JAS GROUP ARCHITECTS/PLANNERS
7855 SW 104 STREET SUITE 200
MIAMI, FLORIDA 33156
FAX 305.595.6422 TEL 305.596.2290
projects@jas-architects.com

**Historic Board – JAS 1968**
**Baron Residence**
**Addition & Renovation to Existing**
**Second Story Single Family Residence**
**Folio No. 03-4107-018-7440**
**1407 Ferdinand ST. Coral Gables, Fl. 33134-2142**

Entry-West

Side -South

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Side-South

Side- North Side

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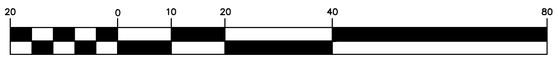
North Street Side

West-Front Street Side

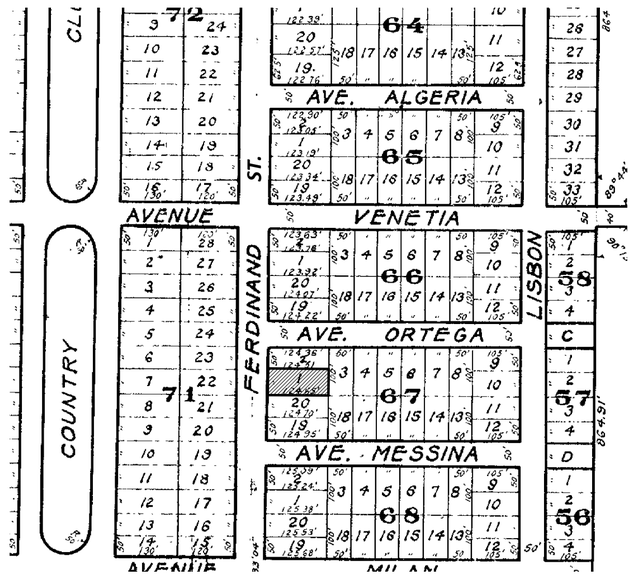
South Street Side

# BOUNDARY SURVEY

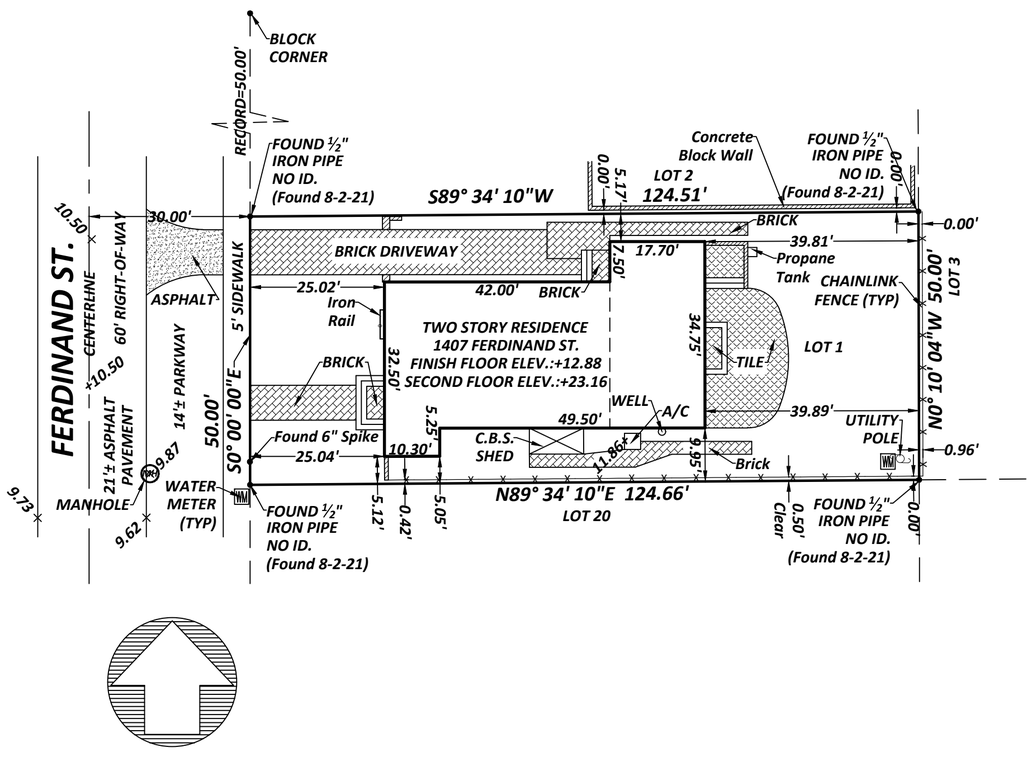
GRAPHIC SCALE




( IN FEET )
1 inch = 20 ft.




LOCATION SKETCH
NOT TO SCALE




*LEGAL DESCRIPTION: LOT 1, BLOCK 67, REVISED PLAT OF CORAL GABLES GRANADA SECTION, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 113, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA*

*FOLIO NO. 03-4107-018-7440*

*SURVEY FOR: JOSE G. BARON & KRISTINA A. ZANOWSKI*
*1407 FERDINAND ST*
*CORAL GABLES, FL 33134-2142*

*I HEREBY CERTIFY: THAT THE BOUNDARY SURVEY OF THE ABOVE CAPTIONED PROPERTY WAS COMPLETED UNDER MY SUPERVISION AND/OR DIRECTION, TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE. PURSUANT TO SECTION 472.027, FLORIDA STATUTES.*

*DELTA MAPPING AND SURVEYING, INC.*


*DELTA MAPPING AND SURVEYING, INC.*
*13301 SW 132 AVENUE, SUITE 117*
*MIAMI, FLORIDA 33186*

*WALDO F. PAEZ DATE SIGNED:_____*
*PROFESSIONAL SURVEYOR AND MAPPER, NO. 3284*
*STATE OF FLORIDA*

*CERTIFICATE OF AUTHORIZATION*
*L.B. NO. 7950*
*STATE OF FLORIDA*

*786-429-1024*
*FAX: 786-592-1152*


*1)FLOOD ZONE: X BASE: N/A PANEL NO. 12086C0293L*
*COMMUNITY NO. 120639 DATE OF MAP: 9-11-09*
*2)THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY*
*3)EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING PROPERTY*
*4)THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED, IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED*
*5)LOCATION AND IDENTIFICATION OF UTILITIES, IF ANY ARE SHOWN IN ACCORDANCE WITH RECORDED PLAT*
*6)OWNERSHIP IS SUBJECT TO OPINION OF TITLE*
*7)TYPE OF SURVEY: BOUNDARY SURVEY*
*8)THE HEREIN CAPTIONED PROPERTY WAS SURVEYED AND DESCRIBED BASED ON THE SHOWN LEGAL DESCRIPTION: PROVIDED BY CLIENT*
*9)SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID AND FOR REFERENCE ONLY, UNLESS SIGNED AND SEALED WITH THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER*
*10)THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTIES*
*11)UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON, CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.*
*12)THE SURVEYOR OF RECORD DOES NOT DETERMINE OWNERSHIP OF FENCES. MEASUREMENTS SHOWN HEREON DEPICT PHYSICAL LOCATION OF FENCE*
*13)ACCURACY: THE EXPECTED USE OF LAND AS CLASSIFIED IN THE MINIMUM TECHNICAL STANDARDS (5J-17 FAC), IS "SUBURBAN" . THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THE TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT*
*14)IN SOME INSTANCES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHOWN SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.*
*15)NO ATTEMPT HAS BEEN MADE TO LOCATE ANY FOUNDATION BENEATH THE SURFACE OF THE GROUND.*
*16)CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK ON THE HEREIN DESCRIBED PARCEL FOR BUILDING AND ZONING INFORMATION.*
*17)ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES*

