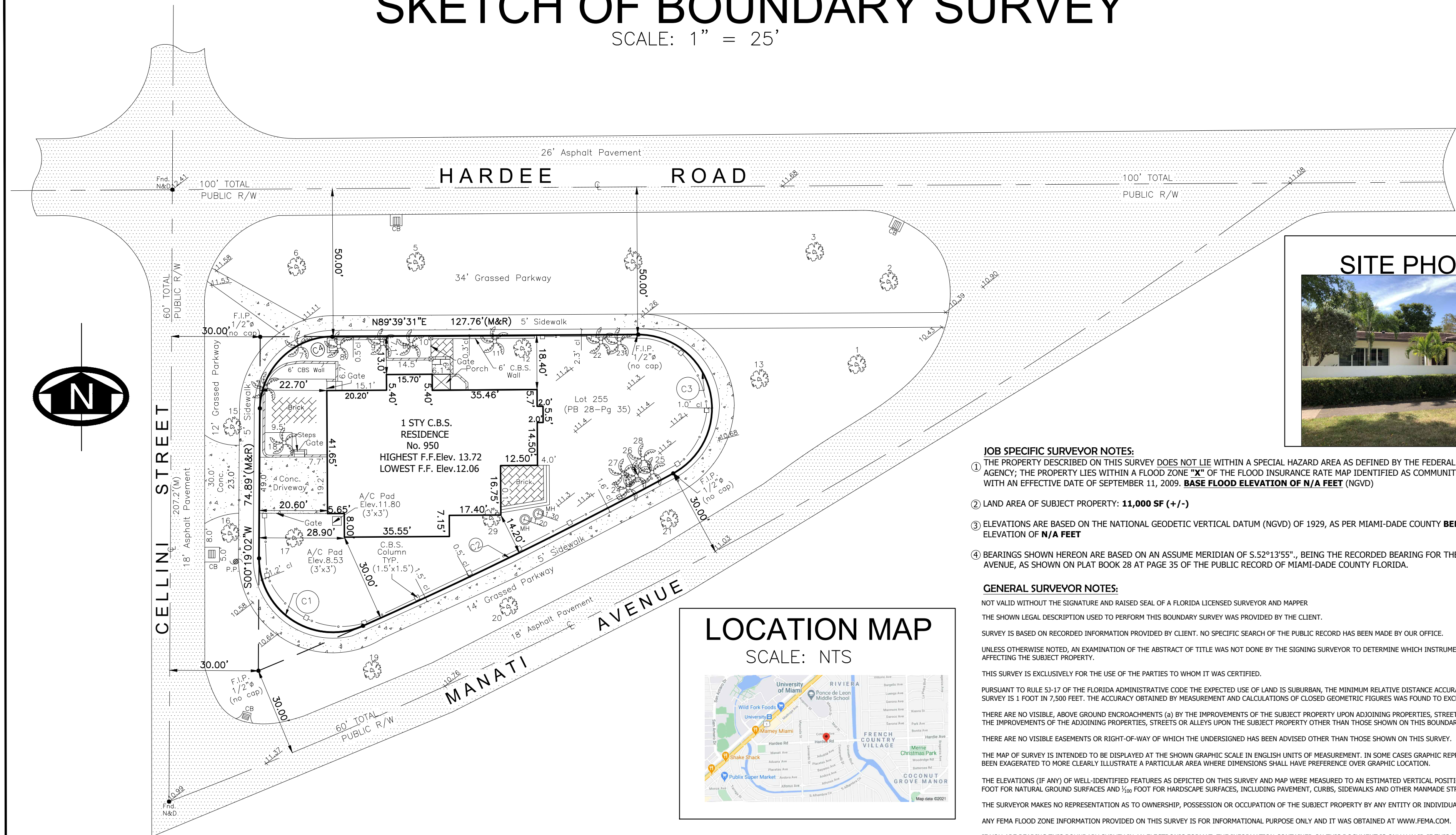


SKETCH OF BOUNDARY SURVEY

SCALE: 1" = 25'



JOB SPECIFIC SURVEYOR NOTES:

- THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN A FLOOD ZONE "X" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL No. **120639-459L**, WITH AN EFFECTIVE DATE OF SEPTEMBER 11, 2009. **BASE FLOOD ELEVATION OF N/A FEET** (NGVD)
- LAND AREA OF SUBJECT PROPERTY: **11,000 SF (+/-)**
- ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929, AS PER MIAMI-DADE COUNTY **BENCH MARK No. N/A**, WITH AN ELEVATION OF **N/A FEET**
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUME MERIDIAN OF S.52°13'55", BEING THE RECORDED BEARING FOR THE CENTERLINE OF ALFONSO AVENUE, AS SHOWN ON PLAT BOOK 28 AT PAGE 35 OF THE PUBLIC RECORD OF MIAMI-DADE COUNTY FLORIDA.

GENERAL SURVEYOR NOTES:

NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

THE SHOWN LEGAL DESCRIPTION USED TO PERFORM THIS BOUNDARY SURVEY WAS PROVIDED BY THE CLIENT.

SURVEY IS BASED ON RECORDED INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY OUR OFFICE.

UNLESS OTHERWISE NOTED, AN EXAMINATION OF THE ABSTRACT OF TITLE WAS NOT DONE BY THE SIGNING SURVEYOR TO DETERMINE WHICH INSTRUMENTS, IF ANY ARE AFFECTING THE SUBJECT PROPERTY.

THIS SURVEY IS EXCLUSIVELY FOR THE USE OF THE PARTIES TO WHOM IT WAS CERTIFIED.

PURSUANT TO RULE 53-17 OF THE FLORIDA ADMINISTRATIVE CODE THE EXPECTED USE OF LAND IS SUBURBAN, THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATIONS OF CLOSED GEOMETRIC FIGURES WAS FOUND TO EXCEED THIS REQUIREMENT.

THERE ARE NO VISIBLE, ABOVE GROUND ENCROACHMENTS (a) BY THE IMPROVEMENTS OF THE SUBJECT PROPERTY UPON ADJOINING PROPERTIES, STREETS OR ALLEYS, OR (b) BY THE IMPROVEMENTS OF THE ADJOINING PROPERTIES, STREETS OR ALLEYS UPON THE SUBJECT PROPERTY OTHER THAN THOSE SHOWN ON THIS BOUNDARY SURVEY.

THERE ARE NO VISIBLE EASEMENTS OR RIGHT-OF-WAY OF WHICH THE UNDERSIGNED HAS BEEN ADVISED OTHER THAN THOSE SHOWN ON THIS SURVEY.

THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE SHOWN GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT. IN SOME CASES GRAPHIC REPRESENTATION HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE A PARTICULAR AREA WHERE DIMENSIONS SHALL HAVE PREFERENCE OVER GRAPHIC LOCATION.

THE ELEVATIONS (IF ANY) OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 1/10 FOOT FOR NATURAL GROUND SURFACES AND 1/100 FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENT, CURBS, SIDEWALKS AND OTHER MANMADE STRUCTURES.

THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

ANY FEMA FLOOD ZONE INFORMATION PROVIDED ON THIS SURVEY IS FOR INFORMATIONAL PURPOSE ONLY AND IT WAS OBTAINED AT WWW.FEMA.COM.

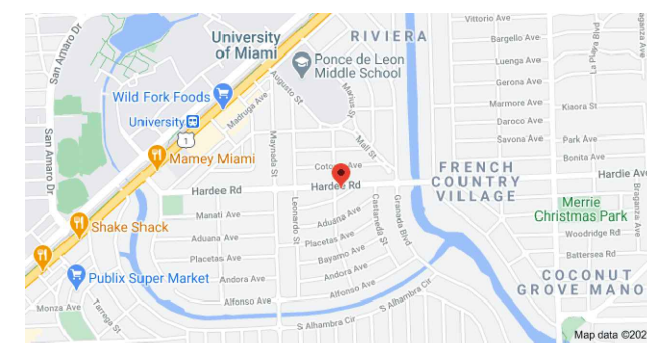
IF YOU ARE READING THIS BOUNDARY SURVEY IN AN ELECTRONIC FORMAT, THE INFORMATION CONTAINED ON THIS DOCUMENT IS ONLY VALID IF THIS DOCUMENT IS ELECTRONICALLY SIGNED AS SPECIFIED IN CHAPTER 53-17.062 (3) OF THE FLORIDA ADMINISTRATIVE CODE. IF THIS DOCUMENT IS IN PAPER FORMAT, IT IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE PROFESSIONAL LAND SURVEYOR AND MAPPER OF RECORD.

LEGAL DESCRIPTION:

ALL OF BLOCK 255, OF REVISED PLAT OF CORAL GABLES RIVIERA SECTION PART 12, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 28 AT PAGE 35, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LOCATION MAP

SCALE: NTS



SITE ADDRESS: 950 HARDEE ROAD, CORAL GABLES, FLORIDA 33146
JOB NUMBER: 14-256
DATE OF SURVEY: MARCH 5, 2014 /APRIL 2, 2021 (UPDATE)
FOLIO: 03-4129-032-3090

ENCROACHMENTS AND OTHER POINTS OF INTEREST:

- THERE ARE NO VISIBLE ENCROACHMENT OF THE SUBJECT PROPERTY
- THE SUBJECT PROPERTY IS WITHIN A FLOOD ZONE X (SEE NOTE 1)
- THERE ARE NOT PLATTED UTIL. EASEMENTS ON THE SUBJECT PROPERTY

CERTIFIED TO:

CRISTINA GARCIA
SALCEDO ATTORNEY AT LAW, P.A..
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

ABBREVIATION (IF ANY APPLIED)

A = CURVE
A/C = AIR CONDITIONING UNIT
ASPH. = ASPHALT
B.M. = BENCH MARK
B/COR = BLOCK CORNER
CALC(C) = CALCULATED
CB = CATCH BASIN
C.B.S. = CONCRETE BLOCK STRUCTURE
CL = CLEAR
CONC. = CONCRETE
D.M.E. = DRAINAGE MAINT. EASEMENT
D = DIAMETER
EASMT. = EASEMENT
ELEV. = ELEVATION
ENC. = ENCROACHMENT
EQ/H = FOUND DRILL HOLE
F.H. = FIRE HYDRANT
F.N.D. = FOUND NAIL AND DISC
F.P. = FOUND IRON PIPE
F.S. = FOUND SPIKE
L.P. = LIGHT POLE
MEAS(L) = MEASURED
MH = MANHOLE
M = MONUMENT
N = NOT TO SCALE
P/W = PARKWAY
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
P.C. = POINT OF CURVATURE
P.I. = POINT OF INTERSECTION
P.L. = PROPERTY LINE
P = POWER POLE
P.M. = PERMANENT REFERENCE MONUMENT
P.T. = POINT OF TANGENCY
RAD. = RADIAL
REC. (R) = RECORDED
R/W = RIGHT OF WAY
SEC. = SECTION
S.O.H. = SET ORILL HOLE
S.A/D = SET NAIL AND DISC
S.R.B. = SET REBAR
STY = STORY
SWK. = SIDEWALK
T.O.P. = TOP OF BANK
U.E. = UTIL. EASEMENT
W.P. = WOODEN POLE
S = SECTION LINE

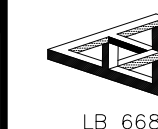
SURVEYOR'S LEGEND (IF ANY APPLIED)

BOUNDARY LINE
STRUCTURE (BLDG.)
CONCRETE BLOCK WALL
METAL FENCE
WOODEN FENCE
CHAIN LINK FENCE
WOOD DECK/DOCK
CONCRETE
BRICKS OR PAVERS
ROOFED AREAS
WATER (EDGE OF WATER)
CATCH BASIN
MANHOLE
OVERHEAD ELECT.
POWER POLE
LIGHT POLE
HANDICAP SPACE
HANDICAP SPACE
WATER VALVE
TV-CABLE BOX
WATER METER

CURVE DATA

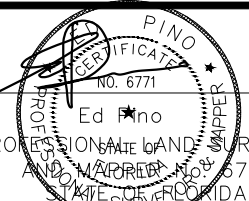
C1	R=25.00' A=49.87' Δ=114°17'16"
C2	R=1520.0' A=117.10' Δ=4°24'51"
C3	R=25.00' A=66.31' Δ=15°57'25"
C4	R=25.00' A=49.87' Δ=114°17'16"

No.	TREE NAME	BOTANICAL NAME	D.B.H.	HEIGHT	SPREAD
1	WEeping BOTTLEBRUSH	CALLISTEMON VIMINALIS	0.8'	25'	15'
2	WEeping BOTTLEBRUSH	CALLISTEMON VIMINALIS	0.8'	30'	15'
3	WEeping BOTTLEBRUSH	CALLISTEMON VIMINALIS	0.7'	20'	15'
4	BANYAN	FICUS BENGHALENSIS	5.0'	40'	35'
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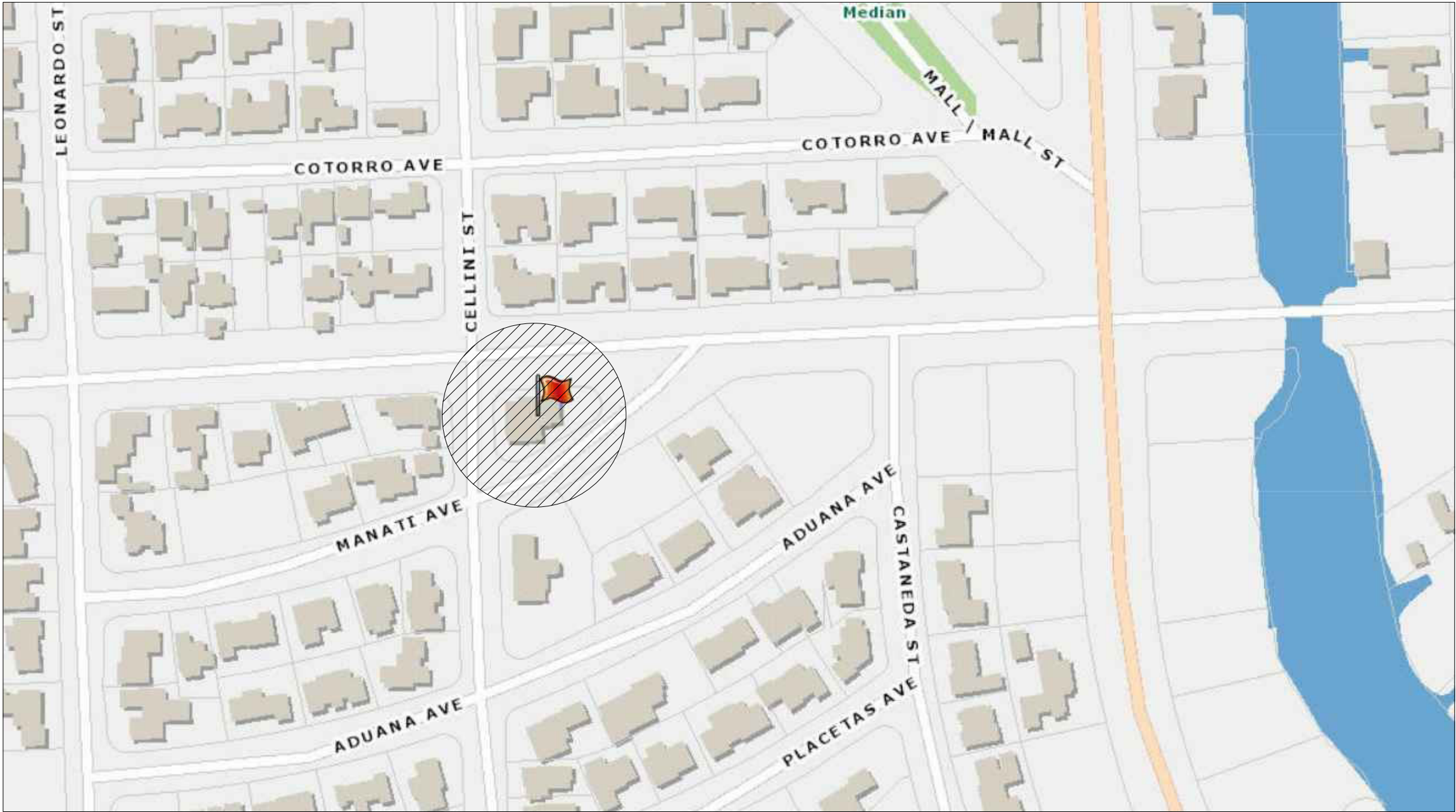
American Services of Miami, Corp.
Consulting Engineers . Planners . Surveyors

3195 PONCE DE LEON BLVD, SUITE 200
CORAL GABLES, FL 33134
PHONE: (305)598-5101 FAX: (305)598-8627
ASOMIAMI.COM



DATE: APRIL 14, 2021

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Tree Deposition Plan



950 Hardee Road
Coral Gables, FL 33146

Scope of Work:

New Gazebo

Cabana Bathroom

Proposed Pool

New Deck

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CELLINI STREET
207.2'(M)
18' Asphalt Pavement
60' TOTAL PUBLIC R/W

100' TOTAL
PUBLIC R/W

100' TOTAL
PUBLIC R/W

26' Asphalt Pavement

HARDEE ROAD

34' Grassed Parkway

Existing
Concrete
Driveway

1 STY C.B.S.
RESIDENCE

No. 950

HIGHEST

F.F.Elev. 13.72

LOWEST F.F.

Elev.12.06

14' Grassed Parkway

18' Asphalt Pavement

MANATI AVENUE

SITE ADDRESS: 950 HARDEE ROAD, CORAL GABLES, FLORIDA 33146

DATE OF SURVEY MARCH 5, 2014 /APRIL 2, 2021 (UPDATE)

FOLIO: 03-4129-032-3090

CURVE DATA

C1	R=25.00' A=49.87' $\Delta = 114^{\circ}17'16''$
C2	R=1520.0' A=117.10' $\Delta = 4^{\circ}24'51''$
C3	R=25.00' A=66.31' $\Delta = 15^{\circ}57'25''$
C4	R=25.00' A=49.87' $\Delta = 114^{\circ}17'16''$

Existing Site Plan

Scale: 3/32" = 1'-0"



AA26004002

Miami Office
632 Candia Ave
Coral Gables, Florida 33134

rtapanes@realizationgroup.com

Rafael Tapanes | A317516

Volante
Residence

950 Hardee Rd.
Coral Gables, FL 33146

REVISIONS

09-06-2021	Response to BOA Meeting
------------	----------------------------

date: 05-27-21

drawn by: RT

designed by: RT

A-02

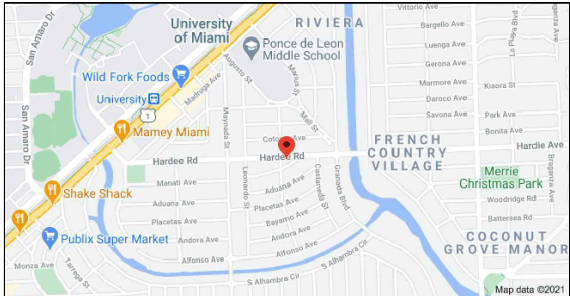
Board of Architects | 2021

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LOCATION MAP

SCALE: NTS



Tree Legend

	No.	TREE NAME	BOTANICAL NAME	D.B.H.	HEIGHT	SPREAD
	1	WEeping BOTTLEBRUSH	CALLISTEMON VIMINALLIS	0.8'	25'	15'
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To Remove	28	MEXICAN PALM	WASHINGTONIA ROBUSTA	0.8'	9'	6'
	29	MEXICAN PALM	WASHINGTONIA ROBUSTA	0.7'	30'	8'

1

Zoning: SFR - Single Family Residential		Required / Allowed	Existing	Proposed
Lot Occupation				
a. Lot area (sf)		5,000 SF	11,345 SF	
b. Lot width		50 FT min.	74.89 FT	
c. Ground area coverage (Article 4. 4-7)		5,102 SF max. (Main Building + Accessory)	3,380 SF	4,003SF
		Max. for Main Building = 35% = 3,970 SF		3,380 SF
		Max. for Auxiliary Structures = 10% = 1,135 SF		623 SF
d. Floor Area		4,553.5 SF max.	3,156 SF	3,236 SF
	5,000 SF or less - 48%	5,000 x 48% = 2,400 SF		
	Next 5,000 SF - 35%	5,000 x 35% = 1,750 SF		
	Remainder of the building site area- 30%	1345 x 30% = 403.5 SF		
e. Density		One (1) principal building	1 Principal Building	
Building Setbacks				
a. Front setback		25 ft	* (Existing Non-Conformir	20.6 Ft *(e.n.c)
b. Side Setback				unchanged
	b. 1 - Interior Side	15 ft. (20% of the total lot width, with a combined maximum of 20 feet shall be equalon both sisdes)	No Interior Side Line	N/A
	b. 2 - Side Street	15 feet.	* (Existing Non-Conform	L: 13 FT / R. 14.2 FT
c. Rear		10 ft. If compatible with neighborhood character, the Board may recoomend varicances to allow a rear setback of 5 feet.	No Rear Lot Line	15' N/A
Building Height				
a. Maximum height		2 Stories or 25 feet. Measure from finish floor to the tie-beam on the floor, excluding a raised floor of thirty (30) inches	16'-2"	16'-2"
Parking Requirements				
a. Single Family		One (1) parking space consisting of a roofed structure. Which utilized the same materials as the principle structure and that is a garage, carport, or porte-cochere	2 Spaces	2 spaces
Landscape Requirements				
a. Landscape Open Space		All buildings shall provide landscaped open space of not less than forty (40%) percent of the areas of the building site. At least twenty (20%) percent of the required forty (40%) of the landscape open space shall be located in the front yard area.	6,571 SF	5,056 SF
		Minimum Required Landscape Open Space = 40% = 4400 SF	6,571 SF	5,056 SF
		Minimum Required Landscape Open Space on Front yard 20% or 40% = 880 SF	1,022 SF	1,022 SF

Legal Description:

CORAL GABLES RIVIERA SEC 12
PB 28-35
ALL BLK 255
LOT SIZE IRREGULAR
OR 20919-3964 12/2002 1
COC 25564-3397 04 2007 1

Folio: 03-4129-032-3090

Property Address:

950 HARDEE RD
CORAL GABLES, FL 33146



AA26004002

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632 Candia Ave
Coral Gables, Florida 33134
rtapanes@realizationgroup.com

Rafael Tapanes | A 217 516

Volante Residence

950 Hardee Rd.
Coral Gables, FL 33146

REVISIONS

△	09-06-2021	Response to BOA Meeting

date: 05-27-21
drawn by: RT
designed by: RT

A-03

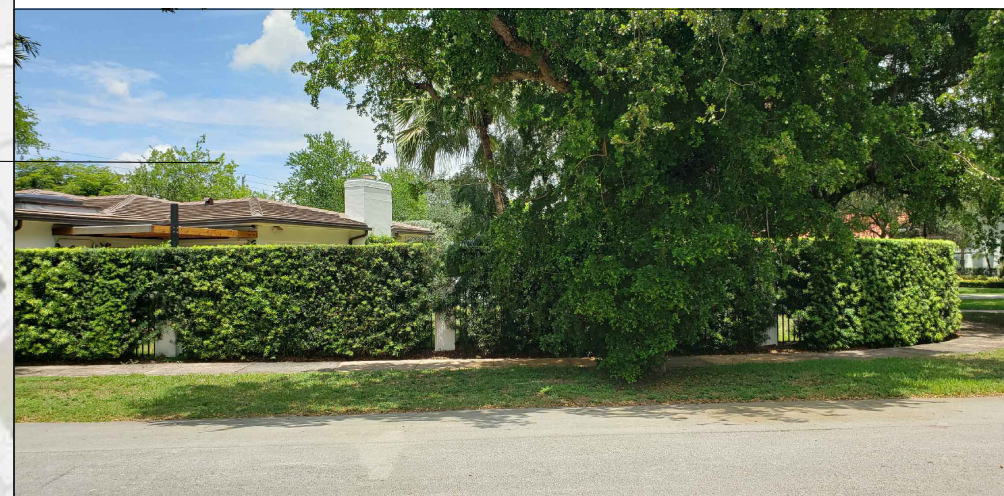
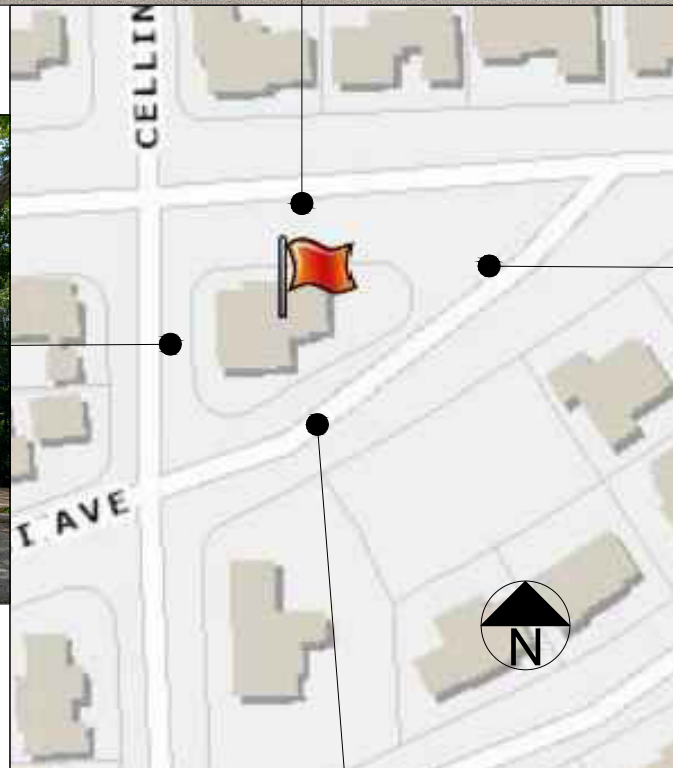
Board of Architects | 2021



North Side
on
& Hardee Road
(Side Street 2)



West Side
on Cellini Street
(Front)



East Side
on Corner of Manati Ave
& Hardee Road
(Side Street 1 & 2 intersection)



South Side
of Manati Ave
(Side Street 1)



Miami Office
12 Candia Ave
Coral Gables, Florida 33134

AR97896	Rafael Tapanes
---------	----------------

950 Hardee Rd.
Coral Gables, FL 33146

date:	05-27-21
drawn by:	RT
designed by:	RT

Board of Architects | 2021

A26004002

Miami Office
2 Candia Ave
Coral Gables, Florida 33134

apanes@realizationgroup.co



HARDEE ROAD

26' Asphalt Pavement

Fnd.
N&D 241

100' TOTAL
PUBLIC R/W

100' TOTAL
PUBLIC R/W

60' TOTAL
PUBLIC R/W

CELLINI STREET

18' Asphalt Pavement

34' Grassed Parkway

60' TOTAL
PUBLIC R/W

MANATI

18' Asphalt Pavement

ment
AVENUE

Tree Barrier

Tree Legend

No.	TREE NAME	BOTANICAL NAME	D.B.H.	HEIGHT	SPREAD
1	WEeping BOTTLEBRUSH	CALLISTEMON VIMINALIS	0.8'	25'	15'
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27	Removed				
28	Removed				
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**Volante
Residence**

950 Hardee Rd.
Coral Gables, FL 33146

revisions

09-06-2021	Response to BOA Meeting
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05-27-21

rawn by: RT

Designed by: RT

A-06

Board of Architects | 2021

Proposed Site Plan

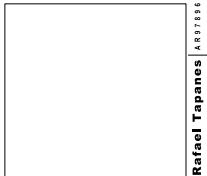
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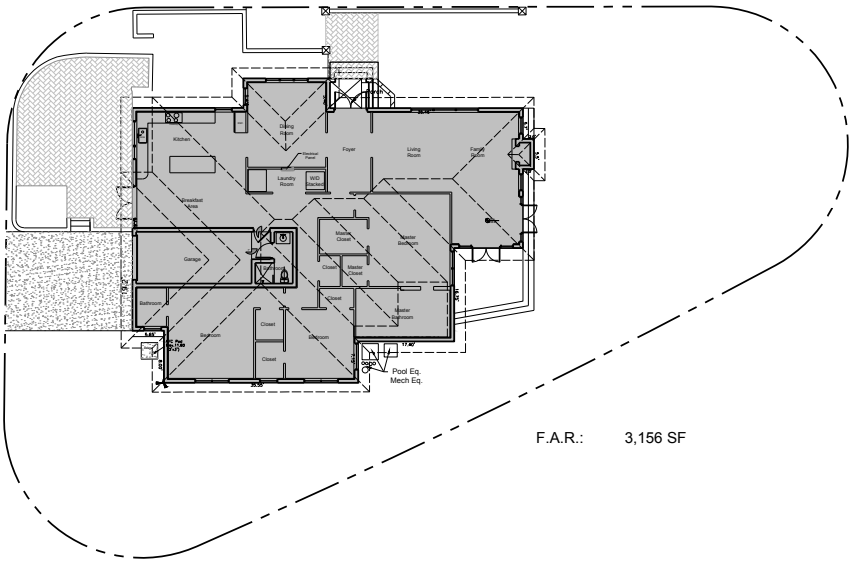
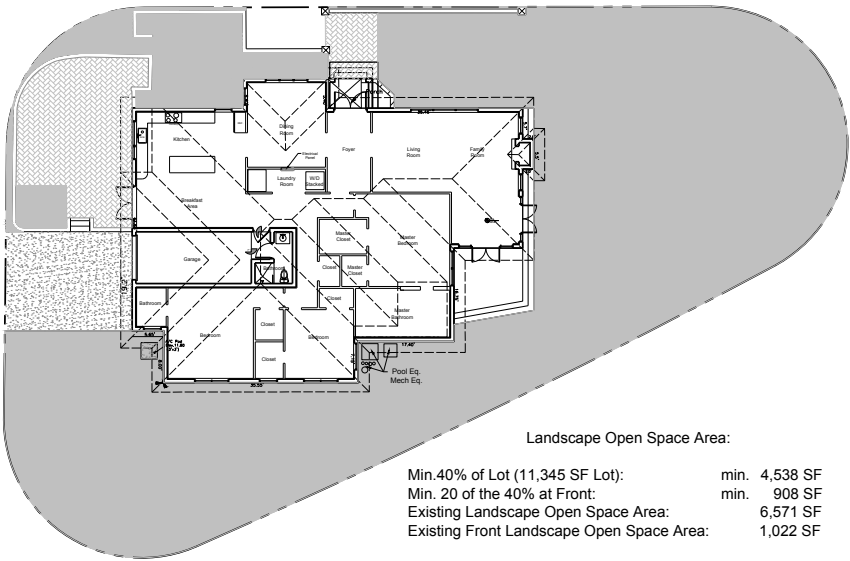
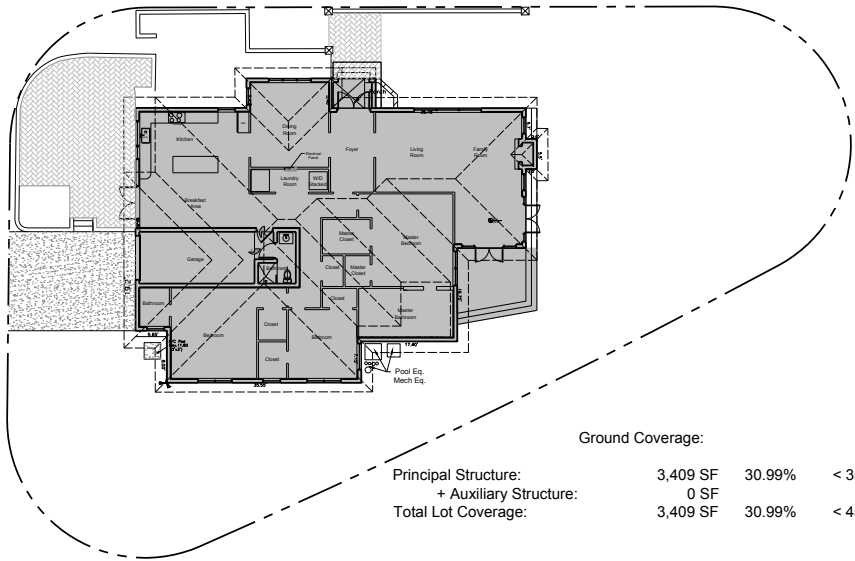
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rtapanes@realizationgroup.com

