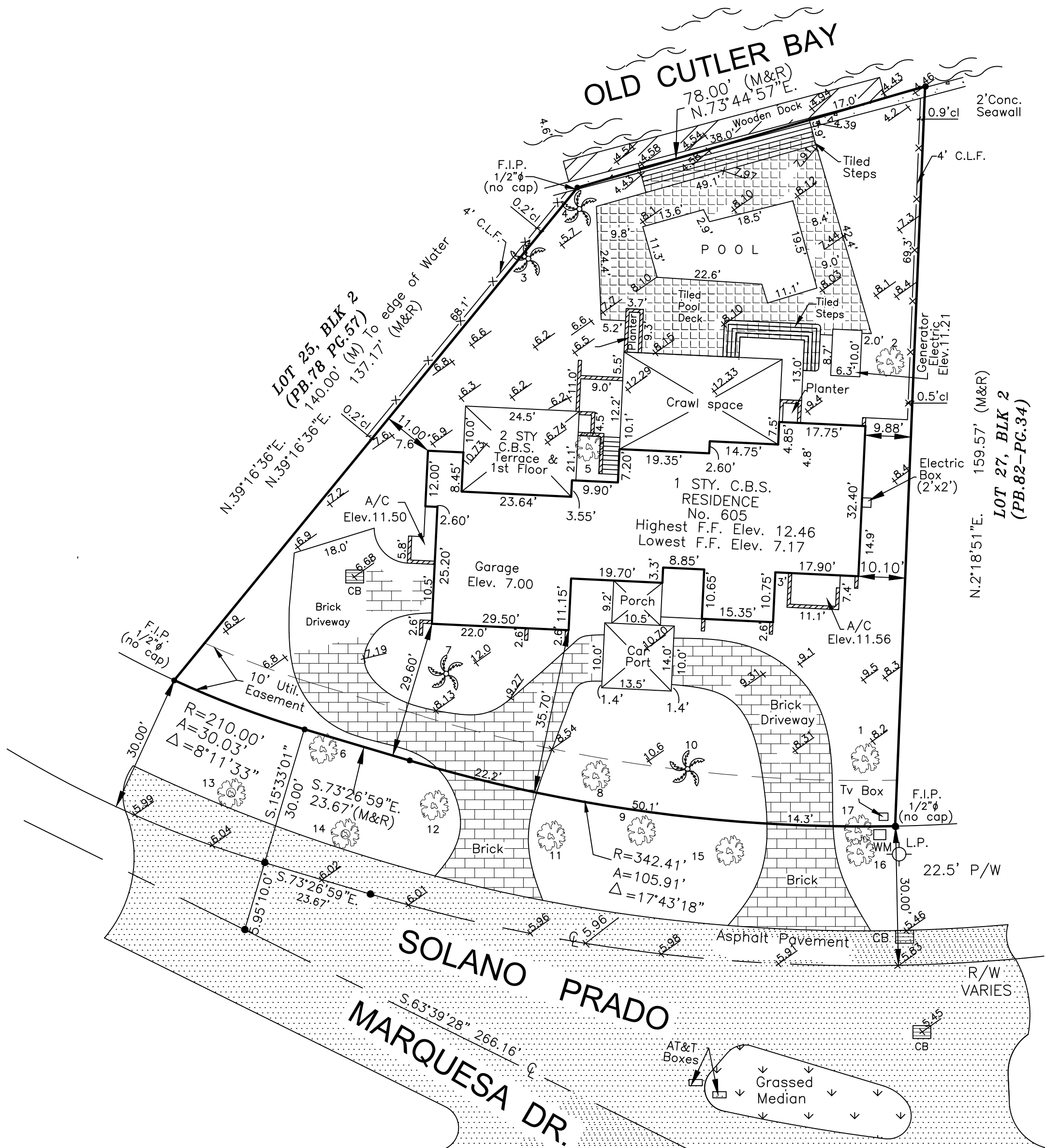


SKETCH OF BOUNDARY SURVEY

SCALE: 1" = 20'



No.	TREE NAME	BOTANICAL NAME	D.B.H.	HEIGHT	SPREAD
1	LIVE OAK	QUERCUS VIRGINIANA	2.0'	60'	60'
2	AUSTRALIA SILK OAK	GREVILLEA ROBUSTA	1.3'	30'	20'
3	MACARTHUR PALM	PTYCHOSPERMA MACARTHU	0.7'	50'	18'
4	MACARTHUR PALM	PTYCHOSPERMA MACARTHU	0.4'	25'	6'
5	UNKNOWN	UNKNOWN	0.4'	25'	12'
6	LIVE OAK	QUERCUS VIRGINIANA	0.4'	15'	10'
7	CHRISTMAS PALM	ADONIDIA MERRILLII	0.6'	20'	18'
8	LIVE OAK	QUERCUS VIRGINIANA	2.5'	50'	50'
9	LIVE OAK	QUERCUS VIRGINIANA	2.5'	40'	50'
10	MACARTHUR PALM	PTYCHOSPERMA MACARTHU	0.6'	25'	25'
11-12	UNKNOWN	UNKNOWN	0.5'	18'	12'
13-14	LIVE OAK	QUERCUS VIRGINIANA	0.4'	12'	12'
15-16	UNKNOWN	UNKNOWN	0.5'	18'	12'
17	LIVE OAK	QUERCUS VIRGINIANA	1.5'	25'	25'

LOCATION MAP

SCALE: NTS



SITE PICTURE



ABBREVIATION (IF ANY APPLIED)

A = CURVE
A/C = AIR CONDITIONING UNIT
ASPH. = ASPHALT
B.M. = BENCH MARK
B/COR = BLOCK CORNER
CALC(O) = CALCULATED
CB = CATCH BASIN
C.B.S. = CONCRETE BLOCK STRUCTURE
C. = CLEAR
CONC. = CONCRETE
D.M.E. = DRAINAGE MAINT. EASEMENT
ELEV. = ELEVATION
ENC. = ENCROACHMENT
F.D/H = FOUND DRILL HOLE
F.H. = FIRE HYDRANT
F.N/D = FOUND NAIL AND DISC
F.I.P. = FOUND IRON PIPE
F.S. = FOUND SPIKE
L.P. = LIGHT POLE
MEAS(O) = MEASURED
MH = MANHOLE
M = MONUMENT
NTS = NOT TO SCALE

P/W = PARAWAY
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
P.C. = POINT OF CURVATURE
P.I. = POINT OF INTERSECTION
P.L. = PROPERTY LINE
P.P. = POWER POLE
P.R.M. = PERMANENT REFERENCE MONUMENT
P.T. = POINT OF TANGENCY
RAD. = RADIAL
REC. (P) = RECORDED
RES. = RESIDENCE
R/W = RIGHT OF WAY
SEC. = SECTION
S.D/H = SET DRILL HOLE
S.N/D = SET NAIL AND DISC
S.I.P. = SET IRON PIPE
S.R.B. = SET REBAR
STY. = STORY
SWK. = SIDEWALK
T.O.P. = TOP OF BANK
U.E. = UTIL. EASEMENT
W.P. = WOODEN POLE
S = SECTION LINE

SURVEYOR'S LEGEND (IF ANY APPLIED)

BOUNDARY LINE
STRUCTURE (BLDG.)
CONCRETE BLOCK WALL
METAL FENCE
WOODEN FENCE
CHAIN LINK FENCE
WOOD DECK/DOCK
ASPHALTED AREAS
CONCRETE
BRICKS OR PAVERS
ROOFED AREAS
WATER (EDGE OF WATER)

CATCH BASIN
MANHOLE
OVERHEAD ELECT.
POWER POLE
LIGHT POLE
HANDICAP SPACE
FIRE HYDRANT
EASEMENT LINE
WATER VALVE
TV-CABLE BOX
WATER METER
CONC. LIGHT POLE

CERTIFIED TO :

RAMON GUEVARA
RAUL E. SALAS, P.A.
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
GIBRALTAR PRIVATE BANK AND TRUST COMPANY, ITS SUCCESSORS AND OR ASSIGNS.
A.T.I.M.A

SITE ADDRESS: 605 SOLANO PRADO, CORAL GABLES, FL. 33156

JOB NUMBER: 14-1235

DATE OF SURVEY: DECEMBER 17, 2014/ JUNE 25, 2017/ MARCH 23, 2021 (UPDATE)

FOLIO NUMBER: 03-5105-008-0010

JOB SPECIFIC SURVEYOR NOTES:

- THE PROPERTY DESCRIBED ON THIS SURVEY DOES LIE WITHIN A SPECIAL HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN A FLOOD ZONE "AE" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL No. **120639-0467L**, WITH AN EFFECTIVE DATE OF SEPTEMBER 09, 2009. **BASE FLOOD ELEVATION OF 11.00 FEET** (NGVD)
- LAND AREA OF SUBJECT PROPERTY: **16,380 SF (+/-)**
- ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929, AS PER MIAMI DADE COUNTY **BENCH MARK No. 529**, WITH AN ELEVATION OF **5.88 FEET**.
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUME MERIDIAN OF N.39°16'56"W., BEING THE RECORDED BEARING FOR THE CENTERLINE OF GALLARDO ST., AS SHOWN ON PLAT BOOK 82 AT PAGE 34 OF THE PUBLIC RECORD OF MIAMI DADE COUNTY FLORIDA.

GENERAL SURVEYOR NOTES:

NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

THE SHOWN LEGAL DESCRIPTION USED TO PERFORM THIS BOUNDARY SURVEY WAS PROVIDED BY THE CLIENT.

SURVEY IS BASED ON RECORDED INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY OUR OFFICE.

UNLESS OTHERWISE NOTED, AN EXAMINATION OF THE ABSTRACT OF TITLE WAS NOT DONE BY THE SIGNING SURVEYOR TO DETERMINE WHICH INSTRUMENTS, IF ANY ARE AFFECTING THE SUBJECT PROPERTY.

THIS SURVEY IS EXCLUSIVELY FOR THE USE OF THE PARTIES TO WHOM IT WAS CERTIFIED.

PURSUANT TO RULE 53-17 OF THE FLORIDA ADMINISTRATIVE CODE THE EXPECTED USE OF LAND IS SUBURBAN, THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATIONS OF CLOSED GEOMETRIC FIGURES WAS FOUND TO EXCEED THIS REQUIREMENT.

THERE ARE NO VISIBLE, ABOVE GROUND ENCROACHMENTS (a) BY THE IMPROVEMENTS OF THE SUBJECT PROPERTY UPON ADJOINING PROPERTIES, STREETS OR ALLEYS, OR (b) BY THE IMPROVEMENTS OF THE ADJOINING PROPERTIES, STREETS OR ALLEYS UPON THE SUBJECT PROPERTY OTHER THAN THOSE SHOWN ON THIS BOUNDARY SURVEY.

THERE ARE NO VISIBLE EASEMENTS OR RIGHT-OF-WAY OF WHICH THE UNDERSIGNED HAS BEEN ADVISED OTHER THAN THOSE SHOWN ON THIS SURVEY.

THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE SHOWN GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT. IN SOME CASES GRAPHIC REPRESENTATION HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE A PARTICULAR AREA WHERE DIMENSIONS SHALL HAVE PREFERENCE OVER GRAPHIC LOCATION.

THE ELEVATIONS (IF ANY) OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 1/10 FOOT FOR NATURAL GROUND SURFACES AND 1/100 FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENT, CURBS, SIDEWALKS AND OTHER MANMADE STRUCTURES.

THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

ANY FEMA FLOOD ZONE INFORMATION PROVIDED ON THIS SURVEY IS FOR INFORMATIONAL PURPOSE ONLY AND IT WAS OBTAINED AT WWW.FEMA.COM.

IF YOU ARE READING THIS BOUNDARY SURVEY IN AN ELECTRONIC FORMAT, THE INFORMATION CONTAINED ON THIS DOCUMENT IS ONLY VALID IF THIS DOCUMENT IS ELECTRONICALLY SIGNED AS SPECIFIED IN CHAPTER 53-17.062 (3) OF THE FLORIDA ADMINISTRATIVE CODE. IF THIS DOCUMENT IS IN PAPER FORMAT, IT IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE PROFESSIONAL LAND SURVEYOR AND MAPPER OF RECORD.

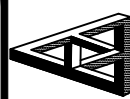
LEGAL DESCRIPTION:

LOT 26, BLOCK 2, OF OLD CUTLER BAY SECTION FOUR, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 82 AT PAGE 34, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

ENCROACHMENTS AND OTHER POINTS OF INTEREST:

- THERE ARE NO VISIBLE ENCROACHMENT OF THE SUBJECT PROPERTY
- THE SUBJECT PROPERTY IS WITHIN A FLOOD ZONE AE (SEE NOTE 1)
- THERE IS A 10' UTIL. EASEMENT ON THE FRONT OF THE SUBJECT PROPERTY

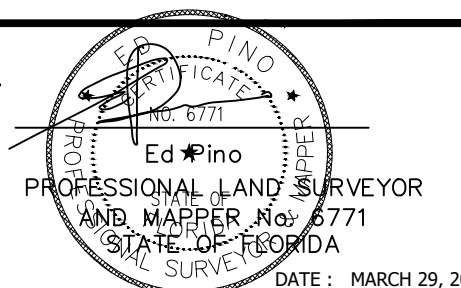
WE HEREBY CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHICAL SURVEY AND THE SURVEY MAP RESULTING THEREFROM WAS PERFORMED UNDER MY SUPERVISION AND/OR DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND FURTHER, THAT SAID "BOUNDARY AND TOPOGRAPHICAL SURVEY" MEETS THE INTENT OF THE APPLICABLE PROVISIONS OF THE "STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA", PURSUANT TO RULE 53-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, CHAPTER 472.027 FO THE FLORIDA STATUTES.



LB 6683

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CORAL GABLES, FL 33134
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635 SOLANO PRADO



625 SOLANO PRADO



640 SOLANO PRADO



595 SOLANO PRADO



595 SOLANO PRADO



565 SOLANO PRADO



535 SOLANO PRADO



630 SOLANO PRADO



610 MARQUESA DRIVE



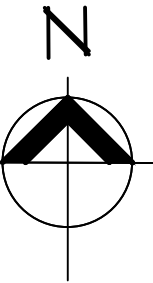
565 MARQUESA DRIVE

GALLARDO ST.

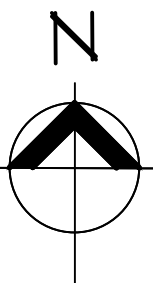
MARQUESA DR.

SOLANO PRADO

STREETSCAPE
SCALE : N.T.S.



LOCATION SKETCH
SCALE : N.T.S.





RENDERINGS ARE FOR REFERENCE ONLY, END RESULT MAY VARY ACCORDING TO CHANGES THAT MAY ARISE DURING THE DESIGN/CONSTRUCTION PROCESS.

**PROPOSED FRONT
ELEVATION**



RENDERINGS ARE FOR REFERENCE ONLY, END RESULT MAY VARY ACCORDING TO CHANGES THAT MAY ARISE DURING THE DESIGN/CONSTRUCTION PROCESS.

**PROPOSED FRONT
ELEVATION**



RENDERINGS ARE FOR REFERENCE ONLY, END RESULT MAY VARY ACCORDING TO CHANGES THAT MAY ARISE DURING THE DESIGN/CONSTRUCTION PROCESS.

**PROPOSED REAR
ELEVATION**



RENDERINGS ARE FOR REFERENCE ONLY, END RESULT MAY VARY ACCORDING TO CHANGES THAT MAY ARISE DURING THE DESIGN/CONSTRUCTION PROCESS.

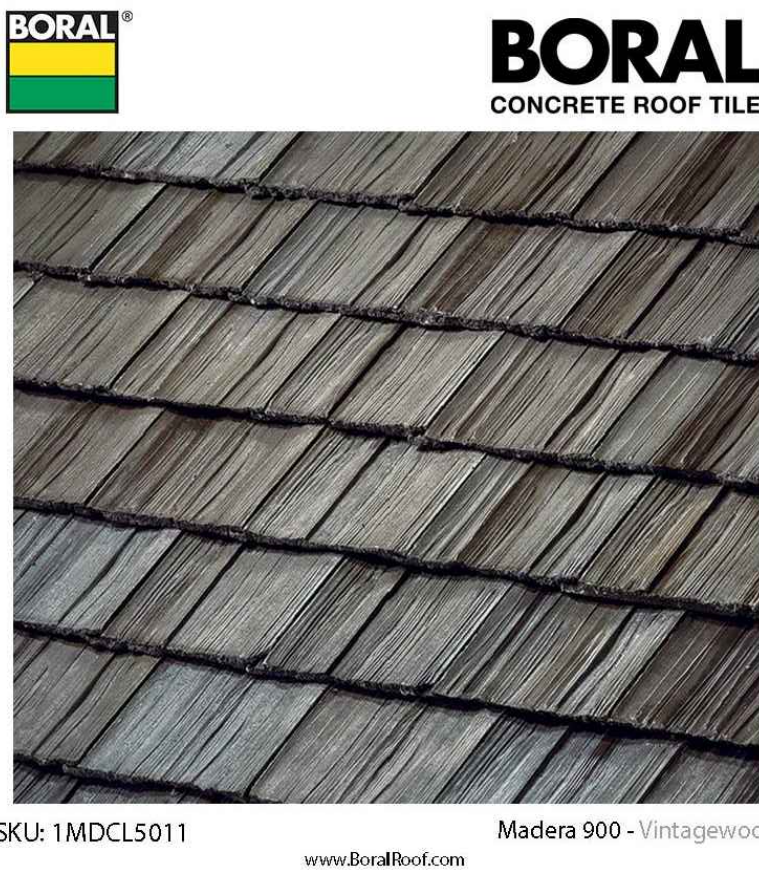
**PROPOSED REAR
ELEVATION**



LIMESTONE VENEER



FRONT DOOR COLOR



ROOF TILE



DRIVEWAY



HOUSE COLOR



SHUTTER COLOR

ANTONIO E. RODRIGUEZ
CAD Studio Architecture
L.L.C. No. A093309
4808 S.W. 72 AVENUE, MIAMI, FL 33155
T: (305) 602-1008

RESIDENCE FOR :
605 SOLANO PRADO
CORAL GABLES, FLORIDA

OWNER:
MR. JOSE MUÑOZ

DATE: 08/5/21
ISSUED: XX
DRAWN: AR
CHECKED: AR
PROJECT NO.:

SHEET:
STREETSCAPE



RENDERINGS ARE FOR REFERENCE ONLY, END RESULT MAY VARY ACCORDING TO CHANGES THAT MAY ARISE DURING THE DESIGN/CONSTRUCTION PROCESS.

