

10550 OLD CUTLER RD



FRONT

10550 OLD CUTLER RD



FRONT

10550 OLD CUTLER RD



REAR

10550 OLD CUTLER RD



SIDE

10550 OLD CUTLER RD

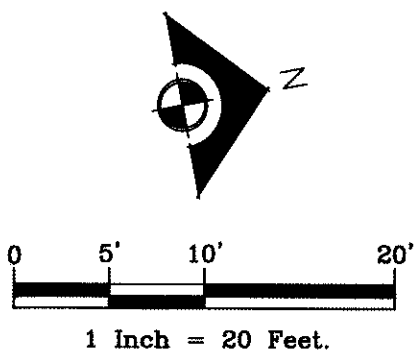


REAR

10550 OLD CUTLER RD



SIDE

[illegible]

LEGEND OF SURVEY ABBREVIATIONS

M/L	MONUMENT LINE	RES.	RESIDENTIAL	D=	= CENTRAL ANGLE		FIRE HYDRANT
N.V.D.	NON-VOLUNTARY DETESTIC	RAD.	RADIAL		= CHAIN LINK FENCE		SAN. MANHOLE
P.	PIER	R/W	RIGHT OF WAY		= WOOD LINE FENCE		WATER VALVE
P.B.	PIAT BOAT	R/C	RIGHT OF CORNER		= C.B.S. WALL		ELEVATIONS
P.C.P.	PERMANENT CONTROL POINT	S.I.P.	SEWER PIPE NO 504.		= OVERHEAD ELECTRIC		LIGHT POLE
P.G.	PAGE	S.W.K.	SIDEWALK		= BELL-SHAPED BOX		CATCH BASIN
P/L	PROPERTY LINE	U.E.	UTILITY EASEMENT		= CABLE BOX		WATER METER
R	RADIUS				= POWER LINE		

LEGEND OF SURVEY ABBREVIATIONS

Lots 10, Block 3, of "SNAPPER CREEK LAKES SUBDIVISION", according to the Plat thereof, as recorded in Plat Book 57 at Page 86, of the Public Records of Miami-Dade County, Florida.

Folio: 03-5107-004-0390

FLOOD ZONE : WITHIN ZONE: X ELEVATION: N/A COMMUNITY: 120639 PANEL No.: 0457 SUFFIX: L DATE: 09/11/2009	ORDER NO.: FIELD BOOK: DATE: UPDATE:	M-11425 "FILE": OCTOBER 23, 2020	PROPERTY ADDRESS: 10550 OLD CUTLER RD CORAL GABLES, FL 33156
			FOR: QUEEN GABRIELA CORP.

I HEREBY CERTIFY: THAT THIS DRAWING REPRESENTS THE RESULT OF A SURVEY OF THE WITHIN DESCRIBED PROPERTY AND THIS DRAWING AND SIAD SURVEY WERE PREPARED BY ME OR UNDER MY DIRECTION.
THERE ARE NO ENCROACHMENTS UNLESS SHOWN THEREON.

THIS SURVEY IS NOT VALID WITHOUT THE
SIGNATURE AND RAISED SEAL OF A FLORIDA
LICENSED SURVEYOR AND MAPPER

THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE
RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY THIS SURVEY IS
SUBJECT TO EASEMENTS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR
EASEMENTS OF RECORDS.
LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT AN ATTEMPTED TO LOCATED FORTOR
AND/OR
NOT VISIBLE ENCROACHMENTS WERE FOUND ON THE PROPERTY, UNLESS SHOWN.
IF SHOWN ELEVATIONS ARE REFERRED TO N.G.V.D. 1929
BENCH MARK USED NO. # 641, WITH ELEVATION: 15.93' (N.G.V.D. 1929)
ELEVATIONS SHOWN REFLECTED AS PER PLAT'S BLOCK
BASIS OF BEARINGS IS THE CENTER LINE OF OLD CANTON ROAD (S41°27'20" W.

NARCISO RAMIREZ
PROFESSIONAL LAND SURVEYOR No. 2779
STATE OF FLORIDA
12720 S.W. 71st TERRACE
MIAMI, FL 33183
TEL: (305) 596-0888 & (305) 596-0990
FAX: (305) 596-0888

ZONING DATA

ZONING R-USE DISTRICT.			
LOT AREA	50,000 S.F.		
SETBACKS	ALLOWED:	FRONT	50'-0"
		INTERIOR	15'-0"
		REAR	25'-0"
	PROPOSED FRONT	65'-0"	
	INTERIOR	30'-0" N.C.	
	REAR	112'-3", 83'-2"	

LOT GROUND AREA:			
ALLOWED	15%-50,000 S.F.	7500 S.F.	
ALLOWED	5%-22,806 S.F.	1140 S.F.	
ALL ACCESSORY USES.			

TOTAL ALLOWED	8,640 S.F.
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GROUND LEVEL		
HOUSE EXISTING	5,939 S.F.	EXISTING
MAIN FRONT PORCH	121 S.F.	EXISTING
SERVICE PORCH #1	37 S.F.	EXISTING
SERVICE PORCH #2	84 S.F.	EXISTING
GARAGE #1	551 S.F.	EXISTING
GARAGE #2	480 S.F.	EXISTING * MODIFIED
NEW BREAKFAST NOOK	280 S.F.	NEW
	7492 S.F.	

ACCESSORY USE		
CABANNA NEW	100 S.F.	* MAX ALLOWED
POOL NEW	790 S.F.	
FOUNTAIN #1	115 S.F.	NEW.
FOUNTAIN #2	65 S.F.	NEW.
	1070 S.F.	

MAX. S.F. FLOOR AREA		
ALLOWED		
48% OF FIRST 5000 S.F.	2400 S.F.	
35% OF NEXT 5000 S.F.	1750 S.F.	
30% OF NEXT 40,000 S.F.	12000 S.F.	
TOTAL ALLOWED	16,150 S.F.	

EXISTING & PROPOSED		
HOUSE FIRST FLOOR	5939 S.F.	EXISTING
NEW BREAKFAST NOOK	280 S.F.	NEW
GARAGE #1 AT 50%	276 S.F.	EXISTING
GARAGE #2 AT 50%	240 S.F.	* MODIFIED
	6735 S.F.	
HOUSE SECOND FLOOR	4026 S.F.	EXISTING
NEW ADDITION OVER GAR. #1	1200 S.F.	NEW
NEW ADDITION OVER GAR. #2	520 S.F.	NEW
ENCLOSURE TERRACE SOUTH	377 S.F.	NEW
NEW ADDITION REAR SOUTH	560 S.F.	NEW
NEW ADDITION REAR NORTH	747 S.F.	NEW

7053 SQ. FT

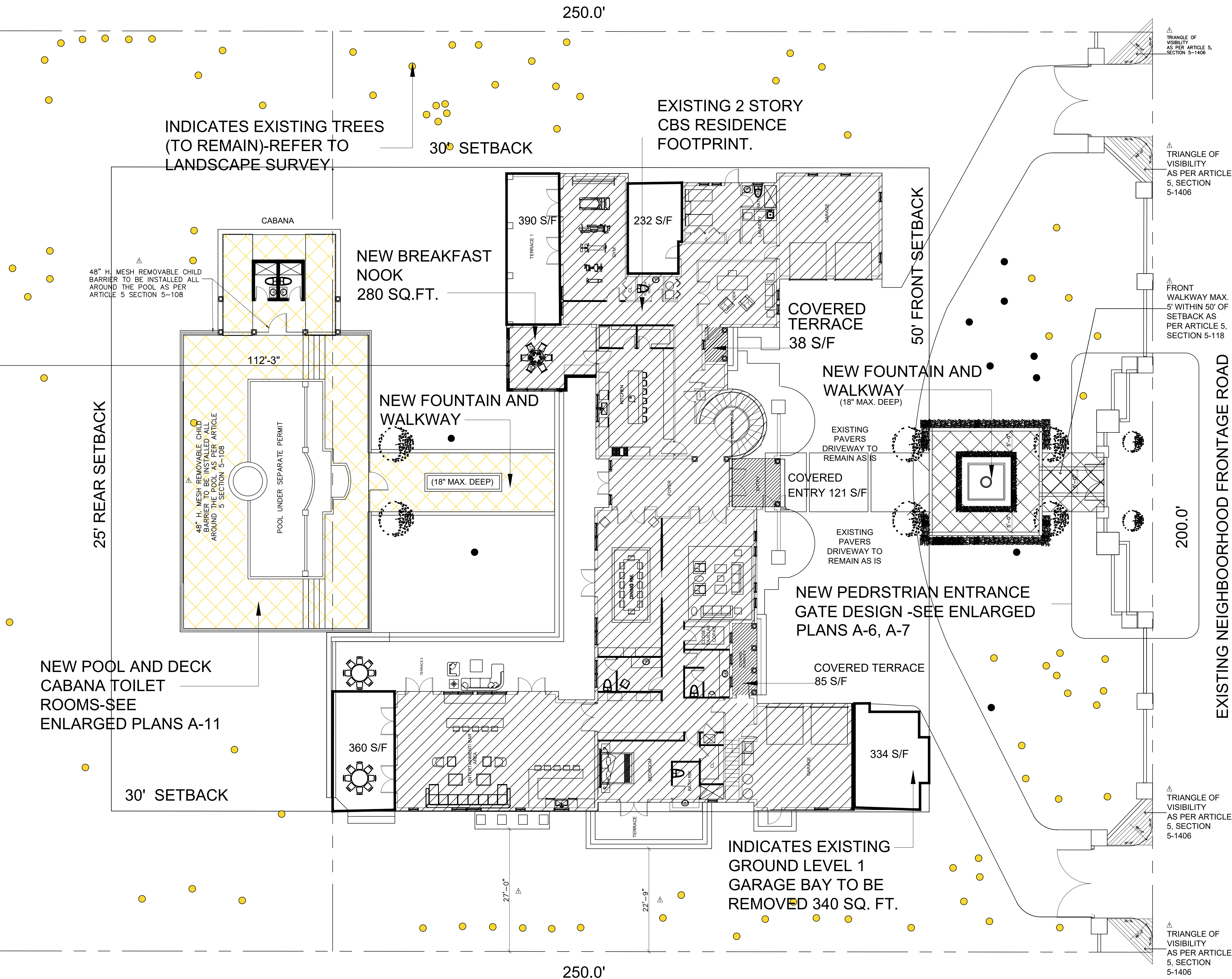
TOTAL ALLOWED	16,150 S.F.	13,788 SQ. FT. TOTAL
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LANDSCAPE AREA:		
REQUIRED	35% OF 50,000 S.F.	17,500 S.F.
PROVIDED	-7492 S.F. HOUSE COVERGE	
POOL AND DECK AREA	-3899 COVERAGE	
FRONT DRIVEWAYS, WALKWAYS	-6100 COVERAGE	
REAR TERRACE,, WALKWAYS	-2700 COVERAGE	

-20,191 COVERAGE
GREEN AREA TOTAL 29,809 S.F.

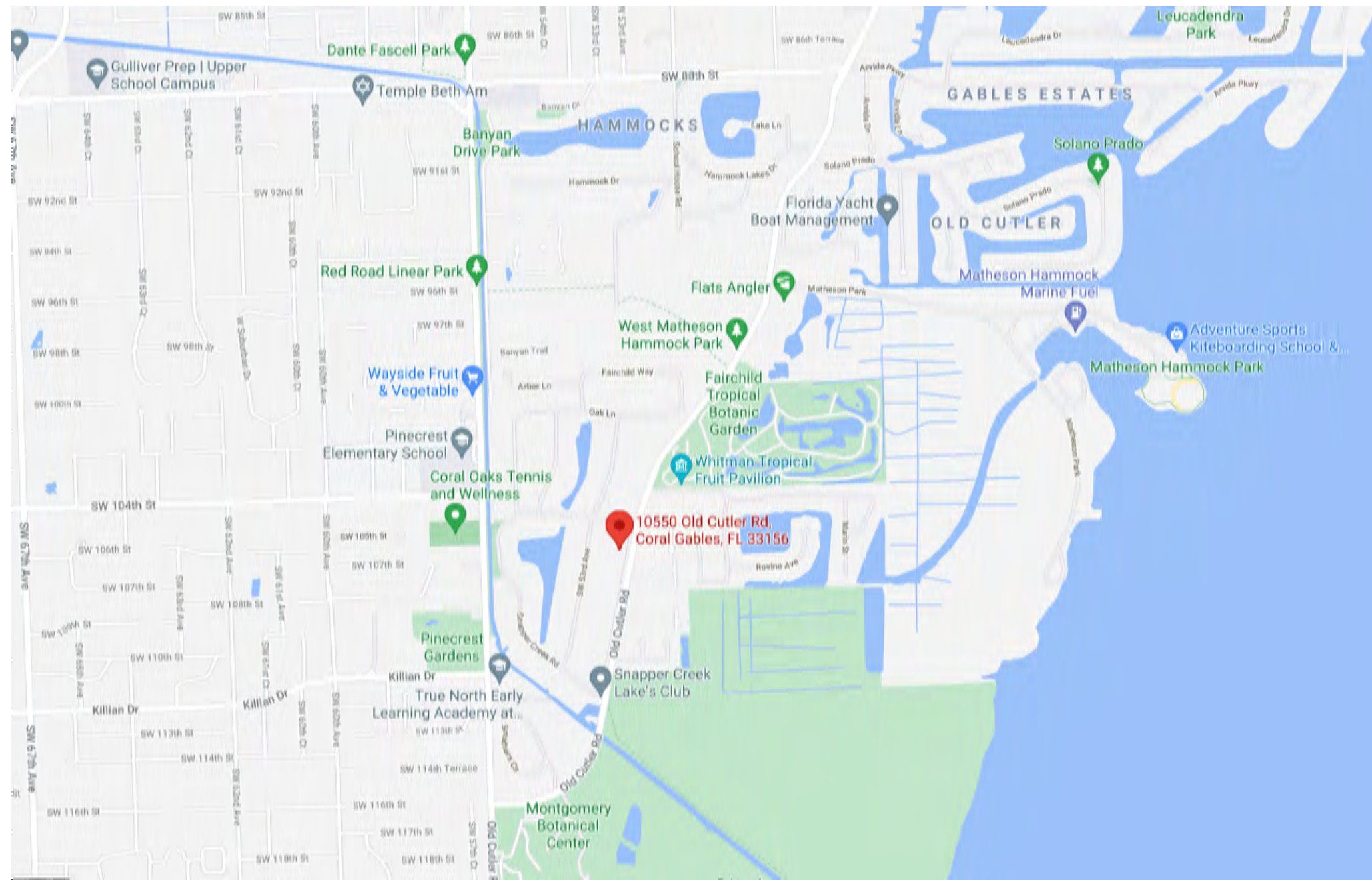
LOCATION PLAN

SCALE: N.T.S.



PROPOSED SITE PLAN

SCALE: 3/32" = 1'-0"



48" H. MESH REMOVABLE CHILD BARRIER
LOCATED AT 20" MIN. AWAY FROM WATER'S EDGE.
ONE END NOT TO BE REMOVABLE WITHOUT THE AID OF TOOLS.

TO BE IN COMPLIANCE WITH R4501.17.1.15:
A mesh safety barrier meeting the requirements of Section R4501.17 and the following minimum requirements shall be considered a barrier as defined in this section:

1- Individual component vertical support posts shall be capable of resisting a minimum of 52 pounds (229 N) of horizontal force prior to breakage when measured at a 36-inch (914 mm) height above grade. Vertical posts of the child mesh safety barrier shall extend a minimum of 3 inches (76 mm) below deck level and shall be spaced no greater than 36 inches (914 mm) apart.

2 -The mesh utilized in the barrier shall have a minimum tensile strength according to ASTM D 5034 of 100 lbf., and a minimum ball burst strength according to ASTM D 3787 of 150 lbf. The mesh shall not be capable of deformation such that a 3/4 -inch (6.4 mm) round object could pass through the mesh.

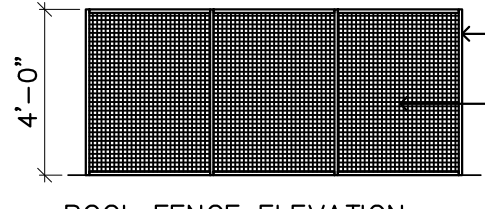
The mesh shall receive a descriptive performance rating of no less than "trace discoloration" or "slight discoloration" when tested according to ASTM G 53 (Weatherability, 1,200 hours).