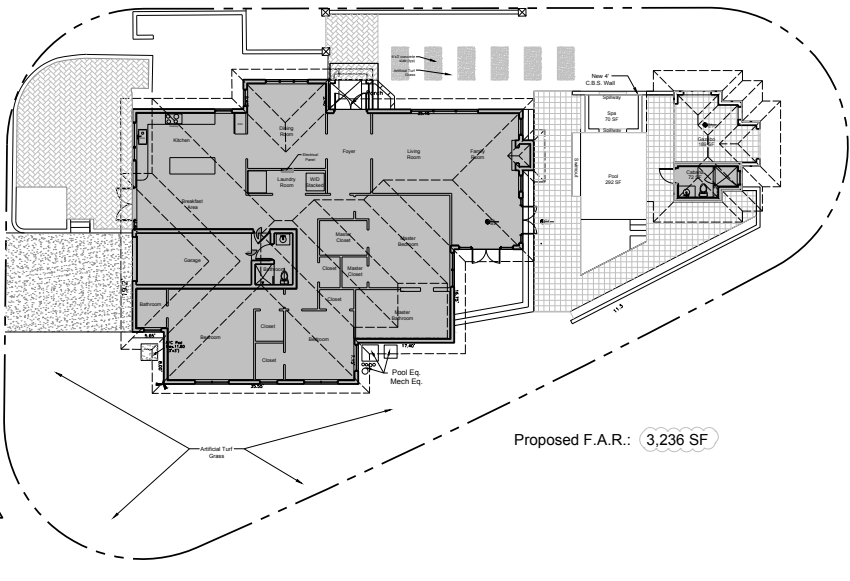
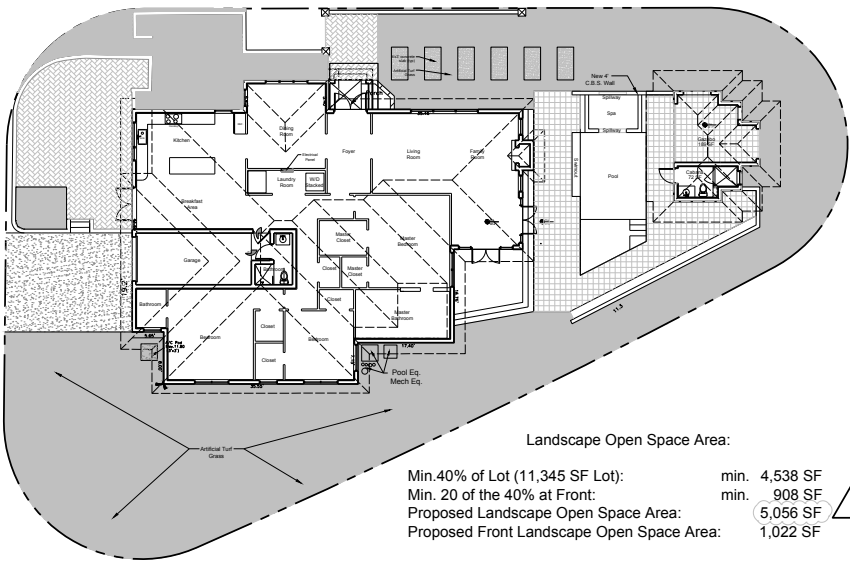
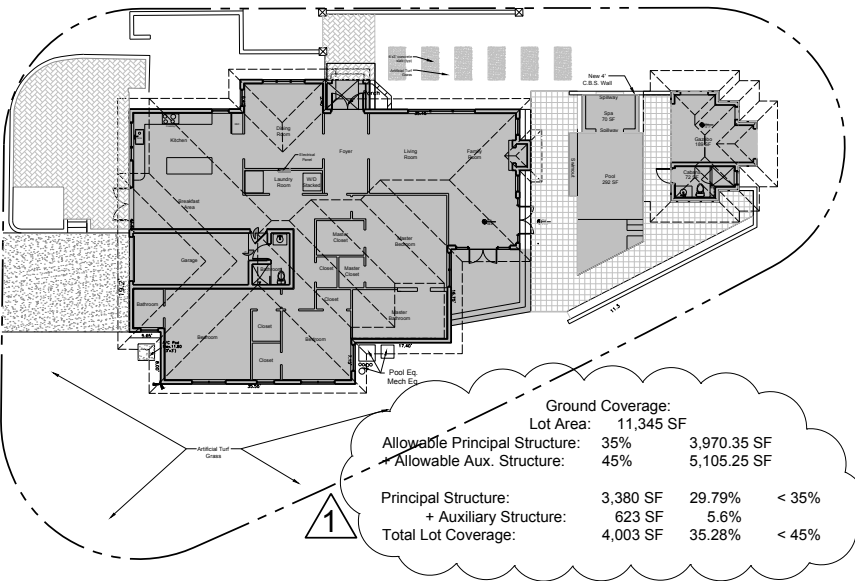


Rafael Tapanes | A 87755

Lot Total: 11,345 SF



Existing



Proposed

Volante
Residence

950 Hardee Rd.
Coral Gables, FL 33146

revisions

09-06-2021 Response to BOA Meeting

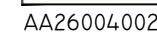
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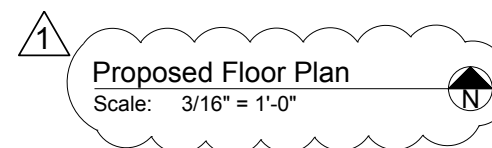
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A-07

