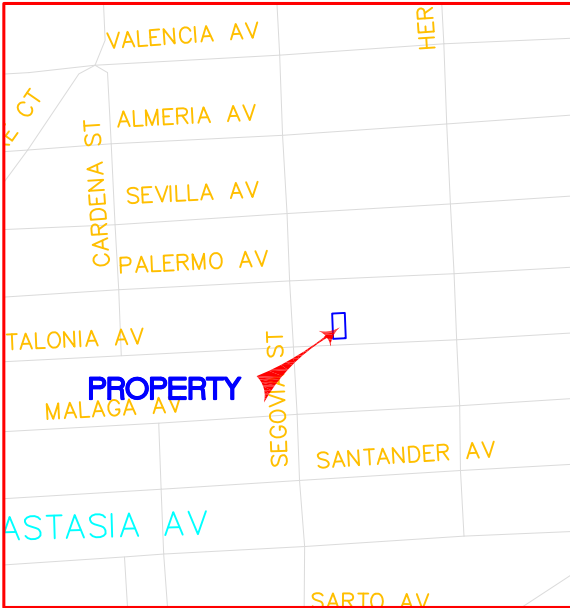


LOCATION SKETCH

SCALE: NTS



JOB No. 20-102915 CLIENT: 555 CATALONIA, LLC  
PROPERTY ADDRESS 2915 SEGOVIA ST, CORAL GABLES FL 33134  
LEGAL DESCRIPTION: (FURNISHED BY CLIENT)  
LOT 22, BLOCK 24  
SUBDIVISION CORAL GABLES BILTMORE SECTION  
ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 20 AT PAGE 28  
OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.  
SUBJECT TO ALL RESTRICTIONS, RESERVATIONS, EASEMENTS AND RIGHT-OF-WAY OF RECORD, UNDERGROUND ENCROACHMENTS IF ANY, NOT LOCATED.  
SURVEYOR'S NOTES:

- 1-) IF SHOWN, BEARINGS AND ANGLES ARE REFEREED TO SAID PLAT IN LEGAL DESCRIPTION.  
2-) THE RELATIVE CLOSURE IN THE FIELD MEASURED BOUNDARY IS BETTER THAN: 1 FOOT IN 7,500 FEET; LINEAR (SUBURBAN).  
3-) A TITLE REPORT WAS NOT PROVIDED FOR THIS SURVEY. THEREFORE, THERE MAY BE RESTRICTIONS ON THIS PARCEL THAT ARE NOT SHOWN THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. NO EXPRESSED OR IMPLIED DETERMINATION OF TITLE OR OWNERSHIP TO THE LAND DESCRIBED IS MADE.  
4-) THERE MAY BE UNDERGROUND UTILITY LOCATIONS AND SUBSURFACE FEATURES WITHIN THE PARCEL THAT ARE NOT SHOWN. THERE IS NO VISIBLE SURFACE OR OVERHEAD ENCROACHMENT, OTHER THAN SHOWN ON THIS SURVEY.  
5-) IT IS A VIOLATION OF RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE TO ALTER THIS SURVEY DRAWING WITHOUT THE PRIOR WRITTEN CONSENT OF THE SURVEYOR.  
6-) INFORMATION OF TREE IF PROVIDED: DIAMETER (Ø), HEIGHT (H), CANOPY SHADE (CS). ALL NAMES ARE NOTED TO SURVEYORS ABILITY. SURVEYOR IS NOT AN ARBORIST AND CANNOT PROVIDE SCIENTIFIC NAMES OF TREE AND OR PLANTS.  
7-) ENCROACHMENT/EASEMENT LIST:  
- NO EASEMENT BY RECORDED PLAT  
-CHAIN LINK FENCE EXTENDS INTO ADJACENT PROPERTY TO THE WEST

ELEVATION INFORMATION:

BASED ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY DATED OR REVISED ON 09-11-09 THE HEREIN DESCRIBED PROPERTY IS SITUATED WITHIN ZONE X  
BASE FLOOD ELEVATION N/A COMMUNITY 120639 PANEL NUMBER 0457 SUFFIX L  
ELEVATIONS(WHEN SHOWN) REFER TO N.G.V.D., 1929 DATUM,  
COUNTY BENCHMARK USED - ELEVATIONS - FEET B.M. LOCATION -

CERTIFIED TO:

555 CATALONIA, LLC  
FLEITAS PLLC  
FIRST AMERICAN TITLE INSURANCE COMPANY

  
Professional Land Surveyors, Mapper  
CERTIFICATE No.L.B. 8064  
STATE OF FLORIDA  
Main Line: (305) 901-1317  
Fax: (305) 901-1323



BY: \_\_\_\_\_  
LEONARDO MAQUEIRA, P.S.M.  
CERTIFICATE No.L.S.-6992  
STATE OF FLORIDA

SURVEY DATE: 10-22-2020  
SURVEY DATE: 05-18-2021

"NOT VALID WITHOUT THE SIGNATURE, DATE AND THE ORIGINAL  
RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER."

