

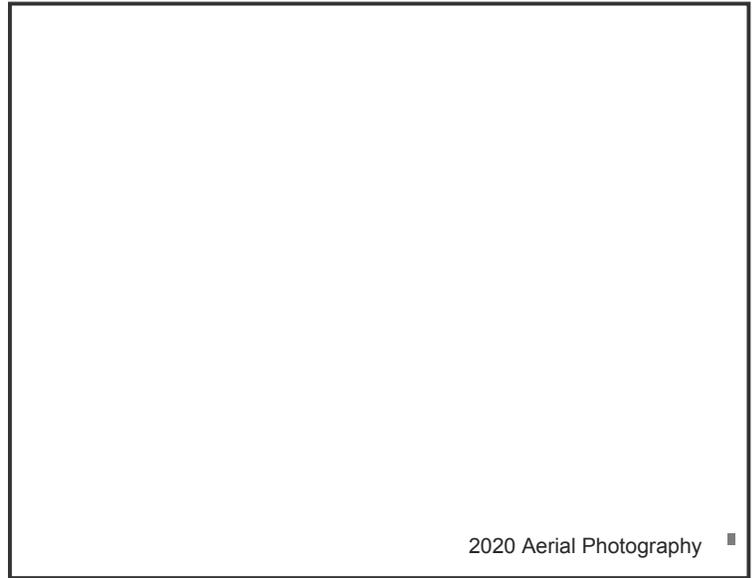


OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 2/8/2021

Property Information	
Folio:	03-4108-009-4350
Property Address:	44 ZAMORA AVE Coral Gables, FL 33134-4122
Owner	TWJ ZAMORA LLC
Mailing Address	100 S BISCAYNE BLVD STE 900 MIAMI, FL 33131
PA Primary Zone	5001 HOTELS & MOTELS - GENERAL Med Density
Primary Land Use	0081 VACANT RESIDENTIAL : VACANT LAND
Beds / Baths / Half	0 / 0 / 0
Floors	0
Living Units	0
Actual Area	0 Sq.Ft
Living Area	0 Sq.Ft
Adjusted Area	0 Sq.Ft
Lot Size	28,600 Sq.Ft
Year Built	0



Assessment Information			
Year	2020	2019	2018
Land Value	\$2,717,000	\$2,288,000	\$2,574,000
Building Value	\$0	\$0	\$0
XF Value	\$0	\$0	\$0
Market Value	\$2,717,000	\$2,288,000	\$2,574,000
Assessed Value	\$2,279,997	\$2,072,725	\$1,884,296

Benefits Information				
Benefit	Type	2020	2019	2018
Non-Homestead Cap	Assessment Reduction	\$437,003	\$215,275	\$689,704

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).

Short Legal Description
8 54 41
CORAL GABLES DOUGLAS SEC PB 25-69
LOTS 1 TO 5 INC BLK 43
LOT SIZE 260.000 X 110
OR 21213-2854 0503 6

Taxable Value Information			
	2020	2019	2018
County			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$2,279,997	\$2,072,725	\$1,884,296
School Board			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$2,717,000	\$2,288,000	\$2,574,000
City			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$2,279,997	\$2,072,725	\$1,884,296
Regional			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$2,279,997	\$2,072,725	\$1,884,296

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description
12/16/2009	\$1,000,000	27134-0156	Qual on DOS, multi-parcel sale
09/01/2006	\$0	25035-2809	Sales which are disqualified as a result of examination of the deed
08/01/2006	\$0	24976-1636	Sales which are disqualified as a result of examination of the deed
12/01/2003	\$2,700,000	21940-2996	Other disqualified

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Version: