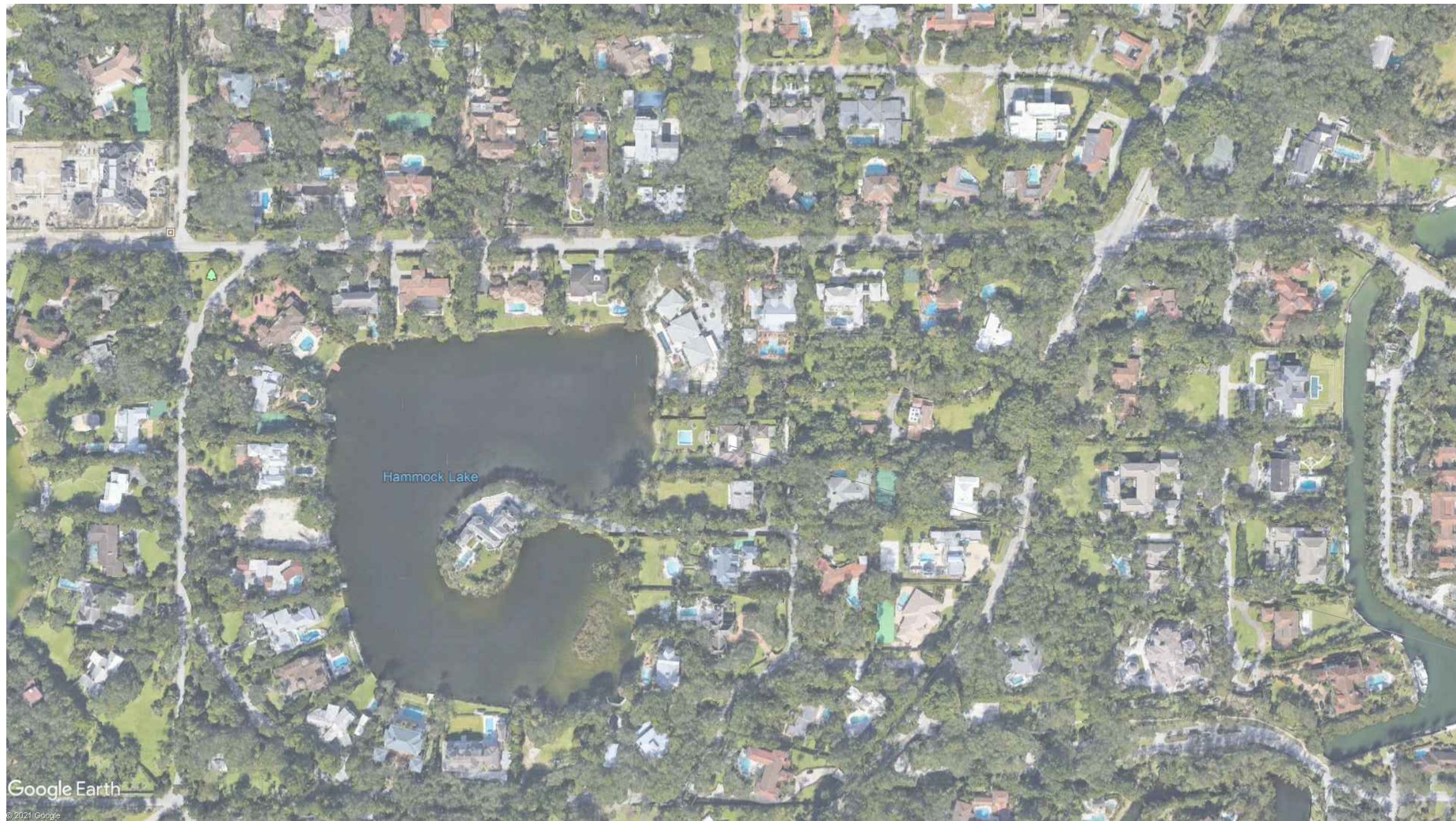
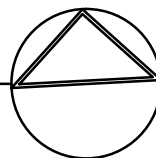




8860 Hammock Lake Court
CORAL GABLES, FL 33156

LOCATION MAP
SCALE: N.T.S.



RESIDENCE

8860 Hammock Lake Court, Coral Gables, FL 33156

INDEX OF DRAWINGS:

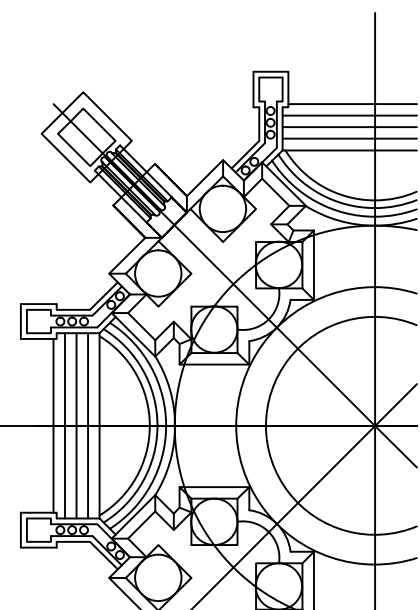
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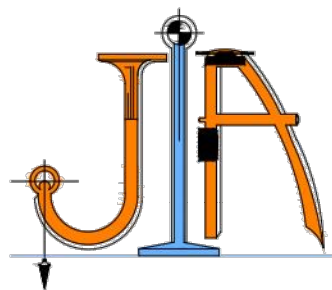
- A0.00 COVER SHEET
- A0.01 SURVEY
- A1.01 EXISTING & PROPOSED SITE PLAN. ZONING DATA.
- A1.02 ZONING DATA. CONTEXT IMAGES. LOT COVERAGE. OPEN SPACE
- A1.03 PROTECTION FENCE PLAN
- A2.01 EXISTING FLOOR PLANS
- A2.02 PROPOSED FLOOR PLANS
- A2.03 EXISTING AND PROPOSED ROOF PLAN
- A2.04 PROPOSED THERAPY ROOM. FLOOR PLAN, ELEVATIONS & IMAGES
- A2.04 TRELLIS FLOOR PLAN AND ELEVATIONS
- A3.01 EXISTING ELEVATIONS MAIN HOUSE & IMAGES
- A3.02 PROPOSED ELEVATIONS MAIN HOUSE.

Z.W. JAROSZ ARCHITECT, P.A.

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DESIGN ARCHITECT: Z.W. JAROSZ, AIA, RIBA. ARC 8223





JOHN IBARRA & ASSOCIATES, INC. Professional Land Surveyors & Mappers

777 N.W. 72nd AVENUE
SUITE 3025
MIAMI, FLORIDA 33126
PH: (305) 262-0400
FAX: (305) 262-0401

3725 DEL PRADO BLVD. S.
SUITE B
CAPE CORAL, FL 33904
PH: (239) 540-2660
FAX: (239) 540-2664



MAP OF BOUNDARY AND TOPOGRAPHIC SURVEY



PROPERTY ADDRESS:
8880 HAMMOCK LAKE COURT,
CORAL GABLES, FLORIDA 33156

CERTIFICATION:
JOSE R BOSCHETTI AND SILVIA J BOSCHETTI

LEGAL DESCRIPTION:

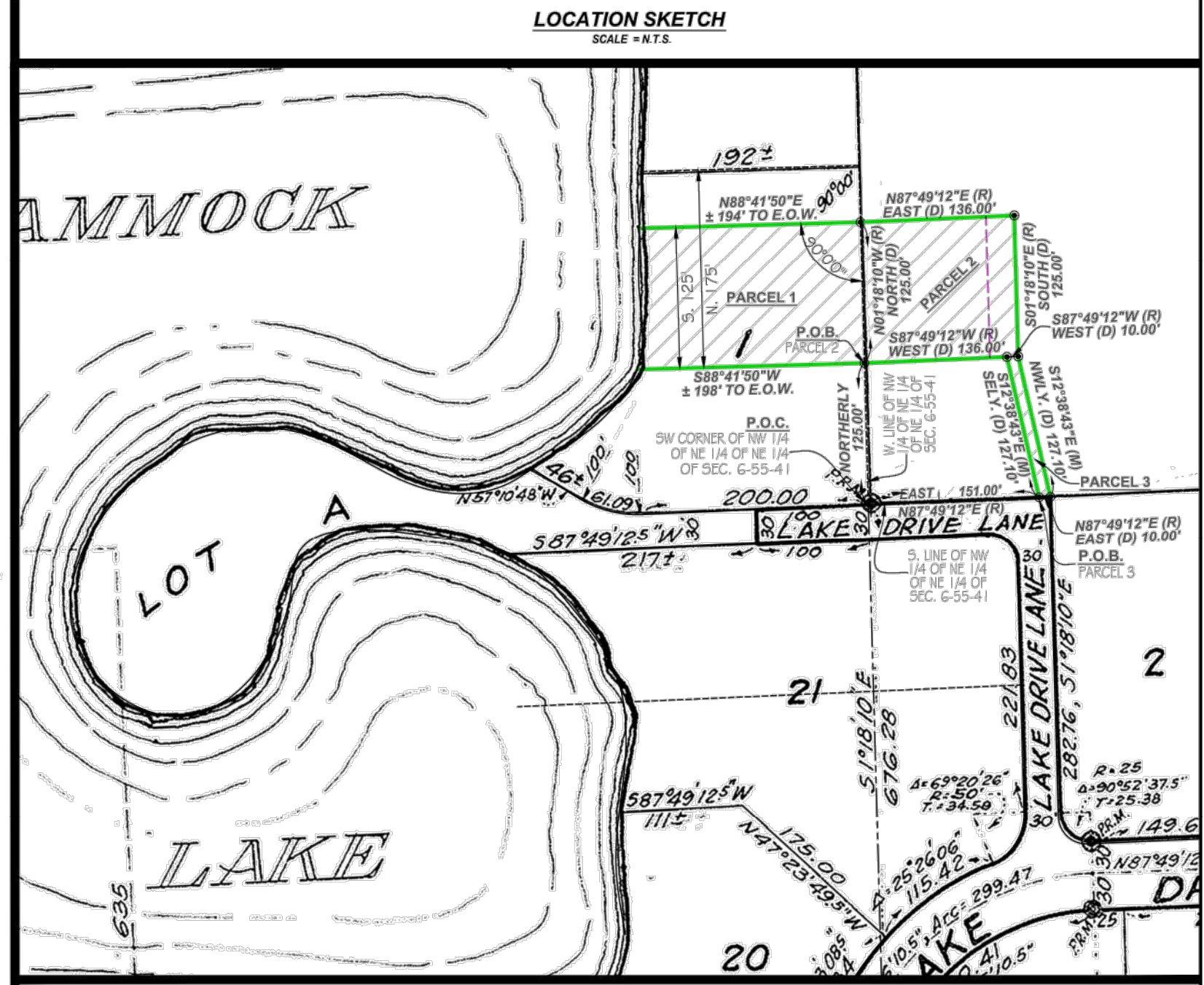
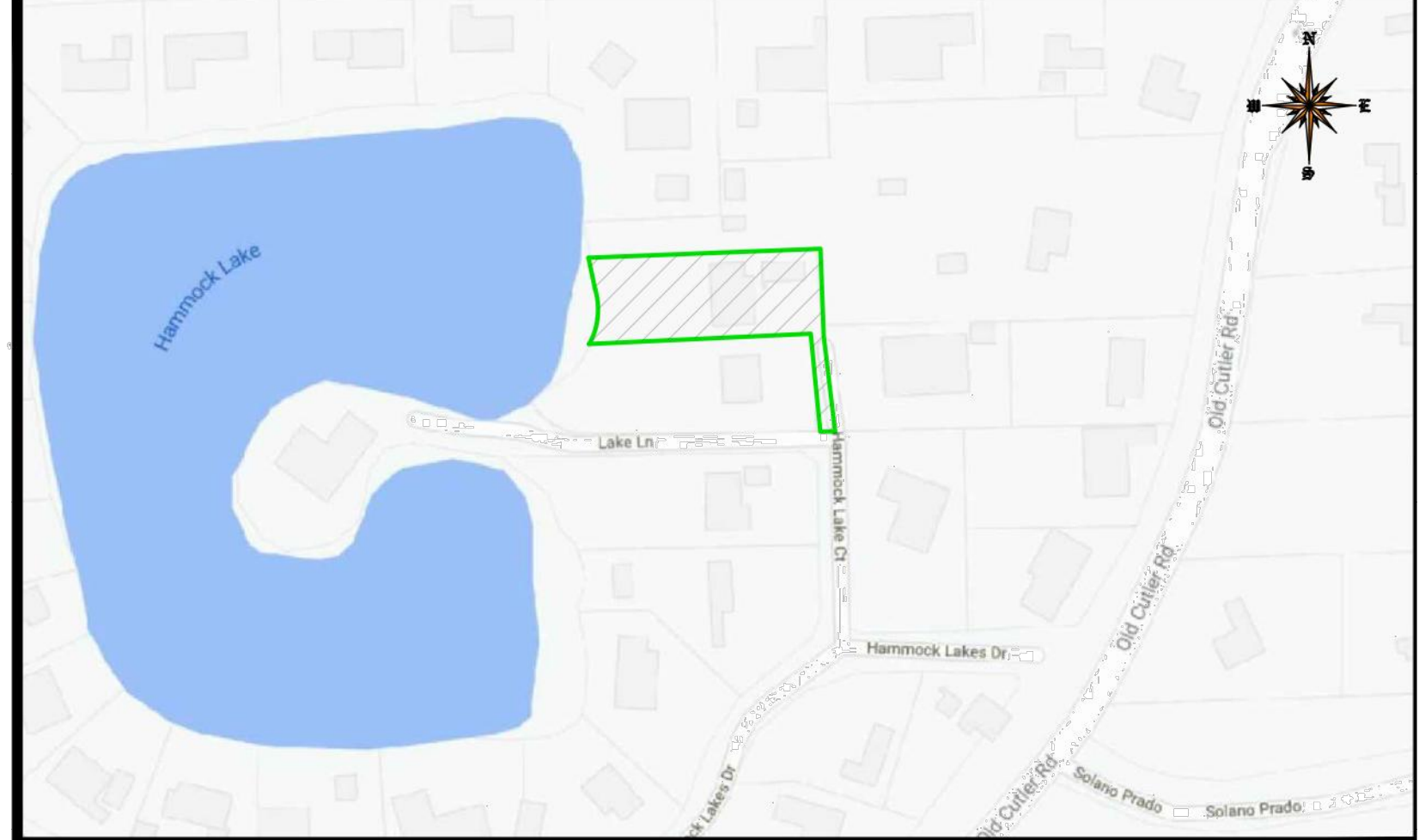
PARCEL 1:
The South 125.0 feet of the North 175 feet of Lot 1 in Block 3, of HAMMOCK LAKE PARK, according to the Plat thereof recorded in Plat Book 44, at page 87, of the Public Records of Dade County, Florida.