3 - When using a molding strip to attach the mesh to the vertical posts, this strip shall contain, at a minimum, #8 by 1/2-inch (12.7 mm) screws with a minimum of two screws at the top and two at the bottom with the remaining screws spaced a maximum of 6 inches (152 mm) apart on center.

4 - Patio deck sleeves (vertical post receptacles) placed inside the patio surface shall be of a nonconductive material.

5 - A latching device shall attach each barrier section at a height no lower than 45 inches (1163 mm) above grade. Common latching devices that include, but are not limited to, devices that provide the security equal to or greater than that of a hook and eye type latch incorporating a spring actuated retaining lever (commonly referred to as a safety gate hook).

6 - The bottom of the child mesh safety barrier shall not be more than 1 inch (25 mm) above the deck or installed surface (grade).



Renovations to:

10550 Old Cutler Rd.
Coral Gables, Florida

N25
ARCHITECTURE CO.

6262 SW 40 Street
Suite 2A
Miami, Florida 33155
Phone 305-666-5151
Florida License AR0016380

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Sheet Title:

PROPOSED
SITE PLAN

Issue Date: Project No.

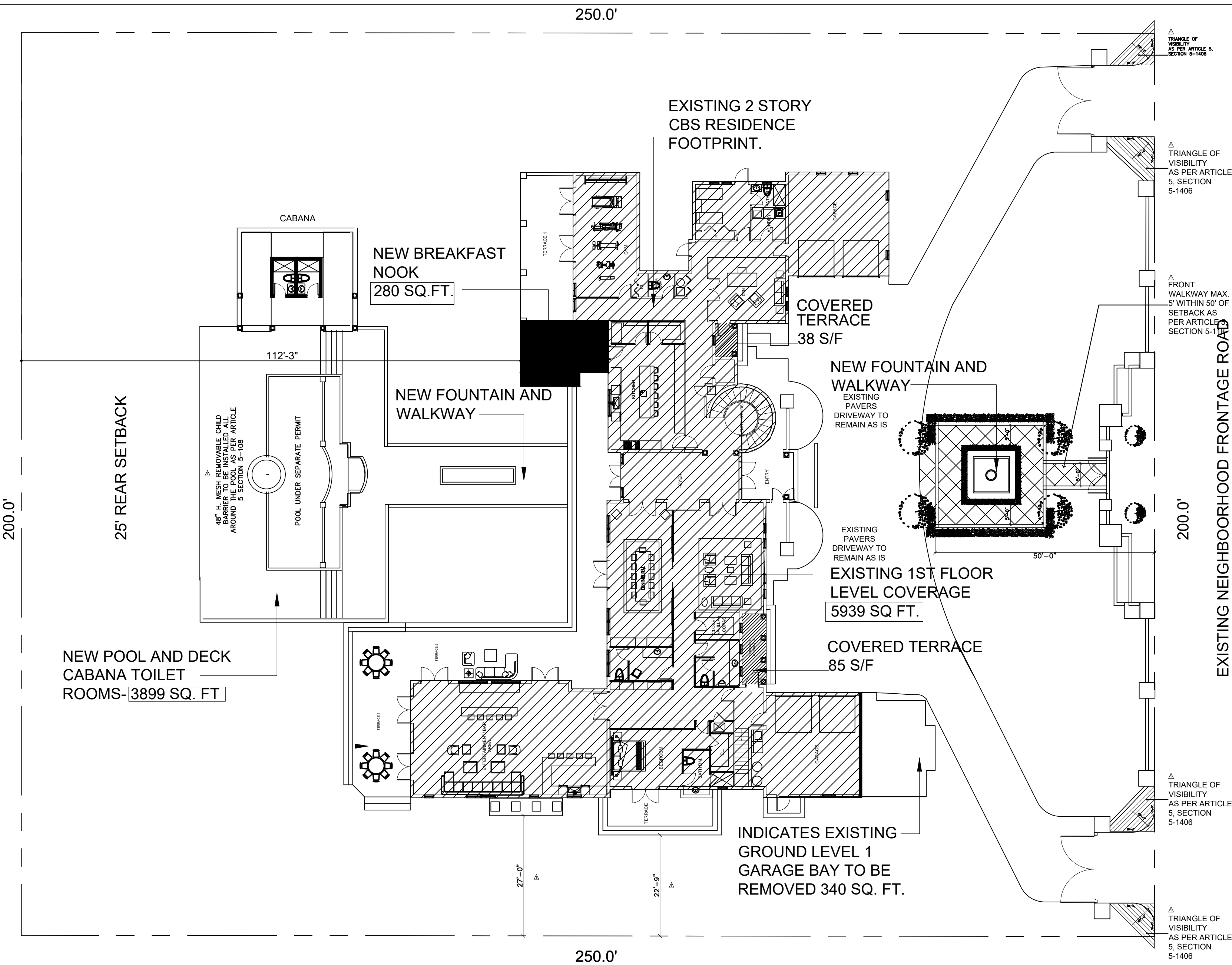
June 02, 2021

Drawing No.:

A-0

Professional of Record: Norman Blandon, R.A.
Registration No. AR-0016380

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FAR DIAGRAMS

ZONING DATA

ZONING R-USE DISTRICT.
LOT AREA 50,000 S.F.

SETBACKS	ALLOWED:	FRONT	50'-0"
		INTERIOR	15'-0"
		REAR	25'-0"

PROPOSED FRONT	65'-0"
INTERIOR	30'-0" N.C.
REAR	112'-3", 83'-2"

LOT GROUND AREA:		
ALLOWED	15%-50,000 S.F.	7500 S.F.
ALLOWED	5%-22,806 S.F.	1140 S.F.
ALL ACCESSORY USES.		

TOTAL ALLOWED	8,640 S.F.
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GROUND LEVEL		
HOUSE EXISTING	5,939 S.F.	EXISTING
MAIN FRONT PORCH	121 S.F.	EXISTING
SERVICE PORCH #1	37 S.F.	EXISTING
SERVICE PORCH #2	84 S.F.	EXISTING
GARAGE #1	551 S.F.	EXISTING
GARAGE #2	480 S.F.	EXISTING * MODIFIED
NEW BREAKFAST NOOK	280 S.F.	NEW
	7492 S.F.	

ACCESSORY USE

CABANNA NEW	100 S.F.	* MAX ALLOWED
POOL NEW	790 S.F.	
FOUNTAIN #1	115 S.F.	NEW.
FOUNTAIN #2	65 S.F.	NEW.
	1070 S.F.	

MAX. S.F. FLOOR AREA

ALLOWED	
48% OF FIRST 5000 S.F.	2400 S.F.
35% OF NEXT 5000 S.F.	1750 S.F.
30% OF NEXT 40,000 S.F.	12000 S.F.
TOTAL ALLOWED	16,150 S.F.

EXISTING & PROPOSED

HOUSE FIRST FLOOR	5939 S.F.	
NEW BREAKFAST NOOK	280 S.F.	NEW
GARAGE #1 AT 50%	276 S.F.	EXISTING
GARAGE #2 AT 50%	240 S.F.	* MODIFIED

6735 S.F.

HOUSE SECOND FLOOR	4026 S.F.	EXISTING
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NEW ADDITION OVER GAR, #1	1200 S.F.	NEW
NEW ADDITION OVER GAR, #2	520 S.F.	NEW
ENCLOSURE TERRACE SOUTH	377 S.F.	NEW
NEW ADDITION REAR SOUTH	560 S.F.	NEW
NEW ADDITION REAR NORTH	747 S.F.	NEW

7053 SQ. FT

TOTAL ALLOWED	16,150 S.F.	13,788 SQ. FT. TOTAL
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LANDSCAPE AREA:

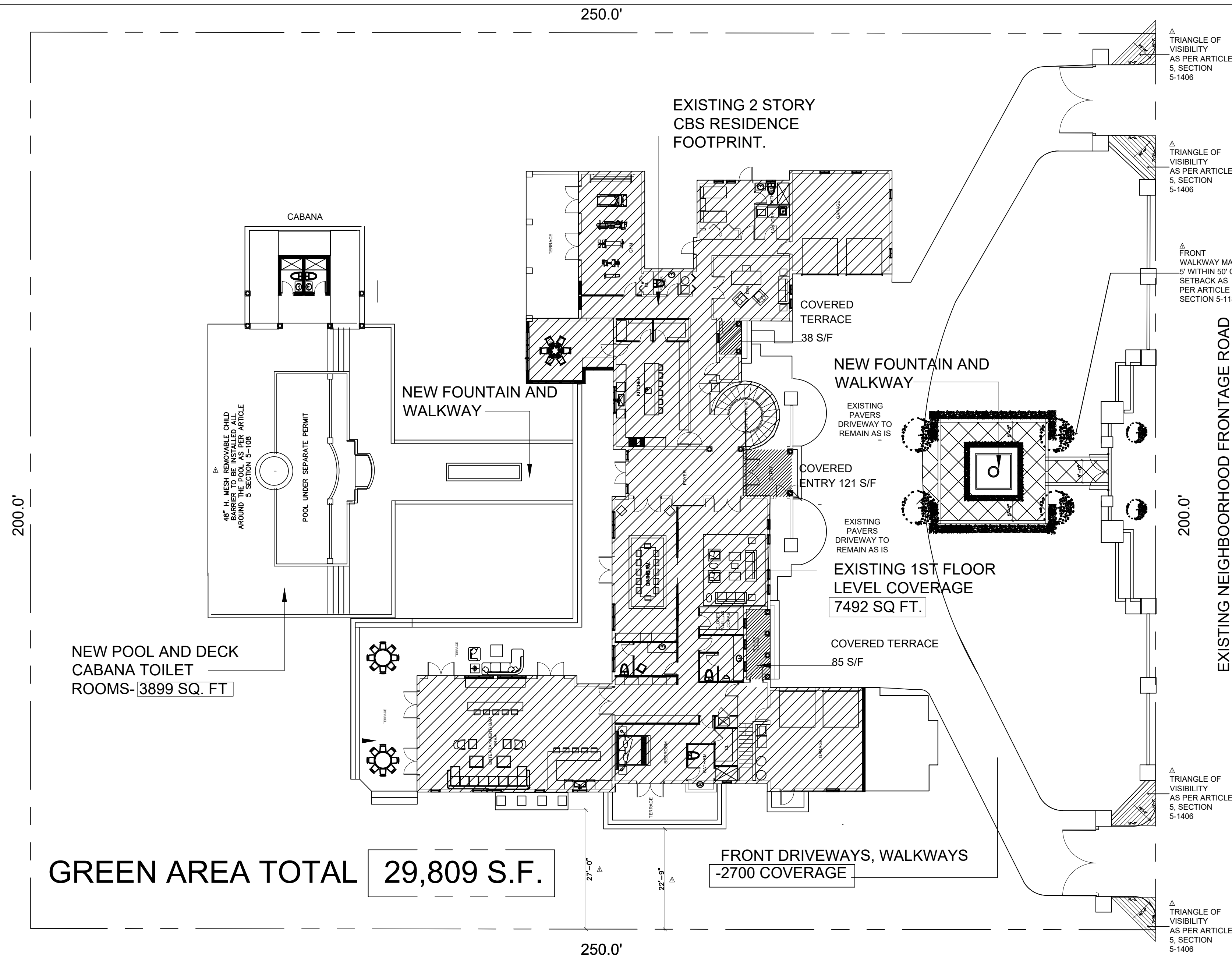
REQUIRED	40% OF 50,000 S.F.	20,000 S.F.
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PROVIDED	-7492 S.F. HOUSE COVERGE
POOL AND DECK AREA	-3899 COVERAGE
FRONT DRIVEWAYS, WALKWAYS	-6100 COVERAGE
REAR TERRACE,, WALKWAYS	-2700 COVERAGE

-20,191 COVERAGE

GREEN AREA TOTAL	29,809 S.F.
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FRONT AREA LANDSCAPE	-7,585 S.F.
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LANDSCAPE DIAGRAMS

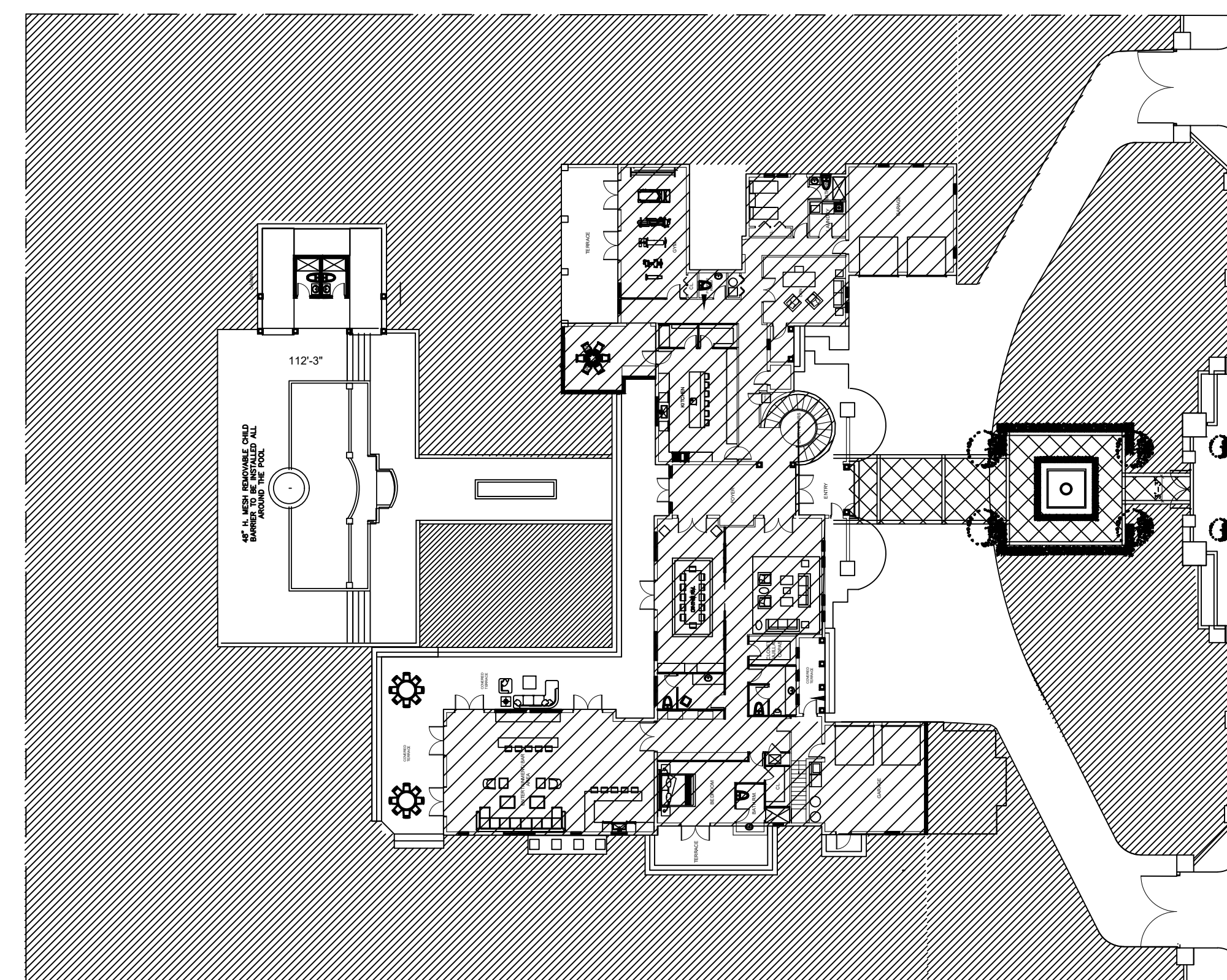
LANDSCAPE AREA:

REQUIRED	40% OF 50,000 S.F.	20,000 S.F.
----------	--------------------	-------------

PROVIDED	-7492 S.F. HOUSE COVERGE
POOL AND DECK AREA	-3899 COVERAGE
FRONT DRIVEWAYS, WALKWAYS	-6100 COVERAGE
REAR TERRACE,, WALKWAYS	-2700 COVERAGE

-20,191 COVERAGE

GREEN AREA TOTAL	29,809 S.F. (59.6%)
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GREEN AREAS

FRONT AREA LANDSCAPE GREEN AREA	
REQUIRED	40% OF 50,000 S.F. 20,000 S.F.