*IF ELEVATIONS ARE SHOWN, THEY ARE BASED ON A CLOSED LEVEL LOOP USING THIRD ORDER PROCEDURE AND ARE RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929.*
*+O.O DENOTES EXISTING ELEVATION*
*ELEVATION REFERS TO THE NATIONAL GEODETIC VERTICAL DATUM OF MEAN SEA LEVEL OF 1929*
*BENCHMARK: CG 85 ELEVATION: +10.84'*
*LOCATOR INDEX: FERDINAND ST & MILAN AVE, NE CORNER*

*BEARINGS HEREON ARE REFERRED TO AN ASSUMED VALUE OF SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST FOR THE EAST RIGHT OF WAY LINE OF FERDINAND STREET.*

*FIELD SURVEY DATE: 09-26-17 SCALE: 1' = 20' DRAWN BY: M.E.P.*
*DRAWING DATE: 09-28-17 FB: SKETCH DRAWING NO.: 17-0413*
*REVISED DATE: 08-23-18 (FINAL SURVEY) NEW DRAWING NO.: 18-0358*
*REVISED DATE: 08-03-21 (Up-Date Survey) NEW DRAWING NO.: 21-0267*

SEAL


Delta Mapping and Surveying, Inc
EST. 2012
13301 SW 132ND AVENUE, SUITE 117 MIAMI FL 33186
PHONE: (786) 429-1024 E-MAIL: DELTAMAPPING@GMAIL.COM
Surveyors, Land Planners & Mappers


BOUNDARY SURVEY

| REVISIONS | |
|---|---|
| DATE | REMARKS |
| 8-3-21 | Up-Date Survey |

DATE: 08-23-2018

SCALE: 1" = 20'

DRAWN BY: M.E.P.

DRAWING NO: 21-0267

# BARON RESIDENCE ADDITION & RENOVATION

## 1407 Ferdinand Street
## Coral Gables, Florida 33134

## PROJECT NOTES

This specification in conjunction with these drawings, provides for the labor, material, equipment, and supervision by the contractor for a complete lock & key job with the items specifically noted furnished by owner or allowance. The work shall be executed in a thorough, substantial and neat manner. The Florida Building Code 2020 Edition is the applicable code for construction. All building components shall comply with Section 8-C of the Metro-Dade Code for product compliance and approval.

A.I.A. document A-201 (latest edition) general condition of the contract is hereby made a part of these drawings and specifications.

Contractor shall arrange for inspection and tests as specified or required by the building department and shall pay all fees and costs for same. The Contractor shall secure all building permits and upon completion of the project (prior to final payment) deliver to the owner a certificate of completion from The City of Coral Gables Building and Zoning Department.

The general contractor and major subcontractors shall verify all dimensions, visit the site, be familiar with the existing conditions, and bring any discrepancies to the Architect's attention prior to submission of construction proposal and any mobilization or site work. Do not scale drawings.

All colors, and finishes shall be as specified and/or as selected by the Owner, Kitchen Designer, or Architect, and where possible materials and finishes shall match existing.

All areas damaged by demolition shall be returned to their original or renovated condition as indicated on the plans.

Allowances and Alternates: the contractor schedule of values shall include costs for the following labor and/or materials:

T.B.D.

All interior partitions separating habitable spaces will receive minimum 3.5" sound attenuation blanket.

Windows and catalog numbers listed on drawings refer to ES Windows, LLC, unless otherwise noted. All shall be product control approved for use in Dade County.

Approved storm panels shall be provided for all new windows and doors approved for installation but not accepted by Dade County for impact requirements.

Wood: Rough framing material, southern yellow pine. In contact with masonry or in damp locations, pressure treat. Finish or exposed shall be clear fir/larch or species for painted (opaque) millwork as the Owner selects.

Wood Connectors: All bolts, clips, straps, misc. angles, lags, etc., will be hot dipped galvanized.

All electrical devices, switch plates, outlets, etc., will be as the owner selects, or match existing.

Walks and/or drive areas shall be protected during construction to prevent damage to existing paved or concrete surfaces.

All trash and debris generated by the contractor for scope of work described in this document shall be removed at timely intervals during the course of construction. A trash dumpster will be provided on site by the GC.

Contractor shall maintain clean and safe access to premises by Owner at all times. Security System full time 100% coverage during construction.

Painting: All paint shall be first line PPG Paints, Sherwin Williams, Benjamin Moore or Pratt & Lambert or Owner approved equal. Colors as selected by the Owner. Interior spaces to be painted are limited to new construction areas and those affected by construction.

-Exterior stucco 2 coats of Perma-Crete Hi-Build flat latex paint no. 4-22 (self priming up to 13PH)/
-Interior walls - one coat of Speedhide interior latex quick drying no. 6-2. Two coats of Pro-ev zero interior wall and ceiling flat latex no. 12-1100XI.
-Woodwork exterior - one coat acrylic latex primer: gripper int/ext primer no. 3210XI. Two coats sun proof satin exterior house and trim no. 76-405XI.
-Woodwork interior - one coat of seal grip int/ext acrylic universal primer no.17-921XI tinted to approximate color of top coat. One coat of manor hall interior semi-gloss acrylic latex.

- or -

First coat Deft alkyd-base polyurethane gloss no. DFT127. Two coats of deft alkyd-based polyurethane satin no. DT129.

Intent is to provide satisfactory finish to all portions of the building affected by this construction. All existing surfaces shall be cleaned and thoroughly prepared to receive painters finish. If specified finish does not offer acceptable coverage, additional coats will be provided to give satisfactory coverage.

## CONSTRUCTION GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES OR ERRORS BEFORE PROCEEDING WITH THE WORK.

2. ALL MATERIALS AND WORK SHALL CONFORM TO ALL GOVERNING AGENCIES AND APPLICABLE CODES.

3. SPECIFIC DETAILS AND NOTES SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS. PROVIDE ALL ACCESS PANELS AS REQUIRED. LOCATION AND TYPE SHALL BE APPROVED BY ARCHITECT PRIOR TO OBTAINING AND INSTALLING.

4. CONTRACTOR SHALL PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 4A 60 B C FOR PROTECTION DURING CONSTRUCTION.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND COORDINATION OF SUBCONTRACTOR'S WORK TO SECURE COMPLIANCE OF DRAWINGS AND SPECIFICATIONS, THE ACCURATE LOCATION OF STRUCTURAL MEMBERS, AND OPENINGS FOR MECHANICAL, ELECTRICAL, AND MISCELLANEOUS EQUIPMENT.

6. SUBMIT SHOP DRAWINGS AND CATALOGS OF EQUIPMENT AS REQUIRED FOR THE PROJECT.

7. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL EQUIPMENT WITH MECHANICAL CONTRACTOR BEFORE PROCEEDING WITH THE WORK.

8. DOORS NOT LOCATED BY DIMENSIONS SHALL BE CENTERED IN WALL OR SHALL BE LOCATED FIVE INCHES FROM FINISH WALL TO EDGE OF DOOR BUCK.