ALSO
PARCEL 2:
Begin at the Southwest corner of the NW 1/4 of the NE 1/4 of the NE 1/4 of Section 6, Township 55 South, of Range 41 East, in Dade County, Florida, thence run North along the East line of Hammock Lake Park, Florida, thence run North along the East line of Hammock Lake Park, according to the plat thereof recorded in Plat Book 44, at page 87, of the Public Records of Dade County, Florida, and along the West line of said NW 1/4 of the NE 1/4 of the NE 1/4, a distance of 125 feet line of said NW 1/4 of the NE 1/4 of the NE 1/4, a distance of 125 feet to an iron pipe, thence run North along a line, a distance of 125 feet to an iron pipe, thence East along a line parallel to the South line of said NW 1/4 of the NE 1/4 of the NE 1/4, a distance of 136 feet; thence South along a line parallel to the East line of said NW 1/4 of the NE 1/4 of the NE 1/4, a distance of 125 feet; thence West along a line parallel to the South line of said NW 1/4 of the NE 1/4 of the NE 1/4, a distance of 10 feet; thence Southwesterly, a distance of 127.10 feet to the point of beginning, subject to a permanent easement over and across the Easterly 25 feet of that part of said tract lying in said NW 1/4 of the NE 1/4 of the NE 1/4 for the benefit of Irving J. Thomas, his heirs or assigns;

ALSO
PARCEL 3:
Begin at the Southwest corner of the NW 1/4 of the NE 1/4 of the NE 1/4 of Section 6, Township 55 South, of Range 41 East, in Dade County, Florida, thence run Easterly along the South line of said NW 1/4 of the NE 1/4 of the NE 1/4, a distance of 151 feet to a point of beginning; thence run East along said South line of said NW 1/4 of the NE 1/4 of the NE 1/4, a distance of ten feet; thence run in a Northwesterly direction 127.10 feet to a point in a line lying parallel to the South line of said NW 1/4 of the NE 1/4 of the NE 1/4 and 125 feet North thereof, and 136 feet east of the Westerly line of said NW 1/4 of the NE 1/4 of the NE 1/4; thence Westerly along said line lying 125 feet North of the South line of said NW 1/4 of the NE 1/4 of the NE 1/4, a distance of 10 feet; thence Southwesterly, a distance of 127.10 feet to the point of beginning, subject to a permanent easement over and across said tract lying in said NW 1/4 of the NE 1/4 of the NE 1/4 for the benefit of Irving J. Thomas, his heirs and assigns;

ALSO
An easement over and across a 15' strip of land reserved by Grantor (Thomas) to himself, his heirs and assigns, in deed from Irving J. Thomas, a widower, to Bruce P. Powers, et ux, dated July 29, 1948, recorded in Deed Book 3046, page 7, of the Public Records of Dade County, Florida.

TREE TABLE				
No.	Name	Diameter (in.)	Height (ft.)	Spread (ft.)
1	UNKNOWN	0.50	35	10
2	UNKNOWN	0.50	35	10
3	UNKNOWN	0.50	35	10
4	FAN PALM	0.60	30	20
5	UNKNOWN	0.75	35	20
6	UNKNOWN	0.40	40	20
7	UNKNOWN	1.00	45	25
8	UNKNOWN	0.50	40	25
9	UNKNOWN	1.00	40	25
10	UNKNOWN	0.85	40	25
11	UNKNOWN	0.75	40	25
12	UNKNOWN	1.15	40	25
13	UNKNOWN	0.70	40	25
14	UNKNOWN	1.10	40	25
15	UNKNOWN	0.60	40	25
16	UNKNOWN	0.75	40	25
17	UNKNOWN	1.35	40	25
18	UNKNOWN	0.65	40	25
19	UNKNOWN	0.70	40	25
20	OAK	1.35	40	45
21	OAK	1.50	45	60
22	GUMBO LIMBO	1.70	50	45
23	FAN PALM	2.00	27	20
24	FICUS	2.00	50	25
25	GUMBO LIMBO	1.85	50	25
26	FRANGIPANI	1.15	25	20
27	OAK	2.30	45	60
28	UNKNOWN	0.90	35	25
29	UNKNOWN	1.00	35	25
30	SYLVESTER PALM	1.60	60	20
31	SYLVESTER PALM	1.40	60	22
32	SYLVESTER PALM	1.35	60	22
33	SYLVESTER PALM	1.35	50	22
34	GUMBO LIMBO	5.00	50	60
35	GUMBO LIMBO	5.00	50	60
36	FICUS	4.00	40	30
37	ROYAL PALM	1.20	50	25



LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:
• THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
• EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
• THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
• LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
• BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
• EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
• THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
• ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
• UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
• FENCE OWNERSHIP NOT DETERMINED.
• THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:

THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:
FLOOD ZONE: SEE SURVEYORS NOTE 4.
BASE FLOOD ELEVATION: SEE SURVEYORS NOTE 4.
COMMUNITY: 120639
PANEL: 0459
SUFFIX: L
DATE OF FIRM: 09/11/2009
THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR'S NOTES:

- IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
- THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
- CERTIFICATE OF AUTHORIZATION LB 7808.
- THE SUBJECT PROPERTY LIES WITHIN TWO FLOOD ZONES, "X", "AH" ELEV. 7 FEET, AND "AE" ELEV. 7 FEET.
- ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929, MIAMI DADE COUNTY BENCH MARK WSC-51. LOCATOR NO. 4005 S; ELEVATION IS 7.99 FEET OF N.G.V.D. OF 1929.

SURVEYOR'S CERTIFICATION:

I, THE UNDERSIGNED, JOHN IBARRA, A PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE SURVEY OF THE PROPERTY DESCRIBED HEREON, HAS BEEN RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 11-11, FLORIDA ADMINISTRATIVE CODE (F.A.C.) AND THE FLORIDA STATUTES.

Digitally signed by John A Ibarra
Date: 2021.01.11 17:19:46 -0500
Adobe Acrobat version: 2020.013.20074

JOHN IBARRA (DATE OF FIELD WORK)
REVISOR: _____
REVISOR: _____

PROFESSIONAL LAND SURVEYOR NO. 5204 STATE OF FLORIDA

DRAWN BY:	DA
FIELD DATE:	01/05/2021
SURVEY NO:	20-004386-1
SHEET:	1 OF 1

L.B.# 7806 SEAL

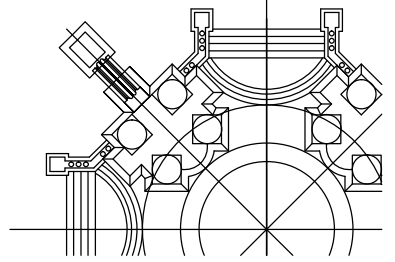


SITE DATA			SFR- SINGLE FAMILY RESIDENTIAL-HAMMOCK LAKES SECTION A-SITE LAKE 1	
GROSS LOT AREA:		40,685 SQ. FT.		
SQUARE FOOT FLOOR AREA	ALLOWED		PROPOSED	
	5,000 @ 48.0%) 2,400.0 SQ. FT. 5,000 @ 35.0%) 1,750.0 SQ. FT. (30,685 @ 30.0%)9,205.5 SQ. FT.		1st FL. A/C = 3735.68 SQ.FT. GYM. THERAPY ROOM. A/C = 600.00 SQ.FT. 2nd FL. A/C = 3302.85 SQ.FT. GARAGE = 1006.59 SQ.FT.	
	TOTAL: 13,355.5 SQ. FT.		TOTAL AREA PROVIDED = 8,645.12 SQ. FT.	
			1st FL. COVERED TERRACES=1109.40 SQ.FT. GYM/THERAPY R. COV. TERR. = 339.25 SQ.FT. 2nd FL. COVERED TERRACES=119.96 SQ.FT. TOTAL: 1,568.61 SQ. FT.	
GROUND AREA COVERAGE:				
GROUND AREA COVERAGE	(40,685 @ 25%) 10,171 SQ. FT.		MAIN HOUSE A/C = 4,457.94 SQ.FT. LOGGIA = 313.35 SQ.FT. MAIN HOUSE TERRACE = 353.11 SQ.FT. GARAGE = 1,105.17 SQ.FT. TOTAL: 6,229.57 SQ. FT.	
	(40,685 @ 5%) 2,034 SQ. FT.		GYM/THERAPY ROOM A/C = 676.93 SQ.FT. GYM/THERAPY R. COV. TERRACE= 345.32 SQ. FT.	
			TOTAL: 1,022.25 SQ. FT.	
SETBACKS:				
MAIN SETBACKS:				
FRONT SETBACK:	50'-0" MIN.	60'-10" (EAST)		
SIDE INTERIOR SETBACKS:	15'-0" MIN.	6'-11" (SOUTH)		
SIDE STREET SETBACKS:	25'-0" MIN.	N/A		
REAR SETBACK:	25'-0" MIN.	140'-9" (WEST)		
ACCESSORY BLDG. SETBACKS:				
SIDE SETBACKS:	20'-0" MIN.	20'-0" (SOUTH)		
WATERFRONT SETBACK:	7'-6" MIN.	46'-11" (WEST)		
POOL SETBACKS:				
SIDE SETBACKS:	20'-0" MIN.	20'-0" (SOUTH)		
WATERFRONT SETBACK:	7'-6" MIN.	" (WEST)		
HEIGHT REQUIREMENT:				
(2) STORIES MAX. * 25' MAX. FROM FINISHED FLOOR TO THE TIE BEAM. ON THE TOP FLOOR.		25'-0" MAX.		
LANDSCAPE REQUIREMENT:				
MIN. REQUIRED TOTAL: 40,685.0 SQ.FT. x 40% =18,274.0 SQ. FT.		18,569.68 SQ. FT.(45.64%)		
MIN. REQUIRED FRONT YARD: 16,275.0 SQ.FT. x 20% = 3,254.8 SQ. FT.		4,302.03 SQ. FT.(23.17%)		

 EXISTING TREES AS PER SURVEY TO REMAIN
 PROPOSED BUSHES
 PROPOSED ADDITIONS

Z.W. JAROSZ ARCHITECT, P.A.

3326 MARY STREET SUITE 500
COCONUT GROVE, FLORIDA 33133
305.446.0888 WWW.JAROSZARCH.COM



PROJECT /
SHEET TITLE

PROJECT 7
SHEET TITLE

RESIDENCE
8360 Hammock Lake Ct.,
Coral Gables, FL 33156

ZONING DATA.
EXISTING & PROPOSED SITE PLANS.

LIC. AR8223

[illegible]