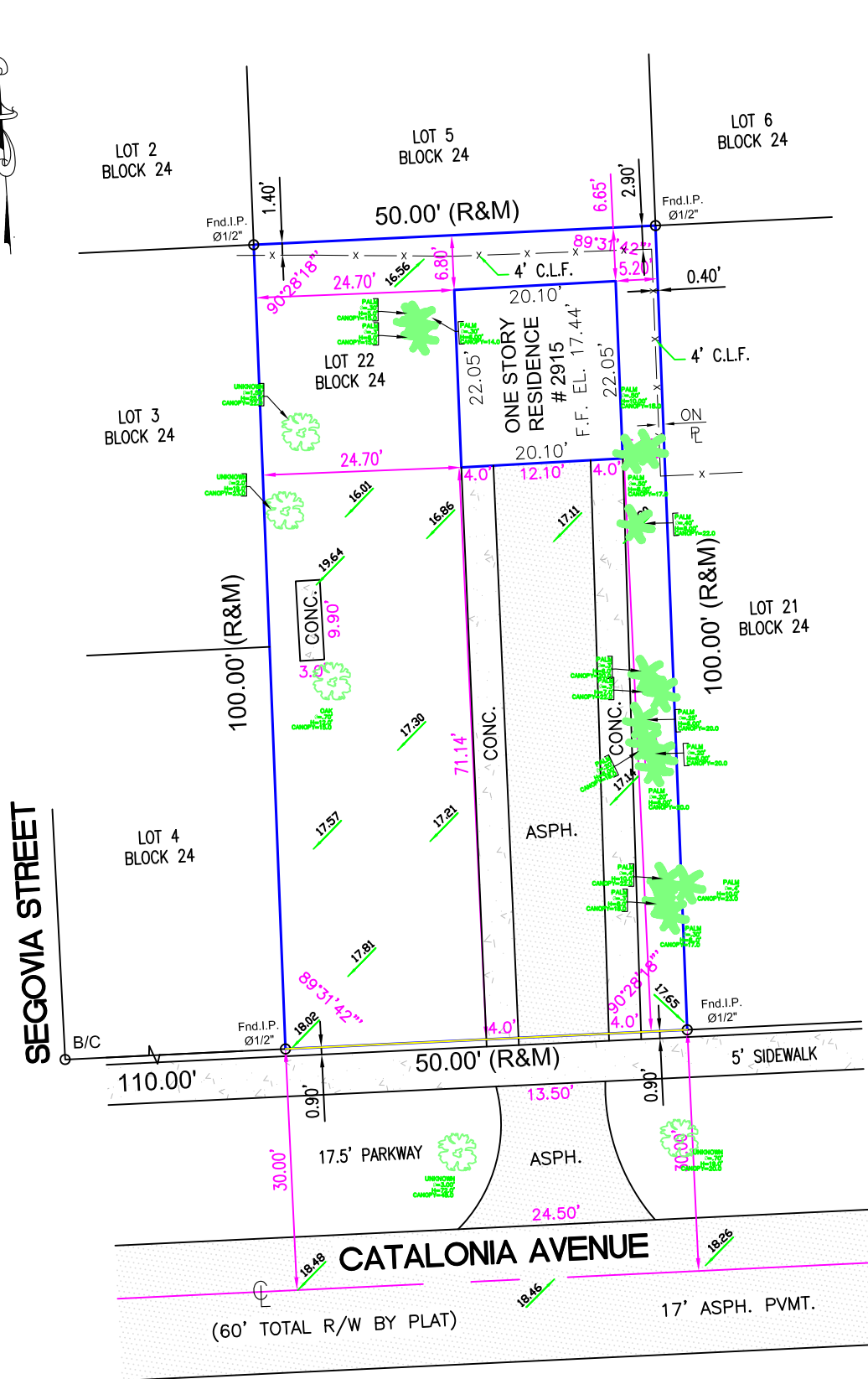




**MAQ SERVICES, INC.**  
Professional Land Surveyors, Mapper  
CERTIFICATE No.L.B. 8064  
STATE OF FLORIDA  
Main Line: (305) 901-1317  
Fax: (305) 901-1323

PAGE 2 OF 2  
NOT VALID WITHOUT PAGE 1 OF 2  
JOB No. 20-102915  
SCALE: 1" = 20'

# BOUNDARY SURVEY



## LEGEND AND ABBREVIATIONS

0.00 = ELEVATION  
DRWY. = DRIVEWAY  
U.P. = UTILITY POLE  
B.O.B. = BASIS OF BEARINGS  
A/C = AIR CONDITIONING PAD  
A = ARC DISTANCE  
BLDG. = BUILDING  
C.B. = CATCH BASIN  
C.B.S. = CONCRETE BLOCK STRUCTURE  
CH. = CHORD DISTANCE  
CL. = CLEAR  
C/L = CENTER LINE  
CONC. = CONCRETE

F.N. = FOUND NAIL  
P.O.C. = POINT OF COMMON-CEMENT  
F.D.H. = FOUND DRILL HOLE  
P.T. = POINT OF TANGENCY  
E.N.C. = ENCROACHMENT  
F.H. = FIRE HYDRANT  
F.I.P. = FOUND IRON PIPE  
F.I.R. = FOUND REBAR  
I.F.E. = LOWEST FLOOR ELEVATION  
I.P. = LIGHT POLE  
(M) = MEASURED  
(R) = RECORD  
(R & M) = RECORD & MEASURED

E.M. = ELECTRIC METER  
P.I. = POINT OF INTERSECTION  
P.R.C. = POINT OF REVERSE CURVE  
P.C. = POINT OF CURVATURE  
F.N.D. = FOUND NAIL/DISK  
P.C.C. = POINT OF COMPOUND CURVE  
M/L = MONUMENT LINE  
N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM  
O.E. = OVERHEAD ELECTRIC LINE  
P.B. = PLAT BOOK  
P.C.P. = PERMANENT CONTROL POINT  
P.G. = PAGE  
P.O.B. = POINT OF BEGINNING  
P/L = PROPERTY LINE  
N.T.S. = NOT TO SCALE

CONCRETE FOUNDATION  
Δ = CENTRAL ANGLE  
-/- = WOOD FENCE  
-X- = CHAIN LINK FENCE  
ZZZZ = C.B.S. WALL  
B/C = BLOCK CORNER  
R = RADIUS  
RAD. = RADIAL  
RES. = RESIDENCE  
R/W = RIGHT OF WAY  
SEC. = SECTION  
S.I.P. = SET IRON PIPE  
STY = STORY  
SWK = SIDEWALK  
UE. = UTILITY EASEMENT

OVERHEAD ELECTRIC  
UTILITY CONC. POLE  
WATER METER  
METAL FENCE



**2915 SEGOVIA (PROPOERTY ADJACENT ON WEST SIDE)**



**555 CATALONIA (SUBJECT PROPOERTY)**





**529 CATALONIA (PROPERTY ADJACENT ON EAST SIDE)**



**530 CATALONIA (PROPERTY DIRECTLY ACROSS STREET)**





**526 CATALONIA (PROPERTY ACROSS STREET)**



**524 CATALONIA (PROPERTY ACROSS STREET)**

















GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE EXACTLY WHAT SCOPE IS REQUIRED TO BE PERFORMED BY THE GENERAL CONTRACTOR AND WHAT SCOPE WILL BE HANDLED DIRECTLY BY THE OWNER. IT IS EXPECTED THAT THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THE WORK OF ALL SUBCONTRACTORS WHETHER THEY BE CONTRACTED BY THE OWNER OR THE GENERAL CONTRACTOR.