NEW RESIDENCE FOR:

605 SOLANO PRADO

GENERAL NOTES :

1. CONCRETE SHALL HAVE 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE NOTED (UON).
2. ALL REINFORCING STEEL SHALL BE DEFORMED BARS, AND SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI GRADE 60, AND MEET ASTM A-4618 SPEC.
3. ALL STRUCTURAL STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 36,000 PSI, AND MEET ASTM A-36 SPEC.
4. ALL DETAILING, FABRICATION AND PLACING OF REINFORCING BARS MUST FOLLOW THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES, UON.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE BEFORE STARTING WORK. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
6. STRUCTURAL DRAWINGS SHALL COORDINATED TOGETHER WITH ARCHITECTURAL, A/C, ELECTRICAL AND MECHANICAL DWGS, TO LOCATE OPENINGS, DRAINS, SLEEVES, SLOPES, DEPRESSIONED SLABS, BOLTS, CURBS, ETC.
7. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI-318 'SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS'
8. REMOVAL OF FORMWORK SHALL BE IN ACCORDANCE WITH ACI-347 'RECOMMENDED PRACTICE FOR CONCRETE FORMWORK'
9. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ARCHITECT/ENGINEER'S APPROVAL.
10. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN.
11. REBARS SHOWN ON SECTIONS ARE FOR PLACEMENT DETAIL ONLY, SIZE AND AMOUNT OF REBARS ARE AS PER SCHEDULES.
12. CONTRACTOR SHALL OBTAIN LATEST SET OF DRAWINGS, INCLUDING ANY REVISIONS, BEFORE STARTING CONSTRUCTION.
13. DO NOT SUBSTITUTE MATERIALS, EQUIPMENT, OR METHODS OF CONSTRUCTION UNLESS SUCH SUBSTITUTIONS OR CHANGES HAVE BEEN APPROVED IN WRITING BY THE OWNER / ARCHITECT / ENGINEER.
14. THIS OFFICE DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE INTERPRETATION OF THESE PLANS BY OTHERS, UNLESS REQUESTED IN WRITING, AND IT IS GIVEN THE AUTHORITY TO CHECK AND APPROVE SHOP DRAWINGS, AND TO VERIFY THE ACTUAL PLACING OF REBARS IN THE FIELD.
15. ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF LOCAL ORDINANCES AND THE 'FLORIDA BUILDING CODE', CURRENT EDITION.
16. WINDOW MANUFACTURER TO VERIFY ALL WINDOW OPENINGS AT FIELD PRIOR TO WINDOW PLACEMENT.
17. NO TIE BEAMS SHALL BE FORMED / POURED PRIOR TO TRUSS SHOP DRAWINGS APPROVAL.
18. ARCHITECT / ENGINEER'S VISITS AT THE SITE DURING CONSTRUCTION SHALL BE SCHEDULED WITH CONTRACTOR BEFORE COMMENCING OF WORK AND DURING CONSTRUCTION SHALL BE COORDINATED WITHIN 24 HOURS IN ADVANCE PRIOR TO INSPECTION.
19. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY ITEMS PURCHASED BY THE OWNER AND GIVEN TO THE CONTRACTOR FOR INSTALLATION.
20. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL SERVICES OR EXTRA WORK WITHOUT PRIOR NOTIFICATION TO THE OWNER FOLLOWED BY A CHANGE ORDER.
21. THE CONTRACTOR SHALL MAKE REQUIRED ARRANGEMENTS, SECURE AND PAY FOR ALL SANITARY FACILITIES, BARRICADES, ENCLOSURES, AND FENCING AS NEEDED FOR AND DURING THE PROGRESS OF CONSTRUCTION. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES.
22. THE ARCHITECT / INTERIOR DESIGNER / OWNER HAS THE RIGHT TO REFUSE ANY MATERIAL AND WORKSMANSHIP THAT DOES NOT MEET HIGHEST QUALITY STANDARDS OF THE VARIOUS TRADES INVOLVED.
23. THE CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF CHANGE ORDERS AND VARIATIONS THROUGHOUT THE PROGRESS OF THE WORK. USE ONE SET OF DOCUMENTS EXCLUSIVELY FOR THIS JOB.
24. THE CONTRACTOR SHALL DELIVER THE ANNOTATED JOB RECORD SET TO THE OWNER UPON COMPLETION OF THE WORK AS A CONDITION OF ACCEPTANCE.
25. CLEANING AND DEBRIS REMOVAL. THE OWNER SHALL RECEIVE THE PROPERTY FREE FROM DUST, ALL GLASS SURFACES SHALL BE CLEAN AND DEBRIS SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL MAINTAIN THE FLOOR CLEAN DURING CONSTRUCTION PROGRESS. LEFTOVERS FROM MEALS CONSUMED ON PREMISES SHALL BE DEPOSITED IN SEALED CONTAINERS. THE CONTRACTOR SHALL CLEAN SITE ONCE PER WEEK TO THE OWNER'S SATISFACTION.
26. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION, AND FOR THE SEQUENCES AND PROCEDURES TO BE USED.
27. FOR BURGLARY INTRUSION NOTES REFER TO 'METROPOLITAN DADE COUNTY CODE', SECTION 8C/18.
28. THE ARCHITECTURAL AND STRUCTURAL DRAWINGS SHALL GOVERN THE LOCATIONS OF THE INSTALLATIONS OF THE MECHANICAL AND ELECTRICAL SYSTEM. CONTRACTOR MUST INFORM THE ARCHITECT BEFORE FORMING ANY CONCRETE BEAM IF INTERFERING WITH A/C DUCT OR PLUMBING FIXTURES EXACT LOCATION, ANY DEVIATION FROM THE MECHANICAL / ELECTRICAL PLANS TO ACCOMMODATE THE ABOVE CONDITIONS SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER.
29. THE CONTRACTOR SHALL PRODUCE, BY MEANS OF SHOP DRAWINGS, ALL ADDITIONAL DETAILS WHICH ARE INFERRABLE FROM THESE PLANS AND WHICH ARE NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK. ALL SHOP DRAWINGS ARE TO BE APPROVED BY THE ARCHITECT BEFORE THE WORK COMMENCES.
30. THE CONTRACTOR MUST FURNISH ALL LABOR, TOOLS, MATERIALS AND EQUIPMENT NECESSARY TO EXECUTE THE CONSTRUCTION OF THIS JOB.
31. UPON ACCEPTANCE AS SUBSTANTIALLY COMPLETE, THE ARCHITECT SHALL ISSUE THE CONTRACTOR A 'PUNCHLIST', INDICATING THE OBSERVED DEFICIENCIES IN THE WORK. THE CONTRACTOR SHALL MAKE SUCH CORRECTIONS AND ACHIEVE FINAL COMPLETION WITHIN 14 CALENDAR WORKING DAYS.
32. CONTRACTOR TO VERIFY THAT THERE ARE NO PERTINENT FEATURES ON THE ADJACENT PROPERTIES AND ACROSS THE STREET THAT MAY AFFECT THE ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM INSTALLATION.
33. THE CONTRACTOR SHALL INCLUDE IN HIS BID, THE COST OF THE FOLLOWING ADDITIONAL LABOR AND MATERIALS. THESE MATERIALS AND WORK SHALL BE USED FOR EXTRA WORK PERFORMED IN THE FIELD AT THE DIRECTION OF THE ARCHITECT OR ENGINEER. UNUSED PORTIONS SHALL BE CREDITED TO THE OWNER AT COMPLETION OF THE PROJECT:
 - 1 TON OF STRUCTURAL STEEL, INCLUDING FABRICATION AND PLACING.
 - 2 TONS OF REINFORCING STEEL, INCLUDING FABRICATION, BENDING AND PLACING.
 - 10 CUBIC YARDS OF 5000 PSI CONCRETE INCLUDING FORMING, PLACING AND FINISHING.
 - 10,000 LB FOR EXTRA LABOR PLUS MATERIALS, RELATED STUCCO WORK, PARTITIONS, DRYWALL AND GENERAL CARPENTRY.

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SECURITY AND FORCE ENTRY PREVENTION

1. PROVIDE INTRUSION AND BURGLARY SECURITY DEVICES AS SET FORTH IN THE FLORIDA BUILDING CODE, CURRENT EDITION.
2. ALL LOCKS ON EXTERIOR DOORS SHALL BE CAPABLE OF RESISTING A FORCE OF 300 LB. APPLIED IN ANY MOVEABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN THE FLORIDA BUILDING CODE, CURRENT EDITION.
3. ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEY OPERATED FROM THE EXTERIOR WITH A MINIMUM OF 6,000 POSSIBLE KEY CHANGES OR LOCKING-AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT INSERTS.
4. THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF SHALL HAVE MULTIPLE POINTS OF LOCKS WITH 5/16" MIN. THROUGH BOLTS WITH INSERTS.
5. JAMBS OF ALL EXTERIOR OFFSET TYPE IN SWING DOORS SHALL BE SUBMITTED OR OF SIMILAR FABRICATION TO PREVENT DEFEATING THE PURPOSE OF THE STRIKE AND THE INTEGRITY OF THE LOCKS AND LATCHES.
6. HINGES ON EXTERIOR OUT SWINGING DOORS SHALL HAVE NON REMOVABLE PINs AND NON-EXPOSED SCREWS.
7. GLASS AND EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE'S STANDARD 291.1.
8. VISION PANEL EXTERIOR DOORS OTHER THAN GLAZING WITHIN 40" OF THE INSIDE LOCKING ACTIVATING DEVICE OF LOOSE AND SWING DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARD INSTITUTE'S STANDARD 291.1.
9. WINDOWS SHALL BE INSTALLED AND CONSTRUCTED SO THAT NO PANEL CAN BE LIFTED FROM THE TRACKS WHEN IN THE LOCKED POSITION AND SO AS TO COMPLY WITH THE ARCHITECTURAL ALUMINUM MANUFACTURERS ASSOCIATION STANDARDS FOR FORCE ENTRY RESISTANCE. AAMA 19033 PROVIDE LOCKS AS PER SFGC 36032(A) (B) 2(AA) AND (C) EXTERIOR WINDOW SHALL BE LOCKED WITH DEVICE CAPABLE OF WITHSTANDING A FORCE OF 150 LB. APPLIED IN AN OPERABLE DIRECTION.
10. FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A DOOR SCOPE OR VISION PANELS.

DOOR NOTES COMPONENTS OF MEANS OF ESCAPE

- A. NO DOOR IN THE PATH OF MEANS OF ESCAPE SHALL BE LESS THAN 28" WIDE EXCEPT THAT BATHROOM DOORS MAY BE 24" WIDE UNLESS A LARGER DOOR OPENING IS REQUIRED TO SATISFY REQUIREMENTS OF THE FLORIDA BUILDING CODE.
- B. EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET.
- C. EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO ALLOW THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.
- D. DOORS MAY BE SWINGING OR SLIDING AND ARE EXEMPT FROM THE REQUIREMENTS OF THE FLORIDA BUILDING CODE.
- E. NO DOOR IN ANY MEANS OF ESCAPE SHALL BE LOCKED AGAINST EGRESS WHEN THE BUILDING IS OCCUPIED. ALL LOCKING DEVICES WHICH IMPEDE OR PROHIBIT EGRESS OR WHICH CANNOT BE EASILY DISENGAGED SHALL BE PROHIBITED.

ALL WOOD IN CONTACT WITH CONCRETE OR CMU TO BE PRESSURE-TREATED AS PER F.B.C. 2020.
ALL PRECAST ELEMENTS TO BE ATTACHED W/ 1/4" DIA. TAPCONS W/ 1/2" PENETRATION INTO CONC. # 6" O.C. EA. WAY, IF PRECAST MEMBER IS LESS THAN OR EQUAL TO 8" IN WIDTH THAN PROVIDE ONLY ONE ROW OF TAPCONS STAGGERED TOP & BOTT.
AS PER F.B.C. 2020, COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3" (76MM) FROM RECESSED LIGHTING FIXTURES, FAN MOTORS AND OTHER HEAT-PRODUCING DEVICES.

VERIFY ALL WINDOW & DOOR ROUGH OPENINGS WITH WINDOW & DOOR MANUFACTURER.
• EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET, AS PER F.B.C.
• EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY. AS PER F.B.C.
• ALL HALLWAY DOORS TO BE NON-LOCKABLE (PRIMARY MEANS OF ESCAPE)

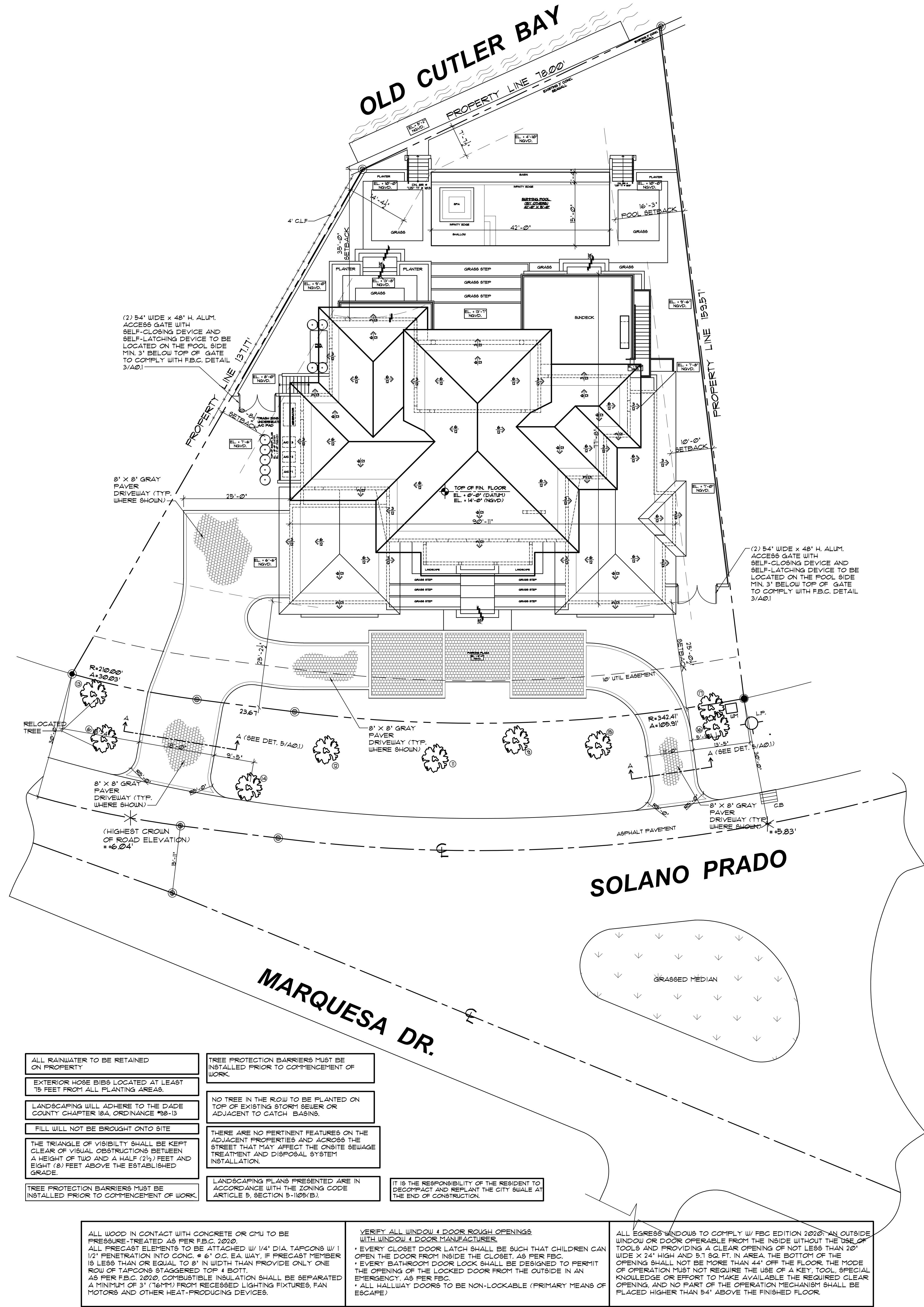
ALL EGRESS WINDOWS TO COMPLY W/ FBC EDITION 2020, AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5'1" SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.

FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:

STRUCTURAL GLAZING	WOOD TRUSSES	DOORS	ROOFING	WINDOWS
RIDGE VENTILATION	CURTAIN WALLS	MULLIONS	WATERPROOFING	GLASS WALL
PRECAST SYSTEMS	HANDRAILS	RAILS	FENCES	SIGNS
STORM SHUTTERS	STEEL JOISTS	STORE FRONT	AWNINGS	TRELLISES
PREFABRICATED STAIRS	ELEVATORS	POOLS	WATER-FEATURES	LOUVER ENCLOS.

(SHOP DWGS & CORRESPONDING STRUCTURAL CALC'S SHALL BE DATED, SIGNED & SEALED BY A FLORIDA LICENSE ENGINEER)



ZONING CALCULATIONS:

LOT AREA:	16,380 SQ. FT.
MIN. GREEN AREA 40% / 20% FRONT =	6,552 SQ. FT. / 1,310 SQ. FT.
GREEN AREA PROVIDED / FRONT =	6,606 SQ. FT. / 1,346 SQ. FT.
MAX. LOT COVERAGE 35% =	5,733 SQ. FT.
LOT COVERAGE PROVIDED =	5,131 SQ. FT.
TOTAL LOT COVERAGE 45% =	7,371 SQ. FT.
TOTAL LOT COVERAGE PROVIDED =	5,859 SQ. FT.
MAX AREA : 48 X 5,000 =	2,400 SQ. FT.
35 X 5,000 =	1,750 SQ. FT.
30 X 6,380 =	1,914 SQ. FT.
TOTAL AREA ALLOWED =	6,064 SQ. FT.
GROUND FL. A/C AREA :	3,236 SQ. FT.
SECOND FL. A/C AREA :	2,143 SQ. FT.
GARAGE AREA :	430 SQ. FT.
TOTAL AREA PROVIDED:	5,829 SQ. FT.