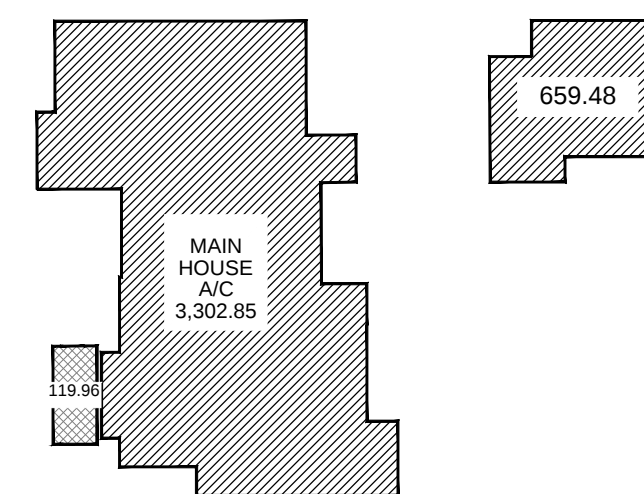
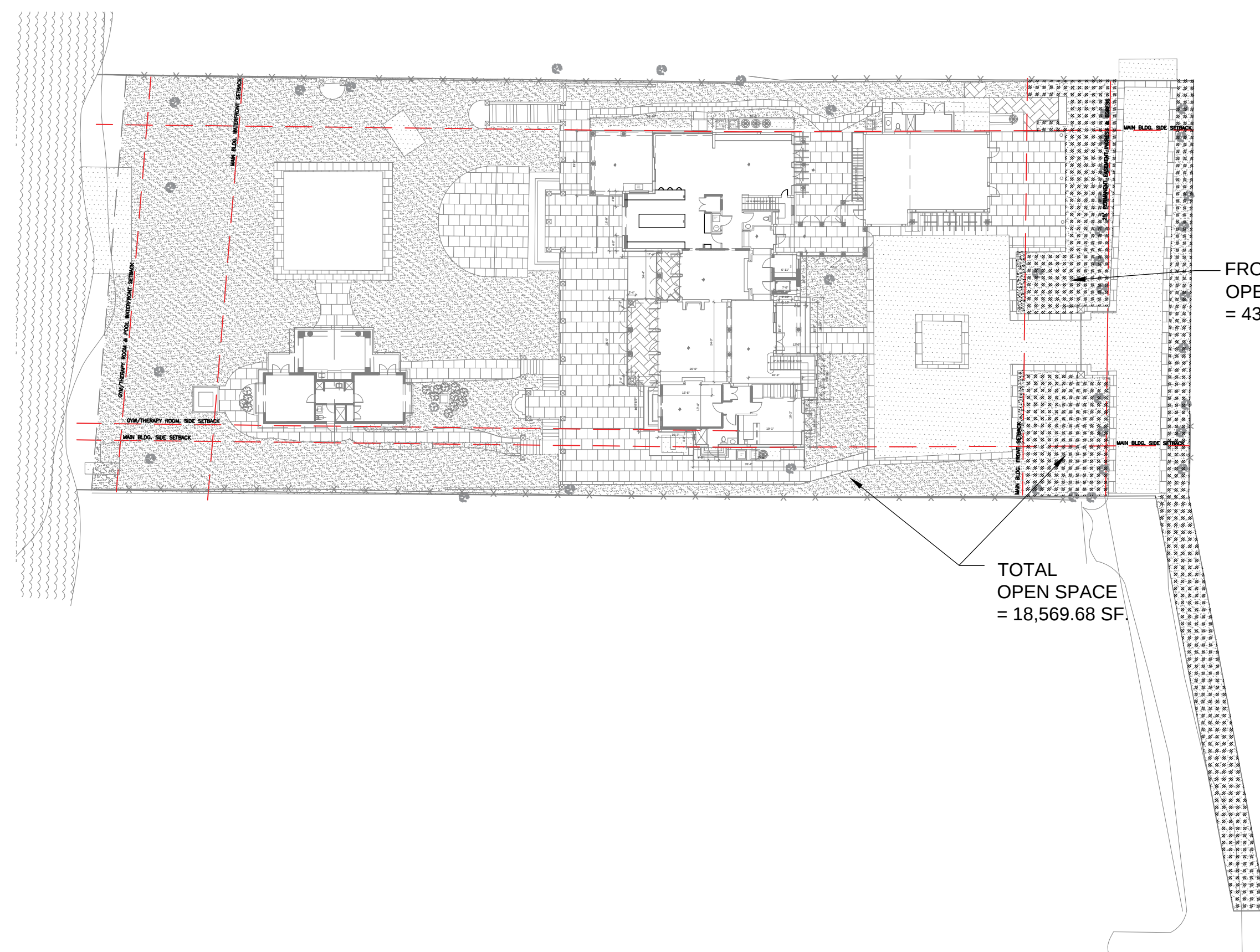
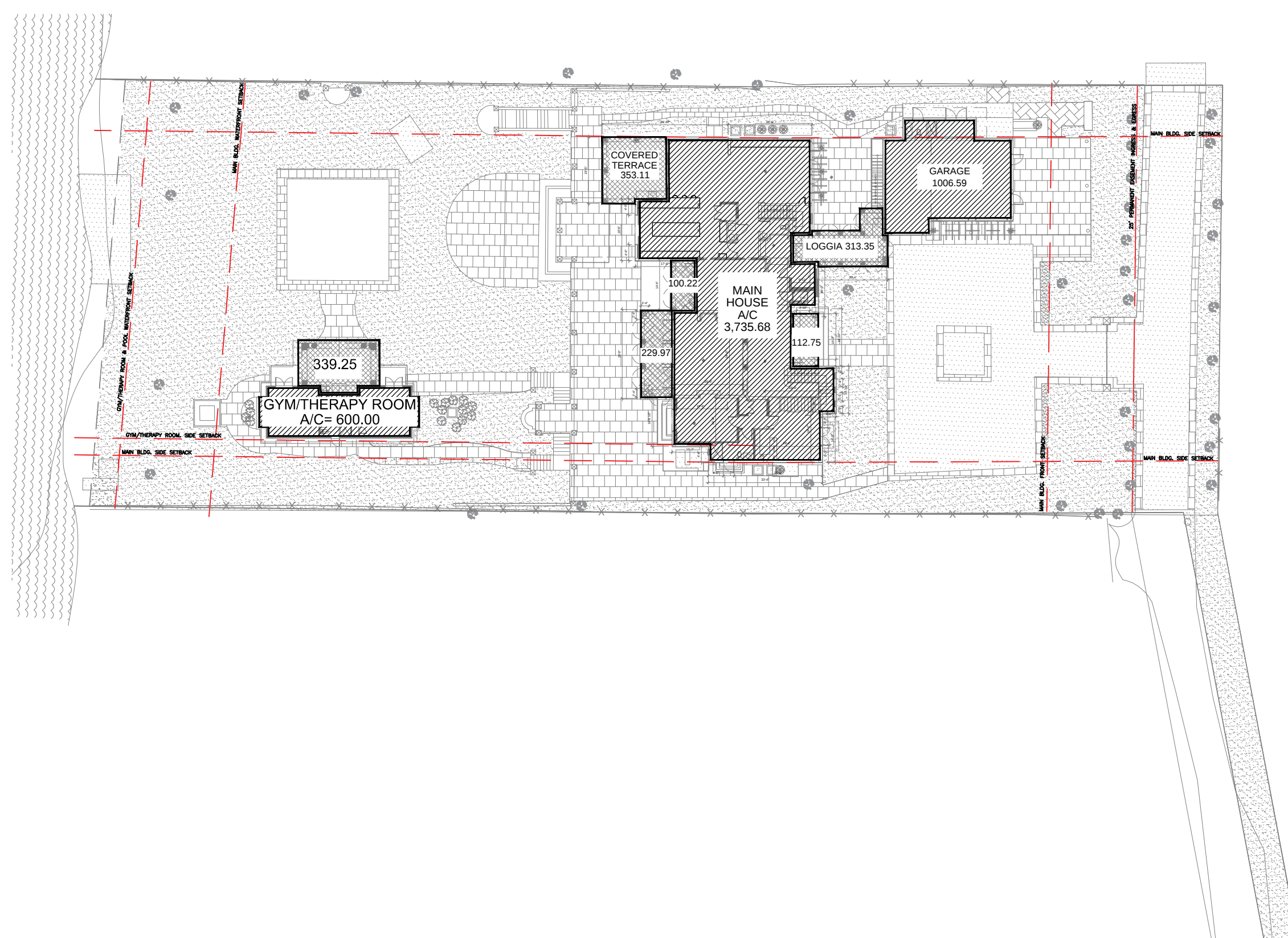
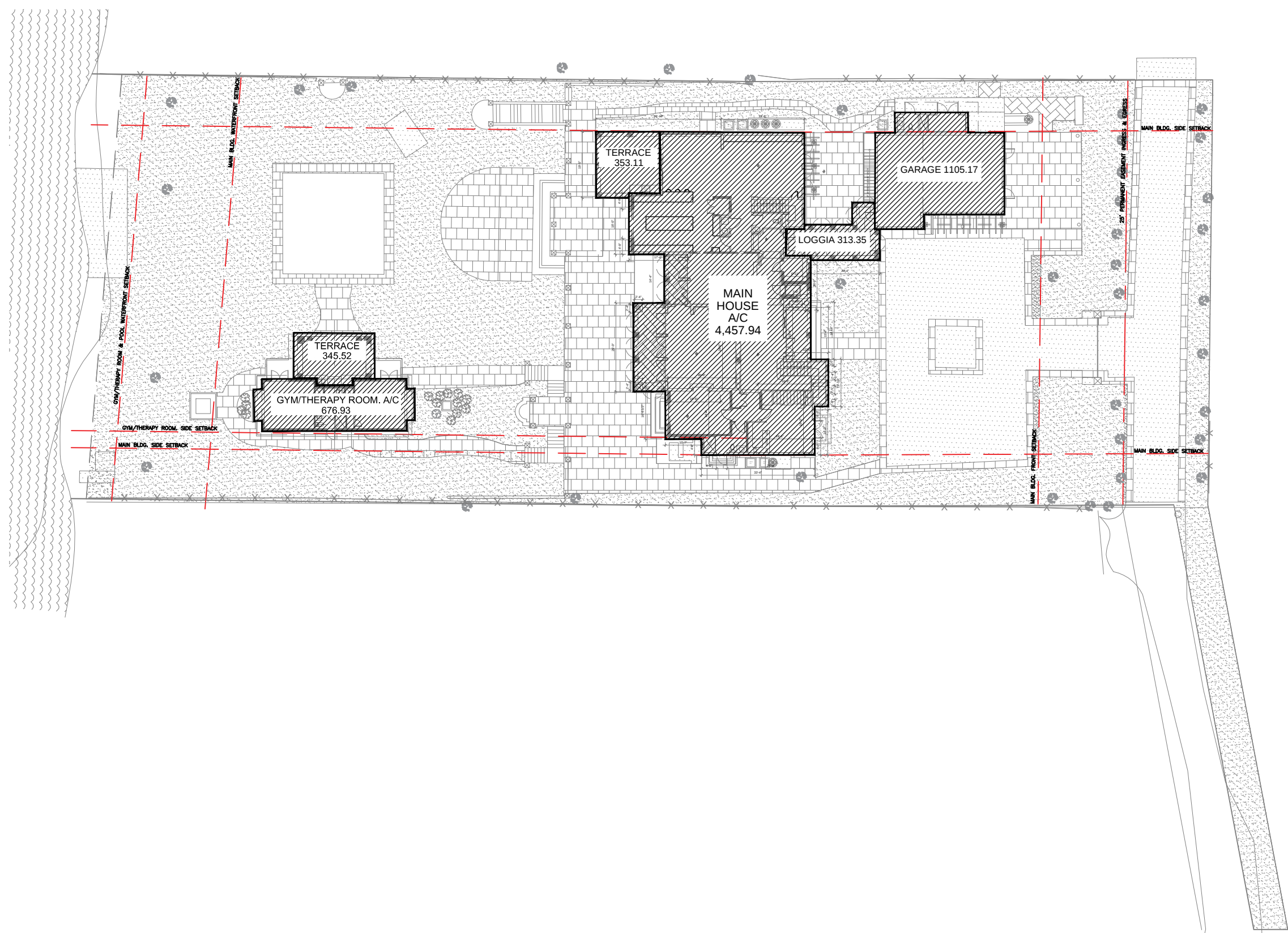
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2021-GRO

DATE:	May 15, 2021
DRAWN BY:	Y.D./S.G.
CHECKED BY:	Z.J.
SCALE:	AS SHOWN

SHEET

A1.01



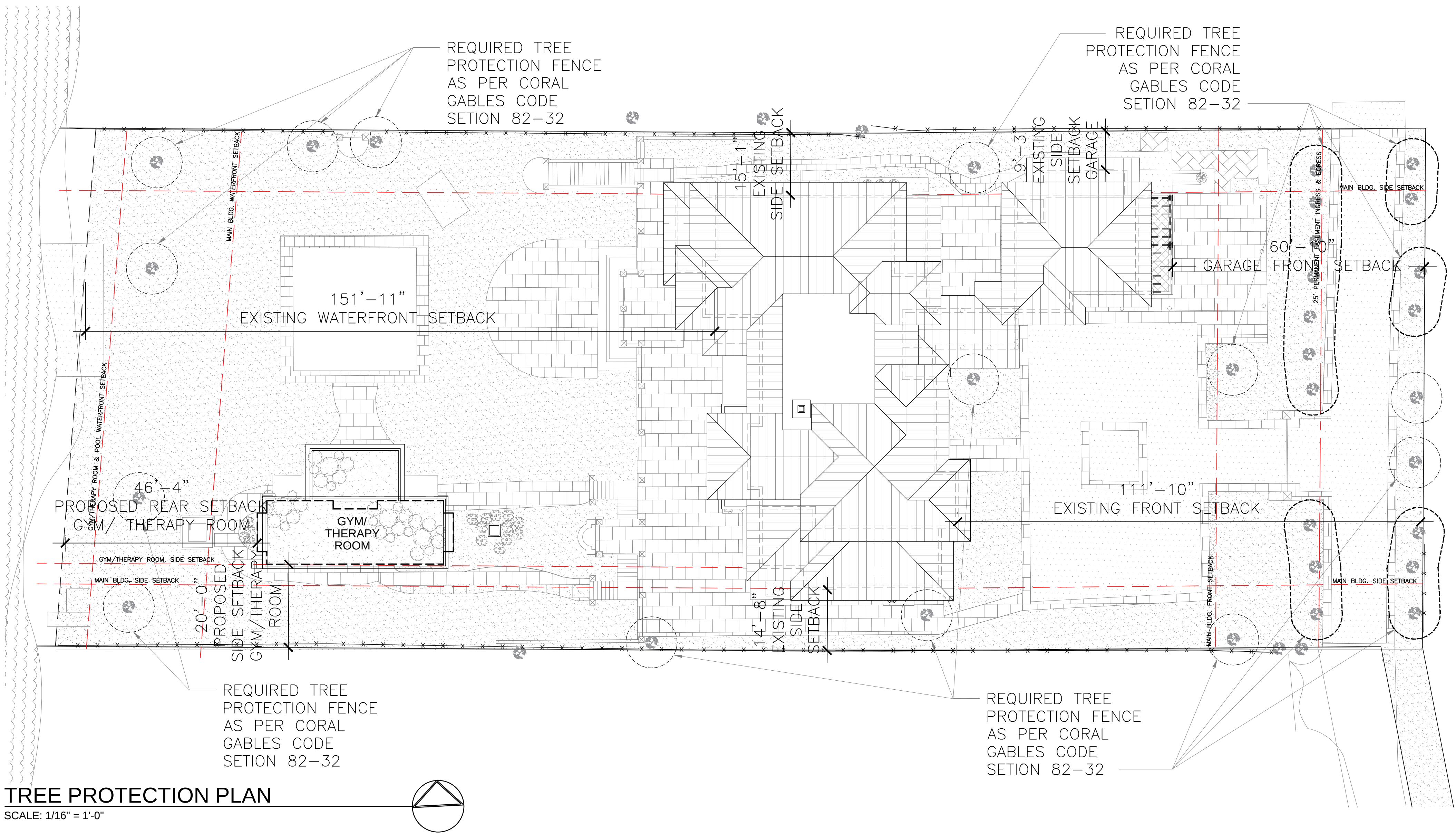
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SIDE SETBACKS:	20'-0" MIN.	20'-0" (SOUTH)	
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POOL SETBACKS:			
SIDE SETBACKS:	20'-0" MIN.	20'-0" (SOUTH)	
WATERFRONT SETBACK:	7'-6" MIN.	" (WEST)	
HEIGHT REQUIREMENT:			
	(2) STORIES MAX. * 25' MAX. FROM FINISHED FLOOR TO THE TIE BEAM. ON THE TOP FLOOR.	25'-0" MAX.	
LANDSCAPE REQUIREMENT:			
	MIN. REQUIRED TOTAL: 40,685.0 SQ.FT. x 40% =16,274.0 SQ. FT.	18,569.68 SQ. FT.(45.64%)	
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RESIDENCE
8860 Hammock Lake Ct.,
Coral Gables, FL 33156

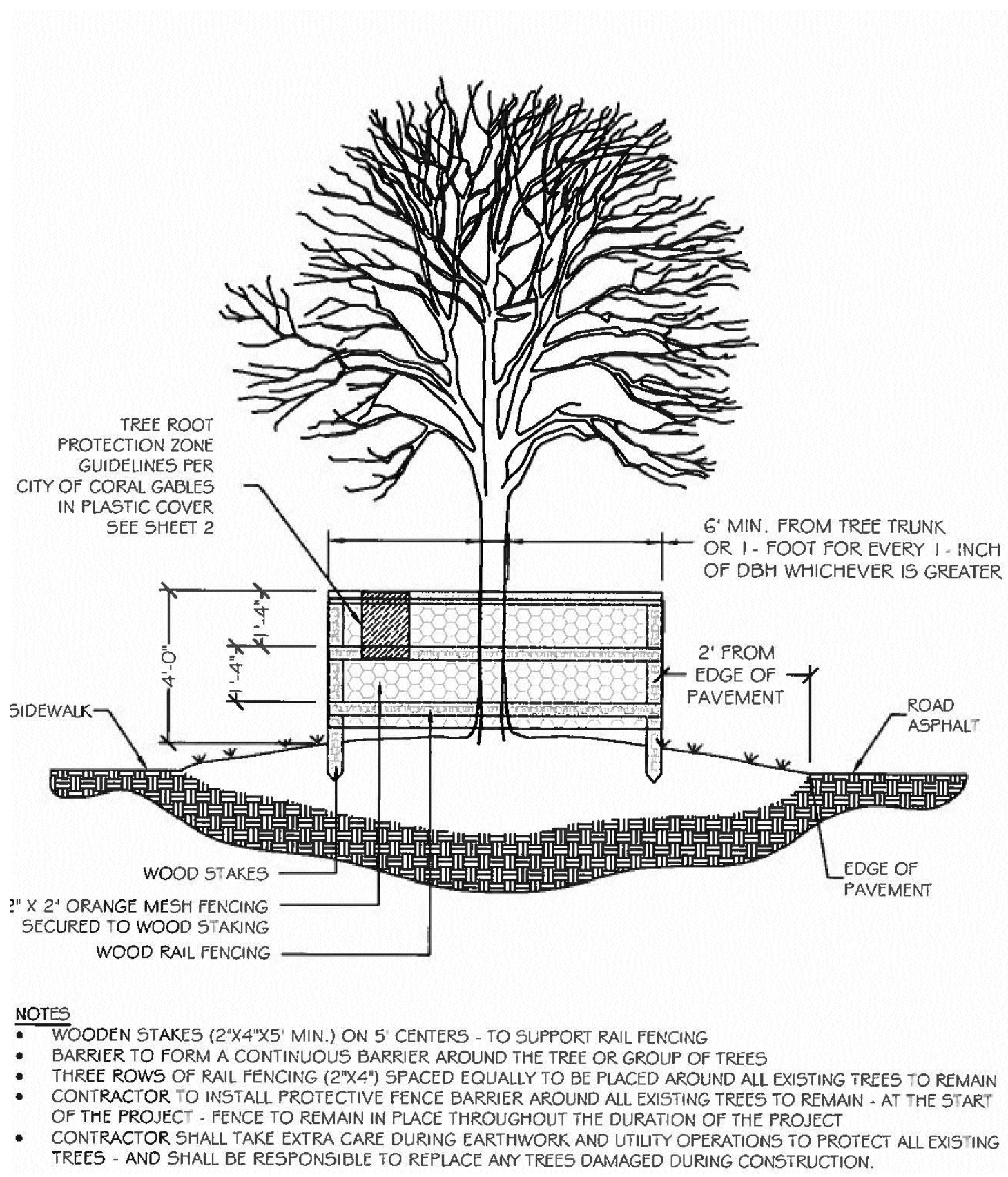
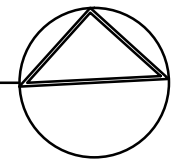
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LOT COVERAGE. OPEN SPACE.**

LIC. AR8223



TREE PROTECTION PLAN

SCALE: 1/16" = 1'-0"



TREE PROTECTION ELEVATION

SCALE: N.T.S

- EXISTING TREES AS PER SURVEY TO REMAIN
- PROTECTION FENCE

RESIDENCE

8860 Hammock Lake Ct.,
Coral Gables, FL 33156

Z.W. JAROSZ ARCHITECT, P.A.