LANDSCAPE GREEN AREA TOTAL	29,809 S.F. (59.6%)
PROVIDED	

FRONT AREA LANDSCAPE GREEN AREA	
REQUIRED	20% OF 29,809 S.F. 5961 S.F.

PROVIDED	-7,585 S.F.
----------	-------------

Renovations to:

10550 Old Cutler Rd.
Coral Gables, Florida

N25
ARCHITECTURE CO.

6262 SW 40 Street Suite 2A
Miami, Florida 33155
Phone 305-666-5151
Florida License AR 0016380

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Sheet Title:

PROPOSED
CALCULATIONS

Issue Date: Project No.

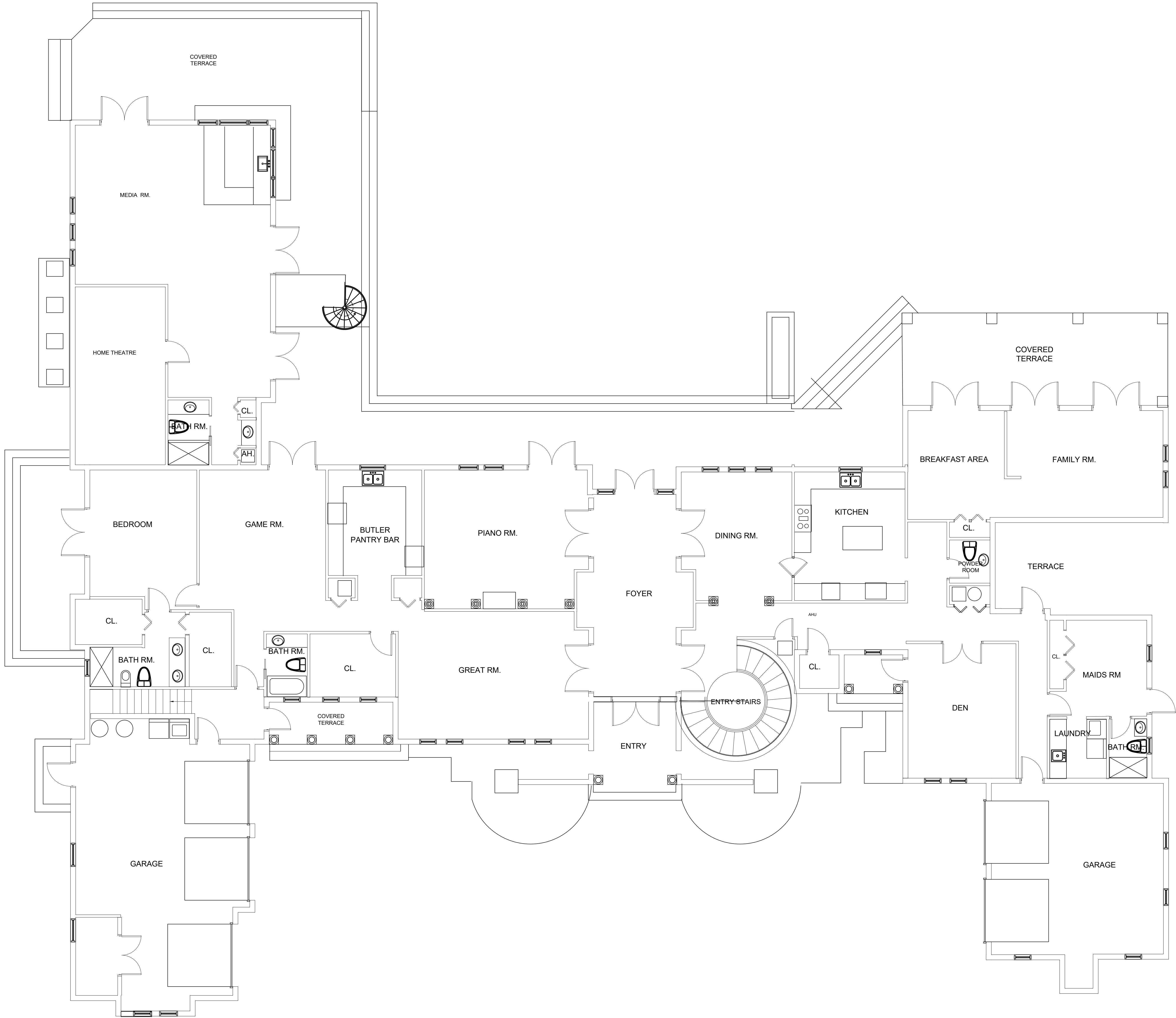
June 02, 2021

Drawing No.:

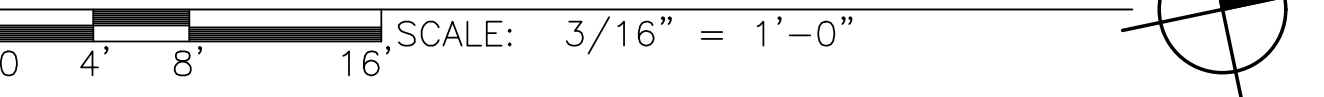
A-01

Professional of Record: Norman Blandon, R.A.
Registration No. AR-0016380

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EXISTING GROUND FLOOR PLAN



Renovations to:

10550 Old Cutler Rd.
Coral Gables, Florida

N25
ARCHITECTURE CO.

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Miami, Florida 33155
Phone 305-666-5151
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RENOVATIONS

**10550 OLD CUTLER RD.
CORAL GABLES, FL**

Sheet Title:

EXISTING
FLOOR PLAN

Issue Date: Project No.

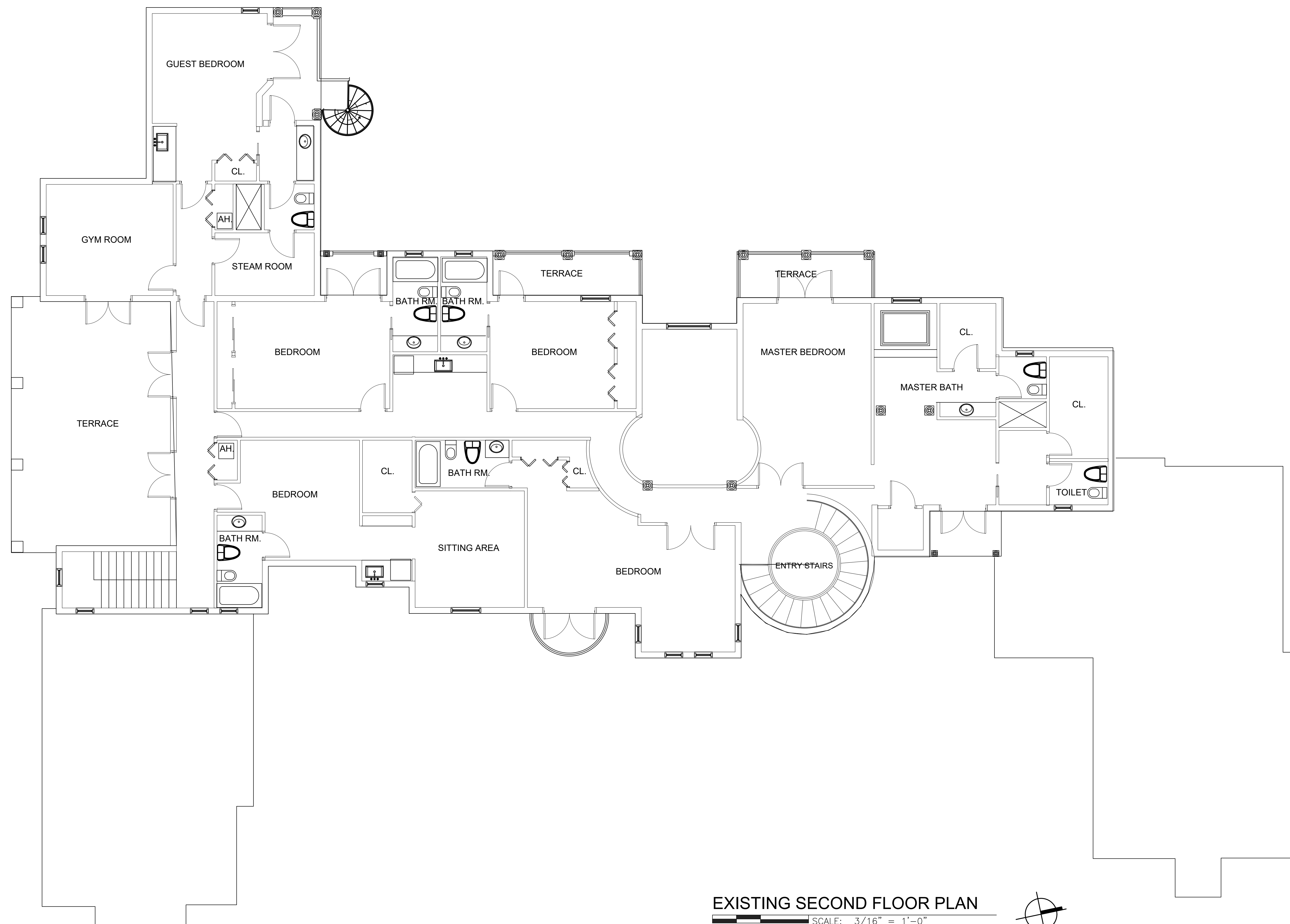
June 02, 2021

Drawing No.:

A-1

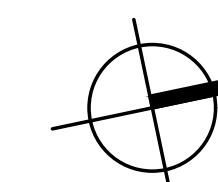
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Registration No. AR-0016380

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EXISTING SECOND FLOOR PLAN

0 4' 8' 16' SCALE: $\frac{3}{16}'' = 1'-0''$



Renovations to:

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N25
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Sheet Title:

EXISTING
SECOND FLOOR PLAN

Issue Date:	Project No.
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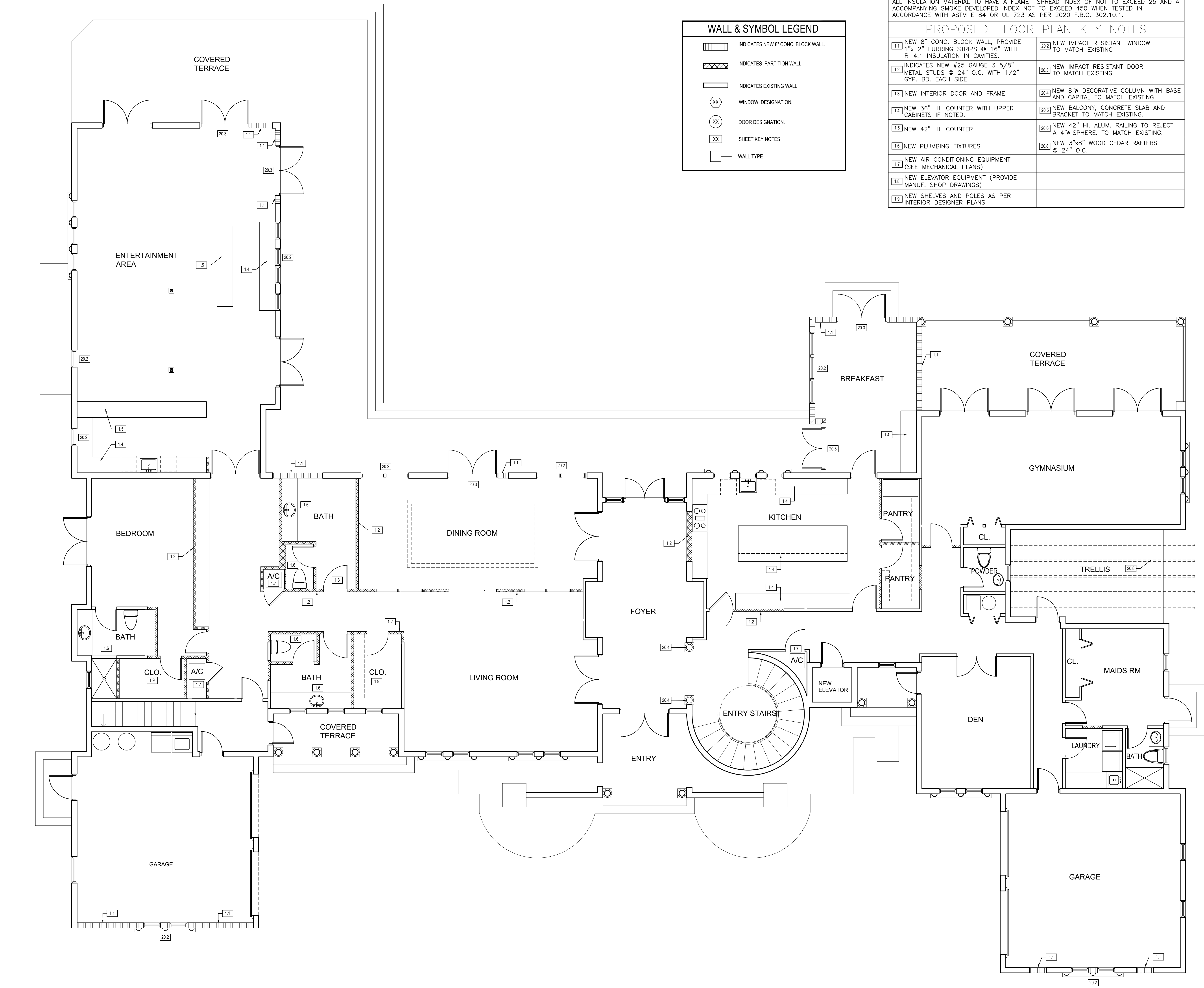
June 02, 2021

Drawing No.:

A-2

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Registration No. AR-0016380

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WALL & SYMBOL LEGEND	
	INDICATES NEW 8" CONC. BLOCK WALL.
	INDICATES PARTITION WALL.
	INDICATES EXISTING WALL.
	WINDOW DESIGNATION.
	DOOR DESIGNATION.
	SHEET KEY NOTES
	WALL TYPE

NOTE :	
WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AS PER 2020 F.B.C. R302.9.1.	
WALL AND CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450 AS PER 2020 F.B.C. R302.9.2.	
ALL INSULATION MATERIAL TO HAVE A FLAME SPREAD INDEX OF NOT TO EXCEED 25 AND A ACCOMPANYING SMOKE DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723 AS PER 2020 F.B.C. 302.10.1.	
PROPOSED FLOOR PLAN KEY NOTES	
11 NEW 8" CONC. BLOCK WALL, PROVIDE 1"x 2" FURRING STRIPS @ 16" WITH R-4.1 INSULATION IN CAVITIES.	202 NEW IMPACT RESISTANT WINDOW TO MATCH EXISTING
12 INDICATES NEW #25 GAUGE 3 5/8" METAL STUDS @ 24" O.C. WITH 1/2" GYP. BD. EACH SIDE.	203 NEW IMPACT RESISTANT DOOR TO MATCH EXISTING
13 NEW INTERIOR DOOR AND FRAME	204 NEW 8" DECORATIVE COLUMN WITH BASE AND CAPITAL TO MATCH EXISTING
14 NEW 36" HI. COUNTER WITH UPPER CABINETS IF NOTED.	205 NEW BALCONY, CONCRETE SLAB AND BRACKET TO MATCH EXISTING.
15 NEW 42" HI. COUNTER	206 NEW 42" HI. ALUM. RAILING TO REJECT A 4" SPHERE. TO MATCH EXISTING.
16 NEW PLUMBING FIXTURES.	207 NEW 3"x8" WOOD CEDAR RAFTERS @ 24" O.C.
17 NEW AIR CONDITIONING EQUIPMENT (SEE MECHANICAL PLANS)	
18 NEW ELEVATOR EQUIPMENT (PROVIDE MANUF. SHOP DRAWINGS)	
19 NEW SHELVES AND POLES AS PER INTERIOR DESIGNER PLANS	

Interior Remodeling and Addition for:

10550 Old Cutler Road
Coral Gables, Florida

N25
ARCHITECTURE CO.