SETBACKS :

LOCATION	REQUIRED	PROVIDED
FRONT	25'-0"	25'-0 1/2"
RIGHT SIDE	10' MIN.	10'-0"
LEFT SIDE	10' MIN.	10'-8 1/2"
REAR	35' MIN.	35'-0"

AE ELEVATION : 11.00

POOL SETBACKS :

LOCATION	REQUIRED	PROVIDED
RIGHT SIDE	10' MIN.	16'-3"
LEFT SIDE	10' MIN.	14'-4.5"
REAR	5' MIN.	7'-7.5"

POOL BARRIER NOTES :

- R4502.11 OUTDOOR SWIMMING POOLS. OUTDOOR SWIMMING POOLS SHALL BE PROVIDED WITH A BARRIER COMPLYING WITH SECTIONS R4502.11.1 THROUGH R4502.11.4.
- R4502.11.1 THE TOP OF THE BARRIER SHALL BE AT LEAST 48 INCHES (1219 MM) ABOVE GRADE, MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL. THE MAXIMUM VERTICAL CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE BARRIER SHALL BE 2 INCHES (51 MM), MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL. WHERE THE TOP OF THE POOL STRUCTURE IS ABOVE GRADE, THE BARRIER MAY BE AT GRADE LEVEL OR MOUNTED ON TOP OF THE POOL STRUCTURE WHERE THE BARRIER IS MOUNTED ON TOP OF THE POOL STRUCTURE, THE MAXIMUM VERTICAL CLEARANCE BETWEEN THE TOP OF THE POOL STRUCTURE AND THE BOTTOM OF THE BARRIER SHALL BE 4 INCHES (102 MM).
- R4502.11.2 THE BARRIER MAY NOT HAVE ANY GAPS, OPENINGS, INDENTATIONS, PROTRUSIONS, OR STRUCTURAL COMPONENTS THAT COULD ALLOW A YOUNG CHILD TO CRAWL UNDER, SQUEEZE THROUGH, OR CLIMB OVER THE BARRIER. AS HEREIN DESCRIBED BELOW, ONE END OF A REMOVABLE CHILD BARRIER SHALL NOT BE REMOVABLE WITHOUT THE AID OF TOOLS. OPENINGS IN ANY BARRIER SHALL NOT ALLOW PASSAGE OF A 4-INCH-DIAMETER (102 MM) SPHERE.
- R4502.11.3 SOLID BARRIERS WHICH DO NOT HAVE OPENINGS SHALL NOT CONTAIN INDENTATIONS OR PROTRUSIONS EXCEPT FOR NORMAL CONSTRUCTION TOLERANCES AND TOOLED MASONRY JOINTS.
- R4502.11.4 WHERE THE BARRIER IS COMPOSED OF HORIZONTAL AND VERTICAL MEMBERS AND THE DISTANCE BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS IS LESS THAN 48 INCHES (1219 MM), THE HORIZONTAL MEMBERS SHALL BE LOCATED ON THE SWIMMING POOL SIDE OF THE FENCE. SPACING BETWEEN VERTICAL MEMBERS SHALL NOT EXCEED 3/4 INCHES (19 MM) IN WIDTH. WHERE THERE ARE DECORATIVE CUTOUTS WITHIN VERTICAL MEMBERS, SPACING WITHIN THE CUTOUTS SHALL NOT EXCEED 3/4 INCHES (19 MM) IN WIDTH.
- R4502.11.5 WHERE THE BARRIER IS COMPOSED OF HORIZONTAL AND VERTICAL MEMBERS AND THE DISTANCE BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS IS 48 INCHES (1219 MM) OR MORE, SPACING BETWEEN VERTICAL MEMBERS SHALL NOT EXCEED 4 INCHES (102 MM) WHERE THERE ARE DECORATIVE CUTOUTS WITHIN VERTICAL MEMBERS, SPACING WITHIN THE CUTOUTS SHALL NOT EXCEED 3/4 INCHES (19 MM) IN WIDTH.
- R4502.11.6 MAXIMUM MESH SIZE FOR CHAIN LINK FENCES SHALL BE A 2 1/4 INCH SQUARE (57 MM) UNLESS THE FENCE IS PROVIDED WITH SLATS FASTENED AT THE TOP OR BOTTOM WHICH REDUCE THE OPENINGS TO NO MORE THAN 1 3/4 INCHES (44 MM).
- R4502.11.7 WHERE THE BARRIER IS COMPOSED OF DIAGONAL MEMBERS, THE MAXIMUM OPENING FORMED BY THE DIAGONAL MEMBERS SHALL BE NO MORE THAN 1 3/4 INCHES (44 MM).
- R4502.11.8 ACCESS GATES WHEN PROVIDED SHALL BE SELF-CLOSING AND SHALL COMPLY WITH THE REQUIREMENTS OF SECTIONS R4502.11.1 THROUGH R4502.11.7 AND SHALL BE EQUIPPED WITH A SELF-LATCHING LOCKING DEVICE LOCATED ON THE POOL SIDE OF THE GATE. WHERE THE DEVICE RELEASE IS LOCATED NO LESS THAN 84 INCHES (2132 MM) FROM THE BOTTOM OF THE GATE, THE DEVICE RELEASE MECHANISM MAY BE LOCATED ON EITHER SIDE OF THE GATE AND SO PLACED THAT IT CANNOT BE REACHED BY A YOUNG CHILD OVER THE TOP OR THROUGH ANY OPENING OR GAP FROM THE OUTSIDE. GATES THAT PROVIDE ACCESS TO THE SWIMMING POOL MUST OPEN OUTWARD AWAY FROM THE POOL. THE GATES AND BARRIER SHALL HAVE NO OPENING GREATER THAN 1/2 INCH (12.7 MM) WITHIN 8 INCHES (457 MM) OF THE RELEASE MECHANISM.
- R4502.11.9 WHERE A WALL OF A DUELLING SERVES AS PART OF THE BARRIER, ONE OF THE FOLLOWING SHALL APPLY:
1. ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL SHALL BE EQUIPPED WITH AN EXIT ALARM COMPLYING WITH UL 2011 THAT HAS A MINIMUM SOUND PRESSURE RATING OF 85 DBA AT 10 FEET (3048 MM). ANY DEACTIVATION SWITCH SHALL BE LOCATED AT LEAST 84 INCHES (2132 MM) ABOVE THE THRESHOLD OF THE ACCESS. SEPARATE ALARMS ARE NOT REQUIRED FOR EACH DOOR OR WINDOW IF SENSORS WIRED TO A CENTRAL ALARM SOUND WHEN CONTACT IS BROKEN AT ANY OPENING.

SOIL STATEMENT :

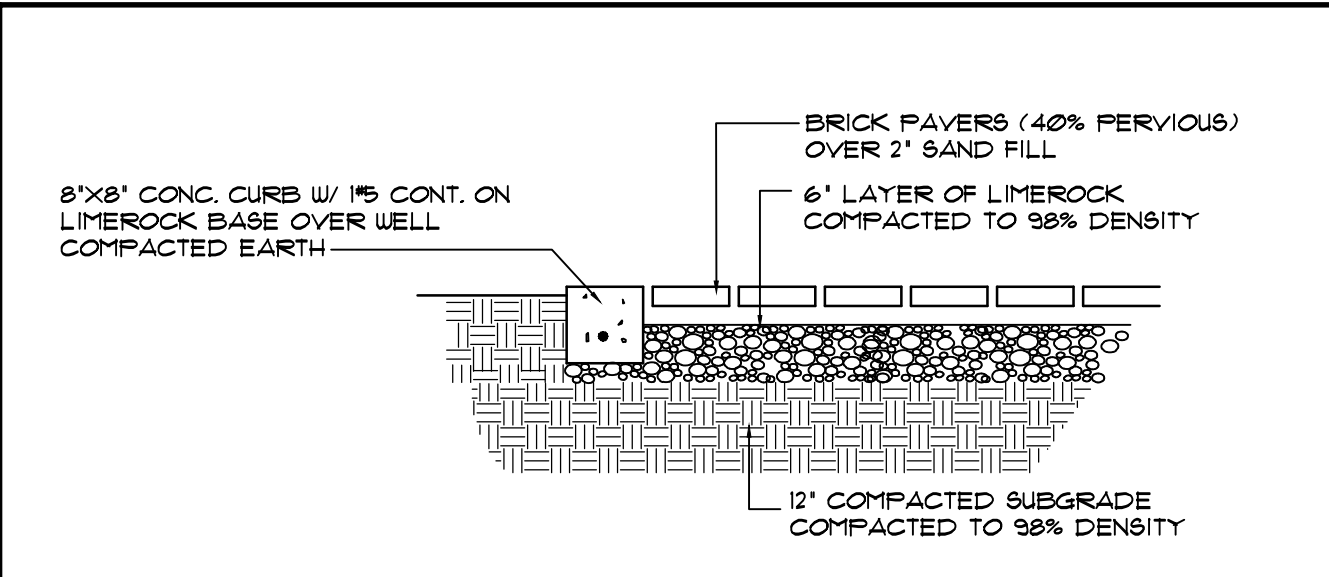
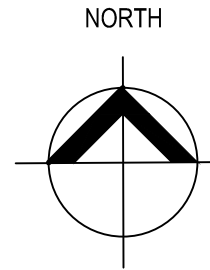
SOIL AT THIS SITE IS SAND & ROCK, ADEQUATE TO SUPPORT THE DESIGN LOAD OF 2000 P.S.F. I HEREBY ATTEST THAT THE SITE HAS BEEN OBSERVED, AND THE FOUNDATION CONDITIONS ARE SIMILAR TO THOSE UPON WHICH THE DESIGN IS BASED ON. IF YOU HAVE ANY QUESTIONS REGARDING THIS MATTER, PLEASE CONTACT THIS OFFICE.

FLOOD ZONE: 'AE', ELEVATION = 11'-0"
ZONING DISTRICT - SINGLE FAMILY RESIDENTIAL

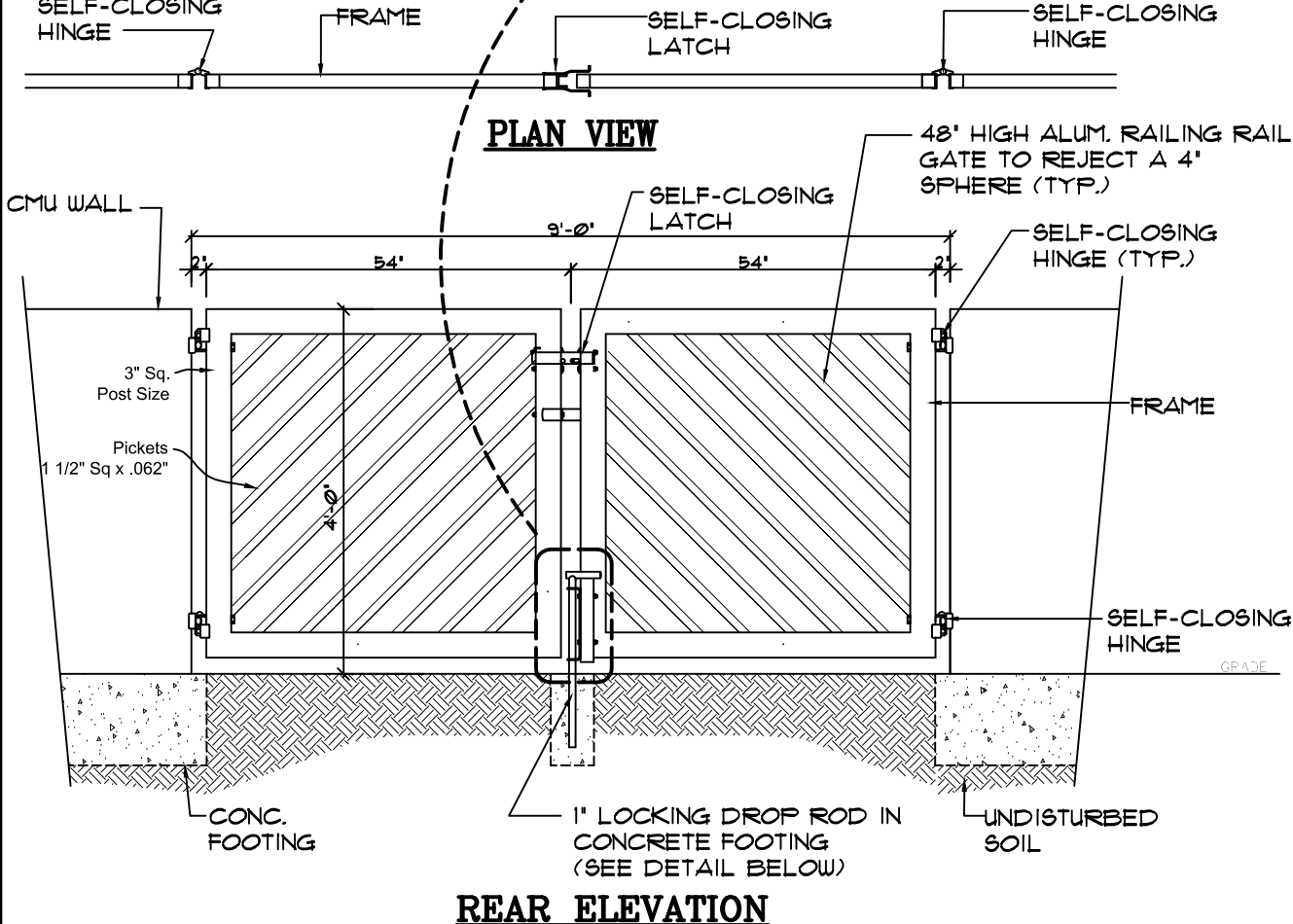
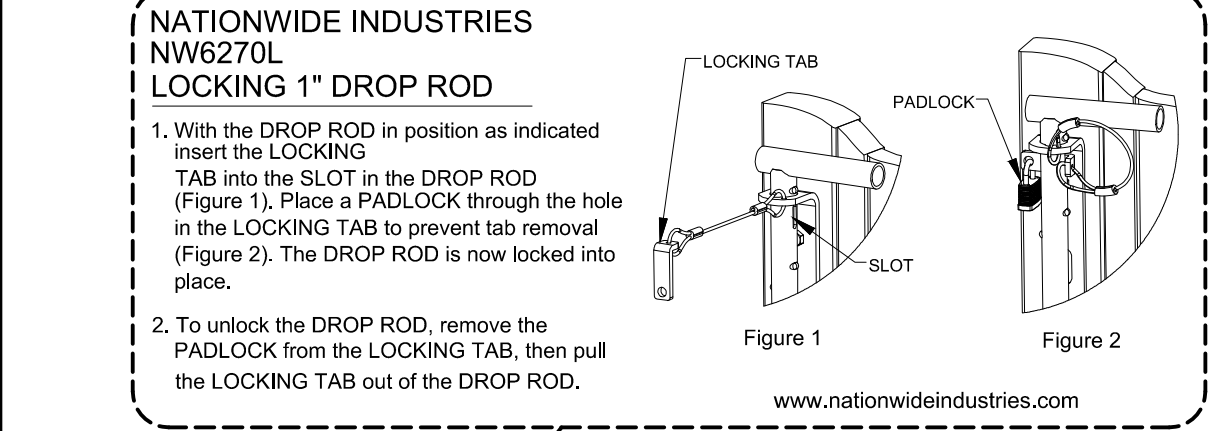


SITE PLAN

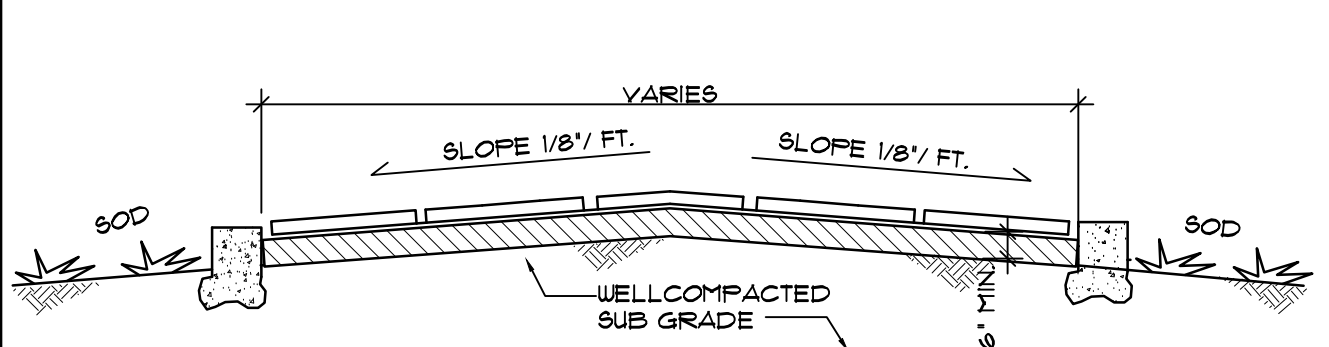
SCALE : 3/32" = 1'-0"



TYP. PAVER DETAIL



ALUMINUM FENCE & GATE DET.



SECTION A-A THRU DRIVEWAY

- ALL RAINWATER TO BE RETAINED ON PROPERTY.
- EXTERIOR HOSE BIBS LOCATED AT LEAST 15 FEET FROM ALL PLANTING AREAS.
- LANDSCAPING WILL ADHERE TO THE DADE COUNTY CHAPTER 12A, ORDINANCE 198-13.
- FILL WILL NOT BE BROUGHT ONTO SITE.
- THE TRIANGLE OF VISIBILITY SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A HALF (2 1/2) FEET AND EIGHT (8) FEET ABOVE THE ESTABLISHED GRADE.
- TREE PROTECTION BARRIERS MUST BE INSTALLED PRIOR TO COMMENCEMENT OF WORK.
- NO TREE IN THE ROW TO BE PLANTED ON TOP OF EXISTING STORM SEWER OR ADJACENT TO CATCH BASINS.
- THERE ARE NO PERTINENT FEATURES ON THE ADJACENT PROPERTIES AND ACROSS THE STREET THAT MAY AFFECT THE ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM INSTALLATION.
- LANDSCAPING PLANS PRESENTED ARE IN ACCORDANCE WITH THE ZONING CODE ARTICLE 5, SECTION 5-1105(B).
- IT IS THE RESPONSIBILITY OF THE RESIDENT TO DECOMPACT AND REPLANT THE CITY SUELE AT THE END OF CONSTRUCTION.

ALL WOOD IN CONTACT WITH CONCRETE OR CMU TO BE PRESSURE-TREATED AS PER F.B.C. 2020. ALL PRECAST ELEMENTS TO BE ATTACHED W/ 1/4" DIA. TAPCONS W/ 1/2" PENETRATION INTO CONC. & 6" O.C. EA. WAY, IF PRECAST MEMBER IS LESS THAN OR EQUAL TO 8" IN WIDTH THAN PROVIDE ONLY ONE ROW OF TAPCONS STAGGERED TOP & BOTT. AS PER F.B.C. 2020, COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3" (76MM) FROM RECESSED LIGHTING FIXTURES, FAN MOTORS AND OTHER HEAT-PRODUCING DEVICES.

VERIFY ALL WINDOW & DOOR ROUGH OPENINGS WITH WINDOW & DOOR MANUFACTURERS. EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET, AS PER F.B.C. EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY, AS PER F.B.C. ALL HALLWAY DOORS TO BE NON-LOCKABLE (PRIMARY MEANS OF ESCAPE).

ALL EGRESS WINDOWS TO COMPLY W/ F.B.C. EDITION 2020: AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.

FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:

STRUCTURAL GLAZING	WOOD TRUSSES	DOORS	ROOFING	WINDOWS
RIDGE VENTILATION	CURTAIN WALLS	MULLIONS	WATERPROOFING	GLASS WALL
PRECAST SYSTEMS	HANDRAILS	RAILS	FENCES	SIGNS
STORM SHUTTERS	STEEL JOISTS	STORE FRONT	AWNINGS	TRELLISES
PREFABRICATED STAIRS	ELEVATORS	POOLS	WATER-FEATURES	LOUVER ENCLOS.

(SHOP DUGS & CORRESPONDING STRUCTURAL CALCS SHALL BE DATED, SIGNED & SEALED BY A FLORIDA LICENSE ENGINEER.)

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REGISTRATION No. A000298
4808 S.W. 72 AVENUE, MIAMI, FL 33155
T. (305) 662-1008

RESIDENCE FOR :
605 SOLANO PRADO
FLORIDA
CORAL GABLES,

OWNER:
MR. JOSE MUÑOZ

DATE: 08/21
ISSUED: XX
DRAWN: AR
CHECKED: AR
PROJECT NO.:

SHEET:
A0.1
2 OF 10



FREE PROTECTION BARRIERS MUST BE
INSTALLED PRIOR TO COMMENCEMENT OF
WORK.

NO TREE IN THE ROW TO BE PLANTED ON
TOP OF EXISTING STORM SEWER OR
ADJACENT TO CATCH BASIN.

THERE ARE NO PERTINENT FEATURES ON THE
ADJACENT PROPERTIES AND ACROSS THE
STREET THAT MAY AFFECT THE ONSITE SEWAGE
TREATMENT AND DISPOSAL SYSTEM
INSTALLATION.

LANDSCAPING PLANS PRESENTED ARE IN
ACCORDANCE WITH THE ZONING CODE
ARTICLE 5, SECTION 5-1105(D).

IT IS THE RESPONSIBILITY OF THE RESIDENT TO DECOMPACT AND REPLANT THE CITY SWALE AT THE END OF CONSTRUCTION.

VERIFY ALL WINDOW & DOOR ROUGH OPENINGS
WITH WINDOW & DOOR MANUFACTURER.

- EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET, AS PER FBC.
- EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY, AS PER FBC.
- ALL HALLWAY DOORS TO BE NON-LOCKABLE (PRIMARY MEANS OF ESCAPE)

ALL EGRESS WINDOWS TO COMPLY W/ FBC EDITION 2020: AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20' WIDE X 24' HIGH AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.

