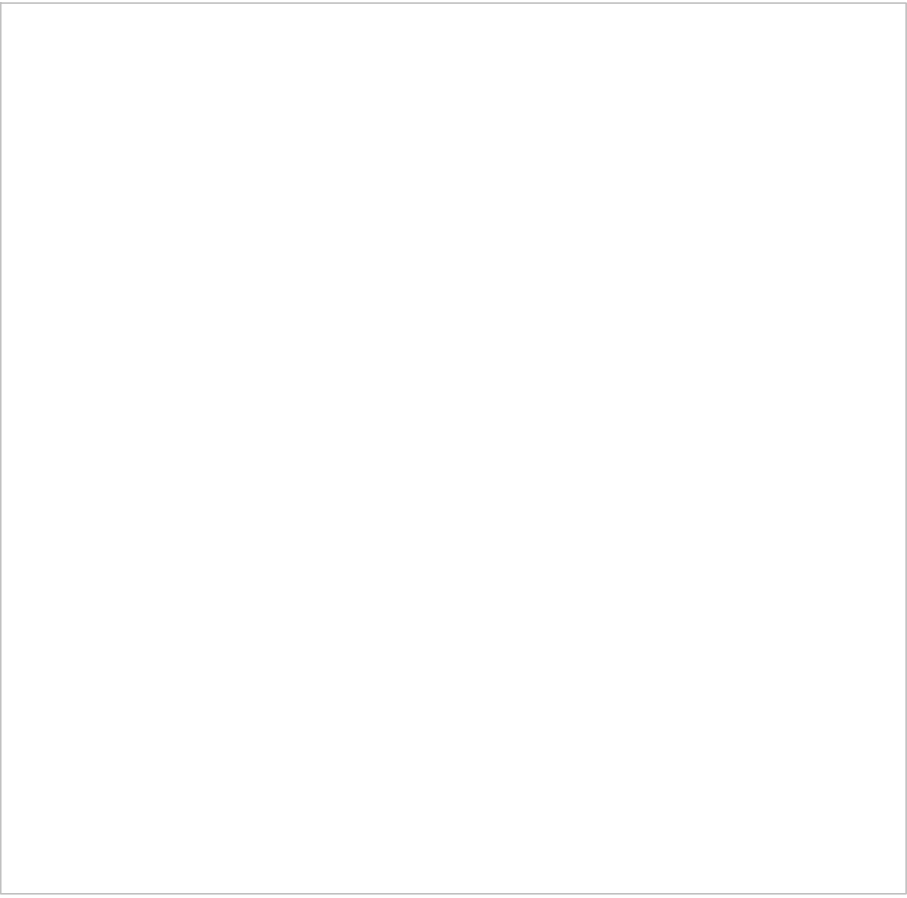
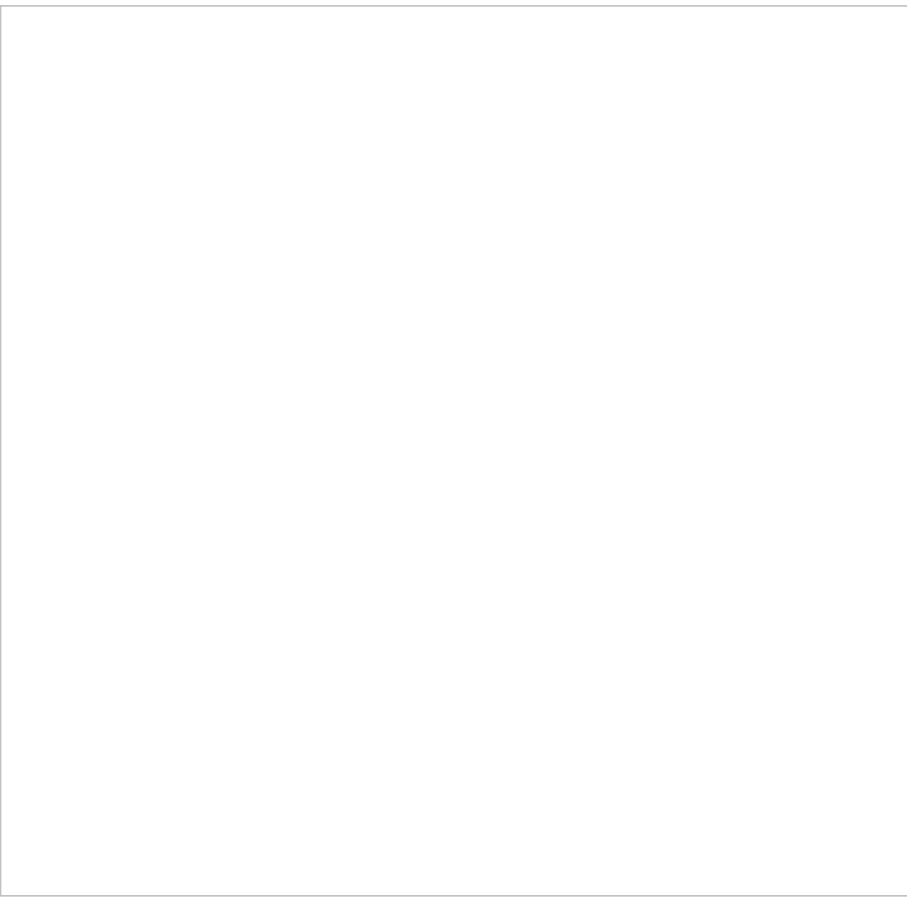
- PLANNING AND ZONING -



BEHAR • FONT

PARTNERS, P. A.
ARCHITECTURE • PLANNING • INTERIORS

CORAL GABLES • ATLANTA



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SKETCH OF BOUNDARY SURVEY

ALTA / NSPS LAND TITLE SURVEY

SURVEYOR'S NOTES:

All distances as shown hereon are based on the US Survey foot.

The property described on the Sketch of ALTANSPS Land Title Survey is the same property as described in Exhibit "A", Commitment Number: 193786, with a Commitment Date of April 5th, 2023 at 11:00 PM, issued by Old Republic National Title Insurance Company.

The accompanying Survey was made on the ground from April 15th, 2023 to May 1st, 2023 and correctly shows the location of the existing improvements, above ground visible utilities, and other improvements situated on the above premises.

Bearings and as depicted on this survey drawing as Northing (N) and Easting (E) are relative to the State Plane Coordinate System Florida East Zone, North American Datum of 1983, adjustment of 2011 (NAD2011) (NAD2011) where the centerline of Avila Court bears North 88°12'29" East, State Plane Coordinate.

The total area of the surveyed parcels combined as described herein contains 89,142.32 square feet more or less (2.05) acres more or less. The square footage was calculated up to the existing property line based on survey field occupation.

At the time of Survey, there were a total of 140 defined (striped) parking spaces including 5 handicap spaces.

The square footage of the existing building is 16,773.67 square feet more or less. The square feet as shown hereon were determined at the ground building line level.

At the time of Survey, The National Flood Insurance Rate Map for Florida, Community Panel No. 120639 (City of Coral Gables) - 2096 C, 0204 L, FIRM Date 09/11/2009 and Revised with an effective date of 09/11/2009, published by the United States Department of Housing and Urban Development, indicates the described parcel land to be situated outside the Special Flood Hazard Area designated by the Federal Emergency Management Agency (FEMA). Subject property lies within Zone "X", areas determined to be outside the 0.2% annual chance floodplain.

All elevations as shown on this survey drawing are referred to the National Geodetic Vertical Datum, 1928 (NGVD).

BENCHMARK REFERENCES:

City of Coral Gables BM # 304
BM Elevation 13.88 feet (NGVD-1928)
SE COR BOBADILLA ST / AVILA CT- PSBW POW BSW

City of Coral Gables BM # 305
BM Elevation 14.54 feet (NGVD-1928)
SE COR BOBADILLA ST- PSBW POW CURB FSW

The measured and calculated dimensions/directions as shown hereon are based on the undersigned review of the entire content of the legal description and would be necessary for the survey to have a mathematical closure and conform to the existing rights-of-way, adjacent plats and other calls within the legal description.

Only the easements provided to the surveyor or those shown on the recorded Plat are either noted or plotted hereon. No search within the Public or Private records was performed by this office.

In some instances graphic representations have been exaggerated to more clearly illustrate the relationship between physical improvements and/or lot lines. In all cases dimensions shall control the location of the improvements over scaled positions.

The dimensions and directions shown hereon are in substantial agreement with record and calculated values unless otherwise noted.

Survey done by occupation, physical evidence, the recovery of existing property corners, field measurements, calculations, adjacent plats and legal description provided to the surveyor and also from the Miami-Dade County Public Records/Property Appraiser Office and no claims as to ownership are made or implied.

Adjacent properties were not investigated at the time of this Survey

Obstructed corners are witnessed by improvements.

There is no observable evidence of the site being used as a solid waste dump, sump or sanitary landfill. There is no observable evidence of recent street or sidewalk construction and/or repairs within the Public Right of Way and there are no additional changes in street right of way lines completed or proposed which have been made known to the Surveyor and are disclosed on the survey drawing.

Property is subject to restrictions, conditions, limitations, easements, and reservations of record and existing zoning ordinances.

There may be restrictions not shown on this survey that may affect the future development of this property. Such restrictions might be found in the Public Records or Building and Zoning Department of Miami-Dade County, FL and the City of Coral Gables, FL.

Lands depicted hereon were surveyed per legal description provided by client and no claims as to ownership are made or implied.

Legal description subject to any dedications, limitations, reservations or easements of records; search of the Public Records not performed by this office. Code Restrictions not reflected on this survey.

Any notorious evidence of occupation and/or use of the described parcel for Right-of-Way, Ingress or Egress are shown on this survey drawing. However, this survey does not purport to reflect any recorded instruments for Right-of-Way other than shown on the recorded plat or stated in the legal description, as it appears on this drawing.

Only the above ground visible surface indications of the underground utilities have been located. There may be other underground utilities in addition to those evidenced by visible appearances as shown on this sketch. Underground utility references based on limited information provided by the utility company. Owner of his agent should verify all utility locations with the appropriate utility provider before using.

The scope of this survey is to define the boundary lines as defined by the deed and referenced plats, and show all above ground improvements.

No underground footings were located and no subsurface investigation was performed at the time of survey.

Any fencing, walls, entrance features and landscaping could be subject to a "Safe Sight Distance Triangle" rule.

Verification with each and every Utility Company servicing the subject property must be done for any possible easement affecting the subject property and it must be done prior of any design work or construction. Call 811 or visit www.sunshine811.com before digging.

This survey is intended for the use of the parties to whom this survey is certified to and for. Any reproduction is not an original. This survey retains an original to verify these dated contents for validity.

This survey was conducted for the purpose of a "Boundary Survey" only and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other entity. This survey does not reflect or determine ownership.

Although care was taken with the identification of the tree noted hereon, an arborist, landscape architect, botanist, environmental specialist or others with advanced education in dendrology should be utilized if critical identification of the tree is required. Shrubs and vines has not been located.

The location of the trees as shown on this survey drawing are compiled from such field surveys deemed necessary by Jorge L. Cabrera, PSM, therefore the resultant of said dimensions shown hereon could vary slightly within one to two feet more or less.

The accuracy obtained for all horizontal control measurements and office calculations of closed geometric figures, meets or exceeds the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors and Mappers as contained in Chapter 5J-17.05(3)(b)15.b.i of 1 foot in 10,000 feet for Commercial / High Risk Areas.

This sketch shown hereon in its graphic form is the record depiction of the surveyed lands described herein and will in no circumstances be supplanted in authority by any other graphic or digital format. This map is intended to be displayed at a scale of 1" = 30'.

The easements, encumbrances and restrictions evidenced by Recorded Documents and/or other title exceptions provided to the Surveyor and noted in Schedule B, Section II of the Old Republic National Title Insurance Company, Commitment Number: 193786, with a Commitment Date of April 5th, 2023 at 11:00 PM, are a matter of survey and have been plotted hereon or noted below:

Item 1) Not a Survey matter, not noted or plotted hereon.

Item 2a) Not a Survey matter, not noted or plotted hereon.

Item 2b) Not a Survey matter, not noted or plotted hereon.

Item 2c) No visible encroachments noted.

Item 2d) Only the easements provided to the surveyor or those shown on the recorded Plat are either noted or plotted hereon. No search within the Public or Private records was performed by this office.

Item 2e) Not a Survey matter, not noted or plotted hereon.

Item 3) Subject property is not submerged. It is not known to the surveyor if this property was at any time submerged. Subject property does not appear to be artificially filled.

Item 4) Not a Survey matter, not noted or plotted hereon.

Item 5) Property is subject to the restrictions, conditions, reservations, easements, and other matters contained on the Plat of Coral Gables Flagler Street Station, as recorded in Plat Book 10, Page 12, Public Records of Miami-Dade County, Florida. (All Parcels). There are no easements noted within Plat Book 10, Page 12.

Item 6) The subject property lies within the lands as described in the easement described in that certain Document recorded in, DEED BOOK 839, Page 106, dated February 7th, 1924 and Filed April 3rd, 1926, subsequently conveyed in Deed Book 506, Page 37 to South Atlantic Telephone & Telegraph Company the easement width is not defined. The easement runs upon, along, across, over and under the rear property lines of the lots, including along the side line of the lots wherever necessary to reach said rear lines. Without a defining width the easement(s) cannot be plotted. This is a blanket easement document affecting the subject property and contains no plottable matters.

Item 7) The subject property lies within the lands as described in the Electric Service Easement in favor of Utilities Land Company recorded in Deed Book 939, Page 435, assigned to Florida Power & Light Company by instrument recorded in Deed Book 1004, Page 496, Public Records of Miami-Dade County, Florida. (All Parcels). The Indentures recorded in DEED BOOK 939 Page 435 and DEED BOOK 1004, Page 496 subsequently conveyed in Deed Book 1004, Page 496 are transfers of Utility Franchises including easement rights which are not described and cannot be plotted.

Item 8) The subject property lies within the lands as described in the Water Service Easement in favor of Consumers Water Company recorded in Deed Book 939, Page 443, assigned to Consumer's Water Company by instrument recorded in Deed Book 1004, Page 499, Public Records of Miami-Dade County, Florida. (All Parcels). The Indentures recorded in DEED BOOK 939 Page 443 and DEED BOOK 1004, Page 499 subsequently conveyed in Deed Book 1004, Page 499 are transfers of Utility Franchises including easement rights which are not described and cannot be plotted.

Item 9) The subject property lies within the lands as described in the Utility Easement referenced in the following instrument, which easements run along the rear five 5) feet of the platted lots and along the three (3) foot strip lying along the side lines of the platted lots per Paragraph 16 of the Warranty Deed recorded at Deed Book 1304, Page 9, Public Records of Miami-Dade County, Florida. (All Parcels). The five (5) foot Utility Easement, described in that certain Warranty Deed recorded in Deed Book 1304, Page 9 affecting the subject property are noted and plotted hereon. The deed restricting reserves for utility purposes "on or in the rear five (5) feet of the land conveyed or on or in the three (3) foot strip along the side lines thereof, when necessary to gain access to the rear five foot strips or contingency upon the need for its use". The three (3) foot strip along the side lines have been plotted hereon. These easements are contingency upon the need for its use.

Item 10) The subject property lies within the lands as described in Warranty Deed recorded in Deed Book 958, Page 420, Public Records of Miami-Dade County, Florida. (Parcel 4, as to Lot 16). Although the full content of the document is not fully legible, no easement was noted. Document contains blanket conditions affecting the subject property and no plottable matters were noted.

Item 11) The subject property lies within the lands as described in Warranty Deed recorded in Deed Book 1080, Page 525, Public Records of Miami-Dade County, Florida. (Parcel 4, as to Lot 7). Although the full content of the document is not fully legible, no easement was noted. Document contains blanket conditions affecting the subject property and no plottable matters were noted.

Item 12) The subject property lies within the lands as described in Warranty Deed recorded in Deed Book 1080, Page 529, Public Records of Miami-Dade County, Florida. (Parcel 4, as to Lot 8). Although the full content of the document is not fully legible, no easement was noted. Document contains blanket conditions affecting the subject property and no plottable matters were noted.

Item 13) The subject property lies within the lands as described in Warranty Deed recorded in Deed Book 1307, Page 294, Public Records of Miami-Dade County, Florida. (Parcel 2, as to Lot 4). Although the full content of the document is not fully legible, no easement was noted. Document contains blanket conditions affecting the subject property and no plottable matters were noted.

Item 14) The subject property lies within the lands as described in the Unity of Title recorded in O R Book 5825, Page 185, Public Records of Miami-Dade County, Florida. (Parcel 4). This is a blanket document affecting the subject property non-survey related and contains no plottable matters.

Item 15) Not a Survey matter, not noted or plotted hereon.

NOTE: All recording references in this form shall refer to the public records of Miami-Dade County, Florida, unless otherwise noted.

Tree Number	Common Name	Scientific Name	DBH - Trunk Size (Inches) +/-	Canopy Diameter (Feet) +/-	Height (Feet) +/-
1	Black olive	Bucida buceras	24"	26'	70'
2	Black olive	Bucida buceras	22"	24'	60'
3	Mahogany	Swietenia mahagoni	22"	24'	60'
4	Fiji fan palm	Pritchardia pacifica	8"	12'	20'
5	Cainto	Chrysophyllum cainito	3"	6'	12'
6	Manila palm	Adonidia merrilli	5"	8'	12'
7	Manila palm	Adonidia merrilli	5"	8'	12'
8	Boxleaf stopper	Eugenia foetida	3"	3'	10'
9	Boxleaf stopper	Eugenia foetida	3"	3'	10'
10	Mexican caesalpinia	Erythrostemon mexicanus	3"	5'	10'
11	Mexican caesalpinia	Erythrostemon mexicanus	3"	5'	10'
12	Cabbage palm	Sabal palmetto	10"	8'	12'
13	Fiji fan palm	Pritchardia pacifica	4"	6'	15'
14	Manila palm	Adonidia merrilli	6"	10'	15'
15	Manila palm	Adonidia merrilli	6"	10'	15'
16	Manila palm	Adonidia merrilli	3" multi-trunk	6'	8'
17	Manila palm	Adonidia merrilli	Adonidia merrilli	6'	8'
18	Manila palm	Adonidia merrilli	3" multi-trunk	6'	8'
19	Manila palm	Adonidia merrilli	3" multi-trunk	6'	8'
20	Manila palm	Adonidia merrilli	3" multi-trunk	6'	8'
21	Manila palm	Adonidia merrilli	3" multi-trunk	6'	8'
22	Manila palm	Adonidia merrilli	3" multi-trunk	6'	8'
23	Manila palm	Adonidia merrilli	3" multi-trunk	6'	8'
24	Manila palm	Adonidia merrilli	3" multi-trunk	6'	8'
25	Manila palm	Adonidia merrilli	3" multi-trunk	6'	8'
26	Manila palm	Adonidia merrilli	3" multi-trunk	6'	8'
27	Manila palm	Adonidia merrilli	3" multi-trunk	6'	8'
28	Manila palm	Adonidia merrilli	3" multi-trunk	6'	8'
29	Manila palm	Adonidia merrilli	3" multi-trunk	6'	8'
30	Manila palm	Adonidia merrilli	3" multi-trunk	6'	8'
31	Manila palm	Adonidia merrilli	3" multi-trunk	6'	8'
32	Manila palm	Adonidia merrilli	3" multi-trunk	6'	8'
33	Manila palm	Adonidia merrilli	3" multi-trunk	6'	8'
34	Manila palm	Adonidia merrilli	3" multi-trunk	6'	8'
35	Manila palm	Adonidia merrilli	3" multi-trunk	6'	8'
36	Manila palm	Adonidia merrilli	3" multi-trunk	6'	8'
37	Black olive	Bucida buceras	32"	25'	70'
38	Mexican caesalpinia	Erythrostemon mexicanus	3"	5'	10'
39	Boxleaf stopper	Eugenia foetida	3"	3'	10'
40	Mexican caesalpinia	Erythrostemon mexicanus	3"	5'	10'
41	Black olive	Bucida buceras	36"	35'	80'
42	Carrotwood	Cupaniopsis anacardioides	4"	5'	15'
43	Geiger tree	Cordia sebestena	3"	4'	8'
44	Longleaf pine	Pinus palustris	3"	4'	15'
45	Longleaf pine	Pinus palustris	3"	4'	15'
46	Geiger tree	Cordia sebestena	4"	6'	12'
47	Longleaf pine	Pinus palustris	3"	4'	15'
48	Geiger tree	Cordia sebestena	4"	6'	12'
49	Live oak	Quercus virginiana	60"	50'	85'
50	Brazilian Pepper	Schinus terebinthifolius	10"	15'	20'
51	Mexican caesalpinia	Erythrostemon mexicanus	3"	5'	10'
52	Mexican caesalpinia	Erythrostemon mexicanus	3"	5'	10'
53	Mexican caesalpinia	Erythrostemon mexicanus	3"	5'	10'
54	Mexican caesalpinia	Erythrostemon mexicanus	3"	5'	10'
55	Cainto	Chrysophyllum cainito	3"	6'	12'
56	Mexican caesalpinia	Erythrostemon mexicanus	3"	5'	10'
57	Mexican caesalpinia	Erythrostemon mexicanus	3"	5'	10'
58	Mexican caesalpinia	Erythrostemon mexicanus	3"	5'	10'

- DBH (Diameter at breast height) is rounded-off to the nearest inch.
- DBH (Diameter at breast height) is measured at 4.5 feet above existing ground grade.
- Canopy Diameter is approximate and measured in one direction.
- Height of Trees and Palms is approximate.



LOCATION MAP

NOT TO SCALE

59	Solitaire palm	Ptychosperma elegans	5"	6"	25'
60	Mexican caesalpinia	Erythrostemon mexicanus	3"	5"	10'
61	Manila palm	Adonidia merrilli	4"	8"	15'
62	Mexican caesalpinia	Erythrostemon mexicanus	3"	5"	10'
63	Solitaire palm	Ptychosperma elegans	3"	6"	14'
63A	Manila palm	Adonidia merrilli	4" cluster / multi-trunk	8"	12'
64	Manila palm	Adonidia merrilli	7" multi-trunk	12"	16'
65	Manila palm	Adonidia merrilli	7" multi-trunk	12"	16'
66	Mexican caesalpinia	Erythrostemon mexicanus	3"	5"	10'
67	Mexican caesalpinia	Erythrostemon mexicanus	3"	5"	10'
68	Mexican caesalpinia	Erythrostemon mexicanus	3"	5"	10'
69	Mexican caesalpinia	Erythrostemon mexicanus	3"	5"	10'
70	Mahogany	Swietenia mahagoni	3"	5"	15'
71	Fiji fan palm	Pritchardia pacifica	8"	6"	20'
72	Cainto	Chrysophyllum cainito	3"	6"	12'
73	Cainto	Chrysophyllum cainito	3"	6"	12'
74	Canary Island date palm	Phoenix canariensis	14"	12"	10'
75	Cainto	Chrysophyllum cainito	3"	6"	12'
76	Carrotwood	Cupaniopsis anacardioides	3"	6"	12'
77	Carrotwood	Cupaniopsis anacardioides	3"	6"	12'
78	Royal Palm	Roystonia regia	12"	12"	18'
79	Royal Palm	Roystonia regia	12"	12"	18'
80	Madras thorn	Pithecellobium dulce	4"	6"	10'
81	Umbrella tree	Schefflera actinophylla	40" cluster / multi-trunk	12"	30'
82	Carrotwood	Cupaniopsis anacardioides	3"	6"	12'
83	Bottle palm	Hyophorbe lagenicaulis	14"	6"	12'
84	Bottle palm	Hyophorbe lagenicaulis	14"	6"	12'
85	Bottle palm	Hyophorbe lagenicaulis	14"	6"	12'
86	Queen palm	Syagrus romanzoffiana	14"	16'	25'
87	Cainto	Chrysophyllum cainito	3"	6"	12'
88	Longleaf pine	Pinus palustris	4"	5"	15'
89	Longleaf pine	Pinus palustris	4"	5"	15'
90	Manila palm	Adonidia merrilli	4"	8"	18'
91	Longleaf pine	Pinus palustris	3"	6"	12'
92	Longleaf pine	Pinus palustris	3"	6"	12'
93	Longleaf pine	Pinus palustris	3"	6"	12'
94	Longleaf pine	Pinus palustris	3"	6"	12'
95	Longleaf pine	Pinus palustris	3"	6"	12'
96	Manila palm	Adonidia merrilli	6" multi-trunk	6"	12'
97	Cainto	Chrysophyllum cainito	3"	6"	12'
98	Cainto	Chrysophyllum cainito	3"	6"	12'
99	Cainto	Chrysophyllum cainito	3"	6"	12'
100	Carrotwood	Cupaniopsis anacardioides	3"	6"	12'
101	Carrotwood	Cupaniopsis anacardioides	3"	6"	12'
102	Madras thorn	Pithecellobium dulce	24"	25'	45'
103	Royal Palm	Roystonia regia	20"	20"	25'
104	Madras thorn	Pithecellobium dulce	12"	20"	25'
105	Royal Palm	Roystonia regia	22"	15'	45'
106	Canary Island date palm	Phoenix canariensis	22"	15'	40'
107	Longleaf pine	Pinus palustris	22"	20'	60'
108	Cainto	Chrysophyllum cainito	3"	6"	12'
109	Cainto	Chrysophyllum cainito	3"	6"	12'
110	Cainto	Chrysophyllum cainito	3"	6"	12'
111	Cainto	Chrysophyllum cainito	3"	6"	12'
112	Boxleaf stopper	Eugenia foetida	3"	3"	10'
113	Solitaire palm	Ptychosperma elegans	4"	5"	10'
114	Boxleaf stopper	Eugenia foetida	3"	3"	10'
115	Black olive	Bucida buceras	36"	35'	85'
116	Cainto	Chrysophyllum cainito	3"	6"	12'

REFERENCE PROPERTY ADDRESSES BY MIAMI-DADE COUNTY PUBLIC RECORDS:

760 Ponce De Leon Boulevard
Coral Gables, Florida 33134-2075

120 Avila Court
Coral Gables, Florida 33134-1840

112 Avila Court
Coral Gables, Florida 33134-1840

FOLD NUMBER(S) BY MIAMI-DADE COUNTY PUBLIC RECORDS:

03 4105 050 1860
03 4105 050 1830
03 4105 050 1840
03 4105 050 1850

LEGAL DESCRIPTION:

PARCEL 1:
Lot 1, and the West 30 feet of Lot 2, Block 18, CORAL GABLES FLAGLER STREET SECTION, according to the plat thereof, as recorded in Plat Book 10, at Page 12, of the Public Records of Miami-Dade County, Florida.

PARCEL 2:
East 10 Feet of Lot 2, and Lots 3 and 4, Block 18, of CORAL GABLES FLAGLER STREET SECTION, according to the Plat thereof, as recorded in Plat Book 10, at Page 12, of the Public Records of Miami-Dade County, Florida.

PARCEL 3:
Lots 5 and 6, Block 18, of CORAL GABLES FLAGLER STREET SECTION, according to the Plat thereof, as recorded in Plat Book 10, at Page 12, of the Public Records of Miami-Dade County, Florida.

PARCEL 4:
Lots 7 through 17, in Block 18, of CORAL GABLES FLAGLER STREET SECTION, according to the Plat thereof, as recorded in Plat Book 10, at Page 12, of the Public Records of Miami-Dade County, Florida.

SURVEYOR'S CERTIFICATE:

To: SSI, LLC, a limited liability company and JCKF Investments, LLC, a Florida limited liability company, Law Offices of Lisbet Campo, P.A., and Old Republic National Title Insurance Company

This is to certify that this map or plat and the survey which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTANSPS Land Title Surveys", jointly established and adopted by ALTA and NSPS in 2021, and include terms 1.2.3.4, 7.03.8.9,

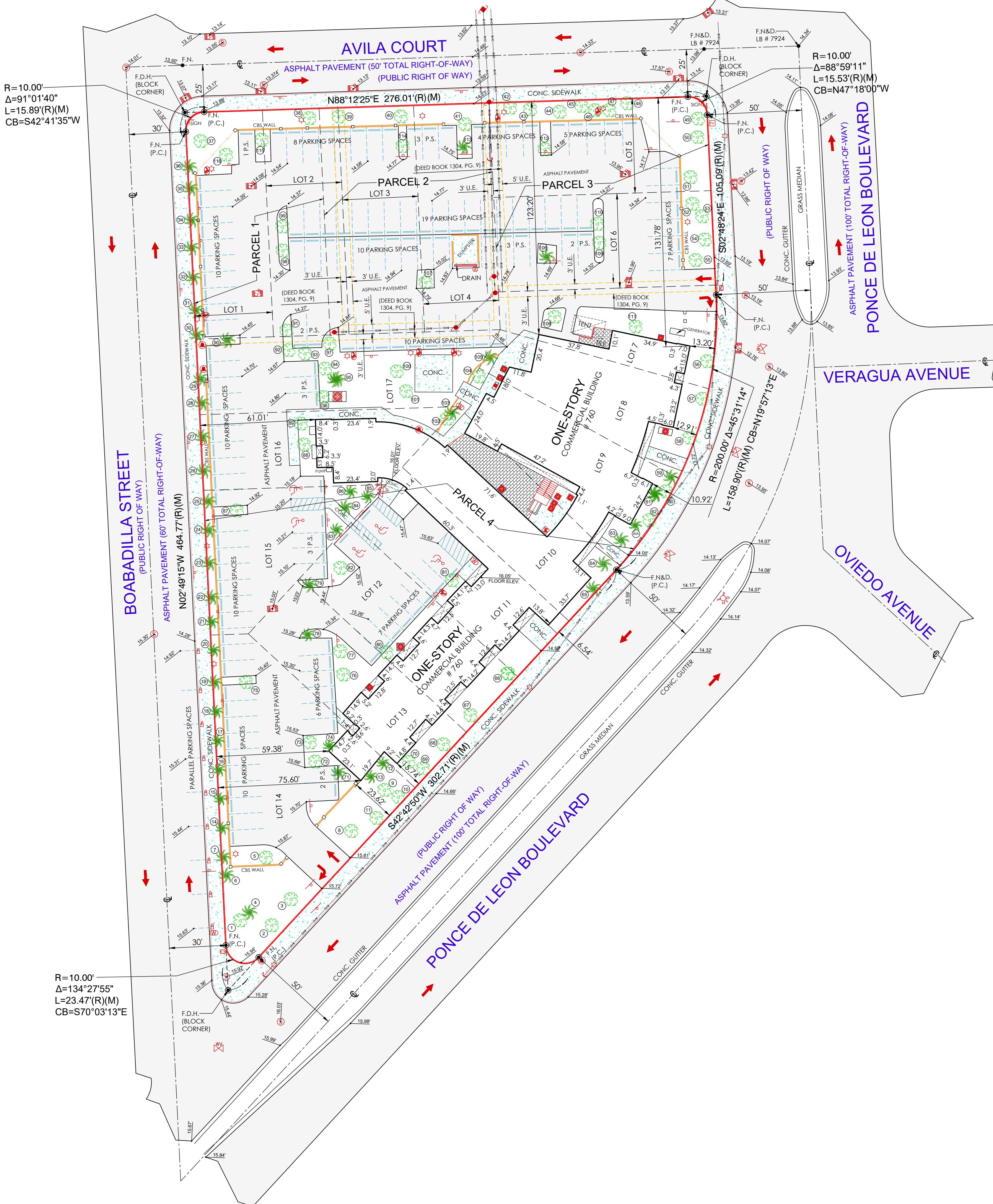
SKETCH OF BOUNDARY SURVEY ALTA / NSPS LAND TITLE SURVEY

LEGEND

(C) = Calculated
CL = Center Line
CONC. = Concrete
CH = Chord Bearing
CBS. = Concrete Block Stucco
 Δ = Delta
F.F.E.L. = Finish Floor Elevation
F.I.P. = Found Iron Pipe
F.I.R. = Found Iron Rod
F.N. = Found Nail
F.N&D. = Found Nail & Disc
F.D.H. = Found Drill Hole
I.D. = Identification
L = Length
(M) = Measured
ML = Monument Line
O/L = On Line
PL = Property Line
(P) = Plat
P.S. = Parking Space
P.C. = Point of Curvature
P.B. = Plat Book
PG. = Page
R = Radius
(R) = Record
R/W = Right of Way
U.E. = Utility Easement

SYMBOLS

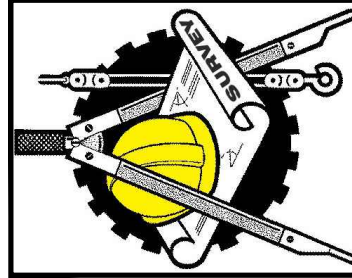
AIR CONDITIONER
 CABLE TV
 CATCH BASIN
 CONCRETE POLE
 ELECTRIC BOX
 MANHOLE
 SIGN
 WATER VALVE
 WATER METER
 WOOD POLE
 ANCHOR
 BOX
 TREE
 PALM
 STORM MANHOLE
 FIRE HYDRANT
 FPL TRANSFORMER
 HANDICAP
 LIGHT POLE
 PARKING METER
 SEWER VALVE
 TELEPHONE BOX
 TRAFFIC FLOW
 EXISTING ELEVATION
 COVERED AREA
 CHAIN LINK FENCE (C.L.F.)
 METAL FENCE (M.F.)
 OVERHEAD LINES
 HAND RAIL
 WOOD FENCE (W.F.)
 WIRE FENCE (WR.F.)
 CBS. WALL



GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.



JORGE L. CABRERA

Professional Surveyor and Mapper

State of Florida

PLS/PSM License No: 6487

2852 S.W. 149th Place, Miami, Florida 33185

Phone: (305) 302-2522 Fax: (305) 207-9537

Email: jorgecabrerapl@gmail.com

No.	Date	Job No.	Description

Prepared for:
**SSI, LLC and
JCKF Investments, LLC**

CHECKED BY:	JLC.
DRAWN BY:	JF / ELF
FIELD DATE:	04/25/2023
DATE:	05/01/2023
SCALE:	1" = 30'
JOB No.	23-7333

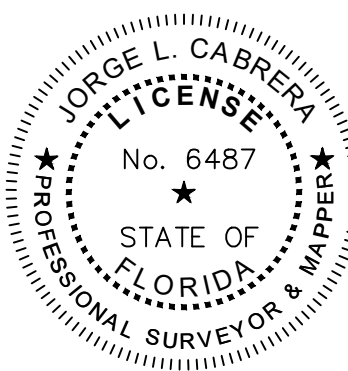
SHEET:
2 OF 2

JORGE L. CABRERA

No. 6487

Professional Surveyor & Mapper, # 6487

State of Florida



SEAL:

ROBERT BEHAR AR No. 14339

760 PONCE

760 PONCE DE LEON BOULEVARD
CORAL GABLES, FL

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LEGAL DESCRIPTION
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PARCEL 4: Lots 7 through 17, in Block 18, of CORAL GABLES FLAGLER STREET SECTION, according to the Plat thereof, as recorded in Plat Book 10, at Page 12, of the Public Records of Miami-Dade County, Florida.
FOLIO No.: 03-4105-050-1830 FOLIO No.: 03-4105-050-1840 FOLIO No.: 03-4105-050-1850 FOLIO No.: 03-4105-050-1860

BUILDING PARKING CALCULATIONS					
	REQUIRED	FTE REQUIRED	PROVIDED	FTE PROVIDED	
RESIDENTIAL PARKING:					
RESIDENTIAL (TOWNHOMES): 2 PARKING SPACES PER UNIT - 4 UNITS - (12,470 SF)	8 (4 PS WITHIN THE UNIT & 4 PS WITHIN THE PARKING GARAGE)	N/A	8 (4 PS WITHIN THE UNIT & 4 PS WITHIN THE PARKING GARAGE)	N/A	
COMMERCIAL PARKING:					
COMMERCIAL: 1 PARKING SPACE / 300 SF - 18,300 SF	61	N/A	61	N/A	
MEDICAL CLINIC OFFICE: 1 PARKING SPACE / 200 SF + 1 PS/ FTE - 88,000 SF (40 FTE)	440	40	440	40	
TOTAL NUMBER OF PARKING SPACES	545		545		
ACCESSIBLE PARKING SPACES	REQUIRED		PROVIDED		
501 - 1,000 SPACES - 2% OF TOTAL VAN ACCESSIBLE (1 PER 6 REQUIRED HC SPACES) = 1.5 REQUIRED	10.9		11		
ELECTRIC VEHICLE PARKING SPACES	REQUIRED		PROVIDED		
ELECTRIC VEHICLE 5% OF THE REQUIRED PARKING	5% x 545 = 27.25		28		
ELECTRIC VEHICLE-READY 15% OF THE REQUIRED PARKING	15% x 545 = 81.75		82		
ELECTRIC VEHICLE-CAPABLE 20% OF THE REQUIRED PARKING	20% x 545 = 109		109		

PARKING SPACES PROVIDED BY FLOOR					
	PARKING SPACES	HANDICAP	ELECTRIC VEHICLE	E-READY	E-CAPABLE
GROUND FLOOR	26	3	7	7	10
BASEMENT	205	3	7	25	33
2ND FLOOR	146	2	7	25	33
3RD FLOOR	167	3	7	25	33
TOTAL	545	11	28	82	109

OVERALL UNIFIED MIXED-USE PROJECT F.A.R. BREAKDOWN PER USE RESIDENTIAL / COMMERCIAL / PROFESSIONAL MEDICAL OFFICE SPACE				
FLOOR	RESIDENTIAL		COMMERCIAL	PROFESSIONAL MEDICAL OFFICE
	MF3	MX1		
GROUND FLOOR	5,008 SF	1,632 SF	18,300 SF	0 SF
BASEMENT	0 SF	0 SF	0 SF	0 SF
2ND FLOOR	4,955 SF	875 SF	0 SF	0 SF
3RD FLOOR	0 SF	0 SF	0 SF	0 SF
4TH FLOOR	0 SF	0 SF	0 SF	44,140 SF
5TH FLOOR	0 SF	0 SF	0 SF	43,860 SF
TOTAL F.A.R. PROVIDED: 118,770 SF (PROPOSED RESIDENTIAL / COMMERCIAL / PROFESSIONAL MEDICAL OFFICE)	9,963 SF (8.4%)	2,507 SF (2.1%)	18,300 SF (15.4%)	88,000 SF (74.1 %)
		108,807 SF		
		118,770 SF		

- MF3 RESIDENTIAL F.A.R.: 85% MAX. (PROVIDED 8.4%)
- MX1 RESIDENTIAL F.A.R.: 85% MAX. (PROVIDED 2.1%)
- MX1 PERCENTAGE COMMERCIAL F.A.R.: 8% MIN.(PROVIDED 15.4%)
- MX1 PROFESSIONAL MEDICAL OFFICE F.A.R.: 85% MAX. (PROVIDED 74.1%)

ZONING INFORMATION	
PROJECT NAME:	760 PONCE DE LEON
PROPERTY ADDRESS:	760 PONCE DE LEON, CORAL GABLES, FL 33134
EXISTING ZONING:	SINGLE-FAMILY RESIDENTIAL (SFR) MIXED USE DISTRICT (MX1)
PROPOSED ZONING APPROVALS:	MULTI FAMILY LOW DENSITY (MF3) / MIXED USE DISTRICT (MX1)
NET LOT AREA: MF3 - BUILDING SITE AREA MINIMUM MX1 - BUILDING SITE AREA MINIMUM	MF3 - PROVIDED: 16,230 SF (0.37 ACRES) MX1 - PROVIDED: 72,912.32 SF (1.68 ACRES) TOTAL: 89,142.32 SF (2.05 ACRES)
FEDERAL FLOOD HAZARD:	ZONE "X"

DENSITY		
	ALLOWED	PROVIDED
MF3 - (AS PER 2-100 CITY OF CORAL GABLES ZONING CODE)	20 DU/ACRE MAX. 20 DU/AC x 0.37 AC = 7.4 DU	4 DU

BUILDING HEIGHT			
HEIGHT	ALLOWED	MEDITERRANEAN BONUS 1	PROVIDED
MF3 - (AS PER 2-100 CITY OF CORAL GABLES ZONING CODE)	45 FT.	N/A	2 STORIES / 31'-0"
MX1 - (AS PER 2-200 CITY OF CORAL GABLES ZONING CODE)	45 FT.	63.5 FT. 5 STORIES	5 STORIES / 61'-8"

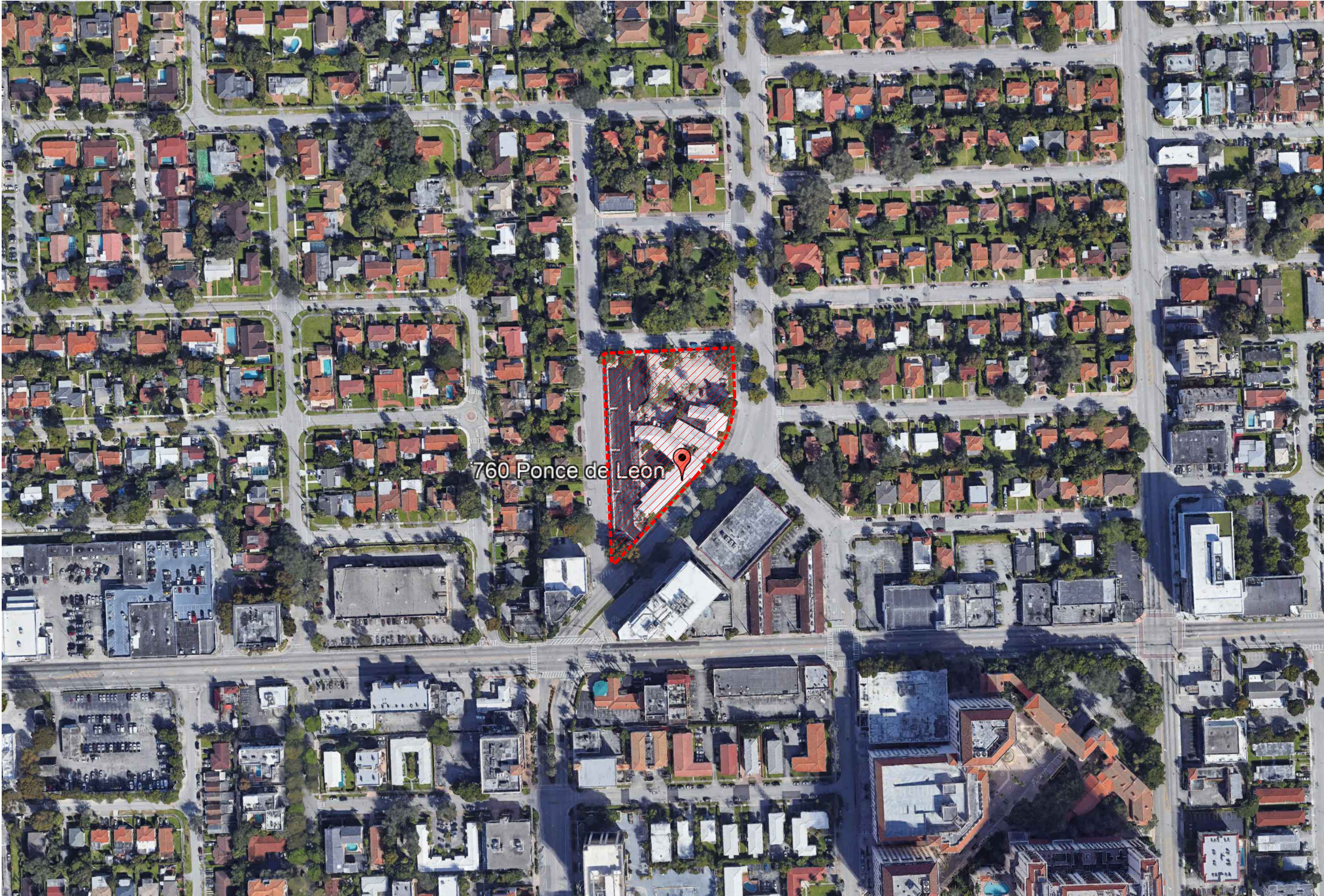
LOT COVERAGE		
	ALLOWED / REQUIRED	PROVIDED
MF3 - (AS PER 2-100 CITY OF CORAL GABLES ZONING CODE)	MAX. 70% OF 16,230 SF @ GROUND LEVEL 16,230 SF x 0.70 = 11,361 SF	5,236 SF (32.2%)
MX1 - (AS PER 2-200 CITY OF CORAL GABLES ZONING CODE)	N/A	61,364 SF (84.1%)
	PROPERTY TOTAL	66,600 SF (74.7%)

OPEN SPACE		
	ALLOWED / REQUIRED	PROVIDED
MF3 - (AS PER 2-100 CITY OF CORAL GABLES ZONING CODE)	MIN. 25% OF 16,230 SF @ GROUND LEVEL 16,230 SF x 0.25 = 4,057.5 SF	10,013 SF (61.7%)
MX1 - (AS PER 2-200 CITY OF CORAL GABLES ZONING CODE)	MIN. 10% OF 72,912.32 SF @ GROUND LEVEL 72,912.32 SF x 0.10 = 7,291.23 SF	10,793 SF (14.8%)
	PAD OPEN SPACE REQUIREMENT: MIN. 20% OF 89,142.32 SF @ GROUND LEVEL 89,142.32 SF x 0.20 = 18,049 SF PROPERTY TOTAL	20,806 SF (23.3%)

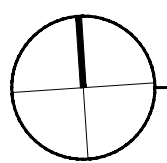
BUILDING SETBACKS		
	ALLOWED / REQUIRED	PROVIDED
MF3 - (AS PER 2-100 CITY OF CORAL GABLES ZONING CODE)	RESIDENTIAL	RESIDENTIAL
FRONT - WEST (BOABADILLA STREET)	10'-0"	15'-0"
SIDE STREET - NORTH (AVILA COURT)	10'-0"	10'-0"
MX1 - (AS PER 2-200 CITY OF CORAL GABLES ZONING CODE)	COMMERCIAL/MED. OFFICE	COMMERCIAL/MED. OFFICE
FRONT - EAST (PONCE DE LEON BOULEVARD)	0'-0" UP TO 45'-0" 10'-0" ABOVE 45'-0"	10'-0" UP TO HEIGHT 32'-8" 13'-6" FROM HEIGHT 32'-8" THRU 61'-8" 30'-5" at balcony to HEIGHT 60'-8"
SIDE STREET - WEST (BOABADILLA STREET)	0'-0" UP TO 45'-0" 10'-0" ABOVE 45'-0"	55'-4" FROM HEIGHT 32'-8" THRU 61'-8"
SIDE STREET - NORTH (AVILA COURT)	0'-0" UP TO 45'-0" 10'-0" ABOVE 45'-0"	10'-0" UP TO HEIGHT 32'-8" 30'-0" FROM HEIGHT 32'-8 THRU 61'-8"

MAXIMUM F.A.R.		
MF3 - (AS PER 2-100 CITY OF CORAL GABLES ZONING CODE)	ALLOWED / REQUIRED	PROVIDED
BASE: 16,230 SF	N/A (16,230 SF)	9,963 SF (0.61)
MX1 - (AS PER 2-200 CITY OF CORAL GABLES ZONING CODE)		
BASE: 72,912.32 SF x 3.0	218,736.96 SF 3.0	108,807 SF (1.49)
MEDITERRANEAN DESIGN BONUS: 72,912.32 SF x 0.5	36,456.16 SF 0.5	
TOTAL	255,193.12 SF 3.5	
TOTAL AVAILABLE (MF3 & MX1 COMBINED)	271,423.12 SF	118,770 SF

ZONING INFORMATION



 SITE

 CONTEXT MAP

SCALE: NTS

SEAL:

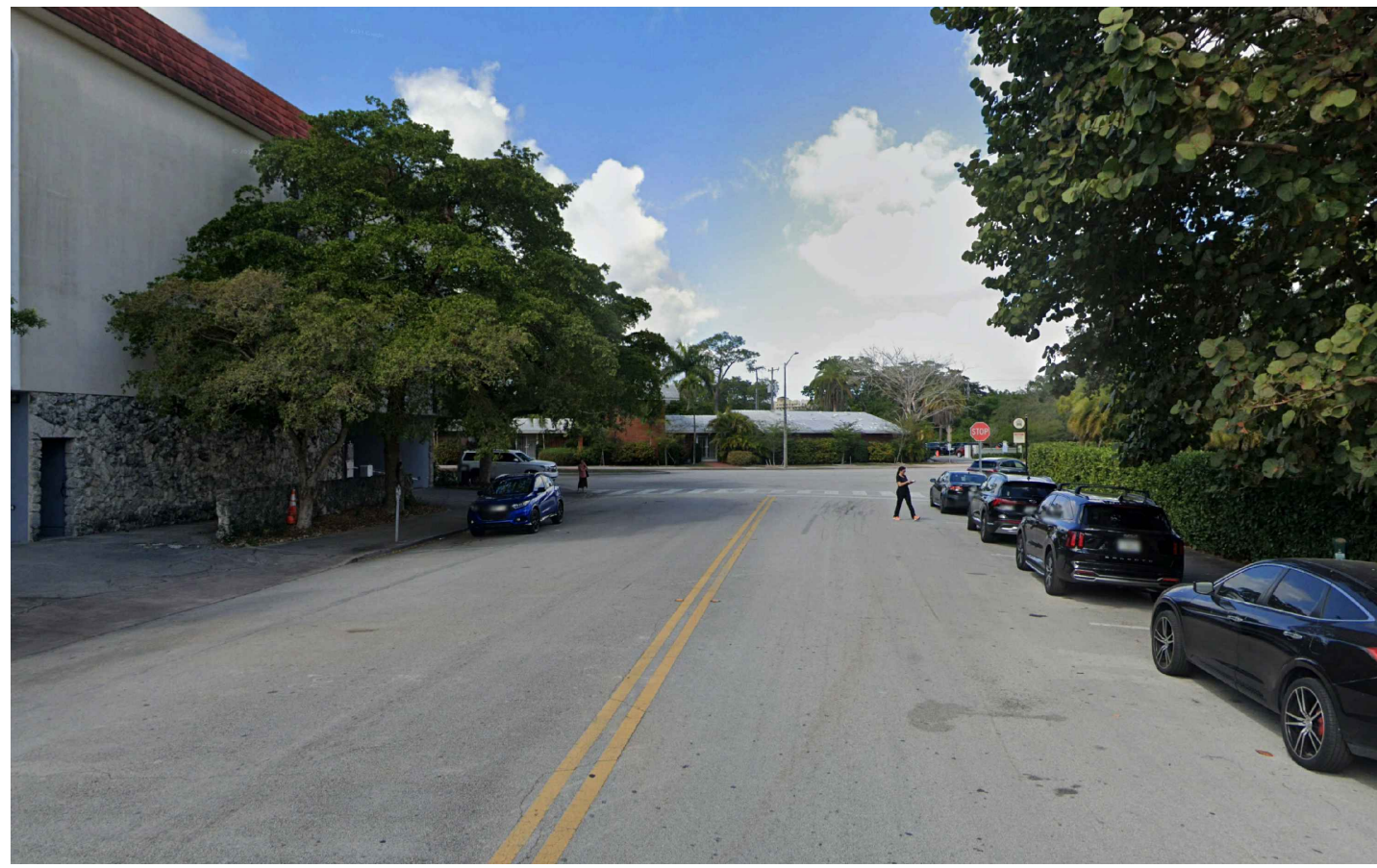
ROBERT BEHAR AR No. 14339

760 PONCE
760 PONCE DE LEON BOULEVARD
CORAL GABLES, FL

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DATE: 07.01.25
PROJECT NO: 22-040
DRAWING NAME:
SHEET NO:

CP-1.01



1



2



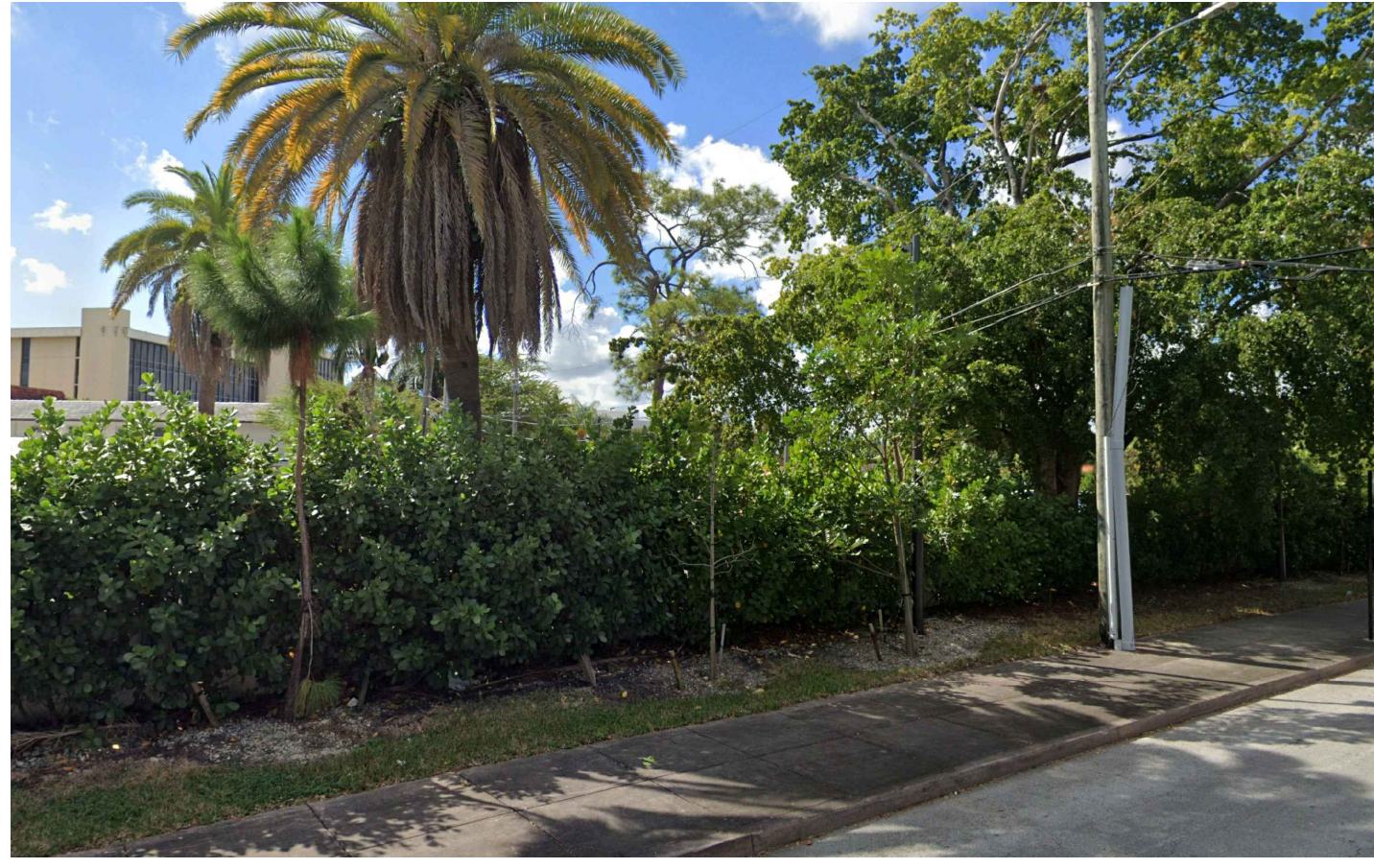
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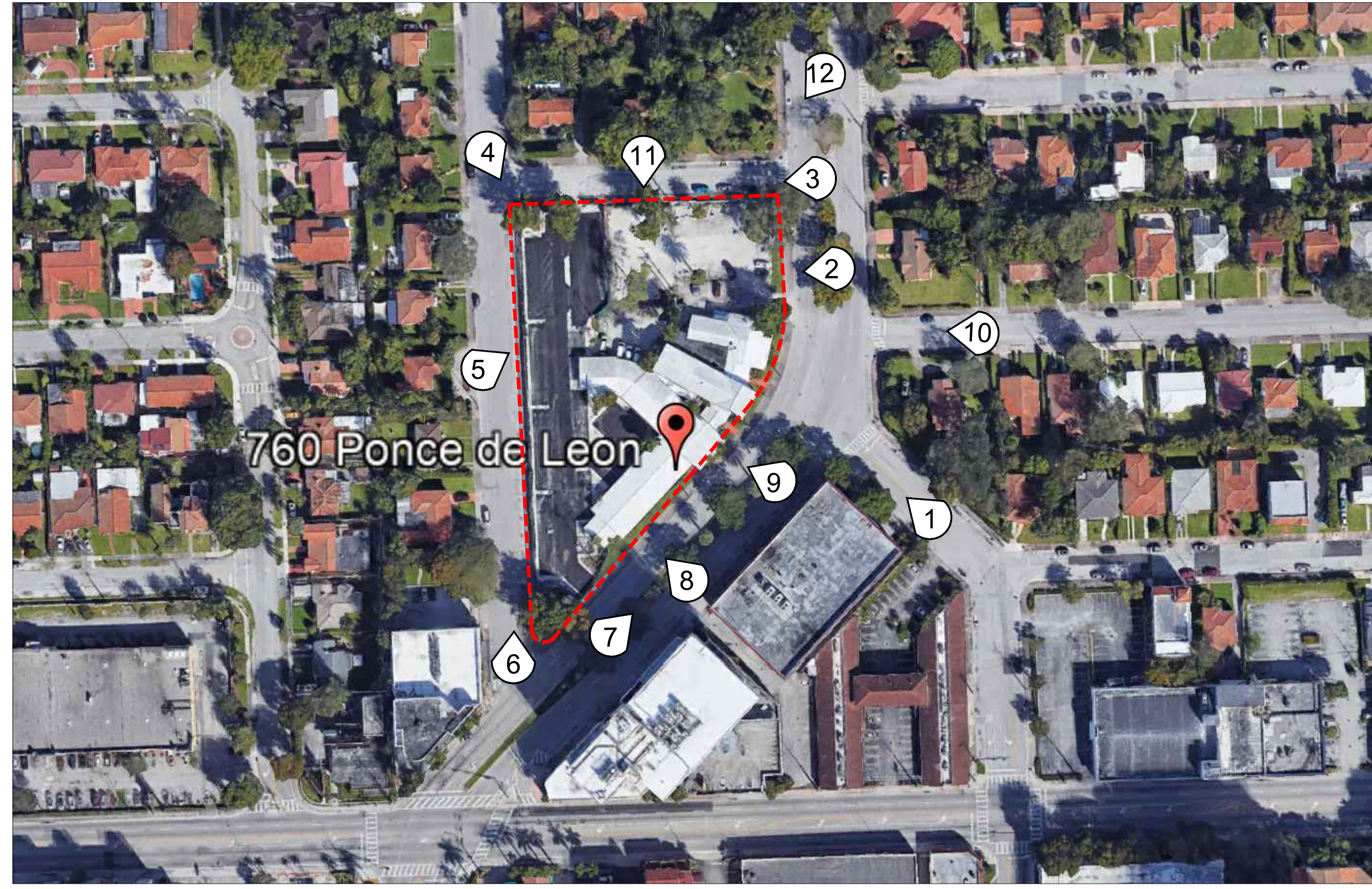
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11