9. ALL TRADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK.

10. CONTRACTOR SHALL COMPARE CAREFULLY THE LINES AND LEVELS SHOWN ON DRAWINGS WITH EXISTING LEVELS FOR THE LOCATION AND CONSTRUCTION OF THE WORK AND SHALL CALL ARCHITECT'S ATTENTION TO ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

11. CONTRACTOR SHALL FURNISH AND MAINTAIN TEMPORARY SANITATION FACILITIES AS REQUIRED DURING CONSTRUCTION. BRACING AND TEMPORARY SUPPORTS SHALL BE PROVIDED AS REQUIRED TO HOLD THE WORK SECURELY IN PLACE, AND TO SUSTAIN ALL LOADS THAT MAY OCCUR DURING ERECTION AND UNTIL SUBSEQUENT CONSTRUCTION IS ADEQUATE TO REPLACE TEMPORARY BRACING.

12. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR INSTALLATION OF ALL CASEWORK AND OF ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL OR MISCELLANEOUS EQUIPMENTS.

## PROJECT DATA

**ZONING SUMMARY** — SFR - SINGLE FAMILY RESIDENTIAL DISTRICT

| | |
|---|---|
| Height ( to roof ridge ) : | 14'-0" (Proposed) |
| (29' Max. Height 2-Story) | 23'-2" (Ex. 2-Story) |
| Net land Area | 6,230 SF. |
| Lot Coverage ( everything under roof ) | 1,856 sq. ft. (30% Exist.) |
| NEW ADDITION-2nd Floor | (+ 234 sq. ft.) |
| Total Lot Coverage | 1,856 sq. ft. (30% Proposed) - NO INCREASE |
| (Max. Lot Coverage = 35%) | |
| (Max. Allowable = 2,180 s.f.) | |
| Exist. 1st Level Floor | 1,856 sq. ft. |
| Exist. 2nd Level Floor | 452 sq. ft. |
| New 2nd Level Addition | 520 sq. ft. |
| Total Square Ft. Floor Area | 2,828 sq. ft. (Proposed) |
| MAX. SQUARE FT. FLOOR AREA | |
| 48% Max. For 1st 5,000 s.f. Of Lot Area | 2,400 sq. ft. |
| 35% Max. For Next 5,000 s.f. Of Lot Area | 430 sq. ft. |
| 30% Max. For Remainder Of Lot Area | N/A |
| Max. Square Ft. Floor Area Allowed | 2,830 sq. ft. Total |
| Square Ft. Area proposed | 2,828 sq. ft. Total (Proposed) |

| OPEN LANDSCAPE | Required | PROVIDED |
|---|---|---|
| 40% Min. of Net Land Area= (2,492 SF.) | 2,492 sq. ft. | 3,040 sq. ft. (55%) |
| 20% Min. of Front yard Area(1,202 SF) | 240 sq. ft. | 871 sq.ft. |
| Non-Landscape Materials (Hardscape) | | 830 sq.ft. |
| Landscape Materials | | 3,040 sq. ft. (55%) |

PRINCIPLE BUILDING SETBACKS

| | Required: | Provided: |
|---|---|---|
| Front | 25' | 25'-1" (Ex.) |
| Rear | 10' | 40'-3" (Proposed) (Match Exist.) |
| (Interior) Side | 20% Of Total Lot Width, (10' Req'd Min.) 10' Min, 20' Max. | 10'-0" (Proposed) (Total) 5'-0" (Proposed) (North Side) 5'-0" (Ex.) (South Side) |

## BUILDING DEPARTMENT NOTES.

1. THIS APPLICATION TO COMPLY WITH, AND HAS BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING GOVERNING AUTHORITIES:

A) FLORIDA BUILDING CODE - 2020 EDITION
B) FLORIDA BUILDING CODE, EXISTING - 2020 EDITION
C) THE FLORIDA ACCESSIBILITY CODE 2020 EDITION
D) NATIONAL ELECTRICAL CODE - LATEST ISSUE
E) OSHA REGULATIONS
F) BUILDING OWNERS REQUIREMENTS
G) FLORIDA FIRE PREVENTION CODE, NFPA 1-UNIFORM FIRE CODE 2018 EDITION
NFPA 101-LIFE SAFETY CODE 2018 EDITION

2. EXECUTE ALL WORK IN ACCORDANCE WITH LOCAL AND FEDERAL CODES, MANUFACTURER'S RECOMMENDATIONS, TRADE AND REFERENCE STANDARDS, INCLUDING BUT NOT LIMITED TO NFPA, ASMC, UMC, AND AMERICAN WITH DISABILITIES ACT, LATEST EDITIONS.

BUILDING INFORMATION

| | |
|---|---|
| 1. OCCUPANCY | RESIDENTIAL GROUP "R" |
| 2. CONSTRUCTION TYPE: | TYPE 1-A |
| 3. NO. OF STORIES | 1 STORY |
| 4. FIRE SUPPRESSION | EXISTING |
| 5. FLOOR AREA | 3,838 S.F. - EXISTING |

MINIMUM FIRE RESISTANCE

1. EXTERIOR CBS WALL - 2-HOUR RATED MIN. - EXISTING

2. INTERIOR WALL AND CEILINGS- FLAME SPREAD INDEX NOT GREATER THAN 200 -or- SMOKE DEVELOPMENT INDEX NOT GREATER THAN 450

## RENOVATION NOTE

NOTE TO OWNER AND GENERAL CONTRACTOR:

DURING THE COURSE OF WORK OUTLINED WITHIN THESE CONSTRUCTION DOCUMENTS FOR THIS REMODELING, UNEXPECTED CONSTRUCTION "FIELD CONDITIONS" MAY ARISE.

SUCH CONDITIONS SHALL BE ADDRESSED AND RESOLVED IN THE FIELD BY THE CONTRACTOR, AND ARCHITECT, AND REVIEWED WITH THE OWNER PRIOR TO PROCEEDING.

UNFORESEEN CONDITIONS MAY ARISE BASED UPON EXISTING NOT READILY VISIBLE ("CONCEALED CONDITIONS") PRIOR TO CONSTRUCTION COMMENCEMENT, AND THEREFORE WERE NOT REFLECTED AS PART OF THIS SCOPE OF WORK.

LOCATION PLAN
SCALE: N.T.S.

## SHEET INDEX


| | |
|---|---|
| A-0.0 | COVER SHEET, EXISTING SITE PLAN, PROPOSED SITE PLAN, PROJECT NOTES & ZONING INFORMATION. |
| A-2.0 | EXISTING 1ST FLOOR PLAN & SECOND FLOOR PLAN WITH PROPOSED SECOND FLOOR ADDITION. |
| A-3.0 | PROPOSED EXTERIOR ELEVATIONS. |
| A-3.1 | EXISTING EXTERIOR ELEVATIONS. |


## PROJECT DIRECTORY


CLIENT:
JOSE & KRISTIN BARON
1407 FERDINAND STREET
CORAL GABLES, FLORIDA 33134

CONTACT: JOSE & KRISTEN BARON
PHONE: (786)-307-7888

ARCHITECT
JAS GROUP ARCHITECTS
7855 SW 104 ST., SUITE 200
MIAMI, FLORIDA 33156

JAMES SMITH AIA
REG. #0012629

PHONE: (305) 596-2290
FAX: (305) 595-6422

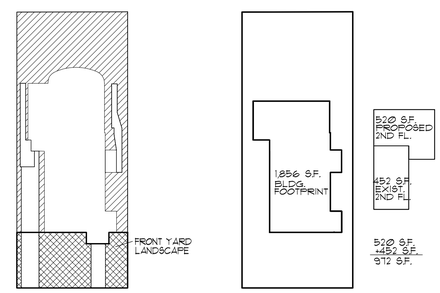

## GENERAL NOTES

**SOIL STATEMENT**

AS PER VISUAL INSPECTION SOIL CONDITIONS AT THIS SITE ARE SAND AND ROCK WITH A MINIMUM BEARING CAPACITY OF 1,000 PSF. SHOULD OTHER CONDITIONS OR MATERIALS BE ENCOUNTERED, THE ENGINEER AND/OR ARCHITECT SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE WORK. THE LICENSED PROFESSIONAL ENGINEER OF RECORD, OR THE SPECIAL INSPECTOR OF RECORD SHALL SUBMIT TO THE COUNTY INSPECTOR AT THE TIME OF CONSTRUCTION A SIGNED LETTER ATTESTING THAT THE SITE WAS OBSERVED AND THE FOUNDATION CONDITIONS ARE SIMILAR TO THOSE UPON WHICH THE DESIGNER IS BASED.