02. ALL WORK SHALL COMPLY WITH THE REGULATIONS OF THE GOVERNMENTAL AUTHORITIES HAVING JURISDICTION. THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLEMENTAL TO ALL LAWS & CODES OF GOVERNMENTAL REGULATING BODIES RELATING TO BUILDINGS, ALL APPLICABLE REQUIREMENTS SPECIFIED IN THESE REGULATIONS SHALL BE FOLLOWED AS THOUGH SPECIFICALLY NOTED IN THE CONSTRUCTION DOCUMENTS. HOWEVER, THIS SHOULD NOT BE CONSTRUED TO MEAN THAT ANY REQUIREMENTS SET FORTH IN THE CONSTRUCTION DOCUMENTS ARE EXHAUSTIVE OF THE DESIGN PROFESSIONAL'S REQUIREMENTS. SUCH CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS NOT SPECIFICALLY NOTED BY SUCH DOCUMENTS.

03. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF THE WORK. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS CONCEALED BELOW GRADE, INCLUDING, BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, PLUMBING, TELEPHONE, COMMUNICATIONS ETC. NO ALLOWANCES SHALL BE MADE ON BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS/HER PART. ALL CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS, MEASUREMENTS AND ELEVATIONS AT THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR DESIGN PROFESSIONAL OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK. ALL CONTRACTORS INCLUDING SUBCONTRACTORS SHALL EXAMINE THE SITE, BUILDING, ETC. INCLUDING ITS CONDITIONS BEFORE SUBMITTING THEIR BID(S). CONTRACTORS SHALL MAKE NO CLAIM FOR AND HAVE NO RIGHT TO ADDITIONAL PAYMENT, EXTENSION OF TIME OR ANY OTHER CONCESSION BECAUSE OF FAILURE TO VISIT THE SITE AND BUILDING TO ACQUAINT THEMSELVES WITH THE CONDITIONS OF/OR RELATING TO THE WORK.

04. THE CONTRACTOR SHALL NOTIFY THE DESIGN PROFESSIONAL IMMEDIATELY IF HE OR SHE CANNOT COMPLY WITH ANY AND/OR ALL INCLUDED CONSTRUCTION DOCUMENTS.

05. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON DRAWINGS AND ACTUAL FIELD MEASUREMENT. DISCREPANCIES SHALL BE NOTIFIED TO THE DESIGN PROFESSIONAL AT ONCE BEFORE PROCEEDING WITH THE WORK.

06. WHERE THE TERM "APPROVED" OR "APPROVED OR EQUAL" IS USED IN THE CONSTRUCTION DOCUMENTS, IT SHALL BE UNDERSTOOD THAT THE REFERENCE IS MADE TO THE RULING AND JUDGMENT OF AND PROPOSED SUBSTITUTE SHALL BE SUBMITTED TO THE DESIGN PROFESSIONAL FOR REVIEW AND WRITTEN APPROVAL.

07. THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATIONS OF ALL DRAIN PIPES, DOORWAYS AND VENTILATION OPENINGS SO AS TO NOT INTERFERE WITH THE LOCATIONS OF THE DESIGN PROFESSIONAL FINISH ITEMS INDICATED ON THE DRAWINGS. NOTIFY THE DESIGN PROFESSIONAL IMMEDIATELY OF ANY CONFLICTS.

08. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY LOCATIONS OF STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING ELEMENTS, OR OTHER CONDITIONS EXISTING, PRIOR TO DRILLING OR CUTTING OF SLABS OR STRUCTURAL MEMBER. NOTIFY THE DESIGN PROFESSIONAL IMMEDIATELY OF ANY CONFLICTS.

09. THE DESIGN PROFESSIONAL SHALL NOT BE OBLIGATED TO ACT AS AN ARBITRATOR BETWEEN THE CONTRACTOR AND HIS SUBCONTRACTORS, OR BETWEEN SUBCONTRACTORS, DUE TO REAL OR ALLEGED ERROR IN THE ARRANGEMENT OF THE CONTENTS OF THE CONSTRUCTION DOCUMENTS.

10. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND OWNER TO OBTAIN ALL REQUIRED PERMITS FOR CONSTRUCTION WITHIN THE JURISDICTION OF DESIGN PROFESSIONAL.

11. THE CHARACTER AND SCOPE OF THE WORK AS ILLUSTRATED BY THE DRAWINGS LISTED, CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND/OR REQUESTING ANY ADDITIONAL DETAIL DRAWINGS REQUIRED TO INTERPRET AND EXPLAIN THE CONSTRUCTION DOCUMENTS AND OTHER INFORMATION DEEMED NECESSARY TO PERFORM WORK. IT SHALL BE UNDERSTOOD THAT THIS ADDITIONAL DATA SHALL BE CONSIDERED AS FORMING A PART OF THESE NOTES AS THEY RELATE.

12. THE USE OF THE WORDS "AS FURNISHED" OR "AS PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED IT IS INTENDED TO MEAN THAT SUCH ITEM SHALL BE FURNISHED TO THE CONTRACTOR AND INSTALLED BY THE CONTRACTOR (UNLESS OTHERWISE NOTED). CONTRACTOR IS TO BECOME AWARE OF SUCH ITEMS TO ENSURE PREPARATION IS PERFORMED TO CORRECTLY INSTALL AS REQUIRED. CONTRACTOR TO RECEIVE AND STORE ITEMS AS REQUIRED.

13. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY AND SAFETY OF THE CONSTRUCTION SITE. CONTRACTORS SHALL COORDINATE WITH LOCAL AUTHORITIES TO ENSURE AN ADEQUATE LEVEL OF LIFE SAFETY IS MAINTAINED AT ALL TIMES.

14. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION OF PUBLIC AREAS AND SHALL BE RESPONSIBLE FOR KEEPING THESE AREAS CLEAN AND FREE OF MATERIALS AT ALL TIMES.

15. CONTRACTOR SHALL COORDINATE WITH OWNER FOR ACCESS AND REGULATIONS REGARDING REQUIRED PERMITS, HOURS OF WORK AND ALL OTHER RELEVANT REGULATIONS.

16. IN THE EVENT OF ANY DAMAGE TO THE GC SHALL FILE WITH THE OWNER CURRENT INSURANCE CERTIFICATIONS IN THE AMOUNTS REQUESTED BY THE OWNER FOR WORKMAN'S COMPENSATION, GENERAL LIABILITY, BODILY INJURY & PROPERTY DAMAGE. THE GC SHALL INDEMNIFY THE OWNER & THE DESIGN PROFESSIONAL FOR AND ADDITIONAL COSTS, CLAIMS, SUITS & JUDGMENTS FOR PROPERTY DAMAGE OR PERSONAL INJURY ARISING OUT OF THE WORK OF THE GC, HIS AGENTS, EMPLOYEES AND SUBCONTRACTORS.

17. PRIOR TO THE PAYMENT OF THE FINAL INVOICE THE GC SHALL (A) CORRECT ALL PUNCH LIST ITEMS (B) FURNISH EVIDENCE TO THE OWNER AND FIRST THREE SUBCONTRACTORS (C) PROVIDE ALL GOVERNMENTAL CERTIFICATES OF COMPLETION.

18. MECHANICAL, ELECTRICAL & PLUMBING CONTRACTORS SHALL FULLY COORDINATE ALL EQUIPMENT WITH THE OTHER TRADES. THESE CONTRACTORS SHALL BE RESPONSIBLE FOR THE FINAL HOOK-UP OF ALL EQUIPMENT INCLUDING EQUIPMENT NOT FURNISHED BY THEM, BUT REQUIRING THEIR SERVICES.

19. NO EXTRA WORK OR CHANGE SHALL BE MADE WITHOUT PRIOR WRITTEN REQUEST & APPROVAL FROM THE OWNER & THE DESIGN PROFESSIONAL. ANY CHANGE ORDER SHALL OUTLINE ADDITIONAL COSTS, ADDITIONS TO THE SCHEDULE AND MATERIALS INVOLVED.

20. GC SHALL PROVIDE SAMPLES OF ALL FINISH MATERIALS, MILLWORK & COLORS TO THE DESIGN PROFESSIONAL FOR APPROVAL PRIOR TO INSTALLATION ON THE JOB & IN A TIMELY FASHION SO AS NOT TO DELAY THE PROGRESS OF THE WORK.

21. THE GENERAL CONTRACTOR SHALL PROVIDE ADDITIONAL STUDS, TEMPORARY BLOCKING AND FRAMING SUPPORTS IN PARTITIONS, AND IN CEILING FOR THE ANCHORING AND INSTALLATION OF ALL LIGHT FIXTURES OR OTHER CEILING MOUNTED INSTALLATIONS AS REQUIRED BY THE DOCUMENTS.

22. BIDDER MUST REVIEW ALL PLANS WITH THE DESIGN PROFESSIONAL PRIOR TO BIDDING WORK. DESIGN PROFESSIONAL SHALL ASSUME NO RESPONSIBILITY WHEN BIDDER HAS NOT VIEWED THE NATURE OF THE WORK IF DOUBT EXISTS IN THE MIND OF THE BIDDER AS THE TRUE MEANING OF ANY PART OF THE CONTRACT DOCUMENTS. HE / SHE MUST REQUEST THE INFORMATION, AND / OR CLARIFICATION IN WRITING. DESIGN PROFESSIONAL OR ENGINEER HAS NO LIABILITY TO ANY INQUIRY.

23. THE CONTRACTOR SHALL INCLUDE WITHIN THE BID COSTS OF LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, HOSTING, ADMINISTRATION FIELD SUPERINTEND AND COORDINATION OF ALL SUBCONTRACTORS AND ALSO OTHER CONTRACTORS OR VENDORS RETAINED BY THE OWNER AS REQUIRED FOR THE COMPLETION OF THE WORK.

24. BID SHALL BE BASED ON WORK BEING PERFORMED DURING NORMAL WORKING HOURS.

25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR TRADES AND THE FINISH SURFACES, OR SURFACES TO BE FINISHED AT A LATER DATE ARE NOT MARKED. EACH CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJACENT WORK AND IS RESPONSIBLE FOR THE REPAIR OF SAID DAMAGE AT HIS OWN COST.

26. COMMENCEMENT OF WORK BY ONE TRADE OR SUBCONTRACTOR OVER THE EXISTING FINISHED WORK OF A PREVIOUS TRADE OR SUBCONTRACTOR SHALL CONSTITUTE ACCEPTANCE OF THAT PREVIOUS WORK BY THE NEW TRADE OR SUBCONTRACTOR.

27. DESIGN PROFESSIONAL AND/OR DRAWINGS SHALL GOVERN OVER ENGINEERING DRAWINGS FOR LOCATIONS OF LIGHTING, ELECTRICAL, DATA AND TELEPHONE OUTLETS, AIR CONDITIONING, ETC. REFER TO ENGINEERING DRAWINGS FOR MINIMUM CODE COMPLIANCE.