10



9



8



7



5



6

SEAL:

ROBERT BEHAR AR No. 14339

760 PONCE
760 PONCE DE LEON BOULEVARD
CORAL GABLES, FL

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DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

CP-1.02

SITE PHOTOGRAPHS

SCALE: NTS

SITE

SEAL:

ROBERT BEHAR AR No. 14339

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760 PONCE DE LEON BOULEVARD
CORAL GABLES, FL

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DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

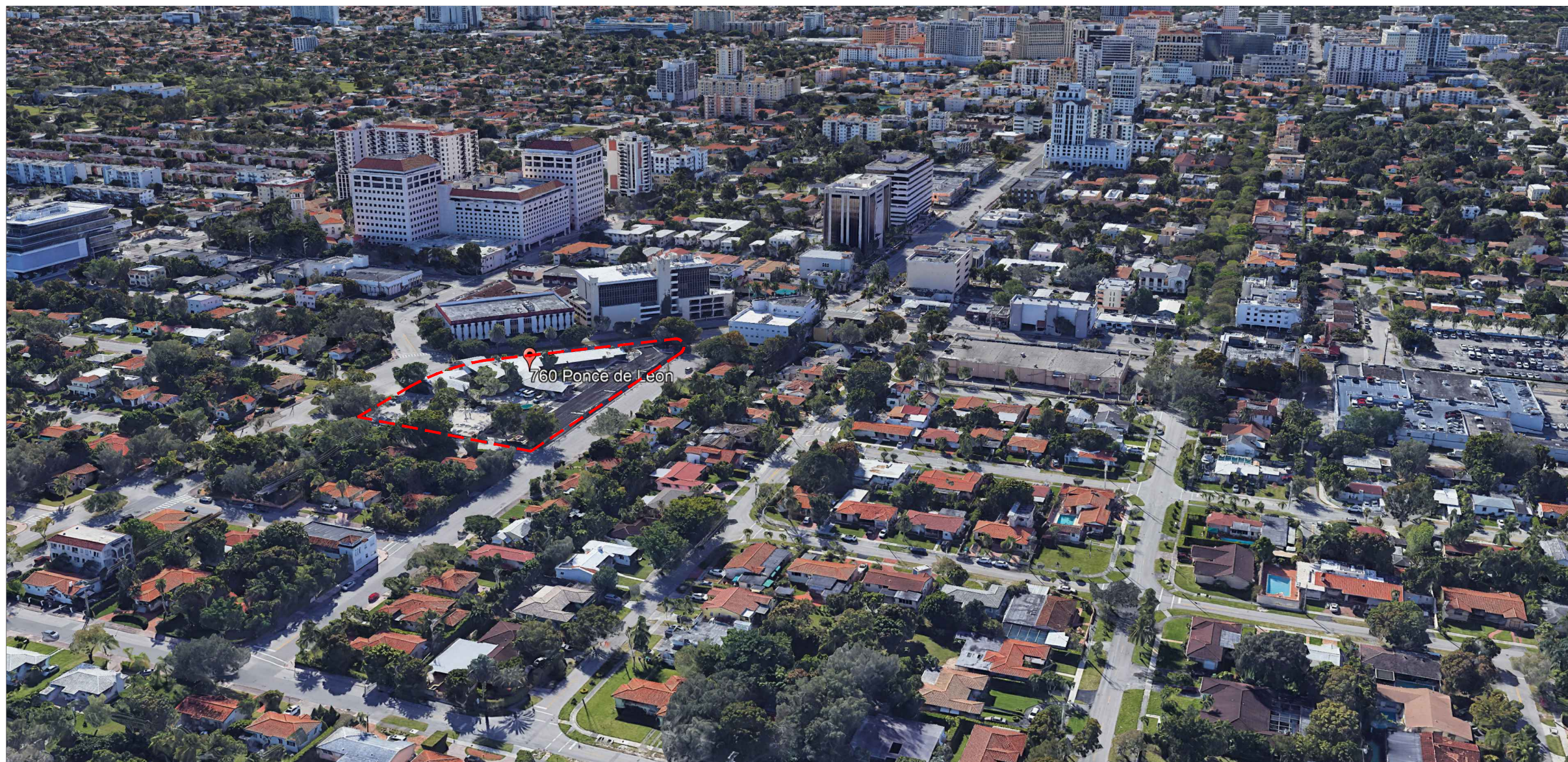
CP-1.03



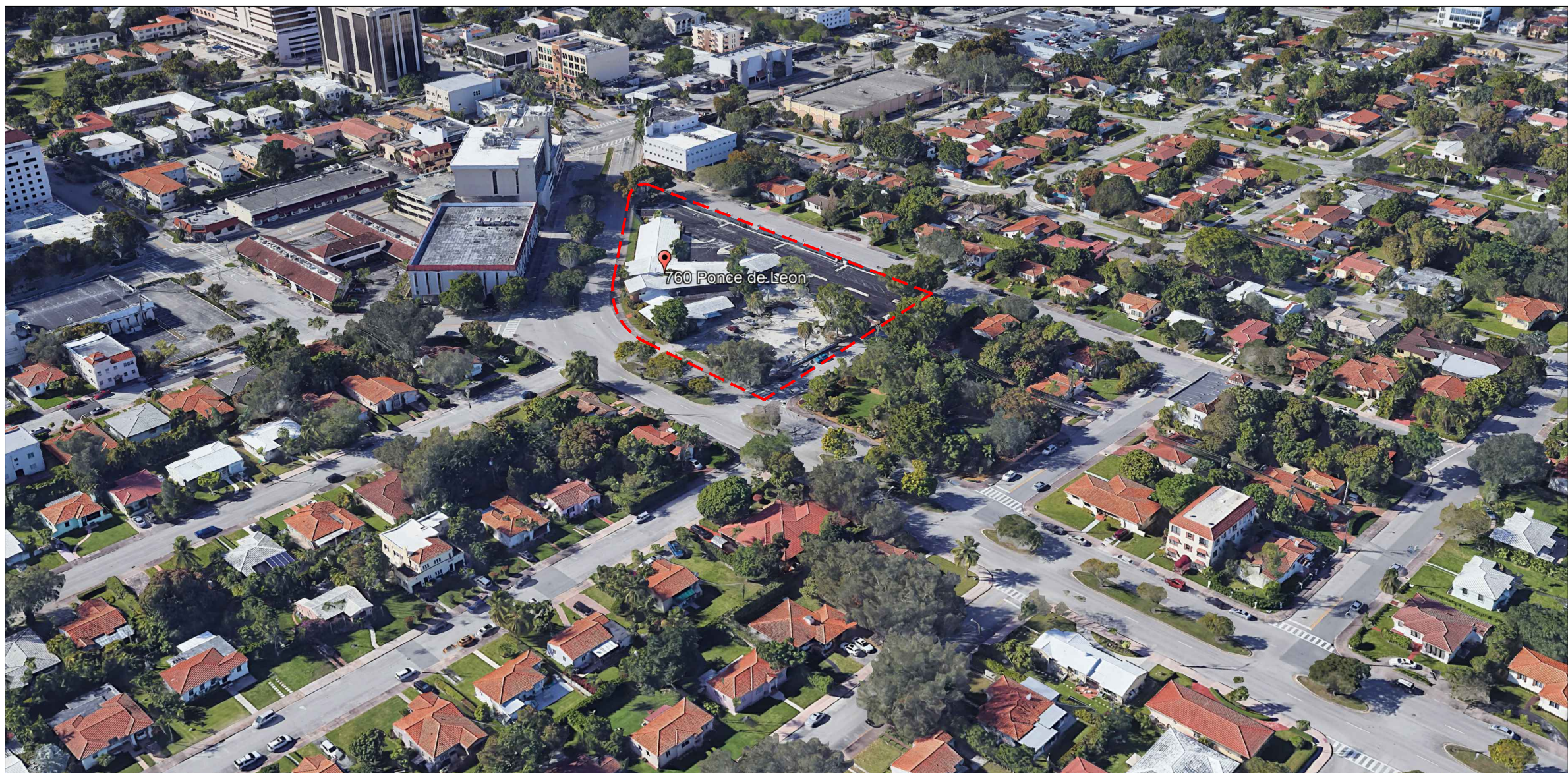
VIEW FROM SOUTHWEST
SCALE: NTS



VIEW FROM SOUTHEAST
SCALE: NTS



VIEW FROM NORTHWEST
SCALE: NTS



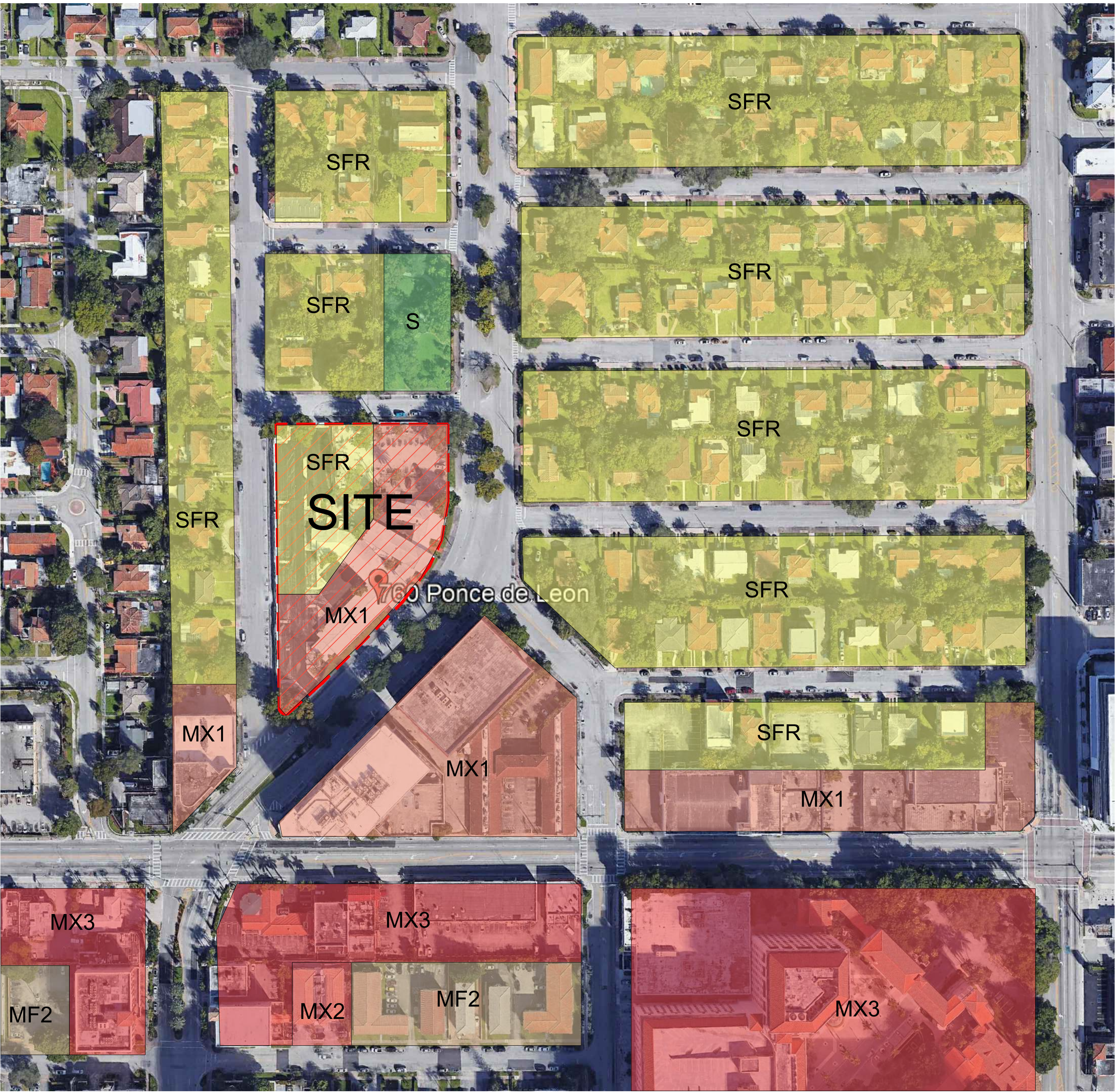
VIEW FROM NORTHWEST
SCALE: NTS



SITE

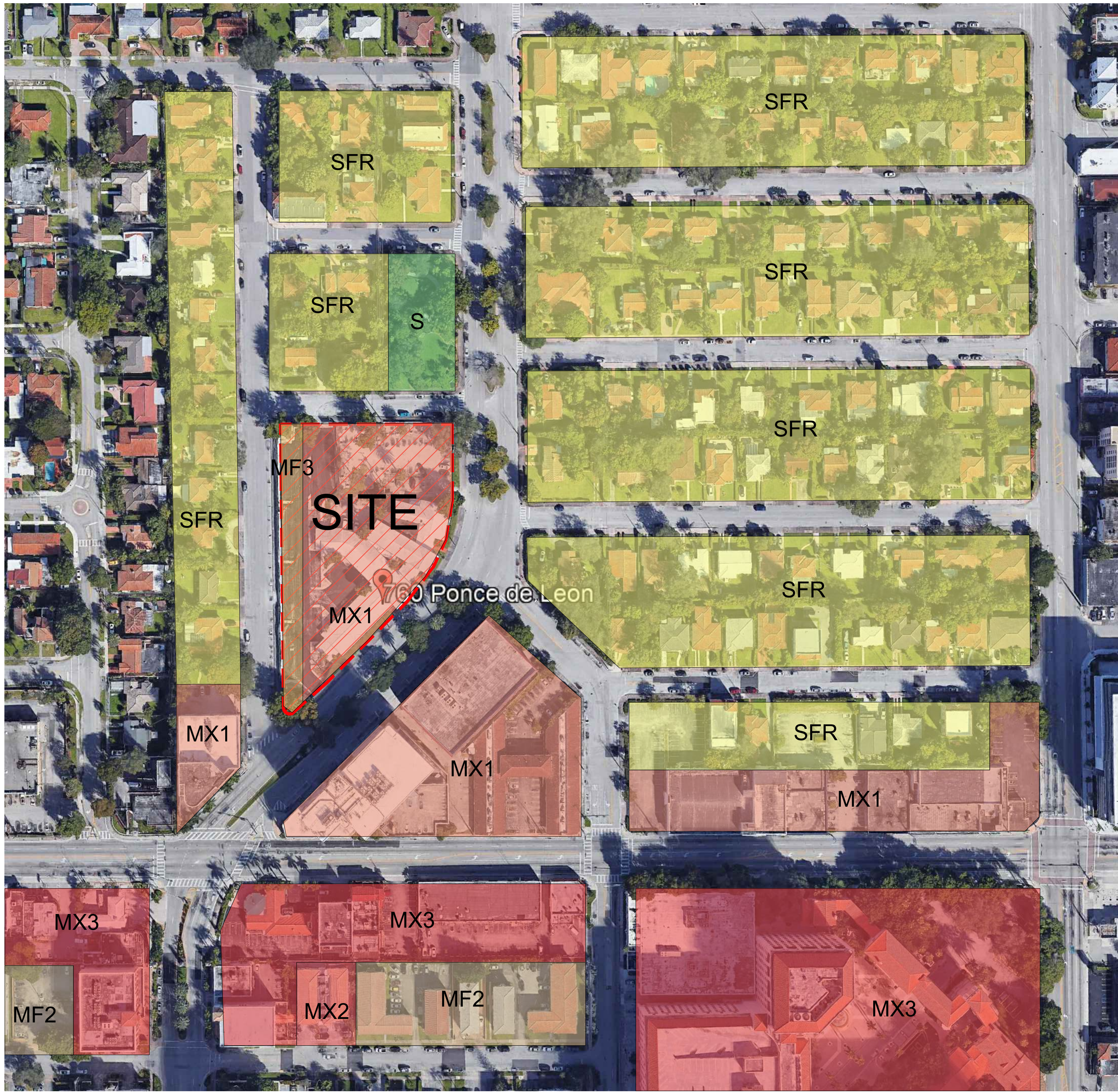
AERIAL PHOTOGRAPHS

SCALE: NTS



CITY OF CORAL GABLES ZONING:

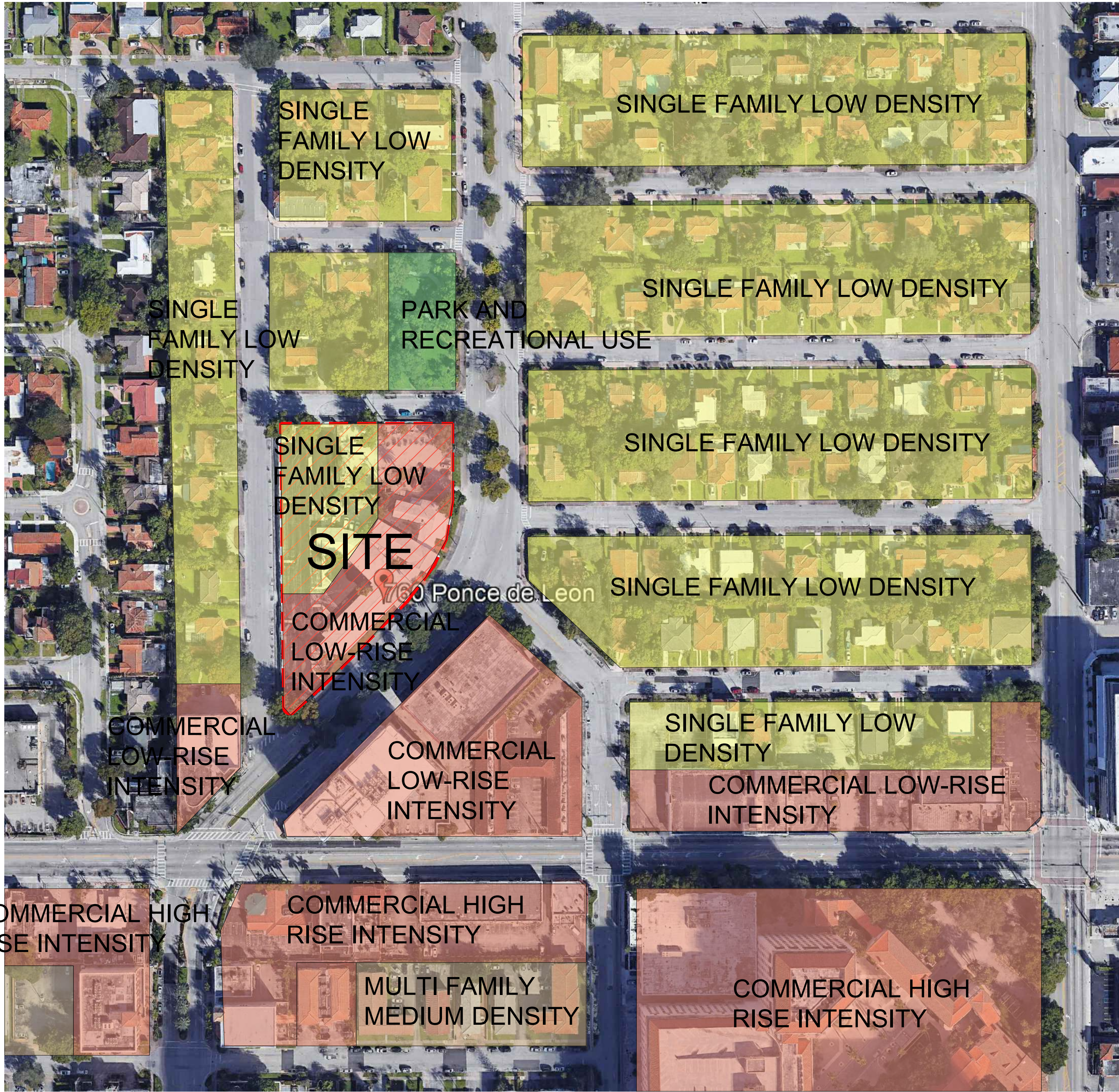
	SFR		MX1
	S		MX2
	MF2		MX3



PROPOSED ZONING:

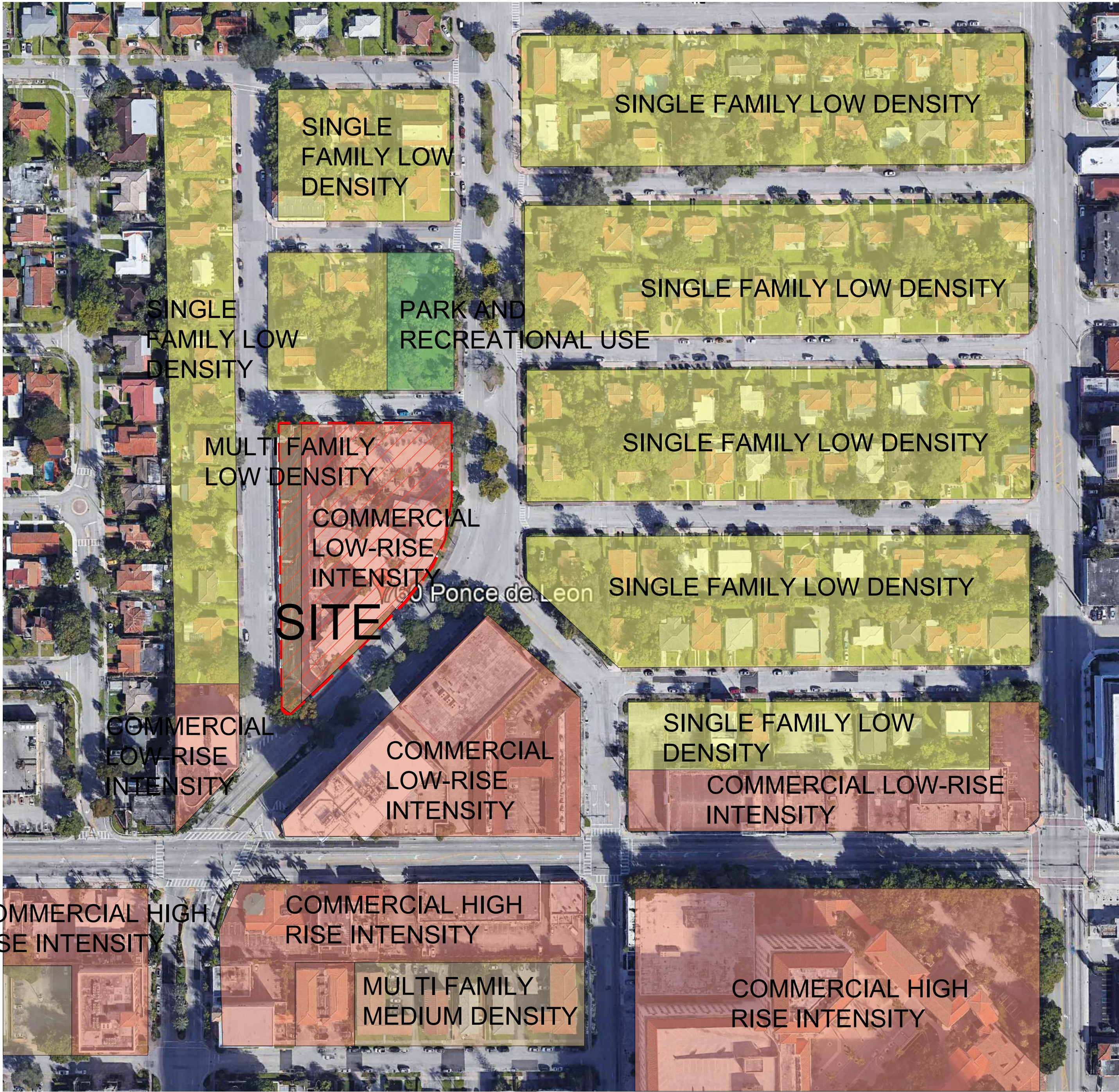
	SFR		MX1
	S		MX2
	MF2		MX3
	MF3		

ZONING MAP



CITY OF CORAL GABLES EXISTING LAND USE:

- SINGLE FAMILY LOW DENSITY
- PARK AND RECREATIONAL USE
- COMMERCIAL LOW-RISE INTENSITY
- COMMERCIAL HIGH RISE INTENSITY
- MULTI FAMILY MEDIUM DENSITY



PROPOSED LAND USE:

- MULTI FAMILY LOW DENSITY
- COMMERCIAL LOW-RISE INTENSITY

SEAL :

ROBERT BEHAR AR No. 14339

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760 PONCE
760 PONCE DE LEON BOULEVARD
CORAL GABLES, FL

DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

A-0.03.1



MEDITERRANEAN BONUS TABLE 1 - REQUIRED STANDARDS

REFERENCE NUMBER	TYPE	REQUIREMENTS	REFERENCE NUMBER	TYPE	REQUIREMENTS	REFERENCE NUMBER	TYPE	REQUIREMENTS
1	ARCHITECTURAL ELEMENTS ON BUILDING FACADES	SIMILAR EXTERIOR ARCHITECTURAL RELIEF ELEMENTS SHALL BE PROVIDED ON ALL SIDES OF ALL BUILDINGS. NO BLANK WALLS SHALL BE PERMITTED UNLESS REQUIRED PURSUANT TO APPLICABLE CITY, STATE AND FEDERAL REQUIREMENTS (I.E., FIRE AND LIFE SAFETY CODE, ETC). PARKING GARAGES SHALL INCLUDE EXTERIOR ARCHITECTURAL TREATMENTS COMPATIBLE WITH BUILDINGS OR STRUCTURES THAT OCCUPY THE SAME PROPERTY AND/OR STREET.	4	BICYCLE STORAGE	TO ENCOURAGE THE USE OF BICYCLES, BICYCLE STORAGE FACILITIES (RACKS) SHALL BE PROVIDED. A MINIMUM OF FIVE (5) BICYCLE STORAGE SPACES SHALL BE PROVIDED FOR EACH TWO HUNDRED AND FIFTY (250) PARKING SPACES OR FRACTION THEREOF.	10	PARKING GARAGES	GROUND FLOOR PARKING AS A PART OF A MULTI-USE BUILDING SHALL NOT FRONT ON A PRIMARY STREET. ADA PARKING IS PERMITTED ON THE GROUND FLOOR. GROUND FLOOR PARKING IS PERMITTED ON SECONDARY/SIDE STREETS AND SHALL BE FULLY ENCLOSED WITHIN THE STRUCTURE AND/OR SHALL BE SURROUNDED BY RETAIL USES AND/OR RESIDENTIAL UNITS. GROUND FLOOR PARKING IS PERMITTED ON ALLEY FRONTAGES. PARKING FACILITIES SHALL STRIVE TO ACCOMMODATE PEDESTRIAN ACCESS TO ALL ADJACENT STREET(S) AND ALLEYS.
REQUIREMENT SATISFIED		All sides of the building contain similar exterior architectural relief elements. The building does not have any blank facades and the parking garage includes exterior architectural treatment compatible with the building. See adjacent elevations.	REQUIREMENT SATISFIED		515 parking spaces required / 250 = 2.06 (3 bicycle storage spaces required). Bicycle storage has been provided within the ground floor at the plaza and at the North East corner of the building. Total of 24 bicycle spaces provided. See diagram on Sheet A-1.0	REQUIREMENT SATISFIED		Parking is fully concealed within the structure.
2	ARCHITECTURAL RELIEF ELEMENTS AT STREET LEVEL	ON ANY BUILDING FACADES FRONTING STREETS, WHERE AN ADJOINING PEDESTRIAN SIDEWALK IS LOCATED, ONE (1) OR MORE OF THE FOLLOWING DESIGN FEATURES SHALL BE INCLUDED AT THE STREET LEVEL: A. DISPLAY WINDOWS OR RETAIL DISPLAY AREA; B. LANDSCAPING; AND/OR C. ARCHITECTURAL RELIEF ELEMENTS OR ORNAMENTATION.	5	BUILDING FACADES	FACADES IN EXCESS OF ONE HUNDRED AND FIFTY (150) FEET IN LENGTH SHALL INCORPORATE VERTICAL BREAKS, STEPBACKS OR VARIATIONS IN BULK/MASSING AT A MINIMUM OF ONE HUNDRED (100) FOOT INTERVALS.	11	PORTE-COCHERES	PORTE-COCHERES ARE PROHIBITED ACCESS TO/FROM PONCE DE LEON BOULEVARD FROM S.W. 8TH STREET TO BIRD ROAD, MIRACLE MILE FROM DOUGLAS AVENUE TO LEJEUNE ROAD, AND ALHAMBRA CIRCLE FROM DOUGLAS AVENUE TO LEJEUNE ROAD.
REQUIREMENT SATISFIED		All building street level facades fronting Ponce De Leon Blvd. include architectural relief elements thru the articulation of store fronts for retail space, and the use of natural stone at the base of the entire building.	6	BUILDING LOT COVERAGE	NO MINIMUM OR MAXIMUM BUILDING LOT COVERAGE IS REQUIRED.	REQUIREMENT SATISFIED		There are not Porte-Cocheres.
3	ARCHITECTURAL ELEMENTS LOCATED ON THE TOP OF THE BUILDING	EXCLUSION FROM HEIGHT. THE FOLLOWING SHALL BE EXCLUDED FROM COMPUTATION OF BUILDING HEIGHT IN C, A AND M-USE DISTRICTS: A. AIR-CONDITIONING EQUIPMENT ROOM. B. ELEVATOR SHAFTS. C. ELEVATOR MECHANICAL EQUIPMENT ROOMS. D. PARAPETS. ROOF STRUCTURES USED ONLY FOR ORNAMENTAL AND/OR AESTHETIC PURPOSES NOT EXCEEDING A COMBINED AREA OF TWENTY-FIVE (25%) PERCENT OF THE FLOOR AREA IMMEDIATELY BELOW. SUCH EXCLUSION SHALL BE SUBJECT TO THE PROVISIONS THAT NO SUCH STRUCTURE SHALL EXCEED A HEIGHT OF MORE THAN TWENTY-FIVE (25) FEET ABOVE THE ROOF, EXCEPT FOR COMMERCIAL BUILDINGS IN THE CENTRAL BUSINESS DISTRICT (CBD) WHERE NO SUCH STRUCTURE SHALL EXCEED ONE-THIRD (1/3) OF THE ALLOWABLE TOTAL BUILDING HEIGHT.	7	DRIVE THROUGH FACILITIES	DRIVE THROUGH FACILITIES INCLUDING BUT NOT LIMITED TO BANKING FACILITIES, RESTAURANTS, PHARMACIES, DRY CLEANERS, ETC. ARE PROHIBITED ACCESS TO/FROM PONCE DE LEON BOULEVARD FROM S.W. 8TH STREET TO BIRD ROAD, MIRACLE MILE FROM DOUGLAS AVENUE TO LEJEUNE ROAD, AND ALHAMBRA CIRCLE FROM DOUGLAS AVENUE TO LEJEUNE ROAD.	12	SIDEWALKS / PEDESTRIAN ACCESS	ALL BUILDINGS, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE THEIR MAIN PEDESTRIAN ENTRANCES ORIENTED TOWARDS ADJOINING STREETS. PEDESTRIAN PATHWAYS AND/OR SIDEWALKS SHALL BE PROVIDED FROM ALL PEDESTRIAN ACCESS POINTS AND SHALL CONNECT TO ONE ANOTHER TO FORM A CONTINUOUS PEDESTRIAN NETWORK FROM BUILDINGS, PARKING FACILITIES, PARKING GARAGES ENTRANCES, ETC. WHEREVER POSSIBLE PATHWAYS SHALL BE SEPARATED FROM VEHICULAR TRAFFIC.
REQUIREMENT SATISFIED		Roof structures are designed as parapets roofs with decorative cornice to emphasize the Mediterranean style architecture seen in buildings like the The Federal Court House. These roofs are for aesthetic purposes and do not exceed a combined area of 25% of the floor area immediately below.	8	LANDSCAPE OPEN SPACE AREA	EACH PROPERTY SHALL PROVIDE THE FOLLOWING MINIMUM LANDSCAPE OPEN AREA (PERCENTAGE BASED UPON TOTAL LOT AREA): A. FIVE (5%) PERCENT FOR NONRESIDENTIAL PROPERTIES; B. TEN (10%) PERCENT FOR MIXED USE PROPERTIES; AND C. TWENTY-FIVE (25%) PERCENT FOR RESIDENTIAL PROPERTIES. THE TOTAL AREA SHALL BE BASED UPON THE TOTAL LOT AREA. THIS LANDSCAPE AREA CAN BE PROVIDED AT STREET LEVEL, WITHIN THE PUBLIC RIGHT-OF-WAY, ELEVATED AREAS, PLANTER BOXES, PLANTERS, ETC.	REQUIREMENT SATISFIED		The building has its main pedestrian entrance oriented towards the east side of the lot on Ponce De Leon Blvd. In addition, it has been added a pathway on the east side of the building towards the north portion of the building connecting Avila Ct. and the proposed park on the corner of Avila Ct. and Boabadilla Street.
REQUIREMENT SATISFIED			REQUIREMENT SATISFIED		As per MXD Landscape open space required spice is 10% 0.1 x 72,912.32 = 7,291.23 SF min. Landscape open space provided for MX1 - 10,793 SF (14.8%)	13	SOIL, STRUCTURAL	STRUCTURAL SOIL SHALL BE UTILIZED WITHIN ALL RIGHTS-OF-WAY FOR ALL STREET LEVEL PLANTING AREAS WITH ROOT BARRIERS APPROVED BY THE PUBLIC SERVICE DEPARTMENT.
REQUIREMENT SATISFIED			9	STREET LIGHTING	STREET LIGHTING SHALL BE PROVIDED AND LOCATED ON ALL STREETS/RIGHTS-OF-WAY. THE TYPE OF FIXTURE SHALL BE THE APPROVED CITY OF CORAL GABLES LIGHT FIXTURE AND LOCATION/SPACING, ETC. SHALL BE THE SUBJECT TO REVIEW AND APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS.	REQUIREMENT SATISFIED		The project will comply with this requirement.
REQUIREMENT SATISFIED			REQUIREMENT SATISFIED		Lighting will be provided as required by the City of Coral Gables.	14	WINDOWS ON MEDITERRANEAN BUILDINGS	MEDITERRANEAN BUILDINGS SHALL PROVIDE A MINIMUM WINDOW CASING DEPTH OF FOUR (4) INCHES AS MEASURED FROM THE FACE OF THE BUILDING.
REQUIREMENT SATISFIED			REQUIREMENT SATISFIED			REQUIREMENT SATISFIED		Window casing is being provided in all four building facades with a minimum casing depth of 4 inches or more measured from the face of the building.

SEAL :

ROBERT BEHAR AR No. 14339

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760 PONCE
760 PONCE DE LEON BOULEVARD
CORAL GABLES, FL



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REQUIREMENT SATISFIED		All sides of the building contain similar exterior architectural relief elements. The building does not have any blank facades and the parking garage includes exterior architectural treatment compatible with the building. See adjacent elevations.	REQUIREMENT SATISFIED		515 parking spaces required / 250 = 2.06 (3 bicycle storage spaces required). Bicycle storage has been provided within the ground floor at the plaza and at the North East corner of the building. Total of 24 bicycle spaces provided. See diagram on Sheet A-1.0	REQUIREMENT SATISFIED		Parking is fully concealed within the structure.
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REQUIREMENT SATISFIED		All building street level facades fronting Ponce De Leon Blvd. include architectural relief elements thru the articulation of store fronts for retail space, and the use of natural stone at the base of the entire building.	REQUIREMENT SATISFIED		All facades incorporate vertical breaks, stepbacks, with variations using doors and clearstory windows to reference the harmonious rhythm of historical references as 725 Continental Hotel in Buenos Aires. See adjacent diagram.	REQUIREMENT SATISFIED		There are not Porte-Cocheres.
3	ARCHITECTURAL ELEMENTS LOCATED ON THE TOP OF THE BUILDING	EXCLUSION FROM HEIGHT. THE FOLLOWING SHALL BE EXCLUDED FROM COMPUTATION OF BUILDING HEIGHT IN C, A AND M-USE DISTRICTS: A. AIR-CONDITIONING EQUIPMENT ROOM. B. ELEVATOR SHAFTS. C. ELEVATOR MECHANICAL EQUIPMENT ROOMS. D. PARAPETS. ROOF STRUCTURES USED ONLY FOR ORNAMENTAL AND/OR AESTHETIC PURPOSES NOT EXCEEDING A COMBINED AREA OF TWENTY-FIVE (25%) PERCENT OF THE FLOOR AREA IMMEDIATELY BELOW. SUCH EXCLUSION SHALL BE SUBJECT TO THE PROVISIONS THAT NO SUCH STRUCTURE SHALL EXCEED A HEIGHT OF MORE THAN TWENTY-FIVE (25) FEET ABOVE THE ROOF, EXCEPT FOR COMMERCIAL BUILDINGS IN THE CENTRAL BUSINESS DISTRICT (CBD) WHERE NO SUCH STRUCTURE SHALL EXCEED ONE-THIRD (1/3) OF THE ALLOWABLE TOTAL BUILDING HEIGHT.	6	BUILDING LOT COVERAGE	NO MINIMUM OR MAXIMUM BUILDING LOT COVERAGE IS REQUIRED.	12	SIDEWALKS / PEDESTRIAN ACCESS	ALL BUILDINGS, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE THEIR MAIN PEDESTRIAN ENTRANCES ORIENTED TOWARDS ADJOINING STREETS. PEDESTRIAN PATHWAYS AND/OR SIDEWALKS SHALL BE PROVIDED FROM ALL PEDESTRIAN ACCESS POINTS AND SHALL CONNECT TO ONE ANOTHER TO FORM A CONTINUOUS PEDESTRIAN NETWORK FROM BUILDINGS, PARKING FACILITIES, PARKING GARAGES ENTRANCES, ETC. WHEREVER POSSIBLE PATHWAYS SHALL BE SEPARATED FROM VEHICULAR TRAFFIC.
REQUIREMENT SATISFIED		Roof structures are designed as parapets roofs with decorative cornice to emphasize the Mediterranean style architecture seen in buildings like the The Federal Court House. These roofs are for aesthetic purposes and do not exceed a combined area of 25% of the floor area immediately below.	REQUIREMENT SATISFIED		Acknowledged.	REQUIREMENT SATISFIED		The building has its main pedestrian entrance oriented towards the east side of the lot on Ponce De Leon Blvd. In addition, it has been added a pathway on the east side of the building towards the north portion of the building connecting Avila Ct. and the proposed park on the corner of Avila Ct. and Boabadilla Street.
			7	DRIVE THROUGH FACILITIES	DRIVE THROUGH FACILITIES INCLUDING BUT NOT LIMITED TO BANKING FACILITIES, RESTAURANTS, PHARMACIES, DRY CLEANERS, ETC. ARE PROHIBITED ACCESS TO/FROM PONCE DE LEON BOULEVARD FROM S.W. 8TH STREET TO BIRD ROAD, MIRACLE MILE FROM DOUGLAS AVENUE TO LEJEUNE ROAD, AND ALHAMBRA CIRCLE FROM DOUGLAS AVENUE TO LEJEUNE ROAD.	13	SOIL, STRUCTURAL	STRUCTURAL SOIL SHALL BE UTILIZED WITHIN ALL RIGHTS-OF-WAY FOR ALL STREET LEVEL PLANTING AREAS WITH ROOT BARRIERS APPROVED BY THE PUBLIC SERVICE DEPARTMENT.
			REQUIREMENT SATISFIED		No drive through facilities are provided.	REQUIREMENT SATISFIED		The project will comply with this requirement.
			8	LANDSCAPE OPEN SPACE AREA	EACH PROPERTY SHALL PROVIDE THE FOLLOWING MINIMUM LANDSCAPE OPEN AREA (PERCENTAGE BASED UPON TOTAL LOT AREA): A. FIVE (5%) PERCENT FOR NONRESIDENTIAL PROPERTIES; B. TEN (10%) PERCENT FOR MIXED USE PROPERTIES; AND C. TWENTY-FIVE (25%) PERCENT FOR RESIDENTIAL PROPERTIES. THE TOTAL AREA SHALL BE BASED UPON THE TOTAL LOT AREA. THIS LANDSCAPE AREA CAN BE PROVIDED AT STREET LEVEL, WITHIN THE PUBLIC RIGHT-OF-WAY, ELEVATED AREAS, PLANTER BOXES, PLANTERS, ETC.	14	WINDOWS ON MEDITERRANEAN BUILDINGS	MEDITERRANEAN BUILDINGS SHALL PROVIDE A MINIMUM WINDOW CASING DEPTH OF FOUR (4) INCHES AS MEASURED FROM THE FACE OF THE BUILDING.
			REQUIREMENT SATISFIED		As per MXD Landscape open space required spice is 10% 0.1 x 72,912.32 = 7,291.23 SF min. Landscape open space provided for MX1 - 10,793 SF (14.8%)	REQUIREMENT SATISFIED		Window casing is being provided in all four building facades with a minimum casing depth of 4 inches or more measured from the face of the building.
			9	STREET LIGHTING	STREET LIGHTING SHALL BE PROVIDED AND LOCATED ON ALL STREETS/RIGHTS-OF-WAY. THE TYPE OF FIXTURE SHALL BE THE APPROVED CITY OF CORAL GABLES LIGHT FIXTURE AND LOCATION/SPACING, ETC. SHALL BE THE SUBJECT TO REVIEW AND APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS.			
			REQUIREMENT SATISFIED		Lighting will be provided as required by the City of Coral Gables.			

SEAL :

ROBERT BEHAR AR No. 14339

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760 PONCE
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CORAL GABLES, FL

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REFERENCE NUMBER	TYPE	REQUIREMENTS	REFERENCE NUMBER	TYPE	REQUIREMENTS	REFERENCE NUMBER	TYPE	REQUIREMENTS
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REQUIREMENT SATISFIED		All sides of the building contain similar exterior architectural relief elements. The building does not have any blank facades and the parking garage includes exterior architectural treatment compatible with the building. See adjacent elevations.	REQUIREMENT SATISFIED		515 parking spaces required / 250 = 2.06 (3 bicycle storage spaces required). Bicycle storage has been provided within the ground floor at the plaza and at the North East corner of the building. Total of 24 bicycle spaces provided. See diagram on Sheet A-1.0	REQUIREMENT SATISFIED		Parking is fully concealed within the structure.
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REQUIREMENT SATISFIED			REQUIREMENT SATISFIED		As per MXD Landscape open space required spice is 10% 0.1 x 72,912.32 = 7,291.23 SF min. Landscape open space provided for MX1 - 10,793 SF (14.8%)	13	SOIL, STRUCTURAL	STRUCTURAL SOIL SHALL BE UTILIZED WITHIN ALL RIGHTS-OF-WAY FOR ALL STREET LEVEL PLANTING AREAS WITH ROOT BARRIERS APPROVED BY THE PUBLIC SERVICE DEPARTMENT.
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REQUIREMENT SATISFIED			REQUIREMENT SATISFIED		Lighting will be provided as required by the City of Coral Gables.	14	WINDOWS ON MEDITERRANEAN BUILDINGS	MEDITERRANEAN BUILDINGS SHALL PROVIDE A MINIMUM WINDOW CASING DEPTH OF FOUR (4) INCHES AS MEASURED FROM THE FACE OF THE BUILDING.
REQUIREMENT SATISFIED			REQUIREMENT SATISFIED			REQUIREMENT SATISFIED		Window casing is being provided in all four building facades with a minimum casing depth of 4 inches or more measured from the face of the building.

DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

A-0.03.3

SEAL :

ROBERT BEHAR AR No. 14339

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1	ARCHITECTURAL ELEMENTS ON BUILDING FACADES	SIMILAR EXTERIOR ARCHITECTURAL RELIEF ELEMENTS SHALL BE PROVIDED ON ALL SIDES OF ALL BUILDINGS. NO BLANK WALLS SHALL BE PERMITTED UNLESS REQUIRED PURSUANT TO APPLICABLE CITY, STATE AND FEDERAL REQUIREMENTS (I.E., FIRE AND LIFE SAFETY CODE, ETC). PARKING GARAGES SHALL INCLUDE EXTERIOR ARCHITECTURAL TREATMENTS COMPATIBLE WITH BUILDINGS OR STRUCTURES THAT OCCUPY THE SAME PROPERTY AND/OR STREET.	4	BICYCLE STORAGE	TO ENCOURAGE THE USE OF BICYCLES, BICYCLE STORAGE FACILITIES (RACKS) SHALL BE PROVIDED. A MINIMUM OF FIVE (5) BICYCLE STORAGE SPACES SHALL BE PROVIDED FOR EACH TWO HUNDRED AND FIFTY (250) PARKING SPACES OR FRACTION THEREOF.	10	PARKING GARAGES	GROUND FLOOR PARKING AS A PART OF A MULTI-USE BUILDING SHALL NOT FRONT ON A PRIMARY STREET. ADA PARKING IS PERMITTED ON THE GROUND FLOOR. GROUND FLOOR PARKING IS PERMITTED ON SECONDARY/SIDE STREETS AND SHALL BE FULLY ENCLOSED WITHIN THE STRUCTURE AND/OR SHALL BE SURROUNDED BY RETAIL USES AND/OR RESIDENTIAL UNITS. GROUND FLOOR PARKING IS PERMITTED ON ALLEY FRONTAGES. PARKING FACILITIES SHALL STRIVE TO ACCOMMODATE PEDESTRIAN ACCESS TO ALL ADJACENT STREET(S) AND ALLEYS.
REQUIREMENT SATISFIED		All sides of the building contain similar exterior architectural relief elements. The building does not have any blank facades and the parking garage includes exterior architectural treatment compatible with the building. See adjacent elevations.	REQUIREMENT SATISFIED		515 parking spaces required / 250 = 2.06 (3 bicycle storage spaces required). Bicycle storage has been provided within the ground floor at the plaza and at the North East corner of the building. Total of 24 bicycle spaces provided. See diagram on Sheet A-1.0	REQUIREMENT SATISFIED		Parking is fully concealed within the structure.
2	ARCHITECTURAL RELIEF ELEMENTS AT STREET LEVEL	ON ANY BUILDING FACADES FRONTING STREETS, WHERE AN ADJOINING PEDESTRIAN SIDEWALK IS LOCATED, ONE (1) OR MORE OF THE FOLLOWING DESIGN FEATURES SHALL BE INCLUDED AT THE STREET LEVEL: A. DISPLAY WINDOWS OR RETAIL DISPLAY AREA; B. LANDSCAPING; AND/OR C. ARCHITECTURAL RELIEF ELEMENTS OR ORNAMENTATION.	5	BUILDING FACADES	FACADES IN EXCESS OF ONE HUNDRED AND FIFTY (150) FEET IN LENGTH SHALL INCORPORATE VERTICAL BREAKS, STEPBACKS OR VARIATIONS IN BULK/MASSING AT A MINIMUM OF ONE HUNDRED (100) FOOT INTERVALS.	11	PORTE-COCHERES	PORTE-COCHERES ARE PROHIBITED ACCESS TO/FROM PONCE DE LEON BOULEVARD FROM S.W. 8TH STREET TO BIRD ROAD, MIRACLE MILE FROM DOUGLAS AVENUE TO LEJEUNE ROAD, AND ALHAMBRA CIRCLE FROM DOUGLAS AVENUE TO LEJEUNE ROAD.
REQUIREMENT SATISFIED		All building street level facades fronting Ponce De Leon Blvd. include architectural relief elements thru the articulation of store fronts for retail space, and the use of natural stone at the base of the entire building.	REQUIREMENT SATISFIED		All facades incorporate vertical breaks, stepbacks, with variations using doors and clearstory windows to reference the harmonious rhythm of historical references as 725 Continental Hotel in Buenos Aires. See adjacent diagram.	REQUIREMENT SATISFIED		There are not Porte-Cocheres.
3	ARCHITECTURAL ELEMENTS LOCATED ON THE TOP OF THE BUILDING	EXCLUSION FROM HEIGHT. THE FOLLOWING SHALL BE EXCLUDED FROM COMPUTATION OF BUILDING HEIGHT IN C, A AND M-USE DISTRICTS: A. AIR-CONDITIONING EQUIPMENT ROOM. B. ELEVATOR SHAFTS. C. ELEVATOR MECHANICAL EQUIPMENT ROOMS. D. PARAPETS. ROOF STRUCTURES USED ONLY FOR ORNAMENTAL AND/OR AESTHETIC PURPOSES NOT EXCEEDING A COMBINED AREA OF TWENTY-FIVE (25%) PERCENT OF THE FLOOR AREA IMMEDIATELY BELOW. SUCH EXCLUSION SHALL BE SUBJECT TO THE PROVISIONS THAT NO SUCH STRUCTURE SHALL EXCEED A HEIGHT OF MORE THAN TWENTY-FIVE (25) FEET ABOVE THE ROOF, EXCEPT FOR COMMERCIAL BUILDINGS IN THE CENTRAL BUSINESS DISTRICT (CBD) WHERE NO SUCH STRUCTURE SHALL EXCEED ONE-THIRD (1/3) OF THE ALLOWABLE TOTAL BUILDING HEIGHT.	6	BUILDING LOT COVERAGE	NO MINIMUM OR MAXIMUM BUILDING LOT COVERAGE IS REQUIRED.	12	SIDEWALKS / PEDESTRIAN ACCESS	ALL BUILDINGS, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE THEIR MAIN PEDESTRIAN ENTRANCES ORIENTED TOWARDS ADJOINING STREETS. PEDESTRIAN PATHWAYS AND/OR SIDEWALKS SHALL BE PROVIDED FROM ALL PEDESTRIAN ACCESS POINTS AND SHALL CONNECT TO ONE ANOTHER TO FORM A CONTINUOUS PEDESTRIAN NETWORK FROM BUILDINGS, PARKING FACILITIES, PARKING GARAGES ENTRANCES, ETC. WHEREVER POSSIBLE PATHWAYS SHALL BE SEPARATED FROM VEHICULAR TRAFFIC.
REQUIREMENT SATISFIED		Roof structures are designed as parapets roofs with decorative cornice to emphasize the Mediterranean style architecture seen in buildings like the The Federal Court House. These roofs are for aesthetic purposes and do not exceed a combined area of 25% of the floor area immediately below.	REQUIREMENT SATISFIED		Acknowledged.	REQUIREMENT SATISFIED		The building has its main pedestrian entrance oriented towards the east side of the lot on Ponce De Leon Blvd. In addition, it has been added a pathway on the east side of the building towards the north portion of the building connecting Avila Ct. and the proposed park on the corner of Avila Ct. and Boabadilla Street.
			7	DRIVE THROUGH FACILITIES	DRIVE THROUGH FACILITIES INCLUDING BUT NOT LIMITED TO BANKING FACILITIES, RESTAURANTS, PHARMACIES, DRY CLEANERS, ETC. ARE PROHIBITED ACCESS TO/FROM PONCE DE LEON BOULEVARD FROM S.W. 8TH STREET TO BIRD ROAD, MIRACLE MILE FROM DOUGLAS AVENUE TO LEJEUNE ROAD, AND ALHAMBRA CIRCLE FROM DOUGLAS AVENUE TO LEJEUNE ROAD.	13	SOIL, STRUCTURAL	STRUCTURAL SOIL SHALL BE UTILIZED WITHIN ALL RIGHTS-OF-WAY FOR ALL STREET LEVEL PLANTING AREAS WITH ROOT BARRIERS APPROVED BY THE PUBLIC SERVICE DEPARTMENT.
			REQUIREMENT SATISFIED		No drive through facilities are provided.	REQUIREMENT SATISFIED		The project will comply with this requirement.
			8	LANDSCAPE OPEN SPACE AREA	EACH PROPERTY SHALL PROVIDE THE FOLLOWING MINIMUM LANDSCAPE OPEN AREA (PERCENTAGE BASED UPON TOTAL LOT AREA): A. FIVE (5%) PERCENT FOR NONRESIDENTIAL PROPERTIES; B. TEN (10%) PERCENT FOR MIXED USE PROPERTIES; AND C. TWENTY-FIVE (25%) PERCENT FOR RESIDENTIAL PROPERTIES. THE TOTAL AREA SHALL BE BASED UPON THE TOTAL LOT AREA. THIS LANDSCAPE AREA CAN BE PROVIDED AT STREET LEVEL, WITHIN THE PUBLIC RIGHT-OF-WAY, ELEVATED AREAS, PLANTER BOXES, PLANTERS, ETC.	14	WINDOWS ON MEDITERRANEAN BUILDINGS	MEDITERRANEAN BUILDINGS SHALL PROVIDE A MINIMUM WINDOW CASING DEPTH OF FOUR (4) INCHES AS MEASURED FROM THE FACE OF THE BUILDING.
			REQUIREMENT SATISFIED		As per MXD Landscape open space required spice is 10% 0.1 x 72,912.32 = 7,291.23 SF min. Landscape open space provided for MX1 - 10,793 SF (14.8%)	REQUIREMENT SATISFIED		Window casing is being provided in all four building facades with a minimum casing depth of 4 inches or more measured from the face of the building.
			9	STREET LIGHTING	STREET LIGHTING SHALL BE PROVIDED AND LOCATED ON ALL STREETS/RIGHTS-OF-WAY. THE TYPE OF FIXTURE SHALL BE THE APPROVED CITY OF CORAL GABLES LIGHT FIXTURE AND LOCATION/SPACING, ETC. SHALL BE THE SUBJECT TO REVIEW AND APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS.			
			REQUIREMENT SATISFIED		Lighting will be provided as required by the City of Coral Gables.			

HISTORICAL REFERENCE

The proposed "760 Ponce" project incorporates influences from buildings within the city of Coral Gables, as well as other significant examples of traditional architecture. The proposed design references the proportion, massing and incorporates a variety architectural features and elements that characterize this project as traditional and Neoclassical Architecture, which relates to the Mediterranean style of architecture not only of the City of Coral Gables landmarks buildings, but that of many European Cities.

The project incorporates multiple breaks along its facade, including changes in height and step backs to achieve the massing of traditional Neoclassical and Mediterranean architecture. In addition, the design incorporates deep masonry fenestrations and large cornices to achieve recesses and movement within the façade. Stone cladding will highlight and serve as a distinctive base to the building representative of traditional Neoclassical and Mediterranean architecture.

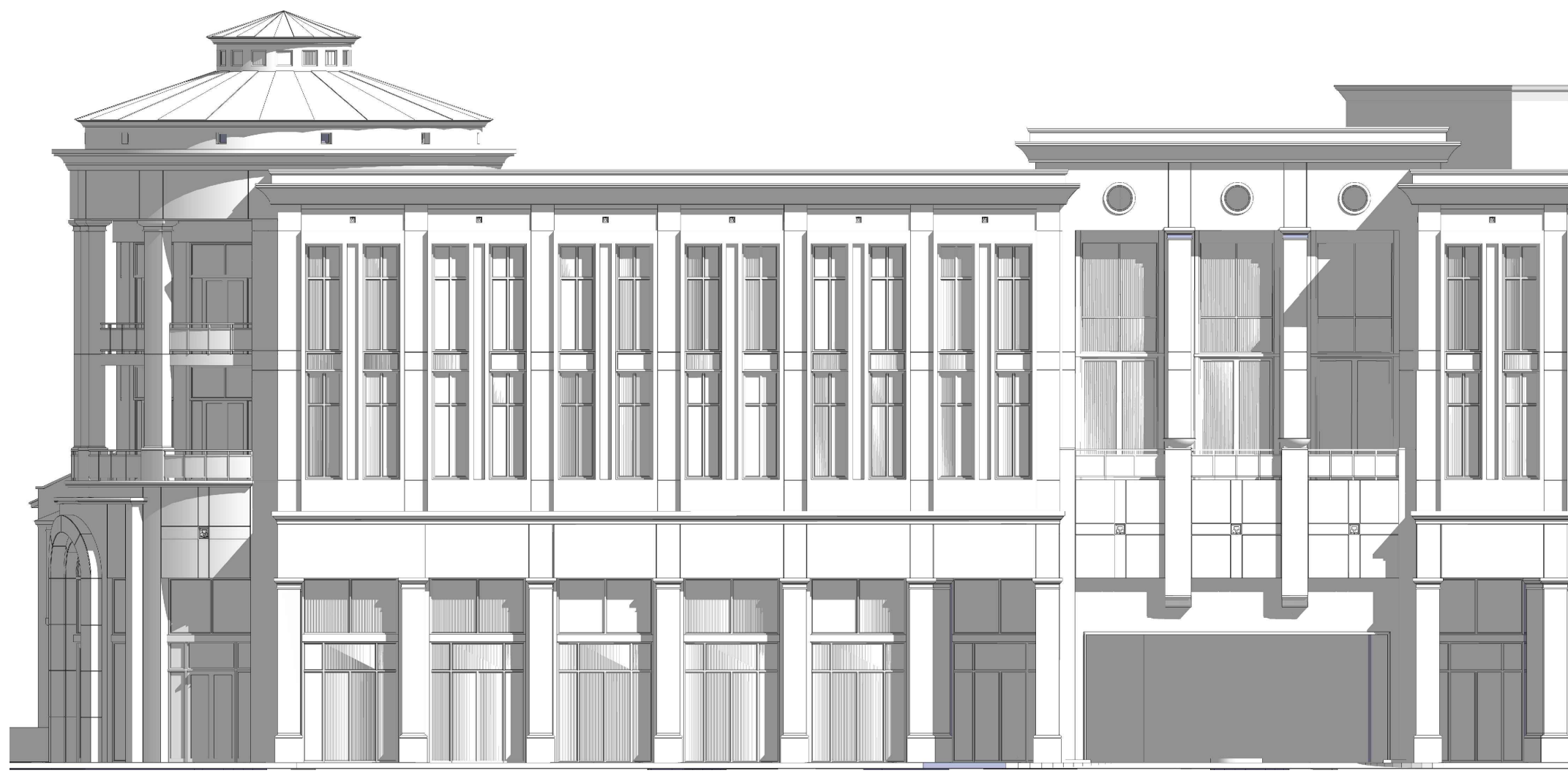
Even though it is a five-story building, the design achieved the perception of only a four-story building through a combination of design elements and features like the modulation of the fenestration, articulation of the massing and the proportion of its base.
The primary element is emphasized by vertical columns that follow the scale and proportion of the City Hall's facade



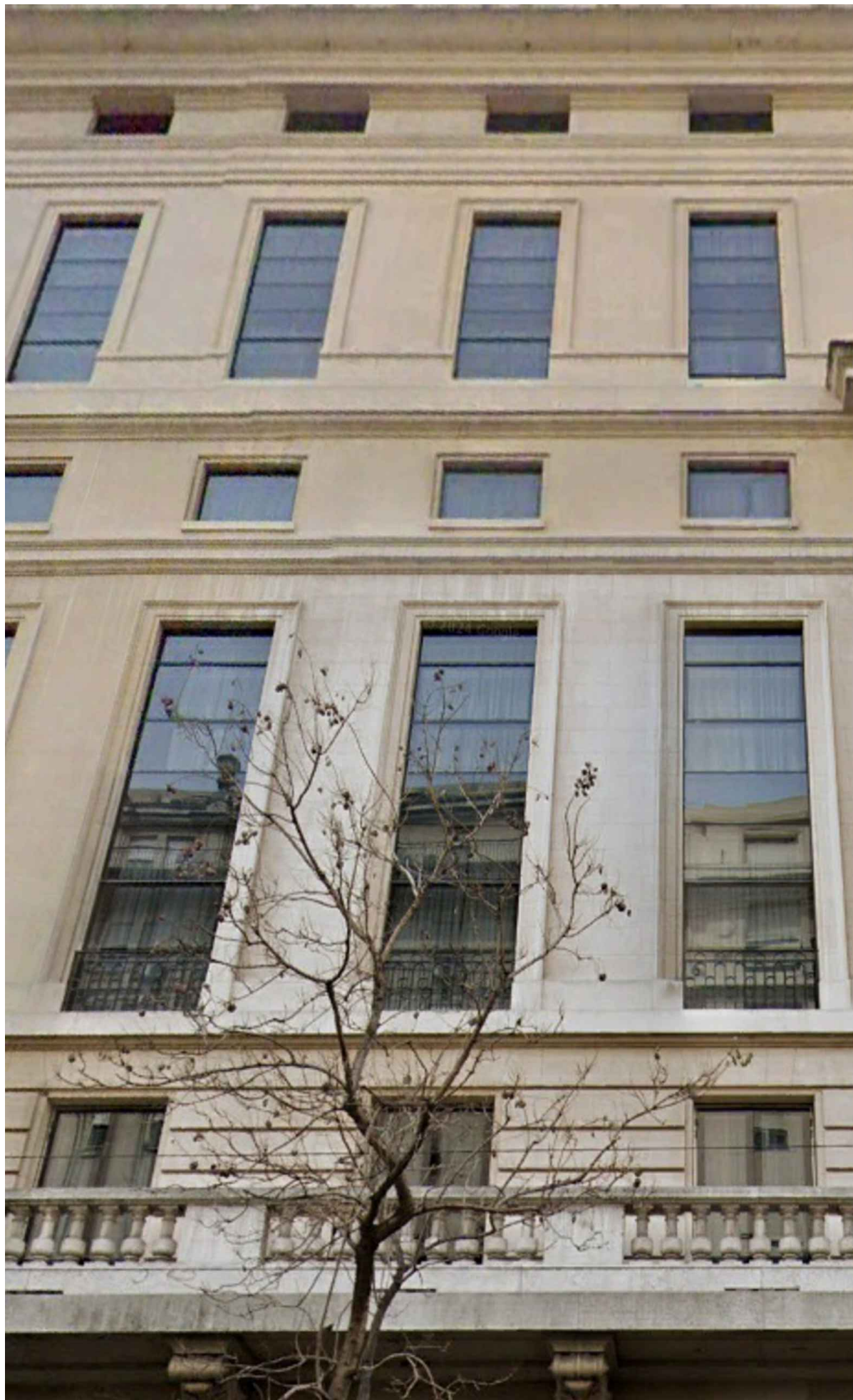
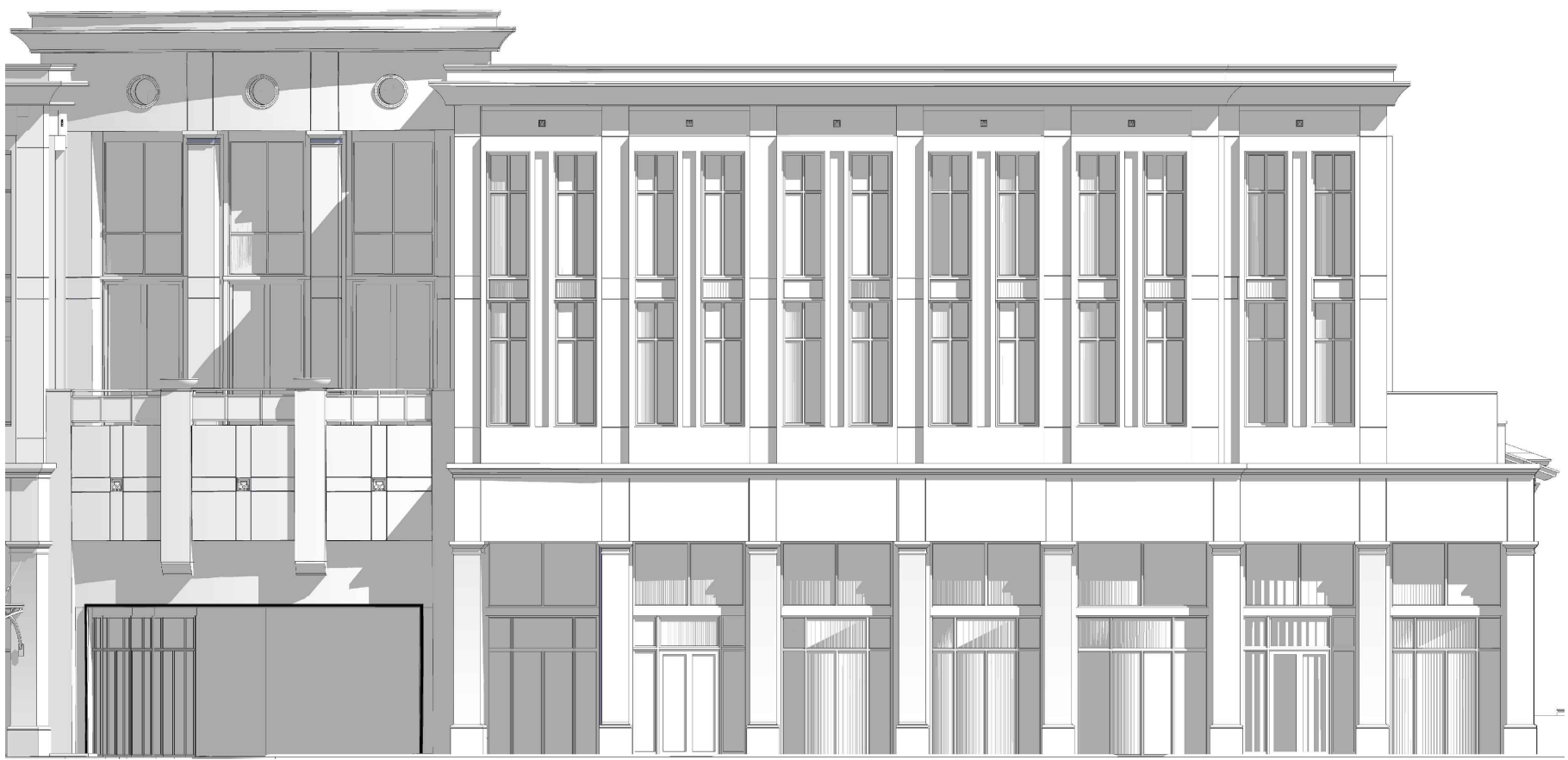
Coral Gables City Hall
North Elevation (partial) - Coral Gables



Boston National Bank
Buenos Aires Argentina



121 Ahambra



725 Continental Hotel
Buenos Aires Argentina



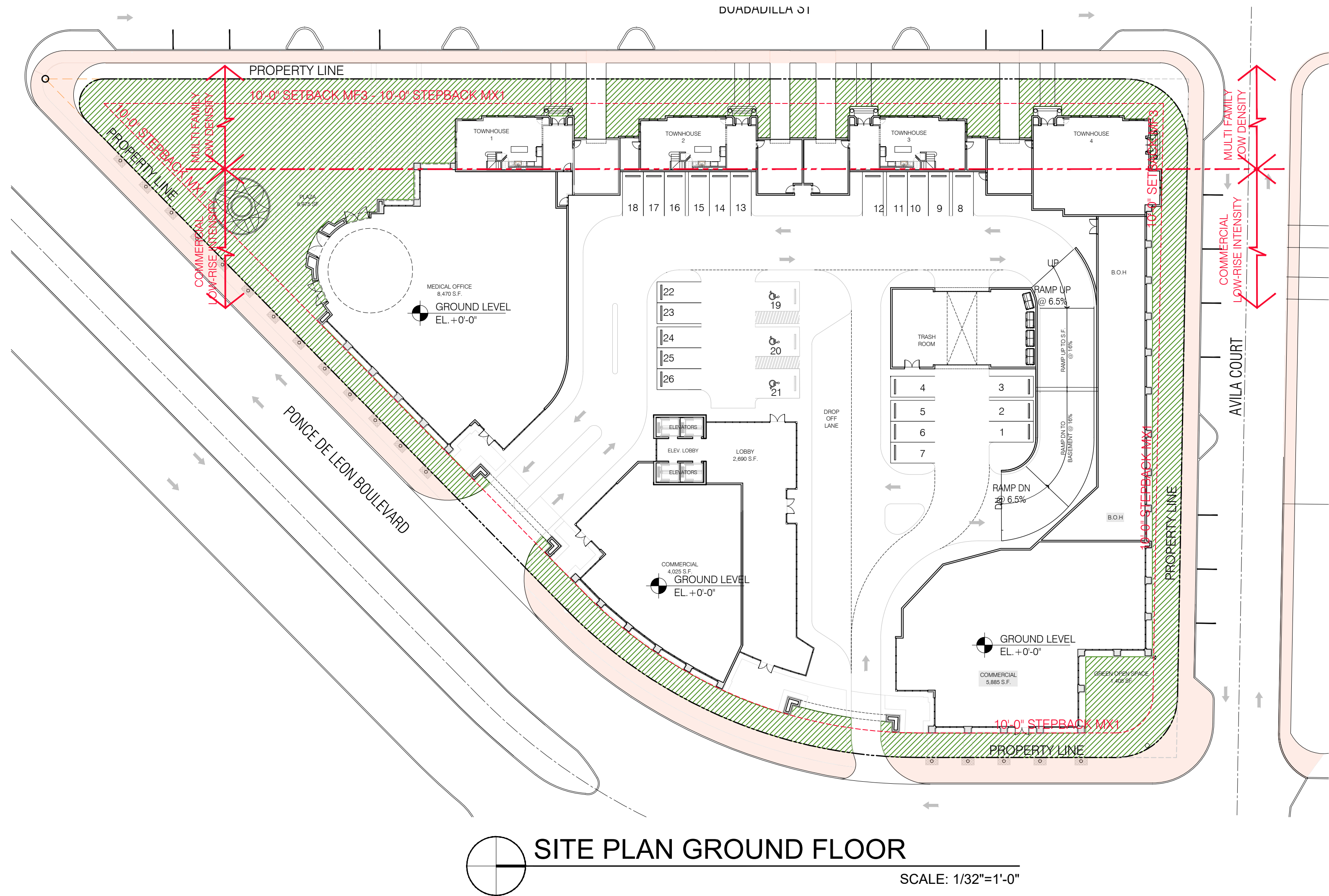
The Colonnade Hotel
Miracle Mile (partial) Elevation- Coral Gables



Federal Court House
300 NE 1st Ave.



725 Continental Hotel
Buenos Aires Argentina



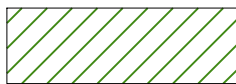
SITE PLAN GROUND FLOOR

SCALE: 1/32"=1'-0"

MEDITERRANEAN STYLE DESIGN		
(REQUIRED STANDARDS) TABLE 1 (ALL REQUIRED)		
TYPE	PROVIDED	COMMENTS
ARCHITECTURAL ELEMENTS ON BUILDING FACADES	YES	SEE ELEVATIONS ON SHEETS A-2.01 AND A-2.02
ARCHITECTURAL RELIEF ELEMENTS AT STREET LEVEL	YES	SEE GROUND FLOOR PLAN SHEET A-1.00, A-1.01 AND ELEVATIONS ON SHEETS A-2.01 AND A-2.02
ARCHITECTURAL ELEMENTS ON THE TOP OF BLDG.	YES	SEE ELEVATIONS ON SHEETS A-2.01 AND A-2.02
BICYCLE STORAGE	YES	SEE GROUND FLOOR AND BASEMENT PLAN ON SHEETS A-1.01 AND A-1.02
BUILDING FACADES	YES	SEE ELEVATIONS ON SHEETS A-2.01 AND A-2.02
BUILDING LOT COVERAGE	YES	SEE LEGEND ON THIS SHEET AND ALSO SHEET A-0.2
DRIVE THRU FACILITIES	N/A	NO DRIVE THRU FACILITIES PROVIDED
LANDSCAPE / OPEN SPACE AREA	YES	SEE LEGEND ON THIS SHEET AND ALSO SHEET A-0.4
STREET LIGHTING	YES	LIGHTING WILL BE PROVIDED AS REQUIRED BY THE CITY OF CORAL GABLES
PARKING GARAGES	YES	SEE SHEETS A-1.01, A-1.02, A-1.03 AND A-1.04
PORTE-COCHERES	N/A	NO PORTE-COCHERES PROVIDED
SIDEWALK / PEDESTRIAN ACCESS	YES	SEE THIS SHEET AND ALSO SHEETS A-1.00 AND A-1.01
STRUCTURAL SOIL	YES	THE PROJECT WILL COMPLY WITH THIS REQUIREMENT
WINDOWS ON MEDITERRANEAN BUILDINGS	YES	WINDOW CASING IS BEING PROVIDED ON ALL FOUR BUILDING FACADES WITH A MIN. DEPTH OF 4"

LEGEND

TOTAL NET LOT AREA	89,142.32 SF.
- NET LOT AREA FOR MF3	16,230 SF.
- NET LOT AREA FOR MX1	72,912.32 SF.



LANDSCAPE OPEN SPACE AREA

MEDITERRANEAN STYLE DESIGN

LANDSCAPE

TOTAL PROJECT LANDSCAPE OPEN SPACE AREA PROVIDED: 20,806 SF (23.3%)

10% MINIMUM OPEN SPACE AT MIXED USE DISTRICT PROPERTIES MX1 (SECTION 2-200)

10% MINIMUM OPEN SPACE REQUIRED AS PER MED. BONUS TABLE 1 / ITEM 8
 $0.10 \times 72,912.32 = 7,291.23$ SF (MIN.)

PROVIDED LANDSCAPE OPEN SPACE AREA FOR MX1: 10,793 SF (14.8%)

NOTES:

- ALL STREETSCAPE IMPROVEMENTS LOCATED WITHIN R.O.W. (CURBS, PARALLEL PARKING, PLANTERS, ETC.) SHALL BE SUBJECT TO CITY OF CORAL GABLES PUBLIC WORKS AND PUBLIC SERVICE APPROVAL.
- PROJECT TO COMPLY WITH ALL PUBLIC WORKS AND PUBLIC SERVICE R.O.W. PLANTING REQUIREMENTS OR A PAYMENT MAY BE MADE TO THE APPLICABLE IMPROVEMENTS FUND PER SECTION 5-1105 (A) (2) - (4).
- STREETSCAPE PLANTING TO BE INSTALLED PER PUBLIC WORKS / PUBLIC SERVICE STANDARDS.
- MIN. WINDOW CASING DEPTH TO BE 4" MEASURED FROM FACE OF BUILDING

** THIS SHEET DEPICTS :

- CONTINUOUS SIDEWALKS AT PONCE DE LEON BLVD, AVILA COURT, BOABADILLA STREET
- PEDESTRIAN ENTRIES FROM PONCE DE LEON BLVD.

SEAL :

ROBERT BEHAR AR No. 14339

760 PONCE
760 PONCE DE LEON BOULEVARD
CORAL GABLES, FL

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DATE: 07.01.25

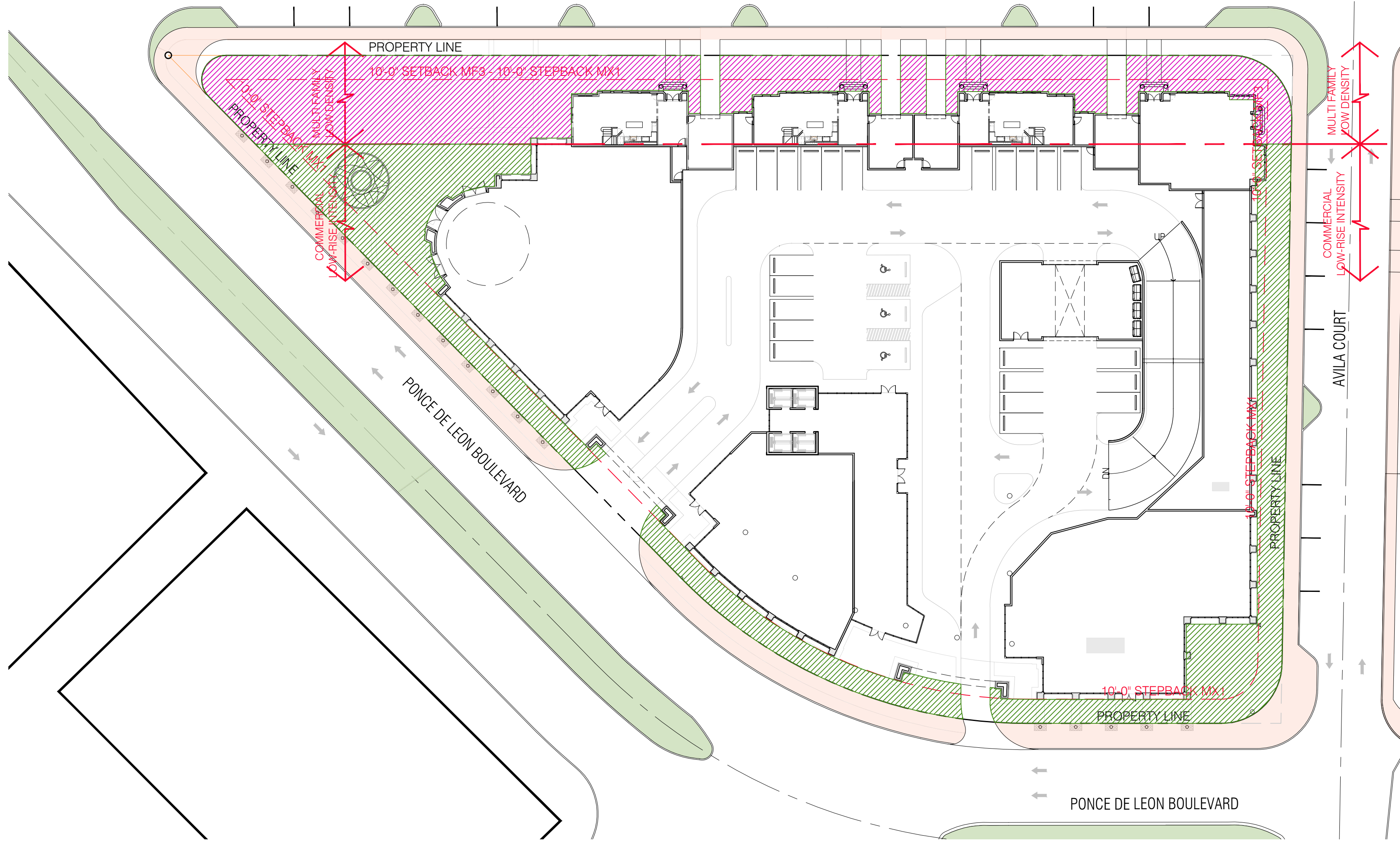
PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

A-0.03

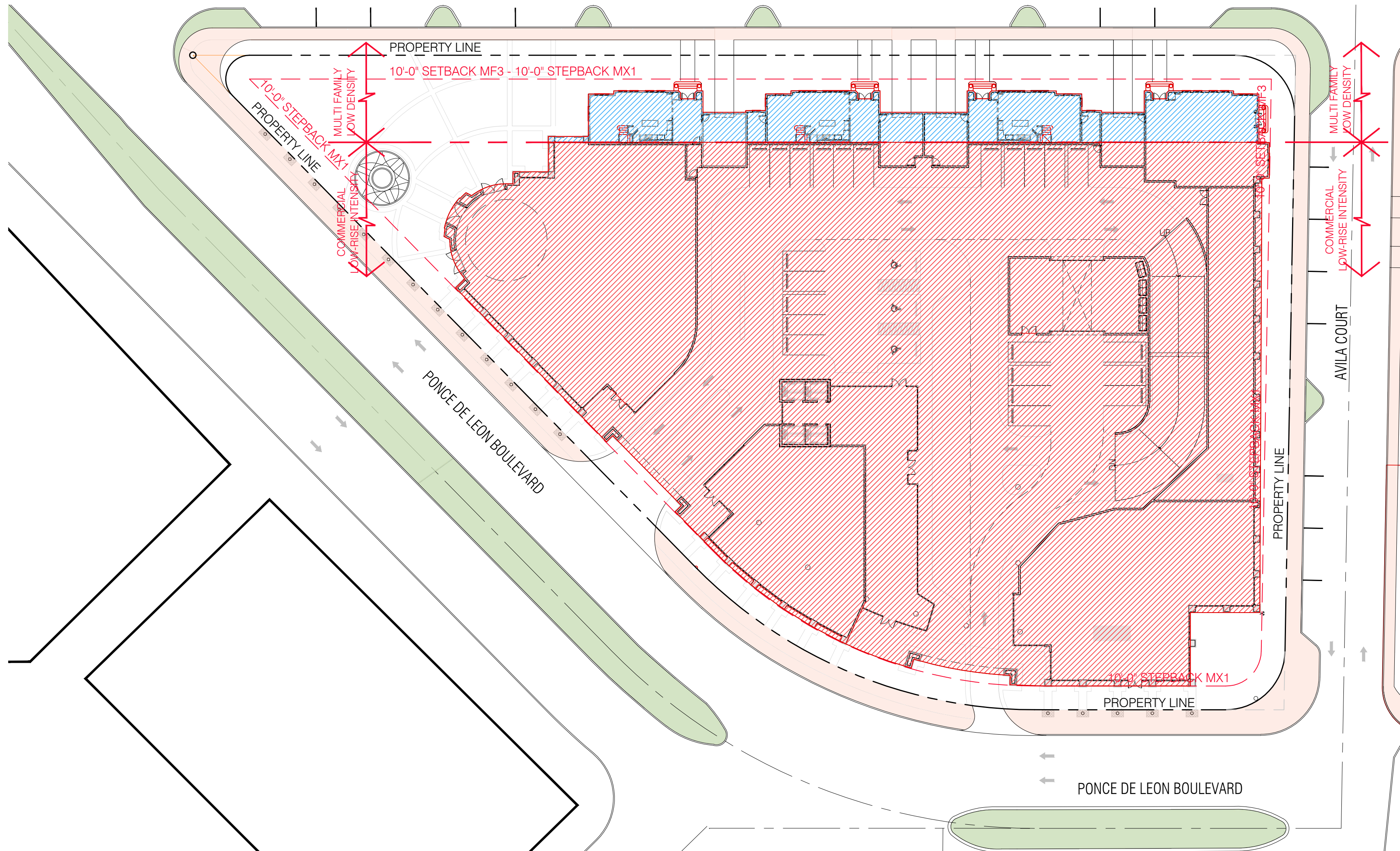
MEDITERRANEAN BONUS



OPEN SPACE LEGEND:

- LOT AREA: 89,142.32 SF
- MF3** - PROVIDED OPEN SPACE: 10,013 SF (61.7%)
AS PER MF3 LANDSCAPE OPEN SPACE REQUIRED 25%
 $0.25 \times 16,230 \text{ SF} = 4,057.5 \text{ SF (MIN.)}$
- MX1** - PROVIDED NON-ARCADE LANDSCAPE OPEN SPACE: 10,793 SF (14.8%)
AS PER MX1 LANDSCAPE OPEN SPACE REQUIRED 10%
 $0.10 \times 72,912.32 \text{ SF} = 7,291.23 \text{ SF (MIN.)}$

OPEN SPACE DIAGRAM
SCALE: 1/32"=1'-0"



LOT COVERAGE LEGEND:

- LOT AREA: 89,142.32 SF
- MF3** - PROVIDED LOT COVERAGE: 5,236 SF (32.2%)
AS PER MF3 GROUND COVERAGE MAXIMUM: 70%
 $0.70 \times 16,230 \text{ SF} = 11,361 \text{ SF (MIN.)}$
- MX1** - PROVIDED LOT COVERAGE: 61,364 SF (84.1%)
AS PER MX1 GROUND COVERAGE MAXIMUM: N/A
- TOTAL LOT COVERAGE PROVIDED:**
 $5,236 \text{ SF (MF3)} + 61,364 \text{ SF (MX1)} = 66,600 \text{ SF}$
 $66,600 \text{ SF} / 89,142.32 \text{ SF} = \mathbf{74.7\%}$

LOT COVERAGE DIAGRAM
SCALE: 1/32"=1'-0"

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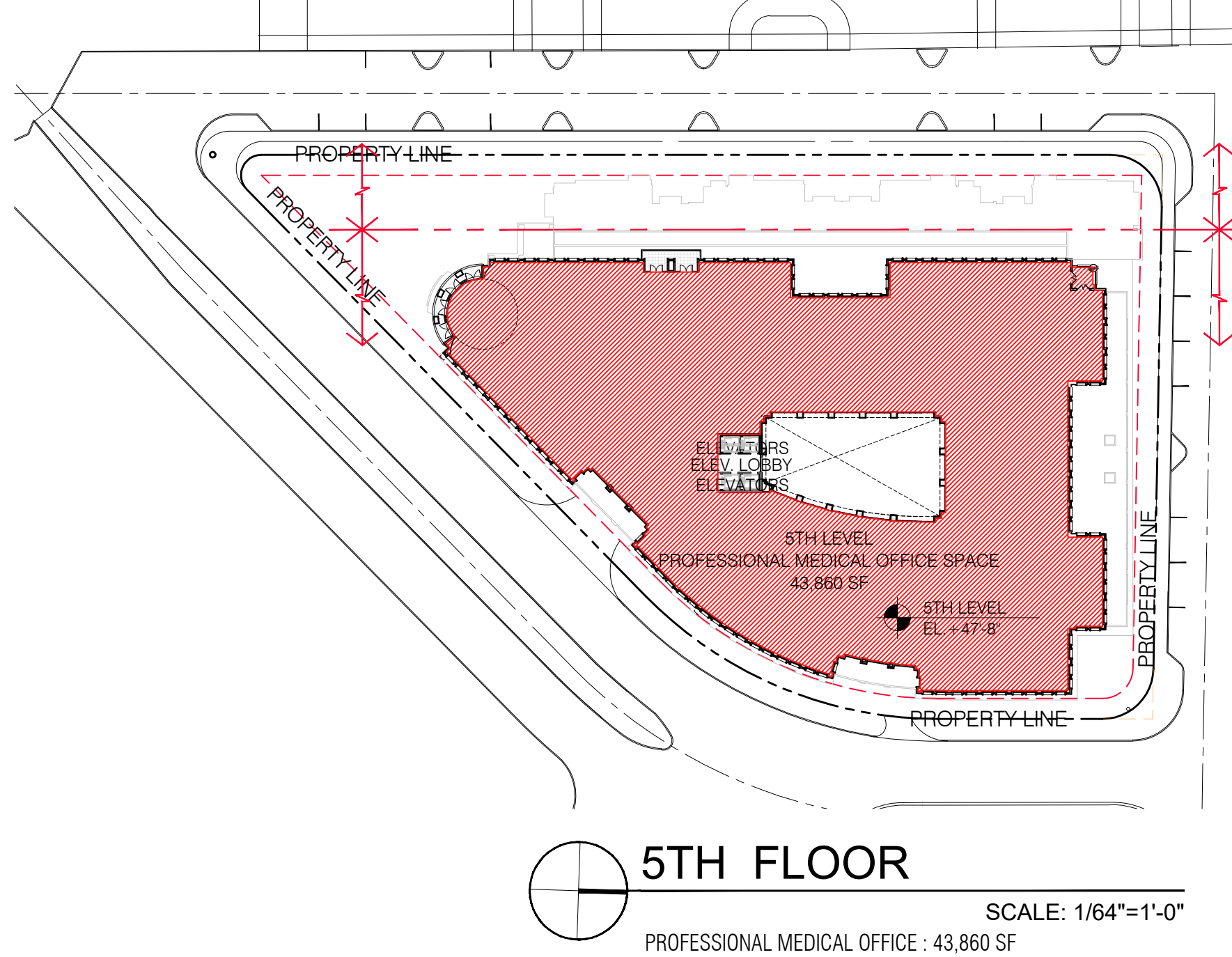
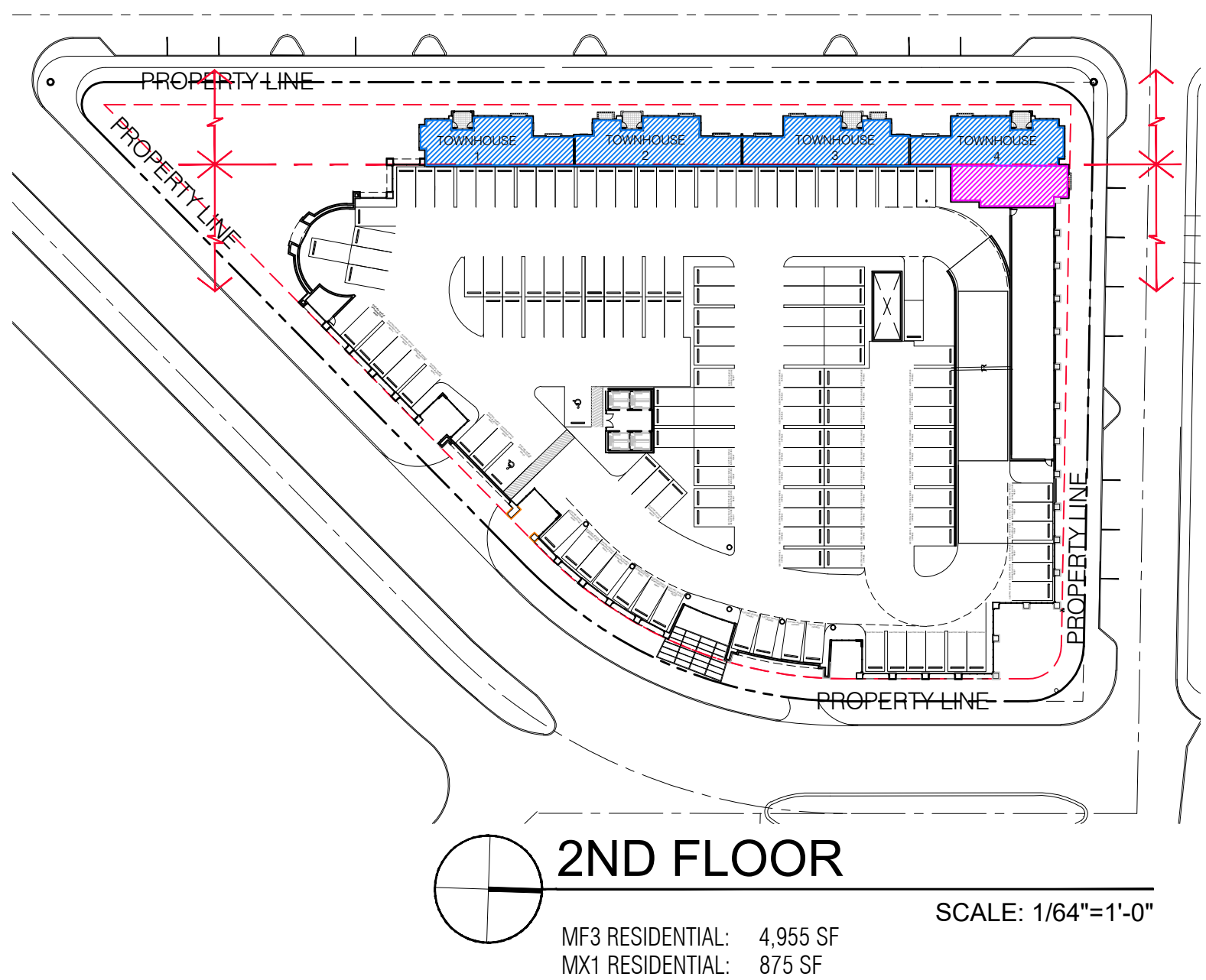
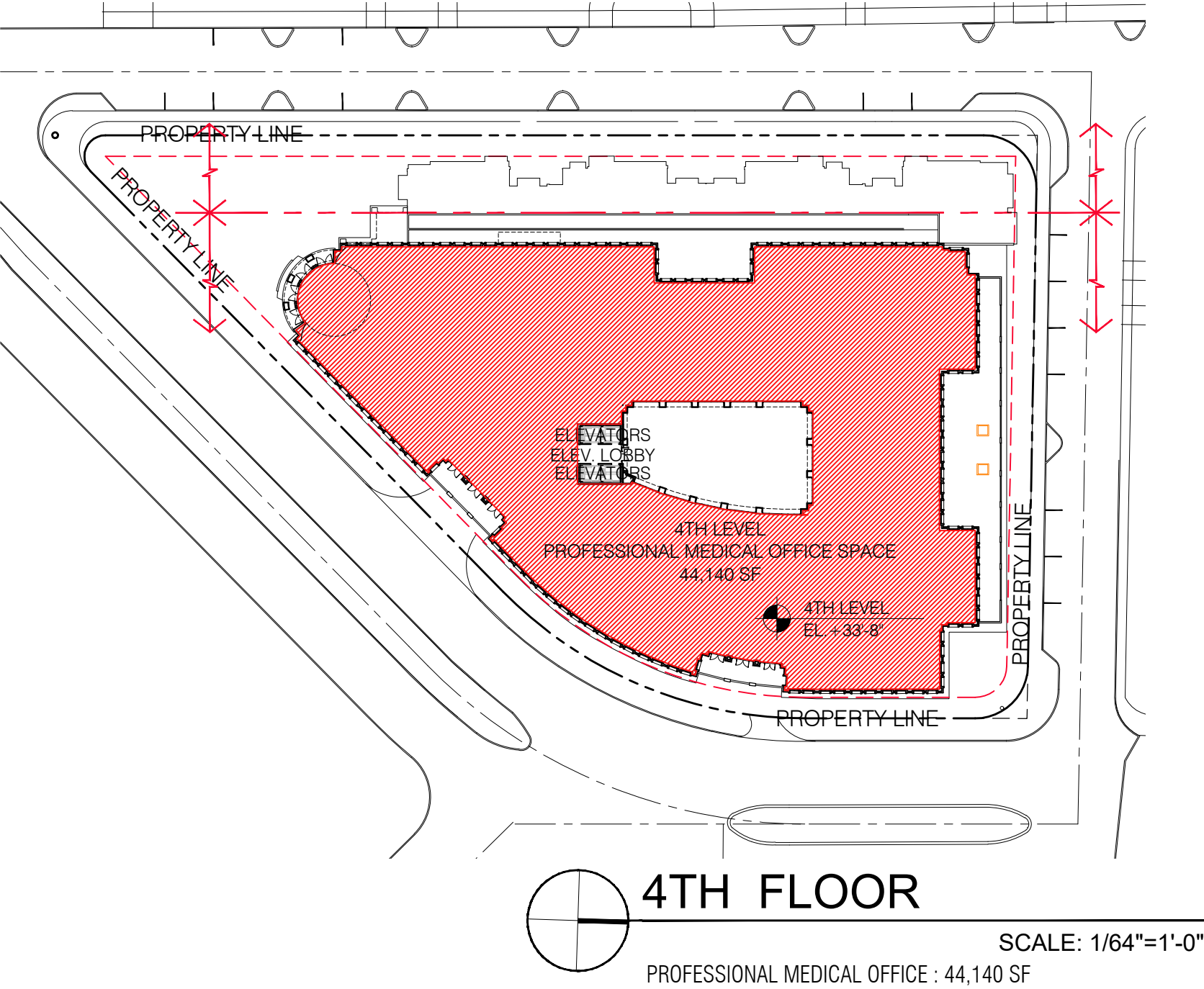
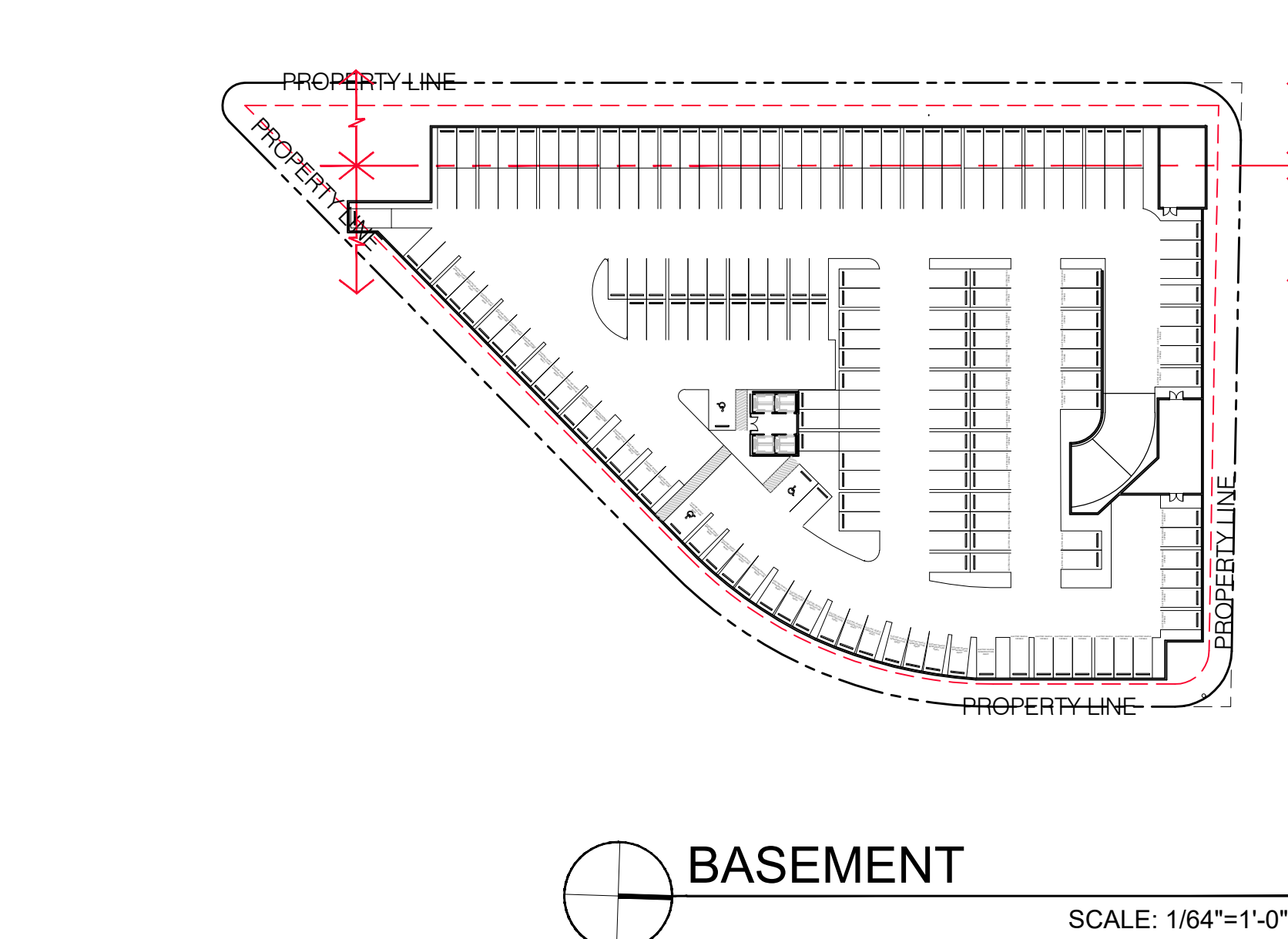
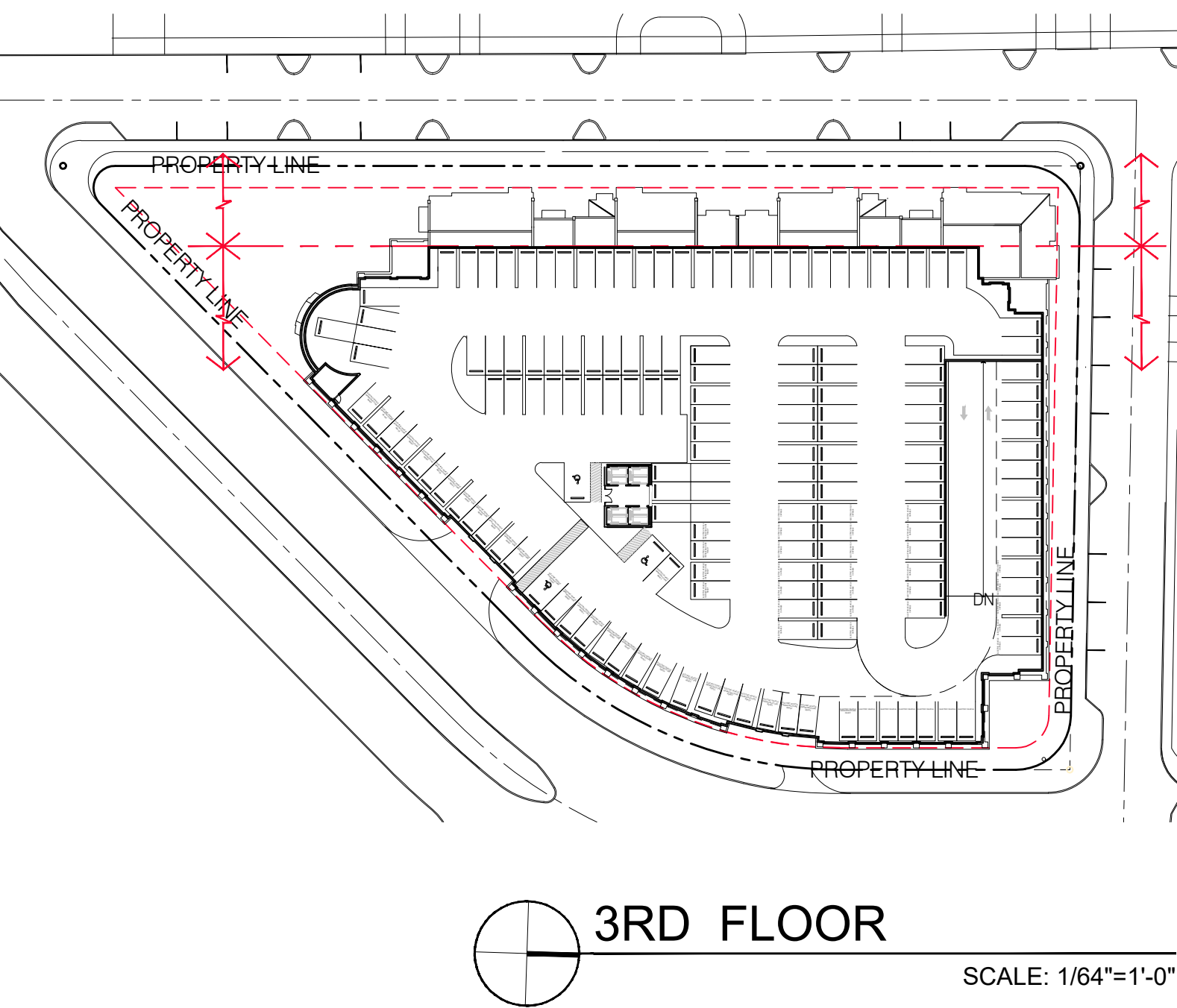
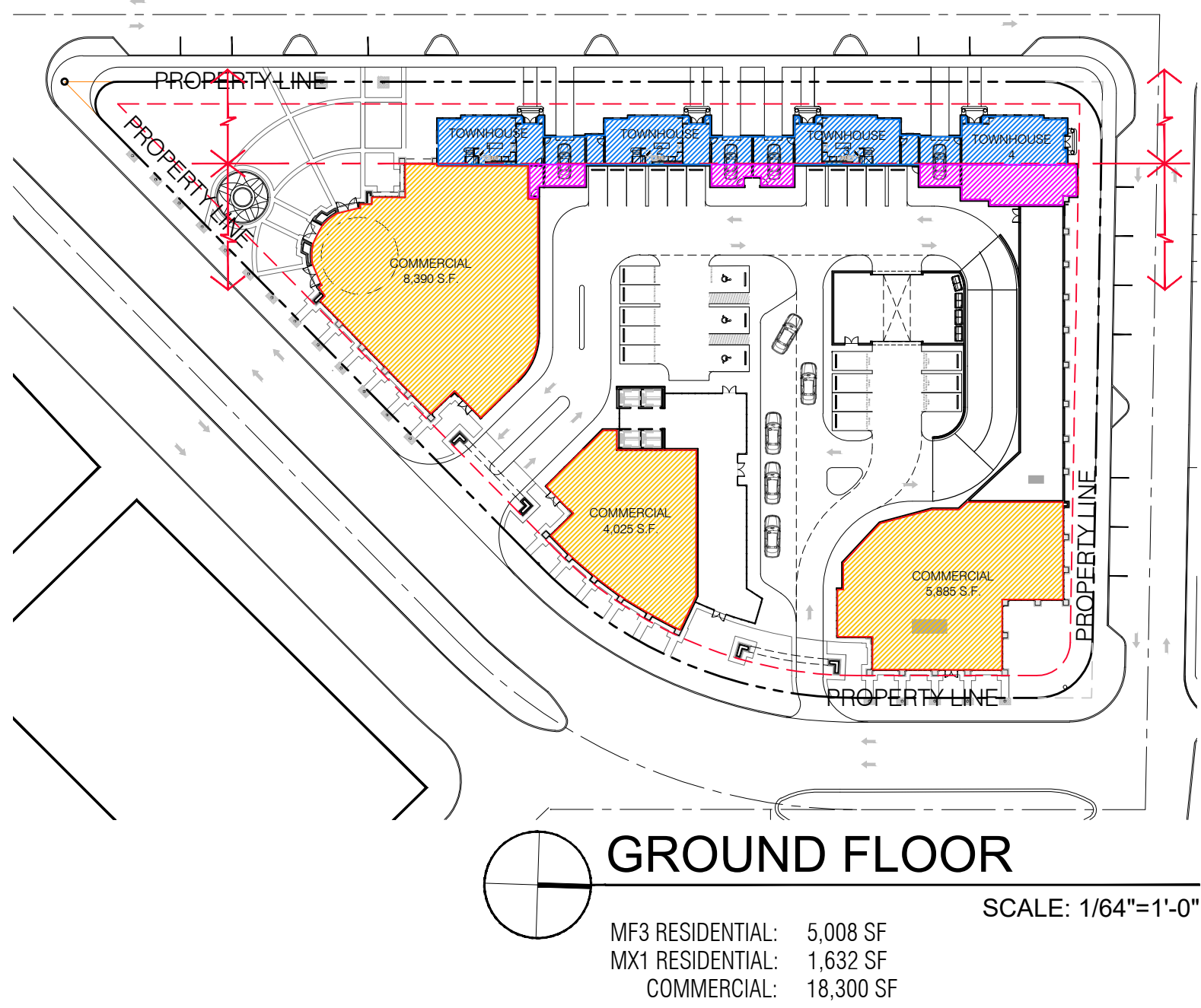
DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

A-0.04



OVERALL UNIFIED MIXED-USE PROJECT F.A.R. BREAKDOWN PER USE RESIDENTIAL / COMMERCIAL / PROFESSIONAL MEDICAL OFFICE SPACE				
FLOOR	RESIDENTIAL		COMMERCIAL	PROFESSIONAL MEDICAL OFFICE
	MF3	MX1		
GROUND FLOOR	5,008 SF	1,632 SF	18,300 SF	0 SF
BASEMENT	0 SF	0 SF	0 SF	0 SF
2ND FLOOR	4,955 SF	875 SF	0 SF	0 SF
3RD FLOOR	0 SF	0 SF	0 SF	0 SF
4TH FLOOR	0 SF	0 SF	0 SF	44,140 SF
5TH FLOOR	0 SF	0 SF	0 SF	43,860 SF
TOTAL F.A.R. PROVIDED: 118,770 SF (PROPOSED RESIDENTIAL / COMMERCIAL / PROFESSIONAL MEDICAL OFFICE)	9,963 SF (8.4%)	2,507 SF (2.1%)	18,300 SF (15.4%)	88,000 SF (74.1 %)
		108,807 SF		
	118,770 SF			

- MF3 RESIDENTIAL F.A.R.: 85% MAX. (PROVIDED 8.4%)
- MX1 RESIDENTIAL F.A.R.: 85% MAX. (PROVIDED 2.1%)
- MX1 PERCENTAGE COMMERCIAL F.A.R.: 8% MIN.(PROVIDED 15.4%)
- MX1 PROFESSIONAL MEDICAL OFFICE F.A.R.: 85% MAX. (PROVIDED 74.1%)

F.A.R. LEGEND

MF3 - RESIDENTIAL
MX1 - RESIDENTIAL
COMMERCIAL
PROFESSIONAL MEDICAL OFFICE

F.A.R. DIAGRAMS

SEAL:

ROBERT BEHAR AR No. 14339

760 PONCE
760 PONCE DE LEON BOULEVARD
CORAL GABLES, FL

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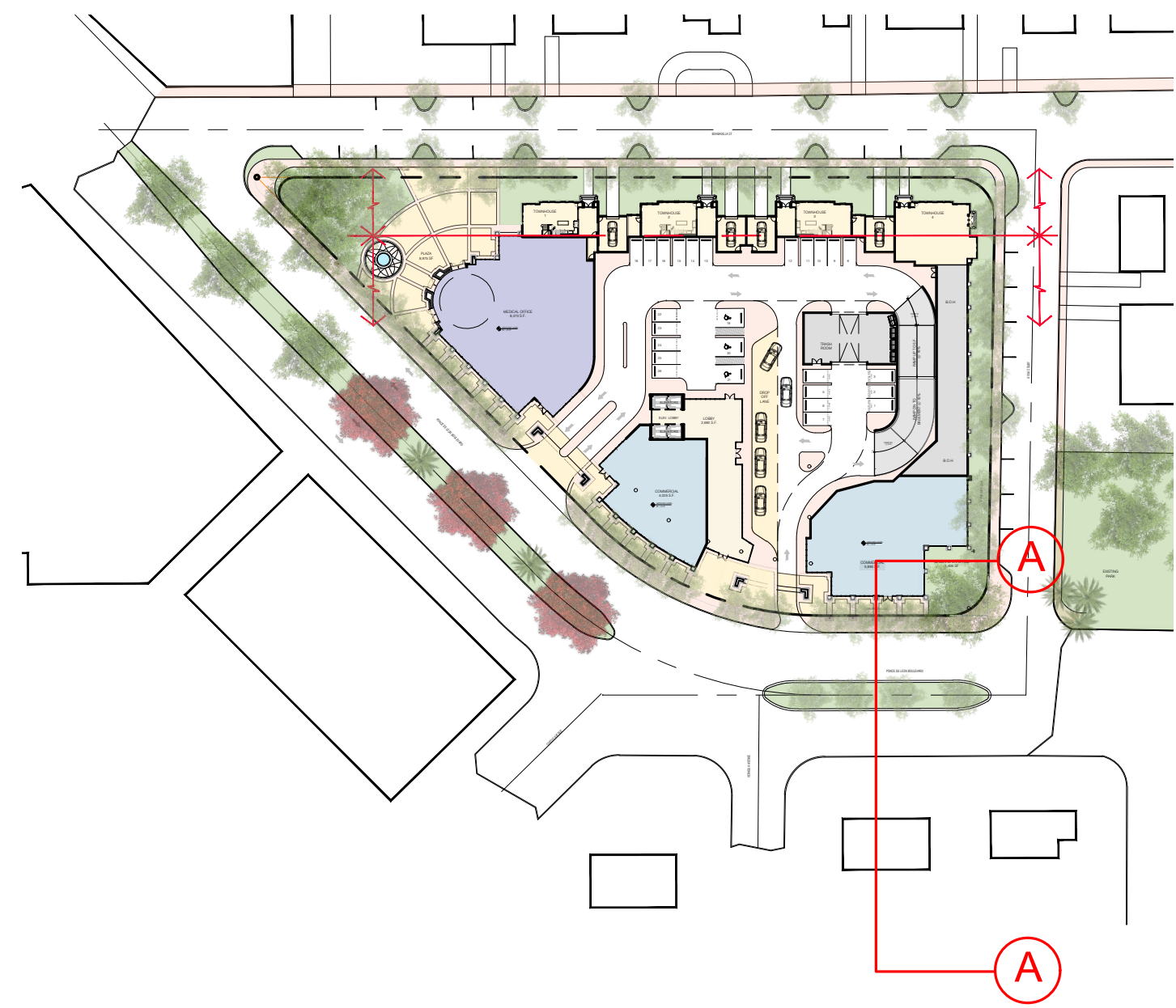
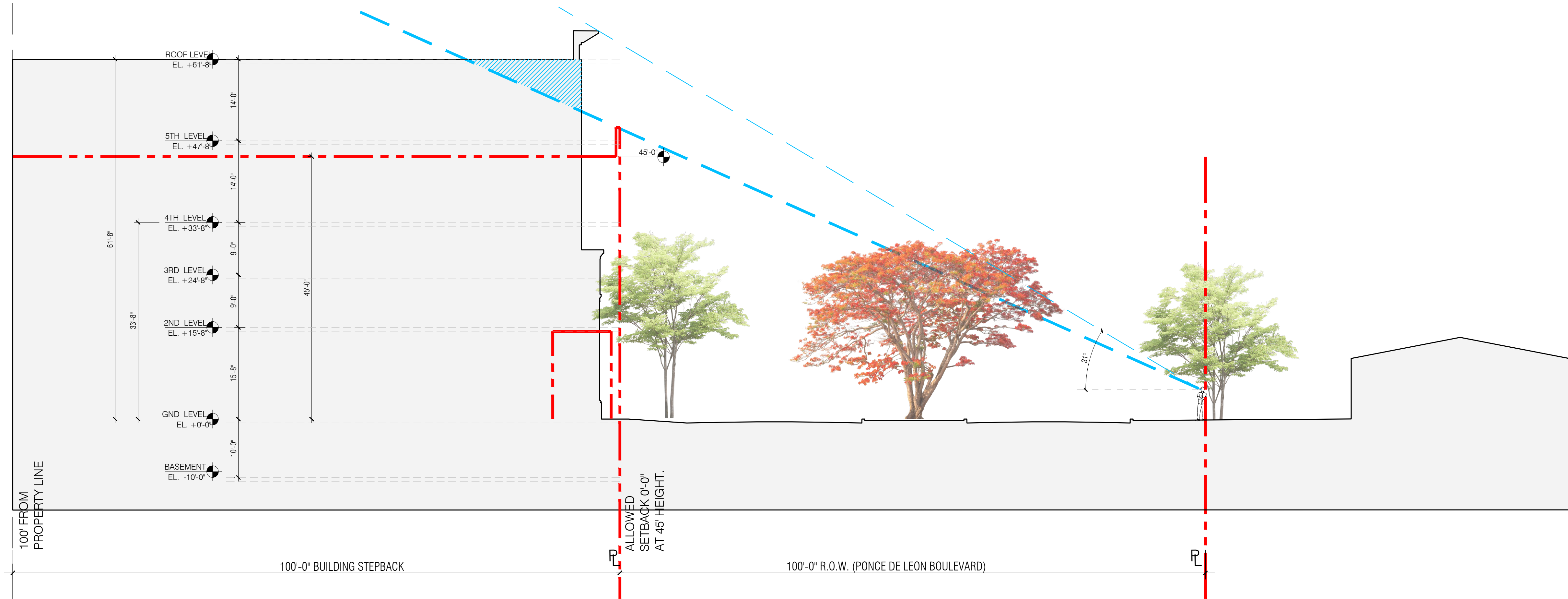
DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

A-0.06



KEY MAP
SCALE: N.T.S.