**TERMITE PROTECTION**

PER FBC 1816 BUILDING SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE "FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES." A "CERTIFICATE OF COMPLIANCE" SHALL BE ISSUED TO THE BUILDING DEPT. BY THE LICENSED PEST CONTROL COMPANY PERFORMING THE TREATMENT.



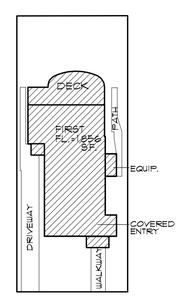

LOT SIZE= 6230 SF.
MAX. ALLOWABLE FAR 48%=2,990.4

LOT AREA= 6230 SF.
LANDSCAPE MIN. AREA REQUIRED 40%=2,492 SF.
LANDSCAPE AREA PROVIDED 55 %=. 3,040 SF.
FRONT YARD LANDSCAPE MINIMUM=20%
FRONT YARD AREA=1,202 SF X 20%=240 SF.PS.
LANDSCAPE AREA =871 SF.=72% PROVIDED

FIRST FLOOR=EXISTING 1,856 SF.
2ND FLOOR =EXISTING 452 SF.
2ND FLOOR =PROPOSED= 972 SF.
TOTAL SQFT FLOOR AREA=2,828 SQFT.
PROPOSED FAR=45%

**LANDSCAPE OPEN SPACE**

**F.A.R**




LOT COVERAGE
MAX. ALLOWABLE=35% = 2,180 SF.

LOT COVERAGE EXISTING= 1,856 SF. =30 %
NEW 2ND FLOOR ADDITION= (+234 SF.)
LOT COVERAGE=1,856 SF. =30% NO INCREASE.
NO INCREASE IN BUILDING FOOTPRINT

**35% GROUND COVERAGE**

## RENOVATION NOTE

NOTE TO OWNER AND GENERAL CONTRACTOR: DURING THE COURSE OF WORK OUTLINED WITHIN THESE CONSTRUCTION DOCUMENTS FOR THIS REMODELING, UNEXPECTED CONSTRUCTION "FIELD CONDITIONS" MAY ARISE.

SUCH CONDITIONS SHALL BE ADDRESSED AND RESOLVED IN THE FIELD BY THE CONTRACTOR AND ARCHITECT AND REVIEWED WITH THE OWNER PRIOR TO PROCEEDING. SUCH UNFORESEEN CONDITIONS MAY ARISE BASED UPON EXISTING CONDITIONS NOT READILY VISIBLE. "CONCEALED CONDITIONS" PRIOR TO CONSTRUCTION COMMENCEMENT AND THEREFORE WERE NOT REFLECTED AS PART OF THIS SCOPE OF WORK.

## EXISTING CONDITIONS

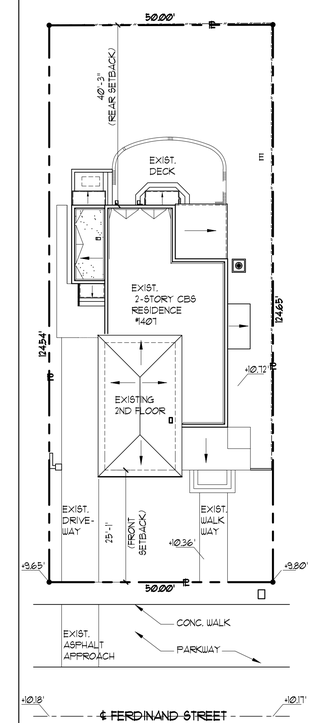
If required remove all abandoned materials, devices, fixtures, pipes, conduits, wires, etc. from premises including area above ceiling plenum.

If required, Contractor to patch, repair and/or replace existing ceilings, walls, flooring, lighting, etc. indicated to remain or be re-used.

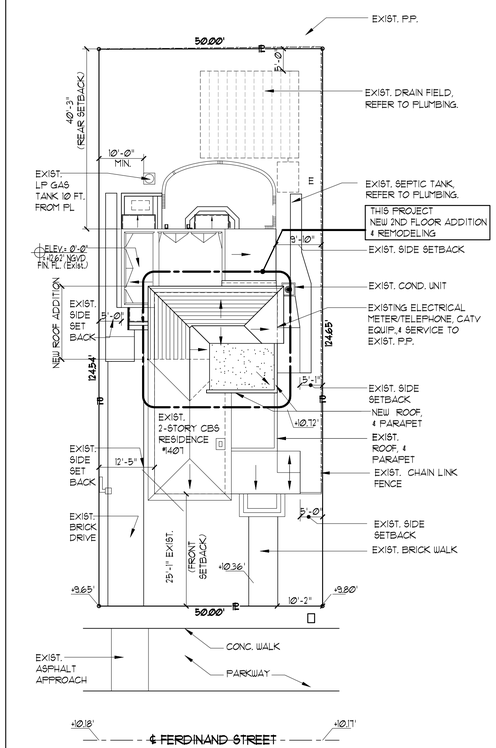
## SCOPE OF WORK

THIS PROJECT CONSISTS OF NECESSARY LABOR, MATERIAL, EQUIPMENT, AND SERVICES REQUIRED FOR NEW ADDITION, & RENOVATION TO EXIST. 2-STORY SINGLE FAMILY RESIDENCE.

LIMITED TO 2ND STORY ONLY TO PROVIDE FOR NEW MASTER BEDROOM, MASTER BATHROOM & CLOSETS AND RENOVATIONS TO EXISTING 2ND BATHROOM ON 2ND FL., RENOVATION TO EXIST. ELECTRICAL, PLUMBING, & MECHANICAL IMPROVEMENTS RELATED TO THE ABOVE ALL AS INDICATED IN THESE DOCUMENTS.




EXISTING SITE PLAN
SCALE: 1/16" =1'-0"




PROPOSED SITE PLAN
SCALE: 1/16" =1'-0"

**LEGAL DESCRIPTION:**

LOT 1, BLOCK 67 OF "REVISED PLAT CORAL GABLES GRANADA SECTION" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 113 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.