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Rafael Tananes | A207890



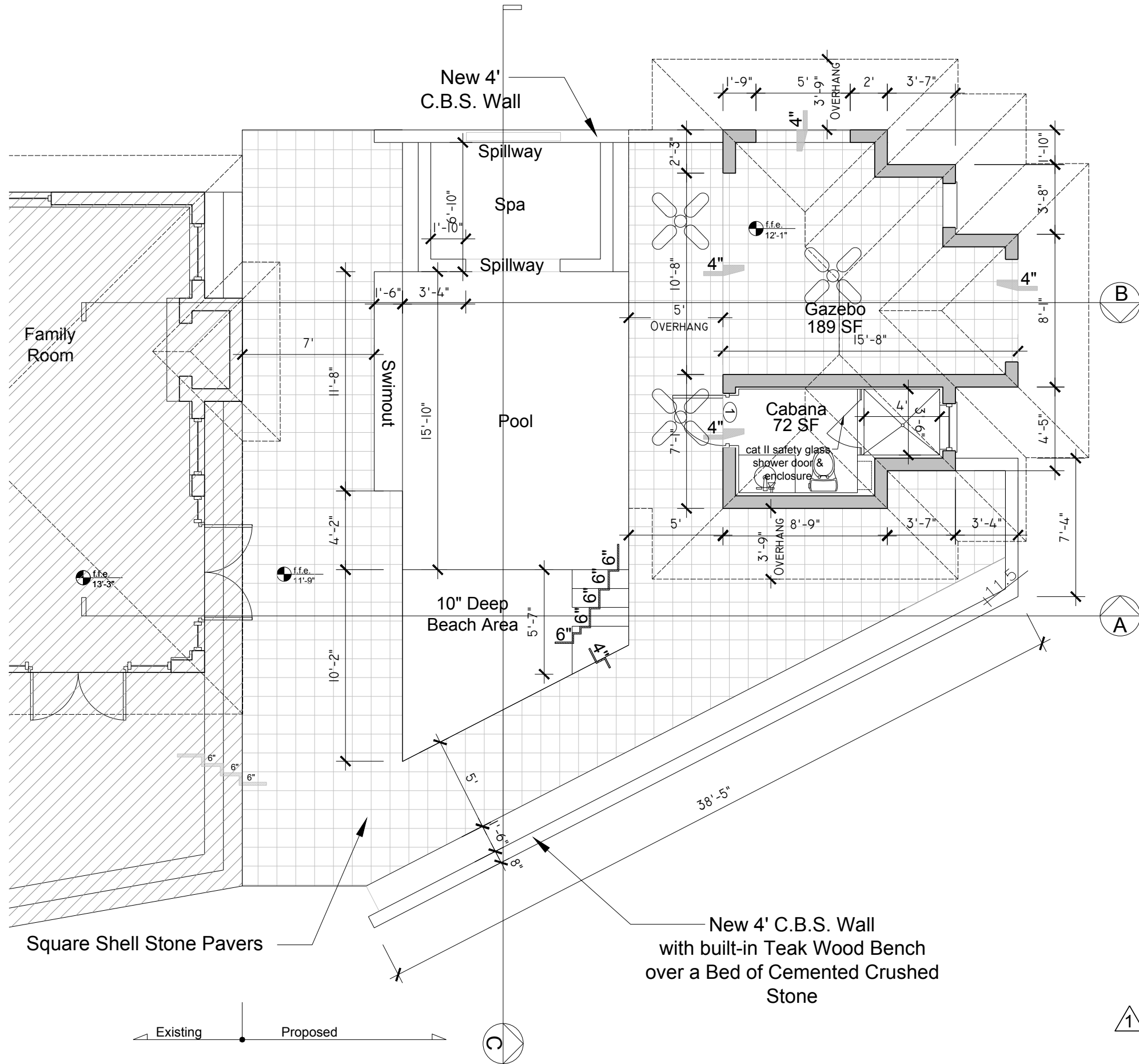
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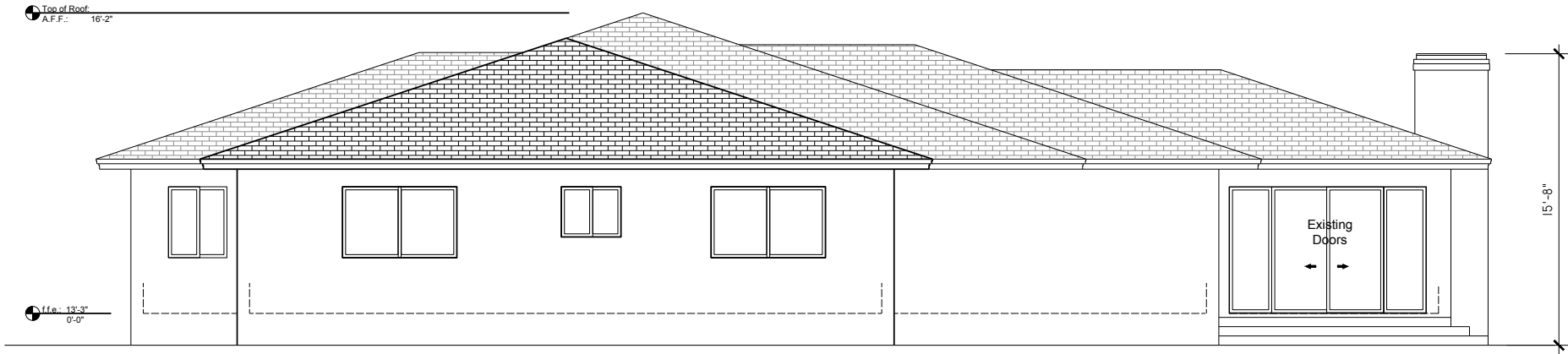
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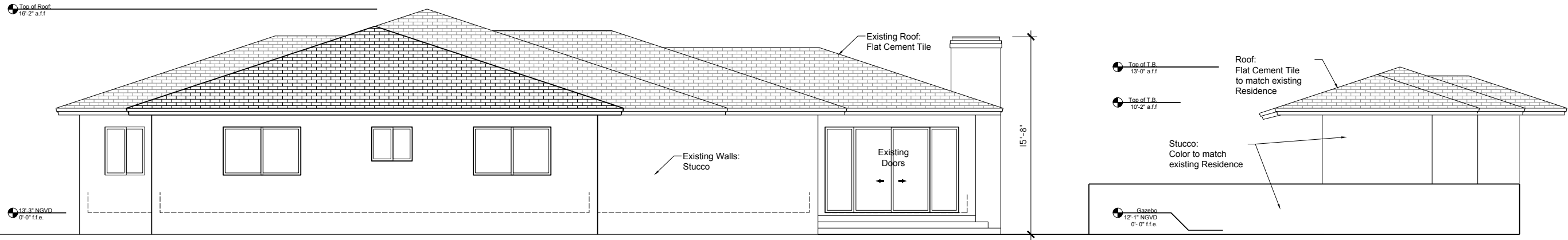
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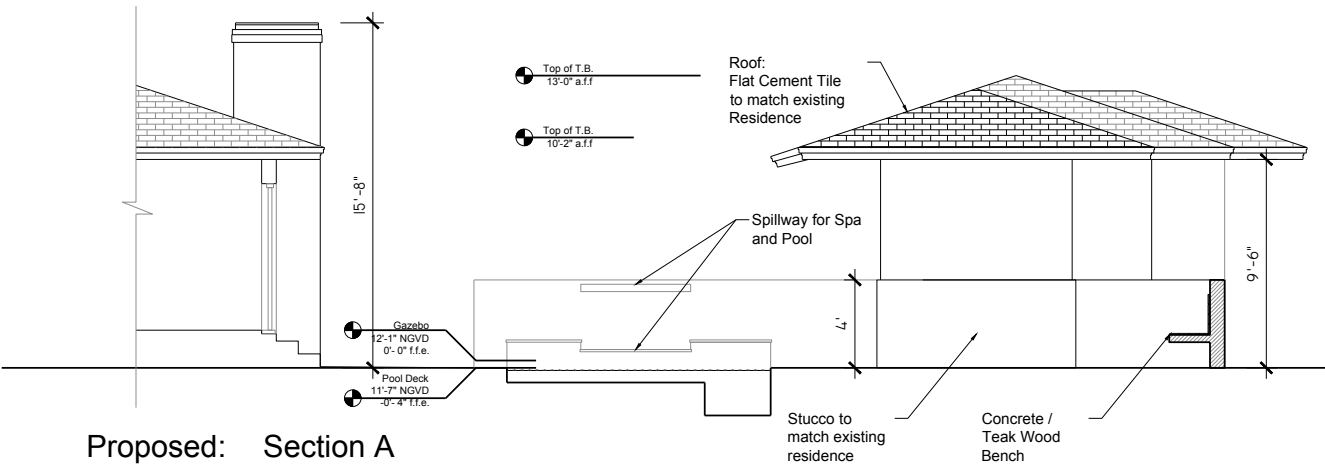
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Existing: South



Proposed: South



Proposed: Section A

1

Elevations

Scale: 1/4" = 1'-0"