A LINE OF SIGHT (PONCE DE LEON BOULEVARD)
SCALE: 1/32"=1'-0"

SEAL:

ROBERT BEHAR AR No. 14339

760 PONCE
760 PONCE DE LEON BOULEVARD
CORAL GABLES, FL

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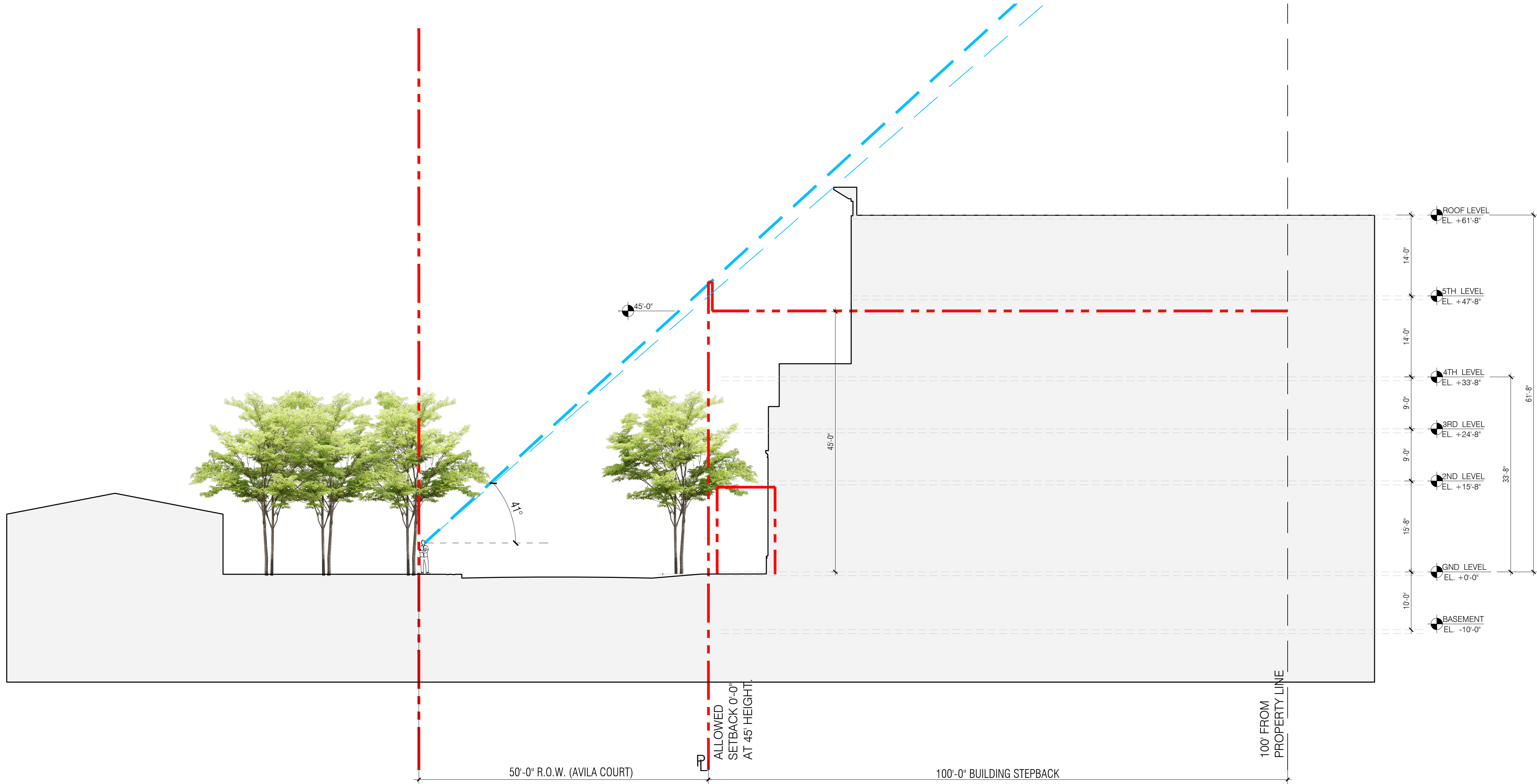
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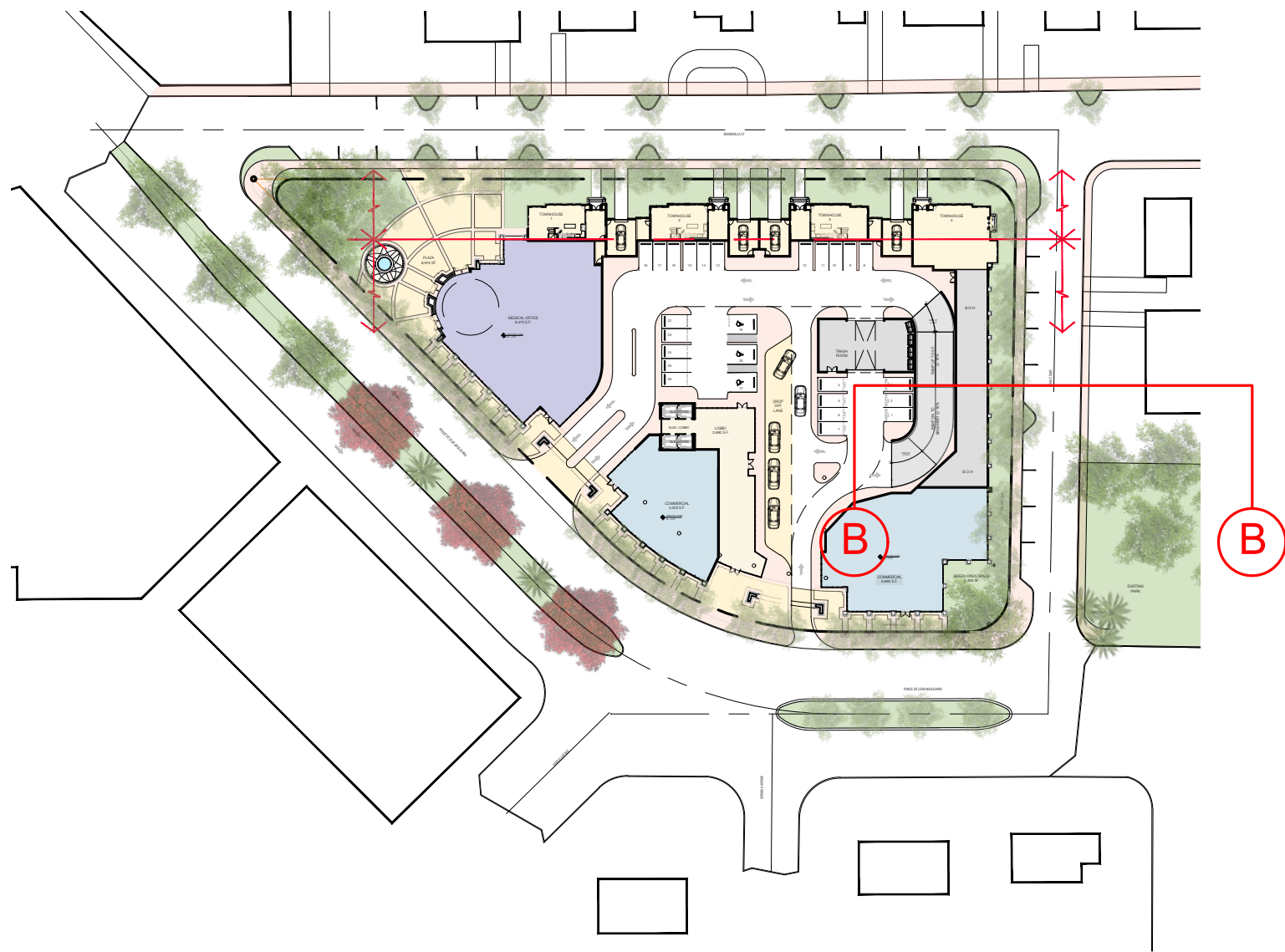
DRAWING NAME:

SHEET NO:

A-0.07



KEY MAP
SCALE: N.T.S.



B LINE OF SIGHT (AVILA COURT)

SCALE: 1/32"=1'-0"

SEAL :

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760 PONCE
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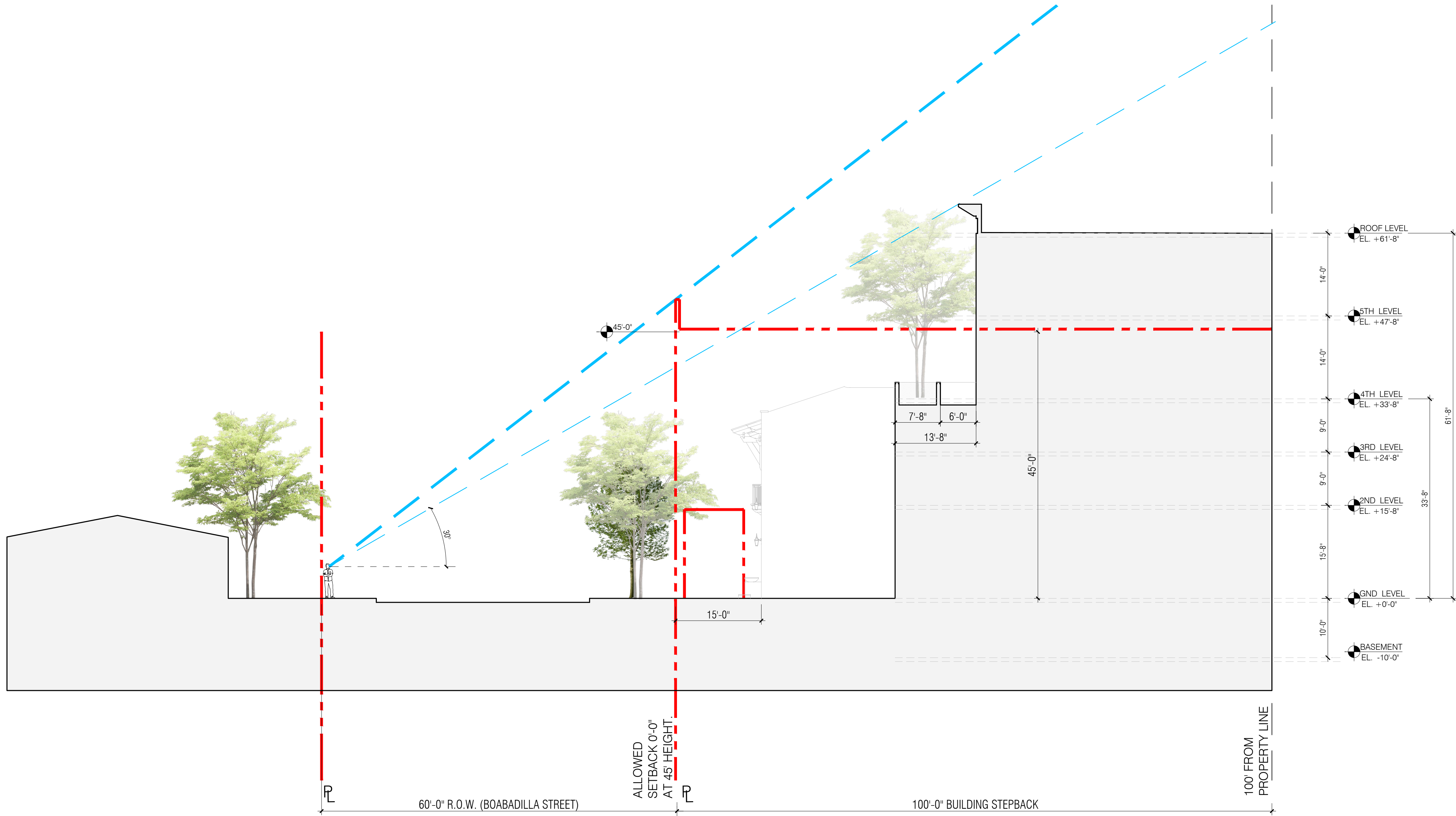
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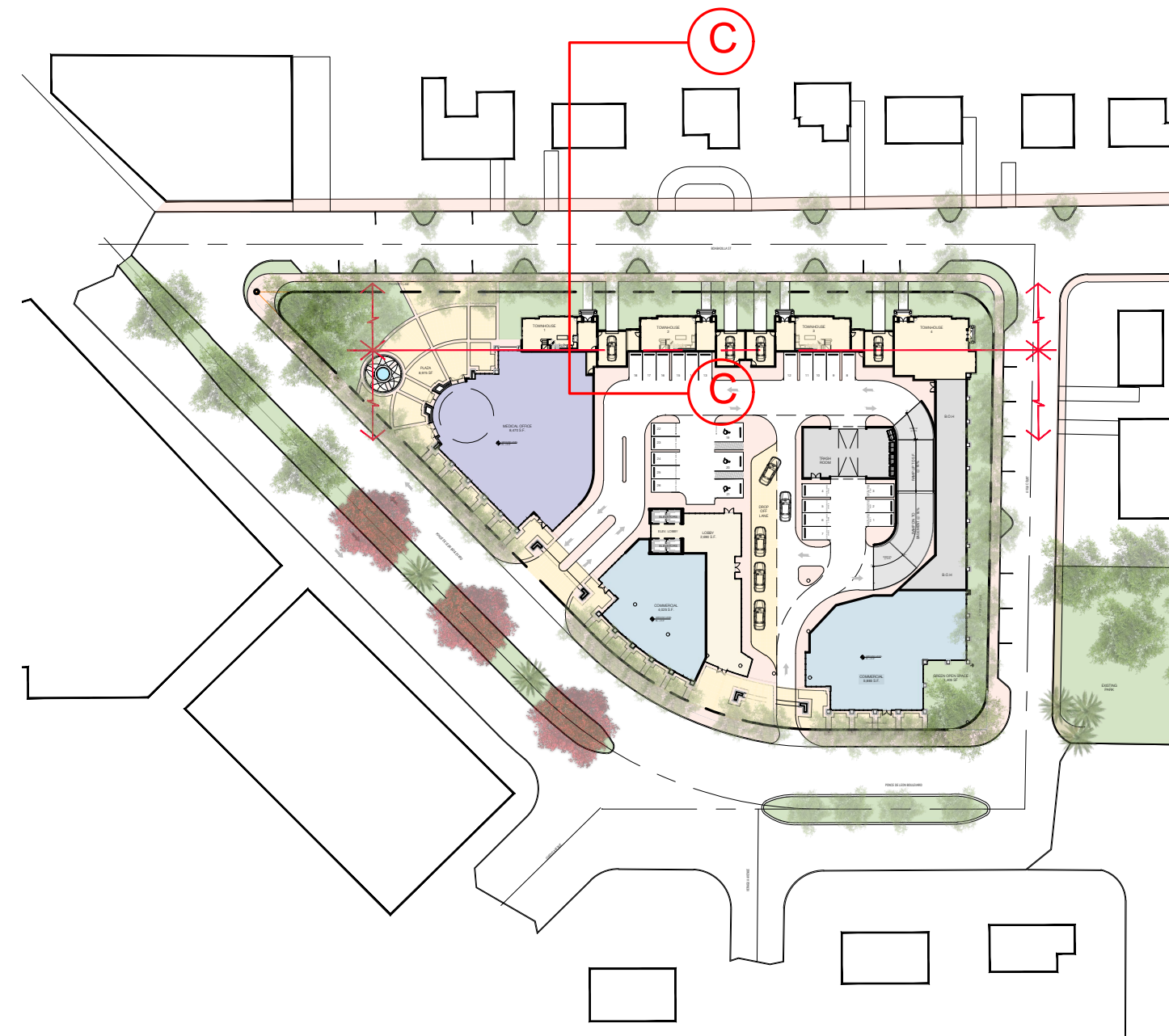
DRAWING NAME:

SHEET NO:

A-0.08



KEY MAP
SCALE: N.T.S.



C LINE OF SIGHT (BOABADILLA STREET)
SCALE: 1/32"=1'-0"

SEAL:

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RENDERING

SCALE: N.T.S

DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

R-1.00

SEAL:

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RENDERING

SCALE: N.T.S

DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

R-1.01

SEAL:

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RENDERING
SCALE: N.T.S

SEAL:

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CORAL GABLES, FL

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RENDERING
SCALE: N.T.S

SEAL:

ROBERT BEHAR AR No. 14339

760 PONCE
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RENDERING

SCALE: N.T.S

DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

R-1.04

SEAL:

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RENDERING

SCALE: N.T.S

DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

R-1.05

SEAL:

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760 PONCE
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RENDERING

SCALE: N.T.S

DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

R-1.06

SEAL:

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RENDERING

SCALE: N.T.S

DATE: 07.01.25
PROJECT NO: 22-040
DRAWING NAME:
SHEET NO:

R-1.07

SEAL:

ROBERT BEHAR AR No. 14339

760 PONCE
760 PONCE DE LEON BOULEVARD
CORAL GABLES, FL

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RENDERING

SCALE: N.T.S

DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

R-1.08

SEAL:

ROBERT BEHAR AR No. 14339

760 PONCE
760 PONCE DE LEON BOULEVARD
CORAL GABLES, FL

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RENDERING

SCALE: N.T.S

DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

R-1.09

SEAL:

ROBERT BEHAR AR No. 14339

760 PONCE
760 PONCE DE LEON BOULEVARD
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RENDERING

SCALE: N.T.S

DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

R-1.10

SEAL:

ROBERT BEHAR AR No. 14339

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760 PONCE DE LEON BOULEVARD
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RENDERING

SCALE: N.T.S

DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

R-1.11

SEAL:

ROBERT BEHAR AR No. 14339

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RENDERING

SCALE: N.T.S

DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

R-1.12

SEAL:

ROBERT BEHAR AR No. 14339

760 PONCE
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RENDERING

SCALE: N.T.S

DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

R-1.13

SEAL:

ROBERT BEHAR AR No. 14339

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RENDERING

SCALE: N.T.S

DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

R-1.14

SEAL:

ROBERT BEHAR AR No. 14339

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RENDERING

SCALE: N.T.S

DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

R-1.15

SEAL:

ROBERT BEHAR AR No. 14339

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RENDERING

SCALE: N.T.S

DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

R-1.16

SEAL:

ROBERT BEHAR AR No. 14339

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RENDERING
SCALE: N.T.S

SEAL:

ROBERT BEHAR AR No. 14339



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RENDERING

SCALE: N.T.S

DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

R-1.18

SEAL:

ROBERT BEHAR AR No. 14339

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RENDERING

SCALE: N.T.S

DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

R-1.19

SEAL:

ROBERT BEHAR AR No. 14339

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RENDERING

SCALE: N.T.S

DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

R-1.20

SEAL:

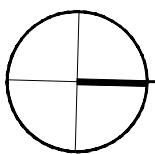
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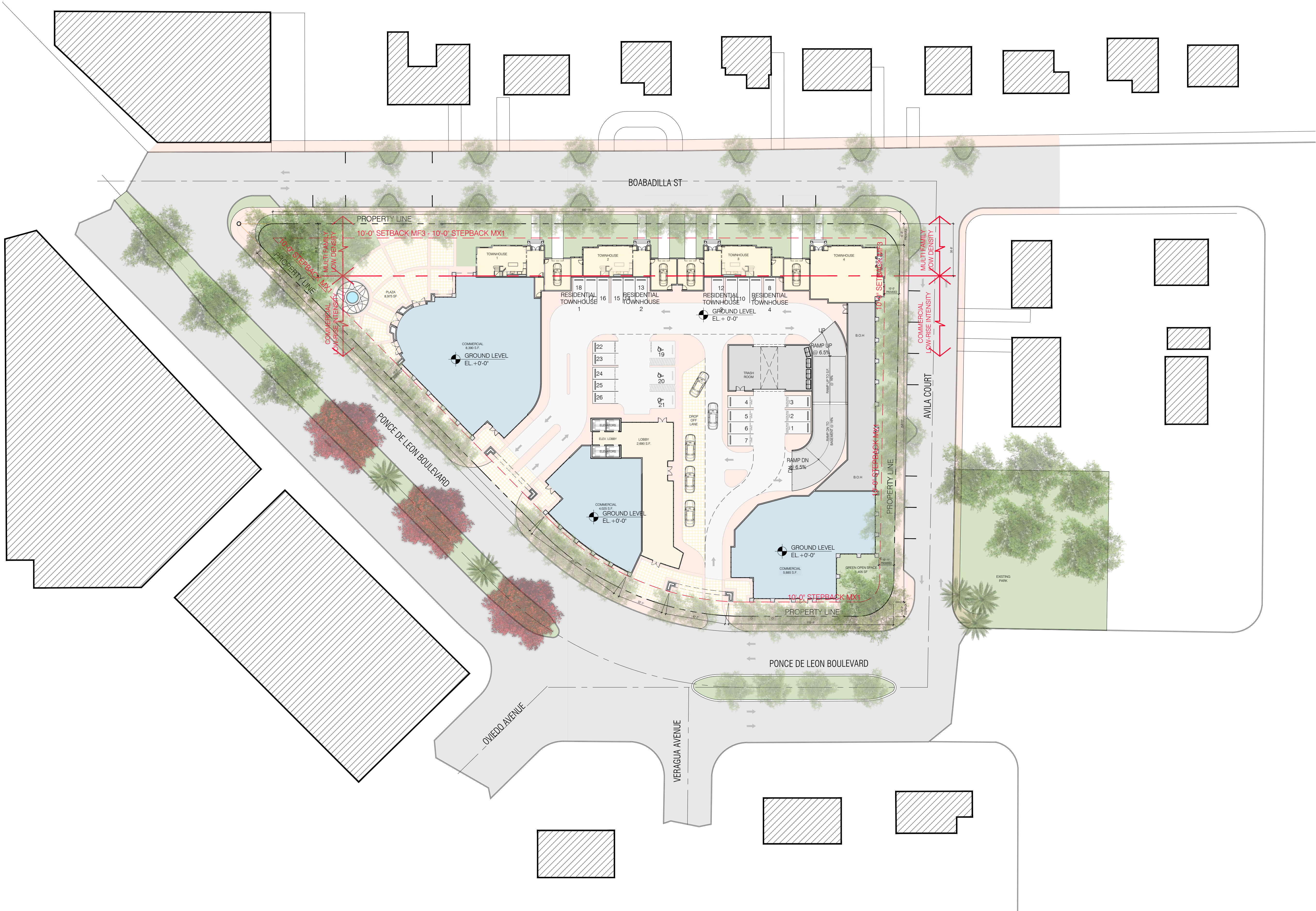
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760 PONCE DE LEON BOULEVARD
CORAL GABLES, FL

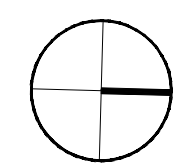
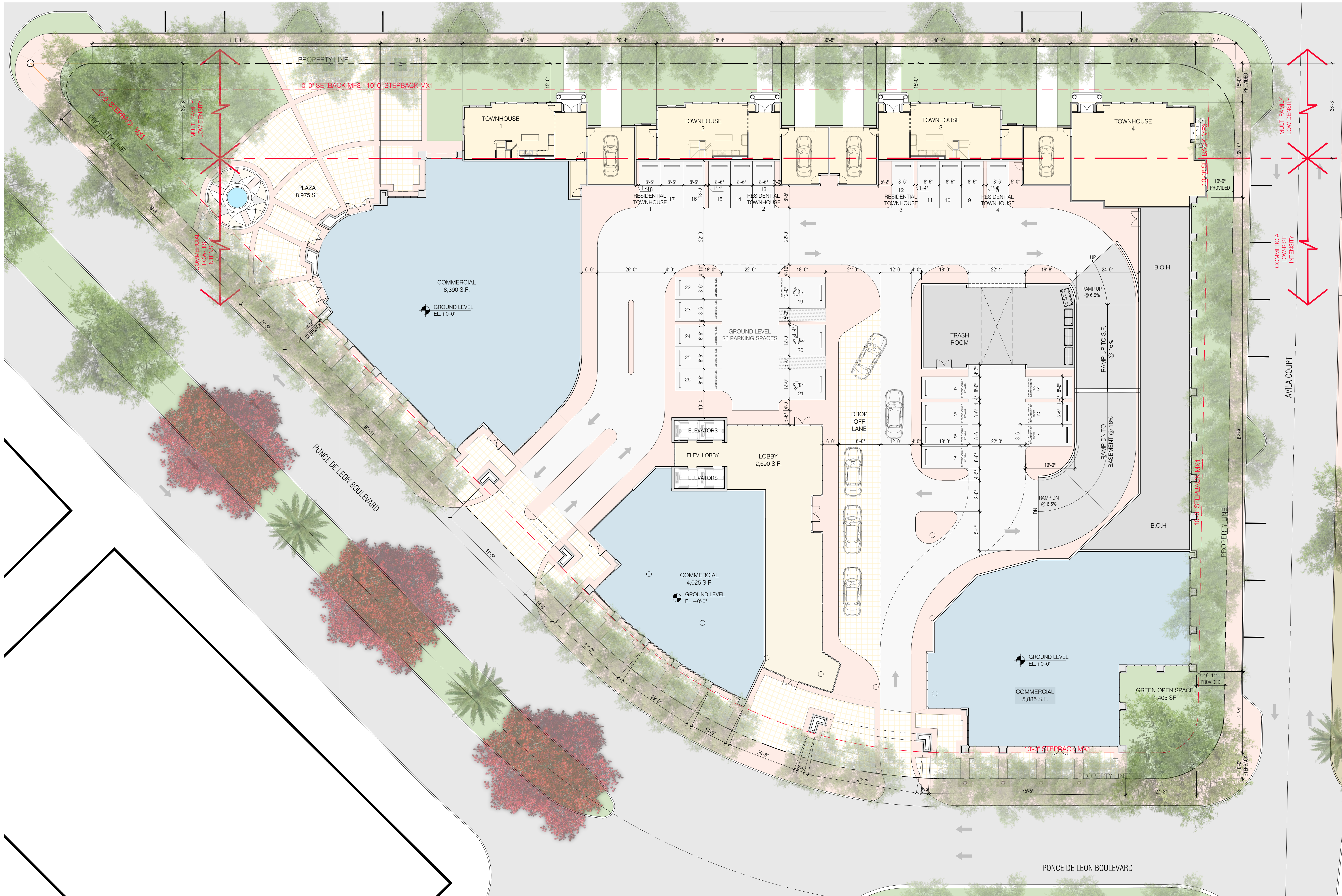
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DATE: 07.01.25
PROJECT NO: 22-040
DRAWING NAME:
SHEET NO:

A - 1.00

 SITE PLAN
SCALE: 1/32"=1'-0"





GROUND FLOOR PLAN

SCALE: 1/16"=1'-0"

SEAL:

ROBERT BEHAR AR No. 14339

760 PONCE
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CORAL GABLES, FL

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DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

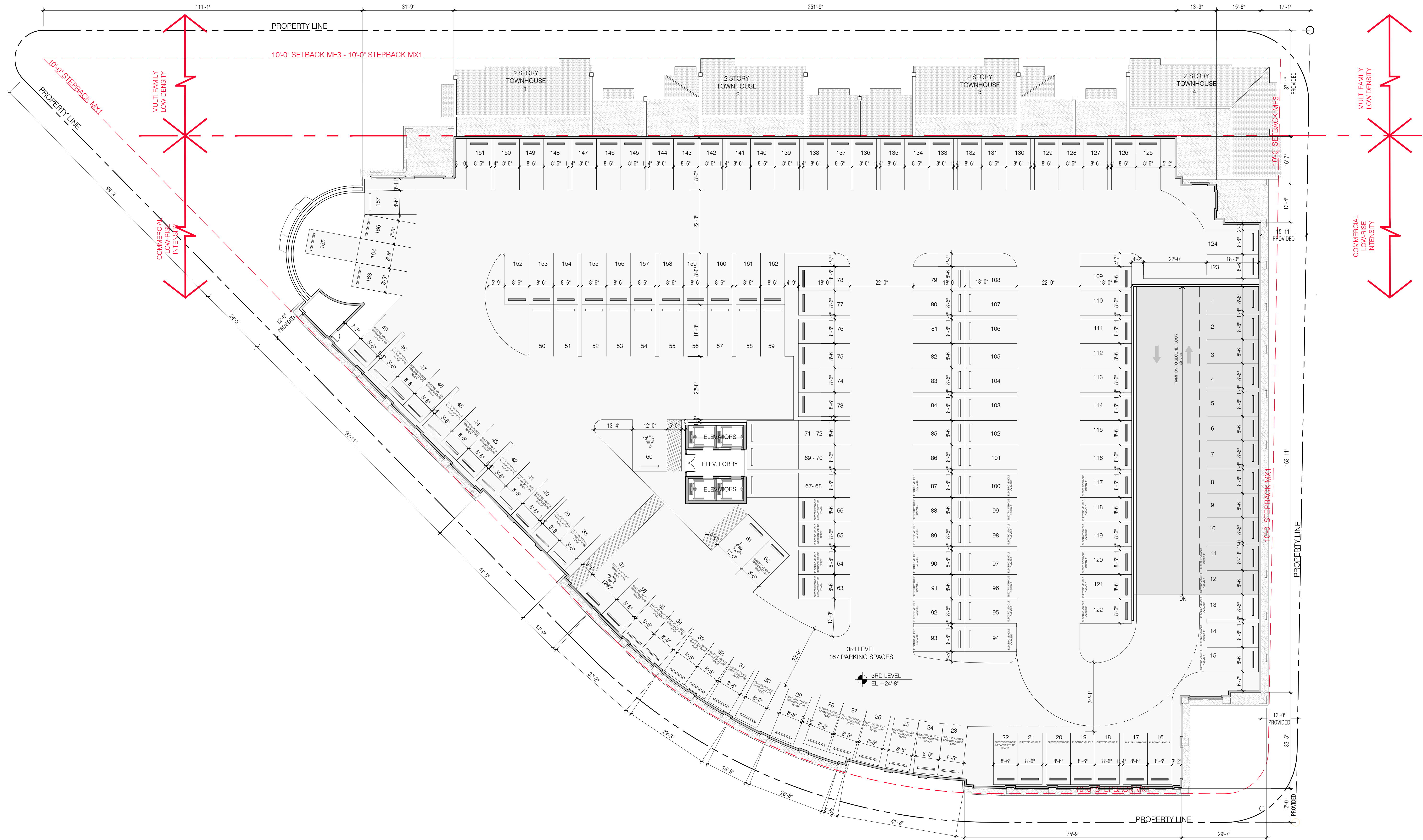
A-1.01

BOABADILLA ST

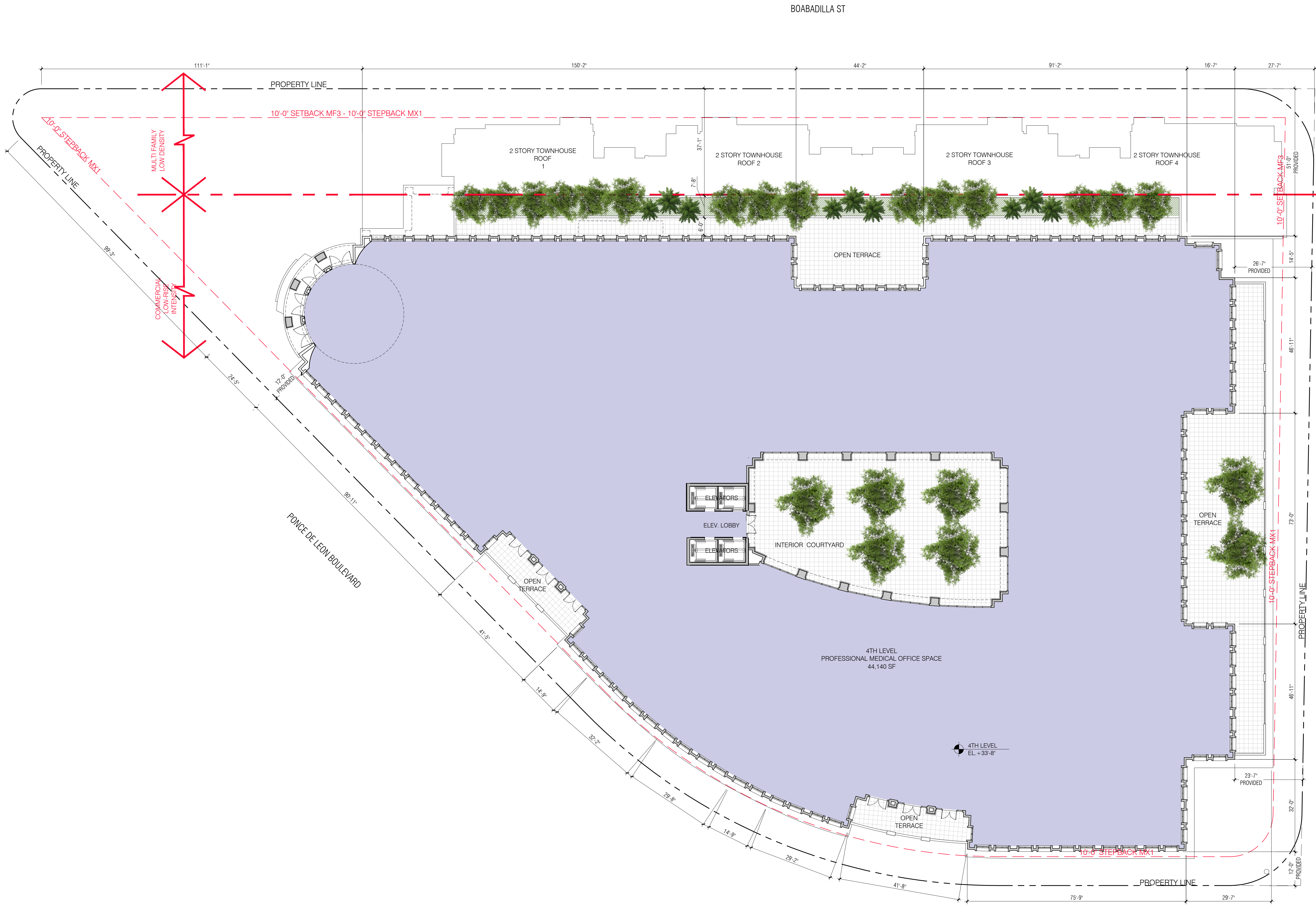


2ND FLOOR PLAN

SCALE: 1/16"=1'-0"



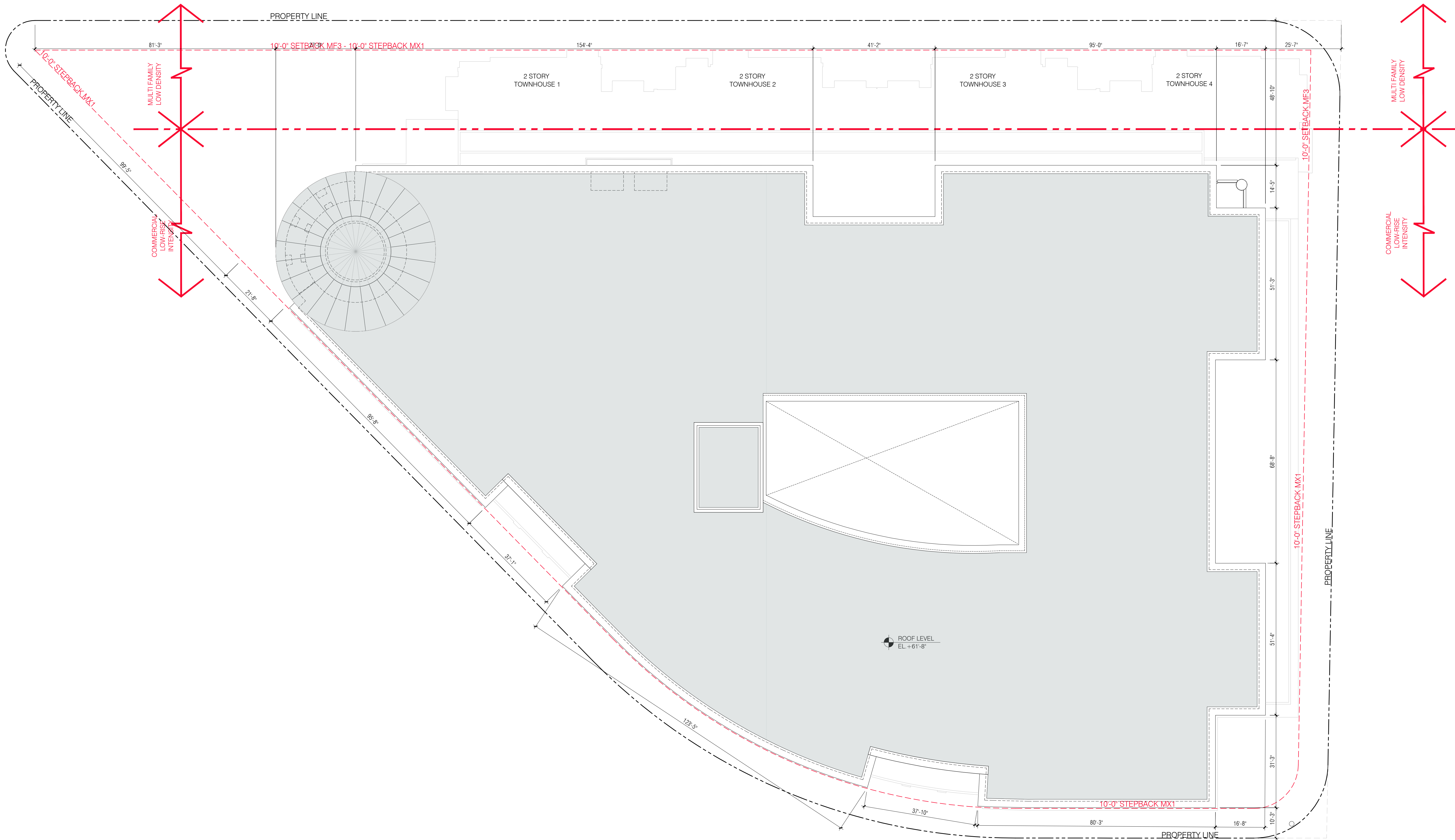
3RD FLOOR PLAN
SCALE: 1/16"=1'-0"



4TH FLOOR PLAN
SCALE: 1/16"=1'-0"



5TH FLOOR PLAN
SCALE: 1/16"=1'-0"



ROOF PLAN
SCALE: 1/16"=1'-0"

SEAL:

ROBERT BEHAR AR No. 14339

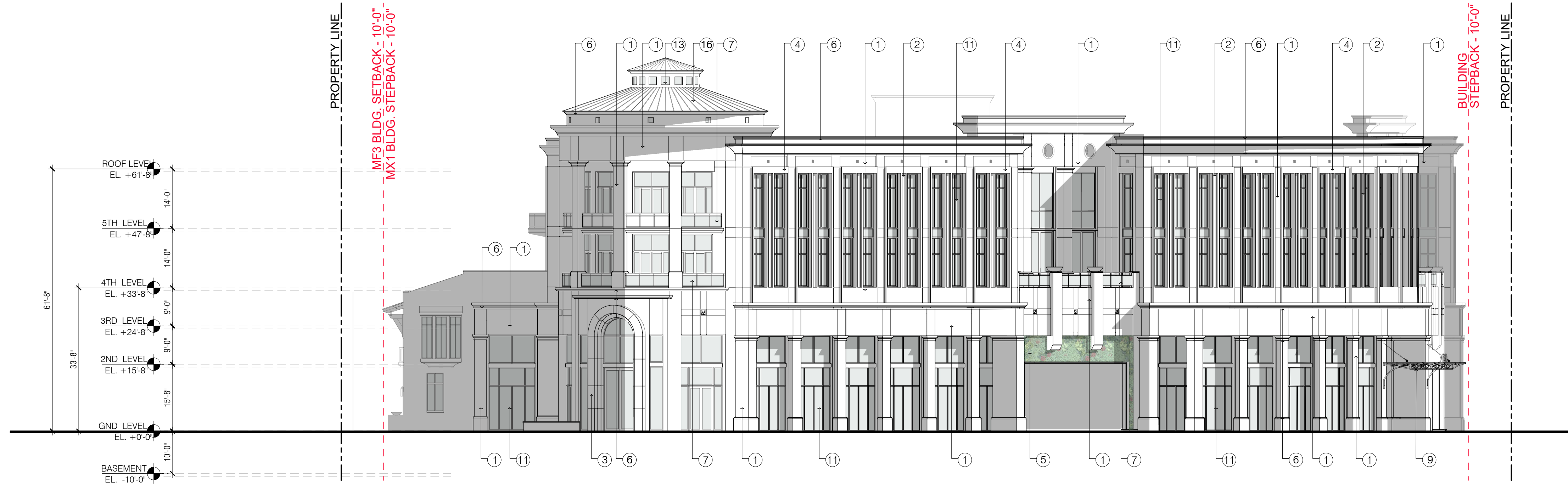
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760 PONCE
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CORAL GABLES, FL



SOUTH ELEVATION

SCALE: 1/16"=1'-0"



SOUTH ELEVATION

SCALE: 1/16"=1'-0"

ELEVATION MATERIAL LEGEND:

- | | | | | | |
|---|---|-----------------------------------|--|--------------------------|--|
| ① PRECAST CONCRETE PANELS SMOOTH FINISH. | ④ PRIMED PAINTED STUCCO FINISH. | ⑦ 42" HIGH A.F.F. GLASS RAILING. | ⑩ LIGHT GRAY FABRIC CANVAS CANOPY. | ⑬ ALUMINUM FIXED WINDOW. | ⑯ STANDING SEAM COPPER ROOF. |
| ② PRECAST CONCRETE PANELS TEXTURE FINISH. | ⑤ LIVE GREEN WALL. | ⑧ 42" HIGH A.F.F. PICKET RAILING. | ⑪ STOREFRONT SYSTEM WITH LIGHT GRAY LAMINATED GLASS AND SPANDREL GLASS BETWEEN FLOORS. | ⑭ EXTERIOR WOOD DOOR. | ⑰ ARCHITECTURAL WALL MOUNTED LIGHTING. |
| ③ NATURAL STONE VENEER. | ⑥ PRECAST CONCRETE DECORATIVE MOULDING SMOOTH FINISH. | ⑨ GLASS AND ALUMINUM CANOPY. | ⑫ ALUMINUM WINDOW. | ⑮ BARREL CLAY TILE ROOF. | |



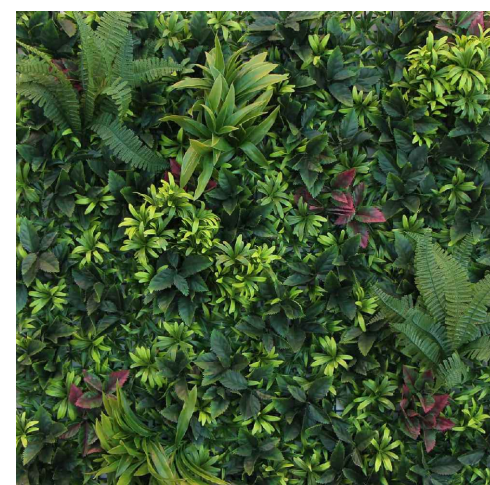
① PRECAST CONCRETE PANELS SMOOTH FINISH



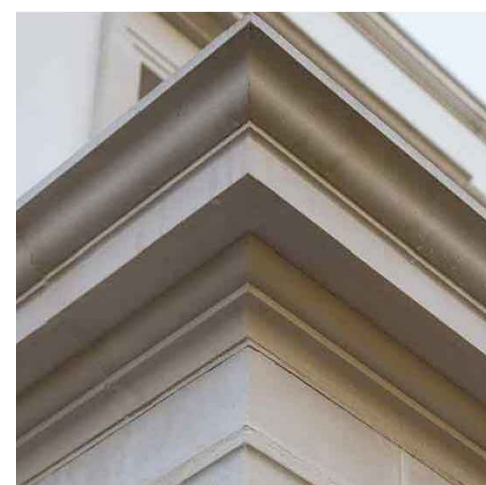
② PRECAST CONCRETE PANELS TEXTURE FINISH



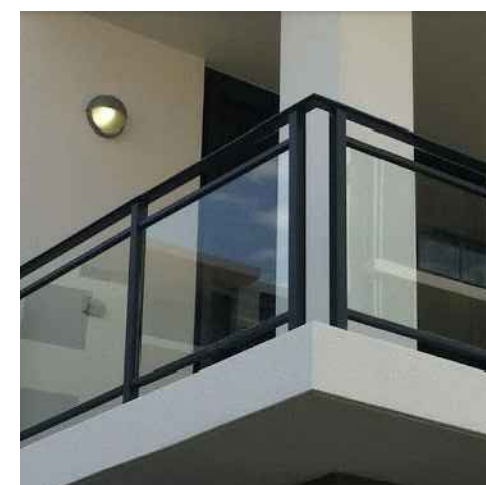
④ PRIMED PAINTED STUCCO FINISH



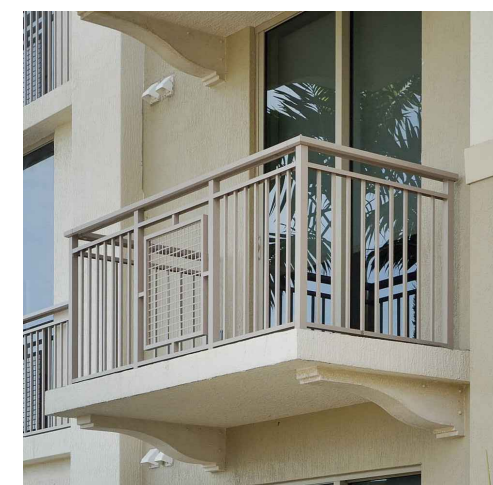
⑤ LIVE GREEN WALL



⑥ PRECAST CONCRETE DECORATIVE MOULDING SMOOTH FINISH



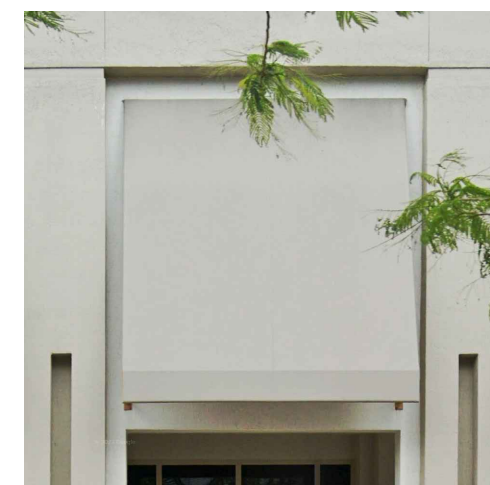
⑦ 42" HIGH A.F.F. GLASS RAILING



⑧ 42" HIGH A.F.F. PICKET RAILING



⑨ GLASS AND ALUMINUM CANOPY



⑩ LIGHT GRAY FABRIC CANVAS CANOPY



⑮ BARREL CLAY ROOF TILE



⑯ STANDING SEAM COPPER ROOF



⑰ ARCHITECTURAL WALL MOUNTED LIGHTING

DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

A-2.01

SEAL:

ROBERT BEHAR AR No. 14339

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CORAL GABLES, FL

DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

A-2.02



ELEVATION MATERIAL LEGEND:

- | | | | | | |
|---|---|-----------------------------------|--|--------------------------|--|
| ① PRECAST CONCRETE PANELS SMOOTH FINISH. | ④ PRIMED PAINTED STUCCO FINISH. | ⑦ 42" HIGH A.F.F. GLASS RAILING. | ⑩ LIGHT GRAY FABRIC CANVAS CANOPY. | ⑬ ALUMINUM FIXED WINDOW. | ⑯ STANDING SEAM COPPER ROOF. |
| ② PRECAST CONCRETE PANELS TEXTURE FINISH. | ⑤ LIVE GREEN WALL. | ⑧ 42" HIGH A.F.F. PICKET RAILING. | ⑪ STOREFRONT SYSTEM WITH LIGHT GRAY LAMINATED GLASS AND SPANDREL GLASS BETWEEN FLOORS. | ⑭ EXTERIOR WOOD DOOR. | ⑰ ARCHITECTURAL WALL MOUNTED LIGHTING. |
| ③ NATURAL STONE VENEER. | ⑥ PRECAST CONCRETE DECORATIVE MOULDING SMOOTH FINISH. | ⑨ GLASS AND ALUMINUM CANOPY. | ⑫ ALUMINUM WINDOW. | ⑮ BARREL CLAY TILE ROOF. | |



SEAL:

ROBERT BEHAR AR No. 14339

760 PONCE
760 PONCE DE LEON BOULEVARD
CORAL GABLES, FL

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NORTH ELEVATION

SCALE: 1/16"=1'-0"



NORTH ELEVATION

SCALE: 1/16"=1'-0"

ELEVATION MATERIAL LEGEND:

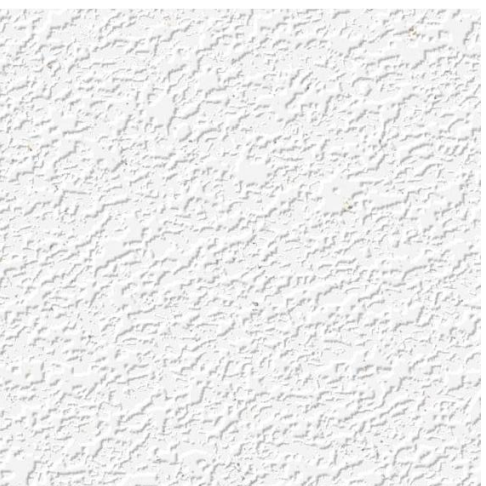
- | | | | | | |
|---|---|-----------------------------------|--|--------------------------|--|
| ① PRECAST CONCRETE PANELS SMOOTH FINISH. | ④ PRIMED PAINTED STUCCO FINISH. | ⑦ 42" HIGH A.F.F. GLASS RAILING. | ⑩ LIGHT GRAY FABRIC CANVAS CANOPY. | ⑬ ALUMINUM FIXED WINDOW. | ⑯ STANDING SEAM COPPER ROOF. |
| ② PRECAST CONCRETE PANELS TEXTURE FINISH. | ⑤ LIVE GREEN WALL. | ⑧ 42" HIGH A.F.F. PICKET RAILING. | ⑪ STOREFRONT SYSTEM WITH LIGHT GRAY LAMINATED GLASS AND SPANDREL GLASS BETWEEN FLOORS. | ⑭ EXTERIOR WOOD DOOR. | ⑰ ARCHITECTURAL WALL MOUNTED LIGHTING. |
| ③ NATURAL STONE VENEER. | ⑥ PRECAST CONCRETE DECORATIVE MOULDING SMOOTH FINISH. | ⑨ GLASS AND ALUMINUM CANOPY. | ⑫ ALUMINUM WINDOW. | ⑮ BARREL CLAY TILE ROOF. | |



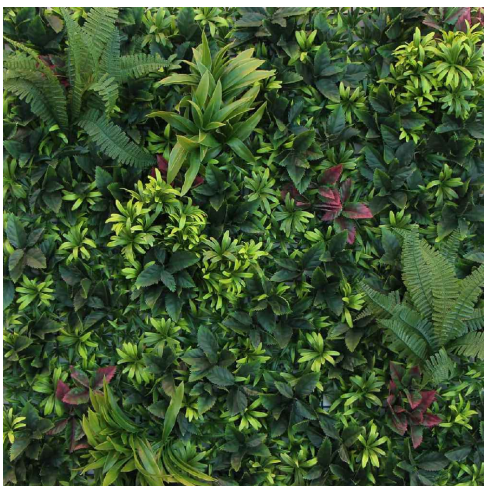
① PRECAST CONCRETE PANELS SMOOTH FINISH



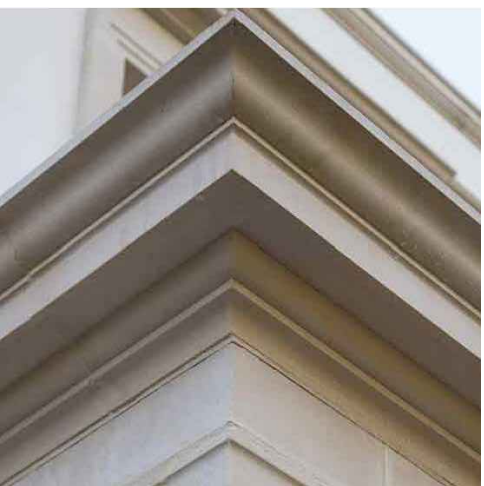
② PRECAST CONCRETE PANELS TEXTURE FINISH