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TREE PROTECTION PLAN

LIC. AR8223

REVISIONS		
NO.	DATE	DESCRIPTION
1	07/26/2021	COMMENTS

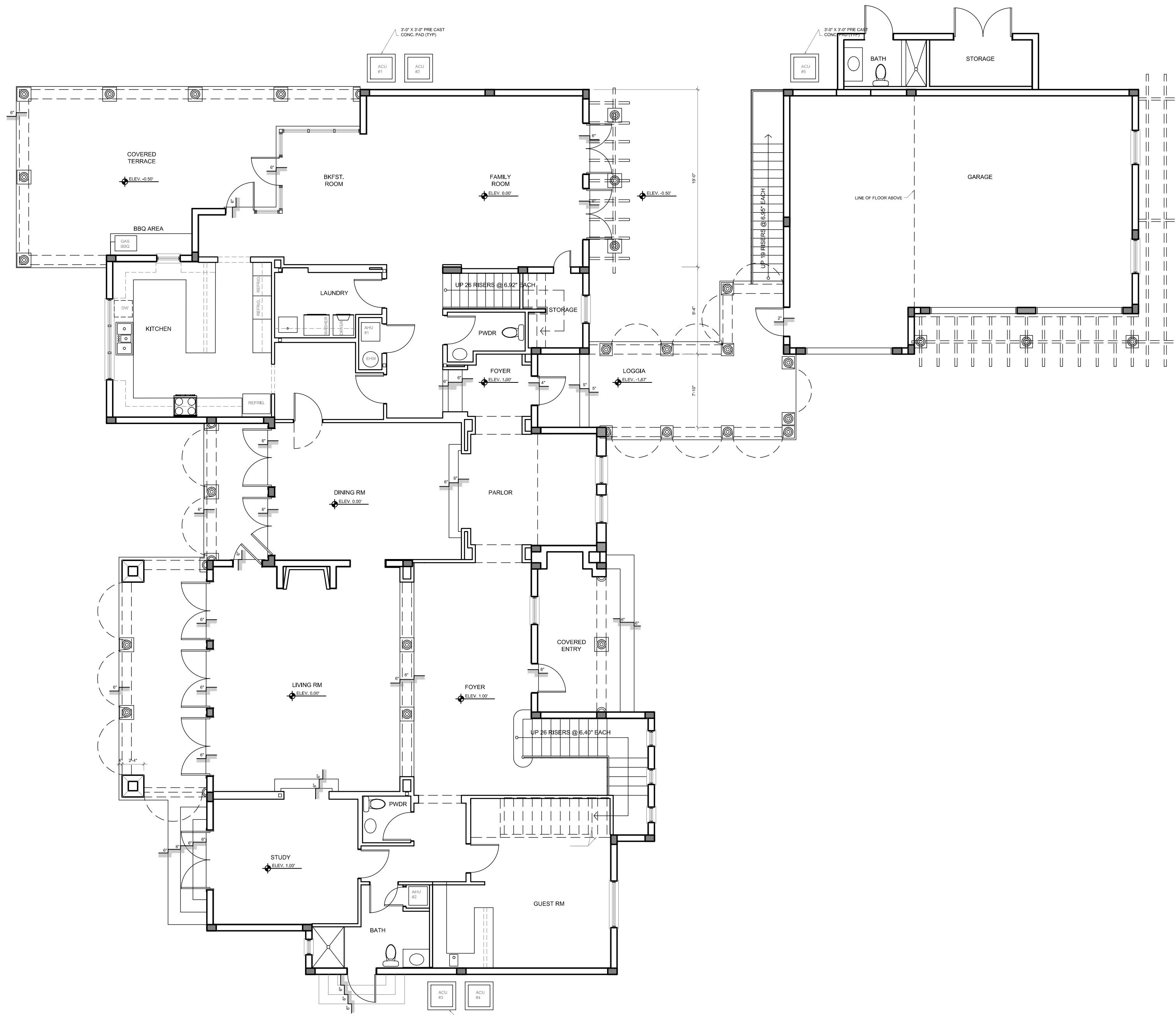
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2021-GRO

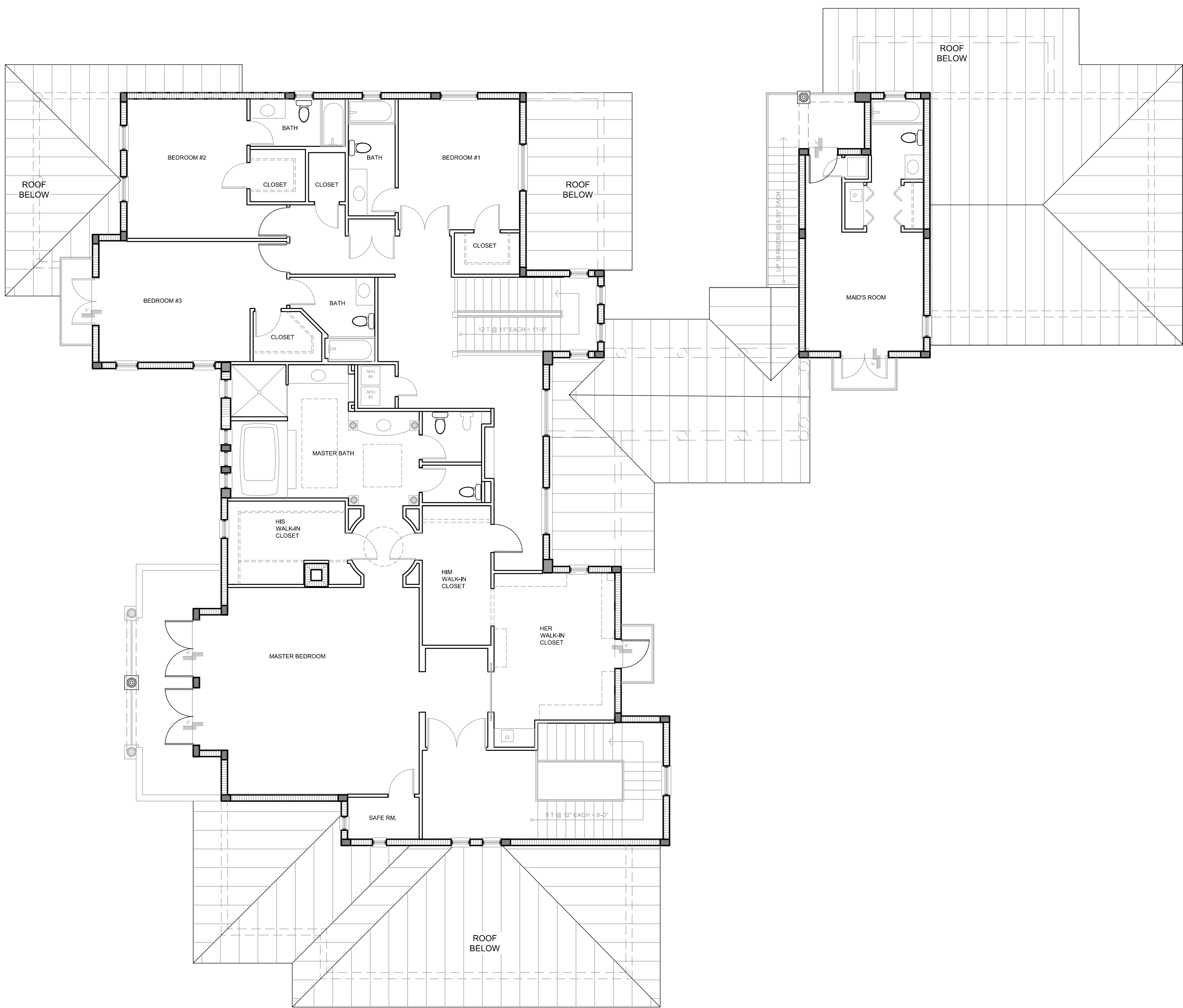
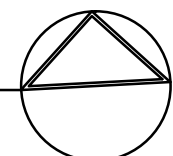
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DRAWN BY:	Y.D./S.C.
CHECKED BY:	Z.J.
SCALE:	AS SHOWN

SHEET

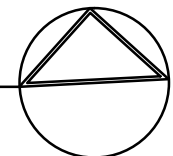
A1.03



FIRST FLOOR PLAN-EXISTING
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN-EXISTING
SCALE: 1/8" = 1'-0"



RESIDENCE
8860 Hammock Lake Ct.,
Coral Gables, FL 33156
EXISTING FLOOR PLANS

LIC. AR8223

REVISIONS

NO.	DATE	DESCRIPTION

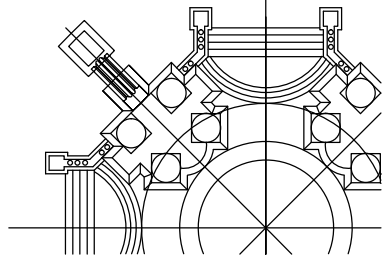
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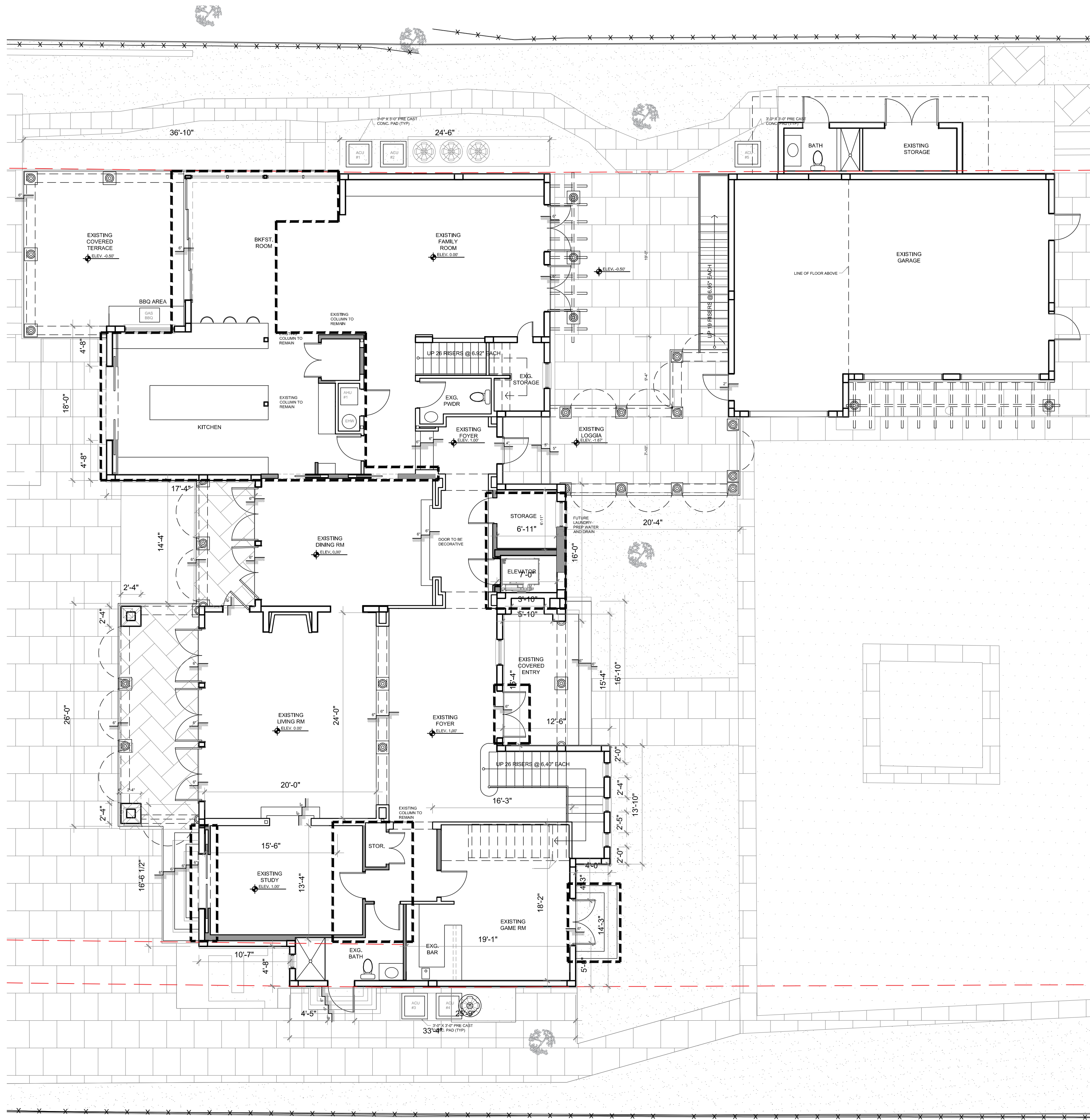
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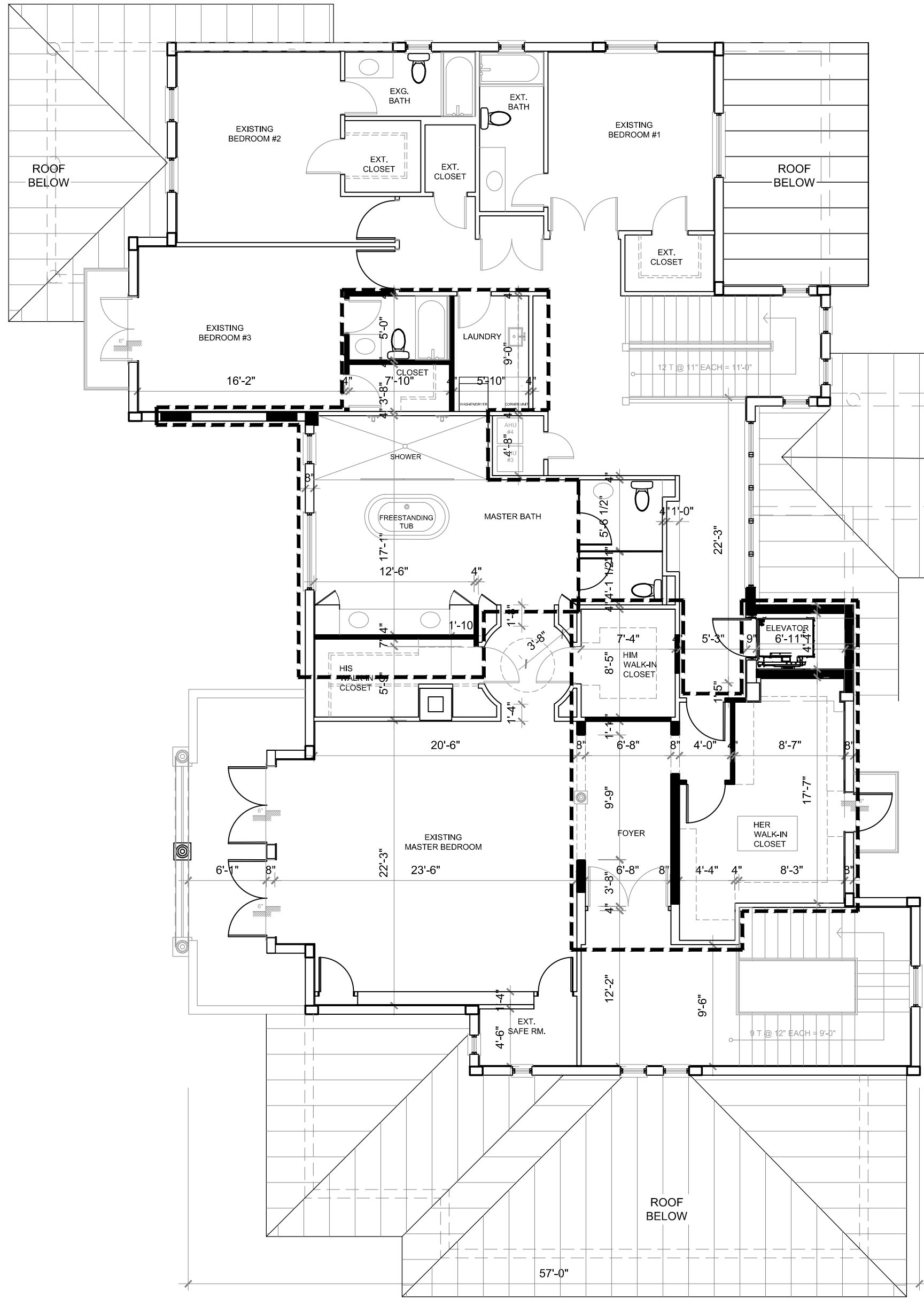
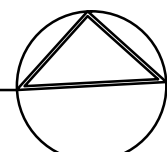
PROJECT /
SHEET TITLE