6262 SW 40 Street
Suite 2A
Miami, Florida 33155
Phone 305-666-5151
Florida License AR 0016380

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Sheet Title:

PROPOSED
GROUND FLOOR

Issue Date: Project No.

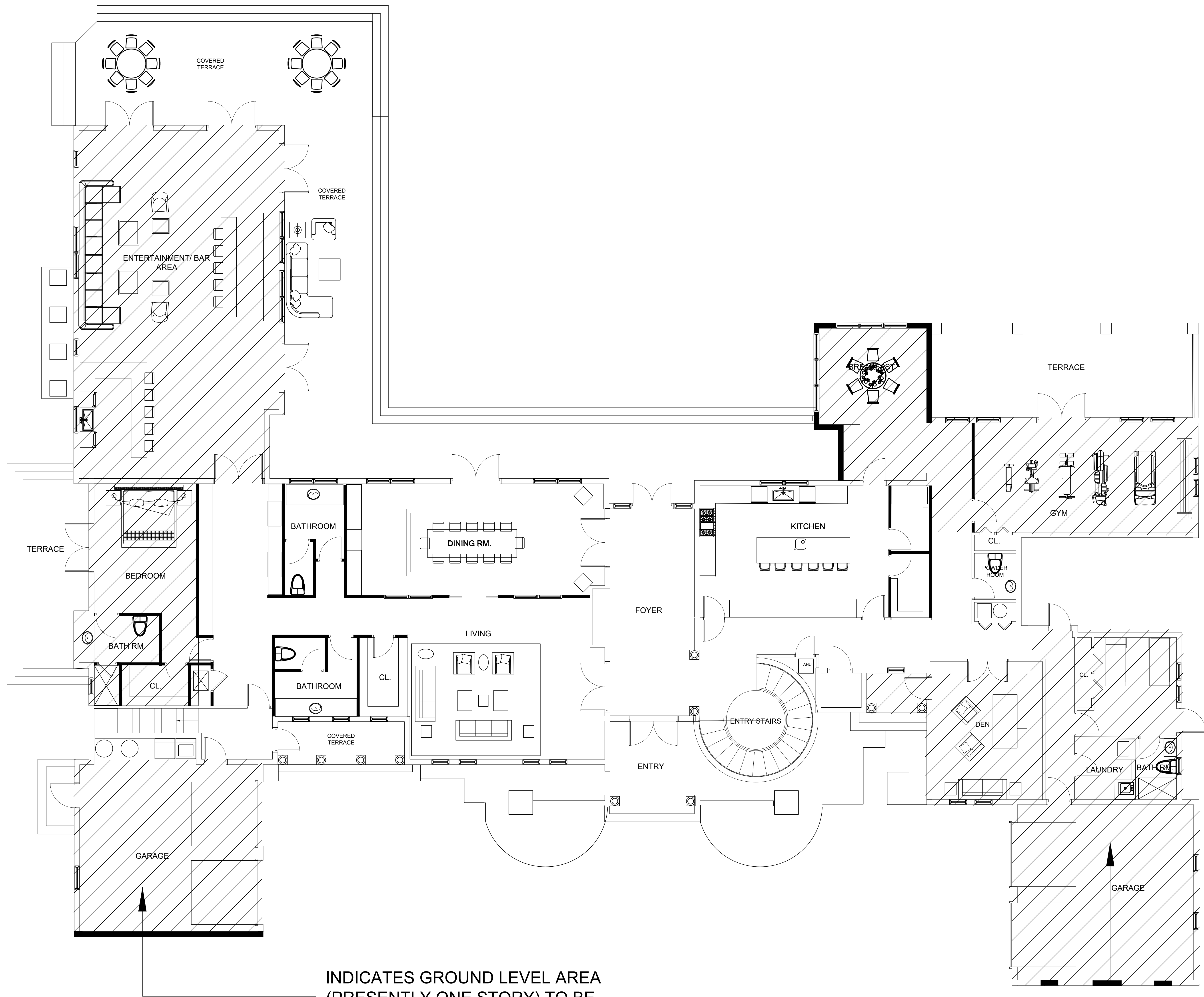
August 28, 2021 1/ BOA
October 18, 2021 2/ BOA

Drawing No.:

A - 3

Professional of Record: Norman Blandon, R.A.
Registration No. AR-0016380

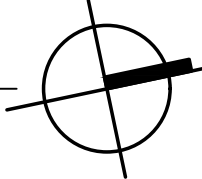
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INDICATES GROUND LEVEL AREA
(PRESENTLY ONE STORY) TO BE
EFFECTED BY NEW SECOND LEVEL TO
BE BUILT ABOVE.

PROPOSED GROUND FLOR PLAN

0 4' 8' 16' SCALE: 3/16" = 1'-0"



Renovations to:

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RENOVATIONS

Sheet Title:

PROPOSED
GROUND FLOOR PLAN

Issue Date: Project No.

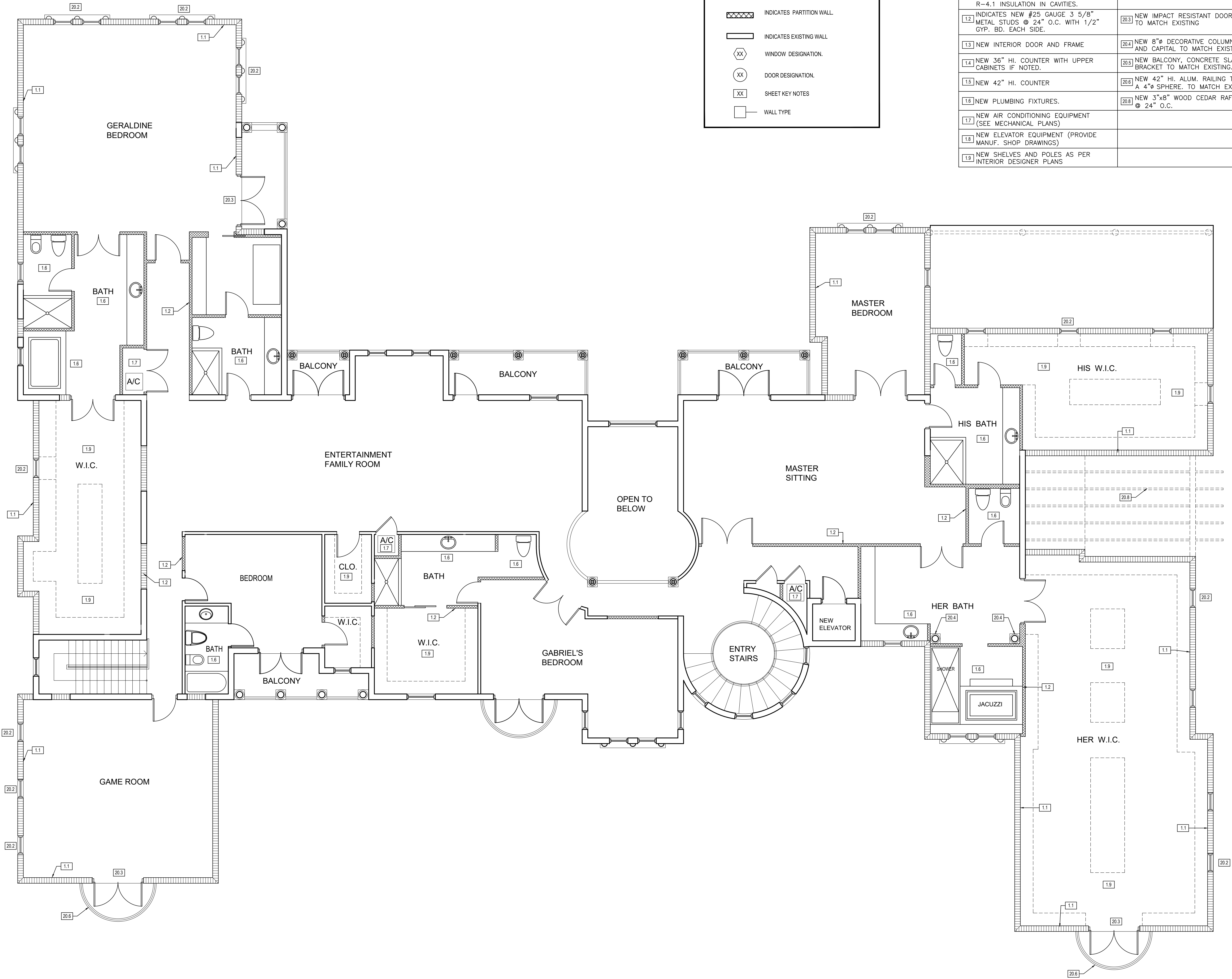
June 02, 2021

Drawing No.:

A-3A

Professional of Record: Norman Blandon, R.A.
Registration No. AR-0016380

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NOTE : WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AS PER 2020 F.B.C. R302.9.1. WALL AND CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450 AS PER 2020 F.B.C. R302.9.2. ALL INSULATION MATERIAL TO HAVE A FLAME SPREAD INDEX OF NOT TO EXCEED 25 AND A ACCOMPANYING SMOKE DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723 AS PER 2020 F.B.C. 302.10.1.	
PROPOSED FLOOR PLAN KEY NOTES	
1.1] NEW 8" CONC. BLOCK WALL, PROVIDE 1"x 2" FURRING STRIPS @ 16" WITH R-4.1 INSULATION IN CAVITIES.	20.2] NEW IMPACT RESISTANT WINDOW TO MATCH EXISTING
1.2] INDICATES NEW #25 GAUGE 3 5/8" METAL STUDS @ 24" O.C. WITH 1/2" GYP. BD. EACH SIDE.	20.3] NEW IMPACT RESISTANT DOOR TO MATCH EXISTING
1.3] NEW INTERIOR DOOR AND FRAME	20.4] NEW 8"Ø DECORATIVE COLUMN WITH BASE AND CAPITAL TO MATCH EXISTING.
1.4] NEW 36" HI. COUNTER WITH UPPER CABINETS IF NOTED.	20.5] NEW BALCONY, CONCRETE SLAB AND BRACKET TO MATCH EXISTING.
1.5] NEW 42" HI. COUNTER	20.6] NEW 42" HI. ALUM. RAILING TO REJECT A 4"Ø SPHERE. TO MATCH EXISTING.
1.6] NEW PLUMBING FIXTURES.	20.8] NEW 3"x8" WOOD CEDAR RAFTERS @ 24" O.C.
1.7] NEW AIR CONDITIONING EQUIPMENT (SEE MECHANICAL PLANS)	
1.8] NEW ELEVATOR EQUIPMENT (PROVIDE MANUF. SHOP DRAWINGS)	
1.9] NEW SHELVES AND POLES AS PER INTERIOR DESIGNER PLANS	

Interior Remodeling and Addition for:

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Phone 305-666-5151
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Sheet Title:

PROPOSED
SECOND FLOOR

Issue Date: Project No.

August 28, 2021 1 BOA
October 18, 2021 2 BOA

Drawing No.:

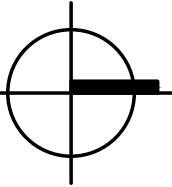
A - 4

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PROPOSED SECOND FLOOR

0 32" 64" 128" SCALE: 3/16" = 1'-0"



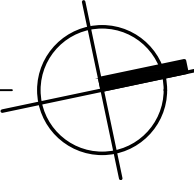


3398 SQ. FT NEW

4026 SQ. FT EXISTING

SECOND FLOOR CALCULATIONS

0 4 8 16 SCALE: 3/16" = 1'-0"



Renovations to:

10550 Old Cutler Rd.
Coral Gables, Florida

N25

ARCHITECTURE CO.

6262 SW 40 Street
Suite 2A
Miami, Florida 33155
Phone 305-666-5151
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10550 OLD CUTLER RD.
CORAL GABLES, FL

Sheet Title:

SECOND FLOOR
AREA CALCULATIONS

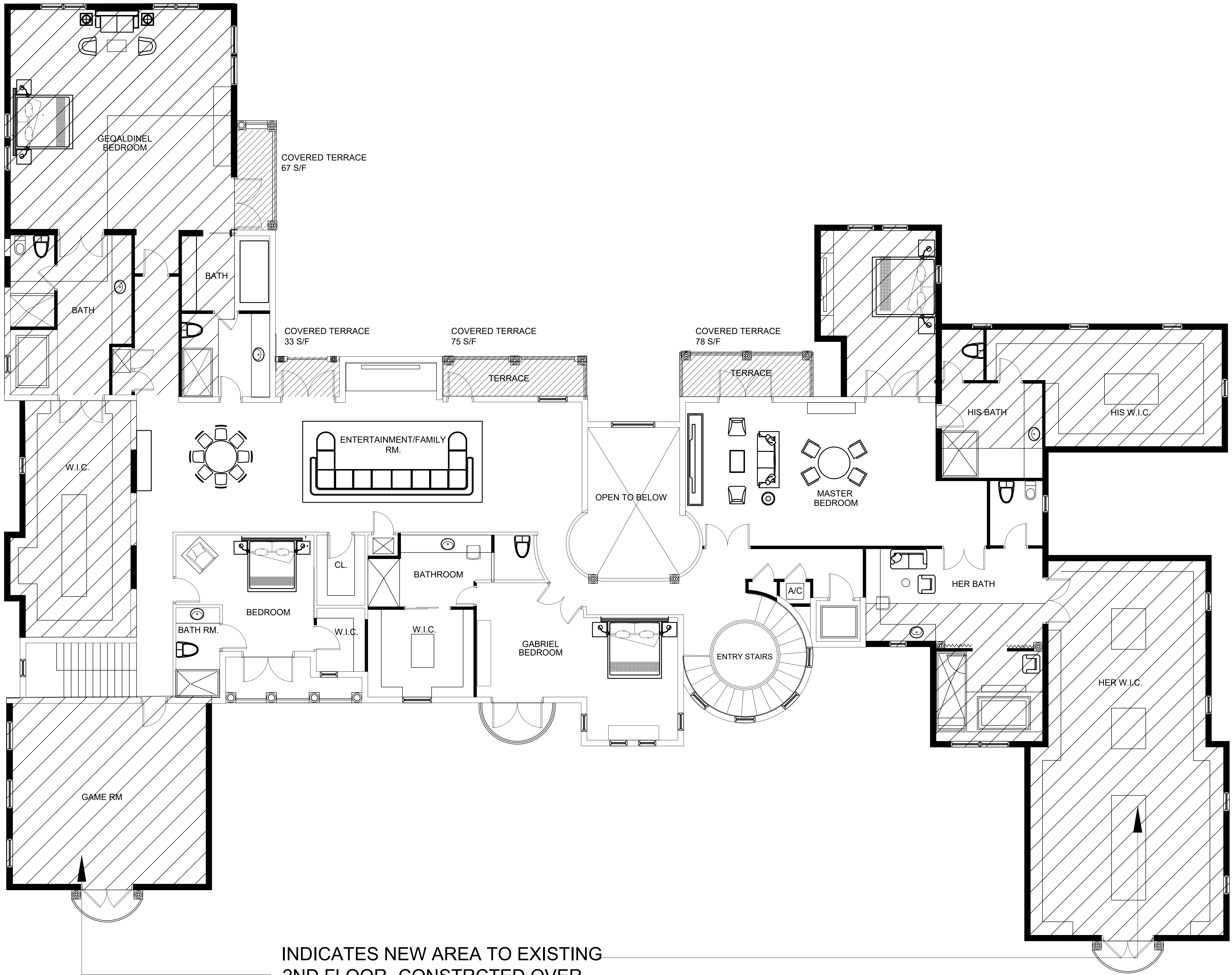
Issue Date: Project No.

June 02, 2021

Drawing No.:

A-4A

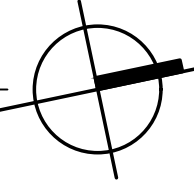
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INDICATES NEW AREA TO EXISTING
2ND FLOOR- CONSTRUCTED OVER
EXISTING GROUND LEVEL FOOTPRINT.

PROPOSED SECOND FLOOR PLAN

0 4' 8' 16' SCALE: 3/16" = 1'-0"



Renovations to:

10550 Old Cutler Rd.
Coral Gables, Florida

N25
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RENOVATIONS

Sheet Title:

PROPOSED
SECOND FLOOR PLAN

Issue Date: Project No.

June 02, 2021

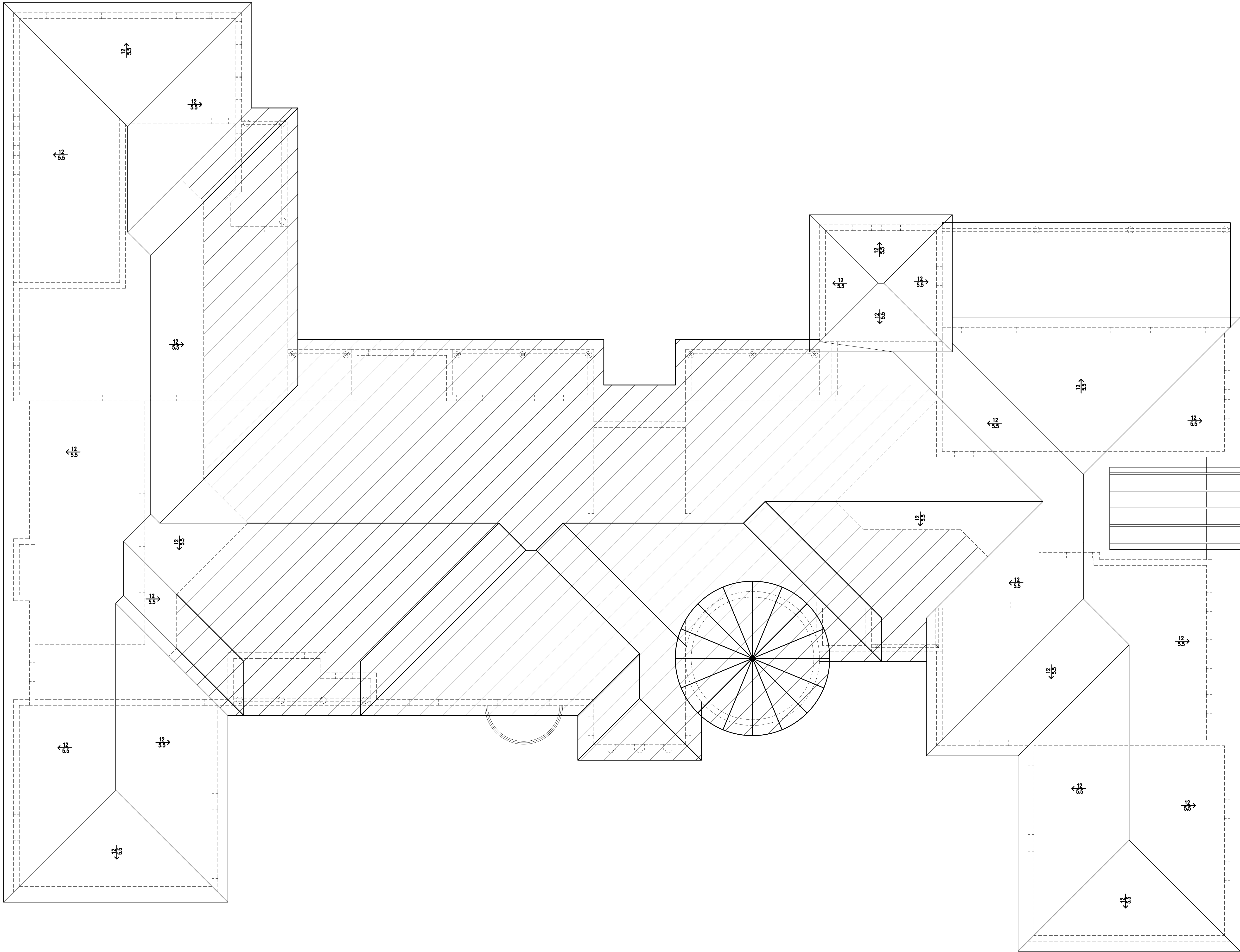
August 28, 2021 1 BOA

Drawing No.:

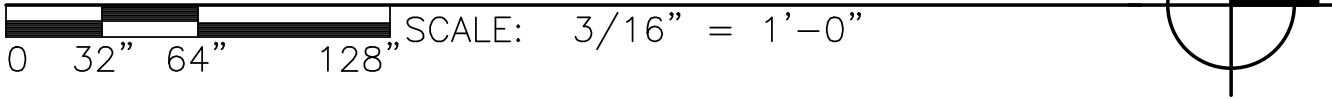
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PROPOSED ROOF PLAN



Interior Remodeling
and Addition for:

10550 Old Cutler Road
Coral Gables, Florida

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Sheet Title:

PROPOSED
ROOF PLAN

Issue Date: Project No.

August 28, 2021 1 BOA
October 18, 2021 2 BOA

Drawing No.:

A 4C

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EXISTING FRONT ELEVATION

0 32" 64" 128" SCALE: 3/16" = 1'-0"

PROPOSED ELEVATION KEY NOTES	
[20.1] SMOOTH STUCCO FINISH TO MATCH EXISTING	[20.10] NEW 4"x8" WOOD CEDAR BEAM (REFER TO STRUCT. PLANS)
[20.2] NEW IMPACT RESISTANT WINDOW TO MATCH EXISTING	[21.1] NEW 6"HI. PRECAST MOLDING TO MATCH EXISTING.
[20.3] NEW IMPACT RESISTANT DOOR TO MATCH EXISTING	[21.2] 6" HI. PRECAST WINDOW MOULDING. TO MATCH EXISTING
[20.4] NEW 8"Ø DECORATIVE COLUMN WITH BASE AND CAPITAL TO MATCH EXISTING.	[21.3] 6" HI. PRECAST WINDOW SILL. TO MATCH EXISTING
[20.5] NEW BALCONY, CONCRETE SLAB AND BRACKET TO MATCH EXISTING.	[21.4] NEW 8"HI. STUCCO BAND TO MATCH EXISTING.
[20.6] NEW 42" HI. ALUM. RAILING TO REJECT A 4"Ø SPHERE. TO MATCH EXISTING.	[21.5] NEW LIGHT FIXTURE
[20.7] NEW SPANISH TILE ROOF (TO MATCH EXISTING)	[21.6]
[20.8] NEW 3"x8" WOOD CEDAR RAFTERS @ 24" O.C.	[21.7]
[20.9] NEW 3"x8" WOOD CEDAR OUTRIGGERS @ 24" O.C. (TO MATCH EXISTING).	[21.8]



PROPOSED FRONT ELEVATION

0 32" 64" 128" SCALE: 3/16" = 1'-0"

Interior Remodeling
and Addition for:

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Sheet Title:

EXISTING & PROPOSED
ELEVATIONS

Issue Date: Project No.

August 28, 2021 1 BOA
October 18, 2021 2 BOA

Drawing No.:

A - 5

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PROPOSED ELEVATION KEY NOTES	
[26.1]	SMOOTH STUCCO FINISH TO MATCH EXISTING
[26.2]	NEW IMPACT RESISTANT WINDOW TO MATCH EXISTING
[26.3]	NEW IMPACT RESISTANT DOOR TO MATCH EXISTING
[26.4]	NEW 8"2 DECORATIVE COLUMN WITH BASE AND CAPITAL TO MATCH EXISTING.
[26.5]	NEW BALCONY, CONCRETE SLAB AND BRACKET TO MATCH EXISTING.
[26.6]	NEW 42" HI. ALUM. RAILING TO REJECT A 4"2 SPHERE. TO MATCH EXISTING.
[26.7]	NEW SPANISH TILE ROOF (TO MATCH EXISTING)
[26.8]	NEW 3"x8" WOOD CEDAR RAFTERS @ 24" O.C.
[26.9]	NEW 3"x8" WOOD CEDAR OUTRIGGERS @ 24" O.C. (TO MATCH EXISTING).
[26.10]	NEW 4"x8" WOOD CEDAR BEAM (REFER TO STRUCT. PLANS)
[26.11]	NEW 6"HI. PRECAST MOLDING TO MATCH EXISTING.
[26.12]	6" HI. PRECAST WINDOW MOUNDING TO MATCH EXISTING.
[26.13]	6" HI. PRECAST WINDOW SILL TO MATCH EXISTING
[26.14]	NEW 8"HI. STUCCO BAND TO MATCH EXISTING.
[26.15]	NEW LIGHT FIXTURE
[26.16]	
[26.17]	
[26.18]	



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Sheet Title:

EXISTING & PROPOSED
ELEVATIONS

Issue Date: Project No.

August 28, 2021 / 1 BOA
October 18, 2021 / 2 BOA

Drawing No.:

A - 9

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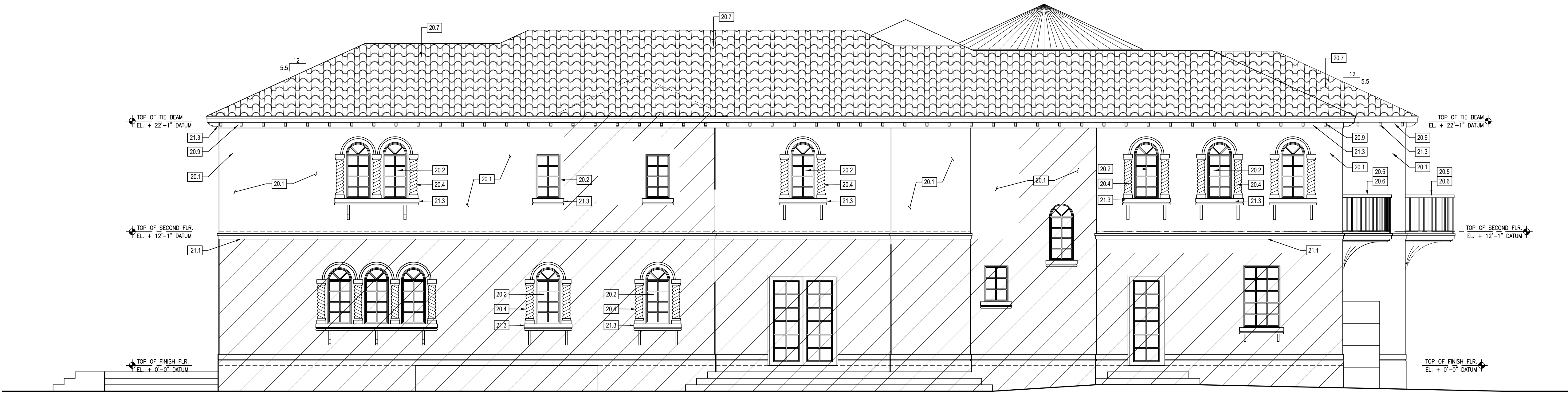
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EXISTING LEFT SIDE ELEVATION

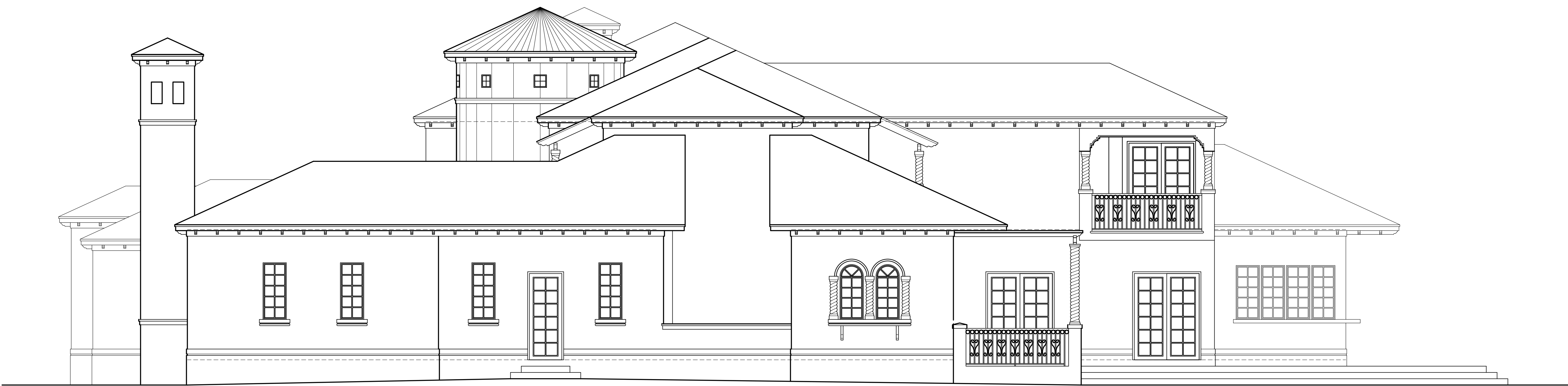
0 32" 64" 128" SCALE: 3/16" = 1'-0"

PROPOSED ELEVATION KEY NOTES			
20.1	SMOOTH STUCCO FINISH TO MATCH EXISTING	20.10	NEW 4"x8" WOOD CEDAR BEAM (REFER TO STRUCT. PLANS)
20.2	NEW IMPACT RESISTANT WINDOW TO MATCH EXISTING	21.1	NEW 6" HI. PRECAST MOLDING TO MATCH EXISTING.
20.3	NEW IMPACT RESISTANT DOOR TO MATCH EXISTING	21.2	6" HI. PRECAST WINDOW MOULDING. TO MATCH EXISTING
20.4	NEW 8" Ø DECORATIVE COLUMN WITH BASE AND CAPITAL TO MATCH EXISTING.	21.3	6" HI. PRECAST WINDOW SILL. TO MATCH EXISTING
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20.7	NEW SPANISH TILE ROOF (TO MATCH EXISTING)	21.6	
20.8	NEW 3"x8" WOOD CEDAR RAFTERS @ 24" O.C.	21.7	
20.9	NEW 3"x8" WOOD CEDAR OUTRIGGERS @ 24" O.C. (TO MATCH EXISTING).	21.8	



PROPOSED LEFT SIDE ELEVATION

0 32" 64" 128" SCALE: 3/16" = 1'-0"

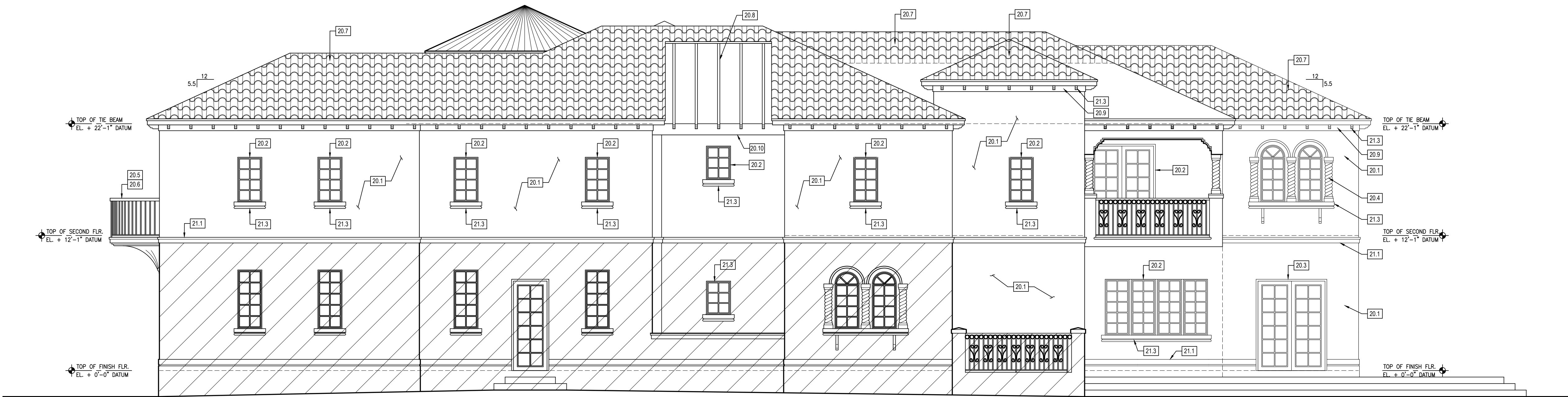


EXISTING RIGHT SIDE ELEVATION

0 32" 64" 128" SCALE: 3/16" = 1'-0"

PROPOSED ELEVATION KEY NOTES

[20.1] SMOOTH STUCCO FINISH TO MATCH EXISTING	[20.10] NEW 4"x8" WOOD CEDAR BEAM (REFER TO STRUCT. PLANS)
[20.2] NEW IMPACT RESISTANT WINDOW TO MATCH EXISTING	[21.1] NEW 6" HI. PRECAST MOLDING TO MATCH EXISTING
[20.3] NEW IMPACT RESISTANT DOOR TO MATCH EXISTING	[21.2] 6" HI. PRECAST WINDOW MOULDING TO MATCH EXISTING
[20.4] NEW 6" DECORATIVE COLUMN WITH BASE AND CAPITAL TO MATCH EXISTING	[21.3] 6" HI. PRECAST WINDOW SILL TO MATCH EXISTING
[20.5] NEW BALCONY, CONCRETE SLAB AND BRACKET TO MATCH EXISTING	[21.4] NEW 8" HI. STUCCO BAND TO MATCH EXISTING
[20.6] NEW 42" HI. ALUM. RAILING TO REJECT A 4" SPHERE, TO MATCH EXISTING	[21.5] NEW LIGHT FIXTURE
[20.7] NEW SPANISH TILE ROOF (TO MATCH EXISTING)	[21.6]
[20.8] NEW 3"x8" WOOD CEDAR RAFTERS @ 24" O.C.	[21.7]
[20.9] NEW 3"x8" WOOD CEDAR OUTRIGGERS @ 24" O.C. (TO MATCH EXISTING)	[21.8]



PROPOSED RIGHT SIDE ELEVATION (NORTH)

0 32" 64" 128" SCALE: 3/16" = 1'-0"

Interior Remodeling
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Sheet Title:

EXISTING & PROPOSED
ELEVATIONS

Issue Date: Project No.