No.	COMMON NAME	BOTANICAL NAME	TRUNK (Diameter)	CANOPY (Diameter)	HEIGHT	REMARKS
1	LIVE OAK	QUERCUS VIRGINIA	2.0'	60'	60'	EXISTING TO REMAIN
2	AUSTRALIA SILK OAK	GREVILLEA ROBUSTA	1.3'	20'	30'	EXISTING TO BE REMOVED
3	MACARTHUR PALM	PTYCHOSPERMA MACAERTHU	0.7'	18'	50'	EXISTING TO BE REMOVED
4	MACARTHUR PALM	PTYCHOSPERMA MACAERTHU	0.4'	6'	25'	EXISTING TO BE REMOVED
5	UNKNOWN	UNKNOWN	0.4'	12'	25'	EXISTING TO BE REMOVED
6	LIVE OAK	QUERCUS VIRGINIA	0.4'	10'	15'	EXISTING TO BE RELOCATED
7	CHRISTMAS PALM	ADONIDIA MERRILLI	0.6'	18'	20'	EXISTING TO BE REMOVED
8	LIVE OAK	QUERCUS VIRGINIA	2.5'	50'	50'	EXISTING TO REMAIN
9	LIVE OAK	QUERCUS VIRGINIA	2.5'	50'	40'	EXISTING TO REMAIN
10	MACARTHUR PALM	PTYCHOSPERMA MACAERTHU	0.6'	25'	25'	EXISTING TO BE REMOVED
11	UNKNOWN	UNKNOWN	0.5'	12'	18'	EXISTING TO REMAIN
12	UNKNOWN	UNKNOWN	0.5'	12'	18'	EXISTING TO REMAIN
13	LIVE OAK	QUERCUS VIRGINIA	0.4'	12'	12'	EXISTING TO BE RELOCATED
14	LIVE OAK	QUERCUS VIRGINIA	0.4'	12'	12'	EXISTING TO REMAIN
15	UNKNOWN	UNKNOWN	0.5'	12'	18'	EXISTING TO REMAIN
16	UNKNOWN	UNKNOWN	0.5'	12'	18'	EXISTING TO REMAIN
17	LIVE OAK	QUERCUS VIRGINIA	1.5'	25'	25'	EXISTING TO REMAIN

TREE REMOVAL MITIGATION CALCULATIONS: 310.84 SQ. FT. OF CANOPY TO BE REMOVED.

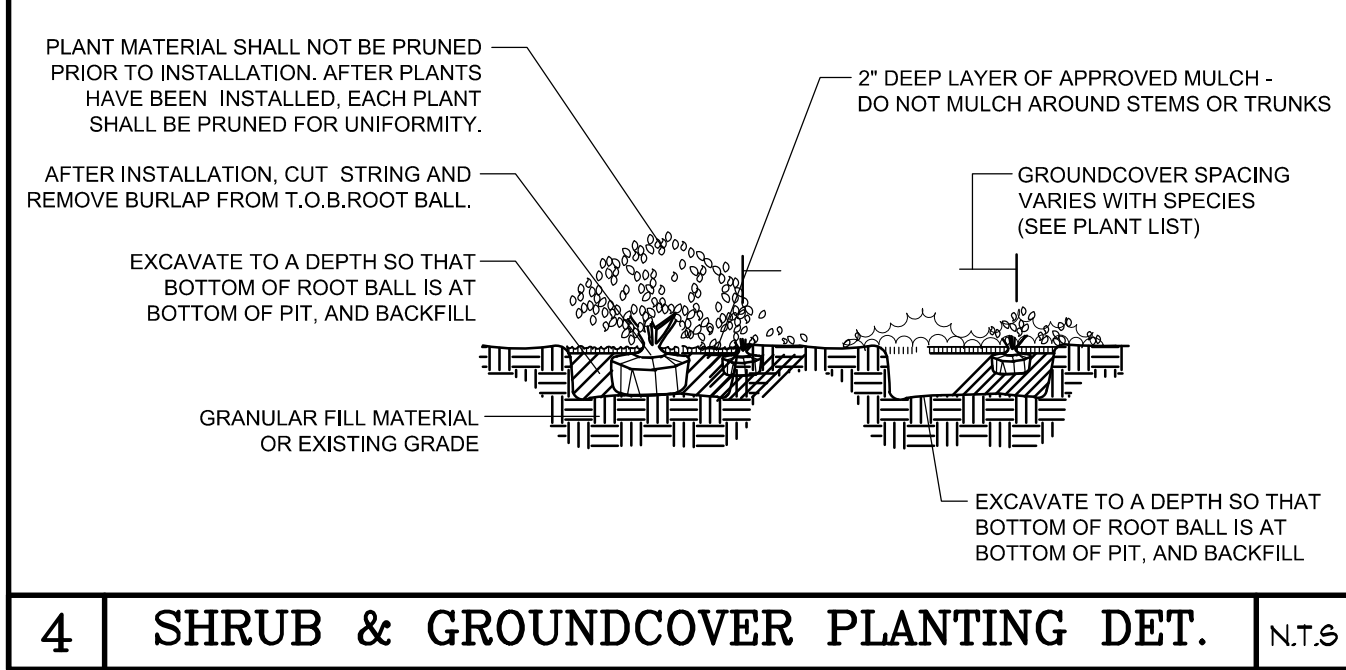
REPLACEMENT CANOPY TO BE PROVIDED:
500 SQ. FT. - (1) GUMBO LIMBO
400 SQ. FT. - (4) FLORIDA THATCH PALM
300 SQ. FT. OF REPLACEMENT CANOPY
(SEE NEW LANDSCAPE LEGEND)



NEW LANDSCAPE LEGEND (AS PER SECTION 5-1105)										
SYMBOL USED ON PLAN		PLANT NAME		NATIVE SPECIES		CALIPER		HEIGHT		CANOPY DIAMETER
Symbol	New	Scientific	Common	Yes	No	Installed	Installed	Estimated at Maturity*	Estimated at Maturity*	
(A)	4	THEINAX RADJATA	FLORIDA THATCH PALM	●		3'	14'	10'		
(B)	30	PODOCARPUS MACROPHYLLUS	HEDGE PODOCARPUS		●		18'	48"		
(C)	1	BURSERA SIMARUBA	OA GUMBO LIMBO	●		3'	14'	35'	25'	
SOD		ST. AUGUSTINE PALMETTO	ST. AUGUSTINE PALMETTO							

*Shrubs to screen A/C units & pool equipment to be planted at Ht. of 36"

**Listed by FPL as being acceptable to being adjacent to power lines.

***Tree caliper to be minimum of 3" in diameter and Florida number 1.



ABBREVIATION LEGEND		GRADING LEGEND	
T.O.W.	T.O. WALL	PROPOSED CONTOUR LINES	---
T.O.C.	T.O. CAPPING	PROPOSED SPOT ELEVATIONS	 0.00 NGVD
T.O.S.	T.O. STEP	EXISTING SPOT ELEVATIONS	 0.00
T.O.B.	T.O. BENCH	GRADE SLOPE FOR WATER RUNOFF	SLOPE →
T.O.L.	T.O. LANDING		
B.O.S.	BOTTOM OF STEP		
T.O.D.	T.O. DRAIN		
H.P.	HIGH POINT		
L.P.	LOW POINT		
C.O.R.	CROWN OF ROAD		
T.O.F.	T.O. FENCE		
EXISTING	EXISTING GRADE		
S.L.P.	SLOPE		
EST	ESTIMATED BY INTERPOLATION		

FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:

STRUCTURAL ZIRCON	WOOD TRUSSES	DOORS	ROOFING	WINDOWS
RIDGE VENTILATION	CURTAIN WALLS	MULLIONS	WATERPROOFING	GLASS WALL
PRECAST SYSTEMS	HANDRAILS	RAILS	FENCES	SIGNS
STORM SHUTTERS	STEEL JOISTS	STONE FLOORS	AWNINGS	TRELLISES
PREFABRICATED STAIRS	ELEVATORS	POOLS	WATER-FEATURES	LOUVER ENCLOS.

(SHOP DRAWING C OR CORRESPONDING STRUCTURAL CALC. SHALL BE DATED, SIGNED & SEALED BY A FLORIDA LICENSED ENGINEER.)

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RESIDENCE FOR:

OWNER:
MR. JOSE MUNOZ

DATE: 08/5/21
 ISSUED: _____
 DRAWN: XX
 CHECKED: A.R.
 PROJECT NO. _____

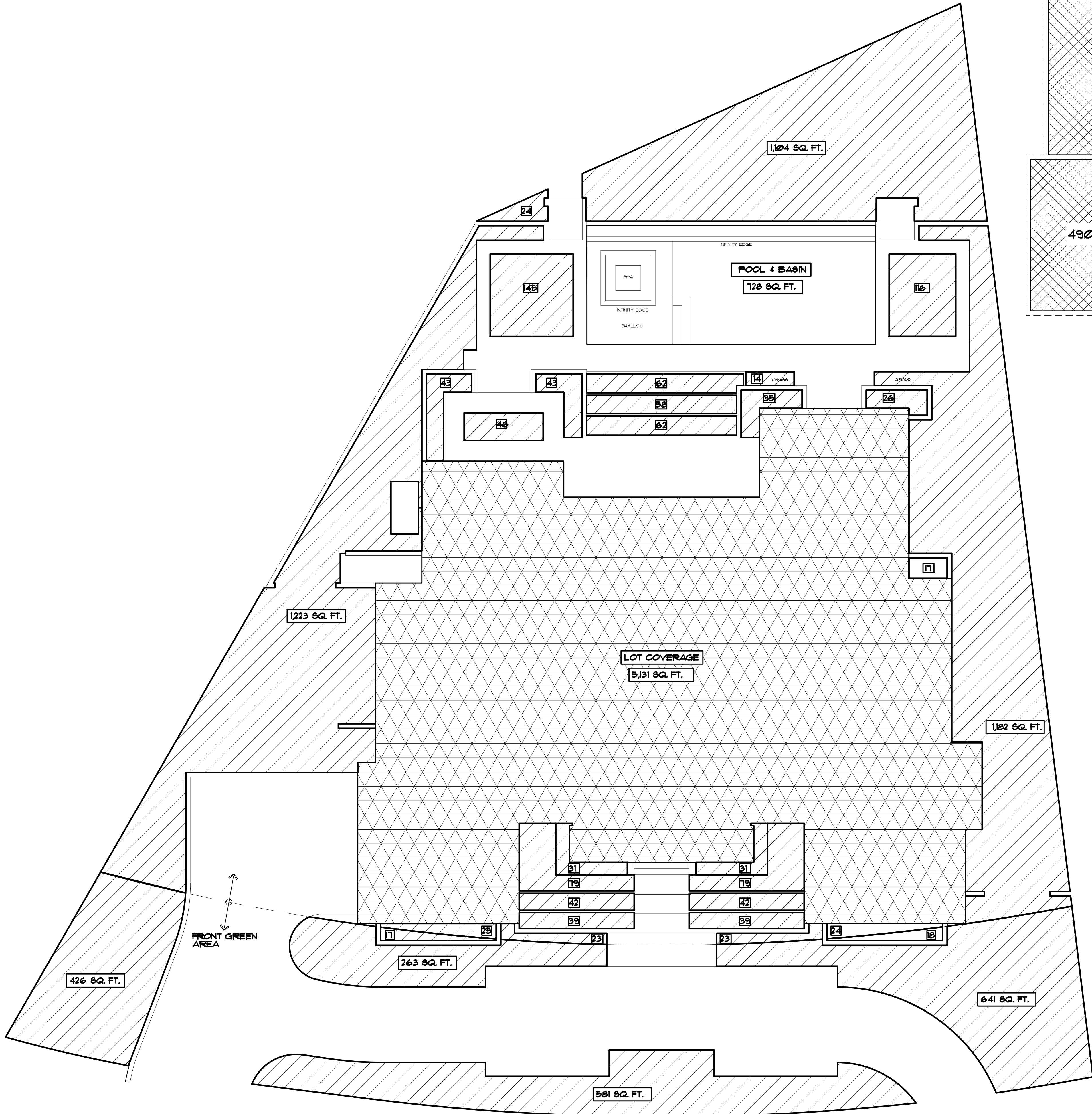
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3 OF 10

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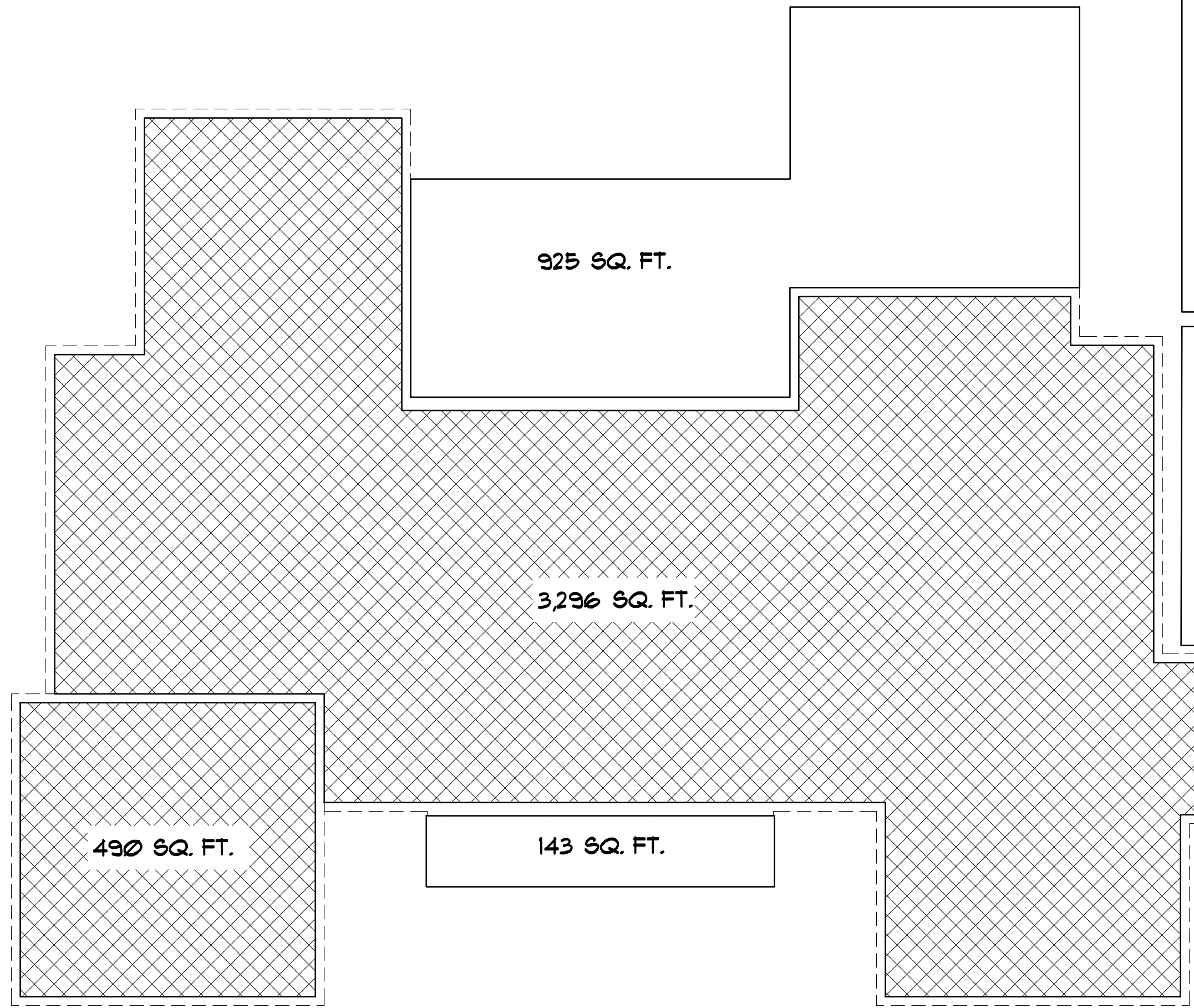
Antonio E. Rodriguez, Architect, AIA
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LIC. No. AR93309
T. (305) 662-1008



GROUND FLOOR PLAN

SCALE : 1/8" = 1'-0"

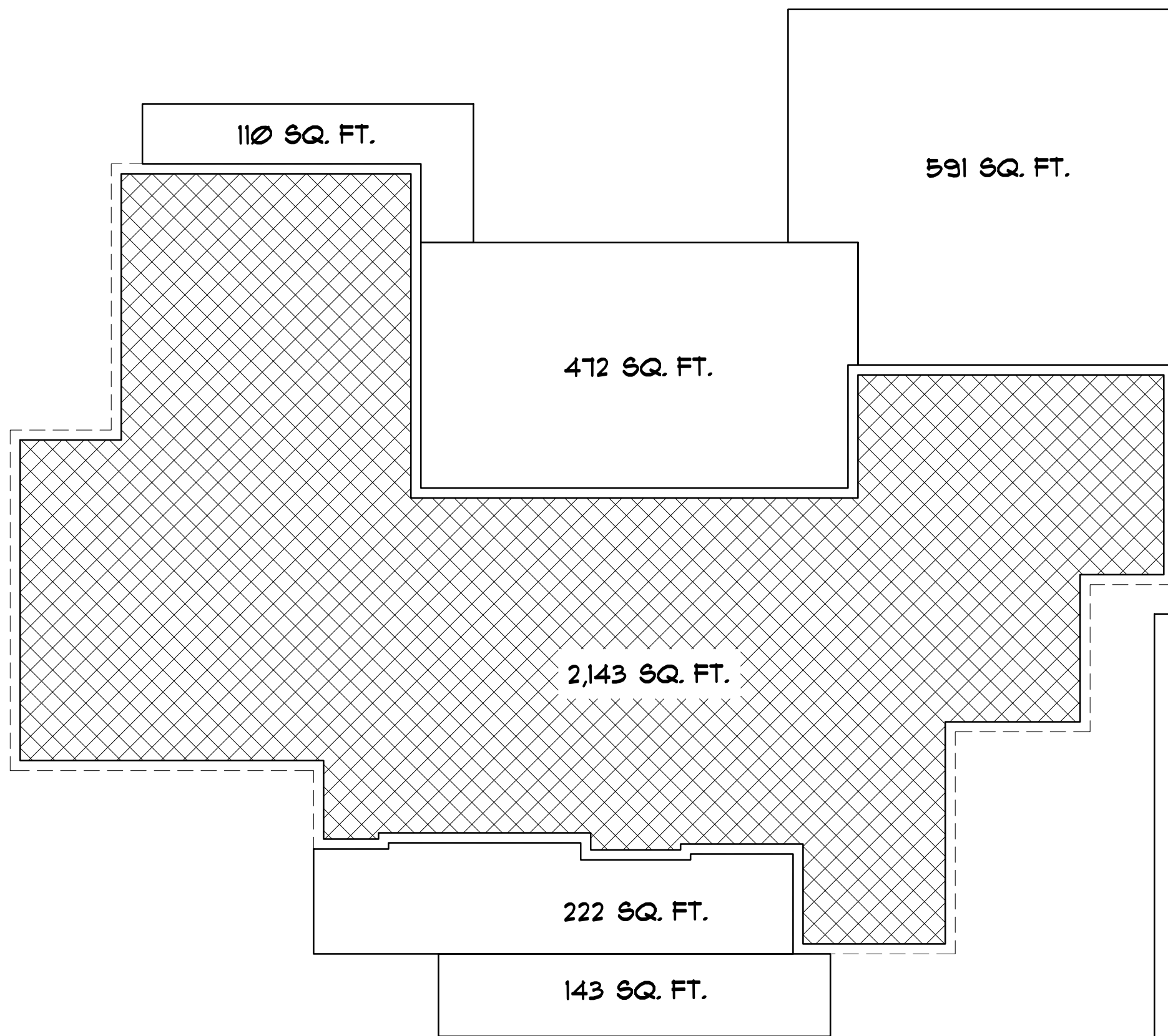
AREA USED TO CALCULATE F.A.R.



SECOND FLOOR PLAN

SCALE : 1/8" = 1'-0"

AREA USED TO CALCULATE F.A.R.



ZONING CALCULATIONS:

LOT AREA:	16,380 SQ. FT.
MIN. GREEN AREA 40% / 20% FRONT =	6,552 SQ. FT. / 1,310 SQ. FT.
GREEN AREA PROVIDED / FRONT =	6,606 SQ. FT. / 1,946 SQ. FT.
MAX. LOT COVERAGE ALLOWED 35% =	5,733 SQ. FT.
LOT COVERAGE PROVIDED =	5,131 SQ. FT.
MAX. TOTAL LOT COVERAGE ALLOWED 45% =	7,371 SQ. FT.
LOT COVERAGE + POOL	5,131 SQ. FT. + 128 SQ. FT.
MAX. TOTAL LOT COVERAGE PROVIDED =	5,259 SQ. FT.