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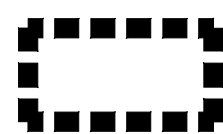
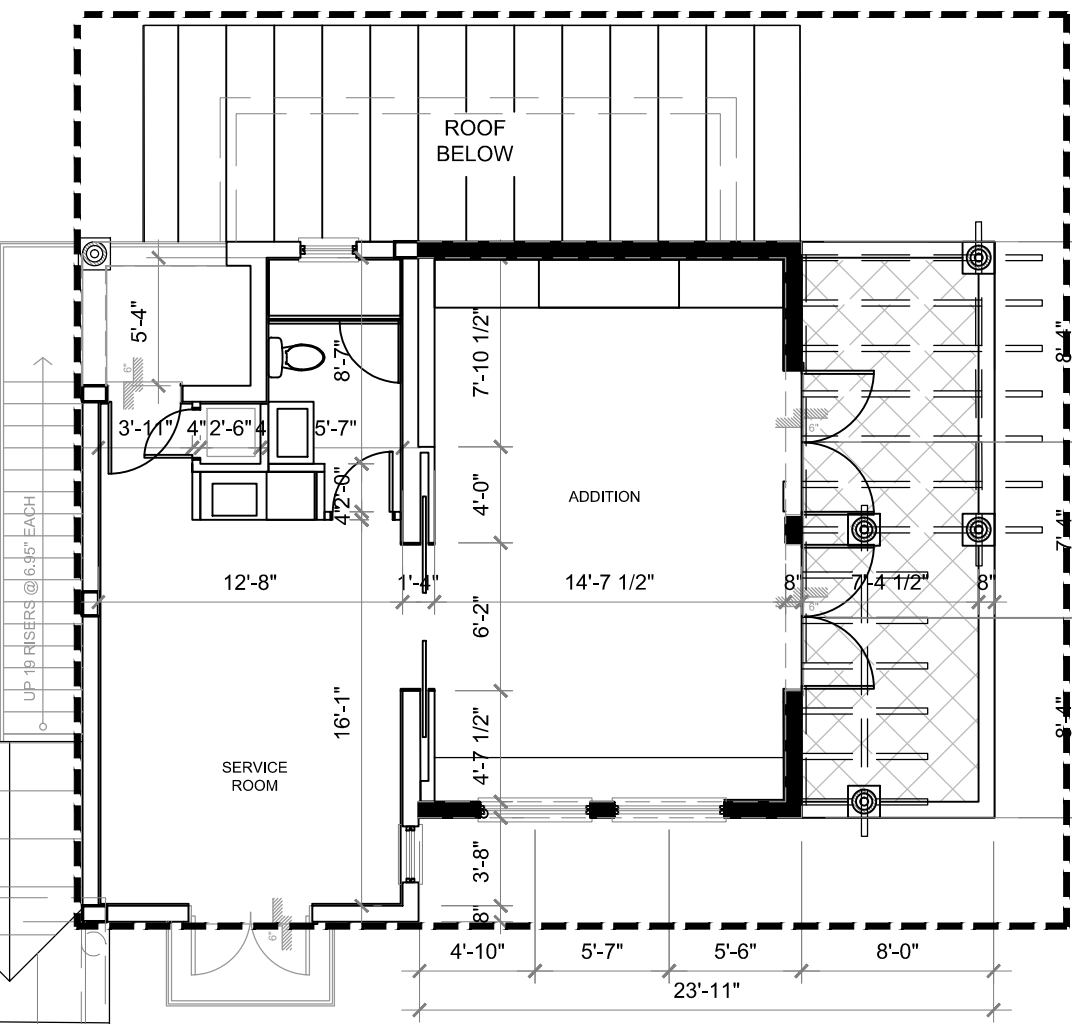
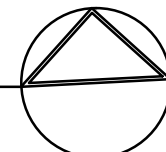
FIRST FLOOR PLAN-PROPOSED

SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN-PROPOSED

SCALE: 1/8" = 1'-0"



PROPOSED REMODELING



NEW WALLS

RESIDENCE

8860 Hammock Lake Ct.,
Coral Gables, FL 33156

PROPOSED FLOOR PLANS

LIC. AR8223

REVISIONS

NO.	DATE	DESCRIPTION

2021-GRO

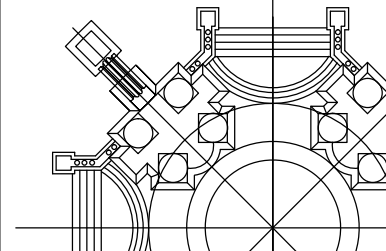
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CHECKED BY:	Z.J.
SCALE:	AS SHOWN

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A2.02

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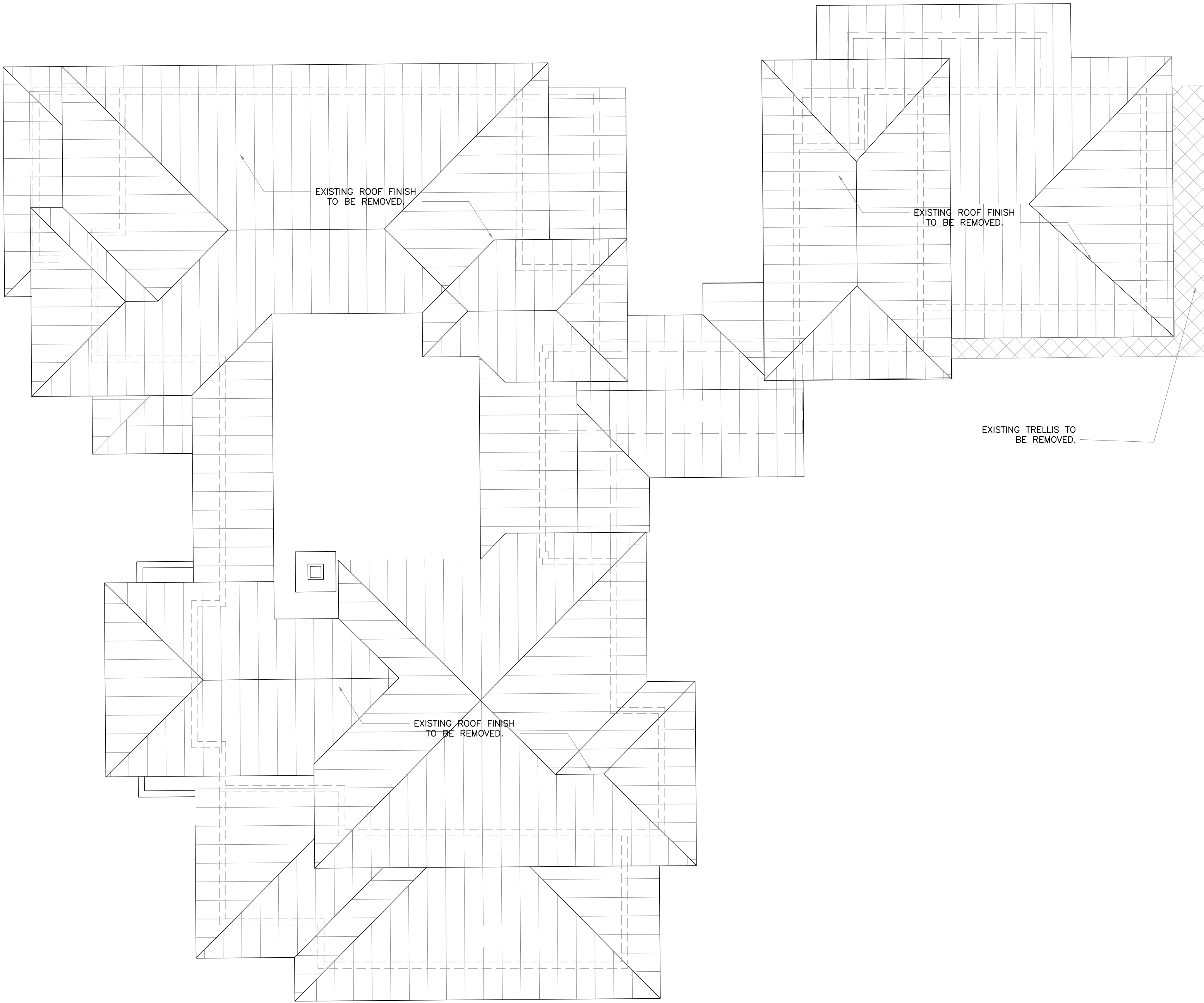
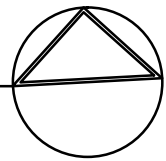
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SHEET TITLE

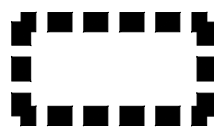
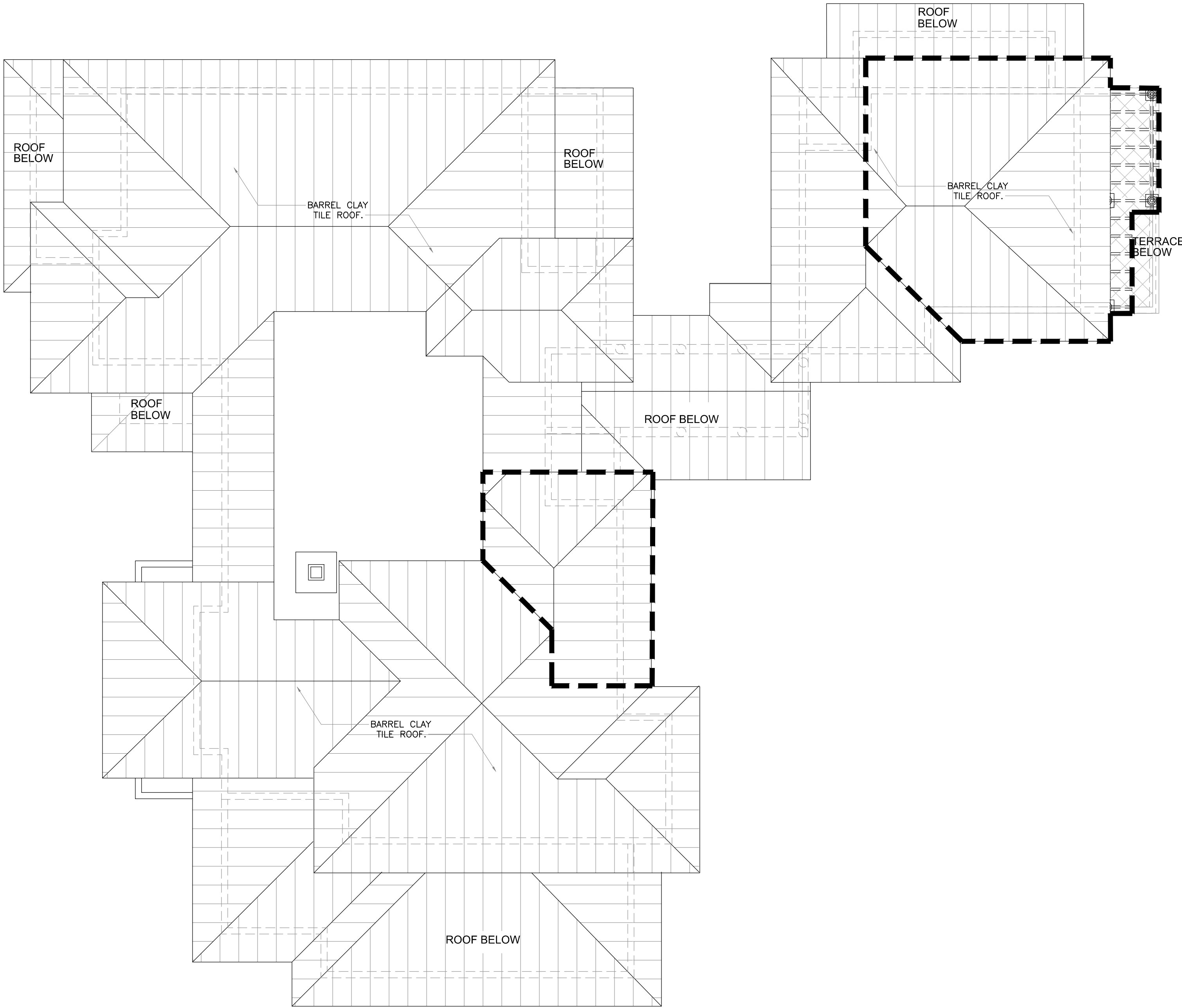
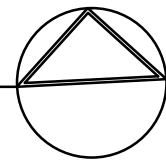
ROOF PLAN - EXISTING

SCALE: 1/8" = 1'-0"



ROOF PLAN - PROPOSED

SCALE: 1/8" = 1'-0"



PROPOSED REMODELING

RESIDENCE

8860 Hammock Lake Ct.,
Coral Gables, FL 33156

PROPOSED ROOF PLANS

LIC. AR8223

REVISIONS

NO.	DATE	DESCRIPTION

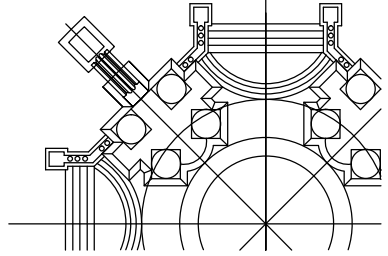
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CHECKED BY:	ZJ
SCALE:	AS SHOWN

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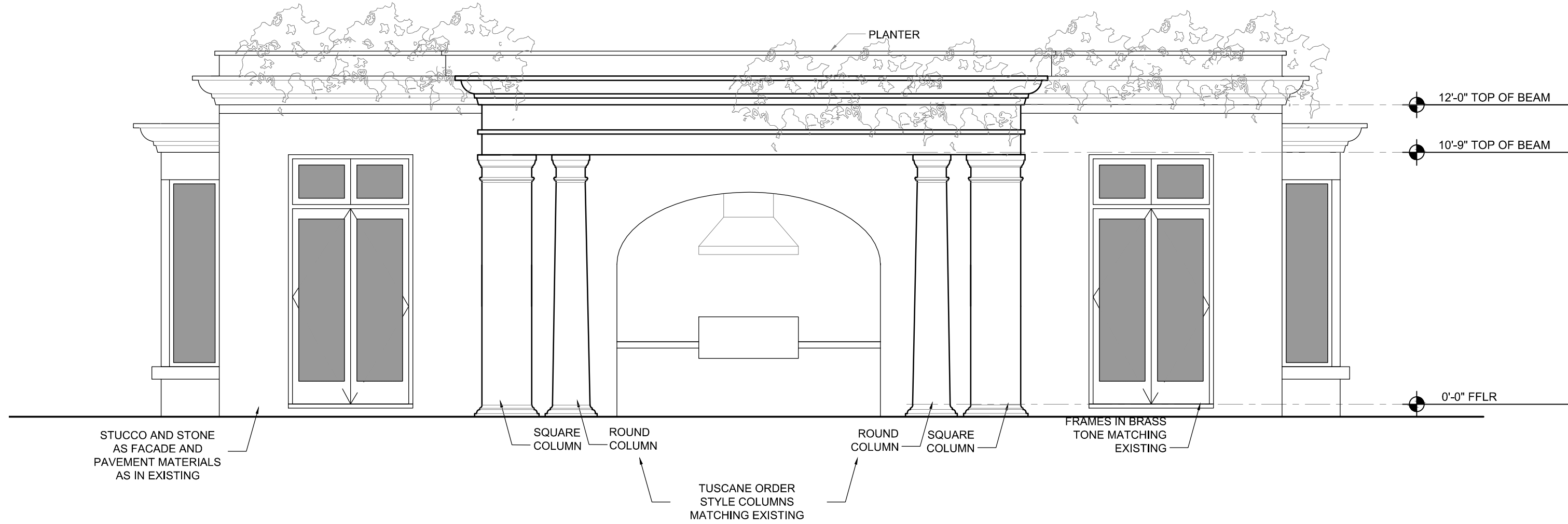
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PROJECT /
SHEET TITLE

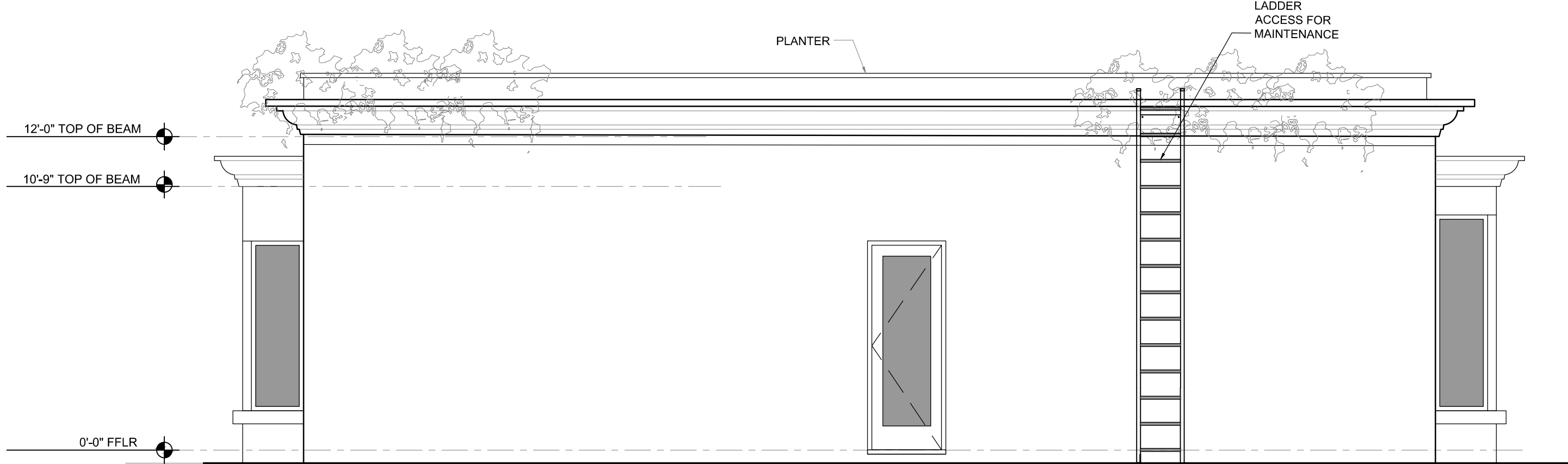
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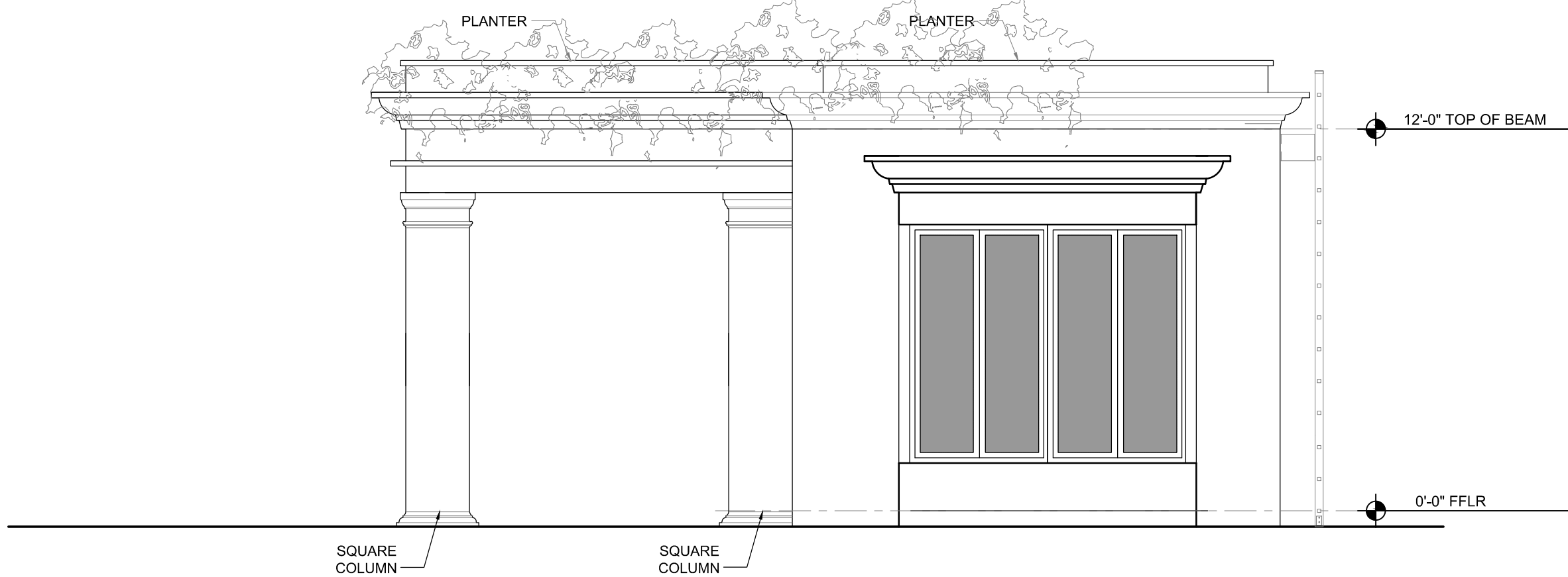
FRONT-NORTH ELEVATION

SCALE: 1/4" = 1'-0"



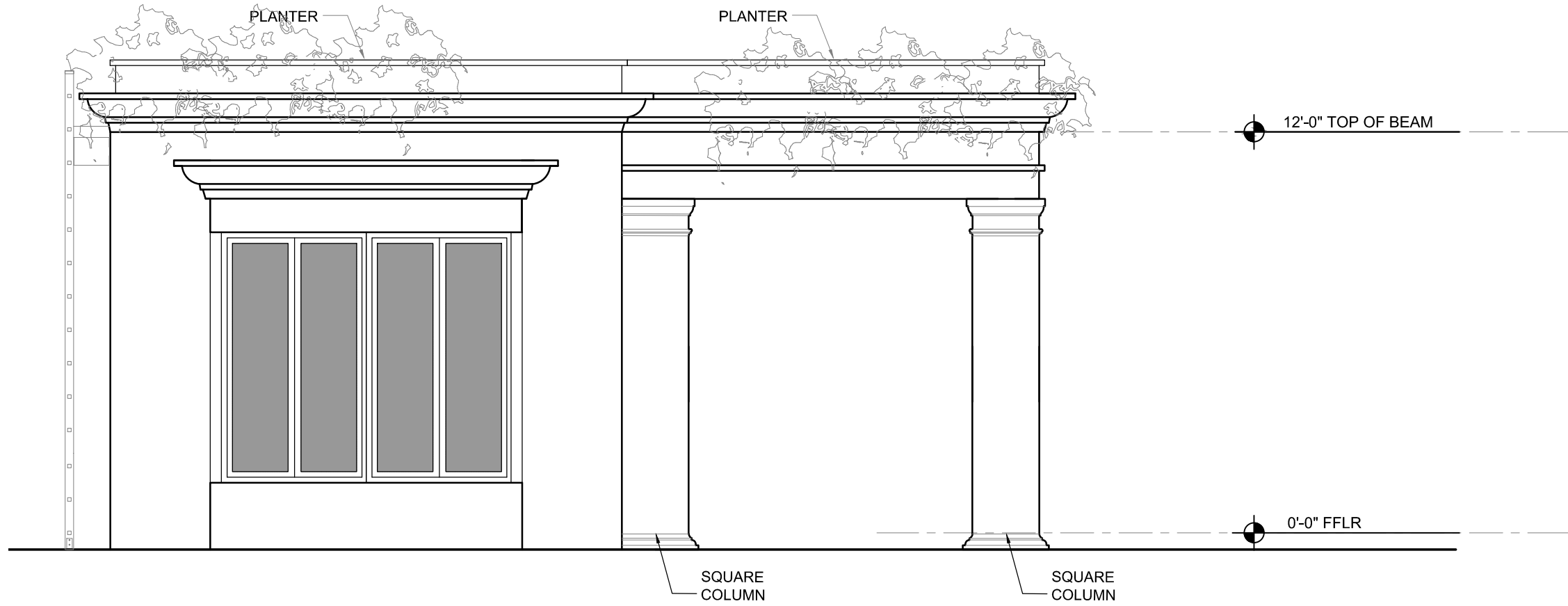
REAR-SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



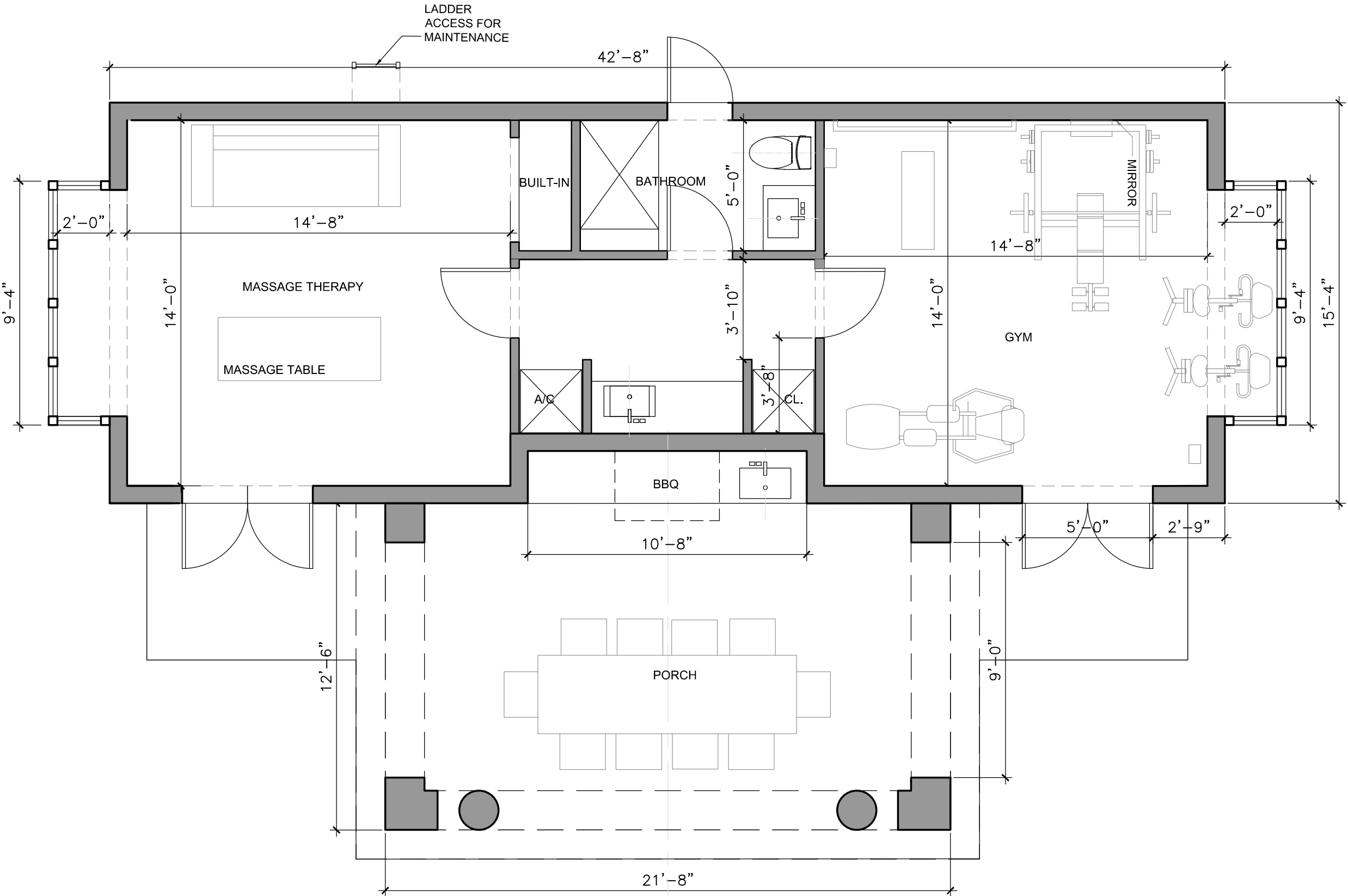
SIDE- WEST ELEVATION

SCALE: 1/4" = 1'-0"