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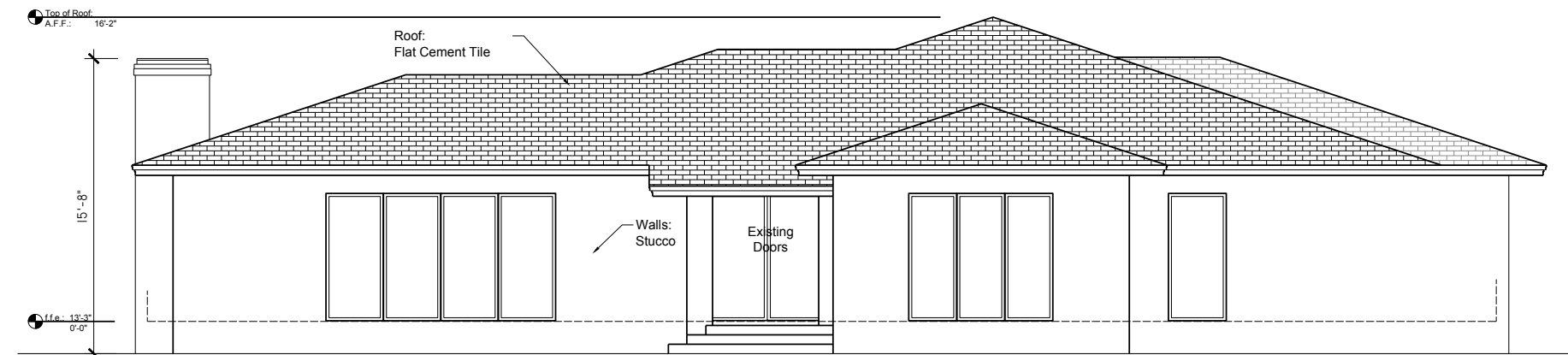
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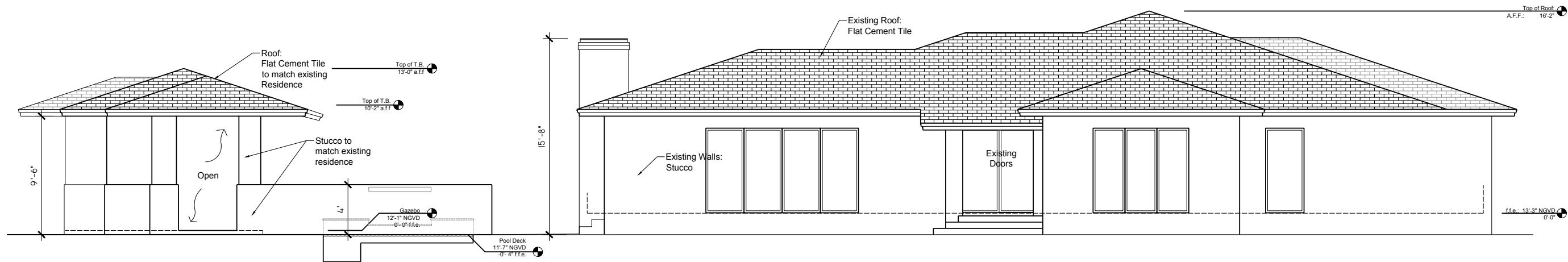
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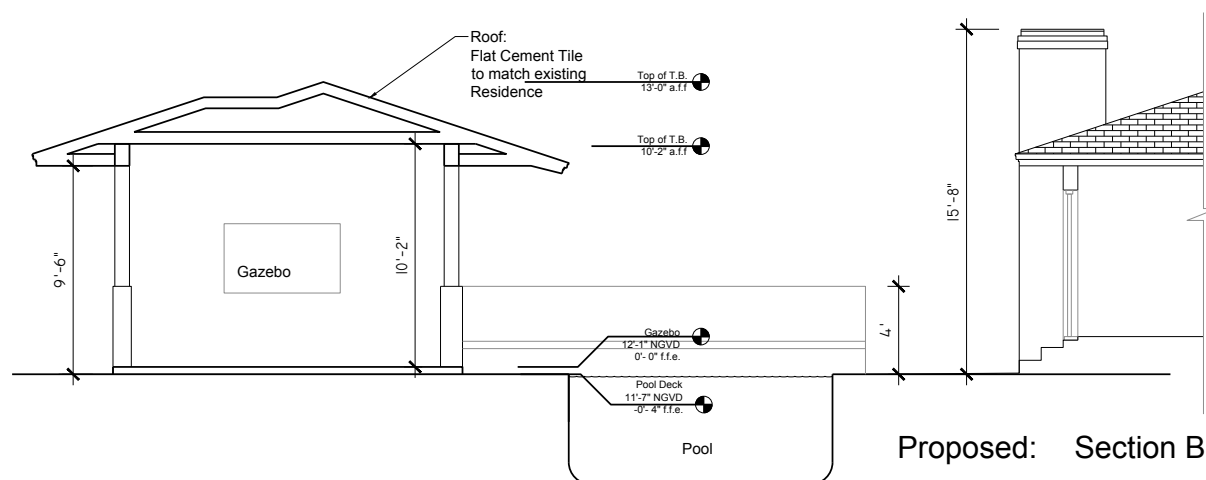
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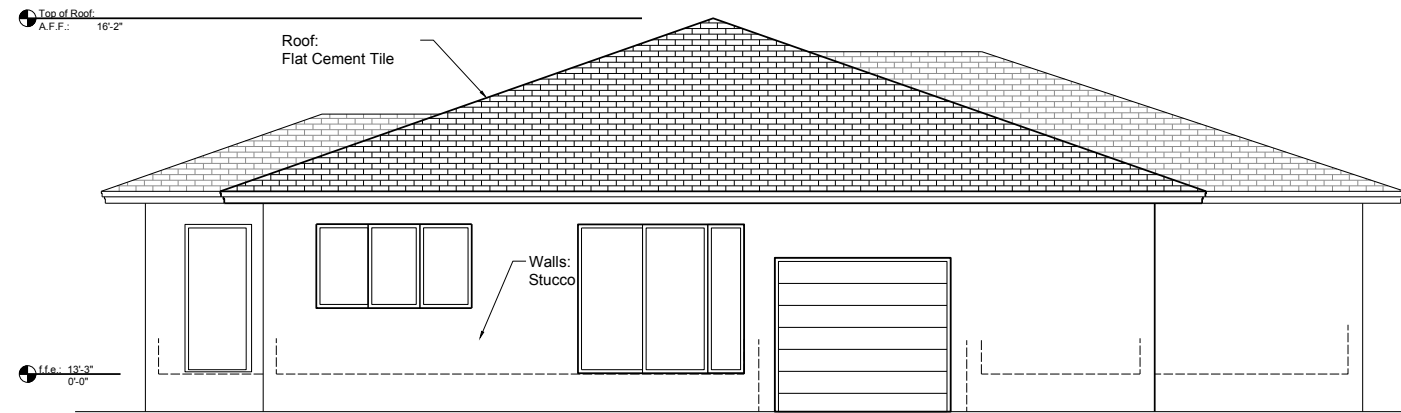
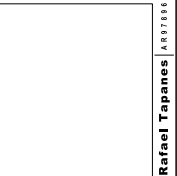
Existing: North