JAS GROUP ARCHITECTS
AA26001052
JAMES SMITH, AIA
AR0012629
7855 SW 104 STREET
MIAMI, FL. 33156
T: 305-595-2290
F: 305-595-6422


P:\JAS PROJECTS\2019-PROJECTS\1968-Baron Residence\1968-Arch Hist Board & BOA-9-3-21\1968-A-0.0-Site Plan.dwg 9/2/2021

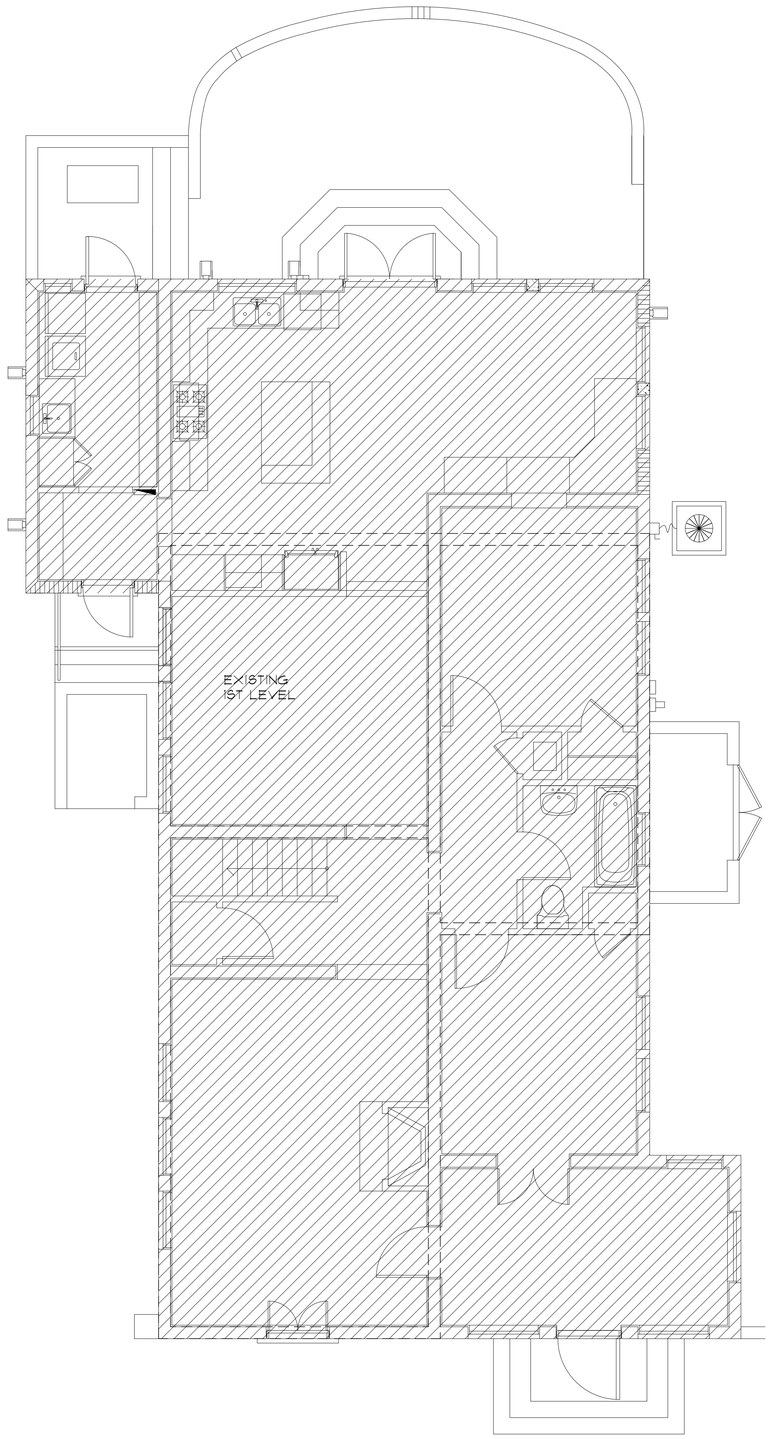
Date
HISTORIC PRESERVATION 03-25-2021
HISTORIC PRESERV. REVISED 05-13-2021
HISTORIC PRESERV. REVISED 07-23-2021
BOARD OF ARCHITECT - 9-6-2021

△ Revise

Client:
JOSE & KRISTIN BARON
1407 FERDINAND ST.
CORAL GABLES, FLORIDA 33134
CONTACT: JOSE & KRISTIN BARON
786-307-7888

Project: 1968
BARON RESIDENCE ADDITION
SECOND FLOOR ADDITION
1407 FERDINAND STREET
CORAL GABLES, FLORIDA 33134

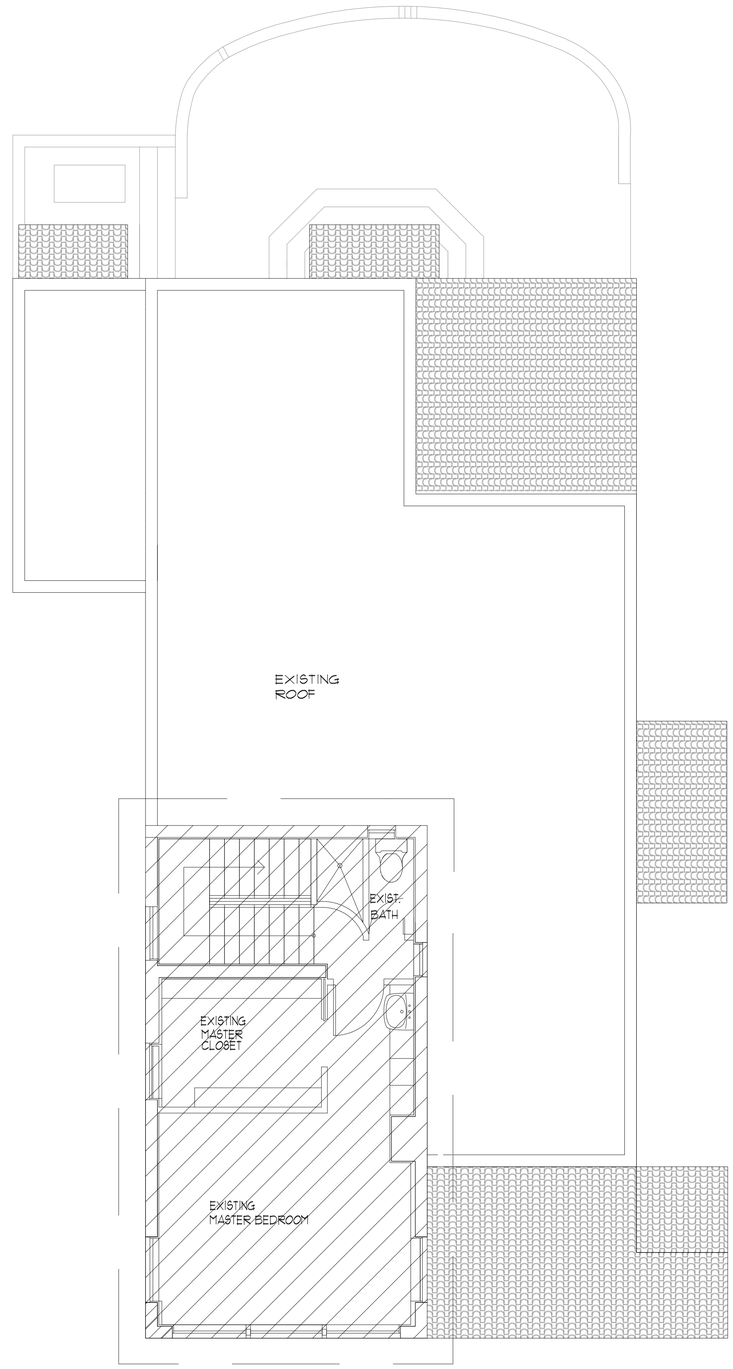
Sheet:
A-0.0 & PROPOSED
EXIST. 1
SITE PLAN
DETAIL
PROJECT NOTES