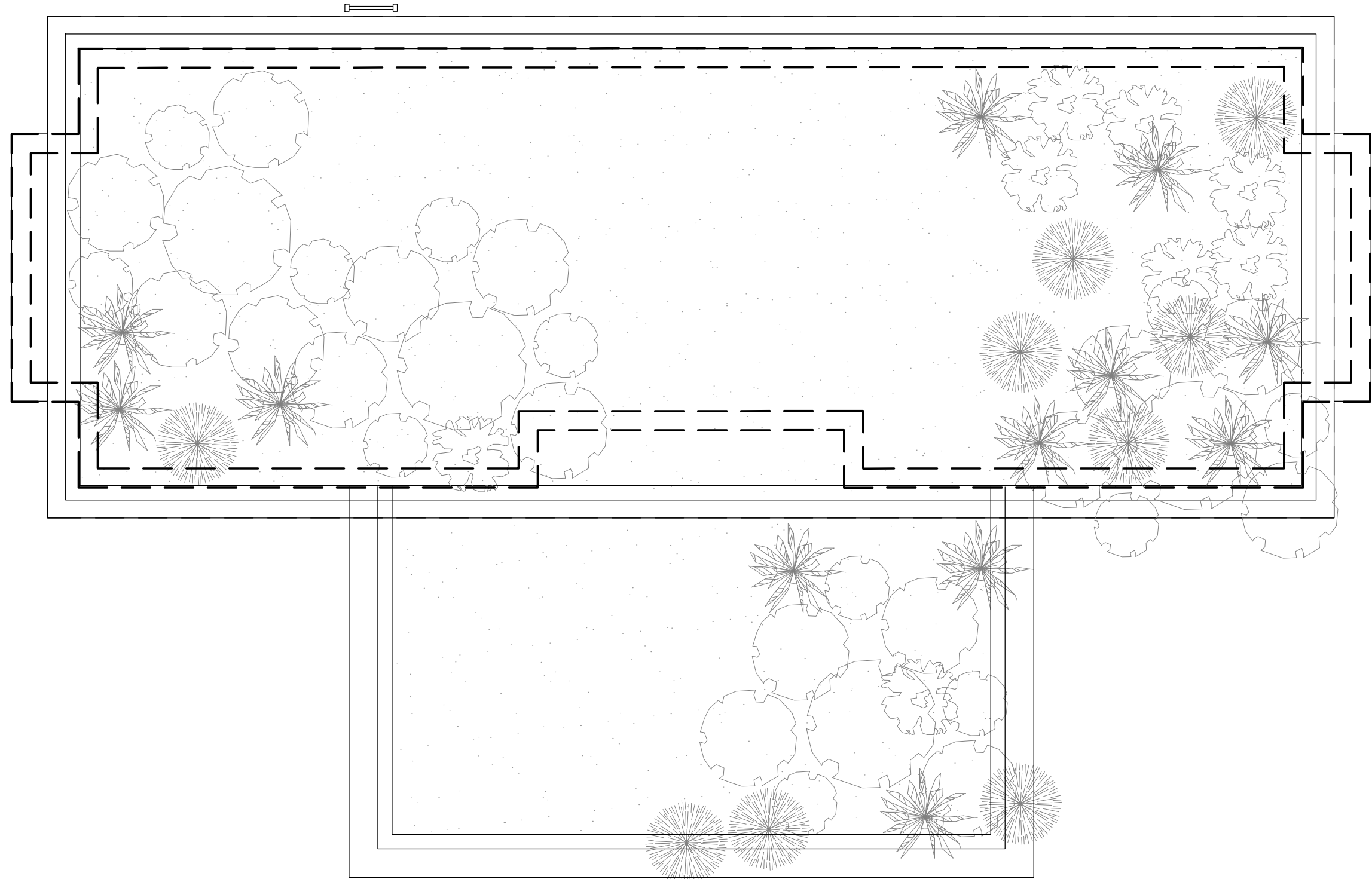
SIDE- EAST ELEVATION

SCALE: 1/4" = 1'-0"



FLOORPLAN

SCALE: 1/4" = 1'-0"



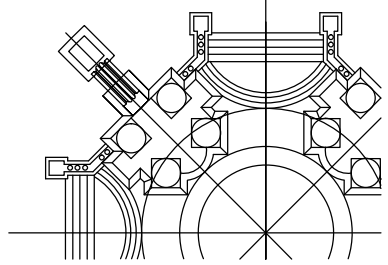
ROOF PLAN

SCALE: 1/4" = 1'-0"



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PROPOSED GYM/ MASSAGE THERAPY
FLOORPLANS, ELEVATIONS, IMAGES

RESIDENCE

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Coral Gables, FL 33156

LIC. AR8223

REVISIONS

NO.	DATE	DESCRIPTION
1	07/29/2021	COMMENTS

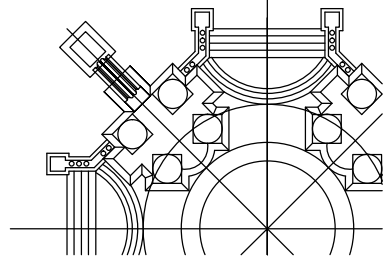
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Coral Gables, FL 33156
TRELLIS FLOOR PLANS
& ELEVATIONS.

LIC. AR8223

REVISIONS

NO.	DATE	DESCRIPTION

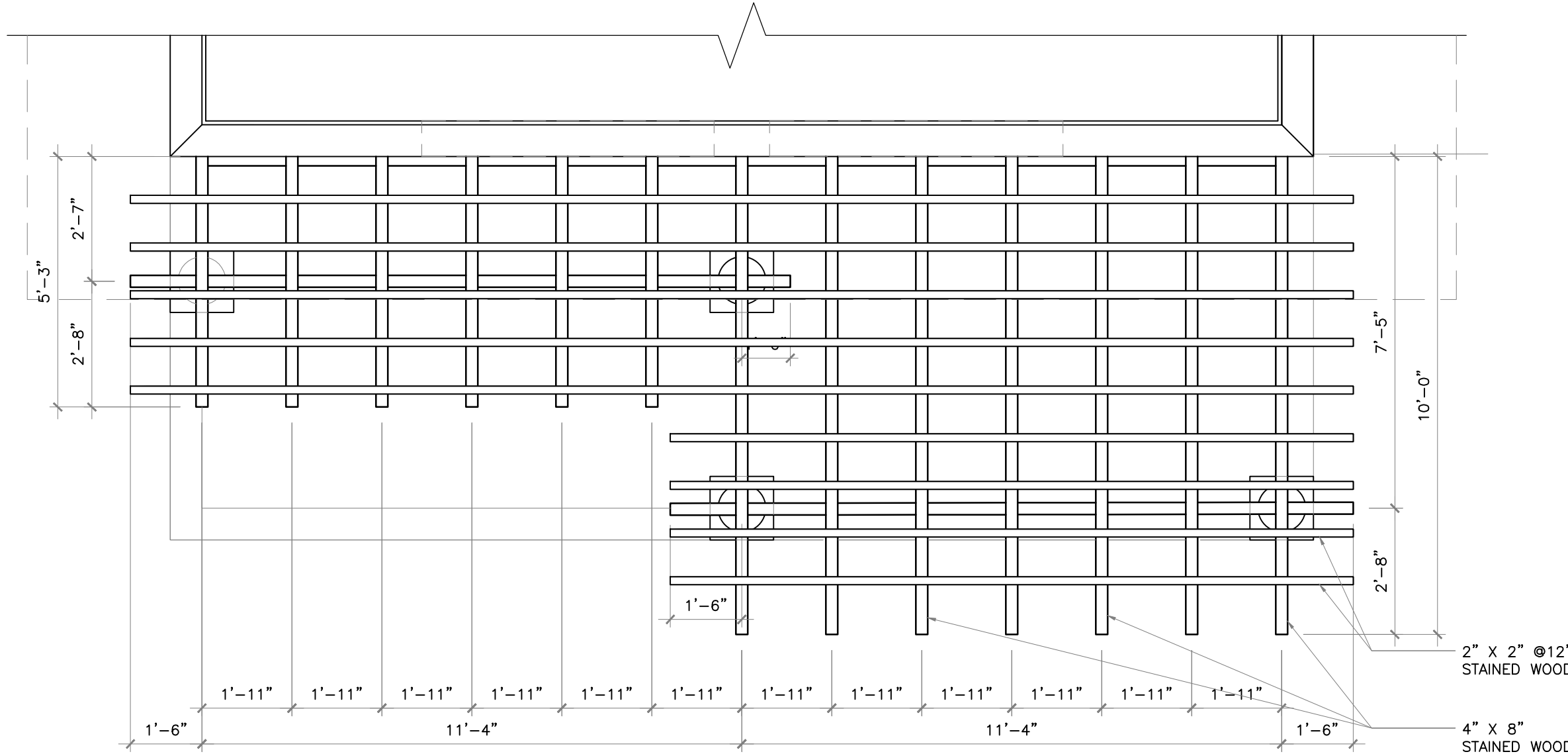
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SCALE: AS SHOWN

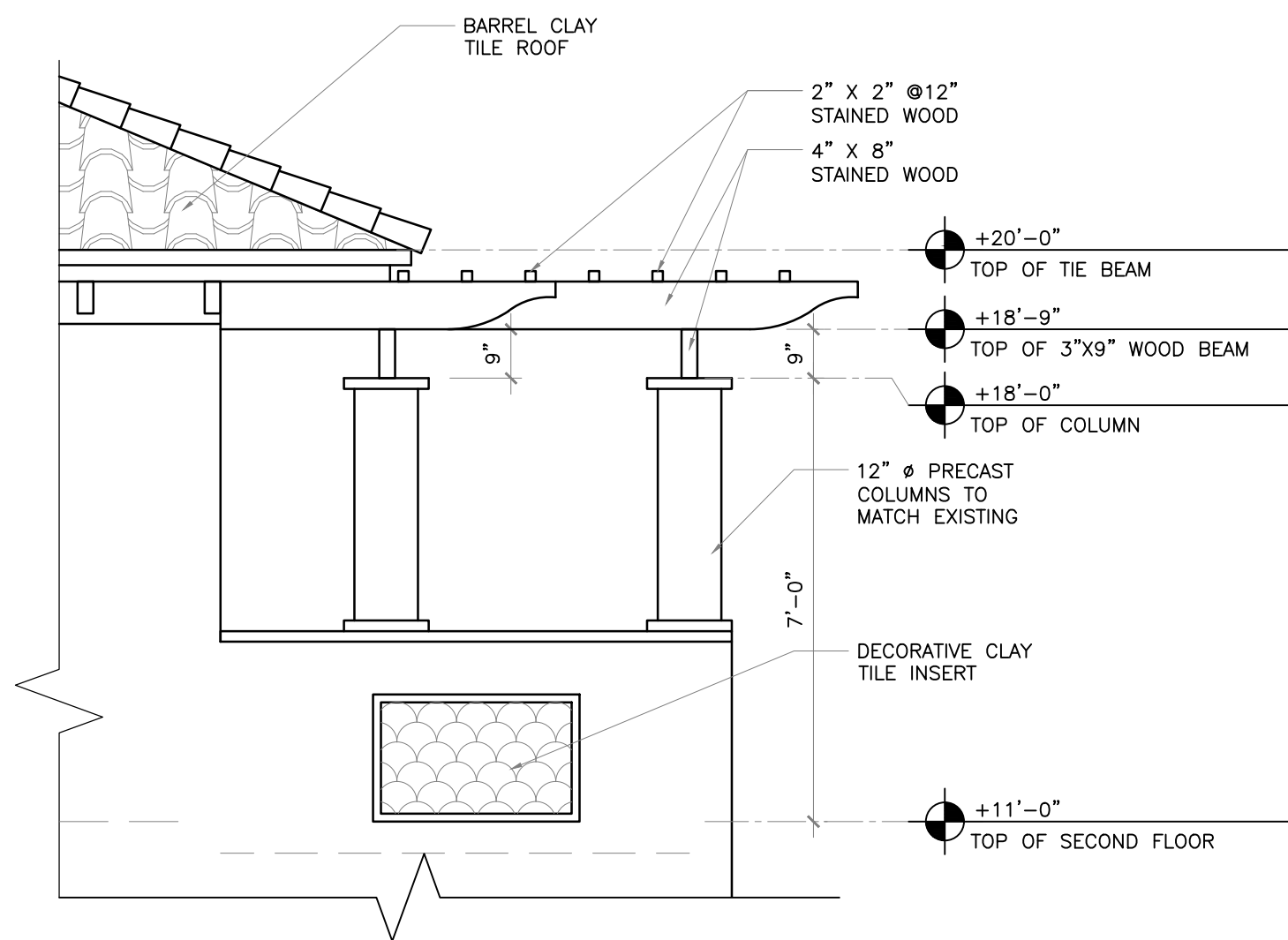
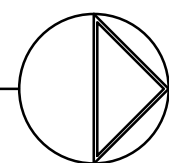
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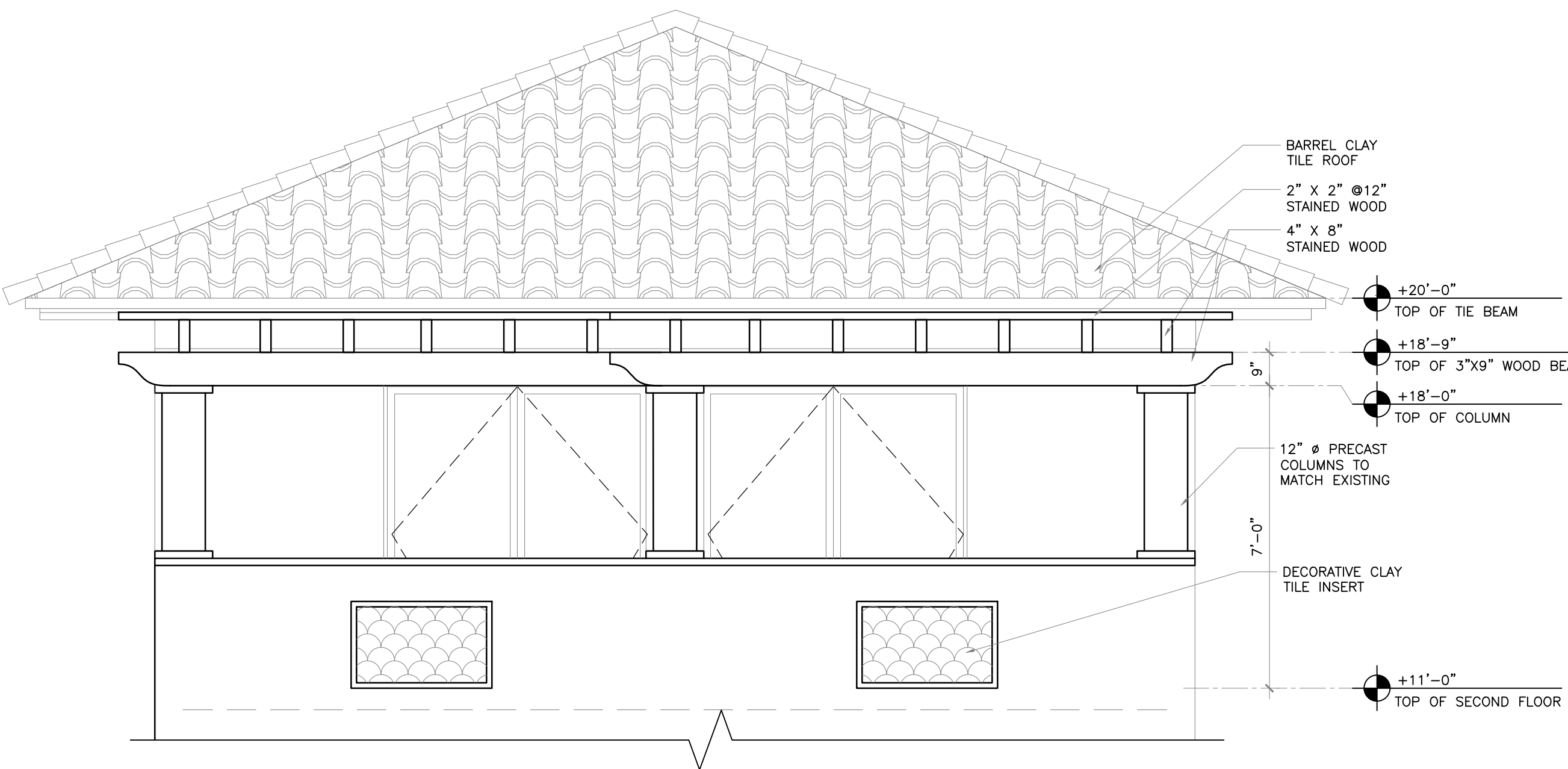
TRELLIS FLOOR PLAN