F.A.R. CALCULATIONS:

MAX AREA : 48 X 5,000 =	2,400 SQ. FT.
35 X 5,000 =	1,750 SQ. FT.
30 X 6,380 =	1,914 SQ. FT.
TOTAL AREA ALLOWED =	6,064 SQ. FT.
GROUND FL. A/C AREA :	3,296 SQ. FT.
SECOND FL. A/C AREA :	2,143 SQ. FT.
GARAGE AREA:	490 SQ. FT.
TOTAL AREA PROVIDED:	5,929 SQ. FT.

AS PER CORAL GABLES ZONING CODE, THE DETERMINATION OF A BUILDING'S FLOOR AREA RATIO SHALL EXCLUDE THE FOLLOWING:

A. THICKNESS OF EXTERIOR WALLS, MEASURED FROM THE INTERIOR FACE OF STRUCTURE.

B. FLOOR SPACE IN ONE (1) STORY ROOFED TERRACES, BREEZEWAYS, AND PORCHES WITH AN AVERAGE FLOOR TO CEILING HEIGHT LESS THAN OR EQUAL TO THIRTEEN (13) FEET SHALL ALSO BE EXEMPT, PROVIDED, A COVENANT IS SUBMITTED STATING THAT SUCH ROOFED TERRACE, BREEZEWAY, OR PORCH WILL NOT BE ENCLOSED IF IT WILL CAUSE THE RESIDENCE TO EXCEED THE MAXIMUM PERMITTED FLOOR AREA.

C. DETACHED ONE- AND TWO-STORY CARPORTS AND GARAGES LOCATED IN THE REAR YARD, OR WHERE DETERMINED BY THE BOARD OF ARCHITECTS, THAT IS LESS THAN OR EQUAL TO FOUR-HUNDRED (400) SQUARE FEET. ANY ADDITIONAL AREA WILL NOT BE EXCLUDED.

D. STACKED OR TWO (2) STORY PORCHES, AS APPROVED BY THE BOARD OF ARCHITECTS.

E. UPPER VOLUME OF INTERIOR SPACES OR COURTYARDS.

F. BASEMENTS AND ATTICS WITHIN A PITCHED ROOF.

GREEN AREA CALCULATIONS:

MIN. GREEN AREA REQUIRED (MIN. 40%) =	6,552 SQ. FT.
TOTAL GREEN AREA PROVIDED:	1,946 (FRONT)
+1,223+43+46+43+62+58+62+14+35+26+145+24+116+1,104+1,182+24+23+39+42+19+31+23+39+42+19+31+25=	6,606 SQ. FT. (40.32 %)
FRONT GREEN AREA REQUIRED (20% OF 40% MIN.)=	1,310 SQ. FT.
TOTAL FRONT GREEN AREA PROVIDED:	1,946 SQ. FT. (29.1 %)
426+17+263+581+641+18=	

IMPERVIOUS LAND AREA : (INCLUSIVE OF ALL DRIVEWAYS, POOL DECK, AND OTHER PAVED SURFACES) :	3,915 SQ. FT.
TOTAL LOT COVERAGE :	5,859 SQ. FT.
GREEN AREA :	6,606 SQ. FT.
LOT AREA :	16,380 SQ. FT.

ALL WOOD IN CONTACT WITH CONCRETE OR CMU TO BE PRESSURE-TREATED AS PER F.B.C. 2020.

ALL PRECAST ELEMENTS TO BE ATTACHED W/ 1/4" DIA. TAPCONS W/ 1/2" PENETRATION INTO CONC. # 6" O.C. EA. WAY, IF PRECAST MEMBER IS LESS THAN OR EQUAL TO 8' IN WIDTH THAN PROVIDE ONLY ONE ROW OF TAPCONS STAGGERED TOP & BOTT.

AS PER F.B.C. 2020, COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3" (76MM) FROM RECESSED LIGHTING FIXTURES, FAN MOTORS AND OTHER HEAT-PRODUCING DEVICES.

VERIFY ALL WINDOW & DOOR ROUGH OPENINGS WITH WINDOW & DOOR MANUFACTURERS.

EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET, AS PER F.B.C.

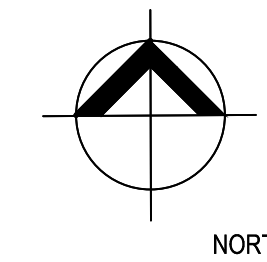
EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY, AS PER F.B.C.

ALL HALLWAY DOORS TO BE NON-LOCKABLE (PRIMARY MEANS OF ESCAPE)

ALL EGRESS WINDOWS TO COMPLY W/ FBC EDITION 2020. AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.

AREA CALCULATION

SCALE : 1/8" = 1'-0"



FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:

STRUCTURAL GLAZING	WOOD TRUSSES	DOORS	ROOFING	WINDOWS
RIDGE VENTILATION	CURTAIN WALLS	MULLIONS	WATERPROOFING	GLASS WALL
PRECAST SYSTEMS	HANDRAILS	RAILS	FENCES	SIGNS
STORY SHUTTERS	STEEL JOISTS	STORE FRONT	AWNINGS	TRELLISES
PREFABRICATED STAIRS	ELEVATORS	POOLS	WATER-FEATURES	LOUVER ENCLOS.

(SHOP DINGS & CORRESPONDING STRUCTURAL CALCS SHALL BE DATED, SIGNED & SEALED BY A FLORIDA LICENSE ENGINEER)

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RESIDENCE FOR :

605 SOLANO PRADO

CORAL GABLES, FLORIDA

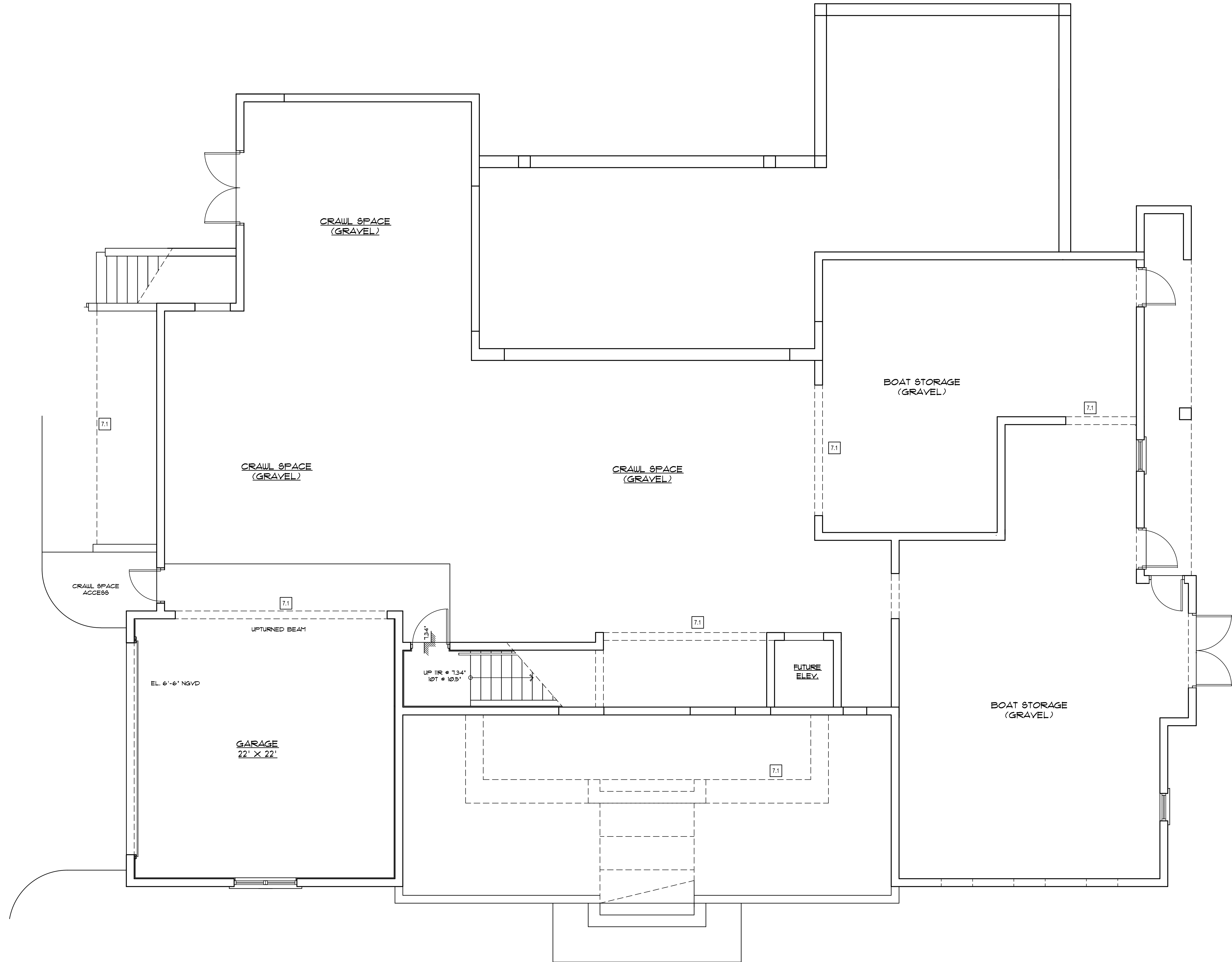
OWNER: MR. JOSE MUÑOZ

DATE: 08/5/21
ISSUED: XX
DRAWN: XX
CHECKED: A.R.
PROJECT NO. _____

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4 OF 10

ANTONIO E. RODRIGUEZ
CAD Studio Architecture
L.L.C. No. A093309
4808 S.W. 72 AVENUE, MIAMI, FL 33155
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CRAWL SPACE LEVEL FLOOR PLAN

SCALE : 1/4" = 1'-0"

NORTH

ALL WOOD IN CONTACT WITH CONCRETE OR CMU TO BE PRESSURE-TREATED AS PER F.B.C. 2010. ALL PRECAST ELEMENTS TO BE ATTACHED W/ 1/4" DIA. TAPCONS W/ 1/2" PENETRATION INTO CONC. # 6" O.C. EA. WAY. IF PRECAST MEMBER IS LESS THAN OR EQUAL TO 8' IN WIDTH THAN PROVIDE ONLY ONE ROW OF TAPCONS STAGGERED TOP & BOTT. AS PER F.B.C. 2010, COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3" (76MM) FROM RECESSED LIGHTING FIXTURES, FAN MOTORS AND OTHER HEAT-PRODUCING DEVICES.	VERIFY ALL WINDOW & DOOR ROUGH OPENINGS WITH WINDOW & DOOR MANUFACTURERS. • EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET, AS PER F.B.C. • EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY, AS PER F.B.C. • ALL HALLWAY DOORS TO BE NON-LOCKABLE (PRIMARY MEANS OF ESCAPE)	ALL EGRESS WINDOWS TO COMPLY W/ FBC EDITION 2010. AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.
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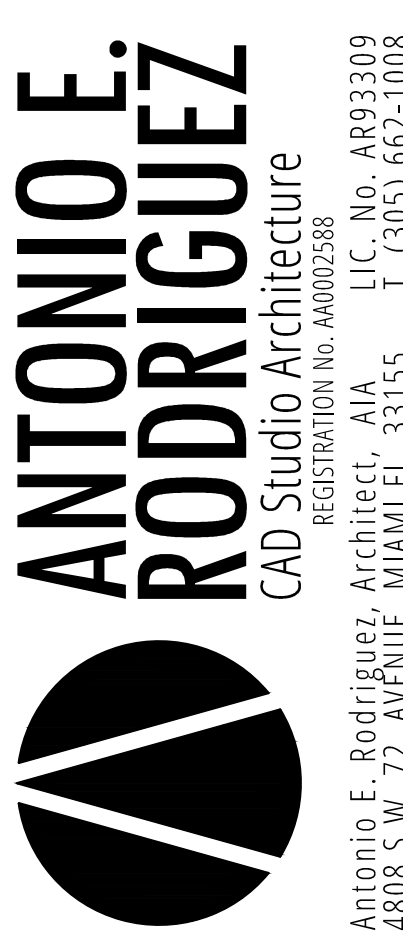
CONSTRUCTION KEY NOTES	
10 EXTERIORS	80 DRAINAGE
11 EXTERIOR FIN. FLOOR TO BE NON-SLIPRY (SEE PLAN FOR SLOPE)	81 LINEAR DRAIN (SEE STRUCTURAL DUGS FOR DETAILS AND REINFORCEMENT INFO.)
12 EXTERIOR CONC. FLOATING STEPS WITH INDIRECT LIGHTING (SEE TYP. DETAIL 3, PAGE A5.2)	82 PRECAST OVERFLOW SCUPPER W/ FLASHING AND DRIP CHANNEL AS REQUIRED
13 EXTERIOR IPE FLOOR (SEE PLAN FOR SLOPE)	83 PRECAST EMERGENCY OVERFLOW SCUPPER W/ FLASHING & DRIP CHANNEL AS REQD. 2" TO 4" ABOVE ROOF SURFACE AS PER F.B.C.
20 STAIRS	84 3" DOWNSPOUT INSIDE CMU WALL, COLUMN (SEE STRUCTURAL DUGS FOR DETAILS AND REINFORCEMENT INFO.)
21 CANTILEVERED CONC. STAIRS WITH WALNUT WOOD VENEER (SEE PLANS FOR TREAD & RISER DIMENSIONS)	80 ROOF
22 PREFABRICATED STAIRS (BY OTHERS) PROVIDE SHOP DUGS FOR ARCHITECT'S APPROVAL	81 NEW FLAT ROOF, PROVIDE A MIN. 1/4" FT. SLOPE (SEE PLAN FOR SLOPE DIRECTION)
30 COLUMNS	82 NEW CONC. EYEBROW, PROVIDE A MIN. 1/4" FT. SLOPE AWAY FROM STRUCTURE
31 CONCRETE COLUMN	83 8" CMU PARAPET, PROVIDE FLASHING AND COUNTER FLASHING AS REQUIRED (SEE FLOOR PLAN FOR T.O. BEAM ELEV.)
32 STL. COLUMN TO BE 1 HR FIRE RATED AS PER DET. 8, PAGE 5.1	100 RAILINGS
40 LOW WALLS	101 STAIR HANDRAILING: 38" HI. ALUMI W/ STAINLESS STEEL CABLE RAILING TO RESIST A 4" SPHERE (TYP. 0 ALONG STAIRS)
41 LINE OF WALL/ PARTITION BELOW (8" CMU FOR EXTERIOR LOCATIONS)	102 42" HI. STAINLESS STEEL CABLE RAILING TO RESIST A 4" DIAM. SPHERE (TYP. # LANDINGS AND BALCONIES)
42 LOW 8" CMU WALL (SEE PLAN FOR TOP OF CAP BEAM ELEV.)	110 MILLWORK
50 EXTERIOR CEILING	111 36" AFF. COUNTER W/ WALL CABINETS (ABOVE) (SEE DETAIL 3, PAGE A5.1)
51 IPE TONGUE AND GROOVE PLANKS (TYP. # ALL EXTERIOR CEILINGS UO/N)	112 42" AFF. BAR COUNTER (CONCRETE FOR EXTERIOR COUNTERS)
52 8"MOOTH STUCCO CLG. ON METAL LATH ON 1" PLYWOOD SHEATHING	120 LAUNDRY
60 INTERIOR CEILING	121 CURTAIN POCKET (SEE TYP. DETAIL 6, PAGE A5.1)
61 COVE CEILING/ TRAY CEILING WITH INDIRECT LIGHTING (SEE DETAIL 1, PAGE A5.1)	122 WASHER FAUCET IN RECESSED METAL POCKET AS PER F.B.C.
62 22"x36"x1/8" PLYUD. ACCESS PANEL (METAL CLADDED 1 HR FIRE RATED W/ LIGHT & FULL ON CHAIN & DROP DOWN LADDER) PROVIDE MAXIMUM USABLE AREA # ATTIC & MIN. VENT. HT. OF 30" AS PER F.B.C. 2011	130 BATHROOMS
70 STRUCTURE	131 8" O/N GAT. 11 8" AFF. GL. DOOR & ENCLOSURE W/ HEADER ABOVE MIN. 22" CLEAR DOOR WIDTH (PROVIDE SHAMPOO NICHE (4" MIN. DEPTH) TYP. UO/N)
71 LINE OF STRUCTURE/ SECOND FLOOR/ EYEBROW/ OVERHANG ABOVE	132 VANITY AND MIRROR (TO BE SELECTED BY OWNER)
72 LINE OF STRUCTURAL MEMBERS HIDDEN ABOVE CEILING	
73 A/C DUCT CHASE/ PENETRATION ON BEAM OR SLAB (COORDINATE WITH STRUCTURAL DUGS)	

CONSTRUCTION LEGEND :	
8" CMU WALL WITH 3" GYP. BD. ON 1/2" WD FURRING # 16" O.C. ON THE INTERIOR SIDE AND STUCCO FINISH ON THE EXTERIOR	4" PARTITION, 3/4" X 20 GA. CHANNEL SHAPED METAL STUDS # 16" O/C WITH 1 FULL LENGTH LAYER OF 5/8" GYP. BD. (OR CEMENT BOARD) APPLIED VERTICALLY TO EACH SIDE
8" CMU EXTERIOR LOW WALL, STUCCO FINISH ON BOTH SIDES (SEE PLAN FOR T.O.B.)	1 HR. FIRE RATED WALL, 3/4" X 20 GA. CHANNEL SHAPED METAL STUDS # 16" O/C WITH 1 FULL LENGTH LAYER OF 5/8" TYPE 'X' GYP. BD. (OR CEMENT BOARD) ** APPLIED VERTICALLY TO EACH SIDE
CONCRETE COLUMN, REFER TO STRUCTURAL DUGS FOR REINFORCING, SIZE & DETAIL INFO.	INTERIOR STL. COLUMNS : IN 1 HOUR FIRE RATED COVER GALVANIZED AND PROTECTED W/ ANTI-CORROSION PAINT COATING.
DENOTES A WATER SURFACE (POOLS, WATER FEATURES ETC) BY OTHERS, PROVIDE SHOP DUGS FOR APPROVAL	
* SEE STRUCTURAL DRAWINGS FOR SCHEDULES, REINFORCING AND MORE DETAILS INFORMATION	** USE CEMENT BOARD IN HIGH-MOISTURE AREAS
SYMBOLS	
DIFFERENCE AT FLOOR LEVEL	LINE OF STRUCTURE (HIDDEN ABOVE CEILING)
FLOATING STEPS WITH INDIRECT LIGHTING (TYP. # ENTRY STEPS)	LINE OF ELEMENT ABOVE (ON PLANS) BEYOND (ON ELEVATIONS)
DIFFERENCE OF SURFACE/ CEILING LEVEL	LINE OF ELEMENT BELOW
SLOPE DOWN # CEILINGS, FLOORS AND ROOFS (SEE PLANS FOR PITCH)	DOOR (SEE SCHEDULE)
CENTER LINE	WINDOW (SEE SCHEDULE)
DENOTES 'FIELD VERIFY'	KEY NOTE (SEE LEGEND)

FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:				
STRUCTURAL GLAZING	WOOD TRUSSES	DOORS	ROOFING	WINDOWS
RIDGE VENTILATION	CURTAIN WALLS	MULLIONS	WATERPROOFING	GLASS WALL
PRECAST SYSTEMS	HANDRAILS	RAILS	FENCES	SIGNS
STORM SHUTTERS	STEEL JOISTS	STORE FRONT	AWNINGS	TRELLISES
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(SHOP DUGS & CORRESPONDING STRUCTURAL CALCS SHALL BE DATED, SIGNED & SEALED BY A FLORIDA LICENSE ENGINEER)				