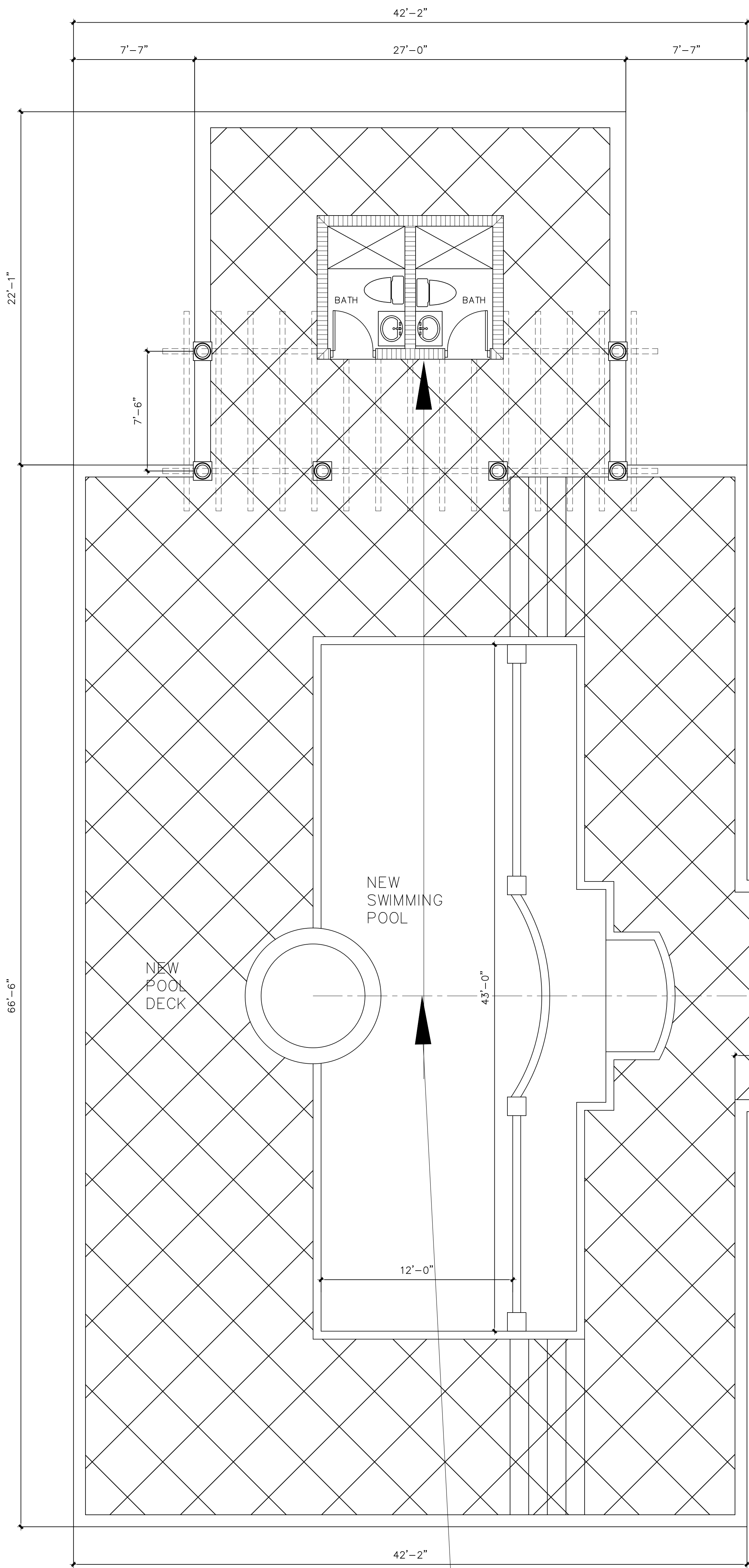
August 28, 2021 / 1 BOA
October 18, 2021 / 2 BOA

Drawing No.:

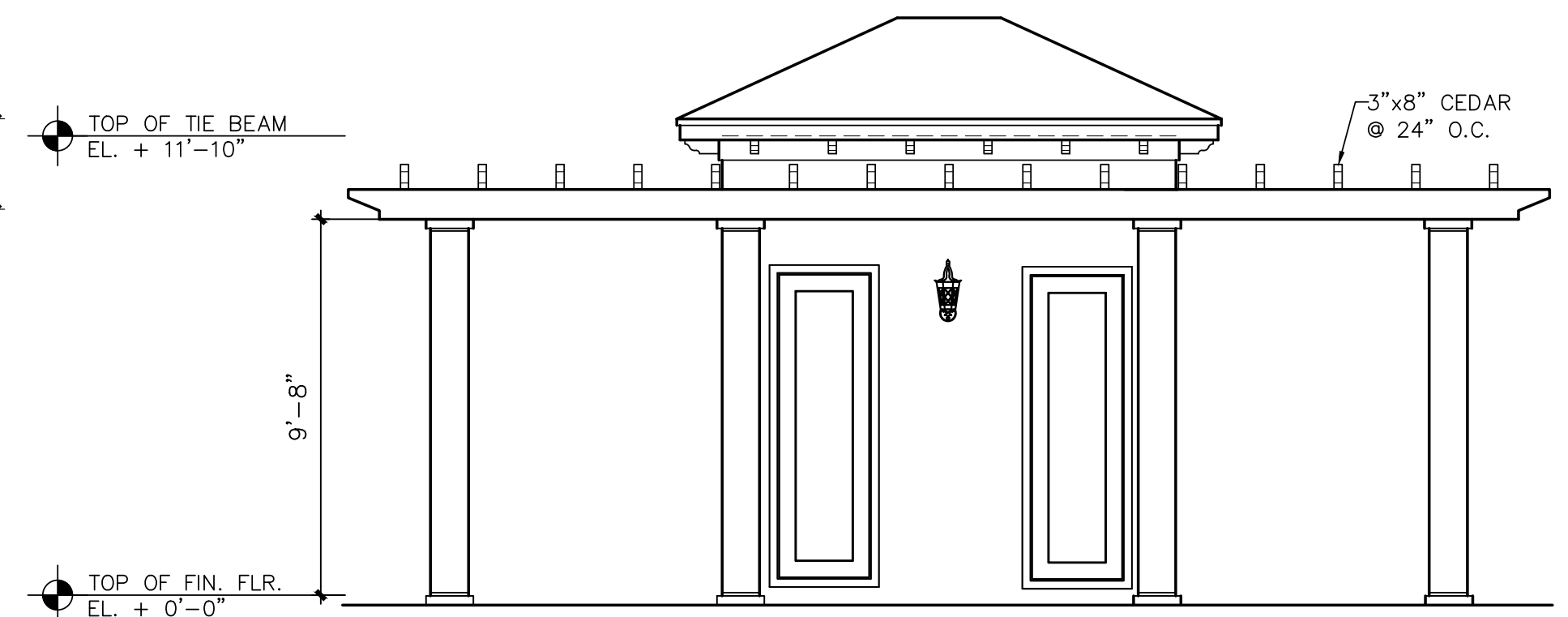
A - 10

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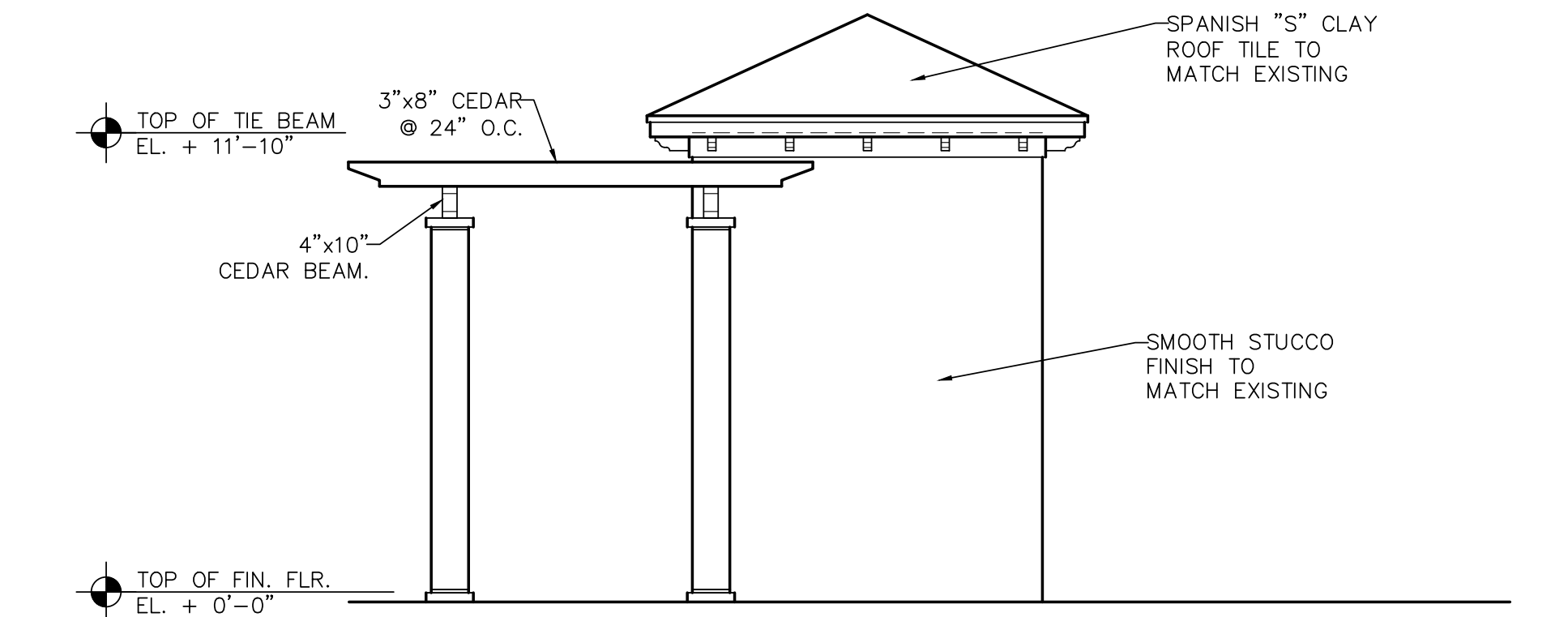
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NEW POOL AND DECK & CABANA TOILET ROOMS

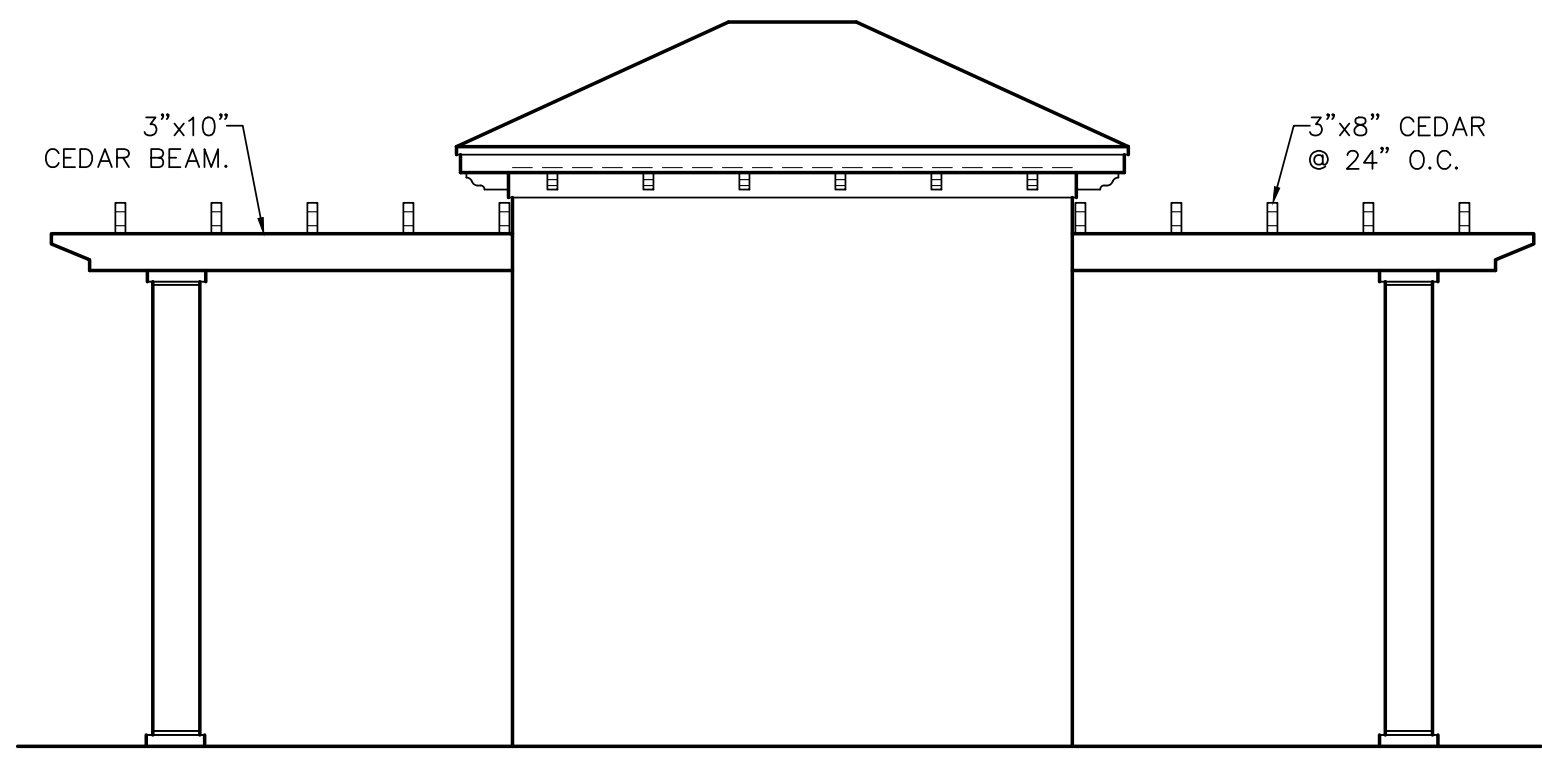
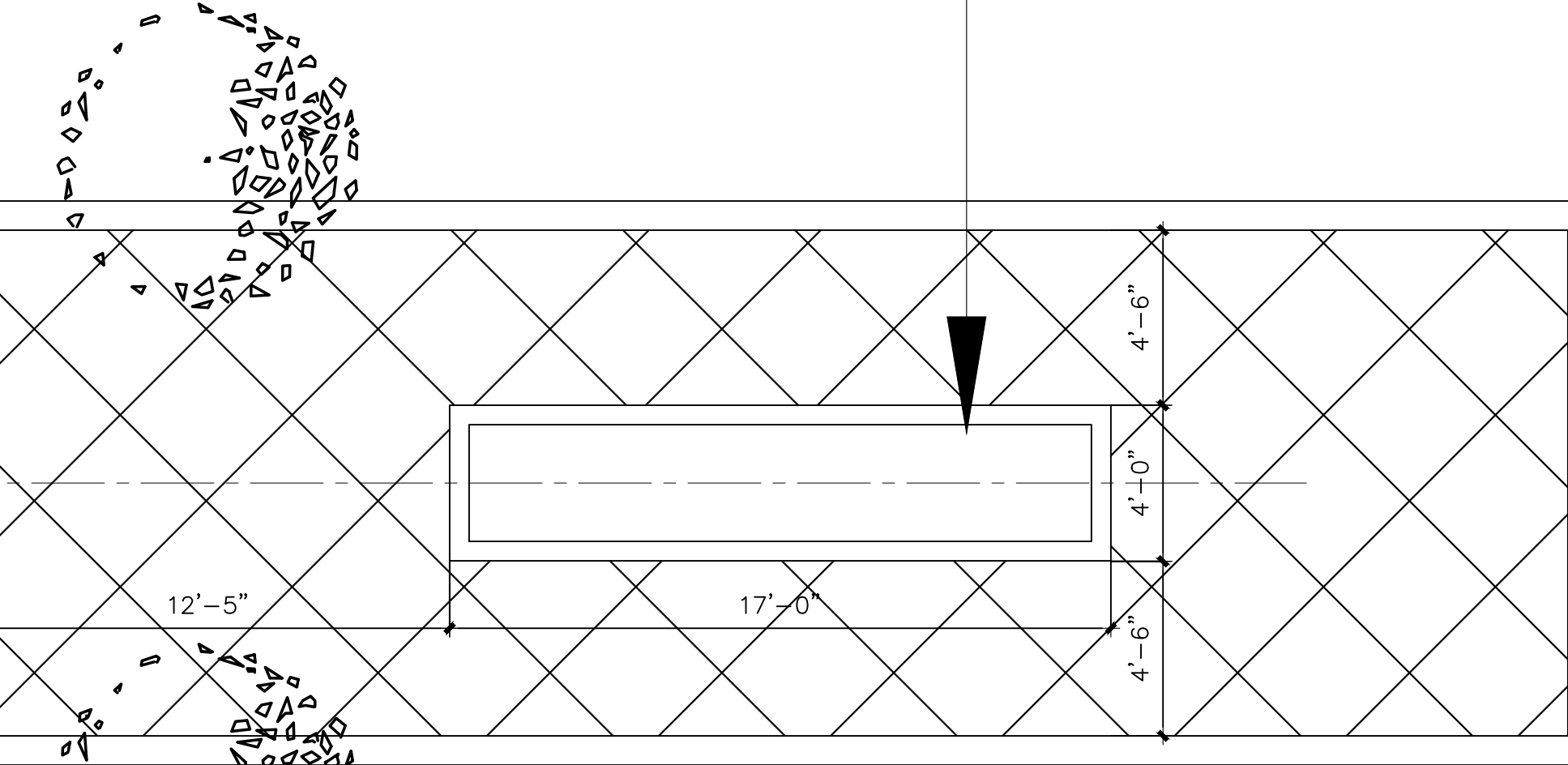


CABANA FRONT ELEVATION SOUTH $\frac{1}{4}$ "

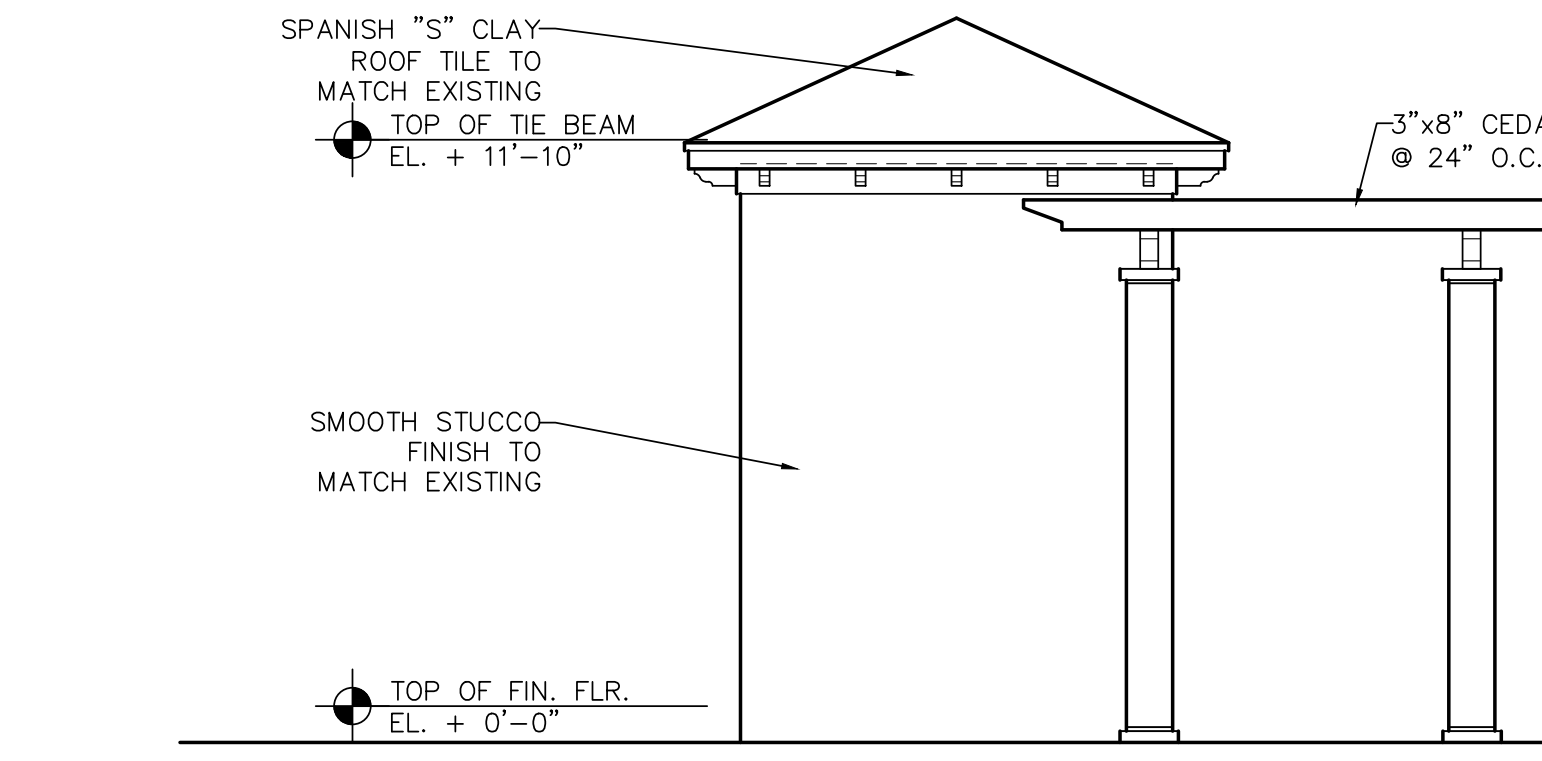


CABANA SIDE ELEVATION EAST $\frac{1}{4}$ "

NEW FOUNTAIN AND WALKWAY
(18" MAX. DEEP)



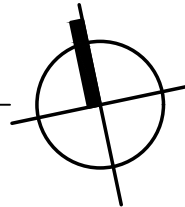
CABANA FRONT ELEVATION NORTH $\frac{1}{4}$ "



CABANA SIDE ELEVATION WEST $\frac{1}{4}$ "

SWIMMING POOL & DECK PLAN

0 2 4 8 SCALE: $\frac{1}{4}$ " = 1'-0"



Renovations to:

10550 Old Cutler Rd.
Coral Gables, Florida

N25
ARCHITECTURE CO.

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Sheet Title:

SWIMMING POOL
AND DECK CALCULATIONS

Issue Date: Project No.

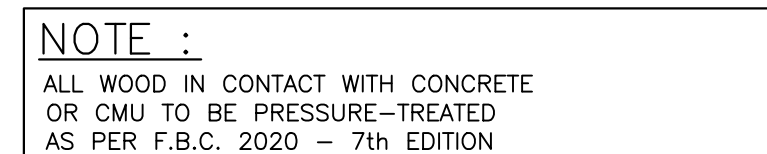
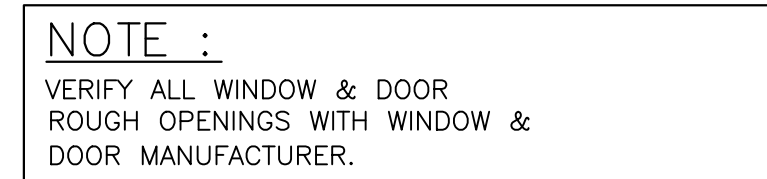
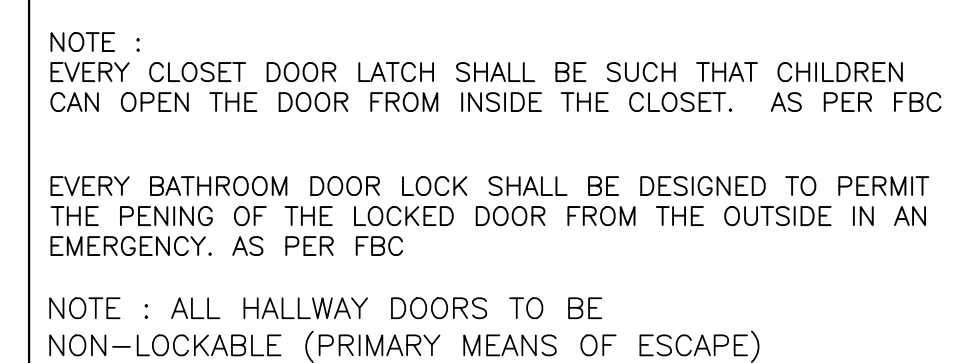
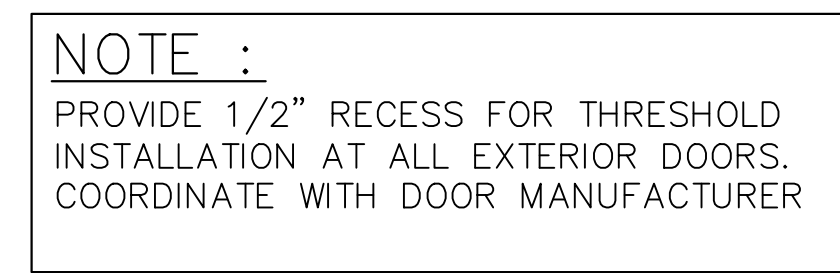
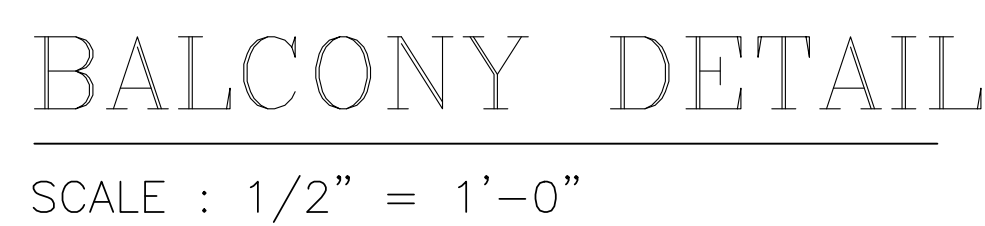
August 28, 2021 $\frac{1}{A}$ BOA
October 18, 2021 $\frac{2}{B}$ BOA

Drawing No.:

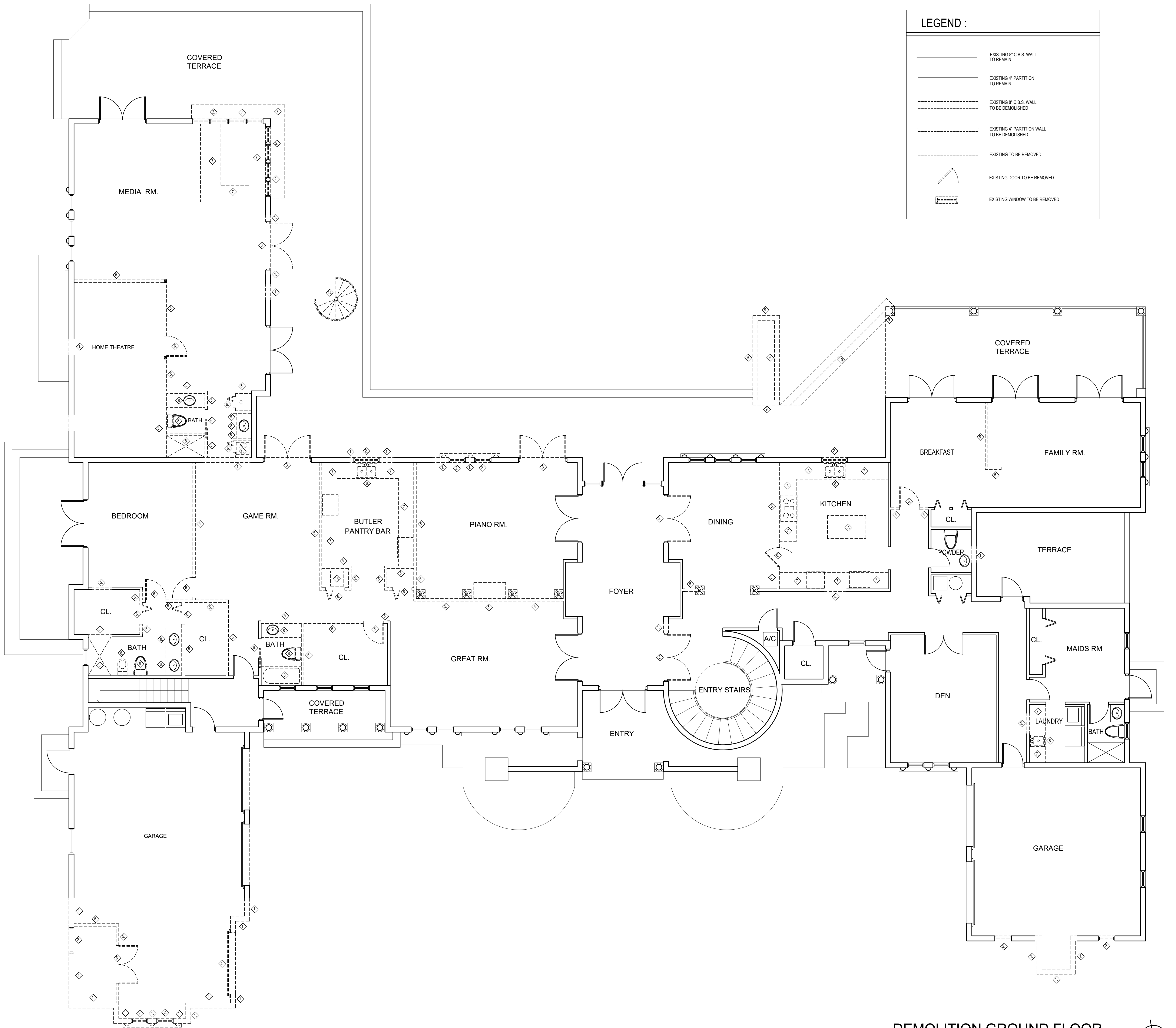
A-11

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LEGEND :

EXISTING 8" C.B.S. WALL
TO REMAIN

EXISTING 4" PARTITION
TO REMAIN

EXISTING 8" C.B.S. WALL
TO BE DEMOLISHED

EXISTING 4" PARTITION WALL
TO BE DEMOLISHED

EXISTING TO BE REMOVED

EXISTING DOOR TO BE REMOVED

EXISTING WINDOW TO BE REMOVED

- DEMOLITION KEY NOTES
- 1

REMOVE EXISTING CONCRETE BLOCKS AND/OR COLUMN.
PREPARE SURFACE TO RECEIVE NEW WORK
- 2

REMOVE EXISTING WINDOW AND FRAME.
PREPARE SURFACE TO RECEIVE NEW WORK
- 3

REMOVE EXISTING EXTERIOR DOOR AND FRAME.
PREPARE SURFACE TO RECEIVE NEW WORK
- 4

REMOVE EXISTING EXTERIOR GARAGE DOOR AND FRAME.
PREPARE SURFACE TO RECEIVE NEW WORK
- 5

REMOVE EXISTING PARTITION TO NEAREST ADJACENT STUD.
PREPARE SURFACE TO RECEIVE NEW WORK
- 6

REMOVE EXISTING INTERIOR DOOR AND FRAME.
PREPARE SURFACE TO RECEIVE NEW WORK
- 7

REMOVE EXISTING COUNTER & CABINETS.
PATCH AND REPAIR ALL AFFECTED SURFACES.
- 8

REMOVE EXISTING PLUMBING FIXTURE.
CAP OR REROUTE PIPING AS REQUIRED.
- 9

REMOVE EXISTING CMU/LOW WALL/PEDESTAL.
PREPARE SURFACE TO RECEIVE NEW WORK
- 10

REMOVE EXISTING CONC. STEPS/LANDING.
PREPARE SURFACE TO RECEIVE NEW WORK
- 11

REMOVE EXISTING ROOF STRUCTURE.
PREPARE SURFACE TO RECEIVE NEW WORK
- 12

CUT BACK EXISTING ROOF OVERHANG.
PREPARE SURFACE TO RECEIVE NEW WORK
- 13

REMOVE EXISTING A/C UNIT.
TO BE RELOCATED IF NOTED.
- 14

REMOVE EXISTING SPIRAL STAIR AND METAL LANDING.
PATCH AND REPAIR SURFACES AS REQUIRED.
- 15

REMOVE EXISTING RAILING.
PATCH AND REPAIR SURFACES AS REQUIRED.
- 16

REMOVE EXISTING CONC. SLAB.
PATCH AND REPAIR SURFACES AS REQUIRED.