SCALE: 3/8" = 1'-0"



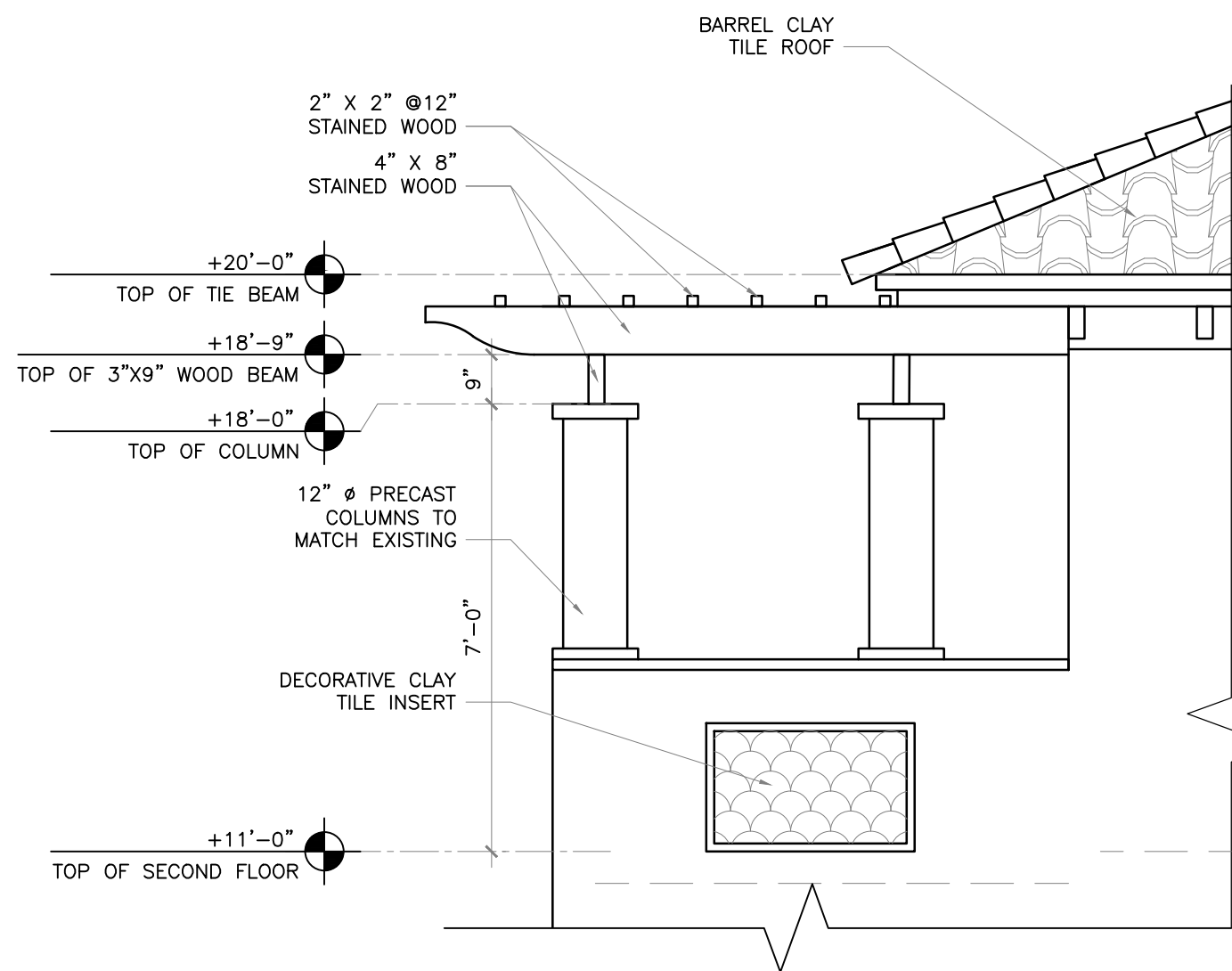
TRELLIS SIDE ELEVATION (SOUTH)

SCALE: 3/8" = 1'-0"



TRELLIS FRONT ELEVATION (EAST)

SCALE: 3/8" = 1'-0"

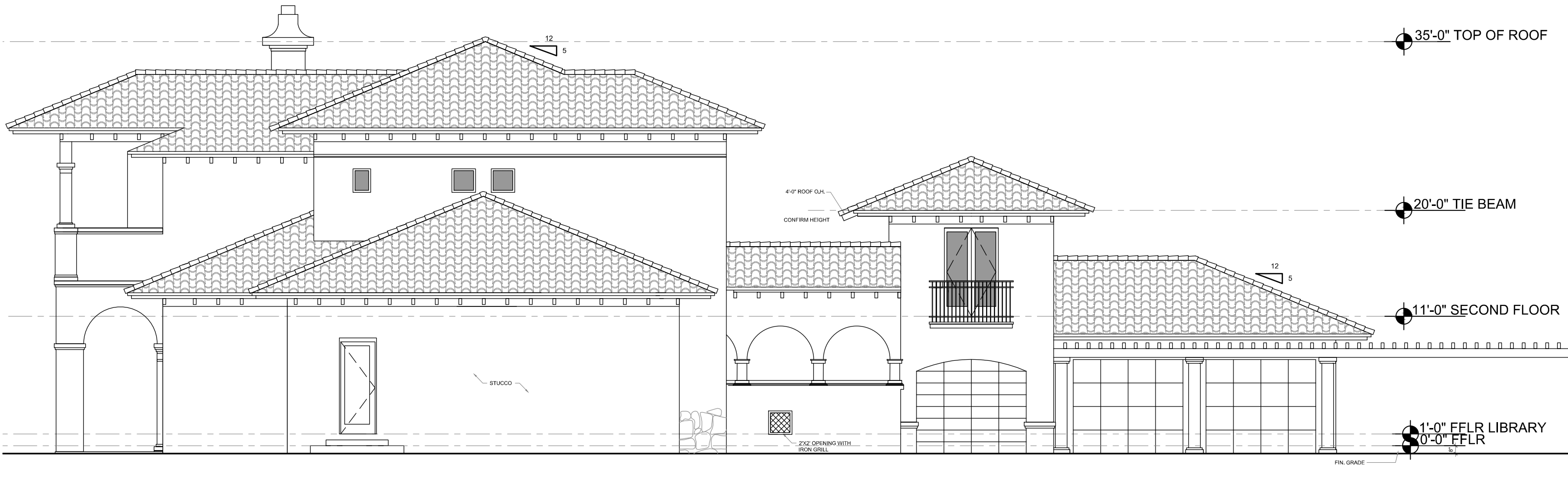


TRELLIS SIDE ELEVATION (NORTH)

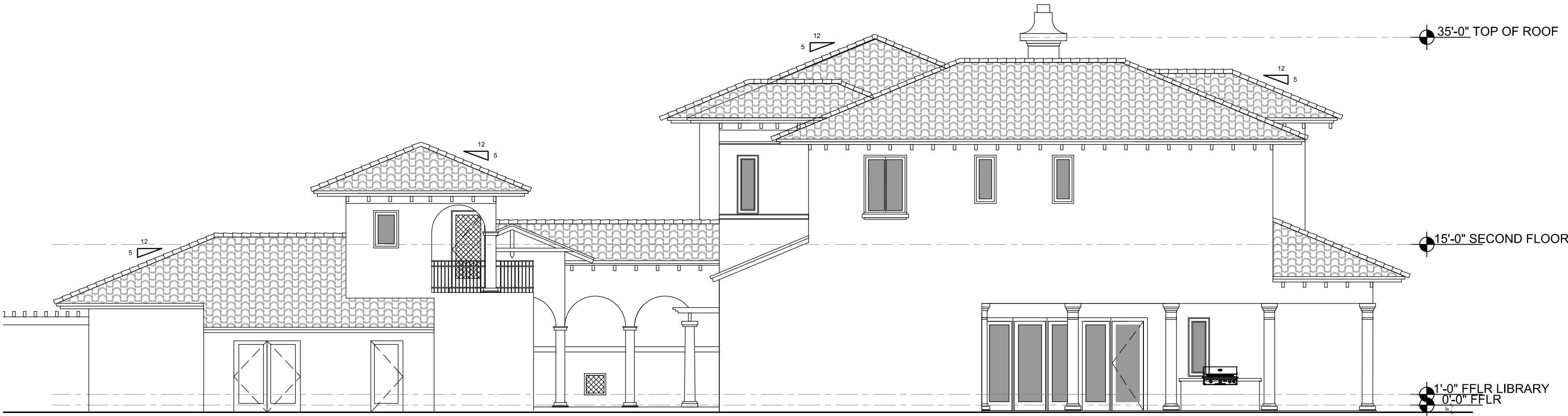
SCALE: 3/8" = 1'-0"



EXISTING REAR-WEST ELEVATION
SCALE: 1/8" = 1'-0"



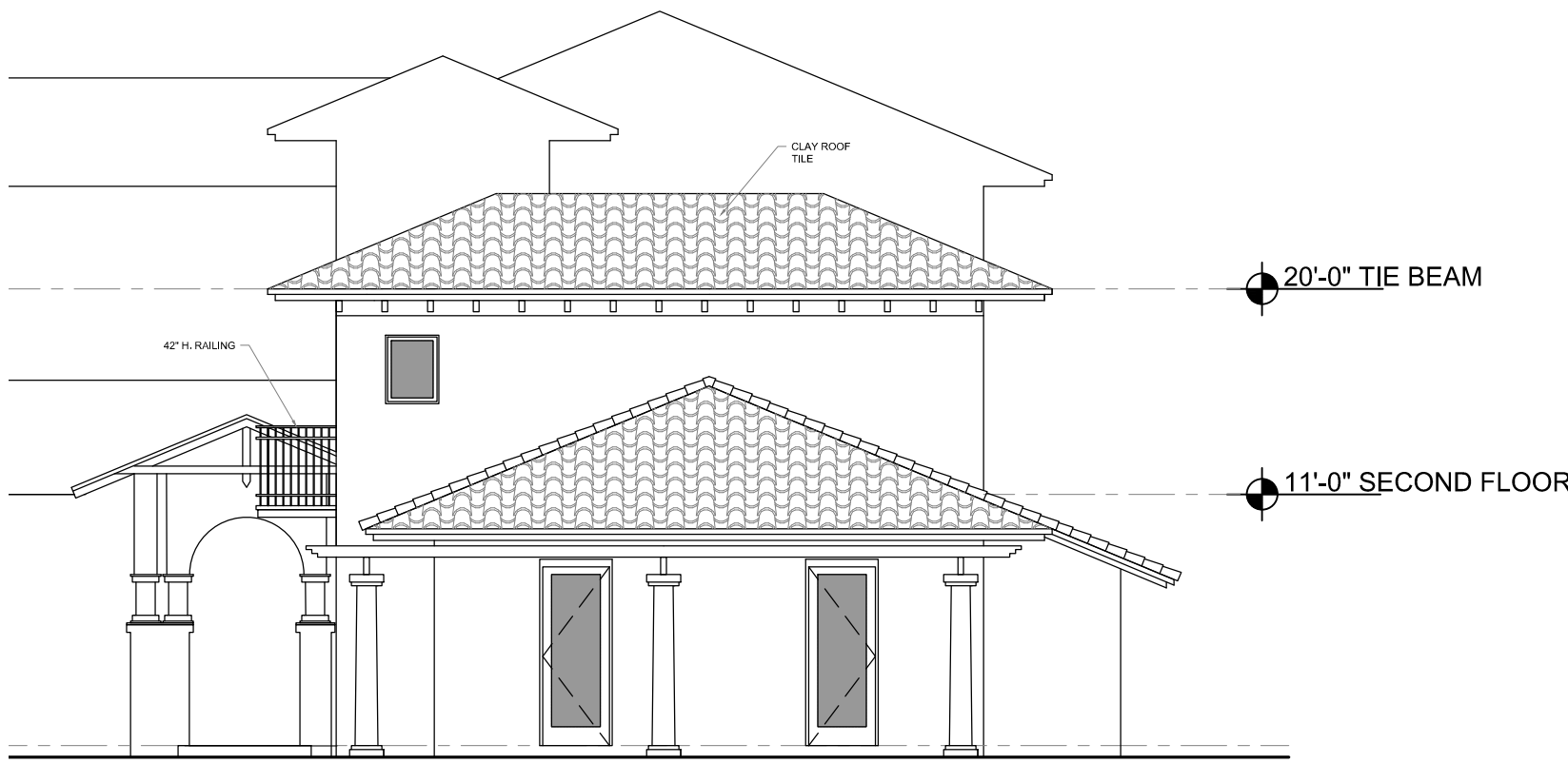
EXISTING SIDE-SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING SIDE-NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING FRONT-EAST ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING FRONT-EAST ELEVATION @ GARAGE
SCALE: 1/8" = 1'-0"

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EXISTING ELEVATIONS & IMAGES

LIC. AR8223

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DATE: May 15, 2021

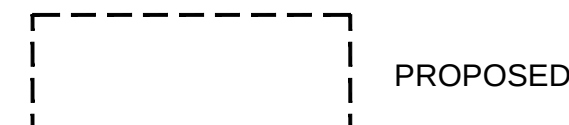
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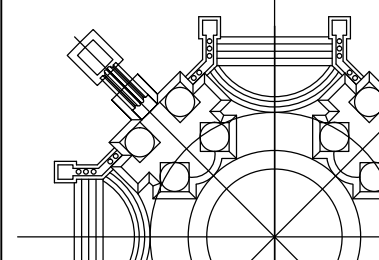
SCALE: AS SHOWN

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A3.01



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PROPOSED ELEVATIONS

LIC. AR8223

REVISIONS

[illegible]

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