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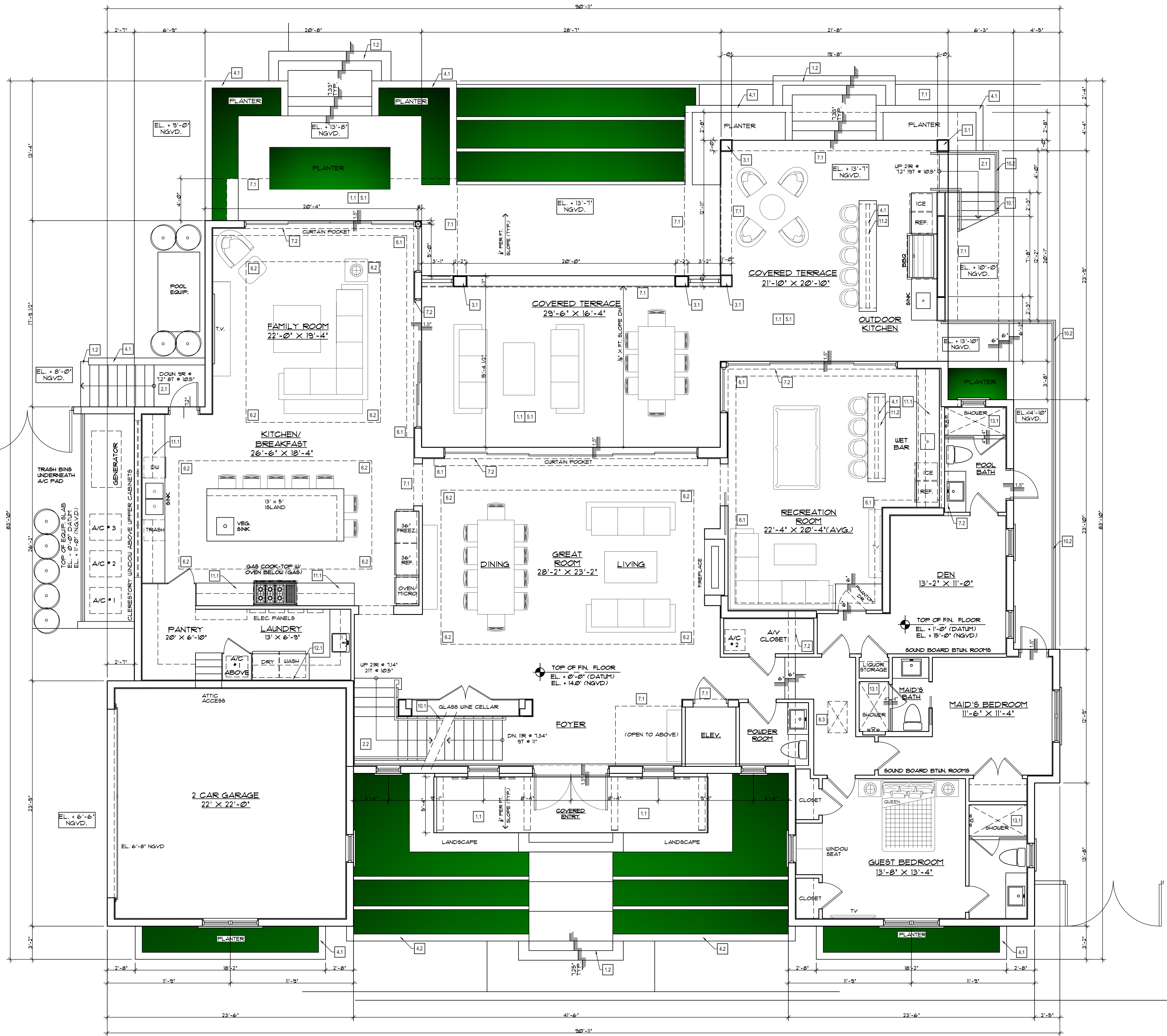
RESIDENCE FOR :
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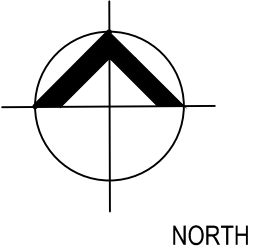
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5 OF 10



GROUND
FLOOR PLAN

SCALE : 1/4" = 1'-0"



ALL WOOD IN CONTACT WITH CONCRETE OR CMU TO BE PRESSURE-TREATED AS PER F.B.C. 2020. ALL PRECAST ELEMENTS TO BE ATTACHED W/ 1/4" DIA. TAPCONS W/ 1/2" PENETRATION INTO CONC. # 6" O.C. EA. WALL, IF PRECAST MEMBER IS LESSER THAN OR EQUAL TO 8" IN WIDTH THAN PROVIDE ONLY ONE ROW OF TAPCONS STAGGERED TOP & BOTT. AS PER F.B.C. 2020, COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3" (76MM) FROM RECESSED LIGHTING FIXTURES, FAN MOTORS AND OTHER HEAT-PRODUCING DEVICES.	VERIFY ALL WINDOW & DOOR ROUGH OPENINGS WITH WINDOW & DOOR MANUFACTURERS. • EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET, AS PER F.B.C. • EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY, AS PER F.B.C. • ALL HALLWAY DOORS TO BE NON-LOCKABLE (PRIMARY MEANS OF ESCAPE)	ALL EGRESS WINDOWS TO COMPLY W/ F.B.C. EDITION 2020. AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.
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NOTES: 1. ALL FLAT ROOFS TO HAVE A MIN. SLOPE OF 1" X 12' TOWARDS DRAINS AND/ OR SCUPPERS 2. ALL EYEBROWS TO HAVE A MIN. SLOPE OF 1" X 12' AWAY FROM INTERSECTING EXTERIOR WALLS 3. ALL DECKS, SUNDECKS, EXTERIOR CORRIDORS AND BALCONIES TO HAVE A MIN. SLOPE OF 1" X 12' TOWARDS LINEAR DRAINS 4. ALL PARAPETS TO HAVE A CAP AND FLASHING WITH A SLOPE TOWARDS INSIDE FACE OR PARAPET 5. PROVIDE FLASHING AND COUNTER FLASHING AT ALL ROOFING INTERSECTIONS (PARAPETS WITH FLAT ROOFS) 6. CRICKETS, TOWERS, EYEBROWS WITH EXTERIOR WALLS, ETC.) 7. ALUMINUM TRELLISES BY OTHERS. SUBMIT SHOP DRAWINGS BY REGISTERED P.E. FOR ENGINEER'S APPROVAL 8. FOR DRAINAGE CALCULATIONS SEE PLUMBING DUGS 9. SEE STRUCTURAL DUGS FOR DIMENSIONS, FASTENINGS AND REINFORCING DETAILS	
CONSTRUCTION KEY NOTES	
10 EXTERIORS	80 DRAINAGE
11 EXTERIOR FIN. FLOOR TO BE NON-SLIP (SEE PLAN FOR SLOPE)	81 LINEAR DRAIN (SEE STRUCTURAL DUGS FOR DETAILS AND REINFORCEMENT INFO.)
12 EXTERIOR CONC. FLOATING STEPS WITH INDIRECT LIGHTING (SEE TYP. DETAIL 3, PAGE A5.2)	82 PRECAST OVERFLOW SCUPPER W/ FLASHING AND DRIP CHANNEL AS REQUIRED (PRECAST EYEBROW)
13 EXTERIOR IPE FLOOR (SEE PLAN FOR SLOPE)	83 3" DOWNPOUT INSIDE CHU WALL COLUMN ABOVE ROOF SURFACE AS PER F.B.C. (SEE STRUCTURAL DUGS FOR DETAILS AND REINFORCEMENT INFO.)
20 STAIRS	80 ROOF
21 CANTILEVERED CONC. STAIRS WITH WALNUT WOOD VENEER (SEE PLANS FOR TREAD & RISER DIMENSIONS)	81 NEW FLAT ROOF: PROVIDE A MIN. 1/4" FT. SLOPE (SEE PLAN FOR SLOPE DIRECTION)
22 PROVIDE SHOP DUGS FOR ARCHITECT'S APPROVAL	82 PROVIDE A MIN. 1/4" FT. SLOPE AWAY FROM STRUCTURE
30 COLUMNS	83 COUNTER FLASHING AS REQUIRED (SEE FLOOR PLAN FOR T.O. BEAM ELEV.)
31 CONCRETE COLUMN	100 RAILINGS
32 STL. COLUMN TO BE 1 HR FIRE RATED AS PER DET. 8, PAGE 5.1	101 STAIR HANDRAILING: 38" H. ALUM. W/ STAINLESS STEEL CABLE RAILING TO RESIST A 4" SPHERE (TYP. 0 ALONG STAIRS)
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51 IPE TONGUE AND GROOVE PLANKS (TYP. # ALL EXTERIOR CEILINGS U.O.N)	120 LAUNDRY
52 SMOOTH STUCCO CLG. ON METAL LATH ON 1" PLUWOOD SHEATHING	121 WASHER FAUCET IN RECESSED METAL SINK AS PER F.B.C.
60 INTERIOR CEILING	130 BATHROOMS
61 CURTAIN POCKET (SEE TYP. DETAIL 6, PAGE A5.1)	131 8" O.N. CAT. 11 84" GL. DOOR & ENCLOSURE W/ HEADER ABOVE MIN. 22" CLEAR DOOR WIDTH (PROVIDE SHAMPOO NICHES (4" MIN. DEPTH) TYP. U.O.N)
62 COVE CEILING/ TRAY CEILING WITH INDIRECT LIGHTING (SEE DETAIL 1, PAGE A5.1)	132 VANITY AND MIRROR (TO BE SELECTED BY OWNER)
63 22"x36"x1/2" PLYUD. ACCESS PANEL (METAL CLADDED 1 HR FIRE RATED W/ LIGHT & FULL DN. CHAIN & DROP DOWN LADDERS) PROVIDE MAXIMUM USABLE AREA # ATTIC # MIN. VENT. HT. OF 30" AS PER F.B.C. 2021	
70 STRUCTURE	
71 LINE OF STRUCTURE / SECOND FLOOR / EYEBROW / OVERHANGS ABOVE	
72 LINE OF STRUCTURAL MEMBERS HIDDEN ABOVE CEILING	
73 A/C DUCT CHASE / PENETRATION ON BEAM OR SLAB (COORDINATE WITH STRUCTURAL DUGS)	

CONSTRUCTION LEGEND :	
8" CMU WALL WITH 3" GYP. BD. ON 1/2" WD FURRING & 16" OC ON THE INTERIOR SIDE AND STUCCO FINISH ON THE EXTERIOR	4" PARTITION 3/4" X 20 GA. CHANNEL SHAPED METAL STUDS # 16" O/C WITH 1 FULL LENGTH LAYER OF 5/8" GYP. BD. (OR CEMENT BOARD) APPLIED VERTICALLY TO EACH SIDE
8" CMU EXTERIOR LOW WALL: STUCCO FINISH ON BOTH SIDES (SEE PLAN FOR T.O.B.)	1 HR. FIRE RATED WALL: 3/4" X 20 GA. CHANNEL SHAPED METAL STUDS # 16" O/C WITH 1 FULL LENGTH LAYER OF 5/8" TYPE 'X' GYP. BD. (OR CEMENT BOARD) "X" APPLIED VERTICALLY TO EACH SIDE
CONCRETE COLUMN: REFER TO STRUCTURAL DUGS FOR REINFORCING, SIZE & DETAIL INFO.	INTERIOR STL. COLUMNS: IN 1 HOUR FIRE RATED COVER EXTERIOR STL. COLUMNS: GALVANIZED AND PROTECTED W/ ANTI-CORROSION PAINT COATING
* SEE STRUCTURAL DRAWINGS FOR SCHEDULES, REINFORCING AND MORE DETAILS INFORMATION	
** USE CEMENT BOARD IN HIGH-MOISTURE AREAS	
SYMBOLS	
DIFFERENCE AT FLOOR LEVEL	LINE OF STRUCTURE (HIDDEN ABOVE CEILING)
FLOATING STEPS WITH INDIRECT LIGHTING (TYP. # ENTRY STEPS)	LINE OF ELEMENT ABOVE (ON PLANS) BEYOND (ON ELEVATIONS)
DIFFERENCE OF SURFACE / CEILING LEVEL	LINE OF ELEMENT BELOW
SLOPE DOWN # CEILINGS, FLOORS AND ROOFS (SEE PLANS FOR PITCH)	DOOR (SEE SCHEDULE)
CENTER LINE	WINDOW (SEE SCHEDULE)
DENOTES FIELD VERIFY*	KEY NOTE (SEE LEGEND)

* AREA CALCULATION :	
GROUND FL. A/C AREA :	3519 SQ. FT.
SECOND FL. A/C AREA :	2321 SQ. FT.
DOUBLE HEIGHT A/C AREA :	222 SQ. FT.
TOTAL A/C AREA :	6062 SQ. FT.
COVERED TERRACE:	925 SQ. FT.
GARAGE:	590 SQ. FT.
COVERED ENTRY :	143 SQ. FT.
TOTAL LOT COVERAGE:	5/31 SQ. FT.
SECOND FLOOR COVERED TERRACE :	471 SQ. FT.
SECOND FLOOR COVERED BALCONIES :	253 SQ. FT.
SUNDECK :	98 SQ. FT.
TOTAL AREA:	8,956 SQ. FT.
* AREA CALCULATION INCLUDES THICKNESS OF EXTERIOR WALLS. AREA CALCULATION DOES NOT INCLUDE THICKNESS OF EXTERIOR WALLS.	

FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:			
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RIDGE VENTILATION	CURTAIN WALLS	MULLIONS	WATERPROOFING
PRECAST SYSTEMS	HANDRAILS	RAILS	GLASS WALL
STORM SHUTTERS	STEEL JOISTS	STORE FRONT	FENCES
PREFABRICATED STAIRS	ELEVATORS	POOLS	ALUNINGS
		WATER-FEATURES	
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RESIDENCE FOR :

OWNER:
MR. JOSE MUNOZ

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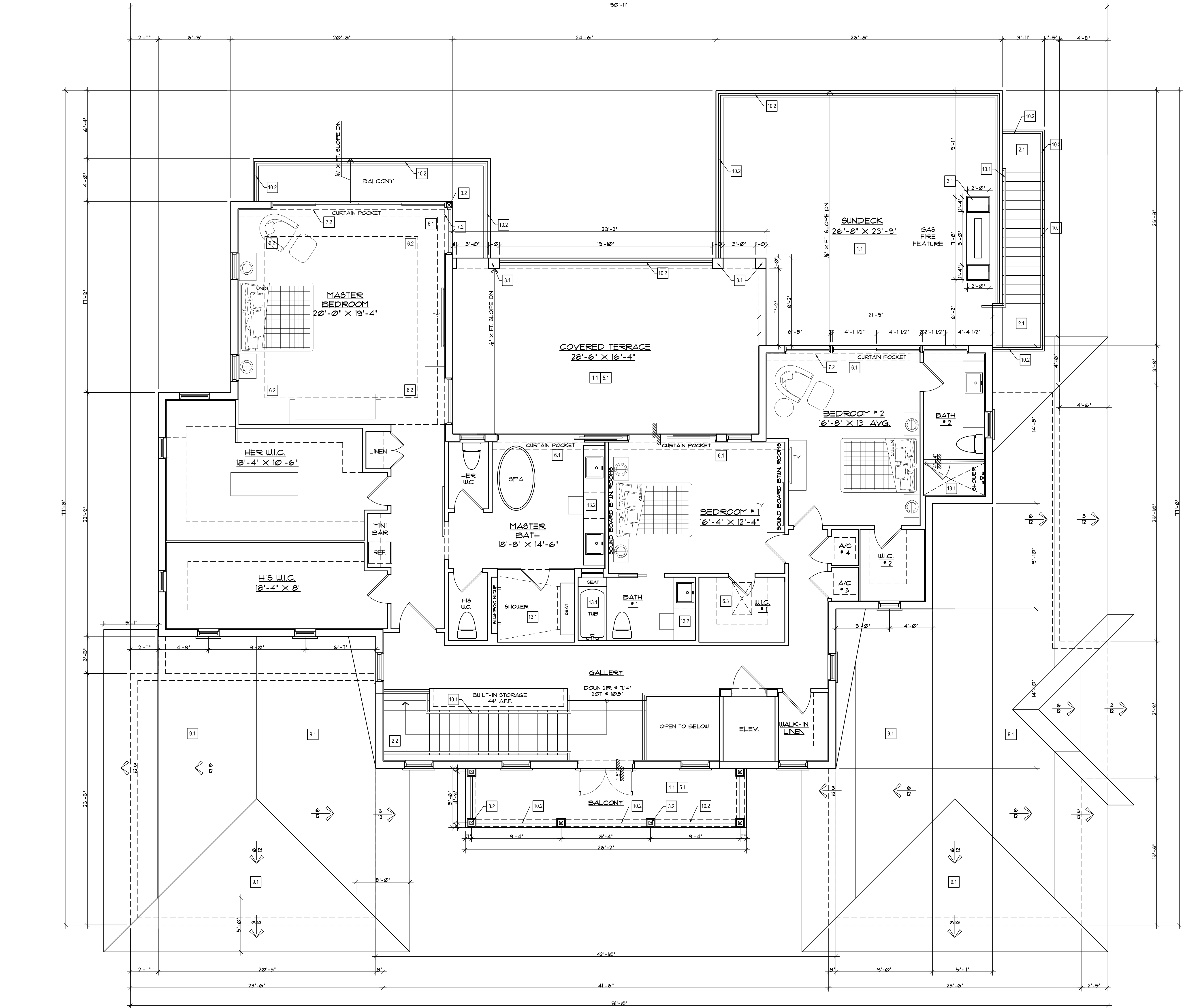
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6 OF 10

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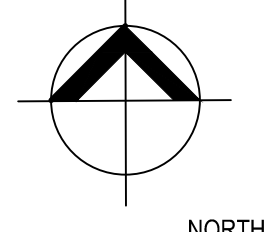
605 SOLANO PRADO

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CORAL GABLES,



SECOND FLOOR PLAN
SCALE : 1/4" = 1'-0"



ALL WOOD IN CONTACT WITH CONCRETE OR CMU TO BE PRESSURE-TREATED AS PER F.B.C. 2020.
ALL PRECAST ELEMENTS TO BE ATTACHED W/ 1/4" DIA. TAPCONS W/ 1/2" PENETRATION INTO CONC. # 6" O.C. EA. WAY, IF PRECAST MEMBER IS LESSER THAN OR EQUAL TO 8' IN WIDTH THAN PROVIDE ONLY ONE ROW OF TAPCONS STAGGERED TOP & BOTT.
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ALL EGRESS WINDOWS TO COMPLY W/ FBC EDITION 2020, AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESSER THAN 20" WIDE X 24" HIGH AND 8.1 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.