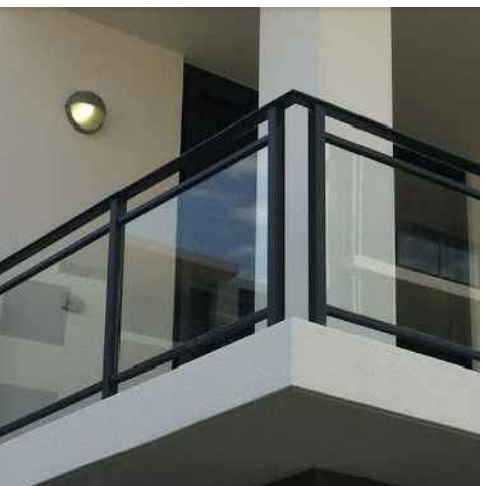
④ PRIMED PAINTED STUCCO FINISH



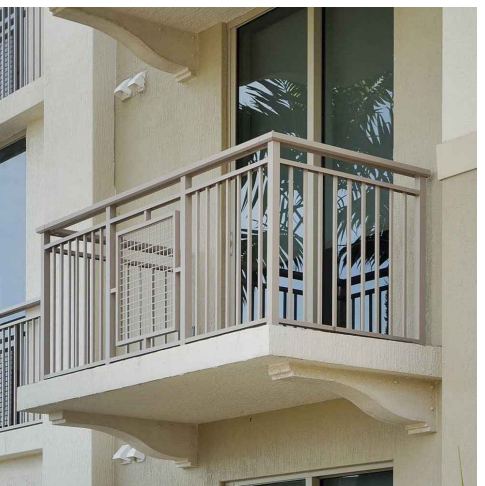
⑤ LIVE GREEN WALL



⑥ PRECAST CONCRETE DECORATIVE MOULDING SMOOTH FINISH



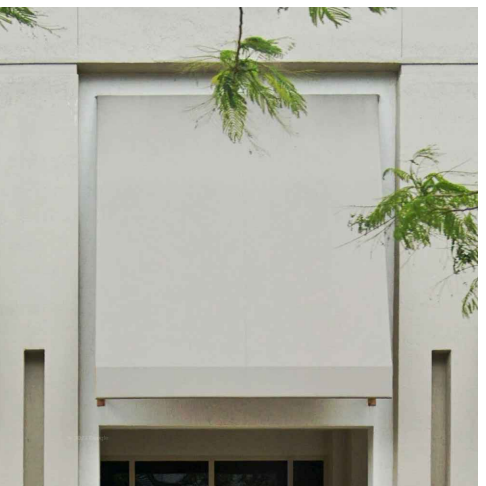
⑦ 42" HIGH A.F.F. GLASS RAILING



⑧ 42" HIGH A.F.F. PICKET RAILING



⑨ GLASS AND ALUMINUM CANOPY



⑩ LIGHT GRAY FABRIC CANVAS CANOPY



⑮ BARREL CLAY ROOF TILE



⑯ STANDING SEAM COPPER ROOF



⑰ ARCHITECTURAL WALL MOUNTED LIGHTING

DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

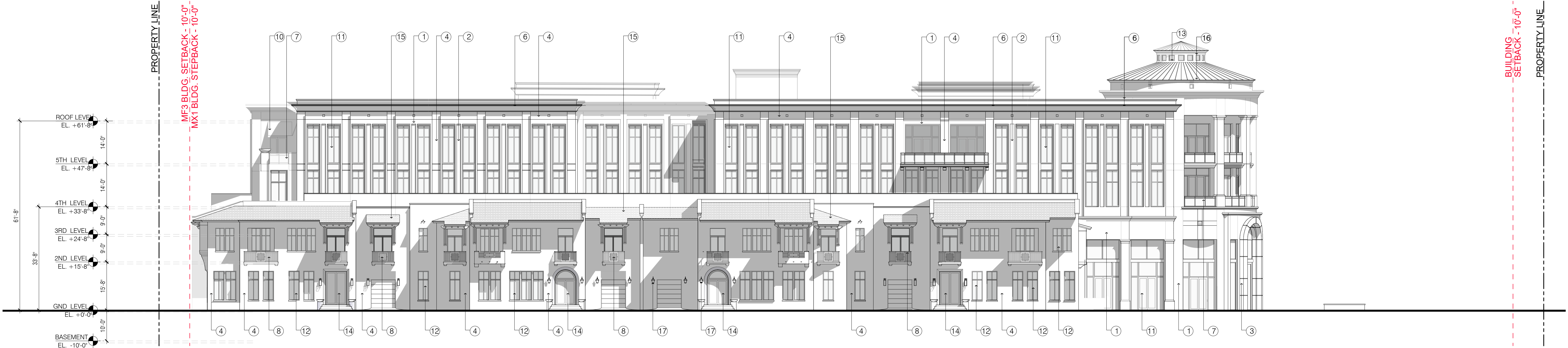
SHEET NO:

A-2.03



WEST ELEVATION

SCALE: 1/16"=1'-0"



WEST ELEVATION

SCALE: 1/16"=1'-0"

ELEVATION MATERIAL LEGEND:

- | | | | | | |
|---|---|-----------------------------------|--|--------------------------|--|
| ① PRECAST CONCRETE PANELS SMOOTH FINISH. | ④ PRIMED PAINTED STUCCO FINISH. | ⑦ 42" HIGH A.F.F. GLASS RAILING. | ⑩ LIGHT GRAY FABRIC CANVAS CANOPY. | ⑬ ALUMINUM FIXED WINDOW. | ⑯ STANDING SEAM COPPER ROOF. |
| ② PRECAST CONCRETE PANELS TEXTURE FINISH. | ⑤ LIVE GREEN WALL. | ⑧ 42" HIGH A.F.F. PICKET RAILING. | ⑪ STOREFRONT SYSTEM WITH LIGHT GRAY LAMINATED GLASS AND SPANDREL GLASS BETWEEN FLOORS. | ⑭ EXTERIOR WOOD DOOR. | ⑰ ARCHITECTURAL WALL MOUNTED LIGHTING. |
| ③ NATURAL STONE VENEER. | ⑥ PRECAST CONCRETE DECORATIVE MOULDING SMOOTH FINISH. | ⑨ GLASS AND ALUMINUM CANOPY. | ⑫ ALUMINUM WINDOW. | ⑮ BARREL CLAY TILE ROOF. | |



SEAL:

ROBERT BEHAR AR No. 14339

760 PONCE
760 PONCE DE LEON BOULEVARD
CORAL GABLES, FL

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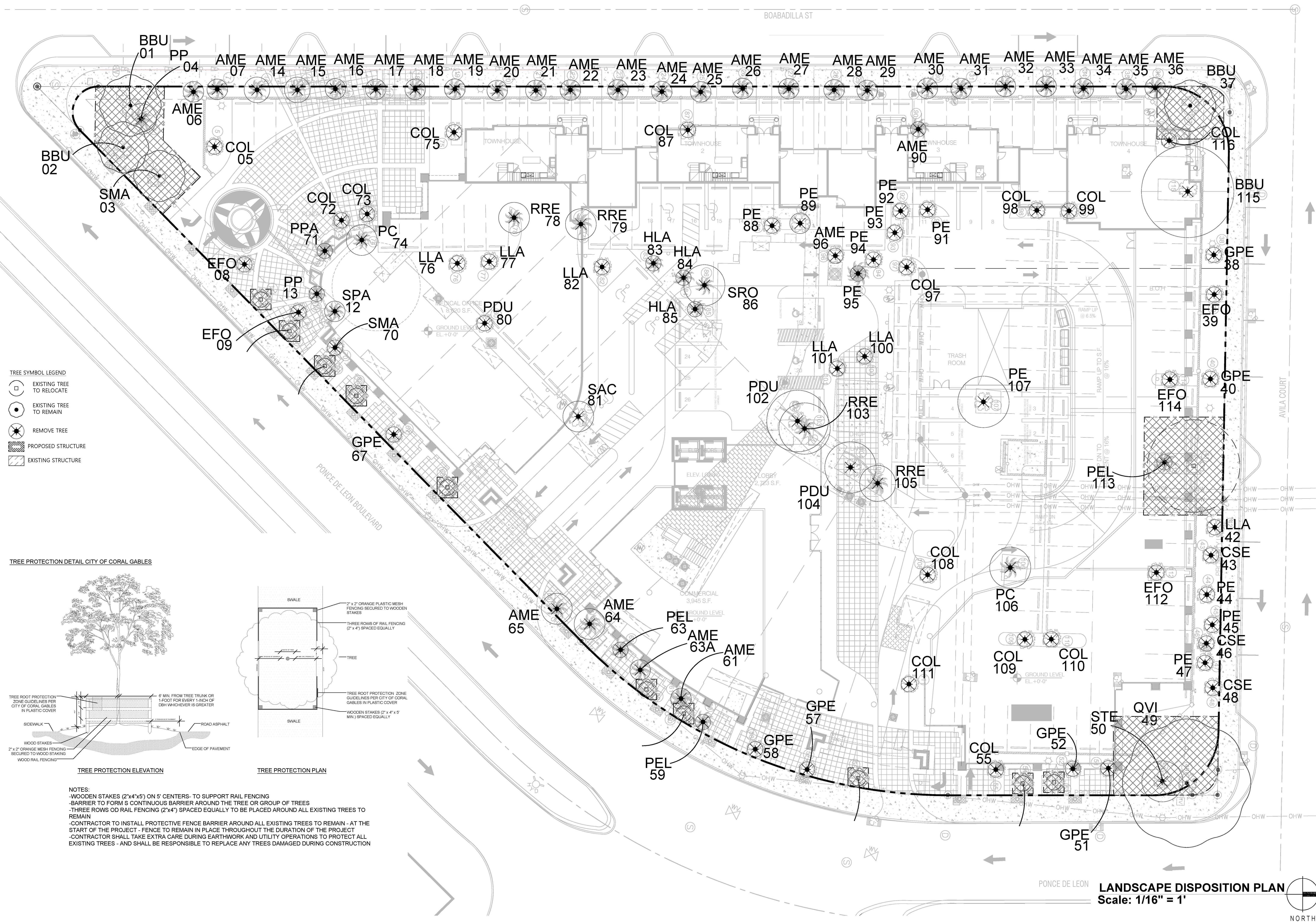
DATE: 07.01.25

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

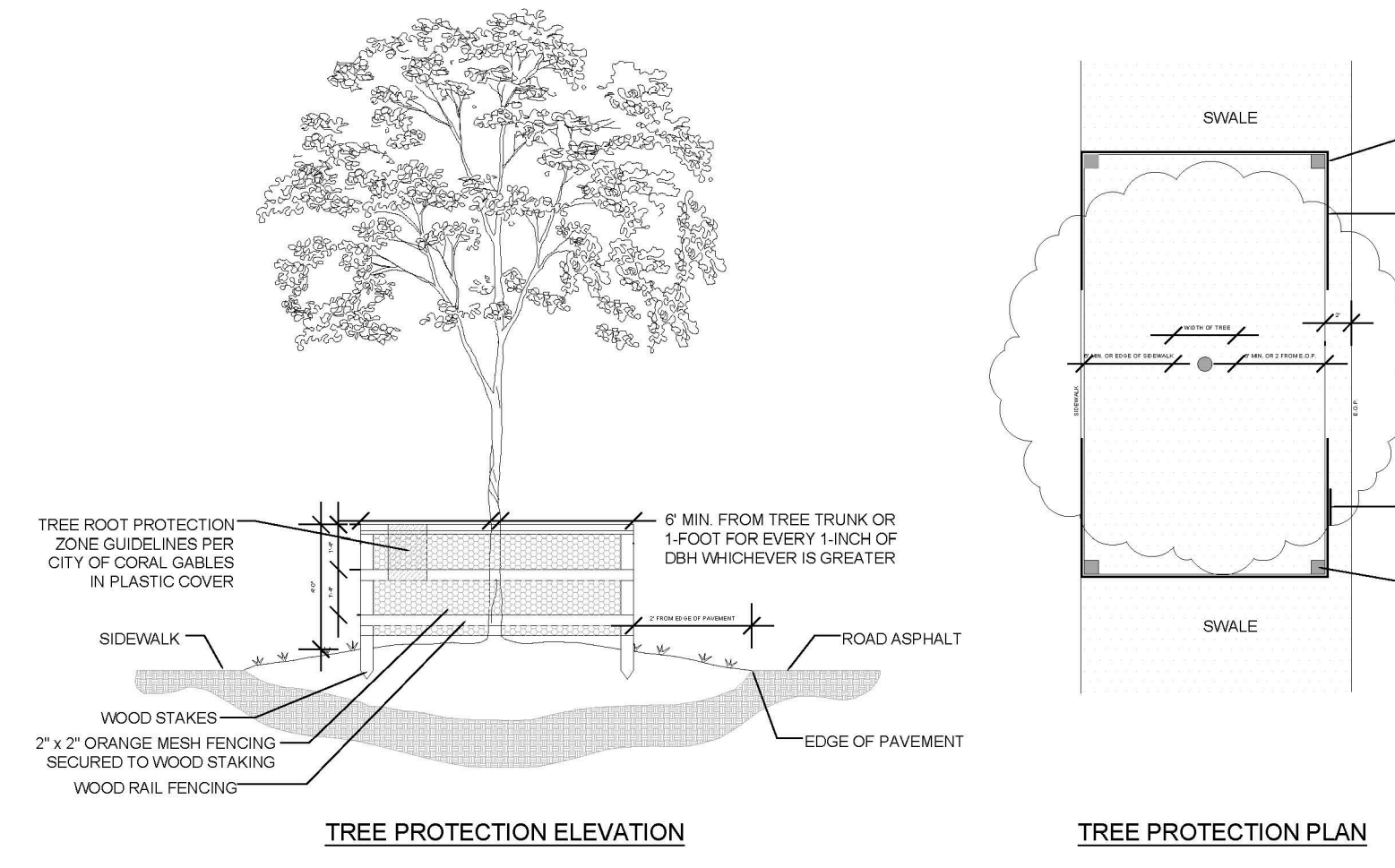
A-2.04



TREE SYMBOL LEGEND

- EXISTING TREE TO RELOCATE
- EXISTING TREE TO REMAIN
- REMOVE TREE
- PROPOSED STRUCTURE
- EXISTING STRUCTURE

TREE PROTECTION DETAIL CITY OF CORAL GABLES



NOTES:
-WOODEN STAKES (2"x4"x5') ON 5' CENTERS- TO SUPPORT RAIL FENCING
-BARRIER TO FORM A CONTINUOUS BARRIER AROUND THE TREE OR GROUP OF TREES
-THREE ROWS OF RAIL FENCING (2"x4") SPACED EQUALLY TO BE PLACED AROUND ALL EXISTING TREES TO REMAIN
-CONTRACTOR TO INSTALL PROTECTIVE FENCE BARRIER AROUND ALL EXISTING TREES TO REMAIN - AT THE START OF THE PROJECT - FENCE TO REMAIN IN PLACE THROUGHOUT THE DURATION OF THE PROJECT
-CONTRACTOR SHALL TAKE EXTRA CARE DURING EARTHWORK AND UTILITY OPERATIONS TO PROTECT ALL EXISTING TREES - AND SHALL BE RESPONSIBLE TO REPLACE ANY TREES DAMAGED DURING CONSTRUCTION

760 PONCE TREE DISPOSITION										
TREE NO.	SYMBOL	COMMON NAME	BOTANICAL NAME	CRZ/TPZ (FT)	DBH (IN.)	HT (FT.)	SP. (FT.)	DISPOSITION	CONDITION	NOTES
01	BBU	Black olive	Bucida buceras	10,26	24	70	26	Remain	Poor	Codominant
02	BBU	Black olive	Bucida buceras	10,24	22	60	24	Remain	Poor	Codominant
03	SMA	Mahogany	Swietenia mahagoni	N/A	22	60	24	Remain	Poor	Codominant
04	PP	Fiji fan palm	Pritchardia pacifica	N/A	8	20	12	Remove	Good	
05	COL	Satinleaf	Chrysophyllum oliviforme	N/A	3	12	6	Remove	Poor	Under Regulation Size, partially dead
06	AME	Manila palm	Adonidia merillii	N/A	5	12	8	Remove	Good	
07	AME	Manila palm	Adonidia merillii	N/A	5	12	8	Remove	Good	
08	EFO	Spanish Stopper	Eugenia foetida	N/A	3	10	3	Remove	Good	Under Regulation Size
09	EFO	Spanish Stopper	Eugenia foetida	N/A	3	10	3	Remove	Good	Under Regulation Size
10	GPE	Bridal Veil	Gibasis pellucida	N/A	3	10	5	Relocate	Good	Under Regulation Size
11	GPE	Bridal Veil	Gibasis pellucida	N/A	3	10	5	Relocate	Good	Under Regulation Size
12	SPA	Cabbage palm	Sabal palmetto	N/A	10	12	8	Remove	Good	
13	PP	Fiji fan palm	Pritchardia pacifica	N/A	4	15	6	Remove	Good	
14	AME	Manila palm	Adonidia merillii	N/A	6	15	10	Remove	Good	
15	AME	Manila palm	Adonidia merillii	N/A	6	15	10	Remove	Good	
16	AME	Manila palm	Adonidia merillii	N/A	3	8	6	Remove	Good	Multi trunk, Under Regulation Size
17	AME	Manila palm	Adonidia merillii	N/A	3	8	6	Remove	Good	Multi trunk, Under Regulation Size
18	AME	Manila palm	Adonidia merillii	N/A	3	8	6	Remove	Good	Multi trunk, Under Regulation Size
19	AME	Manila palm	Adonidia merillii	N/A	3	8	6	Remove	Good	Multi trunk, Under Regulation Size
20	AME	Manila palm	Adonidia merillii	N/A	3	8	6	Remove	Good	Multi trunk, Under Regulation Size
21	AME	Manila palm	Adonidia merillii	N/A	3	8	6	Remove	Good	Multi trunk, Under Regulation Size
22	AME	Manila palm	Adonidia merillii	N/A	3	8	6	Remove	Good	Multi trunk, Under Regulation Size
23	AME	Manila palm	Adonidia merillii	N/A	3	8	6	Remove	Good	Multi trunk, Under Regulation Size
24	AME	Manila palm	Adonidia merillii	N/A	3	8	6	Remove	Good	Multi trunk, Under Regulation Size
25	AME	Manila palm	Adonidia merillii	N/A	3	8	6	Remove	Good	Multi trunk, Under Regulation Size
26	AME	Manila palm	Adonidia merillii	N/A	3	8	6	Remove	Good	Multi trunk, Under Regulation Size
27	AME	Manila palm	Adonidia merillii	N/A	3	8	6	Remove	Good	Multi trunk, Under Regulation Size
28	AME	Manila palm	Adonidia merillii	N/A	3	8	6	Remove	Good	Multi trunk, Under Regulation Size
29	AME	Manila palm	Adonidia merillii	N/A	3	8	6	Remove	Good	Multi trunk, Under Regulation Size
30	AME	Manila palm	Adonidia merillii	N/A	3	8	6	Remove	Good	Multi trunk, Under Regulation Size
31	AME	Manila palm	Adonidia merillii	N/A	3	8	6	Remove	Good	Multi trunk, Under Regulation Size
32	AME	Manila palm	Adonidia merillii	N/A	3	8	6	Remove	Good	Multi trunk, Under Regulation Size
33	AME	Manila palm	Adonidia merillii	N/A	3	8	6	Remove	Good	Multi trunk, Under Regulation Size
34	AME	Manila palm	Adonidia merillii	N/A	3	8	6	Remove	Good	Multi trunk, Under Regulation Size
35	AME	Manila palm	Adonidia merillii	N/A	3	8	6	Remove	Good	Multi trunk, Under Regulation Size
36	AME	Manila palm	Adonidia merillii	N/A	3	8	6	Remove	Good	Multi trunk, Under Regulation Size
37	BBU	Black olive	Bucida buceras	10,25	32	70	25	Remain	Good	Multi trunk
38	GPE	Bridal Veil	Gibasis pellucida	N/A	3	10	5	Remove	Good	Under Regulation Size
39	EFO	Spanish Stopper	Eugenia foetida	N/A	3	10	3	Remove	Good	Under Regulation Size
40	GPE	Bridal Veil	Gibasis pellucida	N/A	3	10	5	Remove	Good	Under Regulation Size
41	BBU	Black olive	Bucida buceras	N/A	36	80	35	Relocate	Good	
42	LLA	Wild Tamarind	Lysiloma latisiliquum	N/A	4	8	5	Remove	Good	Heavy cuts due to powerline maintenance
43	CSE	Geiger tree	Cordia sebestena	N/A	3	8	4	Remove	Good	
44	PE	Slash Pine	Pinus eliottii	N/A	3	15	4	Remove	Good	Under Regulation Size
45	PE	Slash Pine	Pinus eliottii	N/A	3	15	4	Remove	Good	Under Regulation Size
46	CSE	Geiger tree	Cordia sebestena	N/A	4	12	6	Remove	Good	
47	PE	Slash Pine	Pinus eliottii	N/A	3	15	4	Remove	Good	Under Regulation Size
48	CSE	Geiger tree	Cordia sebestena	N/A	4	12	6	Remove	Good	
49	QVI	Live oak	Quercus virginiana	10,50	60	85	50	Remain	Good	
50	STE	Brazilian Pepper	Schinus terebinthifolius	N/A	10	20	15	Remove	Good	
51	GPE	Bridal Veil	Gibasis pellucida	N/A	3	10	5	Remove	Good	Under Regulation Size
52	GPE	Bridal Veil	Gibasis pellucida	N/A	3	10	5	Remove	Good	Under Regulation Size
53	GPE	Bridal Veil	Gibasis pellucida	N/A	3	10	5	Relocate	Good	Under Regulation Size
54	GPE	Bridal Veil	Gibasis pellucida	N/A	3	10	5	Relocate	Good	Under Regulation Size
55	COL	Satinleaf	Chrysophyllum oliviforme	N/A	3	12	6	Remove	Good	Under Regulation Size
56	GPE	Bridal Veil	Gibasis pellucida	N/A	3	10	5	Relocate	Good	Under Regulation Size
57	GPE	Bridal Veil	Gibasis pellucida	N/A	3	10	5	Remove	Good	Under Regulation Size
58	GPE	Bridal Veil	Gibasis pellucida	N/A	3	10	5	Remove	Good	Under Regulation Size

TREE PROTECTION NOTES & REQUIREMENTS:

PROTECTION REQUIREMENTS DURING SITE DEVELOPMENT: PROTECTION REQUIREMENTS FOR TREES DESIGNATED FOR PRESERVATION UNDER AN APPROVED DEMOLITION PERMIT OR TREE REMOVAL PERMIT SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:

1. PROTECTIVE BARRIERS SHALL BE PLACED AROUND EACH TREE, CLUSTER OF TREES, OR THE EDGE OF THE PRESERVATION AREA NO LESS THAN SIX FEET (IN RADIUS) FROM THE TRUNK OF ANY PROTECTED TREE CLUSTER, OR PRESERVATION AREA UNLESS A LESSER DISTANCE IS SPECIFIED BY THE ADMINISTRATIVE OFFICIAL. PROTECTIVE BARRIERS SHALL BE A MINIMUM OF FOUR FEET ABOVE GROUND LEVEL AND SHALL BE CONSTRUCTED OF WOOD, PLASTIC OR METAL, AND SHALL REMAIN IN PLACE UNTIL DEVELOPMENT IS COMPLETED AND THE ADMINISTRATIVE OFFICIAL HAS AUTHORIZED THEIR REMOVAL. PROTECTIVE BARRIERS SHALL BE IN PLACE PRIOR TO THE START OF ANY CONSTRUCTION.
- 1.1. IF TREE PROTECTOR BARRIER IS DAMAGED, REPAIR IS TO BE PERFORMED IMMEDIATELY. CARE MUST BE TAKEN NOT TO DAMAGE THE TREES TO REMAIN.
2. UNDERSTORY PLANTS WITHIN PROTECTIVE BARRIERS SHALL BE PROTECTED.
3. ALL EXISTING SHRUBS & GROUNDCOVERS DIRECTLY IMPACTED BY CONSTRUCTION ACTIVITIES OR PROPOSED LANDSCAPING SHALL BE REMOVED; PLANT MATERIALS NOT DIRECTLY IMPACTED BY CONSTRUCTION THAT HAVE BEEN DAMAGED OR REMOVED SHALL BE REPLACED WITH LIKE MATERIALS BY CONTRACTOR.
4. NO EXCESS OIL, FILL, EQUIPMENT, BUILDING MATERIALS OR BUILDING DEBRIS SHALL BE PLACED WITHIN THE AREAS SURROUNDED BY PROTECTIVE BARRIERS, NOR SHALL THERE BE DISPOSAL OF ANY WASTE MATERIAL SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO TREES OR UNDERSTORY PLANTS WITHIN THE AREAS SURROUNDED BY PROTECTIVE BARRIERS.
5. TREES SHALL BE BRACED IN SUCH A FASHION AS TO NOT SCAR, PENETRATE, PERFORATE OR OTHERWISE INFLICT DAMAGE TO THE TREE.
6. NATURAL GRADE SHALL BE MAINTAINED WITHIN PROTECTIVE BARRIERS. IN THE EVENT THAT THE NATURAL GRADE OF THE SITE IS CHANGED AS A RESULT OF SITE DEVELOPMENT SUCH THAT THE SAFETY OF THE TREE MAY BE ENDANGERED, TREE WELLS OR RETAINING WALLS ARE REQUIRED.
7. TREE CANOPY/ROOT PRUNING OPERATION
- 7.1. TREES TO BE PRUNED SHALL INCLUDE ONLY TREES AFFECTED BY CONSTRUCTION OR AS DESIGNATED ON THE TREE DISPOSITION LIST. THIS ITEM IS TO BE COORDINATED BY THE CONTRACTOR'S CERTIFIED ARBORIST WITH THE OWNER'S REPRESENTATIVE.
- 7.2. ALL PRUNING SHALL BE DONE IN ACCORDANCE WITH ANSI A300 (PART 1) PRUNING.
- 7.3. THE CONTRACTOR'S CERTIFIED ARBORIST MUST BE PRESENT DURING ALL PRUNING OPERATIONS.
- 7.4. FERTILIZATION OPERATION
- 7.4.1. ONLY TREES AFFECTED BY CONSTRUCTION (CANOPY AND/OR ROOT PRUNING) SHALL BE FERTILIZED.TREES SPECIFIED TO RECEIVE FERTILIZER SHALL BE TREATED DURING THE TIME OF YEAR AS RECOMMENDED BY THE CONTRACTOR'S CERTIFIED ARBORIST.
- 7.5. IRRIGATION: CONTRACTOR SHALL WATER THE TREES THAT HAVE BEEN PRUNED (CANOPY AND/OR ROOT) AS SHOWN BELOW. WATER ALL PRUNED TREES IMMEDIATELY AFTER PRUNING. CONTRACTOR SHALL WATER BY HAND. IF A POTABLE WATER SOURCE IS NOT AVAILABLE ON-SITE OR IF IT IS NOT IN WORKING CONDITION, THEN THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING THE WATER AND WATER SOURCE AT HIS/HER OWN EXPENSE.
- 7.6. CONTRACTOR SHALL CONSULT HIS/HER CERTIFIED ARBORIST FOR WATERING REQUIREMENTS FOR THE TREES THAT HAVE BEEN CANOPY AND/OR ROOT PRUNED.
8. ALL INVASIVE TREES LISTED IN THE COUNTY/CITY ORDINANCES ON SITE SHALL BE REMOVED.
- 8.1. ANY INVASIVE FOUND TO BE ROOTED ON SITE AND ENCROACHING ON NEIGHBORS FENCE AND YARD SHALL BE REMOVED. OWNER HAS FULL APPROVAL FROM NEIGHBORS TO REMOVE SUCH INVASIVE.

TREE NO.	SYMBOL	COMMON NAME	BOTANICAL NAME	CRZ/TPZ (FT)	DBH (IN.)	HT (FT.)	SP. (FT.)	DISPOSITION	CONDITION	NOTES
59	PEL	Solitaire palm	Ptychosperma elegans	N/A	5	25	6	Remove	Good	
60	GPE	Bridal Veil	Gibasis pellucida	N/A	3	10	5	Relocate	Good	Under Regulation Size
61	AME	Manila palm	Adonidia merillii	N/A	4	15	8	Remove	Good	
62	GPE	Bridal Veil	Gibasis pellucida	N/A	3	10	5	Relocate	Good	Under Regulation Size
63	PEL	Solitaire palm	Ptychosperma elegans	N/A	3	14	6	Remove	Good	
63A	AME	Manila palm	Adonidia merillii	N/A	4	12	8	Remove	Good	Cluster / Multi trunk
64	AME	Manila palm	Adonidia merillii	N/A	7	16	12	Remove	Good	Multi trunk
65	AME	Manila palm	Adonidia merillii	N/A	7	16	12	Remove	Good	Multi trunk
66	GPE	Bridal Veil	Gibasis pellucida	N/A	3	10	5	Relocate	Good	Under Regulation Size
67	GPE	Bridal Veil	Gibasis pellucida	N/A	3	10	5	Remove	Good	Under Regulation Size
68	GPE	Bridal Veil	Gibasis pellucida	N/A	3	10	5	Relocate	Good	Under Regulation Size
69	GPE	Bridal Veil	Gibasis pellucida	N/A	3	10	5	Relocate	Good	Under Regulation Size
70	SMA	Mahogany	Swietenia mahagoni	N/A	3	15	5	Remove	Good	Under Regulation Size
71	PP	Fiji fan palm	Pritchardia pacifica	N/A	8	20	6	Remove	Good	
72	COL	Satinleaf	Chrysophyllum oliviforme	N/A	3	12	6	Remove	Dead	Under Regulation Size
73	COL	Satinleaf	Chrysophyllum oliviforme	N/A	3	12	6	Remove	Dead	Under Regulation Size
74	PC	Canary Island date palm	Phoenix canariensis	N/A	14	10	12	Remove	Good	
75	COL	Satinleaf	Chrysophyllum oliviforme	N/A	3	12	6	Remove	Good	Under Regulation Size
76	LLA	Wild Tamarind	Lysiloma latisiliquum	N/A	3	12	6	Remove	Good	Under Regulation Size
77	LLA	Wild Tamarind	Lysiloma latisiliquum	N/A	3	12	6	Remove	Good	Under Regulation Size
78	RRE	Royal Palm	Roystonea regia	N/A	12	18	12	Remove	Good	
79	RRE	Royal Palm	Roystonea regia	N/A	12	18	12	Remove	Good	
80	PDU	Madras thorn	Pithecellobium dulce	N/A	4	10	6	Remove	Good	
81	SAC	Umbrella tree	Schefflera actinophylla	N/A	40	30	12	Remove	Good	Cluster / Multi trunk
82	LLA	Wild Tamarind	Lysiloma latisiliquum	N/A	3	12	6	Remove	Good	Under Regulation Size
83	HLA	Bottle palm	Hyophorbe lagenicaulis	N/A	14	12	6	Remove	Good	
84	HLA	Bottle palm	Hyophorbe lagenicaulis	N/A	14	12	6	Remove	Good	
85	HLA	Bottle palm	Hyophorbe lagenicaulis	N/A	14	12	6	Remove	Good	
86	SRO	Queen palm	Syagrus romanzoffiana	N/A	14	25	16	Remove	Good	
87	COL	Satinleaf	Chrysophyllum oliviforme	N/A	3	12	6	Remove	Good	Under Regulation Size
88	PE	Slash Pine	Pinus eliottii	N/A	4	15	5	Remove	Good	
89	PE	Slash Pine	Pinus eliottii	N/A	4	15	5	Remove	Good	
90	AME	Manila palm	Adonidia merillii	N/A	4	18	8	Remove	Good	
91	PE	Slash Pine	Pinus eliottii	N/A	3	12	6	Remove	Good	Under Regulation Size
92	PE	Slash Pine	Pinus eliottii	N/A	3	12	6	Remove	Good	Under Regulation Size
93	PE	Slash Pine	Pinus eliottii	N/A	3	12	6	Remove	Good	Under Regulation Size
94	PE	Slash Pine	Pinus eliottii	N/A	3	12	6	Remove	Good	Under Regulation Size
95	PE	Slash Pine	Pinus eliottii	N/A	3	12	6	Remove	Good	Under Regulation Size
96	AME	Manila palm	Adonidia merillii	N/A	6	12	6	Remove	Good	Multi trunk
97	COL	Satinleaf	Chrysophyllum oliviforme	N/A	3	12	6	Remove	Good	Under Regulation Size
98	COL	Satinleaf	Chrysophyllum oliviforme	N/A	3	12	6	Remove	Poor	Under Regulation Size, partially dead
99	COL	Satinleaf	Chrysophyllum oliviforme	N/A	3	12	6	Remove	Poor	Under Regulation Size, partially dead
100	LLA	Wild Tamarind	Lysiloma latisiliquum	N/A	3	12	6	Remove	Good	Under Regulation Size
101	LLA	Wild Tamarind	Lysiloma latisiliquum	N/A	3	12	6	Remove	Good	Under Regulation Size
102	PDU	Madras thorn	Pithecellobium dulce	N/A	24	45	25	Remove	Good	
103	RRE	Royal Palm	Roystonea regia	N/A	20	50	20	Remove	Good	
104	PDU	Madras thorn	Pithecellobium dulce	N/A	12	25	20	Remove	Good	
105	RRE	Royal Palm	Roystonea regia	N/A	22	45	15	Remove	Good	
106	PC	Canary Island date palm	Phoenix canariensis	N/A	22	40	15	Remove	Good	
107	PE	Slash Pine	Pinus eliottii	N/A	22	60	20	Remove	Good	
108	COL	Satinleaf	Chrysophyllum oliviforme	N/A	3	12	6	Remove	Good	Under Regulation Size
109	COL	Satinleaf	Chrysophyllum oliviforme	N/A	3	12	6	Remove	Poor	Under Regulation Size, partially dead
110	COL	Satinleaf	Chrysophyllum oliviforme	N/A	3	12	6	Remove	Poor	Under Regulation Size, partially dead
111	COL	Satinleaf	Chrysophyllum oliviforme	N/A	3	12	6	Remove	Good	Under Regulation Size
112	EFO	Spanish Stopper	Eugenia foetida	N/A	3	10	3	Remove	Good	Under Regulation Size
113	PEL	Solitaire palm	Ptychosperma elegans	N/A	4	10	5	Remove	Good	
114	EFO	Spanish Stopper	Eugenia foetida	N/A	3	10	3	Remove	Good	Under Regulation Size
115	BBU	Black olive	Bucida buceras	N/A	36	65	35	Remove	Poor	Codominant, multi-trunk
116	COL	Satinleaf	Chrysophyllum oliviforme	N/A	3	12	6	Remove	Good	Under Regulation Size

MITIGATION TO BE CALCULATED AT TIME OF BUILDING PERMIT

INFORMATION UTILIZED IN THE PREPARATION OF THE TREE DISPOSITION PLAN ASCERTAINED FROM AND RELIANT UPON THE SURVEY PREPARED BY JORGE L. CABRERA PROFESSIONAL LAND SURVEYOR.



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PZ SUBMITTAL

DATE: 07-16-2025

PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

L-02

NOTES:

TREE RELOCATION GENERAL REQUIREMENTS:

RELOCATION REQUIREMENTS: DURING SITE DEVELOPMENT, SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:

1. CANOPY PRUNING

- 1.1. ALL TREES ARE RECOMMENDED FOR MINIMAL CANOPY PRUNING TO REMOVE DEADWOOD AND REDUCE ANY OVEREXTENDED LIMBS AS NECESSARY FOR RELOCATION. CANOPY PRUNING SHOULD TAKE PLACE IN ADVANCE OF, AND NOT AT THE SAME TIME AS, ROOT PRUNING. MINIMUM ROOT PRUNING DISTANCES HAVE BEEN INCLUDED ABOVE. IT IS RECOMMENDED THAT ROOT PRUNING TAKE PLACE A MINIMUM OF 45-60 DAYS IN ADVANCE OF RELOCATION, AND LONGER IF CONSTRUCTION SCHEDULES ALLOW.
- 1.2. ALL CANOPY PRUNING, ROOT PRUNING, AND RELOCATIONS MUST FOLLOW ANSI STANDARDS AND SPECIFICATIONS BELOW. TREE PROTECTION GUIDELINES ARE INCLUDED AS WELL, AS TREES MUST BE PROTECTED BEFORE AND AFTER RELOCATION DURING ALL WORK ACTIVITIES.
- 1.3. CANOPY PRUNING MAY BE PERFORMED PRIOR TO RELOCATION AS NECESSARY. ALL CUTS SHALL BE CLEAN, FLUSH AND AT JUNCTIONS, LATERALS OR CROTCHES. ALL CUTS SHALL BE MADE AS CLOSE AS POSSIBLE TO THE TRUNK OR PARENT LIMB, WITHOUT CUTTING INTO THE BRANCH COLLAR OR LEAVING A PROTRUDING STUB. ALL CUTS MUST BE CLEAN WITH NO JAGGED EDGES OR TEARS. PRUNING CUTS SHOULD NOT CHANGE THE NATURAL SHAPE OF THE TREE. NOT MORE THAN 25% OF THE CANOPY CAN BE REMOVED IN ONE YEAR. ADDITIONAL DETAILS ON CORRECT PRUNING PROCEDURES CAN BE FOUND IN THE ANSI A-300 STANDARDS REFERENCED ABOVE, OR BY FURTHER CONSULTATION AND OVERSIGHT OF PRUNING BY A CERTIFIED ARBORIST.

2. ROOT PRUNING SPECIFICATIONS:

- 2.1. TREES SHALL BE ROOT PRUNED A MINIMUM OF 60 DAYS PRIOR TO RELOCATION. ROOT CUTS SHALL BE MADE, AT MINIMUM, A DISTANCE FROM THE TRUNK EQUIVALENT TO THREE TIMES THE DBH, AND PREFERABLY 5-6 TIMES THE DBH. ROOTS MUST BE PRUNED USING THE FOLLOWING PROCEDURES: 1) ROOTS MUST BE CLEANLY SEVERED WITH SHARP HAND TOOLS OR POWER ROOT SAWS ROOTS AND MAY NOT BE TORN OR LEFT WITH JAGGED EDGES, 2) THE FINAL ROOT CUTS SHOULD RESULT IN A FLAT SURFACE WITH ADJACENT BARK FIRMLY ATTACHED, 3) CUT ROOTS SHOULD BE COVERED AS SOON AS POSSIBLE AND NOT BE LEFT EXPOSED FOR MORE THAN 8 HOURS, AND 4) PROPER CULTURAL METHODS (IE, IRRIGATION AND MULCH) SHOULD BE USED TO AID ROOT REGENERATION. IF ROOTS WILL BE LEFT EXPOSED FOR LONGER THAN 8 HOURS, THEY MUST BE KEPT MOIST AND COVERED WITH BURLAP OR SIMILAR MATERIAL. ROOT CUTS SHALL BE MADE, AT MINIMUM, A DISTANCE FROM THE TRUNK EQUIVALENT TO THREE TIMES THE DBH, AND PREFERABLY 5 TO 6 TIMES THE DBH. ROOT BARRIERS MAY BE INSTALLED TO REDUCE FUTURE CONFLICTS WITH INFRASTRUCTURE.
- 2.2. FOR LARGE TREES ROOT PRUNING IN 2-3 STAGES

3. RELOCATION SPECIFICATIONS:

- 3.1. ROOTBALL SIZE MUST FOLLOW GUIDELINES PROVIDED BY THE CERTIFIED ARBORIST IN ACCORDANCE WITH ANSI STANDARDS.
- 3.2. THE ROOT SYSTEM OF THE TREE TO BE RELOCATED SHALL BE WELL-WATERED BEFORE THE TREE IS DUG AND LIFTED TO ENSURE THAT THE TREE IS PROPERLY HYDRATED AND TO IMPROVE COHESIVENESS OF THE ROOT BALL. TREES SHOULD ONLY BE LIFTED BY THE ROOTBALL, NOT BY THE TRUNK. TREES THAT ARE NOT TO BE PLANTED IMMEDIATELY SHOULD HAVE THEIR ROOTBALLS MOISTENED REGULARLY TO PREVENT DRYING OUT.
- 3.3. THE PLANTING HOLE SHOULD BE 1.5-2.5 TIMES THE DIAMETER OF THE ROOTBALL BUT AT THE SAME DEPTH AS THE ROOT BALL. THE BOTTOM OF THE TRUNK FLARE SHOULD BE AT OR ABOVE, NOT BELOW, THE FINISHED GRADE. BACKFILL SHOULD CONSIST OF LOOSENED ORIGINAL SOIL FROM THE SITE. RELOCATED TREES SHALL BE BRACED IN SUCH A FASHION AS TO NOT SCAR PENETRATE PERFORATE OR OTHERWISE INFLICT DAMAGE TO THE TREE. TRUNK PROTECTIVE MATERIALS SUCH AS FOAM PADS MAY BE UTILIZED TO PROTECT THE TREE FROM MECHANICAL INJURY TO BARK OR VASCULAR TISSUES.
- 3.4. AFTER RELOCATION, TREES SHALL BE WATERED A MINIMUM OF TWICE WEEKLY UNTIL THE TREES ARE ESTABLISHED. A DEPTH OF 2-4" OF MULCH SHOULD BE APPLIED TO REDUCE SOIL MOISTURE LOSS AND PROMOTE ROOT GROWTH. MULCH SHOULD NOT CONTACT THE FLARE OR TRUNK. THERE SHOULD BE MINIMAL TO NO CANOPY PRUNING BEFORE OR AFTER ROOT PRUNING. ONLY DEAD, DISEASED OR DAMAGED BRANCHES SHALL BE PRUNED AT THIS TIME. FERTILIZATION MAY BE IMPLEMENTED ONCE NEW GROWTH IS OBSERVED.
- 3.5. THE MINIMUM ROOTBALL SIZE FOR A PALM SHOULD BE 6 INCHES, WITH A LARGER ROOTBALL SIZE PREFERRED. ANY LEAVES REMAINING ON THE PALM SHOULD BE TIED TOGETHER TO PREVENT LEAF DAMAGE AND TO FACILITATE HANDLING. LEAVES SHOULD BE UNTIED AS SOON AS THE PALM IS INSTALLED.
- 3.6. PALMS WITH SLENDER TRUNKS SHOULD HAVE SPLINTS ATTACHED TO THE TRUNKS AND LEAF BUNDLES TO PREVENT THE PALMS FROM SNAPPING DURING HANDLING. PALMS GROWING IN SANDY SOILS WILL NEED TO HAVE THEIR ROOTBALLS WRAPPED IN BURLAP AFTER DIGGING. PALMS SHOULD BE LIFTED ONLY BY MEANS OF NYLON SLINGS WRAPPED AROUND THE TRUNK. IF PALMS MUST BE HELD BEFORE THEY CAN BE PLANTED, THEY SHOULD BE STORED IN AN UPRIGHT POSITION AND THE ROOTBALLS MUST BE KEPT ADEQUATELY MOIST. PLANTING HOLES SHOULD BE ROUGHLY TWICE THE DIAMETER OF THE ROOTBALL BUT NOT DEEPER THAN THE ROOTBALL. PALMS SHOULD BE PROVIDED WITH SUPPORTS TO PREVENT TOPPLING OVER AND TO PROVIDE A STABLE ROOTBALL-SOIL INTERFACE; SUPPORT TIMBERS MUST NOT BE NAILED DIRECTLY INTO THE TRUNK. SUPPORTS SHOULD BE LEFT IN PLACE FOR 1 YEAR AND THEN MUST BE REMOVED. A SHALLOW BERM SHOULD BE CONSTRUCTED AROUND THE PERIMETER OF THE ROOTBALL OF THE NEWLY TRANSPLANTED PALM TO RETAIN WATER IN THE ROOTBALL AREA DURING IRRIGATION. PALMS SHOULD BE IRRIGATED 2-3 TIMES WEEKLY FOR MINIMUM 2 MONTHS, AND THEN WEEKLY FOR AT LEAST 1 MORE MONTH (PENDING RAINFALL). TRANSPLANTED PALMS MAY BENEFIT FROM LIGHT FERTILIZATION WITH AN 8-2-12-4MG CONTROLLED-RELEASE FERTILIZER AT PLANTING; REGULAR MAINTENANCE FERTILIZATION CAN BEGIN AS SOON AS NEW SHOOT GROWTH IS OBSERVED.

4. TREE PROTECTION DURING CONSTRUCTION:

- 4.1. ANY TREES REMAINING ONSITE IN PROXIMITY OF THE PROPOSED WORK AREA MUST BE PROTECTED DURING ALL PHASES OF CONSTRUCTION PER ANSI A-300 (PART 5): STANDARD PRACTICES (MANAGEMENT OF TREES AND SHRUBS DURING SITE PLANNING, SITE DEVELOPMENT, AND CONSTRUCTION).
- 4.2. PROTECTION MEASURES INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO: 1) ESTABLISHING TREE PROTECTION ZONES (TPZ) WITH PROPER FENCING AND SIGNAGE (SEE PROTECTION DETAIL BELOW), 2) PROTECTING THE CRITICAL ROOT ZONE (CRZ) WITH A TEMPORARY APPLICATION OF A MINIMUM OF 6" OF MULCH TO DISPERSE HEAVY LOADS IN ACCESS ROUTES, THEREBY REDUCING SOIL COMPACTION AND MECHANICAL ROOT DAMAGE, 3) ENSURING THAT NO GRADE CHANGES OCCUR IN THE TREE PROTECTION ZONE, AND NO STORAGE OR DISPOSAL OF HARMFUL SUBSTANCES OCCURS IN TREE PROTECTION ZONE, 4) CAREFUL HAND OR AIR EXCAVATION WITHIN THE TPZ OF ANY TREES NEAR THE WORK TO IDENTIFY AND AVOID MAJOR STRUCTURAL ROOTS AND 5) CLEAN PRUNING CUTS AND AVOIDING CUTTING ANY ROOTS GREATER THAN 2" DIAMETER WHENEVER POSSIBLE. IF ANY LARGER ROOTS MUST BE CUT, CUTS SHOULD BE CLEAN, AS FAR TOWARD THE EDGE OF THE TPZ AS POSSIBLE, AND PROPER CULTURAL METHODS SHOULD BE UTILIZED TO REDUCE SHOCK AND AID ROOT REGENERATION (IE IRRIGATION, SOIL AERATION, MULCHING).
- 4.3. IF THE TPZ OF ANY TREE MUST BE ALTERED, ONE OR MORE OF THE FOLLOWING ADDITIONAL MEASURES MAY BE TAKEN TO REDUCE ANY IMPACTS TO THE TREE: 1) INCREASE THE REMAINING TPZ WHEREVER POSSIBLE TO COMPENSATE FOR THE REDUCTION OF TPZ IN ONE AREA; 2) TEMPORARILY REDUCE THE TPZ WHILE WORK IS DONE IN THE IMMEDIATE AREA AND THEN RE-ESTABLISH THE ORIGINAL SIZE OF THE TPZ AS SOON AS POSSIBLE; 3) INSTALL TRUNK PROTECTIVE MATERIALS SUCH AS WOOD PLANKS AND FOAM PADS TO PROTECT FROM MECHANICAL INJURY TO BARK OR VASCULAR TISSUES; 4) UTILIZE GEOTEXTILE FABRIC OR PLYWOOD ON TOP OF MULCH LAYER PER ANSI STANDARDS, 5) PROPER ROOT PRUNING TECHNIQUES PER ANSI STANDARDS IF NECESSARY, AND 6) SUPERVISION AND/OR MONITORING BY A CERTIFIED ARBORIST.
- 4.4. ADDITIONAL DETAILS ON PROTECTION DURING CONSTRUCTION CAN BE FOUND IN THE ANSI A-300 STANDARDS REFERENCED ABOVE, OR BY FURTHER CONSULTATION AND OVERSIGHT OF CONSTRUCTION ACTIVITIES BY A CERTIFIED ARBORIST.

5. WATERING:

- 5.1. WATER RELOCATED TREES EVERY 1 TO 2 DAYS FOR APPROXIMATELY FIRST 4 WEEKS AND THEN EVERY 2 TO 3 DAYS FOR ANOTHER 6 TO 8 WEEKS, AND THEN AS NEEDED UNTIL ESTABLISHED.

ROOT PRUNNING DETAIL

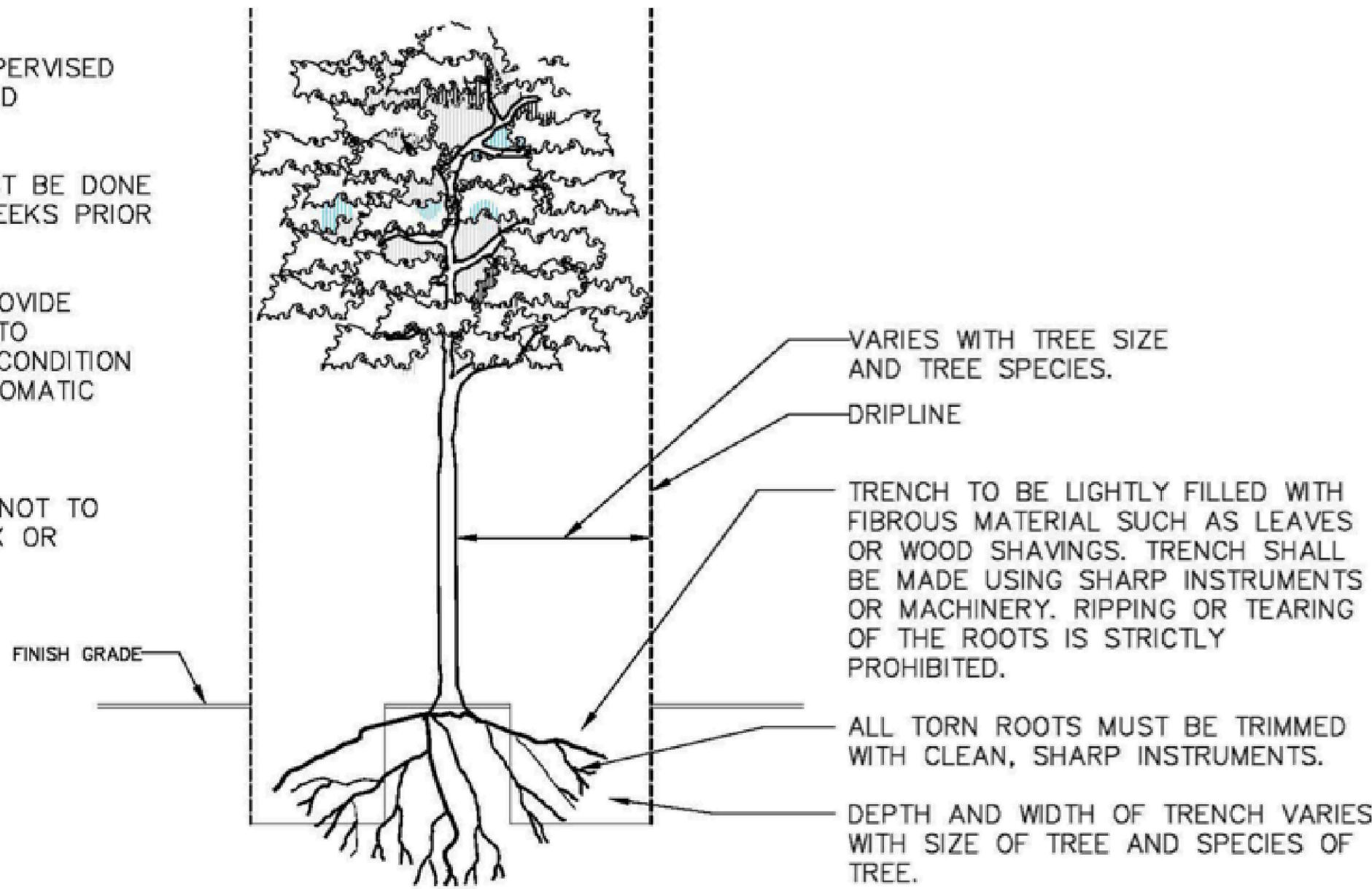
Scale: N.T.S.

WORK MUST BE SUPERVISED BY AN ISA CERTIFIED ARBORIST.

ROOT PRUNING MUST BE DONE A MINIMUM OF 8 WEEKS PRIOR TO RELOCATION.

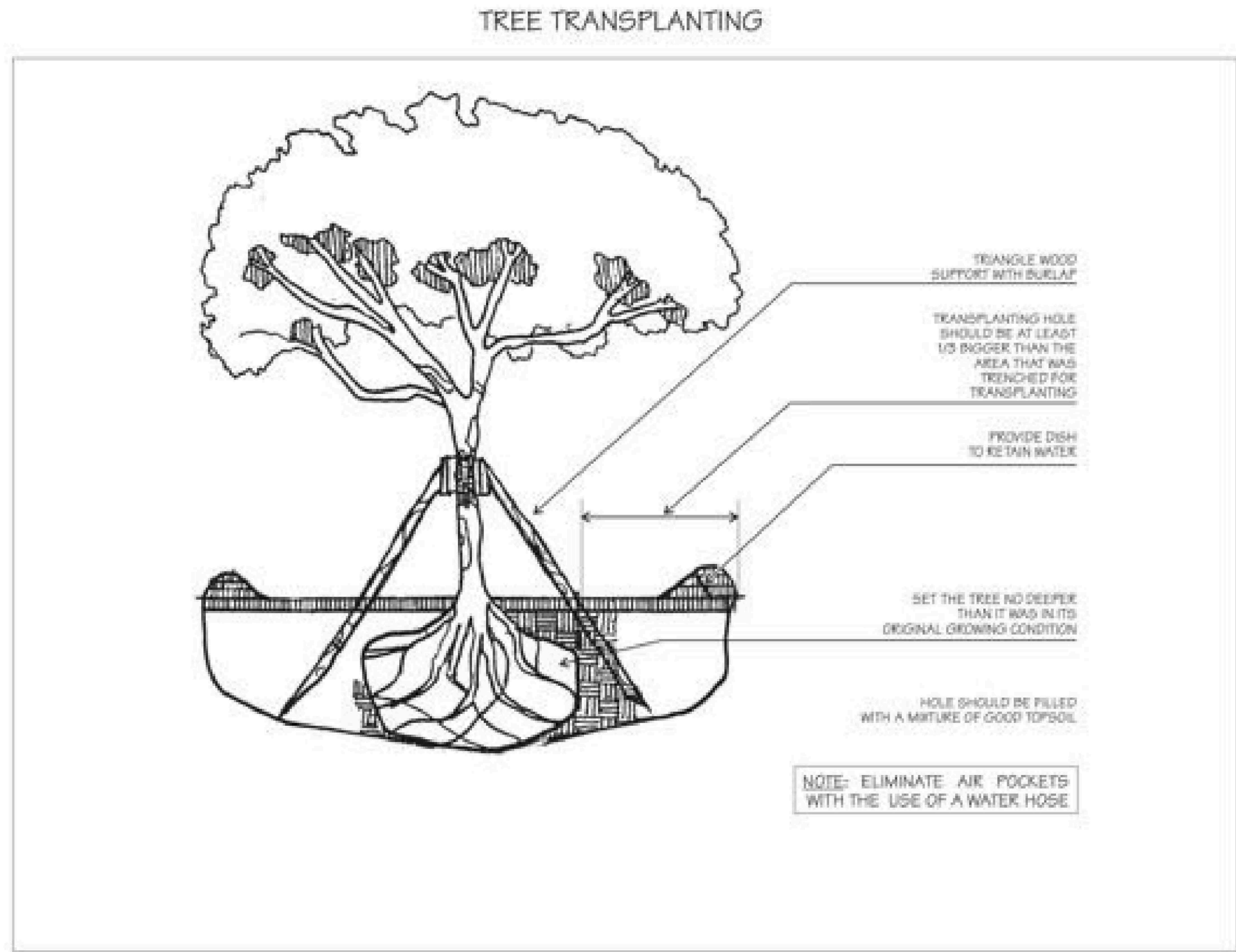
WATERING MUST PROVIDE SUFFICIENT WATER TO MAINTAIN A MOIST CONDITION IN THE ROOTS. AUTOMATIC IRRIGATION DRIP IS RECOMMENDED.

TAKE EXTRA CARE NOT TO DAMAGE THE TRUNK OR BRANCHES.



TREE TRANSPLANTING DETAIL

Scale: N.T.S.