28. UPON COMPLETION OF THE WORK, THE CONTRACTOR MUST SUBMIT AS-BUILT DRAWINGS FOR ALL TRADES TO THE BUILDING IN ORDER TO RECEIVE THEIR FINAL PAYMENTS. UPON COMPLETION OF WORK, IT SHALL BE LEFT PROFESSIONALLY CLEANED, FREE OF DIRT, DEFECTS, STAINS, SOILING, MOISTURE, ALL CLEANING AGENTS SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS AND USED SO AS NOT TO DAMAGE THE INSTALLED MATERIAL.

30. ALL DRAWINGS AND SPECIFICATIONS ARE PART OF THE CONTRACT DOCUMENTS. THE COMPLETE SCOPE OF WORK CAN ONLY BE DETERMINED BY THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL CONTRACTOR TO USE ALL OF THE DOCUMENTS, AND TO CROSS-REFERENCE ONE ANOTHER. SHALL NOT BE CAUSE FOR ADDITIONAL COSTS. COORDINATION OF THE WORK, AND OF THE SUBCONTRACTORS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. SUPPLEMENTAL DETAIL DRAWINGS WILL BE FURNISHED DURING CONSTRUCTION AS PART OF THE FIELD ORDER PROCESS. THESE SK DRAWINGS SHALL CARRY THE SAME STRENGTH AS THE ORIGINAL CONTRACT DOCUMENTS. THE DRAWINGS (ELEVATIONS, FLOOR PLANS AND DESIGN DETAILS) AND SPECIFICATIONS ARE AN OUTLINE OF THE DESIGN CRITERIA AND PERFORMANCE REQUIREMENTS OF THE WORK. THE DETAILS INDICATED BY THE DETAILS ARE INTENDED TO ESTABLISH BASIC DIMENSIONS, SITE LINES AND PROFILES. WITHIN THESE PARAMETERS, THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND ENGINEERING OF ANY SYSTEMS, INCLUDING WHATEVER MODIFICATIONS AND ADDITIONS MAY BE REQUIRED TO MEET THE SPECIFIED REQUIREMENTS AND MAINTAIN THE VISUAL DESIGN CONCEPT OF THE ENTIRE PROJECT.

NOTE:

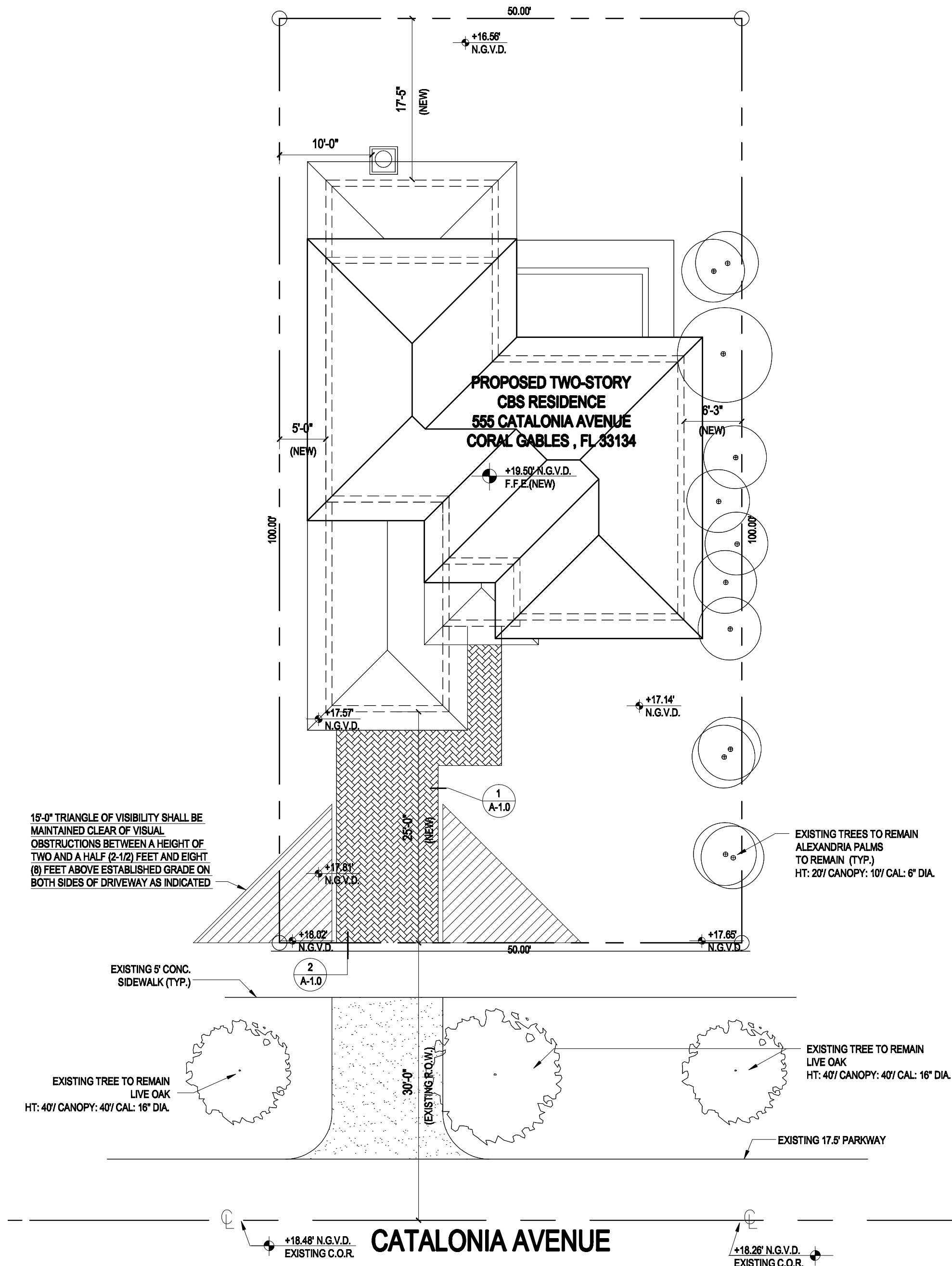
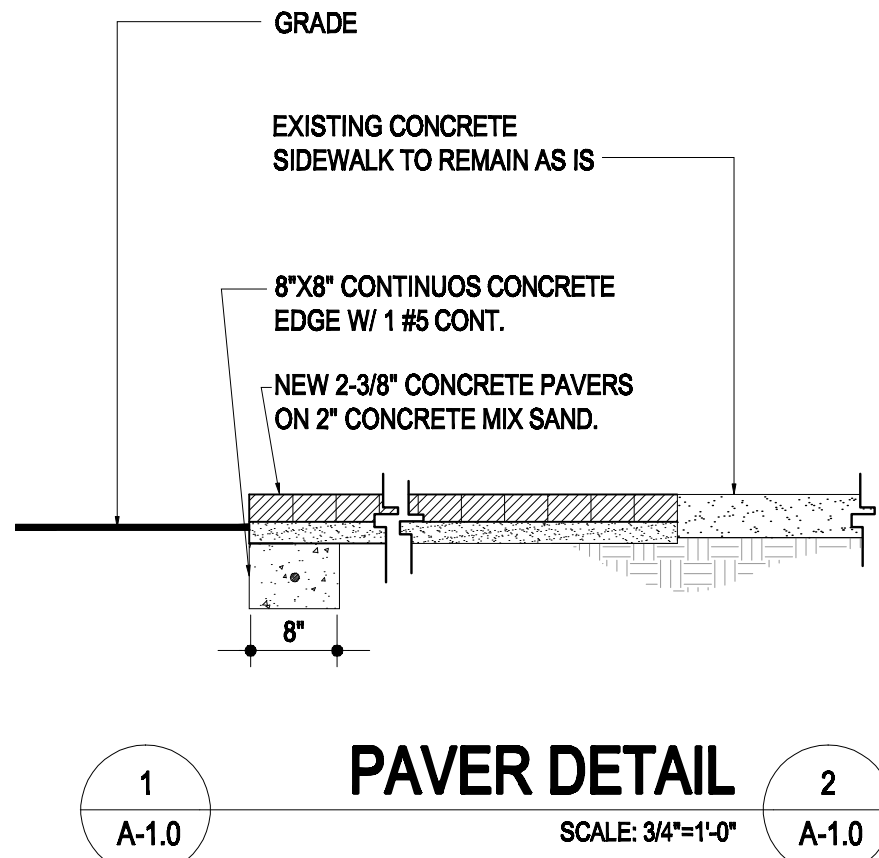
A. PLANS ARE DIMENSIONED TO FINISH U.O.N.