NOTES:
1. ALL FLAT ROOFS TO HAVE A MIN. SLOPE OF 1/4" X 12' TOWARDS DRAINS AND/ OR SCUPPERS
2. ALL EYEBROWS TO HAVE A MIN. SLOPE OF 1/4" X 12' AWAY FROM INTERSECTING EXTERIOR WALLS
3. ALL DECKS, SUNDECKS, EXTERIOR CORRIDORS AND BALCONIES TO HAVE A MIN. SLOPE OF 1/4" X 12' TOWARDS LINEAR DRAINS
4. ALL PARAPETS TO HAVE A CAP AND FLASHING WITH A SLOPE TOWARDS INSIDE FACE OR PARAPET
5. PROVIDE FLASHING AND COUNTER FLASHING AT ALL ROOFING INTERSECTIONS (PARAPETS WITH FLAT ROOFS, CRICKETS, TOWERS, EYEBROWS WITH EXTERIOR WALLS, ETC.)
6. ALUMINUM TRELLISES BY OTHERS, SUBMIT SHOP DRAWINGS BY REGISTERED P.E. FOR ENGINEER'S APPROVAL
7. FOR DRAINAGE CALCULATIONS SEE PLUMBING DUGS
*** SEE STRUCTURAL DUGS FOR DIMENSION, FASTENINGS AND REINFORCING DETAILS

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13 EXTERIOR IPE FLOOR (SEE PLAN FOR SLOPE)	83 PRECAST OVERFLOW SCUPPER W/ FLASHING & DRIP CHANNEL AS REQD. 2" TO 4" ABOVE ROOF SURFACE AS PER F.B.C.
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30 COLUMNS	81 NEW FLAT ROOF: PROVIDE A MIN. 1/4" X 12' SLOPE (SEE PLAN FOR SLOPE DIRECTION) NEW CONC. EYEBROW
31 CONCRETE COLUMN	82 PROVIDE A MIN. 1/4" X 12' SLOPE AWAY FROM STRUCTURE
32 STL. COLUMN TO BE 1 HR FIRE RATED AS PER DET. 8, PAGE 51	83 8" CMU PARAPET, PROVIDE FLASHING AND COUNTER FLASHING AS REQUIRED (SEE FLOOR PLAN FOR T.O BEAM ELEV.)
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41 LINE OF WALL/ PARTITION BELOW (8" CMU FOR EXTERIOR LOCATIONS)	101 STAIR HANDRAILING: 38" H. ALUM. W/ STAINLESS STEEL CABLE RAILING TO RESIST A 4" SPHERE (TYP. 0 ALONG STAIRS)
42 LOW 8" CMU WALL (SEE PLAN FOR TOP OF CAP BEAM ELEV.)	110 MILLWORK
50 EXTERIOR CEILING	111 36" AFF. COUNTER W/ WALL CABINETS (ABOVE) (SEE DETAIL 3, PAGE AB.1)
51 IPE TONGUE AND GROOVE PLANKS (TYP. # ALL EXTERIOR CABINETS W/CON)	112 42" AFF. BAR COUNTER (CONCRETE FOR EXTERIOR COUNTERS)
52 8" SMOOTH STUCCO CLG. ON METAL LATH ON 1" PLYWOOD SHEATHING	120 LAUNDRY
60 INTERIOR CEILING	121 CURTAIN POCKET (SEE TYP. DETAIL 6, PAGE AB.1)
61 COVE CEILING/ TRAY CEILING WITH INDIRECT LIGHTING (SEE DETAIL 1, PAGE AB.1)	122 WASHER FAUCET IN RECESSED METAL POCKET AS PER F.B.C.
62 22"x36"x3/8" PLY.UD. ACCESS PANEL (METAL CLADDED 1 HR FIRE RATED W/ LIGHT & FULL ON CHAIN & DROP DOWN LADDER) PROVIDE MAXIMUM USABLE AREA 4" ATTIC MIN. VENT. HT. OF 30" AS PER F.B.C. 2021	130 BATHROOMS
70 STRUCTURE	131 8" CMU GAT. 11 8" AFF. GL. DOOR & ENCLOSURE W/ HEADER ABOVE MIN. 22" CLEAR DOOR WIDTH PROVIDE SHAMPOO NICHES (4" MIN. DEPTH) TYP. W/CON
71 LINE OF STRUCTURE/ SECOND FLOOR/ EYEBROW/ OVERHANGS ABOVE	132 VANITY AND MIRROR (TO BE SELECTED BY OWNER)
72 LINE OF STRUCTURAL MEMBERS HIDDEN ABOVE CEILING	
73 A/C DUCT CHASE/ PENETRATION ON BEAM OR SLAB (COORDINATE WITH STRUCTURAL DUGS)	

CONSTRUCTION LEGEND :	
8" CMU WALL WITH 3" GYP. BD. ON 1/2" WD FURRING # 16" O.C. ON THE INTERIOR SIDE AND STUCCO FINISH ON THE EXTERIOR. (SEE PLAN FOR T.O.B.)	4" PARTITION, 3/4" X 20 GA. CHANNEL SHAPED METAL STUDS # 16" O/C WITH 1 FULL LENGTH LAYER OF 5/8" GYP. BD. (OR CEMENT BOARD) APPLIED VERTICALLY TO EACH SIDE
8" CMU EXTERIOR LOW WALL, STUCCO FINISH ON BOTH SIDES (SEE PLAN FOR T.O.B.)	1 HR FIRE RATED WALL: 3/4" X 20 GA. CHANNEL SHAPED METAL STUDS # 16" O/C WITH 1 FULL LENGTH LAYER OF 5/8" TYPE 'X' GYP. BD. (OR CEMENT BOARD) ** APPLIED VERTICALLY TO EACH SIDE
CONCRETE COLUMN: REFER TO STRUCTURAL DUGS FOR REINFORCING, SIZE & DETAIL INFO.	INTERIOR STL. COLUMNS: IN 1 HOUR FIRE RATED COVER EXTERIOR STL. COLUMNS: GALVANIZED AND PROTECTED W/ ANTI-CORROSION PAINT COATING.
DENOTES A WATER SURFACE (POOLS, WATER FEATURES ETC.) BY OTHERS, PROVIDE SHOP DUGS FOR APPROVAL.	
* SEE STRUCTURAL DRAWINGS FOR SCHEDULES, REINFORCING AND MORE DETAILS INFORMATION	** USE CEMENT BOARD IN HIGH-MOISTURE AREAS
SYMBOLS	
DIFFERENCE AT FLOOR LEVEL	LINE OF STRUCTURE (HIDDEN ABOVE CEILING)
FLOATING STEPS WITH INDIRECT LIGHTING (TYP. # ENTRY STEPS)	LINE OF ELEMENT ABOVE (ON PLANS) BEYOND (ON ELEVATIONS)
DIFFERENCE OF SURFACE/ CEILING LEVEL	LINE OF ELEMENT BELOW
SLOPE DOWN # CEILINGS, FLOORS AND ROOFS (SEE PLANS FOR PITCH)	DOOR (SEE SCHEDULE)
CENTER LINE	WINDOW (SEE SCHEDULE)
DENOTES "FIELD VERIFY"	KEY NOTE (SEE LEGEND)

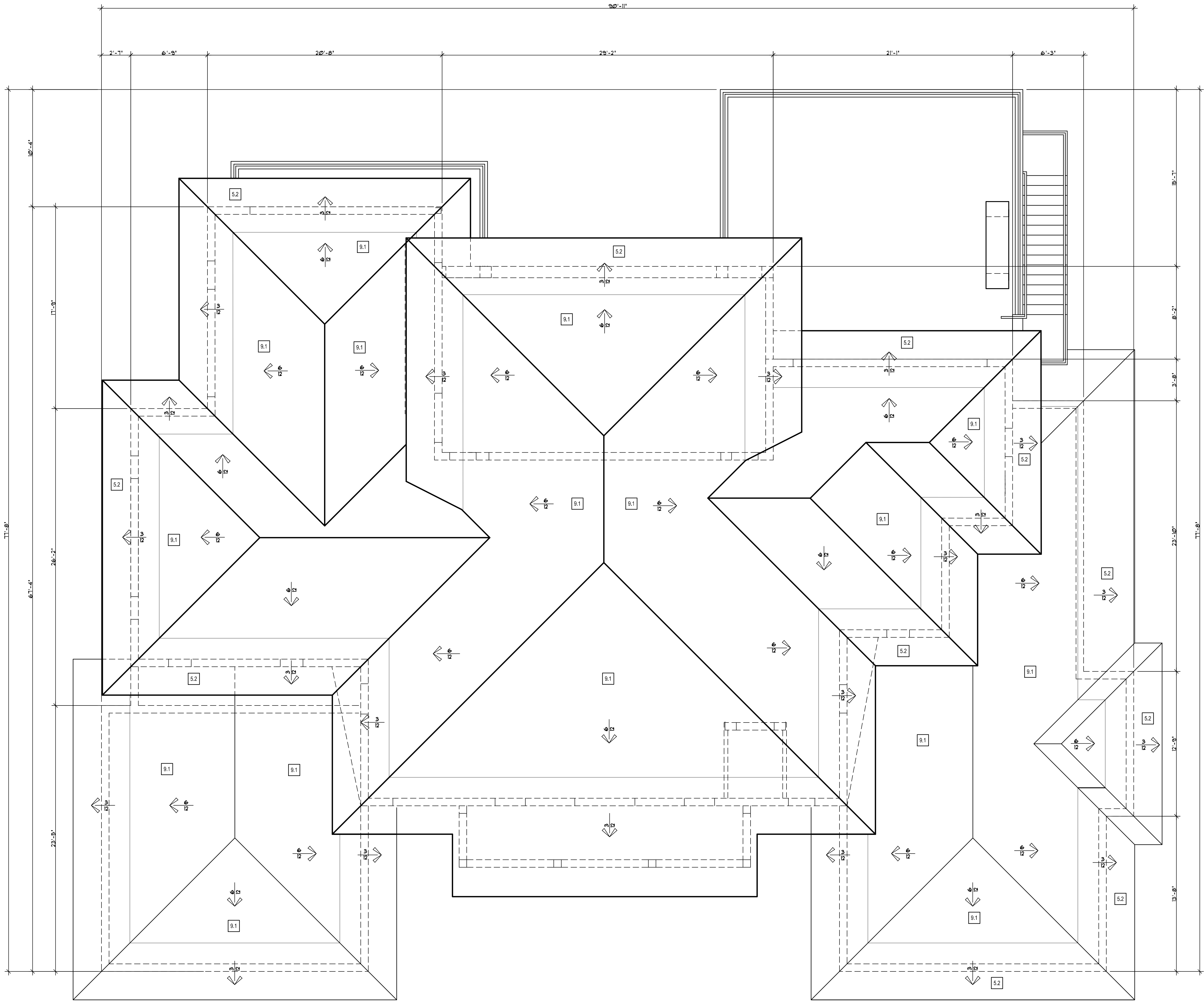
FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:
STRUCTURAL GLAZING WOOD TRUSSES DOORS ROOFING WINDOWS
RIDGE VENTILATION CURTAIN WALLS MULLIONS WATERPROOFING GLASS WALL
PRECAST SYSTEMS HANDRAILS RAILS FENCES SIGNS
STORE SHUTTERS STEEL JOISTS STORE FRONT AWNINGS TRELLISES
PREFABRICATED STAIRS ELEVATORS POOLS WATER-FEATURES LOUVER ENCLOS.
(SHOP DUGS & CORRESPONDING STRUCTURAL CALCS SHALL BE DATED, SIGNED & SEALED BY A FLORIDA LICENSE ENGINEER.)
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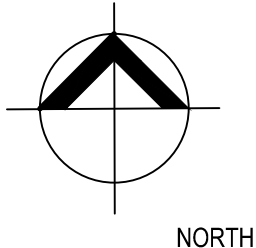
RESIDENCE FOR :
605 SOLANO PRADO
CORAL GABLES, FLORIDA

OWNER: MR. JOSE MUÑOZ
DATE: 08/05/21
ISSUED: _____
DRAWN: _____
CHECKED: _____
PROJECT NO.: _____
SHEET: A1.2
1 OF 10



ROOF PLAN

SCALE : 1/4" = 1'-0"



ALL WOOD IN CONTACT WITH CONCRETE OR CMU TO BE PRESSURE-TREATED AS PER F.B.C. 2010.
ALL PRECAST ELEMENTS TO BE ATTACHED W/ 1/4" DIA. TAPCONS W/ 1/2" PENETRATION INTO CONC. # 6" O.C. EA. WAY. IF PRECAST MEMBER IS LESS THAN OR EQUAL TO 8" IN WIDTH THAN PROVIDE ONLY ONE ROW OF TAPCONS STAGGERED TOP & BOTT.
AS PER F.B.C. 2010, COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3" (76MM) FROM RECESSED LIGHTING FIXTURES, FAN MOTORS AND OTHER HEAT-PRODUCING DEVICES.

VERIFY ALL WINDOW & DOOR ROUGH OPENINGS WITH WINDOW & DOOR MANUFACTURERS.
• EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET, AS PER F.B.C.
• EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY, AS PER F.B.C.
• ALL HALLWAY DOORS TO BE NON-LOCKABLE (PRIMARY MEANS OF ESCAPE)

ALL EGRESS WINDOWS TO COMPLY W/ F.B.C EDITION 2010. AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.

NOTES:
1. ALL FLAT ROOFS TO HAVE A MIN. SLOPE OF 1" X 12" TOWARDS DRAINS AND/ OR SCUPPERS
2. ALL EYEBROWS TO HAVE A MIN. SLOPE OF 1" X 12" AWAY FROM INTERSECTING EXTERIOR WALLS
3. ALL DECKS, SUNDECKS, EXTERIOR CORRIDORS AND BALCONIES TO HAVE A MIN. SLOPE OF 1" X 12" TOWARDS LINEAR DRAINS
4. ALL PARAPETS TO HAVE A CAP AND FLASHING WITH A SLOPE TOWARDS INSIDE FACE OR PARAPET
5. PROVIDE FLASHING AND COUNTER FLASHING AT ALL ROOFING INTERSECTIONS (PARAPETS WITH FLAT ROOFS, CRICKETS, TOWERS, EYEBROWS WITH EXTERIOR WALLS, ETC.)
6. ALUMINUM TRELLISES BY OTHERS. SUBMIT SHOP DRAWINGS BY REGISTERED P.E. FOR ENGINEER'S APPROVAL.
7. FOR DRAINAGE CALCULATIONS SEE PLUMBING DUGS
*** SEE STRUCTURAL DUGS FOR DIMENSIONS AND REINFORCING DETAILS

CONSTRUCTION KEY NOTES

10 EXTERIORS	8.0 DRAINAGE
11 EXTERIOR FIN FLOOR TO BE NON-SLIPERY (SEE PLAN FOR SLOPE)	8.1 LINEAR DRAIN (SEE STRUCTURAL DUGS FOR DETAILS AND REINFORCEMENT INFO.)
12 EXTERIOR CONC. FLOATING STEPS WITH INDIRECT LIGHTING (SEE TYP. DETAIL 3, PAGE A5.2)	8.2 PRECAST OVERFLOW SCUPPER W/ FLASHING AND DRIP CHANNEL AS REQUIRED
13 EXTERIOR IPE FLOOR (SEE PLAN FOR SLOPE)	8.3 PRECAST EMERGENCY OVERFLOW SCUPPER W/ FLASHING & DRIP CHANNEL AS REQD. 2" TO 4" ABOVE ROOF SURFACE AS PER F.B.C.
20 STAIRS	8.4 3" DOWNSPOUT INSIDE CMU WALL COLUMN (SEE STRUCTURAL DUGS FOR DETAILS AND REINFORCEMENT INFO.)
21 CANTILEVERED CONC. STAIRS WITH WALNUT WOOD VENEER (SEE PLANS FOR TREAD & RISE DIMENSIONS)	8.0 ROOF
22 PREFABRICATED STAIRS (BY OTHERS) PROVIDE SHOP DUGS FOR ARCHITECT'S APPROVAL	8.1 NEW FLAT ROOF: PROVIDE A MIN. 1/4" FT. SLOPE (SEE PLAN FOR SLOPE DIRECTION) NEW CONC. EYEBROW:
30 COLUMNS	8.2 PROVIDE A MIN. 1/4" FT. SLOPE AWAY FROM STRUCTURE
31 CONCRETE COLUMN	8.3 8" CMU PARAPET PROVIDE FLASHING AND COUNTER FLASHING AS REQUIRED (SEE FLOOR PLAN FOR T.O. BEAM ELEV.)
32 STL. COLUMN TO BE 1 HR FIRE RATED AS PER DET. 8, PAGE 9.1	10.0 RAILINGS
40 LOW WALLS	10.1 STAIR HANDRAILING: 38" HI. ALUM. W/ STAINLESS STEEL CABLE RAILING TO RESIST A 4" SPHERE (TYP. 0 ALONG STAIRS)
41 LINE OF WALL/ PARTITION BELOW (8" CMU FOR EXTERIOR LOCATIONS)	10.2 42" HI. STAINLESS STEEL CABLE RAILING TO RESIST A 4" DIAM. SPHERE (TYP. # LANDINGS AND BALCONIES)
42 LOW 8" CMU WALL (SEE PLAN FOR TOP OF CAP BEAM ELEV.)	11.0 MILLWORK
50 EXTERIOR CEILING	11.1 36" AFF. COUNTER
51 IPE TONGUE AND GROOVE PLANKS (TYP. # ALL EXTERIOR CEILINGS U.O.N)	11.2 42" AFF. BAR COUNTER (CONCRETE FOR EXTERIOR COUNTERS)
52 8" SMOOTH STUCCO CLG. ON METAL LATH ON 1" PLYWOOD SHEATHING	12.0 LAUNDRY
60 INTERIOR CEILING	12.1 CURTAIN POCKET (SEE TYP. DETAIL 6, PAGE A5.1)
61 COVE CEILING/ TRAY CEILING WITH INDIRECT LIGHTING (SEE DETAIL 7, PAGE A5.1)	12.2 WASHER FAUCET IN RECESSED METAL POCKET AS PER F.B.C.
62 22"x36"x1/8" PLYUD. ACCESS PANEL (METAL CLADDED 1 HR FIRE RATED W/ LIGHT & FULL ON CHAIN & DROP DOWN LADDER) PROVIDE MAXIMUM USABLE AREA #ATTIC & MIN. VENT. HT. OF 30" AS PER F.B.C. 2011	13.0 BATHROOMS
70 STRUCTURE	13.1 8" CMU GAT. 11 8" AFF. GL. DOOR & ENCLOSURE W/ HEADER ABOVE MIN. 22" CLEAR DOOR WIDTH (PROVIDE SHAMPOO NICHE (4" MIN. DEPTH) TYP. U.O.N)
71 LINE OF STRUCTURE/ SECOND FLOOR/ EYEBROW/ OVERHANG ABOVE	13.2 VANITY AND MIRROR (TO BE SELECTED BY OWNER)
72 LINE OF STRUCTURAL MEMBERS HIDDEN ABOVE CEILING	
73 A/C DUCT CHASE/ PENETRATION ON BEAM OR SLAB (COORDINATE WITH STRUCTURAL DUGS)	

CONSTRUCTION LEGEND :

8" CMU WALL WITH 3" GYP. BD. ON 1/2" WD FURRING # 16" O.C. ON THE INTERIOR SIDE AND STUCCO FINISH ON THE EXTERIOR	4" PARTITION 3/4" X 20 GA. CHANNEL SHAPED METAL STUDS # 16" O/C WITH 1 FULL LENGTH LAYER OF 5/8" GYP. BD. (OR CEMENT BOARD) APPLIED VERTICALLY TO EACH SIDE
8" CMU EXTERIOR LOW WALL: STUCCO FINISH ON BOTH SIDES (SEE PLAN FOR T.O.B)	1 HR. FIRE RATED WALL: 3/4" X 20 GA. CHANNEL SHAPED METAL STUDS # 16" O/C WITH 1 FULL LENGTH LAYER OF 5/8" TYPE 'X' GYP. BD. (OR CEMENT BOARD **) APPLIED VERTICALLY TO EACH SIDE
CONCRETE COLUMN: REFER TO STRUCTURAL DUGS FOR REINFORCING, SIZE & DETAIL INFO.	INTERIOR STL. COLUMNS: IN 1 HOUR FIRE RATED COVER EXTERIOR STL. COLUMNS: GALVANIZED AND PROTECTED W/ ANTI-CORROSION PAINT COATING.
Denotes a water surface (pools, water features etc) by others. Provide shop dugs for approval.	** USE CEMENT BOARD IN HIGH-MOISTURE AREAS

SYMBOLS

DIFFERENCE AT FLOOR LEVEL	LINE OF STRUCTURE (HIDDEN ABOVE CEILING)
FLOATING STEPS WITH INDIRECT LIGHTING (TYP. # ENTRY STEPS)	LINE OF ELEMENT ABOVE (ON PLANS) BEYOND (ON ELEVATIONS)
DIFFERENCE OF SURFACE/ CEILING LEVEL	LINE OF ELEMENT BELOW
SLOPE DOWN & CEILINGS, FLOORS AND ROOFS (SEE PLANS FOR PITCH)	DOOR (SEE SCHEDULE)
CENTER LINE	WINDOW (SEE SCHEDULE)
Denotes 'FIELD VERIFY'	KEY NOTE (SEE LEGEND)

FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:

STRUCTURAL GLAZING	WOOD TRUSSES	DOORS	ROOFING	WINDOWS
RIDGE VENTILATION	CURTAIN WALLS	MULLIONS	WATERPROOFING	GLASS WALL
PRECAST SYSTEMS	HANDRAILS	RAILS	FENCES	SIGNS
STORM SHUTTERS	STEEL JOISTS	STORE FRONT	AWNINGS	TRELLISES
PREFABRICATED STAIRS	ELEVATORS	POOLS	WATER-FEATURES	LOUVER ENCLOS.