- GENERAL DEMOLITION NOTES:
1.

DASHED LINES INDICATE WALLS AND ITEMS TO BE REMOVED.
LIGHT SOLID LINES INDICATE EXISTING WALLS AND ITEMS TO REMAIN.
2.

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION
RELATED CONDITIONS PRIOR TO STARTING DEMOLITION. ANY AND
ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE
ATTENTION OF THE OWNER'S REPRESENTATIVE.
3.

THE OWNER SHALL RETAIN ALL SALVAGE RIGHTS OVER BUILDING
MATERIALS THAT ARE OF VALUE AS DESIGNATED BY THE OWNER'S
REPRESENTATIVE. THE OWNER'S REPRESENTATIVE SHALL DIRECT
THE INDIVIDUAL CONTRACTORS TO THE LOCATIONS OF STORAGE
AREAS FOR VARIOUS SALVAGE ITEMS. THE CONTRACTOR SHALL
BE RESPONSIBLE FOR REMOVING FROM THE BUILDING AND THE
CONSTRUCTION SITE ALL CONSTRUCTION DEBRIS AND ITEMS NOT
RETAINED BY THE OWNER'S REPRESENTATIVE.
4.

ALL OPENINGS AND VOIDS LEFT BY THE REMOVAL OF EXISTING
CONSTRUCTION EQUIPMENT, PIPING, DUCTS, ETC. SHALL BE
PROPERLY PATCHED OR CLOSED OFF TO MAINTAIN FIRE RATING OF
SURROUNDING WALL AND WEATHER TIGHT CONDITIONS.
5.

PATCH AND REPAIR ALL EXISTING SURFACES THAT ARE TO RECEIVE
NEW FINISHES.
6.

ALL FINISHED AREAS WHICH ARE DAMAGED DURING DEMOLITION BY
THE CONTRACTOR SHALL BE PATCHED TO MATCH EXISTING FINISHES.
ETC. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING NEW
FINISHES, CEILING, FLOORING, ETC. TO DAMAGED AREAS.
7.

EXISTING ITEMS, EQUIPMENT, PLUMBING FIXTURES, ETC. TO
REMAIN IN PLACE SHALL BE PROTECTED FROM DIRT AND DAMAGE
DURING DEMOLITION AND CONSTRUCTION.
8.

WHERE REMOVAL OF PORTIONS OF FLOOR COVERINGS ARE REQUIRED,
REMOVE ONLY THOSE MATERIALS TO THE EXTENT SHOWN WITHIN THE ROOMS.
INCLUDING THE REMOVAL OF ADHESIVES, GROUTING BEDS,
ANCHORING DEVICES AND PREPARE SURFACES FOR NEW CONSTRUCTION.
9.

WHERE REMOVAL OF PORTIONS OF FINISHED CEILINGS ARE REQUIRED,
REMOVE ONLY THOSE LIGHT FIXTURES AND OTHER CEILING EQUIPMENT
WITHIN THAT PORTION OF CEILING. COORDINATE WITH DRAWINGS.
10.

CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE
TO OWNER'S OCCUPIED AREAS ADJACENT TO NEW CONSTRUCTION OR OCCUPIED
AREAS WHERE VARIOUS SYSTEM CONNECTIONS OR EXTENSION ARE REQUIRED,
AND IS RESPONSIBLE FOR DAMAGE CAUSED BY ADVERSE WEATHER CONDITIONS,
INCLUDING RAIN AND WIND.
11.

ALL DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL ADHERE TO BUILDING REGULATIONS AND BE
COORDINATED WITH THE OWNER'S REPRESENTATIVE TO MINIMIZE DISRUPTION WITH THE NORMAL
DAILY FUNCTIONS OF THE BUILDING'S OCCUPIED AREAS.
12.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR STORAGE AND PROTECTION OF
ALL SALVAGE ITEMS WHICH WILL BE REUSED IN THIS PROJECT.
13.

ALL NON-ATTACHED ITEMS, SUCH AS FURNISHINGS, MOBILE EQUIPMENT, CHAIRS, ETC. SHALL
BE REMOVED BY OWNER PRIOR TO COMMENCEMENT OF DEMOLITION WORK. COORDINATE
WITH OWNER'S REPRESENTATIVE FOR REMOVAL OR RELOCATION OF ANY REMAINING ITEMS.
14.

EXISTING EXIT PASSAGEWAYS SHALL BE MAINTAINED AND ACCESSIBLE
AT ALL TIMES DURING CONSTRUCTION.
15.

STOP ALL WORK IF ANY UNFORESEEN CONDITIONS ARE ENCOUNTERED DURING DEMOLITION AND
CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY.
16.

COORDINATE WITH BUILDING MANAGEMENT ALL WORK TO BE
PERFORMED.

DEMOLITION GROUND FLOOR

0 32" 64" 128"

SCALE: 3/16" = 1'-0"

Interior Remodeling
and Addition for:

10550 Old Cutler Road
Coral Gables, Florida

N25

ARCHITECTURE CO.

6262 SW 40 Street
Suite 2A
Miami, Florida 33155
Phone 305-666-5151
Florida License AR 0016380

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Sheet Title:

DEMOLITION
GROUND FLOOR

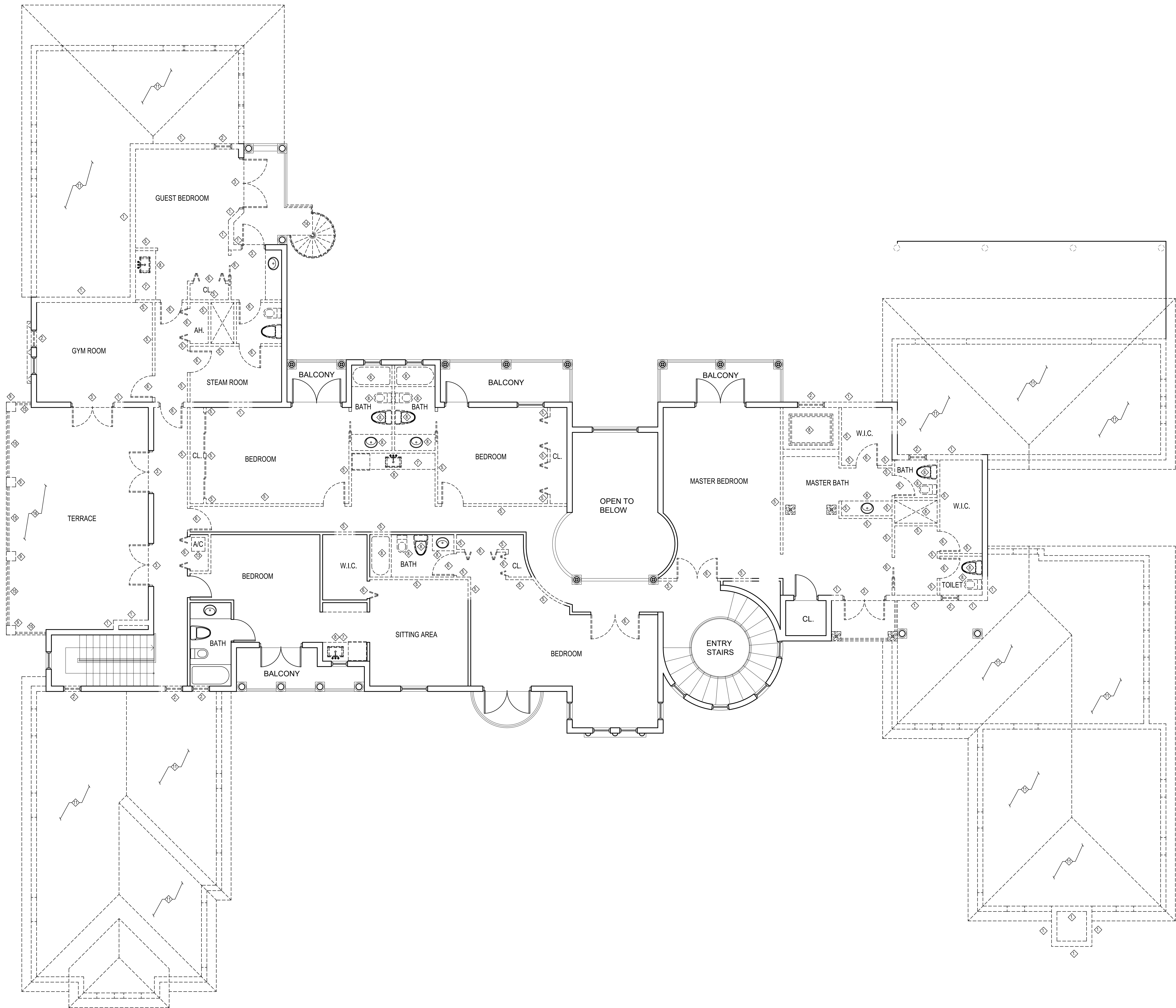
Issue Date: Project No.

October 18, 2021 BOA

Drawing No.:
D1-01

Professional of Record: Norman Blandon, R.A.
Registration No. AR-0016380

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DEMOLITION KEY NOTES	
1	REMOVE EXISTING CONCRETE BLOCKS AND/OR COLUMN. PREPARE SURFACE TO RECEIVE NEW WORK.
2	REMOVE EXISTING WINDOW AND FRAME. PREPARE SURFACE TO RECEIVE NEW WORK.
3	REMOVE EXISTING EXTERIOR DOOR AND FRAME. PREPARE SURFACE TO RECEIVE NEW WORK.
4	REMOVE EXISTING EXTERIOR GARAGE DOOR AND FRAME. PREPARE SURFACE TO RECEIVE NEW WORK.
5	REMOVE EXISTING PARTITION TO NEAREST ADJACENT STUD. PREPARE SURFACE TO RECEIVE NEW WORK.
6	REMOVE EXISTING INTERIOR DOOR AND FRAME. PREPARE SURFACE TO RECEIVE NEW WORK.
7	REMOVE EXISTING COUNTER & CABINETS. PATCH AND REPAIR ALL AFFECTED SURFACES.
8	REMOVE EXISTING PLUMBING FIXTURE. CAP OR REROUTE PIPING AS REQUIRED.
9	REMOVE EXISTING CMU LOW WALL, PEDESTAL. PREPARE SURFACE TO RECEIVE NEW WORK.
10	REMOVE EXISTING CONC. STEPS/LANDING. PREPARE SURFACE TO RECEIVE NEW WORK.
11	REMOVE EXISTING ROOF STRUCTURE. PREPARE SURFACE TO RECEIVE NEW WORK.
12	CUT BACK EXISTING ROOF OVERHANG. PREPARE SURFACE TO RECEIVE NEW WORK.
13	REMOVE EXISTING A/C UNIT. TO BE RELOCATED IF NOTED.
14	REMOVE EXISTING SPIRAL STAIR AND METAL LANDING. PATCH AND REPAIR SURFACES AS REQUIRED.
15	REMOVE EXISTING RAILING. PATCH AND REPAIR SURFACES AS REQUIRED.
16	REMOVE EXISTING CONC. SLAB. PATCH AND REPAIR SURFACES AS REQUIRED.

LEGEND :	
	EXISTING 6" C.B.S. WALL TO REMAIN
	EXISTING 4" PARTITION TO REMAIN
	EXISTING 6" C.B.S. WALL TO BE DEMOLISHED
	EXISTING 4" PARTITION WALL TO BE DEMOLISHED
	EXISTING TO BE REMOVED
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO BE REMOVED

DEMOLITION SECOND FLOOR

0 32" 64" 128" SCALE: 3/16" = 1'-0"

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Sheet Title:

DEMOLITION
SECOND FLOOR

Issue Date: Project No.

October 18, 2021 BOA

Drawing No.:

D 2-01

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DEMOLITION FRONT ELEVATION

0 32" 64" 128" SCALE: 3/16" = 1'-0"

ELEVATIONS DEMOLITION KEY NOTES

1. REMOVE EXISTING CONCRETE BLOCKS AND/OR COLUMN.
PREPARE SURFACE TO RECEIVE NEW WORK.
2. REMOVE EXISTING WINDOW AND FRAME.
PREPARE SURFACE TO RECEIVE NEW WORK.
3. REMOVE EXISTING EXTERIOR DOOR AND FRAME.
PREPARE SURFACE TO RECEIVE NEW WORK.
4. REMOVE EXISTING EXTERIOR GARAGE DOOR AND FRAME.
PREPARE SURFACE TO RECEIVE NEW WORK.
5. REMOVE EXISTING CMU LOW WALL/PEDESTAL.
PREPARE SURFACE TO RECEIVE NEW WORK.
6. REMOVE EXISTING CONC. STEPS/LANDING.
PREPARE SURFACE TO RECEIVE NEW WORK.
7. REMOVE EXISTING ROOF STRUCTURE.
PREPARE SURFACE TO RECEIVE NEW WORK.
8. CUT BACK EXISTING ROOF OVERHANG.
PREPARE SURFACE TO RECEIVE NEW WORK.
9. REMOVE EXISTING SPIRAL STAIR AND METAL LANDING.
PATCH AND REPAIR SURFACES AS REQUIRED.
10. REMOVE EXISTING RAILING.
PATCH AND REPAIR SURFACES AS REQUIRED.
11. REMOVE EXISTING MOLDINGS.
PATCH AND REPAIR SURFACES AS REQUIRED.
12. REMOVE EXISTING OUTRIGGERS.
PATCH AND REPAIR SURFACES AS REQUIRED.
13. REMOVE EXISTING DECORATIVE COLUMNS.
PATCH AND REPAIR SURFACES AS REQUIRED.
14. REMOVE EXISTING BRACKETS.
PATCH AND REPAIR SURFACES AS REQUIRED.

LEGEND :

- EXISTING 8" C.B.S. WALL TO REMAIN
- EXISTING 4" PARTITION TO REMAIN
- EXISTING 8" C.B.S. WALL TO BE DEMOLISHED
- EXISTING 4" PARTITION WALL TO BE DEMOLISHED
- EXISTING TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED



DEMOLITION REAR ELEVATION

0 32" 64" 128" SCALE: 3/16" = 1'-0"

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Sheet Title:

DEMOLITION
ELEVATIONS

Issue Date: Project No.

October 18, 2021 BOA

Drawing No.:

D 3-01

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