B. INTERIOR ELEVATIONS ARE DIMENSIONED TO FINISH U.O.N.

C. DRAWINGS ARE NOT TO BE SCALED. DRAWINGS ARE USED TO SHOW RELATIONSHIPS ONLY.

D. PREFERENCES NOTED ALIGN OR INDICATED IN ALIGNMENT SHALL BE FINISHED FLUSH AND SMOOTH.

SCALE: N.T.S.



SCALE: 1" = 10'-0"

SHEET NUMBER		06-10-2014 - SUBMITTAL SET
A-1.0	SITE PLAN / GENERAL NOTES / SITE DATA	•
A-2.0	PROPOSED FLOOR PLAN / SCHEDULES / NOTES	•
A-3.0	REFLECTED CEILING PLAN / SCHEDULES	•
A-4.0	ROOF PLAN / ATTIC VENTILATION CALCULATIONS	•
A-5.0	EXTERIOR ELEVATIONS	•
A-6.0	WINDOW AND DOOR DETAILS / WALL DETAILS	•
S-1	GENERAL STRUCTURAL NOTES / SCHEDULES	•
S-2	FOUNDATION PLAN / SECOND FLOOR FRAMING PLAN / DETAILS	•
S-3	ROOF FRAMING PLAN / DETAILS	•
P-1.0	PLUMBING PLANS / SCHEDULES	•
P-2.0	PLUMBING DETAILS / NOTES	•
M-1.0	MECHANICAL PLAN / SCHEDULES / DETAILS	•
M-2.0	MECHANICAL DETAILS / NOTES	•
E-1.0	ELECTRICAL PLANS / SCHEDULES / NOTES	•
E-2.0	ELECTRICAL PANEL SCHEDULES / RISER DIAGRAM	•

LOT 22, BLOCK 24, OF CORAL GABLES BILTMORE SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 20, AT PAGE 28, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SQ. FOOTAGE DATA	
EXISTING NET LOT AREA	5,000 SQ.FT.
GROUND FLOOR A/C SPACE	1,254 SQ.FT.
SECOND FLOOR A/C SPACE	1,026 SQ.FT.
TOTAL A/C SPACE	2,280 SQ.FT.
FRONT PORCH AREA	51.4 SQ.FT.
CARPORAT AREA	293.7 SQ.FT.
REAR COVERED TERRACE AREA	150.4 SQ.FT.
SUNDECK AREA	133.9 SQ.FT.
TOTAL BUILDING AREA	2,910.3 SQ.FT.
TOTAL F.A.R. ALLOWED (48% MAX)	2,400 SQ.FT.
TOTAL F.A.R. PROPOSED	2,332.3 SQ.FT.

NET LOT AREA	5,000 SQ.FT.
MIN. GREEN AREA (40% MIN.) GREEN AREA PROVIDED	2,000 SQ.FT. 2,882.9 SQ.FT.
MIN. FRONT GREEN AREA (20% OF 40%) FRONT GREEN AREA PROVIDED	400 SQ.FT. 1,241 SQ.FT.
TOTAL F.A.R. ALLOWED (48% MAX) TOTAL F.A.R. PROPOSED	2,400 SQ.FT. 2,332.3 SQ.FT.
GROUND AREA COVERAGE ALLOWED (35%) GROUND AREA COVERAGE PROVIDED	1,750 SQ.FT. 1,749.9 SQ.FT.