EXISTING 1ST FLOOR LEVEL

SCALE: 1/4" = 1'-0"

NORTH




EXISTING 2ND FLOOR LEVEL

SCALE: 1/4" = 1'-0"

NORTH

**G.C. NOTE:**

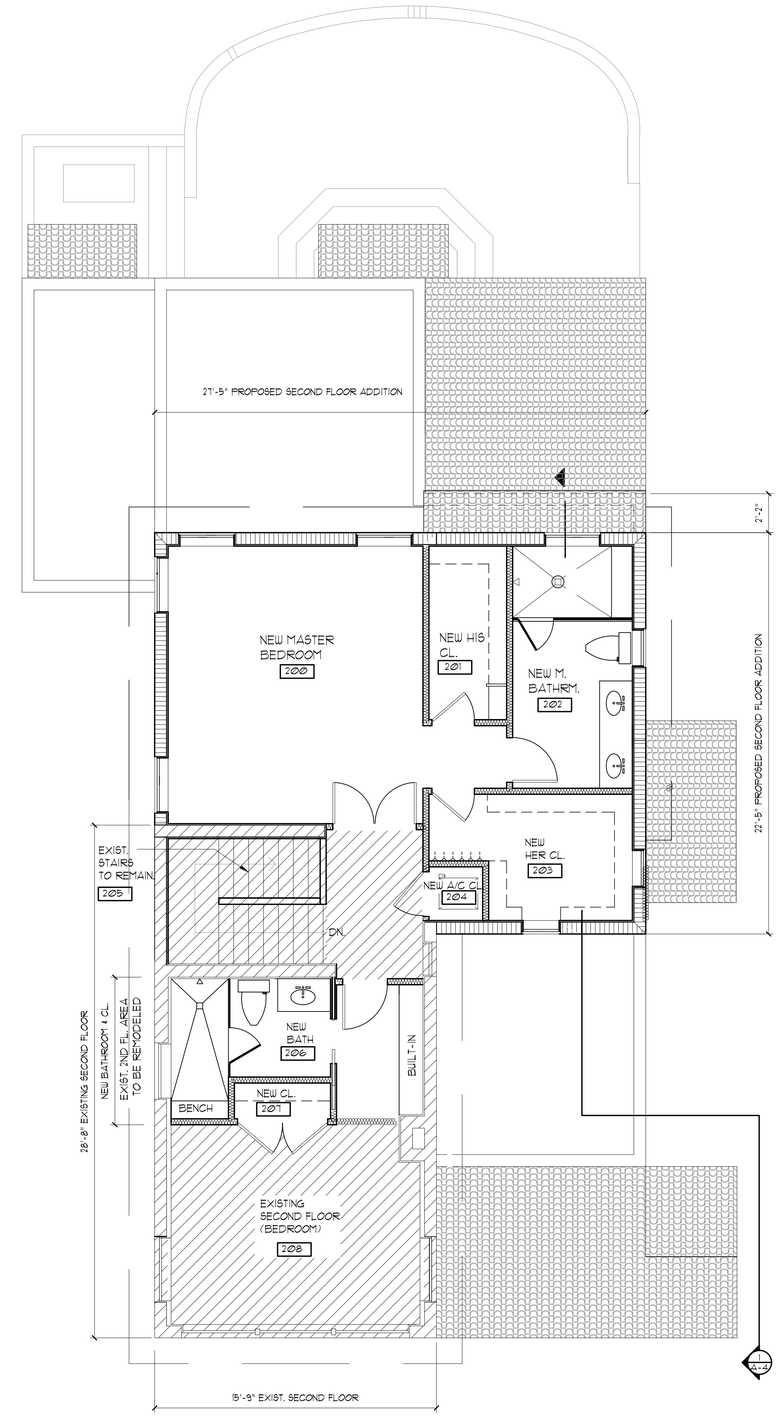
PRIOR TO REMOVAL OF ANY SUPPORT MEMBERS, PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT FACILITIES TO REMAIN.

**LEGEND**

HATCHED AREA DENOTES NO WORK BEING DONE. AREA IS EXISTING TO REMAIN AS IS.

NOTES:

- REMOVE/SALVAGE PER OWNERS DIRECTIONS.




PROPOSED 2ND LEVEL

SCALE: 1/4" = 1'-0"

NORTH


JOS GROUP
ARCHITECTS
PLANNERS

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D:\DRAWINGS\1575-Baron Ferdinand St. 2015\1575-CD_1575-A-1.0-Proposed Floor Plan.dwg 05/19/16 17:10

△ Revise

Date

HISTORIC PRESERVATION 03-25-2021
HISTORIC PRESERVATION REVISED 05-13-2021
HISTORIC PRESERVATION REVISED 01-03-2021
BOARD OF ARCHITECT-9-6-2021

Client

JOSE & KRISTIN BARON
1401 FERDINAND STREET
CORAL GABLES, FLORIDA 33134
CONTACT: JOSE + KRISTIN BARON
786-301-1888

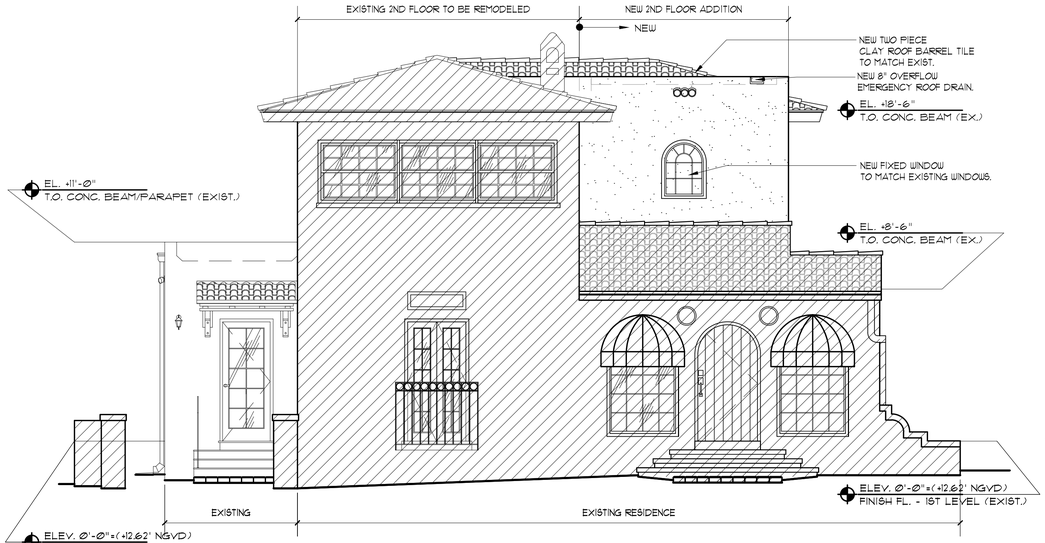
Project: 1868

BARON RESIDENCE ADDITION
SECOND FLOOR ADDITION.
1401 FERDINAND STREET
CORAL GABLES, FLORIDA 33134

Sheet

A-2.0

EXISTING 1ST FL. LEVEL
EXISTING 2ND LEVEL &
PROPOSED SECOND
LEVEL.