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DATE: 07-03-2025

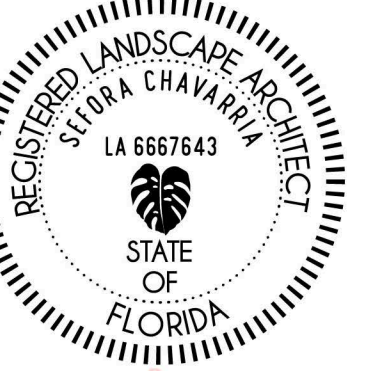
PROJECT NO: 22-040

DRAWING NAME:

SHEET NO:

L-02.1

BOABADILLA STREET
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SEFORA CHAVARRIA
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CORAL GABLES, FL

PZ SUBMITTAL

DATE: 07-16-2025
PROJECT NO: 22-040
DRAWING NAME:
SHEET NO:
L-03

PROPOSED GROUND LEVEL PLANT LIST

Street Trees

ABB.	QTY	SCIENTIFIC NAME	COMMON NAME	NATIVE	XERIC	CAL/DBH	HEIGHT	SPREAD	SPECIFICATIONS
CG	35	<i>Caesalpinia granadillo</i>	Bridal Veil	NO	HIGH	6" CAL Min	Min 18' OA	Min 8'	B&B - Min. 5' clear trunk
SM	5	<i>Swietenia mahagoni</i>	Mahogany Tree	YES	HIGH	8" CAL Min	Min 18' OA	Min 8'	B&B - Min. 5' clear trunk

Lot Trees & Palms

LL	8	<i>Lysiloma latisquum</i>	Wild Tamarind	YES	HIGH	4" CAL Min	Min 16' OA	Min 8'	Min. 4' clear trunk
CO	10	<i>Chrysophyllum oliviforme</i>	Satinleaf	YES	HIGH	4" CAL Min	Min 16' OA	Min 6'	Min. 4' clear trunk
CG	4	<i>Caesalpinia granadillo</i>	Bridal Veil	NO	HIGH	4" CAL Min	Min 16' OA	Min 8'	Min. 4' clear trunk
SP	3	<i>Sabal palm</i>	Sable palm	YES	HIGH	6" CAL Min	Min 10' OA	Min 6'	Boots On - Character -

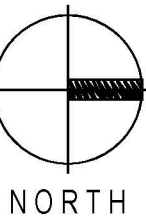
Shrubs & Groundcovers

SRE	6	<i>Serenoa repens 'Silver'</i>	Silver Saw Palmetto	YES	HIGH		48" OA ht.		
AMA	5	<i>Alcornoque 'Elephant Ear'</i>	Alcornoque 'Elephant Ear'	NO	HIGH		48" OA ht.		
DIR	68	<i>Dietsa iridifolia 'Purple'</i>	African Iris	NO	HIGH		18" OA ht. - 24" O.C.		
LAN	94	<i>Lantana 'Pink'</i>	Lantana	YES	HIGH		12" OA ht. - 24" O.C.		
HAN	73	<i>Heliotropium angiospermum</i>	Scorpion-Tail	YES	HIGH		12" OA ht. - 24" O.C.		
		<i>Ficus microcarpa 'Green Island'</i>	Green Island Fig	NO	HIGH		18" OA ht. - 24" O.C.		
		<i>Galpurnia gracilis</i>	Thyrallis	NO	MED		24" OA ht. - 30" O.C.		
		<i>Hamelia patens</i>	Firebush	YES	HIGH		36" OA ht. - 36" O.C.		
		<i>Psychotria nervosa</i>	Wild Coffee	YES	MED		24" OA ht. - 30" O.C.		
		<i>Turnera ulmifolia</i>	Yellow Alder	YES	HIGH		24" OA ht. - 24" O.C.		
		<i>Capparis cynophallophora</i>	Jamaican Caper	YES	HIGH		36" OA ht. - 36" O.C.		
		<i>Gymnanthes lucida</i>	Crabwood	YES	HIGH		36" OA ht. - 36" O.C.		
		Organic-Nutra Mulch					As noted on plan and to be determined by contractor		

GENERAL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONFLICT. ALL DAMAGE TO EXISTING UTILITIES OR IMPROVEMENTS CAUSED BY CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR TO NOTIFY "SUNSHINE STATE ONE CALL OF FLORIDA, INC." AT 1-800-432-4770 TWO FULL BUSINESS DAYS PRIOR TO DIGGING FOR UNDERGROUND UTILITY LOCATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FINAL GRADING OF ALL ASSOCIATED PLANTING AREAS.
- AFTER FINAL GRADE, AREA TO BE RAKED TO 6" DEPTH AND ALL ROCK AND FOREIGN INORGANIC MATERIALS REMOVED AND DISPOSED OF PROPERLY OFF-SITE.
- TREE PROTECTION BARRICADES SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AROUND EXISTING TREES THAT MAY BE IMPACTED BY THE PROPOSED CONSTRUCTION. PRIOR TO ANY CONSTRUCTION A TREE PROTECTION BARRICADE INSPECTION SHALL BE CONDUCTED BY THE LANDSCAPE ARCHITECT, OWNER OR GOVERNING MUNICIPALITY. REFER TO LANDSCAPE DETAIL FOR TREE PRESERVATION BARRICADE FENCING.

LANDSCAPE GROUND LEVEL PLAN
Scale: 1/16" = 1'

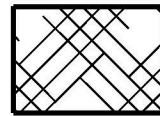


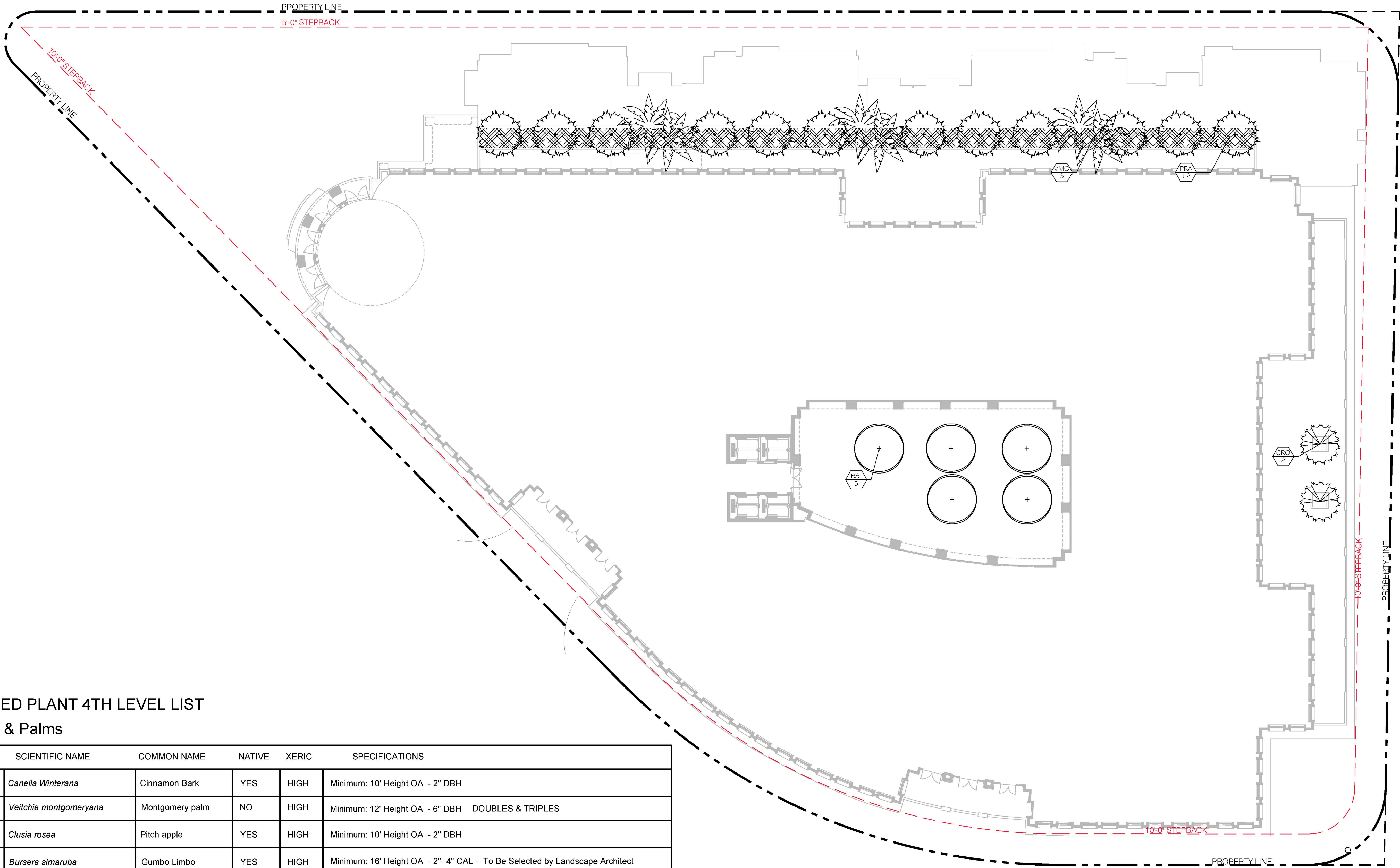
PROPOSED PLANT 4TH LEVEL LIST

Lot Trees & Palms

ABB.	QTY	SCIENTIFIC NAME	COMMON NAME	NATIVE	XERIC	SPECIFICATIONS
CWM	12	<i>Canella Winterana</i>	Cinnamon Bark	YES	HIGH	Minimum: 10' Height OA - 2" DBH
VMO	3	<i>Veitchia montgomeryana</i>	Montgomery palm	NO	HIGH	Minimum: 12' Height OA - 6" DBH DOUBLES & TRIPLES
CRO	2	<i>Clusia rosea</i>	Pitch apple	YES	HIGH	Minimum: 10' Height OA - 2" DBH
BSI	5	<i>Bursera simaruba</i>	Gumbo Limbo	YES	HIGH	Minimum: 16" Height OA - 2"- 4" CAL - To Be Selected by Landscape Architect

Shrubs & Groundcovers

	398	<i>Ernodea littoralis</i>	Golden Creeper	YES	MED	18" OA ht. - 24" O.C.
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LANDSCAPE 4TH LEVEL PLAN
Scale: 1/16" = 1'



GENERAL LANDSCAPE NOTES:

1. PLANT MATERIAL: ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER AS ESTABLISHED BY "GRADES AND STANDARDS FOR NURSERY PLANTS" OF THE STATE OF FLORIDA (FL), DEPARTMENT OF AGRICULTURE. UNLESS OTHERWISE NOTED, ALL TREES SHALL BE SINGLE LEADER, FIELD GROWN (FG), BURLAPED (FG-B), CONTAINER GROWN TREES ARE NOT ACCEPTABLE & WILL BE IMMEDIATELY REJECTED UPON INSPECTION. ANY CHANGES TO THE APPROVED LANDSCAPE PLAN SHALL BE APPROVED BY THE CITY FORESTER & LA OF RECORD. ALL SUBSTITUTIONS AND CHANGES SHALL BE APPROVED IN WRITING PRIOR TO INSTALLATION. ANY DISCREPANCIES BETWEEN PLANS, SITE AND SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT. THE OWNER AND GOVERNING MUNICIPALITY. OPTIONS FOR ALTERNATE SPECIES BASED ON LACK OF STATEWIDE AVAILABILITY SHALL BE FURNISHED TO LANDSCAPE ARCHITECT OF RECORD A MINIMUM OF 30 DAYS BEFORE COMMENCEMENT OF CONSTRUCTION. LACK OF AVAILABILITY WILL BE VERIFIED USING THE LATEST INDUSTRY ACCEPTED PUBLICATION LISTINGS. PLANT SPACING SHALL SUPERCEDE PLANT QUANTITY TO FILL THE BED FOR SHRUBS AND GROUNDCOVERS. THE LOCATION OF NEW SHRUB AND GROUNDCOVER PLANTINGS SHALL BE A MINIMUM OF 3 FEET FROM THE TRUNK FLARES OF EXISTING TREES TO BE PRESERVED. NEW SHRUB AND GROUNDCOVER PLANTINGS UNDER THE DRIP LINES SHALL BE INSTALLED BY HAND WITH CARE IN BETWEEN ROOTS 1" DIAMETER AND GREATER.
2. ALL TREES, SHRUBS AND GROUNDCOVERS SHALL, AT A MINIMUM, BE OF THE SIZES AS SPECIFIED IN THE PLANT LIST. WHERE THERE IS A DISCREPANCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PRECEDENCE. QUANTITIES LISTED ON THE THE PLANT LIST ARE FOR ESTIMATING PURPOSES. CONTRACTOR SHALL VERIFY ALL QUANTITIES. MULCH, TOPSOIL, FERTILIZER, ETC. SHALL BE INCLUDED IN THE UNIT COST OF THE PLANTS. THE PLANTING PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE DEED RESTRICTIONS.
3. SOD: ALL AREAS NOT USED FOR BUILDINGS, VEHICULAR USE AREAS, WALKS OR PLANTING BEDS, NOT ADDRESSED WITH A GROUNDCOVER SHALL BE GRASSED. GRASSING SHALL EXTEND TO ANY ABUTTING STREET PAVEMENT EDGE AND TO THE MEAN WATERLINE OF ANY ABUTTING CANAL, LAKE OR WATERWAY. STENOTAPHRUM SECUNDATUM, V. FLORITAM UNLESS OTHERWISE NOTED (ST. AUGUSTINE SOLID SOD), PASPALUM NOTATUM 'ARGENTINE' (ARGENTINE) BAHIA SOLID SOD) SHALL BE PROVIDED IN THE RIGHT-OF-WAYS & ON THE BANKS & BOTTOM OF DETENTION PONDS. OFFSITE DISTURBED AREAS SHALL BE RE-SODDED TO MATCH EXISTING. ALL AREAS DISTURBED BY CONSTRUCTION & NOT NOTED TO HAVE SHRUBS OR GROUNDCOVERS ON THE LANDSCAPE PLAN SHALL BE SODDED BY THE CONTRACTOR.
4. AMENDED PLANTING SOIL: PLANTING SOIL FOR USE IN BACK FILLING PLANTING HOLES SHALL BE FORTY PERCENT (40%) TOPSOIL AND SIXTY PERCENT (60%) SAND AND BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND OBTAINED FROM A WELL-DRAINED, ARABLE SITE. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND SHALL BE FREE FROM HEAVY CLAY, COARSE SAND, STONES, LIME, LUMPS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, OR NOXIOUS WEEDS. IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. PH RANGE SHALL BE 5.0 TO 7.0 INCLUSIVE. ALL PLANT MATERIAL TO RECEIVE PLANTING SOIL AS PER DETAILS & NOTES.
5. GENERAL RECOMMENDED PLANTING SOIL DEPTH: ALL TREES AND SHRUBS SHALL BE PLANTED WITH A MINIMUM OF 12" TOPSOIL AROUND AND BENEATH THE ROOTBALL. MINIMUM TOPSOIL SHALL BE 6" FOR GROUNDCOVER AREAS AND 2" FOR SODDED GRASS AREAS. THIS IS IN ADDITION TO A MINIMUM OF 10" OF UNDISTURBED OR NATIVE SOIL THAT WAS STORED/STOCKPILED ON SITE AND REUSED, OR CLEAN IMPORTED PLANTING SOIL WITH A RANGE OF ORGANIC MATTER BETWEEN 3-5% WITH NO STONES GREATER THAN AN INCH AND A HALF IN DIAMETER IN ANY DIRECTION. TOPSOIL DEPTHS PLUS PLANTING SOIL/EXISTING NATIVE SOIL MINIMUM DEPTHS ARE IN ADDITION TO ANY LIMESTONE/ LIMEROCK SUBGRADE, & IN ADDITION TO EXCAVATION WIDTHS REQUIRED FOR TREE PITS AS SHOWN ON THE PLANTING DETAILS. TREE PITS SHALL BE EXCAVATED & BACKFILLED TO A MINIMUM DEPTH OF 30".
6. CONTRACTOR TO NOTIFY "SUNSHINE STATE ONE CALL OF FLORIDA, INC." AT 1-800-432-4770 TWO FULL BUSINESS DAYS PRIOR TO DIGGING FOR UNDERGROUND UTILITY LOCATIONS.
7. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONFLICT. ALL DAMAGE TO EXISTING UTILITIES OR IMPROVEMENTS CAUSED BY CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES IN THE SITE SURVEY OR DISPOSITION PLAN TO THE OWNER & LANDSCAPE ARCHITECT OF RECORD PRIOR TO STARTING WORK. ANY OVERHEAD POWER LINES, UNDERGROUND UTILITIES, EXISTING TREES, ETC. IN CONFLICT WITH PROPOSED LANDSCAPING, INCLUDING FPL RIGHT-TREE-RIGHT-PLACE GUIDELINES, SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE OR DESIGNEE, AND TO THE LANDSCAPE ARCHITECT OF RECORD PRIOR TO SUBJECT PLANT MATERIAL INSTALLATION. FAILURE TO NOTIFY THE LANDSCAPE ARCHITECT & OWNER OF ANY DISCREPANCIES SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND WILL RESULT IN THE CONTRACTOR MOVING OR REPLACING THE PLANT MATERIAL AT THEIR OWN EXPENSE. LARGE MATURING SHADE TREES (THOSE THAT TYPICALLY GROW TO A SPREAD OR HEIGHT GREATER THAN 25 FEET) SHALL NOT BE PLANTED WITHIN 20 FEET OF ANY OTHER LARGE MATURING SHADE TREES UNLESS OTHERWISE SPECIFICALLY SHOWN ON THE LANDSCAPE PLAN. CONTRACTOR SHALL NOT WILLFULLY INSTALL PLANT MATERIALS IN CONFLICT WITH EXISTING OR PROPOSED SITE FEATURES.
8. ROOT BARRIER SPECIFICATIONS: ROOT BARRIERS SHALL BE PROVIDED FOR WHERE NEW TREES ARE TO BE INSTALLED ADJACENT TO PROPOSED UTILITIES, AS PRESCRIBED HEREIN AND BY THE MANUFACTURER. SEE ROOT BARRIER DETAIL ON THIS SHEET. PRODUCT SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS FOR ROOT CONTROL SYSTEMS. USE PRODUCT WHERE TREES ARE TO BE INSTALLED TEN FEET (10') OR LESS FROM HARDSCAPE SURFACES OR UNDERGROUND UTILITIES, INCLUDING BUT NOT LIMITED TO CURBS, SIDEWALKS, STEPS, ROADWAYS, WATER, DRAINAGE, EXFILTRATION TRENCH, & SEWER LINES. SMALL TREES THAT TYPICALLY MATURE AT 18' HEIGHT OR LESS REQUIRE ROOT BARRIERS WHERE SMALL TREES ARE WITHIN SIX FEET (6') OR LESS OF HARDSCAPE SURFACES OR UTILITIES. EXISTING TREES TO BE PRESERVED (WHERE THE EDGE ROOT FLARE IS LOCATED GREATER THAN TEN FEET (10') FROM ANY NEW HARDSCAPE AREAS OR UNDERGROUND UTILITIES) DO NOT REQUIRE ROOT BARRIERS. WHERE PROPOSED UNDERGROUND UTILITIES ARE TO BE INSTALLED 10 FEET OR LESS FROM THE ROOT FLARE OF EXISTING TREES, ROOT BARRIERS SHALL BE UTILIZED. ROOT BARRIERS ARE NOT REQUIRED WHERE PROPOSED TREES ARE LOCATED ADJACENT TO D-TYPE CURBING. THE USE OF ROOT BARRIERS SHALL BE MINIMUM 10' OVERALL LENGTH FROM THE CENTER OF THE TRUNK PARALLEL TO LINEAR FEATURES TO BE PROTECTED FOR SMALL TREES, OR MINIMUM 10' OVERALL LENGTH FROM THE CENTER OF THE TRUNK FOR MEDIUM TO LARGE MATURING SHADE TREES. MINIMUM LENGTHS OF ROOT BARRIER PRODUCTS MAY BE INCREASED (BUT NOT DECREASED) BASED ON LENGTH GRAPHICALLY DEPICTED ON PLAN, OR AT THE DISCRETION OF THE LANDSCAPE INSPECTOR. IN PARKING LOT ISLANDS ONLY, THE ROOT BARRIER LENGTH SHALL BE PROVIDED FOR THE FULL LENGTH OF FEATURE (UNDERGROUND UTILITY, STRUCTURE, OR PAVEMENT) TO BE PROTECTED. ROOT BARRIERS SHALL BE INSTALLED 1 FOOT HORIZONTAL DISTANCE FROM FEATURES TO BE PROTECTED.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FINAL GRADING OF ALL ASSOCIATED PLANTING AREAS. AFTER FINAL GRADE, AREA TO BE RAKED TO 6" DEPTH AND ALL ROCK AND FOREIGN INORGANIC MATERIALS REMOVED AND DISPOSED OF PROPERLY OFF-SITE.
10. ALL PLANTING HOLES TO BE HAND DUG EXCEPT WHERE MACHINE DUG HOLES WILL NOT ADVERSELY AFFECT OR DAMAGE UTILITIES OR IMPROVEMENTS. ALL TRENCHES & EXCAVATION REQUIRED FOR INSTALLATION OF UNDERGROUND UTILITIES OR IRRIGATION EQUIPMENT ADJACENT TO EXISTING TREES & VEGETATION TO BE PRESERVED SHALL BE HAND-DUG CAREFULLY AS FAR FROM THE TRUNK AS POSSIBLE.
11. NO PLUNGING OF ANY TREE OR PALM WILL BE ACCEPTED. TRUNK FLARE SHALL BE SET 1-2" ABOVE FINISH GRADE FOR ALL TREES & PALMS. ALL PLANTS TO BE PLANTED AT THE NURSERY GRADE OR SLIGHTLY HIGHER.
12. CONTRACTOR SHALL STAKE & GUY ALL TREES AND PALMS AT TIME OF PLANTING AS PER THE APPROPRIATE DETAIL. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND/OR REPAIR OF ALL STAKING AND GUYING DURING WARRANTY PERIOD AND REMOVAL & DISPOSAL OF STAKING AFTER ESTABLISHMENT PERIOD.
13. FERTILIZER FOR GRASS AREAS SHALL BE NPK 16-4-8 @ 12.5 LBS/1000 S.F. OR 545 LBS/ACRE. NITROGEN 50% SLOW RELEASE FORM & FERTILIZER TO INCLUDE SECONDARY MICRONUTRIENTS.
14. WATERING: ALL PLANT MATERIAL SHALL BE WATERED IN AT TIME OF PLANTING IN ACCORDANCE WITH STANDARD NURSERY PRACTICES. IN ADDITION, CONTRACTOR WILL CONTINUE WATERING OF PLANT MATERIAL UNTIL SUBSTANTIAL COMPLETION AND AS NEEDED THEREAFTER FOR A PERIOD OF 2 MONTHS.
15. ALL PLANTS AND PLANTING MATERIALS INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-SET, STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S DESIGNEE. MAINTENANCE AFTER THE CERTIFICATION OF AN ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF NINETY (90) CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.
16. GUARANTEE: ALL NEW PLANT MATERIAL SHALL BE GUARANTEED FOR 1 YEAR FROM TIME OF FINAL ACCEPTANCE OF PROJECT. ANY PLANT MATERIAL NOT IN A HEALTHY GROWING CONDITION WILL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER WITHIN 10 DAYS OF NOTIFICATION. FOR ALL REPLACEMENT PLANT MATERIAL, THE WARRANTY PERIOD SHALL BE EXTENDED AN ADDITIONAL 45 DAYS BEYOND THE ORIGINAL WARRANTY PERIOD. ALL TREES THAT LEAN OR ARE BLOWN OVER, CAUSED BY WINDS LESS THAN 75 MPH, WILL BE RE-SET AND BRACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. FINAL INSPECTION BY OWNER OR THEIR DESIGNEE AT THE END OF THE 1 YR GUARANTEE PERIOD SHALL INCLUDE PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY PLANTS NOT MEETING THE CRITERIA OF HEALTHY, VIGOROUS, AND THRIVING AT THIS TIME, AND THAT HAVE NOT ALREADY BEEN REPLACED PREVIOUSLY UNDER SAID WARRANTY, SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE (OR AS SPECIFIED BY THE OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.
17. THE SUCCESSFUL BIDDER SHALL FURNISH TO THE OWNER A UNIT PRICE BREAKDOWN FOR ALL MATERIALS.
18. NO PLANT MATERIAL WILL BE ACCEPTED SHOWING EVIDENCE OF CABLE, CHAIN MARKS, EQUIPMENT SCARS, OR OTHERWISE DAMAGED. PLANT MATERIAL WILL NOT BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN CRACKED, BROKEN OR OTHERWISE DAMAGED.
19. ROOT-PRUNE ALL NEW TREES A MINIMUM OF (90) DAYS PRIOR TO PLANTING.
20. ALL LANDSCAPED AREAS WILL BE IRRIGATED BY AN UNDERGROUND, AUTOMATIC, RUST-FREE IRRIGATION SYSTEM PROVIDING 100% COVERAGE AND MINIMUM 50% SPRAY OVERLAP. THE SYSTEM SHALL BE MAINTAINED IN GOOD WORKING ORDER AND DESIGNED TO MINIMIZE WATER ON IMPERVIOUS SERVICES AND NOT OVERSPRAY WALKWAYS. A RAIN SENSOR DEVICE IS REQUIRED BY FL LAW & SHALL BE OPERATIONAL TO OVERRIDE THE IRRIGATION CYCLE OF THE SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED.
21. ALL PLANT MATERIAL PLANTED WITHIN THE SIGHT DISTANCE TRIANGLE AREAS (SEE PLAN) SHALL PROVIDE UNOBSTRUCTED CROSS-VISIBILITY AT A HORIZONTAL LEVEL BETWEEN 30 INCHES AND 8 FEET ABOVE ADJACENT STREET GRADE.
23. NO CANOPY TREES SHALL BE PLANTED WITHIN 15 FEET OF A LIGHT POLE. NO PALM SPECIES SHALL BE PLANTED WITHIN 7.5 FEET OF A LIGHT POLE.
24. TREE PROTECTION BARRICADES SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AROUND EXISTING TREES THAT MAY BE IMPACTED BY THE PROPOSED CONSTRUCTION. PRIOR TO ANY CONSTRUCTION A TREE PROTECTION BARRICADE INSPECTION SHALL BE CONDUCTED BY THE LANDSCAPE ARCHITECT, OWNER OR GOVERNING MUNICIPALITY. REFER TO LANDSCAPE DETAIL FOR TREE PRESERVATION BARRICADE FENCING.
25. IN ALL PEDESTRIAN AREAS, ALL TREES AND PALMS SHALL BE MAINTAINED TO ALLOW FOR CLEAR PASSAGE AT AN 8 FOOT CLEAR TRUNK.
26. ALL LANDSCAPE MATERIAL SHALL BE SETBACK A MINIMUM OF 7.5 FEET FROM THE FRONT/SIDES AND 4 FEET FROM THE BACK ANY FIRE HYDRANT.
27. MULCH SHALL BE FROM SHREDDED WOOD DERIVED FROM MELALEUCA OR OTHER INVASIVE TREE SPECIES AND SHALL BE STERILIZED TO EFFECTIVELY ELIMINATE ALL SEEDS, SPORES, ETC. AND RENDER THEM BARREN. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT AND APPLIED AT A DEPTH OF THREE INCHES (3"). MULCH IS TO BE KEPT 2-3" FROM THE STEM OF ALL GROUNDCOVERS & 3-6" FROM THE TRUNK OF ALL TREES & PALMS. MULCH SHALL BE GRADE 'B' SHREDDED, AND SHALL BE APPLIED EVENLY AND SMOOTH TO PLANTED AREAS. NO RED OR COLORED MULCH SHALL BE ACCEPTED UNLESS SPECIFIED ACCORDINGLY. NO CYPRESS MULCH OR PINE BARK SHALL BE USED.
28. PLANTINGS SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE DEED RESTRICTIONS. WHERE DISCREPANCIES EXIST, JURISDICTIONAL CODES, STANDARDS, & REGULATIONS SHALL GOVERN.

NOTES:

1. SABAL PALMS W/ BOOTS REMOVED
 2. SEE PLANS AND SPECS. FOR PALMS W/ BOOTS TO REMAIN ON TRUNK.
 3. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY L.A.
 4. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 5. GUYING / STAKING IS NOT REQUIRED FOR TREES USING PLATYPUS ANCHORING SYSTEM.
- PRUNE AND TIE FRONDS WITH HEMP TWINE. (HURRICANE CUT RELOCATED SABAL PALMS)
- TWO LAYERS OF BURLAP TO PROTECT TRUNK.
- TWO STEEL BANDS TO SECURE BATTONS.
- SIX 2" X 4" X 18" WOOD BATTONS PAINTED BROWN.
- 3-2" X 4" LUMBER POLE BRACE @ 120. NAIL (DRILL AND NAIL IF NECESSARY) TO BATTONS AND 2" X 4" STAKES. FLAG AT MIDPOINT.
- 3" MULCH AS SPECIFIED MIN. 24" FROM TRUNK
- SOIL BERM TO HOLD WATER
- FINISH GRADE (SEE GRADING PLAN)
- ROOTBALL SIZE, SEE SPECS. FOR MINIMUM DIMENSIONS PER PALM HEIGHTS.
- PREPARED PLANTING SOIL AS SPECIFIED.
- 2" X 4" WOOD STAKES
- 12" MIN
- CLEAR TRUNK (C.T.)

1 PALM SECTION

SCALE: N.T.S.

NOTE:

- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS/BEDS PRIOR TO INSTALLATION.
- GUYING / STAKING IS NOT REQUIRED FOR TREES USING PLATYPUS ANCHORING SYSTEM.
- NOTE: PLANT MATERIAL SHALL BE PLANTED 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOT BALL.
- 3" MINIMUM OF MULCH
- SOIL BERM TO HOLD WATER
- MINIMUM DEPTH OF 12" PLANTING SOIL FOR GROUNDCOVER BED.
- EXCAVATE ENTIRE BED SPECIFIED FOR GROUND-COVER BED.
- FINISHED GRADE
- PREPARED PLANTING SOIL AS SPECIFIED. NOTE: WHEN GROUNDCOVERS AND SHRUBS USED IN MASSES ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL - EXCEPT WHEN SPECIFIED, SEE PLANT LIST.
- 4" TYP.
- 4" TYP.

3 SHRUB AND GROUNDCOVER SECTION

SCALE: N.T.S.

5 MULCH SECTION

SCALE: N.T.S.

- NOTE:
1. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 2. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
 3. GUYING / STAKING IS NOT REQUIRED FOR TREES USING PLATYPUS ANCHORING SYSTEM.
- PROTECT TREE TRUNK WITH BLACK RUBBER HOSE
- #10 GAUGE WIRE
- THREE 2" X 4" X 8" STAKES SPACE EVENLY AROUND TREE PAINTED BROWN.
- 3" MINIMUM OF MULCH
- SOIL BERM TO HOLD WATER
- FINISHED GRADE (SEE GRADING PLAN)
- B&B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS)
- PREPARED PLANTING SOIL AS SPECIFIED.
- 12" TYP.
- PLAN
- 120°
- 120°
- 120°

2 SMALL TREE SECTION

SCALE: N.T.S.

- (SETBACK FOR SHRUBS PLANTED 24" O.C. OR GREATER)
- (SETBACK FOR GROUNDCOVER AND ANNUALS)
- 18" MIN.
- PROVIDE MIN. 18" SPACING BETWEEN DIFFERENT PLANT TYPES.
- NOTE: ALL SHRUBS AND GROUNDCOVER MASSES TO USE TRIANGULAR SPACING EXCEPT WHERE NOTED REFER TO PLANT LIST FOR INDIVIDUAL PLANT SPACING 'X'.
- CURB OR EDGE OF PAVEMENT.
- 12"
- 18"

4 TYPICAL PLANT SPACING PLAN

SCALE: N.T.S.

- NOTE:
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
- GUYING / STAKING IS NOT REQUIRED FOR TREES USING PLATYPUS ANCHORING SYSTEM.
- 2" NYLON STRAPPING- WRAPPED 360 AROUND TRUNK BEFORE TYING- WRAP @ LATERAL BRANCH @ MINIMUM 4-6 HT.
- 3" MULCH AS SPECIFIED MIN. 24" FROM TRUNK
- SOIL BERM TO HOLD WATER
- 2" X 4" X 3" STAKES BURIED 3" BELOW FINISHED GRADE.
- FINISHED GRADE - SOD CONDITION (SEE GRADING PLAN)
- B&B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS).
- PREPARED PLANTING SOIL AS SPECIFIED.
- AUGER PER SPECS FOR PERCOLATION
- PLAN
- 120°
- 120°
- 120°

6 LARGE TREE SECTION

SCALE: N.T.S.



Historical Resources &
Cultural Arts

2327 SALZEDO STREET
CORAL GABLES
FLORIDA 33134

☎ 305-460-5093
✉ hist@coralgables.com

October 2, 2023

B & B Investments
760 Ponce de Leon Blvd
Coral Gables, FL 33134

Re: 760 Ponce de Leon Blvd , legally described as Lot 7 thru 17, Block 18 per Unity of Title to City of Coral Gables, Flagler Street Section, according to the Plat thereof, as recorded in Plat Book 10, at Page 12, of the Public Records of Miami-Dade County, Florida.

Dear B & B Investments,

Section 8-107(G) of the Coral Gables Zoning Code states that “All demolition permits for non-designated buildings and/or structures must be approved by the Historic Preservation Officer or designee. The approval is valid for eighteen (18) months from issuance and shall thereafter expire and the approval is deemed void unless the demolition permit has been issued by the Development Services Department. The Historic Preservation Officer may require review by the Historic Preservation Board if the building and/or structure to be demolished is eligible for designation as a local historic landmark or as a contributing building, structure, or property within an existing local historic landmark district. This determination of eligibility is preliminary in nature and the final public hearing before the Historic Preservation Board on Local Historic Designation shall be within sixty (60) days from the Historic Preservation Officer determination of “eligibility.” Consideration by the Board may be deferred by mutual agreement by the property owner and the Historic Preservation Officer. The Historic Preservation Officer may require the filing of a written application on the forms prepared by the Department and may request additional background information to assist the Board in its consideration of eligibility. Independent analysis by a consultant selected by the City may be required to assist in the review of the application. All fees associated with the analysis shall be the responsibility of the applicant. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; archeological assessments; and historic assessments.”

Therefore, please be advised that after careful research and study of our records and the information you presented the following information has been determined:

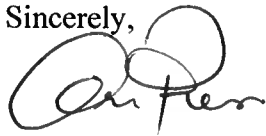
760 Ponce de Leon Blvd , legally described as Lot 7 thru 17, Block 18 per Unity of Title to City of Coral Gables, Flagler Street Section, according to the Plat thereof, as recorded in Plat Book 10, at Page 12, of the Public Records of Miami-Dade County, Florida, *does not meet* the minimum eligibility criteria for designation as a local historic landmark. Therefore, the Historical Resources staff *will not* require review by the Historic Preservation Board if an application is made at this time for a demolition permit.

Please note that, pursuant to Section 14-107.5(b)(15) of the Coral Gables Zoning Code, this determination does not constitute a development order and is valid for a period of eighteen (18) months. In the case where the Historic Preservation Officer or designee determines that the property does not meet the minimum eligibility criteria for designation, a permit for the demolition of the property must be issued within the eighteen-month period.

Upon expiration of the eighteen-month period, you will be required to file a new application. Any change from the foregoing may be made upon a demonstration of a change in the material facts upon which this determination was made.

If you have any further questions concerning this matter, please do not hesitate to contact this office.

Sincerely,



Anna Pernas
Historic Preservation Officer

cc: Jorge L. Navarro, Applicant, 333 SE 2nd Ave, Suite 4400, Miami, FL 33131
Cesar Garcia-Pons, Vice-Chair Historic Preservation Board
Cristina M. Suárez, City Attorney
Stephanie Throckmorton, Deputy City Attorney
Gustavo Ceballos, Assistant City Attorney
Douglas Ramirez, Development Services Assistant Director
Jennifer Garcia, City Planner
Analyn Hernandez, P/T, Plans Coordinator Assistant
Historical Significance Request Property File



August 18, 2025

Mr. Pedro Camejo
760 Ponce De Leon LLC
2555 SW 8th Street, Suite 301
Miami, Florida 33135

**Re: Professional Medical Office Building
Trip Generation Comparison Analysis**

Mr. Camejo:

Kimley-Horn and Associates, Inc. has performed a trip generation analysis for the proposed redevelopment located at 760 Ponce de Leon in Coral Gables, Florida. The site proposed for redevelopment is currently occupied by approximately 17,245 square feet of medical office space. Note that the existing medical office building will be demolished as part of the project. The proposed redevelopment consists of approximately 96,770 square feet of medical office space, approximately 9,910 square feet of retail space, and approximately four (4) town homes. However, to account for any future refinements to the project's development program and to provide a conservative analysis, a 5.0 percent (5.0%) increase to the medical office space and retail space was applied and an additional townhouse unit was assumed. Therefore, the trip generation was based on approximately 101,610 square feet of medical office space, approximately 10,410 square feet of retail space, and approximately five (5) town homes. The proposed redevelopment is expected to be completed and opened by year 2028. A site plan is included in Attachment A.

TRIP GENERATION ANALYSIS

A trip generation analysis was conducted using the Institute of Transportation Engineers' (ITE) *Trip Generation Manual*, 11th Edition. The trip generation for the existing land use was determined using ITE Land Use Code (LUC) 720 (Medical-Dental Office Building). The trip generation for proposed land uses was determined using ITE LUC 720 (Medical-Dental Office Building), LUC 822 (Strip Retail Plaza), and LUC 220 (Multifamily Housing [Low-Rise]).

A multimodal (public transit, bicycle, and pedestrian) factor based on US Census *Means of Transportation to Work* data was reviewed for the census tract in which the project is located. A multimodal factor of 7.5 percent (7.5%) was calculated for the proposed redevelopment and was applied to the trip generation calculations to account for the urban environment in which the project is located. It is expected that a portion of employees, patients, and patrons will choose to walk, bike, or use public transit to and from the proposed redevelopment.

Internal capture is expected between the complementary land uses within a project. Internal capture trips for the project were determined based upon methodology contained in the ITE's, *Trip Generation Handbook*, 3rd Edition. The expected internal capture rate for the proposed redevelopment is 5.6 percent (5.6%) for the A.M. peak hour, 2.2 percent (2.2%) for the P.M. peak hour, and 5.1 percent (5.1%) for the daily trip generation.

Pass-by capture trip rates were determined based on average rates provided in the ITE's *Trip Generation Manual*, 11th Edition. Note that as ITE does not provide pass-by data for LUC 822, a pass-

by rate of 40.0 percent (40.0%) based on LUC 821 (Shopping Plaza) was utilized during the P.M. peak hour.

As Table 1 indicates, the project is expected to result in 191 net new weekday A.M. peak hour trips, 356 net new weekday P.M. peak hour trips, and 3,769 net new weekday daily trips. Detailed trip generation calculations and US Census data are included in Attachment B.

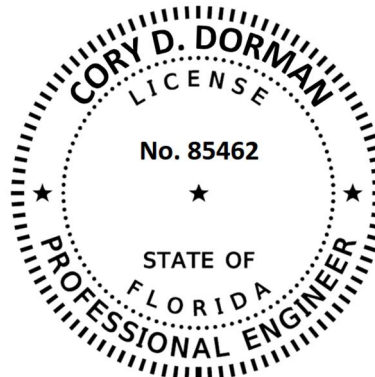
Table 1: Trip Generation				
A.M. Peak Hour (P.M. Peak Hour) <Daily>				
Future Land Use (ITE Code)	Scale	Net New External Trips	Entering Trips	Exiting Trips
<i>Existing Development</i>				
Medical-Dental Office Building (720)	17,245 square feet	46 (62) <586>	37 (19) <293>	9 (43) <293>
<i>Proposed Redevelopment</i>				
Medical-Dental Office Building (720)	101,610 square feet	219 (375) <3,829>	176 (113) <1,922>	43 (262) <1,907>
Strip Retail Plaza (822)	10,410 square feet	16 (41) <502>	10 (20) <244>	6 (21) <258>
Multifamily Housing (Low Rise) (220)	5 dwelling unit	2 (2) <24>	0 (1) <11>	2 (1) <13>
<i>Net New Vehicle Trips</i>				
Net New Vehicle Trips		191 (356) <3,769>	149 (115) <1,884>	42 (241) <1,885>

In conclusion, as the proposed redevelopment is expected to result in more than 50 net new trips during the A.M. and P.M. peak hours, a traffic study is required.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

Cory D. Dorman, P.E., PTOE



This document has been digitally signed and sealed by Cory D. Dorman, P.E., PTOE on the date adjacent to the seal.

Signature must be verified on any electronic copies.

Cory D. Dorman, P.E., PTOE
Florida Registration Number 85462
Kimley-Horn and Associates, Inc.
2 Alhambra Plaza, Suite 500
Coral Gables, Florida 33134

Attachment A

Site Plan



Attachment B

Trip Generation

AM PEAK HOUR TRIP GENERATION COMPARISON

EXISTING WEEKDAY AM PEAK HOUR TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS						DIRECTIONAL DISTRIBUTION		BASELINE TRIPS			MULTIMODAL REDUCTION		GROSS TRIPS			INTERNAL CAPTURE		EXTERNAL VEHICLE TRIPS			PASS-BY CAPTURE		NET NEW EXTERNAL TRIPS			
Land Use		ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	MR Trips	In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total	
						In	Out																			
GROUP 1	1	Medical-Dental Office Building	11	720	17.245	ksf	79%	21%	40	10	50	7.5%	4	37	9	46	0.0%	0	37	9	46	0.0%	0	37	9	46
	2																									
	3																									
	4																									
	5																									
	6																									
	7																									
	8																									
	9																									
	10																									
	11																									
	12																									
	13																									
	14																									
	15																									
ITE Land Use Code		Rate or Equation				Total:		40	10	50	7.5%	4	37	9	46	0.0%	0	37	9	46	0.0%	0	37	9	46	
720		LN(Y) = 0.9*LN(X)+1.34																								

PROPOSED WEEKDAY AM PEAK HOUR TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS						DIRECTIONAL DISTRIBUTION		BASELINE TRIPS			MULTIMODAL REDUCTION		GROSS TRIPS			INTERNAL CAPTURE		EXTERNAL VEHICLE TRIPS			PASS-BY CAPTURE		NET NEW EXTERNAL TRIPS				
Land Use	ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	MR Trips	In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total			
					In	Out																					
1 Medical-Dental Office Building	11	720	101.61	ksf	79%	21%	193	51	244	7.5%	18	179	47	226	3.1%	7	176	43	219	0.0%	0	176	43	219			
2 Strip Retail Plaza	11	822	10.41	ksf	60%	40%	15	10	25	7.5%	2	14	9	23	30.4%	7	10	6	16	0.0%	0	10	6	16			
3 Multifamily Housing (Low-Rise)	11	220	5	du	24%	76%	0	2	2	7.5%	0	0	2	2	0.0%	0	0	2	2	0.0%	0	0	2	2			
4																											
5																											
6																											
7																											
8																											
9																											
10																											
11																											
12																											
13																											
14																											
15																											
ITE Land Use Code						Rate or Equation		Total:		208	63	271	7.5%	20	193	58	251	5.6%	14	186	51	237	0.0%	0	186	51	237
720						LN(Y) = 0.9*LN(X)+1.34																					
822						Y=2.36(X)																					
220						Y=0.4(X)																					
																								IN	OUT	TOTAL	
																						NET NEW TRIPS		149	42	191	

PM PEAK HOUR TRIP GENERATION COMPARISON

EXISTING WEEKDAY PM PEAK HOUR TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS						DIRECTIONAL DISTRIBUTION		BASELINE TRIPS			MULTIMODAL REDUCTION		GROSS TRIPS			INTERNAL CAPTURE		EXTERNAL VEHICLE TRIPS			PASS-BY CAPTURE		NET NEW EXTERNAL TRIPS		
	Land Use	ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	MR Trips	In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total
						In	Out																		
GROUP 1	1 Medical-Dental Office Building	11	720	17.245	ksf	30%	70%	20	47	67	7.5%	5	19	43	62	0.0%	0	19	43	62	0.0%	0	19	43	62
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	3																								
	4																								
	5																								
	6																								
	7																								
	8																								
	9																								
	10																								
	11																								
	12																								
	13																								
	14																								
	15																								
ITE Land Use Code						Rate or Equation		Total:																	
720						Y=4.07*(X)+-3.17																			

PROPOSED WEEKDAY PM PEAK HOUR TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS						DIRECTIONAL DISTRIBUTION		BASELINE TRIPS			MULTIMODAL REDUCTION		GROSS TRIPS			INTERNAL CAPTURE		EXTERNAL VEHICLE TRIPS			PASS-BY CAPTURE		NET NEW EXTERNAL TRIPS		
	Land Use	ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	MR Trips	In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total
						In	Out																		
GROUP 2	1 Medical-Dental Office Building	11	720	101.61	ksf	30%	70%	123	287	410	7.5%	31	114	265	379	1.1%	4	113	262	375	0.0%	0	113	262	375
	2 Strip Retail Plaza	11	822	10.41	ksf	50%	50%	40	40	80	7.5%	6	37	37	74	6.8%	5	34	35	69	40.0%	28	20	21	41
	3 Multifamily Housing (Low-Rise)	11	220	5	du	63%	37%	2	1	3	7.5%	0	2	1	3	33.3%	1	1	1	2	0.0%	0	1	1	2
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	5																								
	6																								
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	8																								
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	10																								
	11																								
	12																								
	13																								
	14																								
	15																								
ITE Land Use Code						Rate or Equation		Total:																	
720						Y=4.07*(X)+-3.17																			
822						LN(Y) = 0.71*LN(X)+2.72																			
220						Y=0.51(X)																			

	IN	OUT	TOTAL
NET NEW TRIPS	115	241	356

DAILY TRIP GENERATION COMPARISON

EXISTING DAILY TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS					DIRECTIONAL DISTRIBUTION		BASELINE TRIPS			MULTIMODAL REDUCTION		GROSS TRIPS			INTERNAL CAPTURE		EXTERNAL VEHICLE TRIPS			PASS-BY CAPTURE		NET NEW EXTERNAL TRIPS				
Land Use	ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	MR Trips	In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total		
					In	Out																				
GROUP 1	1	Medical-Dental Office Building	11	720	17.245	ksf	50%	50%	317	316	633	7.5%	47	293	293	586	0.0%	0	293	293	586	0.0%	0	293	293	586
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	9																									
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	11																									
	12																									
	13																									
	14																									
	15																									
ITE Land Use Code		Rate or Equation				Total:		317	316	633	7.5%	47	293	293	586	0.0%	0	293	293	586	0.0%	0	293	293	586	
720		Y=42.97*(X)+-108.01																								

PROPOSED DAILY TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS					DIRECTIONAL DISTRIBUTION		BASELINE TRIPS			MULTIMODAL REDUCTION		GROSS TRIPS			INTERNAL CAPTURE		EXTERNAL VEHICLE TRIPS			PASS-BY CAPTURE		NET NEW EXTERNAL TRIPS					
Land Use	ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	MR Trips	In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total			
					In	Out																					
1 Medical-Dental Office Building	11	720	101.61	ksf	50%	50%	2,129	2,129	4,258	7.5%	319	1,970	1,969	3,939	2.8%	110	1,922	1,907	3,829	0.0%	0	1,922	1,907	3,829			
2 Strip Retail Plaza	11	822	10.41	ksf	50%	50%	334	335	669	7.5%	50	309	310	619	18.9%	117	244	258	502	0.0%	0	244	258	502			
3 Multifamily Housing (Low-Rise)	11	220	5	du	50%	50%	17	17	34	7.5%	3	15	16	31	22.6%	7	11	13	24	0.0%	0	11	13	24			
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ITE Land Use Code					Rate or Equation		Total:			2,480	2,480	4,960	7.5%	372	2,294	2,295	4,589	5.1%	234	2,177	2,178	4,355	0.0%	0	2,177	2,178	4,355
720					Y=42.97*(X)+-108.01																						
822					Y=42.2*(X)+229.68																						
220					Y=6.74(X)																						
																					NET NEW TRIPS		IN	OUT	TOTAL		
																							1,884	1,885	3,769		

Internal Capture Reduction Calculations

Methodology for A.M. Peak Hour and P.M. Peak Hour
based on the *Trip Generation Handbook* , 3rd Edition, published by the Institute of Transportation Engineers

Methodology for Daily
based on the average of the Unconstrained Rates for the A.M. Peak Hour and P.M. Peak Hour

SUMMARY (PROPOSED)

GROSS TRIP GENERATION							
INPUT	Land Use	Daily		A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit	Enter	Exit
	Office	1,970	1,969	179	47	114	265
	Retail	309	310	14	9	37	37
	Restaurant	0	0	0	0	0	0
	Cinema/Entertainment	0	0	0	0	0	0
	Residential	15	16	0	2	2	1
	Hotel	0	0	0	0	0	0
		2,294	2,295	193	58	153	303
INTERNAL TRIPS							
OUTPUT	Land Use	Daily		A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit	Enter	Exit
	Office	48	62	3	4	1	3
	Retail	65	52	4	3	3	2
	Restaurant	0	0	0	0	0	0
	Cinema/Entertainment	0	0	0	0	0	0
	Residential	4	3	0	0	1	0
	Hotel	0	0	0	0	0	0
		117	117	7	7	5	5
OUTPUT	Total % Reduction	5.1%		5.6%		2.2%	
	Office	2.8%		3.1%		1.1%	
	Retail	18.9%		30.4%		6.8%	
	Restaurant						
	Cinema/Entertainment						
	Residential	22.6%		0.0%		33.3%	
	Hotel						
EXTERNAL TRIPS							
OUTPUT	Land Use	Daily		A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit	Enter	Exit
	Office	1,922	1,907	176	43	113	262
	Retail	244	258	10	6	34	35
	Restaurant	0	0	0	0	0	0
	Cinema/Entertainment	0	0	0	0	0	0
	Residential	11	13	0	2	1	1
	Hotel	0	0	0	0	0	0
		2,177	2,178	186	51	148	298

Census Tract Data

MEANS OF TRANSPORTATION TO WORK

$$(103+11+71)/(2,630-168) = 7.5\%$$



Note: This is a modified view of the original table produced by the U.S. Census Bureau. This download or printed version may have missing information from the original table.

Census Tract 56, Miami-Dade County, Florida

Label	Estimate	Margin of Error
▼ Total:	2,630	±393
▼ Car, truck, or van:	2,248	±349
Drove alone	1,999	±334
▼ Carpooled:	249	±121
In 2-person carpool	241	±120
In 3-person carpool	8	±14
In 4-person carpool	0	±19
In 5- or 6-person carpool	0	±19
In 7-or-more-person carpool	0	±19
▼ Public transportation (excluding taxicab):	103	±74
Bus	103	±74
Subway or elevated rail	0	±19
Long-distance train or commuter rail	0	±19
Light rail, streetcar or trolley (carro público in Puerto Rico)	0	±19
Ferryboat	0	±19
Taxicab	0	±19
Motorcycle	0	±19
Bicycle	11	±17
Walked	71	±60
Other means	29	±34
Worked from home	168	±112

Table Notes

MEANS OF TRANSPORTATION TO WORK

Survey/Program: American Community Survey
Universe: Workers 16 years and over
Year: 2019
Estimates: 5-Year
Table ID: B08301

Although the American Community Survey (ACS) produces population, demographic and housing unit estimates, it is the Census Bureau's Population Estimates Program that produces and disseminates the official estimates of the population for the nation, states, counties, cities, and towns and estimates of housing units for states and counties.

Supporting documentation on code lists, subject definitions, data accuracy, and statistical testing can be found on the American Community Survey website in the Technical Documentation section.

Sample size and data quality measures (including coverage rates, allocation rates, and response rates) can be found on the American Community Survey website in the Methodology section.

Source: U.S. Census Bureau, 2015-2019 American Community Survey 5-Year Estimates

Data are based on a sample and are subject to sampling variability. The degree of uncertainty for an estimate arising from sampling variability is represented through the use of a margin of error. The value shown here is the 90 percent margin of error. The margin of error can be interpreted roughly as providing a 90 percent probability that the interval defined by the estimate minus the margin of error and the estimate plus the margin of error (the lower and upper confidence bounds) contains the true value. In addition to sampling variability, the ACS estimates are subject to nonsampling error (for a discussion of nonsampling variability, see ACS Technical Documentation). The effect of nonsampling error is not represented in these tables.

Workers include members of the Armed Forces and civilians who were at work last week.

2019 ACS data products include updates to several categories of the existing means of transportation question. For more information, see: Change to Means of Transportation.

The 2015-2019 American Community Survey (ACS) data generally reflect the September 2018 Office of Management and Budget (OMB) delineations of metropolitan and micropolitan statistical areas. In certain instances, the names, codes, and boundaries of the principal cities shown in ACS tables may differ from the OMB delineation lists due to differences in the effective dates of the geographic entities.

Estimates of urban and rural populations, housing units, and characteristics reflect boundaries of urban areas defined based on Census 2010 data. As a result, data for urban and rural areas from the ACS do not necessarily reflect the results of ongoing urbanization.

Explanation of Symbols:

- An "****" entry in the margin of error column indicates that either no sample observations or too few sample observations were available to compute a standard error and thus the margin of error. A statistical test is not appropriate.
- An "-" entry in the estimate column indicates that either no sample observations or too few sample observations were available to compute an estimate, or a ratio of medians cannot be calculated because one or both of the median estimates falls in the lowest interval or upper interval of an open-ended distribution, or the margin of error associated with a median was larger than the median itself.
- An "-" following a median estimate means the median falls in the lowest interval of an open-ended distribution.
- An "+" following a median estimate means the median falls in the upper interval of an open-ended distribution.
- An "****" entry in the margin of error column indicates that the median falls in the lowest interval or upper interval of an open-ended distribution. A statistical test is not appropriate.
- An "*****" entry in the margin of error column indicates that the estimate is controlled. A statistical test for sampling variability is not appropriate.
- An "N" entry in the estimate and margin of error columns indicates that data for this geographic area cannot be displayed because the number of sample cases is too small.
- An "(X)" means that the estimate is not applicable or not available.

760 Ponce Project

The pre Board of Architects neighborhood meeting for the proposed project at 760 Ponce de Leon Boulevard, Coral Gables, Florida (the “**Project**”) was held on-site at the property on **June 26, 2024** and started around 6:40pm. Approximately 50 neighbors and stakeholders were in attendance. Notice of the neighborhood meeting was provided in accordance with City of Coral Gables requirements.

Representatives from the development team, including the Architect (Robert Behar) and the Legal Representative (Jorge Navarro) presented the proposed Project, highlighting:

- **Office Space:** New Class A office space program with medical and professional uses.
- **Parking:** Over 580 structured parking spaces planned, exceeding code requirements.
- **Residential Component:** Five (5) townhomes fronting Boadilla Street to provide a residential transition.
- **Access & Circulation:** Two access points, one along Ponce de Leon Boulevard and one along Avila Court, designed per traffic consultant recommendations. The Avila Court access will be restricted to right-turn egress only.
- **Ground Floor Commercial:** Activated frontage along Ponce de Leon Boulevard, with retail/restaurant opportunities intended to serve building users and the surrounding neighborhood.
- **Design & Setbacks:** Setbacks and elevations were reviewed, including stepbacks for the office building to reduce scale and enhance compatibility with adjacent properties.

During the discussion, residents raised some of the following questions:

- **Drop-off Area:** Comparisons were made to the existing medical building across the street, with questions about traffic circulation and patient drop-off.
- **Avila Court Access:** Certain residents expressed concerns with the proposed egress along Avila Court.
- **Retail Uses:** Neighbors inquired about the location of the commercial space, the scope of the space and the potential for restaurant tenants.

The development team responded to questions and explained the intent of the design changes, emphasizing enhanced traffic management, pedestrian activation along Ponce de Leon Boulevard, and integration of residential townhomes to buffer nearby residential uses. The team confirmed its commitment to ongoing collaboration with neighbors and City staff as the Project advances through the review process.

Project Information Meeting

Applicant:	760 Ponce De Leon Blvd, LLC
Application:	Small Scale Future Land Use Map and Zoning Map Amendments, Planned Area Development (PAD), Conditional Use and Mixed Use Site Plan Approval
Property:	760 Ponce de Leon Boulevard, 112/120 Avila Court and parcel identified as Folio No. 03-4105-050-1850 Coral Gables, Florida 33134
Neighborhood Meeting – Date/Time/Location:	760 Ponce de Leon Boulevard Coral Gables, FL 33134 June 26, 2024 at 6:30 p.m. – 7:30 p.m.

Dear Neighbor:

On behalf 760 Ponce De Leon Blvd LLC, we would like to invite you to a neighborhood information meeting regarding the proposed “760 Ponce” project for the properties referenced above.

The information meeting will be held on June 26, 2024 at 6:30 p.m., at the project site located at 760 Ponce de Leon Boulevard, Coral Gables, Florida 33134.

Additional information and future notices can be found at the link to the City of Coral Gables Notice website provided below.

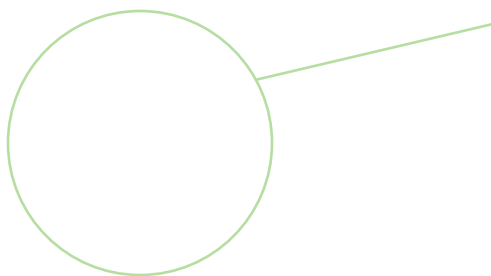
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We thank you for the opportunity to speak with you and look forward to meeting you.

Sincerely,

The 760 Ponce Team
2555 SW 8 Street, Suite 301
Miami, FL 33135



NOTICE

PROJECT INFORMATION NEIGHBORHOOD MEETING

**760 Ponce de Leon Blvd.
Coral Gables, FL 33134**

June 26, 2024 at 6:30 p.m. – 7:30 p.m.

- Applicant: 760 Ponce de Leon Blvd, LLC
- Application: Small Scale Future Land Use Map and Zoning Map Amendments, Planned Area Development (PAD), Conditional Use and Mixed Use Site Plan Approval
- Property: 760 Ponce de Leon Boulevard,
112, 120 Avila Court and parcel identified by Folio No. 03-4105-050-1850
Coral Gables, Florida 33134



760 Ponce Project

The pre Planning and Zoning Board (PZB) neighborhood meeting for the proposed project located at 760 Ponce de Leon Boulevard, 112/120 Avila Court, Coral Gables, Florida (the “Project”) was held on September 3, 2025 at the ChateauBleau Hotel, 1111 Ponce de Leon Boulevard, from 6:30 p.m. to 7:30 p.m. Notice of the neighborhood meeting was provided in accordance with City of Coral Gables requirements.

Representatives from the development team were present, including:

1. Representatives on behalf of Ownership
2. Jorge Navarro, Greenberg Traurig, P.A. (Legal Representative)
3. Robert Behar, Behar Font (Architect)

The development team presented the updated mixed-use plan, which includes Class A medical office space, 4 residential townhomes, underground, surface and upper level parking, and limited ground-floor commercial uses (the “**Project**”). Key revisions to the project were highlighted during the meeting, including some of the following:

- **Building Height & Design:** Introduced basement level parking, lowering the building height.
- **Building Design:** Stepbacks, articulation, and recessed façades were incorporated to reduce scale in addition to the preservation of onsite trees.
- **Parking & Circulation:** The Project includes surplus parking than what is required. Dedicated drop-off areas, concealed loading/service access, and private garages for townhomes were discussed.
- **Landscaping & Buffers:** Enhanced streetscapes, preservation of some existing mature trees, landscaped upper level terraces and the creation of pocket parks and plazas were included to improve neighborhood compatibility.
- **Traffic & Safety:** The development team confirmed ongoing coordination with the City and Miami-Dade County regarding traffic calming, pedestrian crosswalks, and a potential trolley stop adjacent to the site.
- **Residential Component:** Townhomes were reduced from 5 to 4 townhomes averaging approximately 2,200 square feet with private garages.
- **Commercial Uses:** Reduced commercial spaces per neighborhood feedback.

Community Discussion

Meeting attendees raised questions about traffic impacts, pedestrian safety, building setbacks, landscaping, and neighborhood compatibility. The development team emphasized adjustments made in response to prior community concerns, including increased setbacks, reduced height, enhanced open space, and improved traffic management measures.

Project Information Meeting

Applicant:	760 Ponce De Leon Blvd, LLC
Application:	Small Scale Future Land Use Map and Zoning Map Amendments, Planned Area Development (PAD), Conditional Use and Mixed Use Site Plan Approval
Property:	760 Ponce de Leon Boulevard, 112/120 Avila Court and parcel identified as Folio No. 03-4105-050-1850 Coral Gables, Florida 33134
Neighborhood Meeting – Date/Time/Location:	ChateauBleau Hotel 1111 Ponce de Leon, Coral Gables, FL 33134 September 3, 2025 at 6:30 p.m. – 7:30 p.m.

Dear Neighbor:

On behalf 760 Ponce De Leon Blvd LLC, we would like to invite you to a neighborhood information meeting regarding the proposed “760 Ponce” project for the properties referenced above.

The information meeting will be held on September 3, 2025 at 6:30 p.m., at ChateauBleau Hotel 1111 Ponce de Leon, Coral Gables, FL 33134

Additional information and future notices can be found at the link to the City of Coral Gables Notice website provided below.

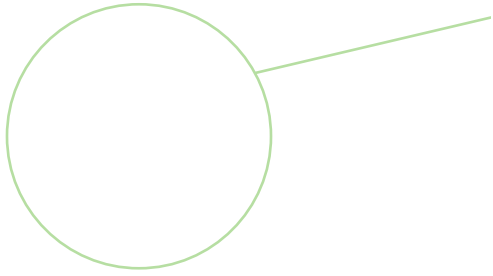
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We thank you for the opportunity to speak with you and look forward to meeting you.

Sincerely,

The 760 Ponce Team
2555 SW 8 Street, Suite 301
Miami, FL 33135



NOTICE

PROJECT INFORMATION NEIGHBORHOOD MEETING

ChateauBleau Hotel
1111 Ponce de Leon, Coral Gables, FL 33134
September 3, 2025 at 6:30 p.m. – 7:30 p.m.

Applicant: 760 Ponce de Leon Blvd, LLC
Application: Small Scale Future Land Use Map and
Zoning Map Amendments, Planned Area
Development (PAD), Conditional Use and
Mixed Use Site Plan Approval
Property: 760 Ponce de Leon Boulevard,
112, 120 Avila Court and parcel identified by
Folio No. 03-4105-050-1850
Coral Gables, Florida 33134



survey123.arcgis.com/share/9567f0907fb84214b2d6abc3987b98f5

Additional information and future notices
can be found at the link to the
City of Coral Gables Notice
website provided in the QR code.



760 PONCE DE LEON BOULEVARD CONTACT INFORMATION

APPLICANT & CONTRACT PURCHASER:

Applicant(s)/Agent(s) Name(s):	Pedro Camejo & Joel Campo on behalf of 760 Ponce De Leon Blvd LLC		
& Contract Purchaser			
Telephone Contact No:	305-456-1225 EXT 104	Fax No.	Email grod@camgroup.co / Gilma Rodriguez
Mailing Address:	2555 SW 8 ST Suite 301 Miami FL 33135		
	(City)	(State)	(ZIP Code)

ARCHITECT:

Project Architect(s) Name(s):	BEHAR FONT & PARTNERS, P.A.		
Telephone Contact No:	3057405442	Fax No.	Email robert@beharfont.com
Mailing Address:	4533 PONCE DE LEON BLVD CORAL GABLES, FL 33146		
	(City)	(State)	(ZIP Code)

ATTORNEYS (LEGAL REPRESENTATIVES):

Agent/Legal Representative			
Property Owner(s) Name(s):	Jorge Navarro, Esq./Devon Vickers, Esq. (Legal Representative)		
Telephone Contact No:	305-579-0827	Fax No.	Email navarrojo@gtlaw.com/vickersd@gtlaw.com
Mailing Address:	333 SE 2 Avenue, Suite 4100, Miami, FL 33131		
	(City)	(State)	(ZIP Code)

Erin Santiago, Arborist FL-5705A
Theresa Chormanski, DPM, Arborist FL-9845A

The Santiago Group LLC
thesantiagogroupllc@gmail.com
(954) 947-1087



August 21, 2023

ISA Certified Arborist Report

The following is an arborist report for 760 Ponce de Leon in Coral Gables, Florida. The purpose of this report is to inventory and evaluate the condition of the trees.

This report is not a risk assessment on a Level 2 or 3 as described by the Levels and Scope of Tree Risk Assessment from the ANSI A300 Part 9: Tree, shrub, and Other Woody Plant Management – Standard Practices. The Santiago Group LLC cannot be held liable for damage to the tree or damage caused by the tree.

Methods:

The on-site visual inspection at ground level was made on August 16, 2023 to observe the trees. The size of each tree was measured as diameter at breast height (DBH), breast height being 4.5 feet above ground utilizing diameter measure tape. Tree heights and canopy diameters were estimated in feet. Some DBH measurements were estimated when access to the tree could not be obtained. This report describes all trees on site and includes pictures and protection specifications. Please refer to the plans for proposed actions and the survey for locations.

The condition rating of each tree is described as Good, Moderate, or Poor. Please refer to ANSI A300 (Part 5)-2012: Management - Annex A-2 for an explanation of non-numeric condition ratings used herein. Please refer to ANSI A300 (Part 5)-2012: Management 54.7.1.1 for an explanation of the formula used to determine Tree Protection Zone (TPZ). The TPZs specified in this report are sufficient to maintain Critical Root Zones (CRZs) as well as the TPZs. TPZ is exaggerated in many instances given the proximity of the root flare to pavement and the limited green spaces afforded the root zones. In such cases (limited root zones), construction equipment used should be shorter than the lowest emergent scaffold; otherwise, protect to the dripline minimum. Existing root restriction is indicated in the notes for each species. The ANSI TPZ formula was not utilized for palms in this report.

Respectfully submitted,

Theresa Chormanski

Theresa Chormanski, DPM, Arborist FL-9845A

Erin Santiago, ISA Certified Arborist FL-5705A

Appendixes:

Please see Appendix A for Tree Inventory and Condition Assessment, Appendix B for Photographs, and Appendix C for Tree Protection Specifications.

Appendix A: Tree Inventory and Condition Assessment

Tree #	Common Name <i>Scientific Name</i>	DBH (in)	Height (ft)	Diameter Canopy (ft)	TPZ Factor (6 to 18)	TPZ Radius (ft)	Condition	Notes
1	Black Olive <i>Bucida buceras</i>	20	35	30	10	17	Poor	Structure impacted by competition; tight trunk/branch junctions with likely inclusion wood. Exposed roots and areas within the trunk and branches where decay is outpacing wound response.
2	Black Olive <i>Bucida buceras</i>	20	35	25	10	17	Moderate	Codominant structure. Sap seepage on trunk, twig dieback from light competition, and very reduced root zone. CAUTION: large beehive in upper branches.
3	Mahogany <i>Swietenia mahagoni</i>	24	33	15	10	20	Poor	Branch dieback and exposed root zone. Canopy very undersized.
4	Chinese Fan Palm <i>Livistona chinensis</i>	8	14CT 20OA	11	n/a	3	Moderate	In shade, structure impacted from light competition.
5	Satinleaf <i>Chrysophyllum oliviforme</i>	4	14	10	10	3	Poor	Full girdle from bracing and lose root ball.
6	Montgomery Palm <i>Veitchia arecina</i>	5	9CT 15OA	12	n/a	3	Good	
7	Montgomery Palm <i>Veitchia arecina</i>	6	9CT 15OA	12	n/a	3	Good	
8	Spanish Stopper <i>Eugenia foetida</i>	3	14	6	10	3	Poor	Full girdle from bracing and lose root ball.
9	Spanish Stopper <i>Eugenia foetida</i>	4	14	6	10	3	Poor	Full girdle from bracing and lose root ball.
10	Bridalveil Tree <i>Caesalpinia granadillo</i>	4	13	9	10	3	Poor	Staking fully girdling tree; chlorotic.
11	Bridalveil Tree <i>Caesalpinia granadillo</i>	5	13	11	10	4	Poor	Staking grown into tree, fully girdling tree.
12	Sabal Palm <i>Sabal palmetto</i>		2CT 14OA	14	n/a	3	Good	
13	Florida Thatch Palm <i>Thrinax radiata</i>	4	13CT 17OA	6	n/a	3	Moderate	Nutrient deficiencies
14	Montgomery Palm <i>Veitchia arecina</i>	7	9CT 15OA	12	n/a	3	Good	

Tree #	Common Name <i>Scientific Name</i>	DBH (in)	Height (ft)	Diameter Canopy (ft)	TPZ Factor (6 to 18)	TPZ Radius (ft)	Condition	Notes
15	Montgomery Palm <i>Veitchia arecina</i>	5	9CT 15OA	11	n/a	3	Good	
16	Montgomery palm (double) <i>Veitchia arecina</i>	3	5CT 10OA	3	n/a	3	Moderate	Crowded by <i>Clusia</i> hedge
17	Montgomery palm (double) <i>Veitchia arecina</i>	3	5CT 10OA	3	n/a	3	Moderate	Crowded by <i>Clusia</i> hedge
18	Montgomery palm (double) <i>Veitchia arecina</i>	3	5CT 10OA	3	n/a	3	Moderate	Crowded by <i>Clusia</i> hedge, see photo for 17
19	Montgomery palm (double) <i>Veitchia arecina</i>	3	5CT 10OA	3	n/a	3	Moderate	Crowded by <i>Clusia</i> hedge, see photo for 17
20	Montgomery palm (double) <i>Veitchia arecina</i>	2	5CT 10OA	3	n/a	3	Moderate	Crowded by <i>Clusia</i> hedge, see photo for 17
21	Montgomery palm (double) <i>Veitchia arecina</i>	2	5CT 10OA	3	n/a	3	Moderate	Crowded by <i>Clusia</i> hedge, see photo for 17
22	Montgomery palm (double) <i>Veitchia arecina</i>	2	5CT 8OA	3	n/a	3	Moderate	Crowded by <i>Clusia</i> hedge, see photo for 17
23	Montgomery palm (double) <i>Veitchia arecina</i>	7	6CT 12A	3	n/a	3	Good	
24	Montgomery palm (double) <i>Veitchia arecina</i>	7	6CT 12A	3	n/a	3	Good	Refer to 23 for photo
25	Montgomery palm (double) <i>Veitchia arecina</i>	2	4CT 7OA	3	n/a	3	Moderate	Crowded by <i>Clusia</i> hedge, see photo for 17
26	Montgomery palm (double) <i>Veitchia arecina</i>	3	5CT 10OA	3	n/a	3	Moderate	Crowded by <i>Clusia</i> hedge, see photo for 17
27	Montgomery palm (double) <i>Veitchia arecina</i>	8	6CT 12A	3	n/a	3	Good	Refer to 23 for photo
28	Montgomery palm (double) <i>Veitchia arecina</i>	3	6CT 10A	3	n/a	3	Moderate	Refer to 17 for photo
29	Montgomery palm (double) <i>Veitchia arecina</i>	2	5CT 10A	3	n/a	3	Moderate	
30	Montgomery palm (double) <i>Veitchia arecina</i>	2	5CT 10A	3	n/a	3	Moderate	Refer to 17 for photo

Tree #	Common Name <i>Scientific Name</i>	DBH (in)	Height (ft)	Diameter Canopy (ft)	TPZ Factor (6 to 18)	TPZ Radius (ft)	Condition	Notes
31	Montgomery palm (double) <i>Veitchia arecina</i>	1	5CT 10A	3	n/a	3	Poor	Root dieback and poor growth.
32	Montgomery palm (double) <i>Veitchia arecina</i>	2	5CT 100A	3	n/a	3	Poor	Root dieback and poor growth; see 31 for photo
33	Montgomery palm (double) <i>Veitchia arecina</i>	2	4CT 80A	3	n/a	3	Moderate	See photo 17
34	Montgomery palm (double) <i>Veitchia arecina</i>	3	5CT 100A	3	n/a	3	Moderate	Crowded by <i>Clusia</i> hedge, see photo for 17
35	Montgomery palm (double) <i>Veitchia arecina</i>	1	5CT 70A	3	n/a	3	Moderate	See photo 31
36	Montgomery palm (double) <i>Veitchia arecina</i>	n/a	4CT 50A	3	n/a	3	Moderate	
37	Black Olive <i>Bucida buceras</i>	27	35	30	10	23	Moderate	Poor wound response on pruned branches showing rotting and cavities throughout. Epicormic sprouting from tree base.
38	Bridalveil Tree <i>Caesalpinia granadillo</i>	4	11	13	10	3	Poor	Stem fully girdled from bracing and showing severe dieback. Likely planted too deeply.
39	Spanish Stopper <i>Eugenia foetida</i>	3	14	6	10	3	Moderate	Trunk wounds from removing girdle.
40	Bridalveil Tree <i>Caesalpinia granadillo</i>	5	12	13	10	4	Moderate	Included strap from bracing.
41	Black Olive <i>Bucida buceras</i>	32	38	40	10	27	Moderate	Poor wound response on pruned branches showing rotting and cavities throughout. Canker on branches. One-sided canopy due to utility pruning. Epicormic sprouting from tree base.
42	Paradise Tree <i>Simarouba glauca</i>	4	18	7	10	3	Good	Remove stake at base.
43	Geiger Tree <i>Cordia sebestena</i>	2	12	3	10	2	Moderate	Sparse canopy
44	Slash Pine <i>Pinus elliottii</i>	3	15	3	10	3	Poor	Structure poor; terminal leader died.
45	Slash Pine <i>Pinus elliottii</i>	3	17	3	10	3	Moderate	Sparse foliage.

Tree #	Common Name Scientific Name	DBH (in)	Height (ft)	Diameter Canopy (ft)	TPZ Factor (6 to 18)	TPZ Radius (ft)	Condition	Notes
46	Geiger Tree <i>Cordia sebestena</i>	4	16	7	10	3	Good	
47	Dead							
49	Geiger Tree <i>Cordia sebestena</i>	4	16	7	10	3	Good	
49	Ligustrum <i>Ligustrum japonicum</i>	4	4	5	10	3	Poor	Remove
49A	Areca Palm <i>Chrysalidocarpus lutescens</i>	4	7	7	n/a	3	Moderate	Chlorotic and potential fungus; watch for Ganoderma
50	Live Oak <i>Quercus virginiana</i>	50	35	55	10	42	Moderate	Aged oak, existing root constriction and sidewalk impact. Some previous improper stub cuts and mechanical damage of lower branches over road. Canopy impacted by utility pruning.
51	Bridalveil Tree <i>Caesalpinia granadillo</i>	3	11	5	10	3	Poor	Staking ties grown into tree. Structure impacted by shade.
52	Bridalveil Tree <i>Caesalpinia granadillo</i>	4	12	6	10	3	Poor	Staking ties grown into tree. Structure impacted by shade.
53	Bridalveil Tree <i>Caesalpinia granadillo</i>	4	12	12	10	3	Moderate	Girdling damage from staking. Structure with tight junctions typical of type; maintenance pruning recommended.
54	Bridalveil Tree <i>Caesalpinia granadillo</i>	4	12	16	10	3	Moderate	Girdling damage from staking. Structure with tight junctions typical of type; maintenance pruning recommended.
55	Dead							
56	Bridalveil Tree <i>Caesalpinia granadillo</i>	5	12	13	10	4	Moderate	Included strap from bracing; canopy sparse.
56A	Areca Palm <i>Chrysalidocarpus lutescens</i>	9	14	6	n/a	3	Moderate	Chlorotic
57	Bridalveil Tree <i>Caesalpinia granadillo</i>	5	12	13	10	4	Moderate	Included strap from bracing.
58	Bridalveil Tree <i>Caesalpinia granadillo</i>	5	12	13	10	4	Moderate	Included strap from bracing; chlorotic.
58A	Areca Palm <i>Chrysalidocarpus lutescens</i>	12	14	10	n/a	3	Moderate	Chlorotic

Tree #	Common Name Scientific Name	DBH (in)	Height (ft)	Diameter Canopy (ft)	TPZ Factor (6 to 18)	TPZ Radius (ft)	Condition	Notes
59	Christmas Palm <i>Adonidia merrillii</i>	6	21CT 23OA	5	n/a	3	Poor	Diminutive crown; sap seepage from trunk.
60	Bridalveil Tree <i>Caesalpinia granadillo</i>	5	12	13	10	4	Moderate	Included strap from bracing; chlorotic.
61	Solitaire Palm <i>Ptychosperma elegans</i>	4	14CT 20OA	9	n/a	3	Good	
62	Bridalveil Tree <i>Caesalpinia granadillo</i>	5	12	13	10	4	Moderate	Included strap from bracing.
63	Solitaire Palm <i>Ptychosperma elegans</i>	4	14CT 20OA	7	n/a	3	Moderate	Tip constriction and sparse canopy.
63A	Solitaire Palm (triple) <i>Ptychosperma elegans</i>	9	14CT 20OA	12	n/a	3	Good	
64	Christmas Palm <i>Adonidia merrillii</i>	12	16CT 21OA	9	n/a	3	Moderate	Sap seepage on trunk; fungus on stem.
65	Solitaire Palm (triple) <i>Ptychosperma elegans</i>	9	14CT 20OA	12	n/a	3	Good	
65A	Areca Palm <i>Chrysalidocarpus lutescens</i>	4	16	6	n/a	3	Moderate	Chlorotic
65B	Areca Palm <i>Chrysalidocarpus lutescens</i>	8	16	9	n/a	3	Moderate	Chlorotic
66	Bridalveil Tree <i>Caesalpinia granadillo</i>	5	12	11	10	4	Moderate	Included strap from bracing.
67	Bridalveil Tree <i>Caesalpinia granadillo</i>	5	12	11	10	4	Moderate	Included strap from bracing.
68	Bridalveil Tree <i>Caesalpinia granadillo</i>	3	10	7	10	3	Poor	Remove; tree almost dead.
69	Bridalveil Tree <i>Caesalpinia granadillo</i>	6	14	14	10	5	Moderate	String fully girdling tree; remove string.
70	Mahogany <i>Swietenia mahagoni</i>	2	16	4	10	2	Poor	Conflict with roof.
71	Sabal Palm <i>Sabal palmetto</i>	8	14CT 16OA	11	n/a	3	Moderate	Crown in conflict with structure, check id
72	Satinleaf <i>Chrysophyllum oliviforme</i>	3	16	9	10	3	Good	

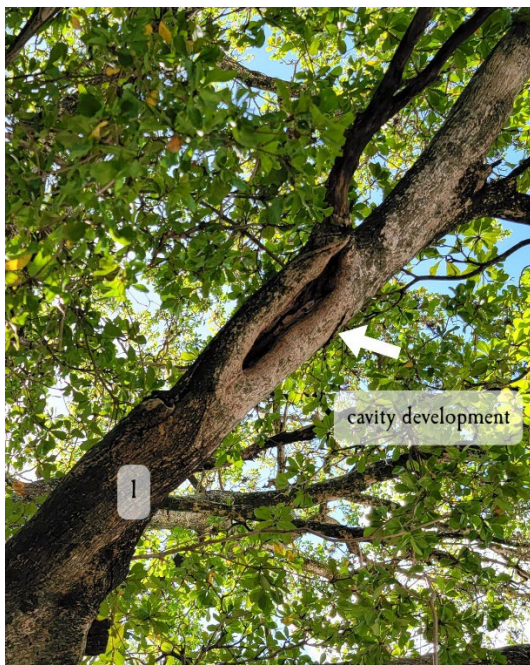
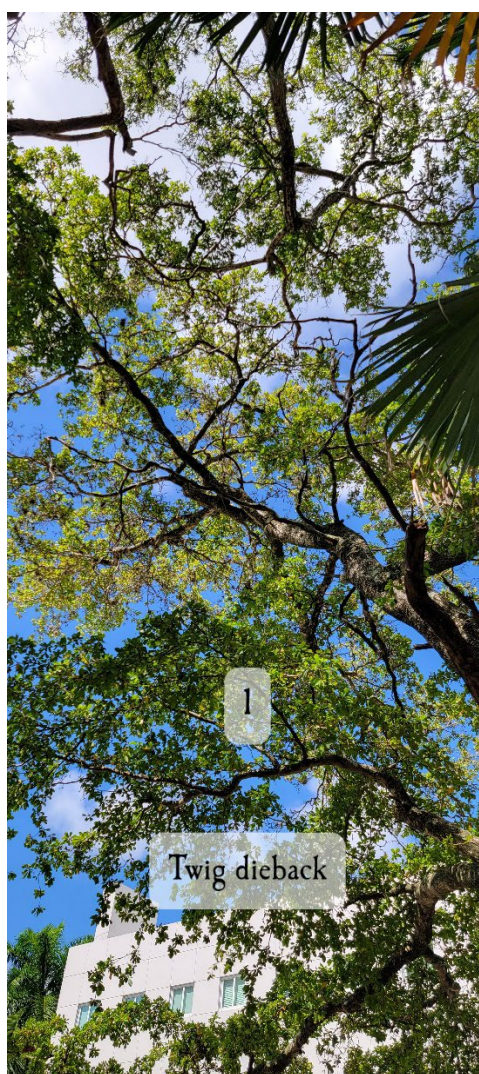
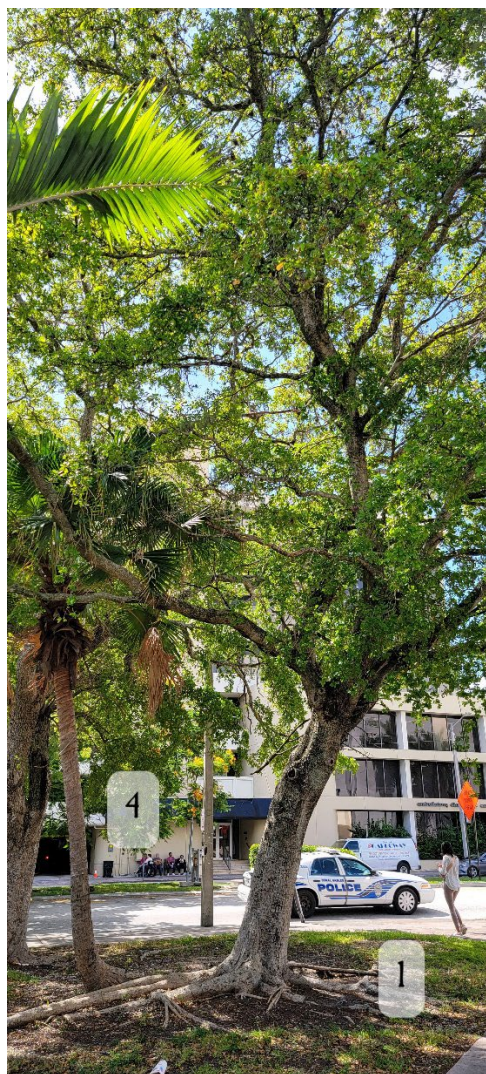
Tree #	Common Name Scientific Name	DBH (in)	Height (ft)	Diameter Canopy (ft)	TPZ Factor (6 to 18)	TPZ Radius (ft)	Condition	Notes
73	Dead							
74	Date Palm <i>Phoenix</i> sp.	Na	0CT 12OA	20	n/a	3	Poor	Growing in building foundation; remove.
75	Satinleaf <i>Chrysophyllum oliviforme</i>	2	15	9	10	2	Poor	Root ball not established; stem girdled with damage.
76	Paradise Tree <i>Simarouba glauca</i>	4	15	10	10	3	Moderate	Crossover root and weak connections.
76A	Areca Palm <i>Chrysalidocarpus lutescens</i>	12	14	8	n/a	3	Moderate	Chlorotic
77	Paradise Tree <i>Simarouba glauca</i>	3	15	6	10	3	Moderate	Root ball lose
78	Royal Palm <i>Roystonea regia</i>	11	10CT 16OA	10	n/a	3	Moderate	Micronutrient deficiency likely from constricted root zone.
79	Royal Palm <i>Roystonea regia</i>	11	10CT 16OA	10	n/a	3	Moderate	Micronutrient deficiency likely from constricted root zone.
80	Monkey Pod/ Manila Tamarind <i>Pithecellobium dulce</i>	5	15	14	10	4	Poor	Remove; tree in conflict with roof
81	Umbrella Tree <i>Schefflera actinophylla</i>	52	25	25	10	43	Moderate	Remove
82	Paradise Tree <i>Simarouba glauca</i>	4	14	10	10	3	Good	
83	Spindle Palm <i>Hyophorbe verschaffeltii</i>	13	11CT 15OA	8	n/a	3	Moderate	Trunk erosion; cosmetic damage.
84	Spindle Palm <i>Hyophorbe verschaffeltii</i>	13	10CT 14OA	8	n/a	3	Moderate	Trunk erosion; cosmetic damage.
85	Spindle Palm <i>Hyophorbe verschaffeltii</i>	12	10CT 14OA	8	n/a	3	Moderate	Trunk erosion; cosmetic damage.
86	Queen Palm <i>Syagrus Romanzoffi</i>	10	18CT 28OA	17	n/a	3	Moderate	
86A	Areca Palm <i>Chrysalidocarpus lutescens</i>	30	26	15	n/a	3	Moderate	
86B	Italian Cypress <i>Cupressus sempervire</i>	4	30	3	10	3	Poor	Friction wound from conflict and high center of gravity; remove tree.

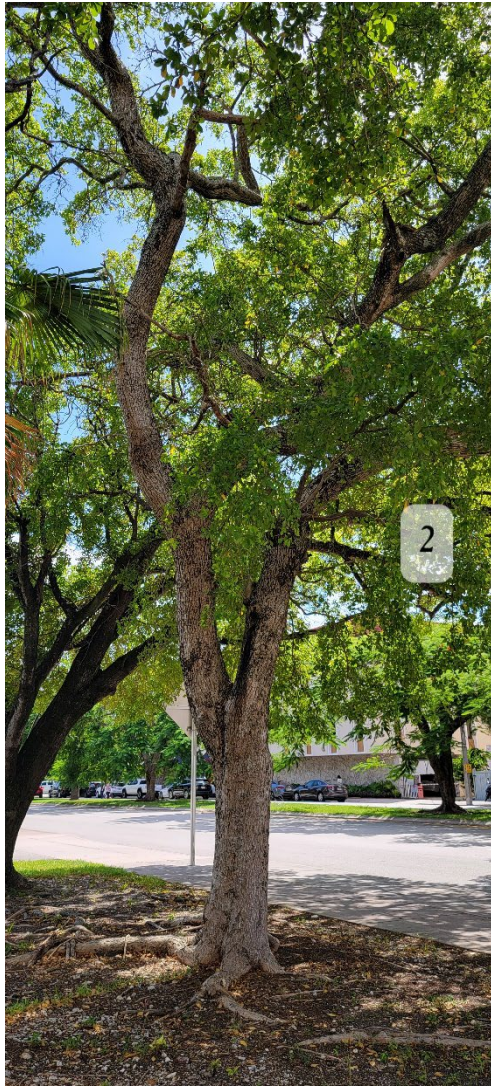
Tree #	Common Name Scientific Name	DBH (in)	Height (ft)	Diameter Canopy (ft)	TPZ Factor (6 to 18)	TPZ Radius (ft)	Condition	Notes
87	Satinleaf <i>Chrysophyllum oliviforme</i>	2	15	9	10	2	Poor	Root ball exposed; stem girdled with damage.
88	Slash Pine <i>Pinus elliottii</i>	3	15	5	10	3	Moderate	Severe codominance.
89	Slash Pine <i>Pinus elliottii</i>	3	15	6	10	3	Moderate	
90	Montgomery Palm <i>Veitchia arecina</i>	5	11CT 17CT	8	n/a	3	Good	
91	Slash Pine <i>Pinus elliottii</i>	3	14	5	10	3	Poor	Bark defoliating and inadequate root zone for tree.
92	Slash Pine <i>Pinus elliottii</i>	3	14	5	10	3	Poor	Severe codominance and inadequate root zone for tree.
93	Slash Pine <i>Pinus elliottii</i>	3	14	5	10	3	Poor	Inadequate root zone for tree.
94	Slash Pine <i>Pinus elliottii</i>	3	14	5	10	3	Moderate	Weak canopy
95	Christmas Palm (double) <i>Adonidia merrillii</i>	7	10CT 15OA	10	n/a	3	Moderate	Fill placed around root zone.
96	Slash Pine <i>Pinus elliottii</i>	2	9	3	10	2	Poor	Under performing
97	Satinleaf <i>Chrysophyllum oliviforme</i>	3	15	7	10	3	Poor	Canopy small and stem girdling; symptoms indicate inadequate maintenance performed.
98	Satinleaf <i>Chrysophyllum oliviforme</i>	3	15	7	10	3	Moderate	Root zone not established, small root area.
99	Satinleaf <i>Chrysophyllum oliviforme</i>	3	15	7	10	3	Moderate	Root zone not established, small root area, and severe girdling from stakes.
100	Paradise Tree <i>Simarouba glauca</i>	4	17	9	10	3	Moderate	Fill too high at base.
101	Paradise Tree <i>Simarouba glauca</i>	3	14	9	10	3	Poor	Fill too high at base and severe lean likely caused by poor planting.
102	Monkey Pod/ Manila Tamarind <i>Pithecellobium dulce</i>	20	35	55	10	17	Poor	Severe codominance with a weak connection.

Tree #	Common Name Scientific Name	DBH (in)	Height (ft)	Diameter Canopy (ft)	TPZ Factor (6 to 18)	TPZ Radius (ft)	Condition	Notes
102A	Areca Palm <i>Chrysalidocarpus lutescens</i>	20	19	10	n/a	3	Good	
103A	Areca Palm <i>Chrysalidocarpus lutescens</i>	20	19	10	n/a	3	Good	
103	Royal Palm <i>Roystonea regia</i>	17	33CT 45OA	20	n/a	3	Good	
104	Monkey Pod/ Manila Tamarind <i>Pithecellobium dulce</i>	11	24	29	10	9	Poor	Severe codominance; inadequate root zone.
104A	Areca Palm <i>Chrysalidocarpus lutescens</i>	6	8	9	n/a	3	Moderate	Chlorotic
104B	Areca Palm <i>Chrysalidocarpus lutescens</i>	6	8	9	n/a	3	Moderate	Chlorotic
105	Royal Palm <i>Roystonea regia</i>	18	33CT 45OA	20	n/a	3	Moderate	Constricted root zone.
106	Canary Island Date Palm <i>Phoenix carariensis</i>	19	32CT 40OA	25	n/a	3	Moderate	Chlorotic; remove volunteer Umbrella Tree
107	Slash Pine <i>Pinus elliottii</i>	19	43	34	10	16	Moderate	Constricted root zone on all sides; fungal conk on trunk.
108	Satinleaf <i>Chrysophyllum oliviforme</i>	2	13	5	10	2	Poor	Lack of vigor and stem girdling. Root zone not established.
109	Satinleaf <i>Chrysophyllum oliviforme</i>	3	15	7	10	3	Moderate	Undersized root zone.
110	Satinleaf <i>Chrysophyllum oliviforme</i>	3	15	7	10	3	Moderate	Undersized root zone.
111	Satinleaf <i>Chrysophyllum oliviforme</i>	3	17	12	10	3	Moderate	Undersized root zone, poor root establishment.
112	Spanish Stopper <i>Eugenia foetida</i>	2	15	4	10	2	Moderate	Root zone not established and girdling from braces.
112A	Canary Island Date Palm <i>Phoenix carariensis</i>	19	24CT 33OA	25	n/a	3	Moderate	Chlorotic; remove volunteer Umbrella Tree
113	Montgomery Palm <i>Veitchia arecina</i>	4	10CT 16OA	5	n/a	3	Moderate	Pencil-tipping of crown shaft.

Tree #	Common Name <i>Scientific Name</i>	DBH (in)	Height (ft)	Diameter Canopy (ft)	TPZ Factor (6 to 18)	TPZ Radius (ft)	Condition	Notes
114	Spanish Stopper <i>Eugenia foetida</i>	2	16	4	10	2	Moderate	Root zone not established and girdling from braces.
115	Black Olive <i>Bucida buceras</i>	32	45	28	10	27	Poor	Poor wound response on pruned branches showing rotting and cavities throughout. Root constriction present. Epicormic sprouting from tree base.
116	Satinleaf <i>Chrysophyllum oliviforme</i>	1	14	6	10	1	Moderate	Roots not established; girdling from bracing.

Appendix B: Photographs









Example *Veitchia* base;
crowding with *Clusia*



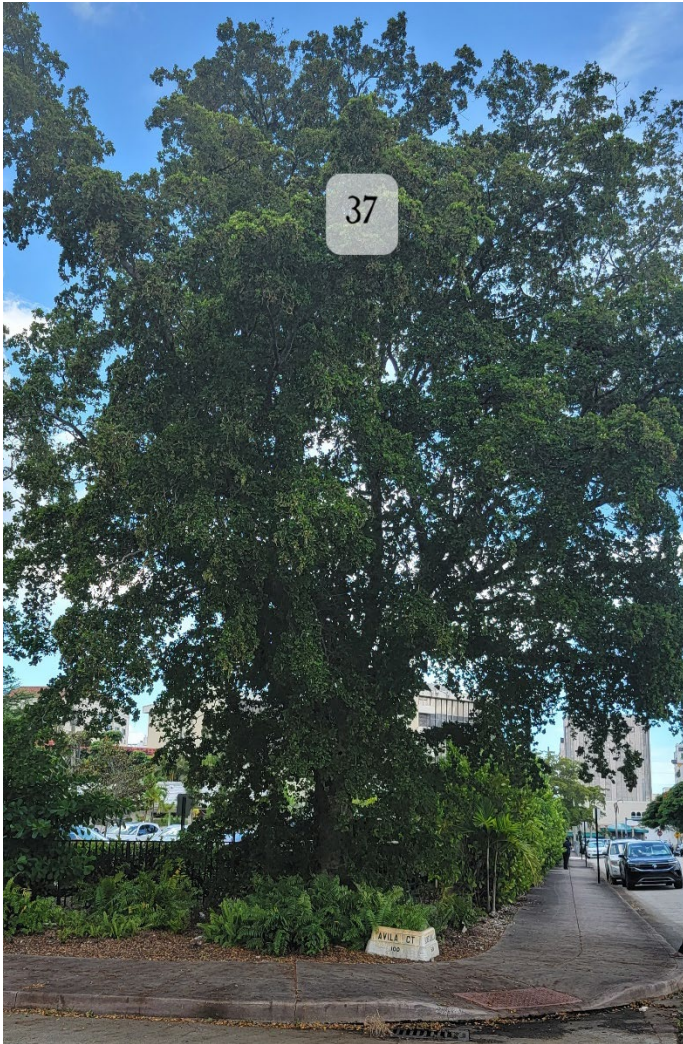


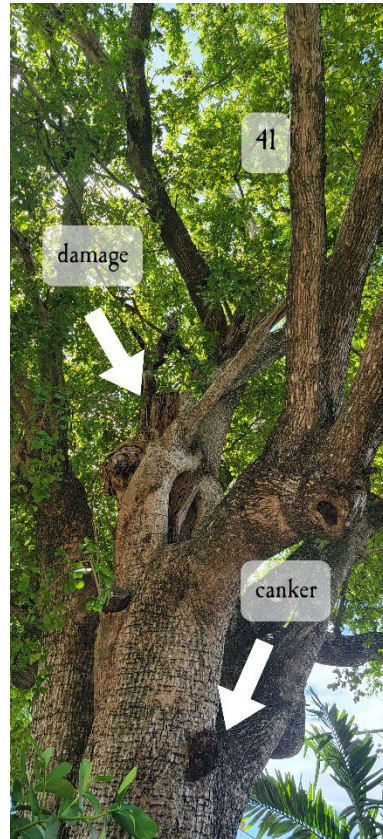
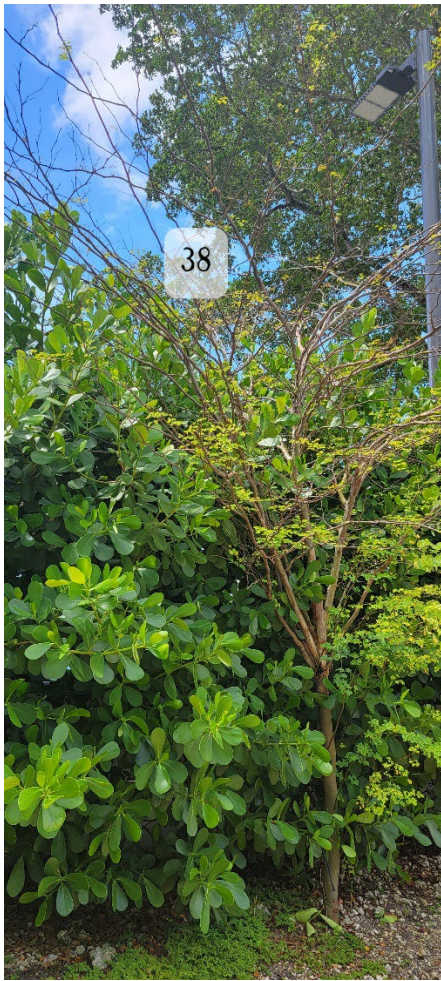
17 and 23: Example *Veitchia*; crowding with *Clusia* (see notes)

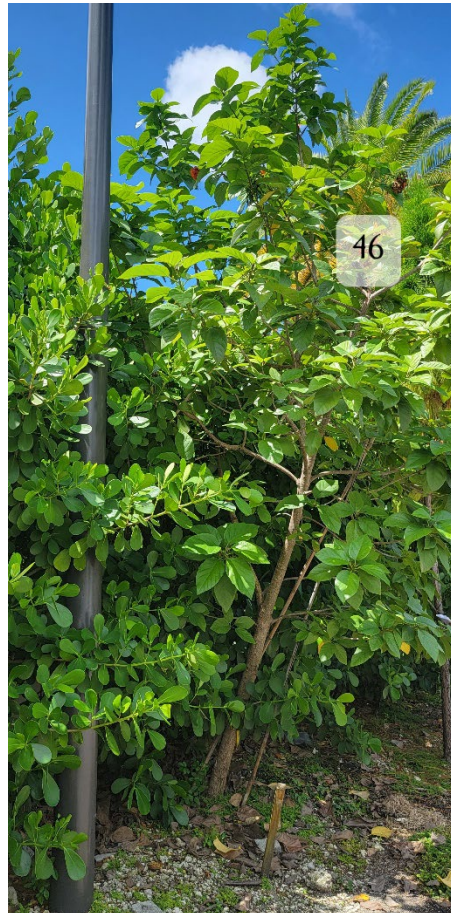


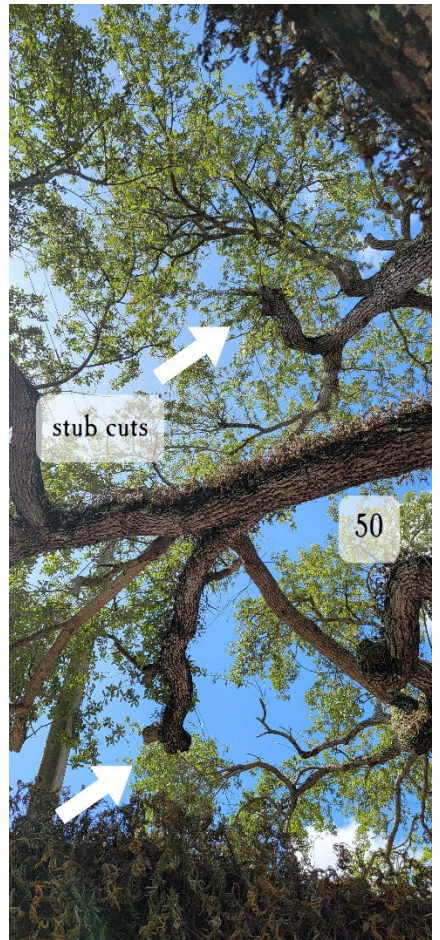
Veitchia growing within *Clusia* hedge #14-36



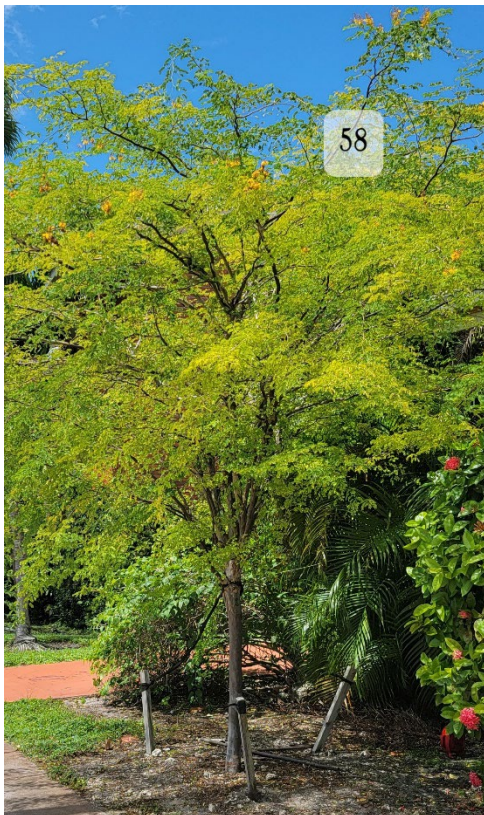


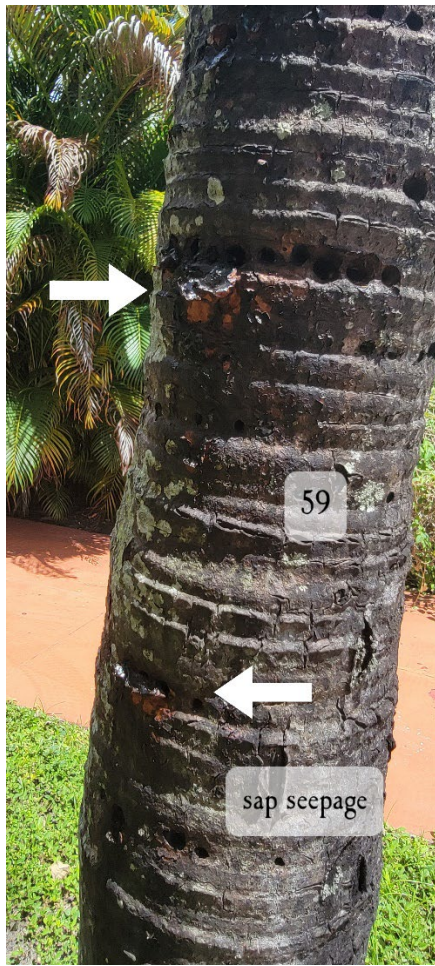


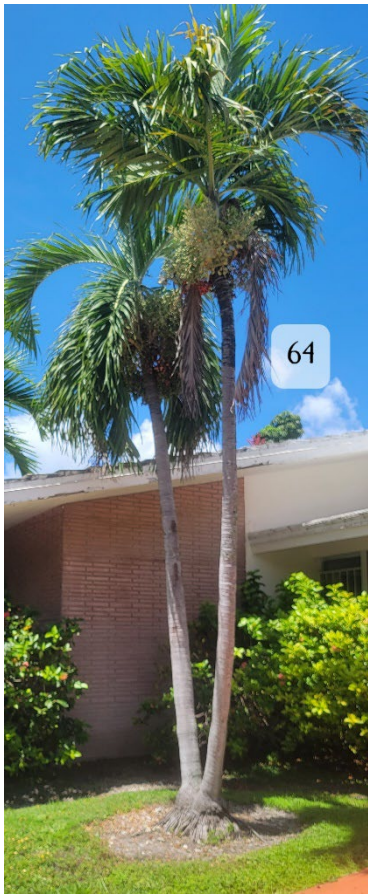


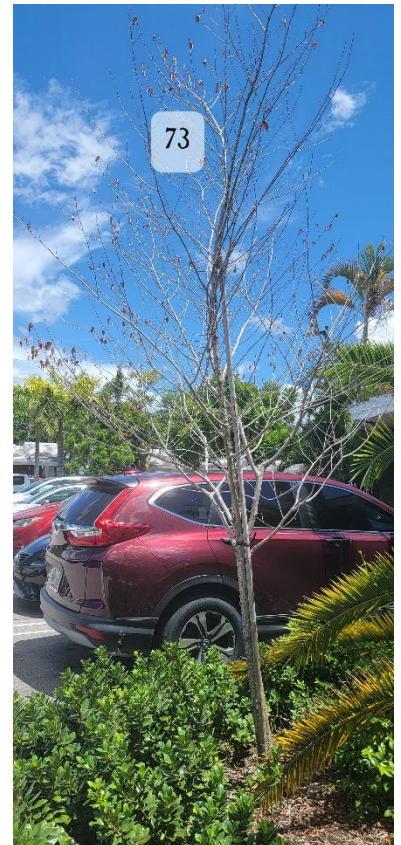
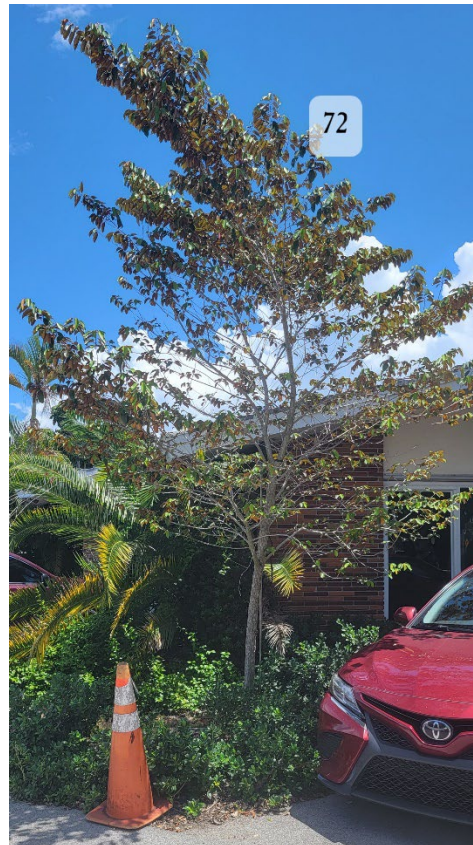


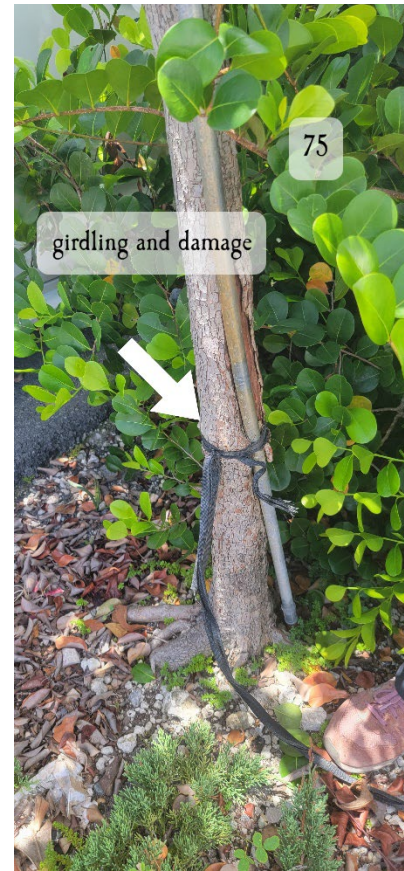
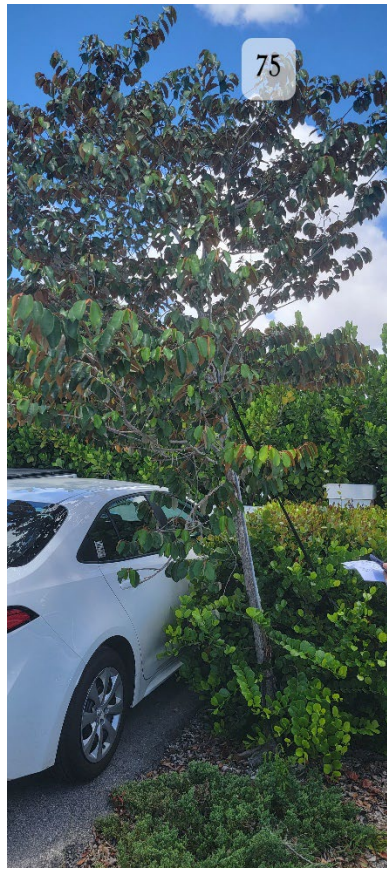


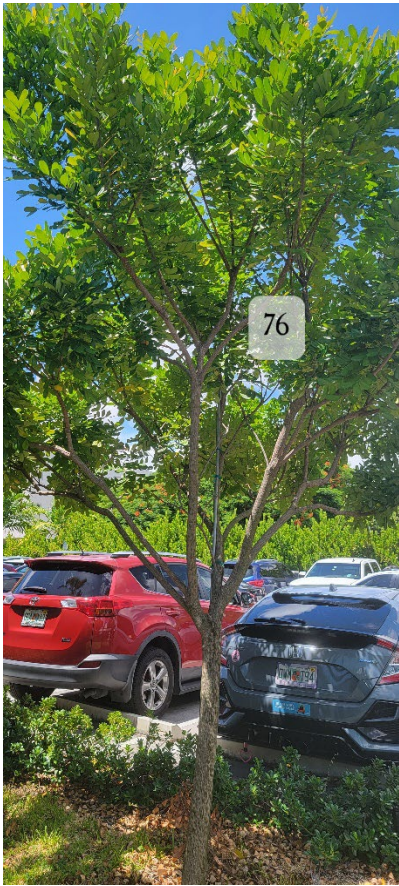


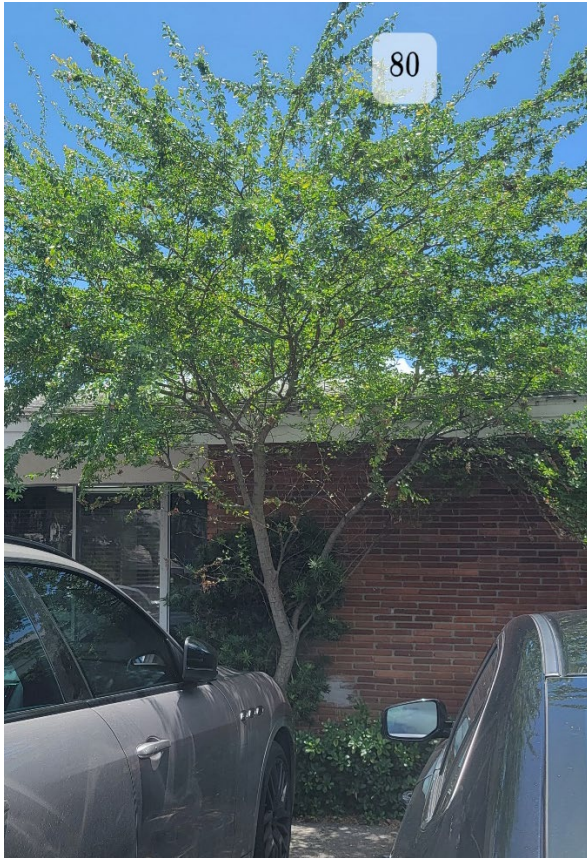


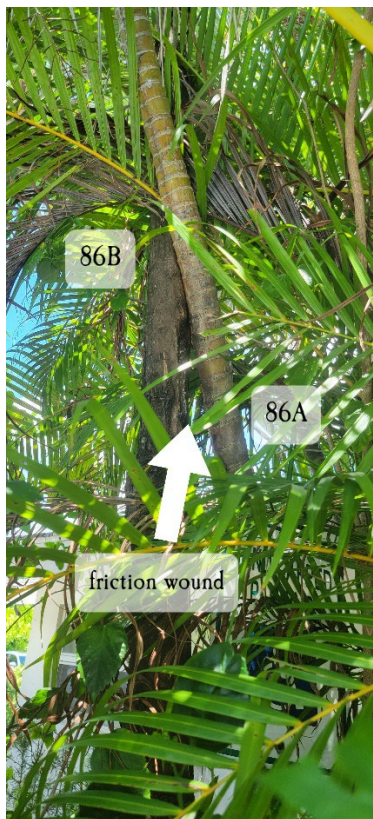


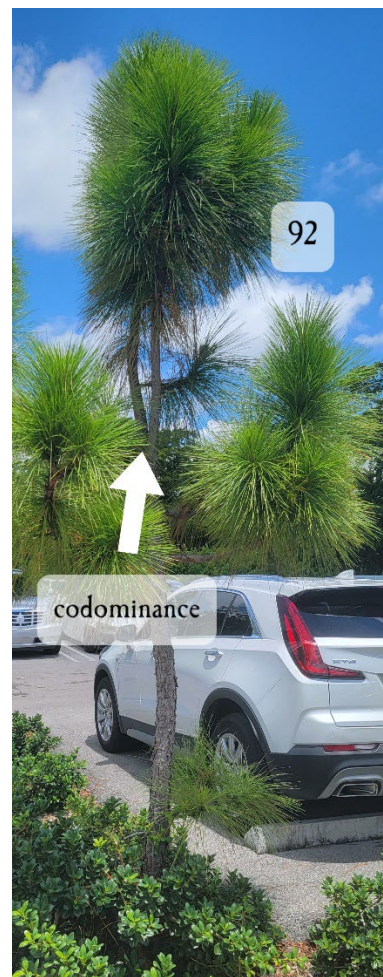
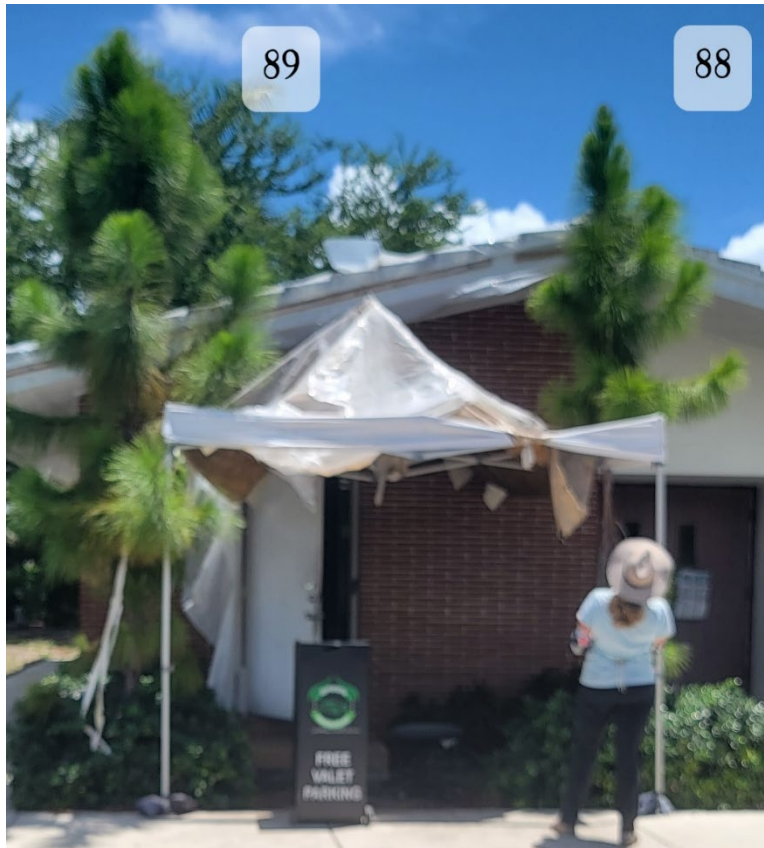