(SHOP DUGS & CORRESPONDING STRUCTURAL CALCS SHALL BE DATED, SIGNED & SEALED BY A FLORIDA LICENSE ENGINEER)

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RESIDENCE FOR :

605 SOLANO PRADO

FLORIDA

CORAL GABLES,

OWNER:
MR. JOSE MUÑOZ

DATE: 08/5/21
ISSUED: _____
DRAWN: XX
CHECKED: AR
PROJECT NO: _____

SHEET:

A1.3
8 OF 10

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FRONT ELEVATION

SCALE : 1/4" = 1'-0"

NOTE :

WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AS PER 2011 F.B.C. R302.9.1.
WALL AND CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450 AS PER 2011 F.B.C. R302.9.2.
ALL INSULATION MATERIAL TO HAVE A FLAME SPREAD INDEX OF NOT TO EXCEED 25 AND A ACCOMPANYING SMOKE DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723 AS PER 2011 F.B.C. 302.10.1.

ELEVATION KEY NOTES

FINISHES/VENEERS	DECORATIVE ELEMENTS
20.1 SMOOTH STUCCO FINISH COLOR: WHITE	21.1 LIGHT FIXTURE
20.2 LIMESTONE VENEER (TYP.) (TO BE SELECTED BY OWNER)	21.2 DECORATIVE SHUTTERS TO BE SELECTED BY OWNER (BY OTHERS)
20.3 2" STUCCO BAND (TYP. U.O.N.)	21.3 8"x10" DECORATIVE WOOD OUTRIGGERS @ 10' O.C.
20.4 4" STUCCO BAND (TYP. U.O.N.)	21.4 3"x6" DECORATIVE WOOD OUTRIGGERS @ 30' O.C.
20.5 FLAT CEMENT TILE ROOF (TYPICAL @ ALL ROOFS)	21.5 FLOATING STEPS W/INDIRECT LIGHTING (TYP.)
20.6 4" STUCCO SILL (TYP. U.O.N.)	21.6 4' HIGH (2) 4'-6" WIDE ALUMN. GATE
20.7 FLAT CEMENT TILE ROOF (TYPICAL @ ALL ROOFS)	21.7 4' HIGH AFF. ALUMN. FENCE
20.8 42" HI. STAINLESS STEEL CABLE RAILING TO REJECT A 4" DIAM. SPHERE (TYP. @ LANDINGS AND BALCONIES)	21.8 36" AFF. COUNTER (SEE DETAIL 3, PAGE A5.1)
20.9 38" HI. ALUM. W/ STAINLESS STEEL CABLE RAILING TO REJECT A 4" SPHERE (TYP. ALONG STAIRS)	21.9 42" AFF. COUNTER (SEE DETAIL 3, PAGE A5.1)
20.10 19'-10"x2'-6" ALUMN. SLATS (TYP.)	21.10 OUTDOOR ENCLOSURE: 1'X3" ALUM. SLATS W/ 1 1/2" X 2" ALUMN. FRAME COLOR: WOOD
20.11 21'-4" X 5'-0" ALUMN. SLATS (TYP.)	

*** SEE STRUCTURAL DUGS FOR DIMENSION, FASTENINGS AND REINFORCING DETAILS
REFER TO INTERIOR DESIGNER FOR THE FOLLOWING :
1. BATHROOM ACCESSORIES LOCATION
2. FINAL SHAMPOO AND ART NICHE DIMENSIONS AND LOCATION
3. LOCATION OF ALL ABOVE AND BELOW COUNTERS, OUTLETS, TV OUTLETS AND KEYPADS
4. ALL CEILING COVES DIMENSIONS, MATERIALS AND DETAILS

NOTES:
1. ALL FLAT ROOFS TO HAVE A MIN. SLOPE OF 1/4" X 12" TOWARDS DRAINS AND/ OR SCUPPERS
2. ALL EYEBROWS TO HAVE A MIN. SLOPE OF 1/4" X 12" AWAY FROM INTERSECTING EXTERIOR WALLS
3. ALL DECKS, SUNDECKS, EXTERIOR CORRIDORS AND BALCONIES TO HAVE A MIN. SLOPE OF 1/4" X 12" TOWARDS LINEAR DRAINS
4. ALL PARAPETS TO HAVE A CAP AND FLASHING WITH A SLOPE TOWARDS INSIDE FACE OR PARAPET
5. PROVIDE FLASHING AND COUNTER FLASHING AT ALL ROOFING INTERSECTIONS (PARAPETS WITH FLAT ROOFS, CRICKETS, TOWERS, EYEBROWS WITH EXTERIOR WALLS, ETC)
6. ALUMINUM TRELLISES BY OTHERS. SUBMIT SHOP DRAWINGS BY REGISTERED P.E. FOR ENGINEER'S APPROVAL
7. FOR DRAINAGE CALCULATIONS SEE PLUMBING DUGS
*** SEE STRUCTURAL DUGS FOR DIMENSION, FASTENINGS AND REINFORCING DETAILS

SYMBOLS	LEGEND
DIFFERENCE AT FLOOR LEVEL	--- LINE OF STRUCTURE (HIDDEN ABOVE CEILING)
FLOATING STEPS WITH INDIRECT LIGHTING (TYP. @ ENTRY STEPS)	--- LINE OF ELEMENT ABOVE (ON PLANS) BEYOND (ON ELEVATIONS)
DIFFERENCE OF SURFACE/CEILING LEVEL	----- LINE OF ELEMENT BELOW
SLOPE DOWN @ CEILINGS, FLOORS AND ROOFS (SEE PLANS FOR PITCH)	(X) DOOR (SEE SCHEDULE)
--- CL --- CENTER LINE	(X) WINDOW (SEE SCHEDULE)
(V.I.F) DENOTES "VERIFY IN FIELD"	(X) KEY NOTE (SEE LEGEND)



REAR ELEVATION

SCALE : 1/4" = 1'-0"

ALL WOOD IN CONTACT WITH CONCRETE OR CMU TO BE PRESSURE-TREATED AS PER F.B.C. 2010.
ALL PRECAST ELEMENTS TO BE ATTACHED W/ 1/4" DIA. TAPCONS W/ 1 1/2" PENETRATION INTO CONC. @ 6" O.C. EA. WAY, IF PRECAST MEMBER IS LESSER THAN OR EQUAL TO 8" IN WIDTH THAN PROVIDE ONLY ONE ROW OF TAPCONS STAGGERED TOP & BOT.
AS PER F.B.C. 2010, COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3" (76MM) FROM RECESSED LIGHTING FIXTURES, FAN MOTORS AND OTHER HEAT-PRODUCING DEVICES.

VERIFY ALL WINDOW & DOOR ROUGH OPENINGS WITH WINDOW & DOOR MANUFACTURERS.
* EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET AS PER F.B.C.
* EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY. AS PER F.B.C.
* ALL HALLWAY DOORS TO BE NON-LOCKABLE (PRIMARY MEANS OF ESCAPE)

ALL EGRESS WINDOWS TO COMPLY W/ F.B.C EDITION 2010. AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.

FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:
STRUCTURAL GLAZING WOOD TRUSSES DOORS ROOFING WINDOWS
RIDGE VENTILATION CURTAIN WALLS MULLIONS WATERPROOFING GLASS WALL
PRECAST SYSTEMS HANDRAILS RAILS FENCES SIGNS
STORM SHUTTERS STEEL JOISTS STORE FRONT AWNINGS TRELLISES
PREFABRICATED STAIRS ELEVATORS POOLS WATER-FEATURES LOUVER ENCLOS.
(SHOP DUGS & CORRESPONDING STRUCTURAL CALCS SHALL BE DATED, SIGNED & SEALED BY A FLORIDA LICENSE ENGINEER)

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RESIDENCE FOR :

605 SOLANO PRADO

CORAL GABLES, FLORIDA

OWNER: MR. JOSE MUÑOZ

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ISSUED: _____
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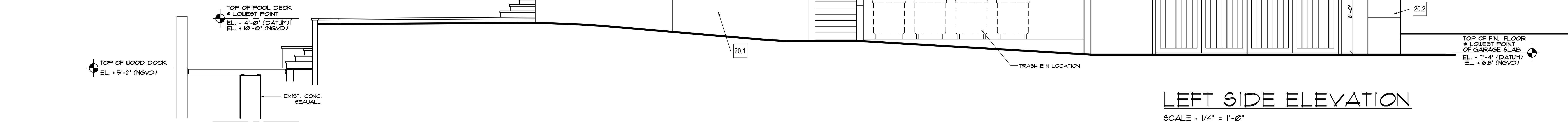
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9 OF 10

NOTE :
WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AS PER 2011 F.B.C. R302.9.1.
WALL AND CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450 AS PER 2011 F.B.C. R302.9.2.
ALL INSULATION MATERIAL TO HAVE A FLAME SPREAD INDEX OF NOT TO EXCEED 25 AND A ACCOMPANYING SMOKE DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723 AS PER 2011 F.B.C. 302.10.1.

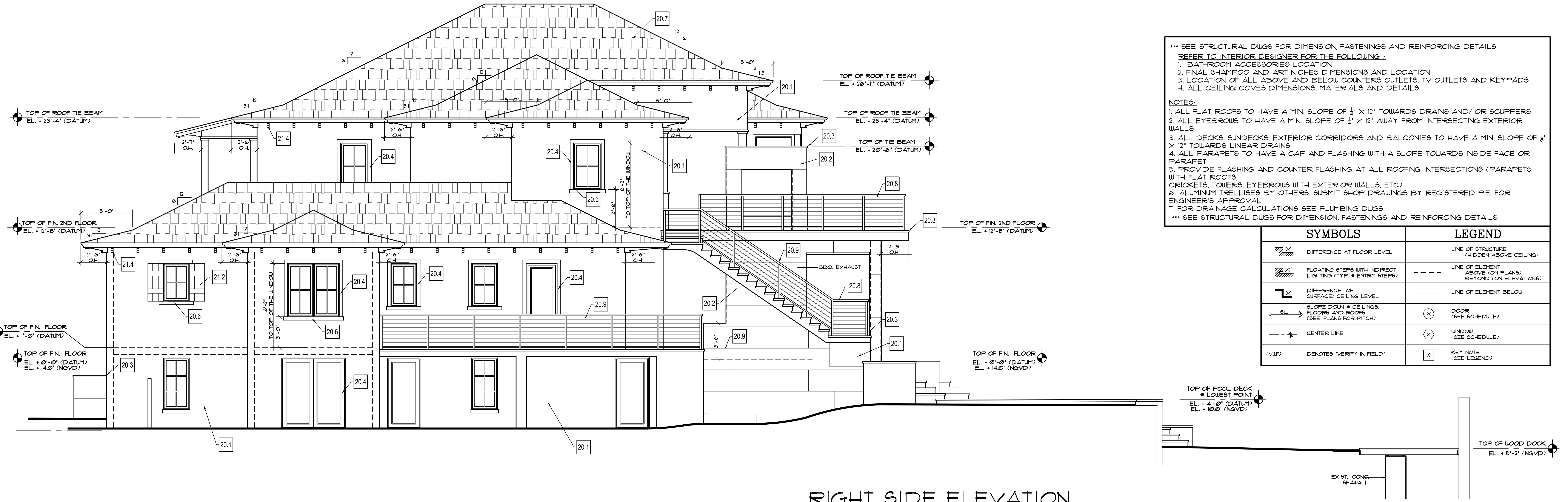
ELEVATION KEY NOTES

FINISHES/VENEERS	DECORATIVE ELEMENTS
20.0 SMOOTH STUCCO FINISH COLOR: WHITE	21.1 LIGHT FIXTURE
20.2 LIMESTONE VENEER (TYP.) (TO BE SELECTED BY OWNER)	21.2 DECORATIVE SHUTTERS TO BE SELECTED BY OWNER (BY OTHERS)
20.3 2" STUCCO BAND (TYP. U.O.N.)	21.3 8"x10" DECORATIVE WOOD OUTRIGGERS @ 30" O.C.
20.4 4" STUCCO BAND (TYP. U.O.N.)	21.4 3"x6" DECORATIVE WOOD OUTRIGGERS @ 30" O.C.
20.5 FLAT CEMENT TILE ROOF (TYPICAL @ ALL ROOFS)	21.5 FLOATING STEPS W/INDIRECT LIGHTING (TYP.)
20.6 4" STUCCO SILL (TYP. U.O.N.)	21.6 4" HIGH (2) 4'-6" WIDE ALUMN. GATE
20.7 FLAT CEMENT TILE ROOF (TYPICAL @ ALL ROOFS)	21.7 4" HIGH AFF. ALUMN. FENCE
20.8 42" HI. STAINLESS STEEL CABLE RAILING TO REJECT A 4" DIAM. SPHERE (TYP. @ LANDINGS AND BALCONIES).	21.8 36" AFF. COUNTER (SEE DETAIL 3, PAGE A5.1)
20.9 38" HI. ALUM. W/ STAINLESS STEEL CABLE RAILING TO REJECT A 4" SPHERE) (TYP. ALONG STAIRS)	21.9 42" AFF. COUNTER (SEE DETAIL 3, PAGE A5.1)
20.10 18'-10"x2'-6" ALUMN. SLATS (TYP.)	21.10 1"x3" ALUM. SLATS W/ 1 1/4" X 2" ALUMN. FRAME COLOR: WOOD
20.11 21'-4" X 5'-0" ALUMN. SLATS (TYP.)	



LEFT SIDE ELEVATION

SCALE : 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE : 1/4" = 1'-0"

*** SEE STRUCTURAL DWGS FOR DIMENSION, FASTENINGS AND REINFORCING DETAILS. REFER TO INTERIOR DESIGNER FOR THE FOLLOWING : 1. BATHROOM ACCESSORIES LOCATION 2. FINAL SHAMPOO AND ART NICHES DIMENSIONS AND LOCATION 3. LOCATION OF ALL ABOVE AND BELOW COUNTERS OUTLETS, TV OUTLETS AND KEYPADS 4. ALL CEILING COVES DIMENSIONS, MATERIALS AND DETAILS	
NOTES: 1. ALL FLAT ROOFS TO HAVE A MIN. SLOPE OF 1/4" X 12" TOWARDS DRAINS AND/ OR SCUPPERS 2. ALL EYEBROWS TO HAVE A MIN. SLOPE OF 1/4" X 12" AWAY FROM INTERSECTING EXTERIOR WALLS 3. ALL DECKS, SUNDECKS, EXTERIOR CORRIDORS AND BALCONIES TO HAVE A MIN. SLOPE OF 1/4" X 12" TOWARDS LINEAR DRAINS 4. ALL FARAPETS TO HAVE A CAP AND FLASHING WITH A SLOPE TOWARDS INSIDE FACE OR PARAPET 5. PROVIDE FLASHING AND COUNTER FLASHING AT ALL ROOFING INTERSECTIONS (PARAPETS WITH FLAT ROOFS, CRICKETS, TOWERS, EYEBROWS WITH EXTERIOR WALLS, ETC) 6. ALUMINUM TRELLISES BY OTHERS. SUBMIT SHOP DRAWINGS BY REGISTERED P.E. FOR ENGINEER'S APPROVAL 7. FOR DRAINAGE CALCULATIONS SEE PLUMBING DWGS *** SEE STRUCTURAL DWGS FOR DIMENSION, FASTENINGS AND REINFORCING DETAILS	
SYMBOLS	LEGEND
	DIFFERENCE AT FLOOR LEVEL
	FLOATING STEPS WITH INDIRECT LIGHTING (TYP. @ ENTRY STEPS)
	DIFFERENCE OF SURFACE/ CEILING LEVEL
	SLOPE DOWN @ CEILINGS, FLOORS AND ROOFS (SEE PLANS FOR PITCH)
	CENTER LINE
	DENOTES 'VERIFY IN FIELD'
	LINE OF STRUCTURE (HIDDEN ABOVE CEILING)
	LINE OF ELEMENT ABOVE (ON PLANS) BEYOND (ON ELEVATIONS)
	LINE OF ELEMENT BELOW
	DOOR (SEE SCHEDULE)
	WINDOW (SEE SCHEDULE)
	KEY NOTE (SEE LEGEND)

ALL WOOD IN CONTACT WITH CONCRETE OR CMU TO BE PRESSURE-TREATED AS PER F.B.C. 2020.
ALL PRECAST ELEMENTS TO BE ATTACHED W/ 1/4" DIA. TAPCONS W/ 1/2" PENETRATION INTO CONC. @ 6" O.C. EA. WAY, IF PRECAST MEMBER IS LESSER THAN OR EQUAL TO 8" IN WIDTH PROVIDE ONLY ONE ROW OF TAPCONS STAGGERED TOP & BOTT.
AS PER F.B.C. 2020, COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3" (76MM) FROM RECESSED LIGHTING FIXTURES, FAN MOTORS AND OTHER HEAT-PRODUCING DEVICES.

VERIFY ALL WINDOW & DOOR ROUGH OPENINGS WITH WINDOW & DOOR MANUFACTURERS.
• EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET, AS PER FBC.
• EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY. AS PER FBC.
• ALL HALLWAY DOORS TO BE NON-LOCKABLE (PRIMARY MEANS OF ESCAPE)

ALL EGRESS WINDOWS TO COMPLY W/ FBC EDITION 2020. AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.

FOR WINDOWS, DOORS & FINISH SCHEDULES REFER TO PAGE A4.2

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:
STRUCTURAL GLAZING WOOD TRUSSES DOORS ROOFING WINDOWS
RIDGE VENTILATION CURTAIN WALLS MULLIONS WATERPROOFING GLASS WALL
PRECAST SYSTEMS HANDRAILS RAILS FENCES SIGNS
STORM SHUTTERS STEEL JOISTS STORE FRONT AWNINGS TRELLISES
PREFABRICATED STAIRS ELEVATORS POOLS WATER-FEATURES LOUVER ENCLOS.
(SHOP DWGS & CORRESPONDING STRUCTURAL CALCS SHALL BE DATED, SIGNED & SEALED BY A FLORIDA LICENSE ENGINEER.)

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RESIDENCE FOR :

605 SOLANO PRADO

FLORIDA

CORAL GABLES,

OWNER:
MR. JOSE MUÑOZ

DATE: 08/5/21
ISSUED: XX
DRAWN: AR
CHECKED: AR
PROJECT NO.:

SHEET:

A2.2
10 OF 10

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