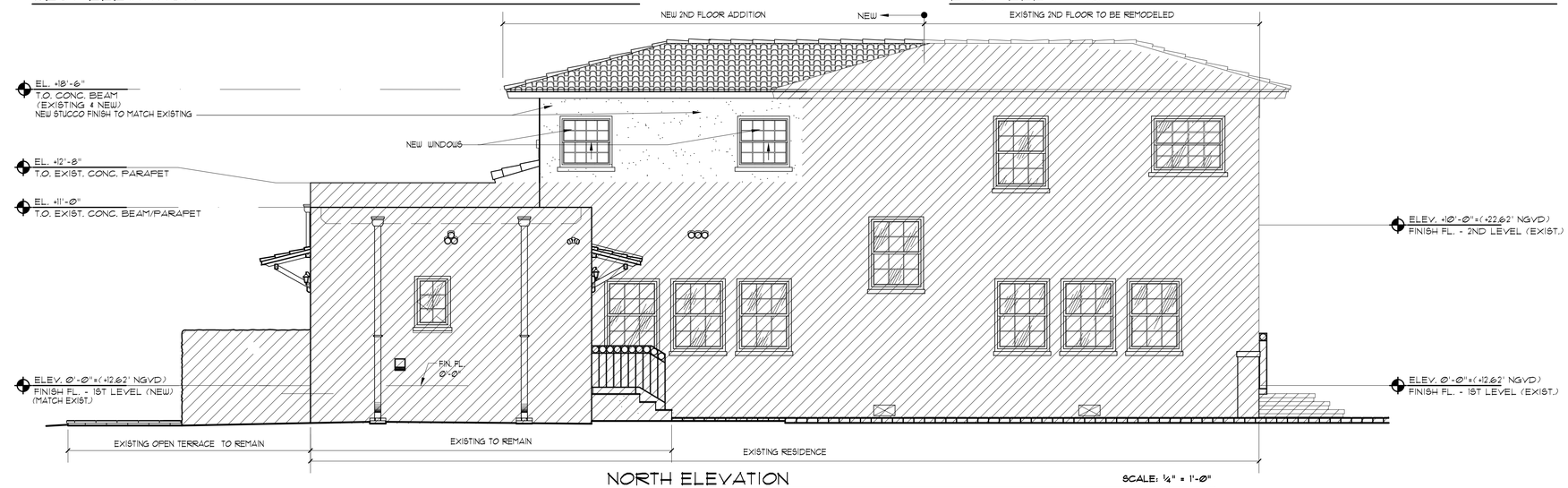



WEST ELEVATION

SCALE: ¼" = 1'-0"

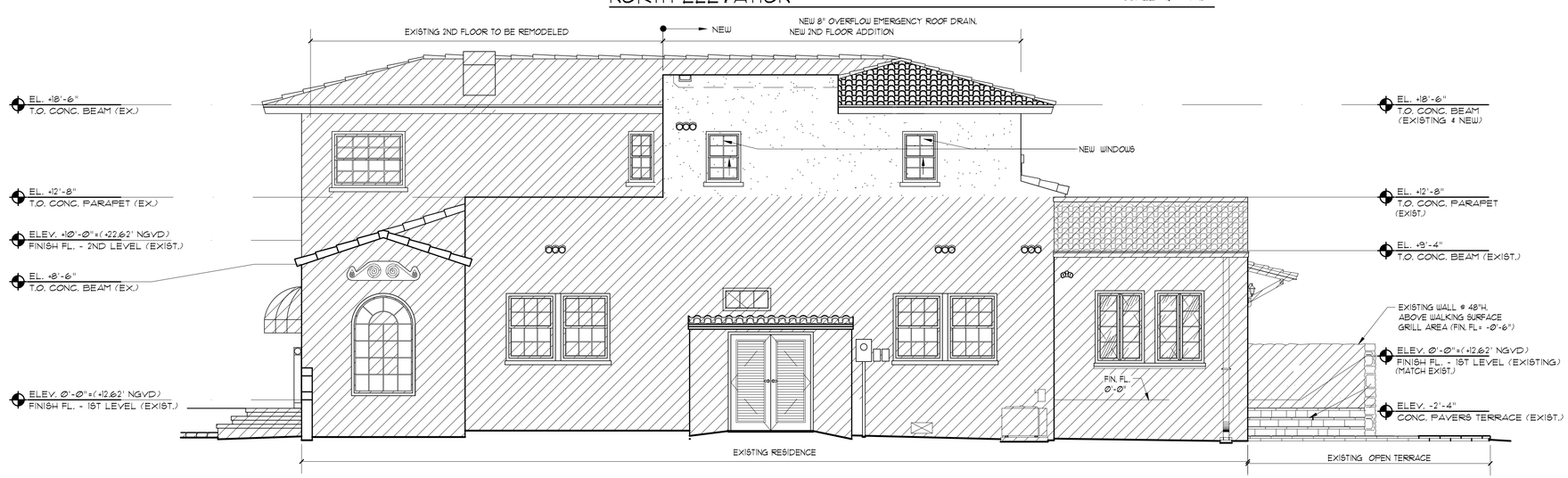
EAST ELEVATION

SCALE: ¼" = 1'-0"




NORTH ELEVATION

SCALE: ¼" = 1'-0"




SOUTH ELEVATION

SCALE: ¼" = 1'-0"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P:\JAS PROJECT\2019-PROJECTS\1968-Baron Residence\1968- Arch. Historical Board\1968- A-3.0 Exterior Elevation.dwg 8/31/2021

Date
HISTORIC PRESERVATION 03-25-2021
HISTORIC PRESERVATION REVISED 05-13-2021
HISTORIC PRESERVATION REVISED 07-23-2021
BOARD OF ARCHITECT-9-6-2021

△ Revisions

Client:
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786-307-7888

Project: 1968
BARON RESIDENCE ADDITION
SECOND FLOOR ADDITION
1401 FERDINAND STREET
CORAL GABLES, FLORIDA 33134

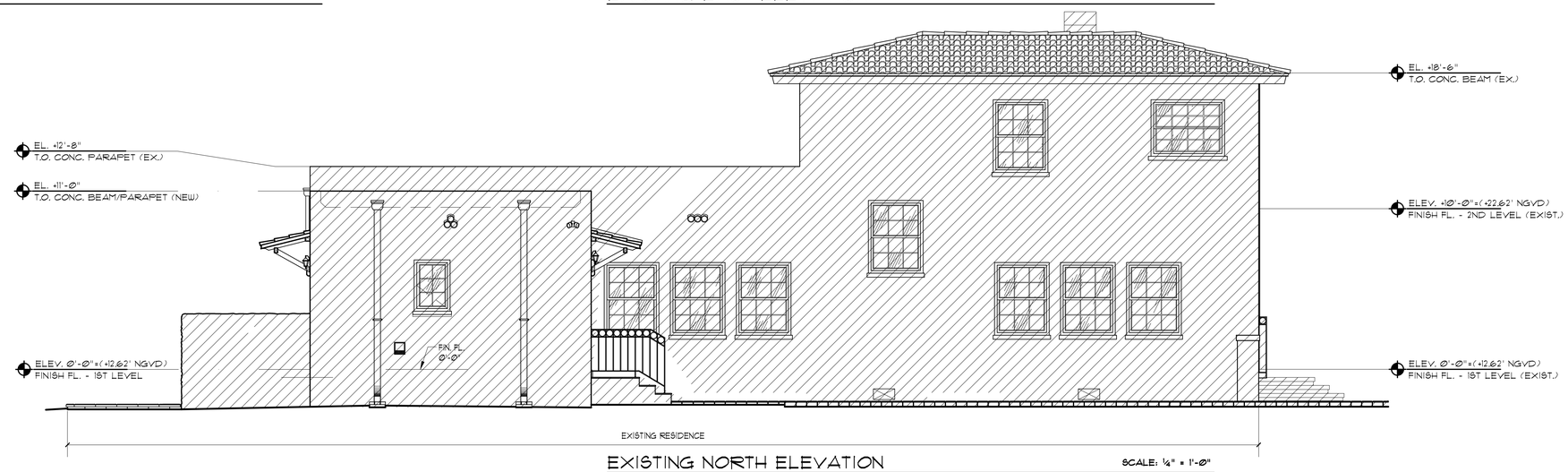
Sheet:
A-3.0
EXISTING WITH PROPOSED ELEVATIONS