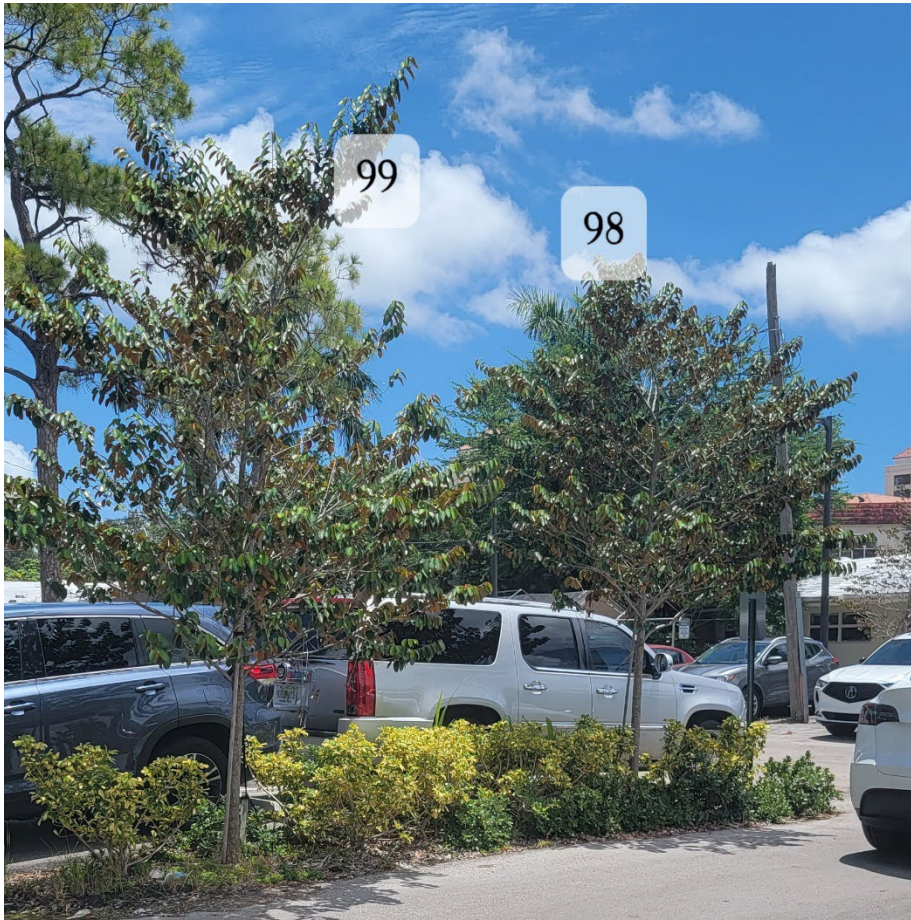




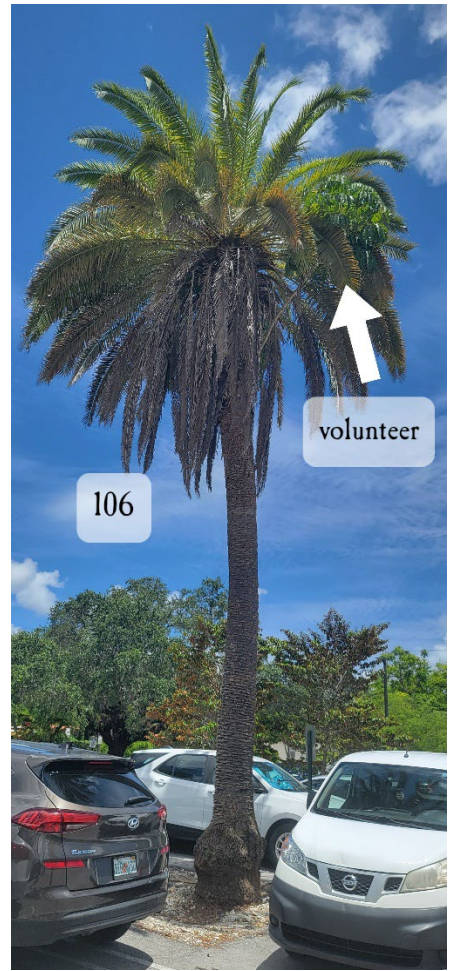


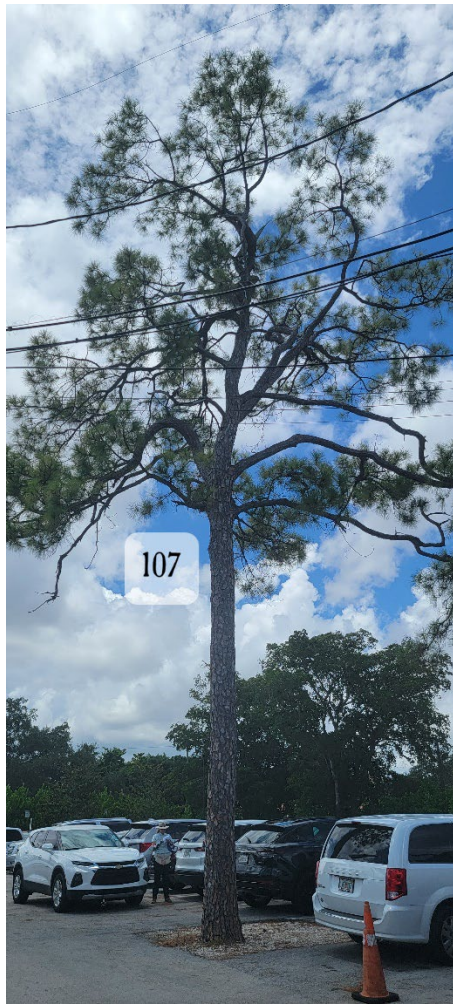


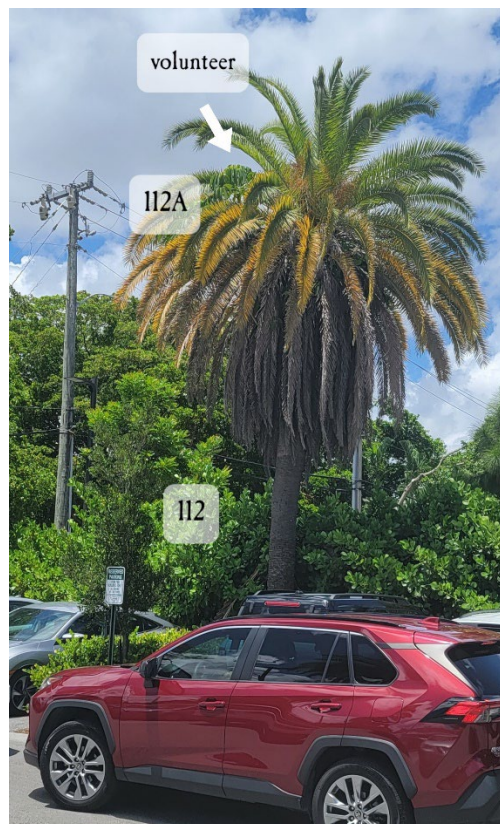


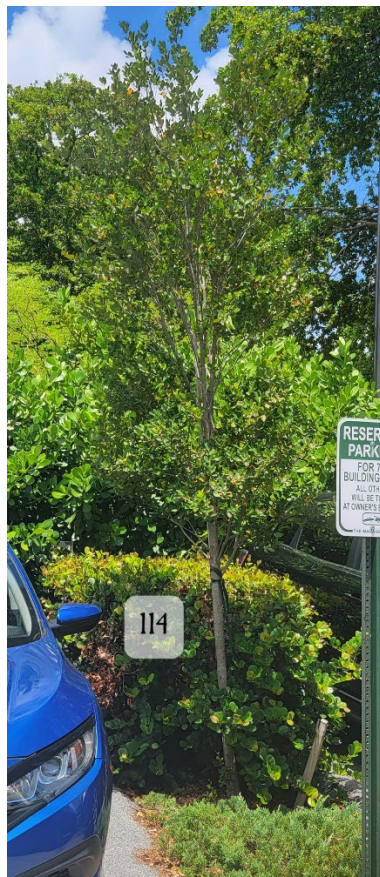












Appendix C: Tree Protection Detail

A. Areas within tree protection zone shall be kept weeded, free of garbage and construction debris, and free of any soil or fill placed above grade. Pay special attention if sloping or grade changes occur near protected trees. Consult arborist if sloping or work is needed within a tree's dripline and/or tree protection zone, as such work may be safe under an arborist's supervision. Within the tree protection zone, do not use weed wackers or anything that could injure or mar the trunk.

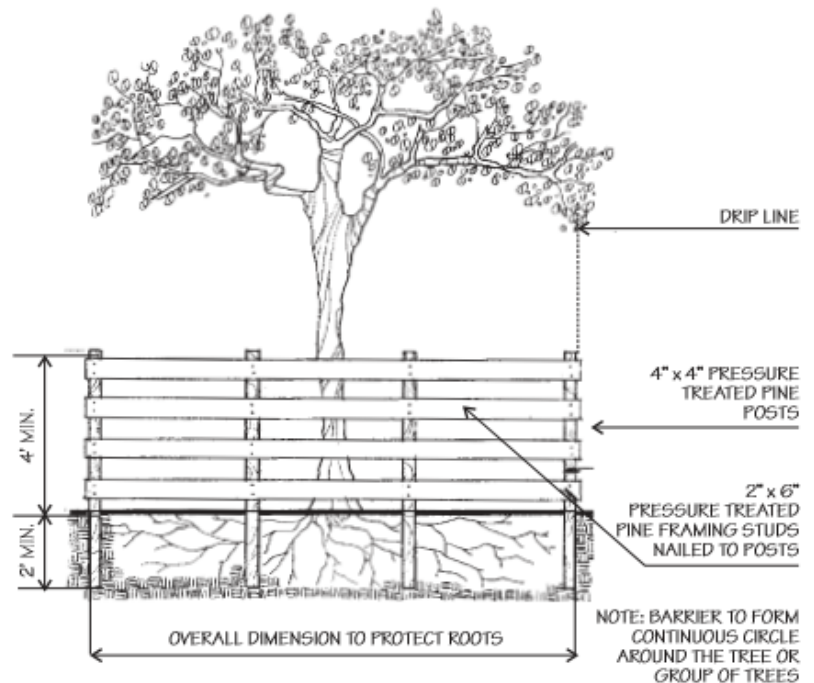
B. In instances where the recommended Tree Protection Zone extends over existing hardscape such as sidewalk or driveway, it may not be possible to fence the extent of the TPZ and an arborist's opinion of the extent of fencing should be sought.

C. There may be instances where site features are proposed to be installed within the TPZ. In instances where work must be performed within the TPZ, work shall be performed under supervision of the arborist or a landscape architect and determined to be safe for the tree due to position of structural roots and ensuring likelihood of proper availability of water and gas exchange. These features will be field located at time of installation to accommodate structural roots.

D. Planting areas and plants shall be protected against trespassing and damage according to local requirements or their plans. If any plants become damaged or injured, they shall be treated or replaced, as directed by the Inspector and in compliance with these specifications. No work shall be done within or over planting areas or adjacent to plants without proper safeguards and protection.

E. Protection against mechanical damage: Protection against mechanical damage shall include providing protection from vehicles and providing warning signs and barricades as might be necessary and include repairing, restoring and replacing any planting areas which become damaged as a result of any negligence in complying with these requirements. Coordination shall be with the Owner and the Design Consultant.

F. Recommended footage from base of trunk mentioned in matrices is an estimate only. Arborist should be consulted for direction on root pruning or protection zone changes if excavation reveals significant roots during the course of the project.



Tree Protection Detail

° WOOD BARRIER DETAIL °

August 14, 2025

VIA ELECTRONIC

Douglas Ramirez, Acting Director
Development Services Department
City of Coral Gables
427 Biltmore Way, 2nd Floor
Coral Gables, Florida 33134

Re: 760 Ponce de Leon Boulevard / Art in Public Places Statement / Planning Division Application for properties located at 760 Ponce de Leon Boulevard and 112 & 120 Avila Court in Coral Gables, Florida (the “City”) (Miami Dade County Folio Nos. 03-4105-050-1860; 03-4105-050-1850; 03-4105-050-1840; & 03-4105-050-1830) (the “Property”)

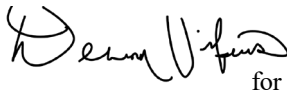
Dear Mr. Ramirez,

On behalf of 760 Ponce De Leon Blvd, LLC (the “**Applicant**”), please accept this as our Art and Public Places Statement for the above-referenced Property. Pursuant to Section 9-103 of the Coral Gables Zoning Code, the Applicant proposes to either (i) contribute the 1% of the Aggregate Project Value to the Art in Public Places Fund or (ii) request approval of a waiver to permit the acquisition and incorporation of artwork that may be incorporated into the proposed development at the Property.

As always, should you have any questions or require additional information, please contact me at (305) 579-0821.

Sincerely,

GREENBERG TRAURIG



for

Jorge L. Navarro

18-Jul	APPLICATION	ADDRESS	PLAN DESCRIPTION	RESULTS
1	BOAR-24-07-0904	760 PONCE DE LEON BLVD	BOA PRELIMINARY AND MED BONUS REVIEW FOR THE PROPOSED MIXED USE PROJECT (COMMERCIAL, TOWNHOMES AND MEDICAL OFFICE/CLINIC) LOCATED AT 760 PONCE DE LEON BOULEVARD, 112 & 120 AVILA COURT AND FOLIO NO. 03-4105-050-1850	07/18/2024 BOA MEETING. * MED BONUS LEVEL 1 – MOTION TO APPROVE. THE MOTION WAS MADE BY G. PRATT SECONDED BY G. BALLI THE MOTION PASSED BY THE FOLLOWING VOTE: YEAS: G. PRATT, P. KILIDDJIAN, L. JAUREGUI, R. FEITO, A. BARTROLI, P. KILIDDJIAN, G. BALLI NAYS: C. GIBB EXCUSED: H. RODRIGUEZ, J. CARTY 07/18/2024 BOA MEETING. * DESIGN – MOTION TO DEFER WITH THE FOLLOWING COMMENTS: 1) STUDY ARCHITECTURAL STYLING & DETAILING. 2) STUDY CORNICE & POSSIBLE TILE ROOF INCLUSION IN AREAS 3) STUDY BREAKING LONG EXPANSE OF WALLS AT PONCE & BUILDING REAR ELEVATION WITH RECESSES OR TERRACES, OR DESIGN ELEMENTS 4) STUDY WRAPPING TOWNHOUSE UNITS AROUND NW CORNER. 5) SHOW ALL ROOF MECHANICAL AREAS, STAIRS & ELEVATORS OVERRIDES AND ROOF EQUIPMENT. THE MOTION WAS MADE BY G. PRATT SECONDED BY R. FEITO THE MOTION PASSED BY THE FOLLOWING VOTE: YEAS: G. PRATT, P. KILIDDJIAN, A. BARTROLI, G. BALLI, C. GIBB, R. FEITO NAYS: L. JAUREGUI EXCUSED: H. RODRIGUEZ, J. CARTY
2	BOAR-24-05-0879	3011 PONCE DE LEON BLVD	SIDEWALK CAFE FOR PINSTRIPE. REFER TO PERMIT, ZONC-24-03-0394.	07/18/2024 BOA MEETING. * MOTION TO APPROVE. THE MOTION WAS MADE BY L. JAUREGUI SECONDED BY G. BALLI THE MOTION PASSED BY THE FOLLOWING VOTE: YEAS: G. PRATT, P. KILIDDJIAN, L. JAUREGUI, R. FEITO, A. BARTROLI, G. PRATT NAYS: C. GIBB EXCUSED: H. RODRIGUEZ, J. CARTY
3	BOAR-24-02-0816	730 PALERMO AVE	NEW TWO STORY SINGLE FAMILY RESIDENCE WITH 3,109 A/C SQ. FT. AND 4,547 TOTAL SQ. FT.	07/18/2024 BOA MEETING. * MOTION TO APPROVE AS NOTED WITH THE FOLLOWING COMMENTS: 1) ADD BACK COLUMN AT CARPORT/ENTRY. 2) RELOCATE SECOND FLOOR COLUMNS (3) TO THE PREVIOUS SUBMITTAL LOCATION. 3) STUDY/REDESIGN RIBBON WINDOWS TO MITIGATE ITS HORIZONTAL NATURE. THE MOTION WAS MADE BY R. FEITO SECONDED BY A. BARTROLI THE MOTION PASSED BY THE FOLLOWING VOTE: YEAS: G. PRATT, P. KILIDDJIAN, A. BARTROLI, L. JAUREGUI, R. FEITO, G. BALLI NAYS: C. GIBB EXCUSED: H. RODRIGUEZ, J. CARTY

4	BOAR-24-01-0792	1025 S ALHAMBRA CIR	ADDITION OF NEW COVERED TERRACE, ENCLOSE EXISTING COVERED TERRACE, NEW POOL AND POOL DECK DESIGN, AND ELEVATION UPDATE.	07/18/2024 BOA MEETING. * MOTION TO APPROVE AS NOTED WITH THE FOLLOWING COMMENTS: 1) BOA RECOMMENDS FRONT & REAR SETBACK ENCROACHMENT. THE MOTION WAS MADE BY L. JAUREGUI SECONDED BY G. PRATT THE MOTION PASSED BY THE FOLLOWING VOTE: YEAS: G. PRATT, P. KILIDDJIAN, A. BARTROLI, L. JAUREGUI, R. FEITO, G. BALLI NAYS: C. GIBB EXCUSED: H. RODRIGUEZ, J. CARTY
5	BOAR-24-05-0878	12700 VIRTUDES ST	1. NEW ATTACHED GARAGE AT FRONT. 2. NEW ATTACHED BEDROOM ADDITION. 3. CONVERTING EXISTING GARAGE TO FAMILY ROOM.	07/18/2024 BOA MEETING. * MOTION TO DEFER WITH THE FOLLOWING COMMENTS: 1) NOTCH GARAGE POP OUT. 2) REWORK AND PROVIDE DETAILING OF LOUVER/COLUMN DESIGN AND RELATION TO BEAM ABOVE. 3) MAKE GARAGE INTERIOR DIMENSION 22'-0". 4) RESOLVE NEW BUILDING TO EXISTING ROOF TRANSITION. THE MOTION WAS MADE BY L. JAUREGUI SECONDED BY G. PRATT THE MOTION PASSED BY THE FOLLOWING VOTE: YEAS: G. PRATT, P. KILIDDJIAN, A. BARTROLI, G. BALLI, C. GIBB, R. FEITO, L. JAUREGUI NAYS: NONE EXCUSED: H. RODRIGUEZ, J. CARTY
6	BOAR-24-06-0898	4525 ALHAMBRA CIR	628SF RESIDENTIAL ADDITION AND RENOVATION TO EXISTING KITCHEN AND MASTER BEDROOM.	07/18/2024 BOA MEETING. * RESCHEDULED.
7	BOAR-24-06-0899	1213 ANDORA AVE	MASTER BATH ADDITION, NEW TERRACE, ENLARGEMENT OF EXISTING FAMILY, NEW WINDOWS AND ELEVATION REFRESHING	07/18/2024 BOA MEETING. * RESCHEDULED.
8	ELER-24-03-1954	717 BENEVENTO AVE	INSTALLATION OF ROOF MOUNTED PHOTOVOLTAIC SOLAR	07/18/2024 BOA MEETING. * ATTENDANCE IS MANDATORY.
9	ELER-24-06-2262	1325 CAMPO SANO AVE	SOLAR PANEL MOUNTING SYSTEM ATTACHMENT AND RACKING DUE TO A ROOF CHANGE. THE STRUCTURE OF THE SOLAR PANELS AND THEIR ELECTRICAL CONNECTION REMAIN AS DETAILED IN THE APPROVED PERMIT EL17091874 (09-27-2017) WE ARE ONLY CHANGING THE SOLAR PANEL MOUNTING SYSTEM ATTACHMENT AND RACKING AS THE PERMIT IS CLOSED, WE ARE APPLYING FOR A NEW SOLAR PERMIT RATHER THAN A REVISION AS WE WERE KINDLY TOLD TO PROCEED	07/18/2024 BOA MEETING. * MOTION TO APPROVE AS NOTED WITH THE FOLLOWING COMMENTS: 1) LOWER PANELS ON MAIN ROOF CLOSER TO THE OVERHANG. THE MOTION WAS MADE BY G. PRATT SECONDED BY A. BARTROLI THE MOTION PASSED BY THE FOLLOWING VOTE: YEAS: G. PRATT, P. KILIDDJIAN, A. BARTROLI, L. JAUREGUI, R. FEITO, G. BALLI, C. GIBB NAYS: NONE EXCUSED: H. RODRIGUEZ, J. CARTY

10	BLDR-24-06-5739	1210 CAPRI ST	RE-ROOF METAL	07/18/2024 BOA MEETING. * MOTION TO REJECT WITH THE FOLLOWING COMMENTS: 1) INAPPROPRIATE ROOF TYPE FOR ARCHITECTURAL STYLE OF EXISTING RESIDENCE THE MOTION WAS MADE BY L. JAUREGUI SECONDED BY G. PRATT THE MOTION PASSED BY THE FOLLOWING VOTE: YEAS: G. PRATT, P. KILIDDIJIAN, A. BARTROLI, G. BALLI, C. GIBB, R. FEITO, L. JAUREGUI NAYS: NONE EXCUSED: H. RODRIGUEZ, J. CARTY
11	REVR-24-05-2241	219 MIRACLE MILE	EXISTING PAINTED STUCCO FINISH W/ BAND DETAIL. GRAY PORCELAIN TILE	07/18/2024 BOA MEETING. * MOTION TO APPROVE. THE MOTION WAS MADE BY C. GIBB SECONDED BY G. PRATT THE MOTION PASSED BY THE FOLLOWING VOTE: YEAS: G. PRATT, P. KILIDDIJIAN, L. JAUREGUI, R. FEITO, A. BARTROLI, G. PRATT, C. GIBB NAYS: NONE EXCUSED: H. RODRIGUEZ, J. CARTY
12	ZONR-24-01-1669	1113 PLACETAS AVE	PAINT BENJAMIN MOORE 2134 IRON MOUNTAIN	07/18/2024 BOA MEETING. * RESCHEDULED.
13	REVR-23-07-1013	1113 PLACETAS AVE	REFER TO EDEN MASTER PERMIT NO. BL-22-04-8312	07/18/2024 BOA MEETING. * RESCHEDULED.
14	SHOP-24-04-0848	13675 DEERING BAY DR	SHOP DRAWINGS -STEEL PLATFORM FOR PP-MTCI PRIVATE PROVIDER SERVICES LLC.(PLAN REVIEW AND INSPECTIONS)	07/18/2024 BOA MEETING – PANEL REVIEW *APPROVED BY G. BALLI, L. JAUREGUI.
15	PAFF-24-05-0463	6716 SAN VICENTE ST	ROOFING FOR NEW SINGLE FAMILY RESIDENCE - FLAT TILE - DARK CHARCOAL	07/18/2024 BOA MEETING – PANEL REVIEW *REJECTED BY P. KILIDDIJIAN, C. GIBB. NOTES ARE ON THE PLANS.
16	REVR-24-01-1750	52 N PROSPECT DR	REV. ADDITION TO INCLUDE A NEW LIBRARY SPACE 100 SF, A REMODELED COURTYARD, A NEW FRONT ENTRANCE DOOR AND REPLACING THE GARAGE DOOR (MASTER BLDR-23-04-3330).	07/18/2024 BOA MEETING – PANEL REVIEW *APPROVED AS NOTED BY R. FEITO, A. BARTROLI, G. PRATT. NOTES ARE ON THE PLANS.
17	BLDR-24-06-5729	714 ANASTASIA AVE	RE-ROOF - DARK CHARCOAL	07/18/2024 BOA MEETING – ATTENDANCE IS MANDATORY.

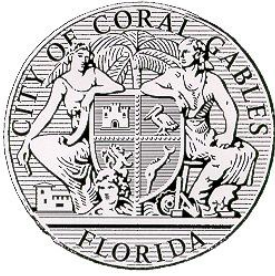
22-Aug	APPLICATION	ADDRESS	PLAN DESCRIPTION	RESULTS
1	BOAR-24-07-0904	760 PONCE DE LEON BLVD	BOA PRELIMINARY AND MED BONUS REVIEW FOR THE PROPOSED MIXED USE PROJECT (COMMERCIAL, TOWNHOMES AND MEDICAL OFFICE/CLINIC) LOCATED AT 760 PONCE DE LEON BOULEVARD, 112 & 120 AVILA COURT AND FOLIO NO. 03-4105-050-1850	08/22/2024 BOA MEETING. * MOTION TO APPROVE AS NOTED WITH THE FOLLOWING COMMENTS: 1) STUDY BREAK IN CORNICE AT NEWLY INTRODUCED BALCONY. 2) REWORK/STUDY REMOVING ENTRANCE PART OF THE AVILA CURB CUT DRIVEWAY. LEAVE AS EXIT ONLY RIGHT OUT. THE MOTION WAS MADE BY P. KILIDDOJIAN SECONDED BY G. PRATT THE MOTION PASSED BY THE FOLLOWING VOTE: YEAS: P. KILIDDOJIAN, A. BARTROLI, G. BALLI, J. CARTY, C. GIBB, L. JAUREGUI, G. PRATT NAYS: NONE EXCUSED: R. FEITO, H. RODRIGUEZ
2	BOAR-23-07-0646	2701 INDIAN MOUND TRL	*HISTORIC *NEW MULTIPURPOSE BUILDING FOR ST THERESA SCHOOL WITH ENCLOSED GYM AND TWO STORY BUILDINGS ATTCHED WITH OFFICES AND CLASROOMS.	08/22/2024 BOA MEETING. * MOTION TO DEFER WITH THE FOLLOWING COMMENTS: 1) REDESIGN ELEVATION DETAILS AND ELEMENTS. USE EXISTING BUILDINGS AS RESOURCE FOR THERE. 2) ADD DETAILS AND CONSIDER CLERESTORY WINDOWS AND RE-ENTRANT CORNERS ON THE MAIN GYM STRUCTURE. 3) REDESIGN THE ENTRY ELEMENTS AND THE CONNECTING COVERED WALKWAY STRUCTURE. 4) SHOW DRAWINGS OF THE NEW AND EXISTING BUILDINGS SIDE BY SIDE FOR COMPARISON. THE MOTION WAS MADE BY C. GIBB SECONDED BY G. PRATT THE MOTION PASSED BY THE FOLLOWING VOTE: YEAS: P. KILIDDOJIAN, G. BALLI, C. GIBB, G. PRATT NAYS: L. JAUREGUI, J. CARTY, A. BARTROLI EXCUSED: R. FEITO, H. RODRIGUEZ
3	BOAR-24-06-0885	1144 MILAN AVE	*HISTORIC* REMODEL AND EXPAND THE EXISTING STRUCTURE TO SUIT THEIR NEEDS AND TO RETROFIT THE ENTIRE STRUCTURE TO MODERN STANDARDS KEEPING THE MEDITERRANEAN STYLE OF EXISTING HOUSE	08/22/2024 BOA MEETING. * MOTION TO REJECT WITH THE FOLLOWING COMMENTS: 1) PARTI, MASSING, DETAILING & ARCHITECTURAL LANGUAGE ARE NOT COMPATIBLE WITH EXISTING HISTORIC HOME. 2) CARPORT HEIGHT & SCALE INAPPROPRIATE. 3) CHECK SEPTIC TANK REQUIREMENT. THE MOTION WAS MADE BY P. KILIDDOJIAN SECONDED BY L. JAUREGUI THE MOTION PASSED BY THE FOLLOWING VOTE: YEAS: P. KILIDDOJIAN, A. BARTROLI, G. BALLI, J. CARTY, C. GIBB, L. JAUREGUI, G. PRATT NAYS: NONE EXCUSED: R. FEITO, H. RODRIGUEZ

4	BOAR-24-07-0919	PRODUCT PRESENTATION	*PRODUCT PRESENTATION* BRAVA COMPOSITE ROOF TILE (SPANISH)	08/22/2024 BOA MEETING. * MOTION TO REJECT WITH THE FOLLOWING COMMENT: 1) NOT APPROPRIATE. THE MOTION WAS MADE BY G. BALLI SECONDED BY A. BARTROLI THE MOTION PASSED BY THE FOLLOWING VOTE: YEAS: P. KILIDDJIAN, A. BARTROLI, G. BALLI, J. CARTY, C. GIBB, L. JAUREGUI, G. PRATT NAYS: NONE EXCUSED: R. FEITO, H. RODRIGUEZ
5	BOAR-23-06-0613	810 PARADISO AVE	NEW HOME CONSTRUCTION	08/22/2024 BOA MEETING. * MOTION TO REJECT WITH THE FOLLOWING COMMENT: 1) INCOMPATIBLE WITH NEIGHBORHOOD CHARACTER. 2) INAPPROPRIATE ARCHITECTURAL STYLE FOR NEIGHBORHOOD. 3) INAPPROPRIATE MASSING, USE OF MATERIAL & FENESTRATION. 4) VERIFY COMPLIANCE WITH ZONING CODE & REGULATIONS. 5) MEET WITH CITY ARCHITECT FOR A FURTHER MORE IN DEPTH CONVERSTATION. 6) COMPLETE REDESIGN REQUIRED. THE MOTION WAS MADE BY C. GIBB SECONDED BY G. BALLI THE MOTION PASSED BY THE FOLLOWING VOTE: YEAS: P. KILIDDJIAN, A. BARTROLI, G. BALLI, J. CARTY, C. GIBB, L. JAUREGUI, G. PRATT NAYS: NONE EXCUSED: R. FEITO, H. RODRIGUEZ
6	BOAR-24-08-0933	250 LEUCADENDRA DR	CONSTRUCTION OF A 2 STORY SINGLE FAMILY RESIDENCE	08/22/2024 BOA MEETING. * MOTION TO APPROVE THE MOTION WAS MADE BY P. KILIDDJIAN SECONDED BY G. PRATT THE MOTION PASSED BY THE FOLLOWING VOTE: YEAS: P. KILIDDJIAN, A. BARTROLI, G. BALLI, J. CARTY, C. GIBB, L. JAUREGUI, G. PRATT NAYS: NONE EXCUSED: R. FEITO, H. RODRIGUEZ
7	BOAR-24-07-0929	505 ZAMORA AVE	NEW CONSTRUCTION 2 STORY SINGLE FAMILY RESIDENCE	08/22/2024 BOA MEETING. * MOTION TO APPROVE AS NOTED WITH THE FOLLOWING COMMENTS: PARAPET TO BE 12" WIDTH. THE MOTION WAS MADE BY G. PRATT SECONDED BY P. KILIDDJIAN THE MOTION PASSED BY THE FOLLOWING VOTE: YEAS: P. KILIDDJIAN, A. BARTROLI, G. BALLI, J. CARTY, C. GIBB, L. JAUREGUI, G. PRATT NAYS: NONE EXCUSED: R. FEITO, H. RODRIGUEZ

8	BOAR-24-08-0931	450 GERONA AVE	TWO STORY ADDITION OF EXISTING ONE STORY RESIDENCE. NEW SWIMMING POOL AND DECK WITH NEW ALUMINUM FENCE AND GATES.	08/22/2024 BOA MEETING. * MOTION TO REJECT WITH THE FOLLOWING COMMENTS: 1) INAPPROPRIATE MASSING & SCALE. 2) INAPPROPRIATE DETAILING. 3) LOCATION & DESIGN OF CARPORT INAPPROPRIATE. THE MOTION WAS MADE BY A. BARTROLI SECONDED BY L. JAUREGUI THE MOTION PASSED BY THE FOLLOWING VOTE: YEAS: A. BARTROLI, G. BALLI, J. CARTY, C. GIBB, L. JAUREGUI, G. PRATT NAYS: P. KILIDDJIAN EXCUSED: R. FEITO, H. RODRIGUEZ
9	BOAR-24-08-0932	2901 COLUMBUS BLVD	BUILD AND RELOCATE NEW GARAGE, ENCLOSING EXISTING ONE INTO NEW MASTER BEDROOM.	08/22/2024 BOA MEETING. * CONTINUED – INCOMPLETE SUBMITTAL.
10	BOAR-24-06-0895	2 TAHITI BEACH ISLAND RD	DEMOLITION & REPLACEMENT OF THE FORMERLY DETERIORATED POOL GROTTO BY A NEW 1-LEVEL 1,358 SF GROTTO TO ALLOCATE EXISTING POOL EQUIPMENT.	08/22/2024 BOA MEETING. * MOTION TO APPROVE THE MOTION WAS MADE BY P. KILIDDJIAN SECONDED BY G. PRATT THE MOTION PASSED BY THE FOLLOWING VOTE: YEAS: P. KILIDDJIAN, A. BARTROLI, G. BALLI, J. CARTY, C. GIBB, L. JAUREGUI, G. PRATT NAYS: NONE EXCUSED: R. FEITO, H. RODRIGUEZ
11	ELER-24-03-1954	717 BENEVENTO AVE	INSTALLATION OF ROOF MOUNTED PHOTOVOLTAIC SOLAR	08/22/2024 BOA MEETING. * MOTION TO DEFER WITH THE FOLLOWING COMMENTS: 1) SHOW ELEVATION WITH LOCATION OF EQUIPMENT & CONDUITS. THE MOTION WAS MADE BY A. BARTROLI SECONDED BY G. BALLI THE MOTION PASSED BY THE FOLLOWING VOTE: YEAS: A. BARTROLI, G. BALLI, C. GIBB, G. PRATT, P. KILIDDJIAN NAYS: NONE EXCUSED: R. FEITO, H. RODRIGUEZ, J. CARTY, L. JAUREGUI
12	ELER-24-07-2314	5610 LE JEUNE RD	ADDING AN ADDITIONAL 10 SOLAR PV PANELS TO AN EXISTING SYSTEM	08/22/2024 BOA MEETING. * MOTION TO APPROVE THE MOTION WAS MADE BY G. PRATT SECONDED BY G. BALLI THE MOTION PASSED BY THE FOLLOWING VOTE: YEAS: A. BARTROLI, G. BALLI, C. GIBB, G. PRATT, P. KILIDDJIAN NAYS: NONE EXCUSED: R. FEITO, H. RODRIGUEZ, J. CARTY, L. JAUREGUI
13	BLDR-24-08-5931	6900 CAPILLA ST	RE ROOF - METAL WORTHOUSE	08/22/2024 BOA MEETING. * ATTENDANCE IS MANDATORY.

14	BLDR-22-09-2275	748 MAJORCA AVE	NEW ADDITION AND HOUSE IMPROVEMENTS	08/22/2024 BOA MEETING – PANEL REVIEW *APPROVED BY P. KILIDDJIAN, G. PRATT, G. BALLI.
15	BOAR-24-08-0930	831 PIZARRO ST	GUEST HOUSE STRUCTURE REPAIRS AND RE-ROOFING TO MITIGATE WATER INTRUSION DAMAGE BACK TO ORIGINAL STRUCTURAL CONDITIONS	08/22/2024 BOA MEETING – *ATTENDANCE IS MANDATORY.
16	REVR-24-03-2006	704 ZAMORA AVE	REVISION OF NEW OUTSIDE WATER FEATURE, MECHANICAL PLANS, LINEAL GRILLS AND VARIANCE FRONT WINDOWS (MASTER #BLDR-22-08-2095).	08/22/2024 BOA MEETING – PANEL REVIEW *REJECTED BY C. GIBB, A. BARTROLI. NOTES ARE ON THE PLANS.
17	BLDR-24-07-5924	418 MARMORE AVE	REROOF TILES TO TILES WITH FLAT SAXONY 900 COLOR DARK CHARCOAL BLEND AND TORCH SYSTEM ON FLAT ROOF	08/22/2024 BOA MEETING – PANEL REVIEW *REJECTED BY P. KILIDDJIAN, G. PRATT, G. BALLI. NOTES ARE ON THE PLANS.
18	BLDR-24-06-5753	1023 VENETIA AVE	REPLACEMENT OF IMPACT DOORS (2 EA.) & IMPOACT WINDOWS (18 EA.)	08/22/2024 BOA MEETING – PANEL REVIEW *APPROVED AS NOTED BY P. KILIDDJIAN, G. PRATT, G. BALLI. NOTES ARE ON THE PLANS.
19	BOAR-24-07-0926	1025 MARIANA AVE	PROPOSING 108 SF BATH ADDITION TO EXISTING SINGLE FAMILY RESIDENCE. (DALIMA ALBERT)	08/22/2024 BOA MEETING – *ATTENDANCE IS MANDATORY.
20	BLDR-24-08-5934	1400 CAMPAMENTO AVE	TILES ROOF REPLACEMENT – DARK CHARCOAL	08/22/2024 BOA MEETING – PANEL REVIEW *REJECTED BY P. KILIDDJIAN, G. PRATT, G. BALLI. NOTES ARE ON THE PLANS.
21	BLDR-24-08-5936	840 TANGIER ST	RE ROOF TILE SAXONY 900 DARK CHARCOAL BLEND	08/22/2024 BOA MEETING – PANEL REVIEW *REJECTED BY P. KILIDDJIAN, G. PRATT, G. BALLI. NOTES ARE ON THE PLANS.
22	BLDR-24-07-5814	829 WALLACE ST	RE-ROOF TILE – CHESTNUT BURNT	08/22/2024 BOA MEETING – *ATTENDANCE IS MANDATORY.
23	BLDR-24-06-5630	360 ISLA DORADA BLVD	RE-RROF TILE SAXONY 900 EXPRESSO BLEND	08/22/2024 BOA MEETING – *ATTENDANCE IS MANDATORY.

24	BLDB-24-08-2768	155 ISLA DORADA BLVD	RE- ROOF TENNIS COURT BATHROOM & SHED WITH STANDING SEAM METAL ROOF.	08/22/2024 BOA MEETING – *CANCELLED.
25	BLDR-24-08-5939	445 MALAGA AVE	ROOF REPLACEMENT/VEREA CLAY TILE SPANISH 'S' IN COLOR GRAPHITE	08/22/2024 BOA MEETING – PANEL REVIEW *APPROVED BY P. KILIDDJIAN, G. PRATT, G. BALLI.
26	BLDR-24-07-5834	1101 ALHAMBRA CIR	RAFTER MATERIAL APPROVAL (HB ELEMENTS - HARDIE BOYS)	08/22/2024 BOA MEETING – PANEL REVIEW *APPROVED BY P. KILIDDJIAN, G. PRATT, G. BALLI. NOTES ARE ON THE PLANS.



CITY OF CORAL GABLES CONCURRENCY APPLICATION

AN APPLICATION FEE OF \$190.31 WILL BE CHARGED WITH THE COMPLETION OF THIS APPLICATION

PROPOSED PROJECT INFORMATION:

APPLICANT: 760 Ponce De Leon Blvd LLC

DEVELOPMENT NAME: 760 Ponce

SITE ADDRESS: 760 PONCE DE LEON BLVD; 112 & 120 AVILA COURT

FOLIO: 03-4105-050-1860, 03-4105-050-1830, 03-4105-050-1840, 03-4105-050-1850

CONCURRENCY REVIEW REQUESTED:

(PLEASE CHECK ONE BELOW)

☐ INFORMATIONAL

☒ IMPACT ANALYSIS

ASSOCIATED DEVELOPMENT ORDER:

DEVELOPMENT ORDER/PROCESSING NUMBER: DLR1-23-09-0031

PROPOSED LAND USES:

RESIDENTIAL

SINGLE FAMILY NUMBER OF UNITS: _____

TOWNHOUSES NUMBER OF UNITS: 4

MULTI-FAMILY NUMBER OF UNITS: _____

PROPOSED LAND USES:

COMMERCIAL

SERVICE STATION NUMBER OF PUMPS: _____

SUPERMARKET 1,000 S.F. GFA: _____

DISCOUNT STORE 1,000 S.F. GFA: _____

DISCOUNT STORE W/SUPERMARKET 1,000 S.F. GFA: _____

GENERAL RETAIL OR DEPT. STORE 1,000 S.F. GFA: 9,910 SF (commercial)

AUTO SUPPLY 1,000 S.F. GFA: _____

NEW CAR DEALER 1,000 S.F. GFA: _____

CONVENIENCE STORE 1,000 S.F. GFA: _____

SHOPPING CENTER

½ TO 1 MILLION SQ. FT. 1,000 S.F. GFA: _____

100 TO 500 THOUSAND SQ. FT. 1,000 S.F. GFA: _____

LESS THAN 100,000 SQ. FT. 1,000 S.F. GFA: _____

CENTRAL AREA HIGH DENSITY 1,000 S.F. GFA: _____

GENERAL MFG. WAREHOUSE 1,000 S.F. GFA: _____

PLUS NUMBER OF BAYS: _____

RESEARCH/DEVELOPMENT 1,000 S.F. GFA: _____

INDUSTRIAL PARK 1,000 S.F. GFA: _____

GENERAL LIGHT INDUSTRY 1,000 S.F. GFA: _____

ALL INDUSTRY AVERAGE OFFICES 1,000 S.F. GFA: _____

GENERAL OFFICE 1,000 S.F. GFA: _____

MEDICAL OFFICE 1,000 S.F. GFA: 96,770 SF

PROFESSIONAL OFFICE 1,000 S.F. GFA: _____

CIVIC CENTER 1,000 S.F. GFA: _____

RESEARCH CENTER 1,000 S.F. GFA: _____

RESTAURANTS

QUALITY 1,000 S.F. GFA: _____

OTHER SIT-DOWN 1,000 S.F. GFA: _____

FAST FOOD 1,000 S.F. GFA: _____

NUMBER OF SEATS: _____

BANKS 1,000 S.F. GFA: _____

HOSPITALS

GENERAL NUMBERS OF BEDS: _____

CHILDREN NUMBER OF BEDS: _____

CONVALESCENT NUMBER OF BEDS: _____

UNIVERSITY NUMBER OF BEDS: _____

VETERANS NUMBER OF BEDS: _____

NURSING HOME NUMBER OF BEDS: _____

CLINICS NUMBER OF BEDS: _____

EDUCATIONAL

ALL NUMBER OF STUDENTS: _____

4-YEAR UNIVERSITY NUMBER OF STUDENTS: _____

JR. COLLEGE NUMBER OF STUDENTS: _____

EDUCATIONAL (CONTINUES)

SECONDARY SCHOOL NUMBER OF STUDENTS: _____

ELEMENTARY SCHOOL NUMBER OF STUDENTS: _____

COMBINED ELEM./SEC. NUMBER OF STUDENTS: _____

LIBRARY NUMBER OF STAFF: _____

MOTEL/HOTEL

HOTEL NUMBERS OF ROOMS: _____

MOTEL NUMBER OF ROOMS: _____

RESORT HOTEL NUMBER OF ROOMS: _____



rdr miami | public hearing notification services

certified lists of property owners within a specific radius + radius maps + mailing labels + mailouts + notice of public hearing site posting
rdrmiami.com | diana@rdrmiami.com | 305.498.1614

August 14, 2025

City of Coral Gables
405 Biltmore Way
Coral Gables, Florida 33134

Re: Property owners within 1,500 feet of:

SUBJECT: 760 Ponce de Leon Boulevard, Coral Gables, FL 33134

FOLIO NUMBER: 03-4105-050-1860

SUBJECT: 120 Avila Court, Coral Gables, FL 33134

FOLIO NUMBER: 03-4105-050-1830

SUBJECT: 112 Avila Court, Coral Gables, FL 33134

FOLIO NUMBER: 03-4105-050-1840

FOLIO NUMBER: 03-4105-050-1850

This is to certify that the attached ownership list, map and mailing labels are a complete and accurate representation of the real estate property and property owners within 1,500 feet radius of the external boundaries of the subject property listed above, including the subject property. This reflects the most current records on file in the Miami-Dade County Property Appraisers' Office.

Per Section 15-102: Should the radius extend beyond the City limits, notice shall be mailed outside of the City limits only to addresses that are known by reference to the latest ad valorem tax record that are within a five hundred (500) foot radius of the property that is the subject of the application.

The MDCPS Office of the Superintendent, the Principal of the MDCPS physically located within the notice area, the District 6 School Board Member, the School Board Chair and Vice Chair have been added to the list and mailing labels as per City of Coral Gables Res. 2020-245, if applicable.

Per Ordinance 2023-02, Section 15-102: All required mail notice will be sent to the property address and the mailing address per the Miami-Dade County Property Appraisers website. If the address is the same for both, then only one notice must be sent.

Sincerely,

Diana B. Rio

Total number of property owners without repetition: **1,223, including 5 international* ****

**No MDCPS physically located within the notice area.*

***Properties outside of the City of Coral Gables boundaries were found within a 500' radius.*



City of Coral Gables
Development Services Department

Affidavit Attesting to Public Notice of Zoning Application

Property Owner or Authorized Representative: Diana Rio

Property Address and Folio Number(s):

SUBJECT: 760 Ponce de Leon Boulevard, Coral Gables, FL 33134

FOLIO NUMBER: 03-4105-050-1860

SUBJECT: 120 Avila Court, Coral Gables, FL 33134

FOLIO NUMBER: 03-4105-050-1830

SUBJECT: 112 Avila Court, Coral Gables, FL 33134

FOLIO NUMBER: 03-4105-050-1840

FOLIO NUMBER: 03-4105-050-1850

I, as property owner or Authorized Representative of the above described property attest that on (date) N/A, I sent by U.S. Mail to each person on the list of names and addresses attached a true copy of the attached notice letter. I further attest that I have complied with the requirements of Resolution No. 2020-245 and Resolution No. 2020-265 (requiring additional notice to Miami-Dade County Public Schools "MDCPS") as indicated below:

_____ This application required notice to be sent to MDCPS and I have complied with the additional notice requirements in Resolutions No. 2020-245 and 2020-265.

X This application did not require notice to be sent to MDCPS.

I HEREBY CERTIFY that all information contained in this Affidavit is true and accurate. Under penalty of perjury, I declare that I have read the foregoing document and that the facts stated in it are true. Further, I acknowledge that I am subject to the City's False Claims Ordinance (Ch. 39, City of Coral Gables Code).

Affiant's Printed Name: Diana Rio

Affiant's Signature:  Date: 8/14/2025

Notary Public Affirmation

SWORN AND SUBSCRIBED before me, this 14th day of August, 2025, personally appeared Diana Ru, being personally known to me (X) or having produced as identification _____, and who being fully sworn and cautioned, states that the foregoing is true and correct to the best of his/her knowledge and belief. ()

Signature of Notary: Michael J. [Signature]

Print Name: Mabel Rio

Notary Public Stamp:

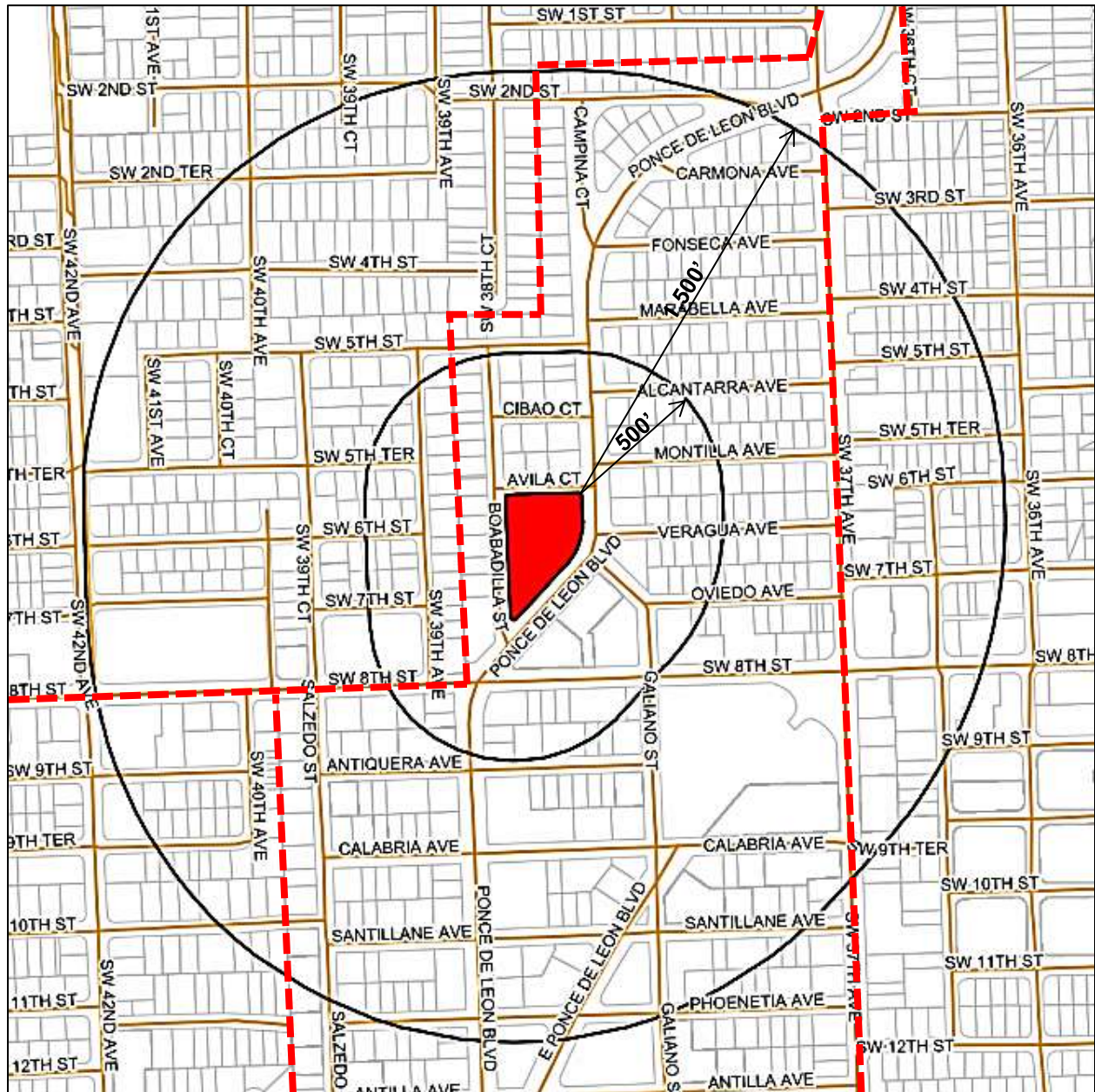


Mabel Rio
Comm.: HH 456211
Expires: Dec. 15, 2027
History Public - State of Florida

My Commission Expires: 12-15-2027.



1,500' RADIUS MAP (N.T.S.)



FOLIO NUMBER: 03-4105-050-1830

SUBJECT: 112 Avila Court, Coral Gables, FL 33134

FOLIO NUMBER: 03-4105-050-1840

FOLIO NUMBER: 03-4105-050-1850

LEGEND, IF APPLICABLE:

CITY OF CORAL GABLES BOUNDARY 

MDCPS



This Instrument Prepared by:

Carlos F. Rodriguez, Esq.
ERRA LAW
2601 South Bayshore Drive, 18th Floor
Coconut Grove, Florida 33133

After Recording Return to:

Law Offices of Lisbet Campo, P.A.
10041 Bird Road
Miami, FL 33165

Parcel Identification (Folio) Numbers:
03-4105-050-1830, 03-4105-050-1840,
03-4105-050-1850 & 03-4105-050-1860

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED made this 11 day of **October, 2023** between **B & B Investments Management, LTD, a Florida limited partnership** ("**Grantor**"), for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other valuable consideration, the receipt and sufficiency of which consideration are hereby acknowledged, has Granted, Sold, and Conveyed, and by these presents does Grant, Sell, and Convey, unto **760 Ponce De Leon LLC, a Florida limited liability company** ("**Grantee**") having an address of 2555 SW 8th Street, Suite 301, Miami, FL 33135, (i) all that real property situated in the County of Miami-Dade, State of Florida, and more particularly described on **Exhibit A** attached hereto and made a part hereof for all purposes, and (ii) together with all improvements now or hereafter situated thereon (collectively, the "**Property**").

This Deed is made and accepted expressly subject to the matters set forth in **Exhibit B** attached hereto and made a part hereof for all purposes which are not reimposed hereby.

TO HAVE AND TO HOLD the Property, together with all and singular the rights, easements, tenements, hereditaments and appurtenances belonging in any way to the Property, unto the said Grantee, its successors and assigns forever, and Grantor binds itself and its successors and assigns to warrant and forever defend all and singular the Property to Grantee, its successors and assigns against every person lawfully claiming or to claim all or any part of the Property, by, through, or under Grantor, but not otherwise.

TO HAVE AND TO HOLD, the same in fee simple forever.

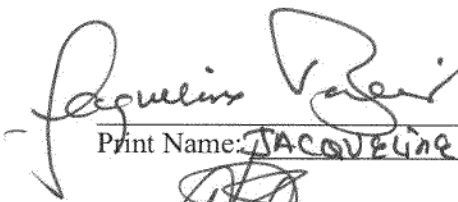
[Signature Page to Follow]

IN WITNESS WHEREOF, Grantor has executed this Deed, to be effective as of this 4th day of OCTOBER, 2023.

WITNESSES:

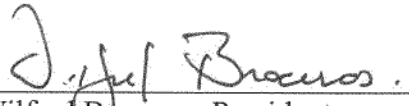
GRANTOR:

B & B Investments Management, LTD,
a Florida limited partnership


Print Name: JACQUELINE BACARI

By: GEJK, Inc.,
a Florida corporation
Its General Partner


Print Name: Aymee Fernandez

By: 
Wilfred Bracer, President

STATE OF FLORIDA §
 §
COUNTY OF MIAMI-DADE §

This instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 4th day of OCTOBER, 2023, by Wilfred Bracer, the President of GEJK, Inc., a Florida corporation, which is the general partner of B & B INVESTMENTS MANAGEMENT, LTD, a Florida limited partnership, on behalf of said company, and he is [check one:] ☒ personally known to me or _____ produced the following identification: _____.

(SEAL)



ANSELMO L. ALLIEGRO
Notary Public
State of Florida
Comm# HH407947
Expires 10/3/2027


ANSELMO L. ALLIEGRO
Notary Public

Print name of notary

My Commission Expires: 10/3/2027

Exhibit A

Parcels (Fee Simple):

PARCEL 1:

Lot 1, and the West 30 feet of Lot 2, Block 18, CORAL GABLES FLAGLER STREET SECTION, according to the plat thereof, as recorded in Plat Book 10 at Page 12, of the Public Records of Miami-Dade County, Florida.

PARCEL 2:

East 10 Feet of Lot 2, and Lots 3 and 4, Block 18, of CORAL GABLES FLAGLER STREET SECTION, according to the Plat thereof, as recorded in Plat Book 10, at Page 12, of the Public Records of Miami-Dade County, Florida.

PARCEL 3:

Lots 5 and 6, Block 18, of CORAL GABLES FLAGLER STREET SECTION, according to the Plat thereof, as recorded in Plat Book 10, at Page 12, of the Public Records of Miami-Dade County, Florida.

PARCEL 4:

Lots 7 through 17, in Block 18, of CORAL GABLES FLAGLER STREET SECTION, according to the Plat thereof, as recorded in Plat Book 10, at Page 12, of the Public Records of Miami-Dade County, Florida.

Exhibit B

1. Real property taxes and assessments for the year 2024 and thereafter, not yet due and payable.
2. Zoning and other regulatory laws and ordinances affecting the Property.
3. Matters which would be disclosed by a current survey.
4. Easements, rights of way, limitations, conditions, covenants, restrictions, and all other matters of record, without intending to reimpose any of same.