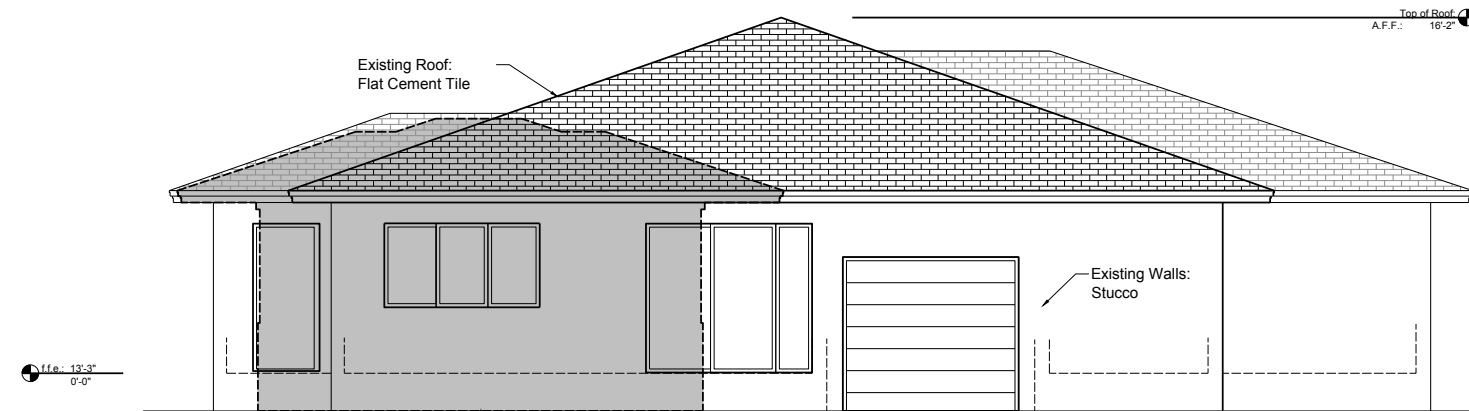
Proposed: North



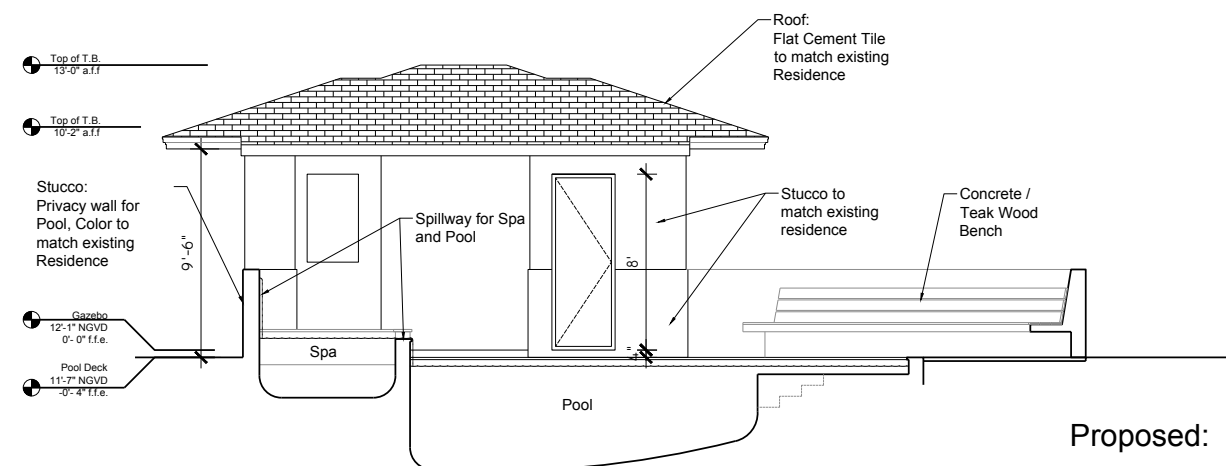
Proposed: Section B



Existing: West



Proposed: West

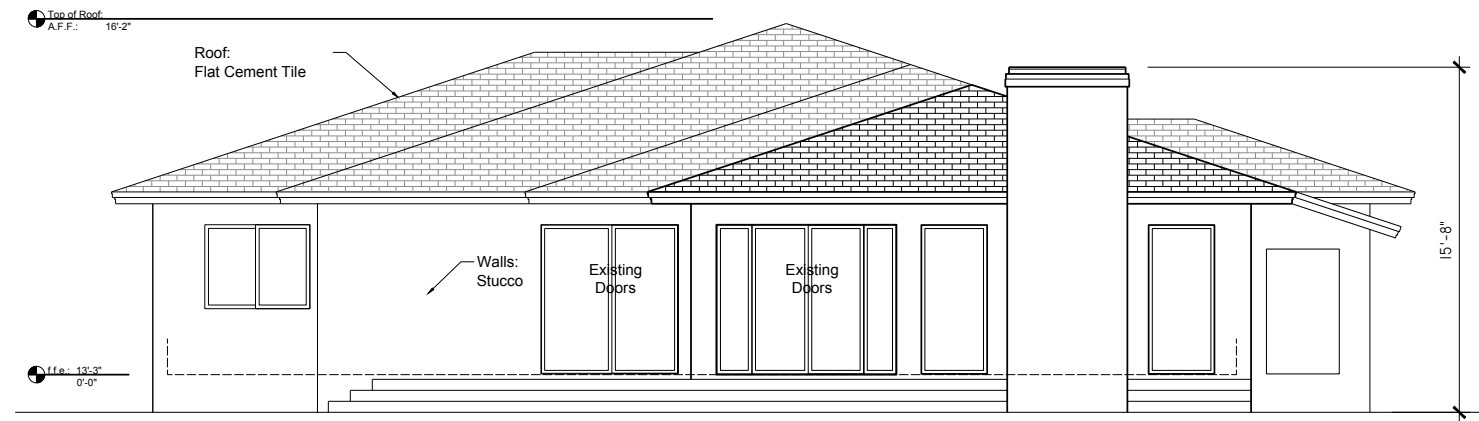


Proposed: Section C

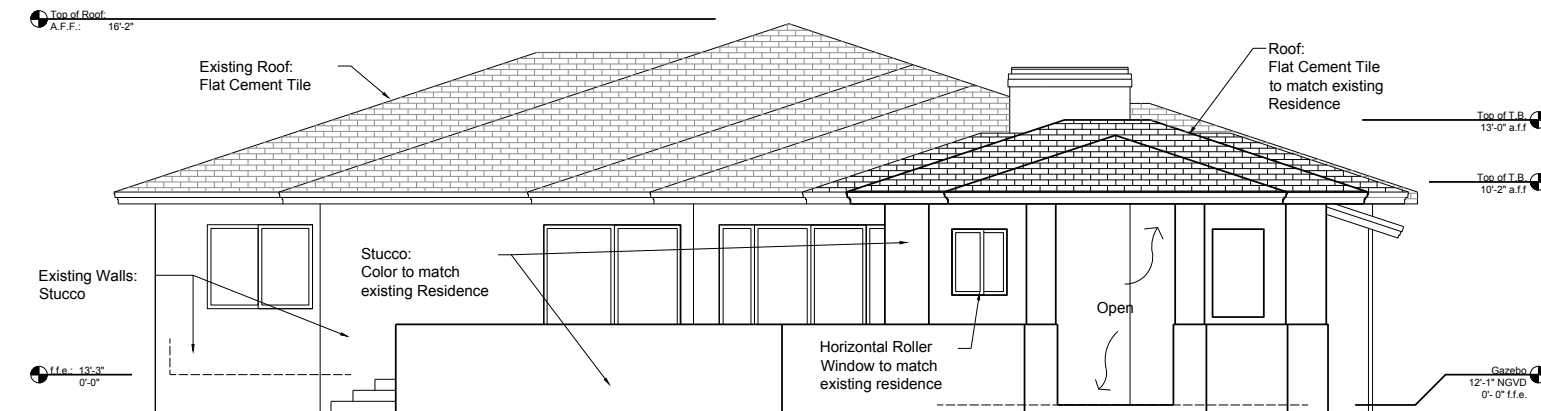
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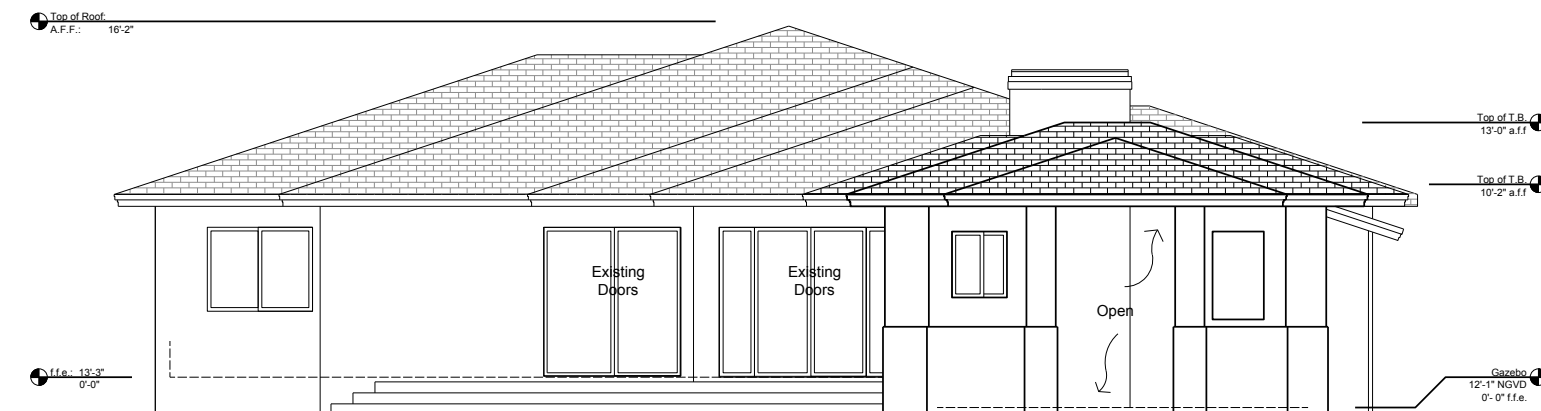
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Existing: East

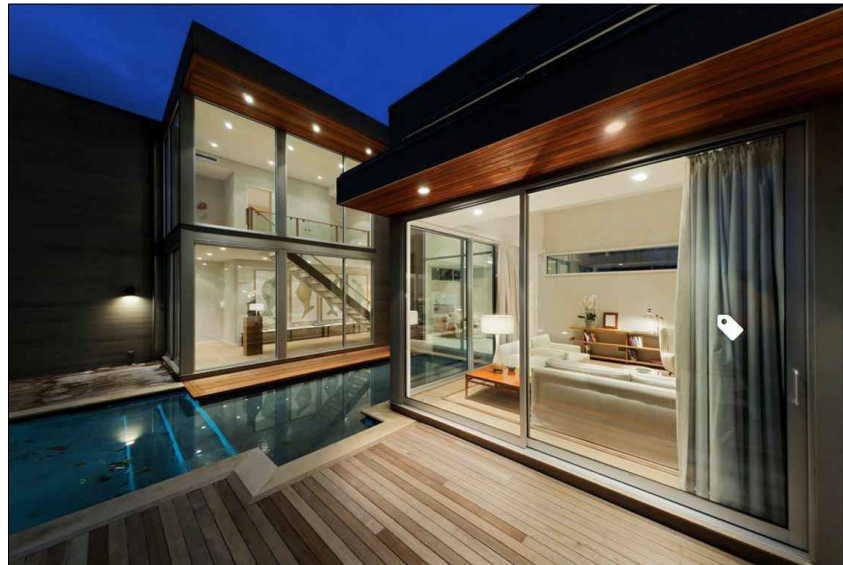


Proposed: East



Proposed: Low wall omitted for clarity

revisions	
	
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A triangle with the number 1 inside.

Renderings



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KAYAEI JAPANESE
AR97896

View 1

View 2

View 3

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evisions

[illegible]

date:	05-27-21
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drawn by: RT

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