EXISTING WEST ELEVATION

SCALE: ¼" = 1'-0"

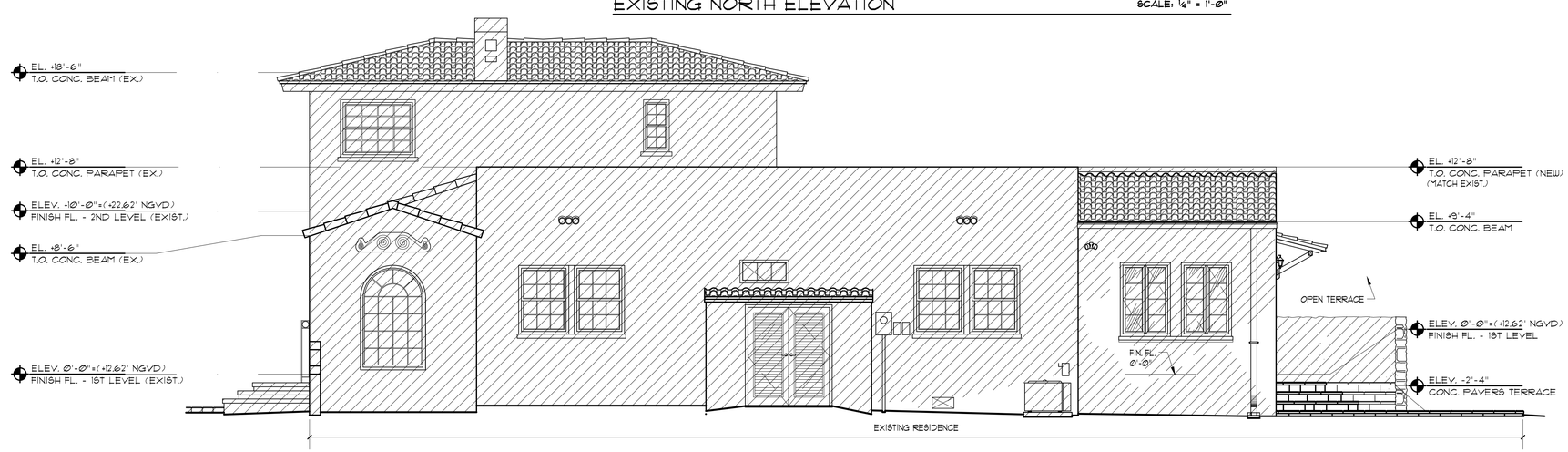
EXISTING EAST ELEVATION

SCALE: ¼" = 1'-0"




EXISTING NORTH ELEVATION

SCALE: ¼" = 1'-0"




EXISTING SOUTH ELEVATION

SCALE: ¼" = 1'-0"

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Date
HISTORIC PRESERVATION 03-25-2021
HISTORIC PRESERVATION REVISED 05-13-2021
HISTORIC PRESERVATION REVISED 07-23-2021
BOARD OF ARCHITECT-9-6-2021

△ Revise


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JAS GROUP
ARCHITECTS
PLANNERS

JAMES SMITH, AIA
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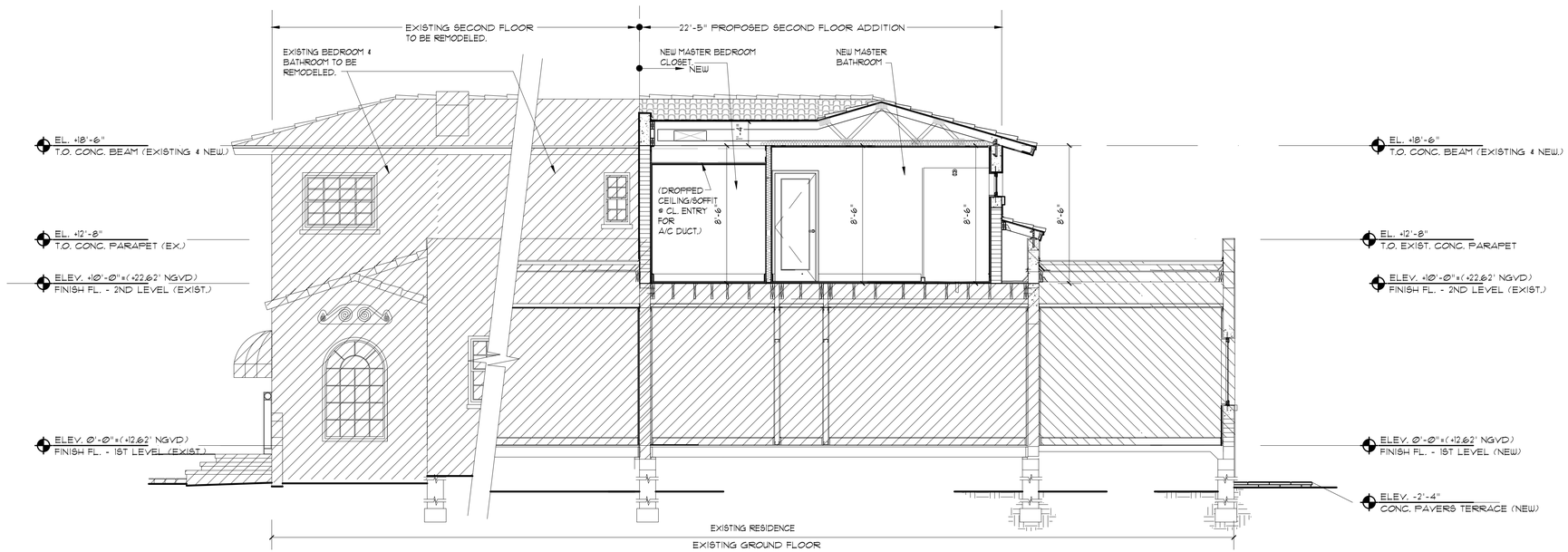
Project 1968.B
BARON RESIDENCE ADDITION
SECOND FLOOR ADDITION
1401 FERDINAND STREET
CORAL GABLES, FLORIDA 33134

Sheet
A-3.1
EXISTING ELEVATIONS




BUILDING SECTION 1 / A-4

SCALE: ¼" = 1'-0"

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△ Revise

△ HISTORIC PRESERVATION 03-25-2021
HISTORIC PRESERVATION REVISED 05-13-2021
HISTORIC PRESERVATION REVISED 07-23-2021
BOARD OF ARCHITECT-9-6-2021

Client

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CONTACT: JOSE & KRISTIN BARON
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Project 1968

BARON RESIDENCE ADDITION
SECOND FLOOR ADDITION.
1401 FERDINAND STREET
CORAL GABLES, FLORIDA 33134

Sheet

A-4.0
Propose Section


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PLANNERS
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