1. NEW CONSTRUCTION OF A TWO-STORY SINGLE FAMILY RESIDENCE.
2. NEW PLUMBING, MECHANICAL, AND ELECTRICAL WORK ASSOCIATED WITH NEW RESIDENCE.

**OCCUPANCY CLASSIFICATION:**  
THIS SPACE IS CLASSIFIED AS: RESIDENTIAL - (GROUP R)

**BUILDING CLASSIFICATION:**  
LIGHT-COMBUSTIBLE (UN-PROTECTED)

**CONSTRUCTION TYPE:**  
EXISTING BUILDING AND RENOVATION : TYPE III-B (UNPROTECTED COMBUSTIBLE)

**CATEGORY OF REHABILITATION WORK:**  
SCOPE OF WORK IS CATEGORIZED AS A: NEW CONSTRUCTION

**PROPOSED SCOPE OF WORK IS CLASSIFIED AS AN:  
ALTERATION - LEVEL 2 (PER F.B.C. 403.1 EXISTING BUILDINGS.**

**CLIENT / PROJECT NAME:**

**NEW SINGLE-FAMILY RESIDENCE FOR:**

**5555 CATALONIA, LLC**

**555 CATALONIA AVENUE**

**CORAL GABLES, FL 33134**

1 08/20/2021 B.O.A REVISIONS

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MARK	DATE	DESCRIPTION
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**ALEXANDER CAMPS**  
**A.R. # 93635**

NOT VALID FOR CONSTRUCTION  
UNLESS SIGNED IN THIS BOX

<b>DATE ISSUED:</b> 02-18-2021	<b>SHEET NUMBER:</b>  <b>A 1</b>
<b>JOB NO.:</b> 2021-01	
<b>DRAWN BY:</b> G.M.	

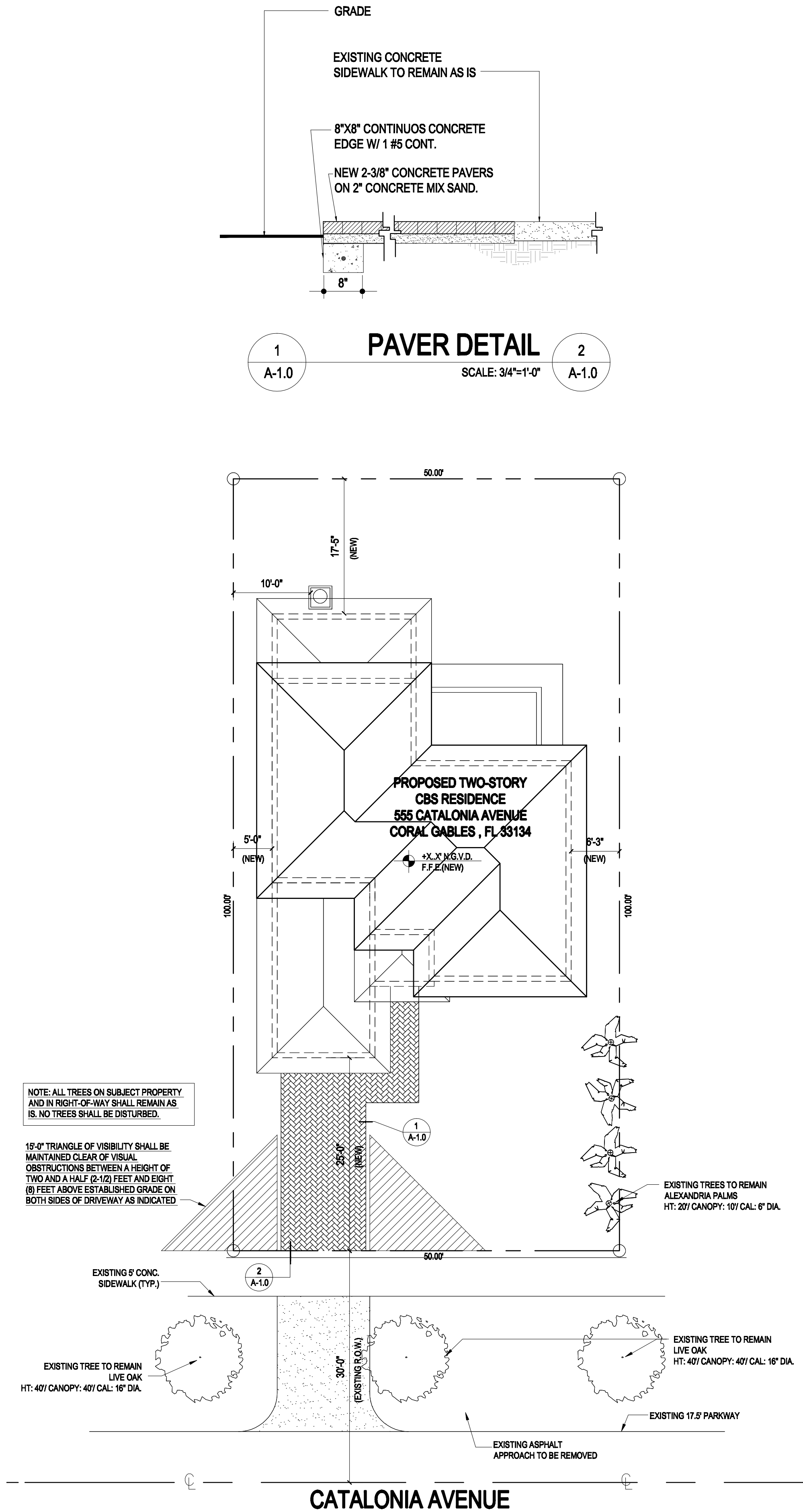
# A-1.0

# BOA PRELIMINARY SET



GENERAL NOTES:

01. GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE EXACTLY WHAT SCOPE IS REQUIRED TO BE PERFORMED BY THE GENERAL CONTRACTOR AND WHAT SCOPE WILL BE HANDLED DIRECTLY BY THE OWNER. IT IS EXPECTED THAT THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THE WORK OF ALL SUBCONTRACTORS WHETHER THEY BE CONTRACTED BY THE OWNER OR THE GENERAL CONTRACTOR.
02. ALL WORK SHALL COMPLY WITH THE REGULATIONS OF THE GOVERNMENTAL AUTHORITIES HAVING JURISDICTION. THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLEMENTAL TO ALL LAWS & CODES OF GOVERNMENTAL REGULATING BODIES RELATING TO BUILDINGS. ALL APPLICABLE REQUIREMENTS SPECIFIED IN THESE REGULATIONS SHALL BE FOLLOWED AS THOUGH SPECIFICALLY NOTED IN THE CONSTRUCTION DOCUMENTS. HOWEVER, THIS SHOULD NOT BE CONSTRUED TO MEAN THAT ANY REQUIREMENTS SET FORTH IN THE CONSTRUCTION DOCUMENTS CAN BE MODIFIED BECAUSE THEY ARE NOT SPECIFICALLY NOTED BY SUCH CODES.
03. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF THE WORK. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS CONCEALED BELOW GRADE, INCLUDING, BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, PLUMBING, TELEPHONE, COMMUNICATIONS ETC. NO ALLOWANCES SHALL BE MADE ON BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS/HER PART. ALL CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS, MEASUREMENTS AND ELEVATIONS AT THE SITE. THE CONTRACTOR IS TO NOTIFY THE DESIGN PROFESSIONAL OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK. ALL CONTRACTORS INCLUDING SUBCONTRACTORS SHALL EXAMINE THE SITE, BUILDING, ETC. INCLUDING ITS CONDITIONS BEFORE SUBMITTING THEIR BID(S). CONTRACTORS SHALL MAKE NO CLAIM FOR AND HAVE NO RIGHT TO ADDITIONAL PAYMENT, EXTENSION OF TIME OR ANY OTHER CONCESSION BECAUSE OF FAILURE TO VISIT THE SITE AND BUILDING TO ACQUAINT THEMSELVES WITH THE CONDITIONS OF/OR RELATING TO THE WORK.
04. THE CONTRACTOR SHALL NOTIFY THE DESIGN PROFESSIONAL IMMEDIATELY IF HE OR SHE CANNOT COMPLY WITH ANY AND/OR ALL INCLUDED CONSTRUCTION DOCUMENTS.
05. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON DRAWINGS AND ACTUAL FIELD MEASUREMENT. DISCREPANCIES SHALL BE NOTIFIED TO THE DESIGN PROFESSIONAL AT ONCE BEFORE PROCEEDING WITH THE WORK.
06. WHERE THE TERM 'APPROVED' OR 'APPROVED EQUAL' IS USED IN THE CONSTRUCTION DOCUMENTS, IT SHALL BE UNDERSTOOD THAT THE REFERENCE IS MADE TO THE RULING AND JUDGMENT OF AND PROPOSED SUBSTITUTE SHALL BE SUBMITTED TO THE DESIGN PROFESSIONAL FOR REVIEW AND WRITTEN APPROVAL.
07. THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATIONS OF ALL DRAIN PIPES, DOORWAYS AND VENTILATION OPENINGS SO AS TO NOT INTERFERE WITH THE LOCATIONS OF THE DESIGN PROFESSIONALURAL FINISH ITEMS INDICATED ON THE DRAWINGS. NOTIFY THE DESIGN PROFESSIONAL IMMEDIATELY OF ANY CONFLICTS.
08. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY LOCATIONS OF STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING ELEMENTS, OR OTHER CONDITIONS EXISTING, PRIOR TO DRILLING OR CUTTING OF SLABS OR STRUCTURAL MEMBER. NOTIFY THE DESIGN PROFESSIONAL IMMEDIATELY OF ANY CONFLICTS.
09. THE DESIGN PROFESSIONAL SHALL NOT BE OBLIGATED TO ACT AS AN ARBITRATOR BETWEEN THE CONTRACTOR AND HIS SUBCONTRACTORS, OR BETWEEN SUBCONTRACTORS, DUE TO REAL OR ALLEGED ERROR IN THE ARRANGEMENT OF THE CONTENTS OF THE CONTRACT DOCUMENTS.
10. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND OWNER TO OBTAIN ALL REQUIRED PERMITS FOR CONSTRUCTION WITHIN THE GOVERNING JURISDICTION.
11. THE CHARACTER AND SCOPE OF THE WORK ARE ILLUSTRATED BY THE DRAWINGS LISTED. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND/OR REQUESTING ANY ADDITIONAL DETAIL DRAWINGS REQUIRED TO INTERPRET AND CONSTRUCTION DOCUMENTS AND OTHER INFORMATION DEEMED NECESSARY TO PERFORM WORK. IT SHALL BE UNDERSTOOD THAT THIS ADDITIONAL DATA SHALL BE CONSIDERED AS FORMING A PART OF THESE NOTES AS THEY RELATE.
12. THE USE OF THE WORDS 'SUPPLIED BY' OR 'PROVIDED', IN CONNECTION WITH ANY ITEM SPECIFIED IT IS INTENDED TO MEAN THAT SUCH ITEM SHALL BE FURNISHED TO THE CONTRACTOR AND INSTALLED BY THE CONTRACTOR (UNLESS OTHERWISE NOTED). CONTRACTOR IS TO BECOME AWARE OF SUCH ITEMS TO ENSURE PREPARATION IS PERFORMED TO CORRECTLY INSTALL AS REQUIRED. CONTRACTOR TO RECEIVE AND STORE ITEMS AS REQUIRED.
13. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY AND SAFETY OF THE CONSTRUCTION SITE. CONTRACTOR SHALL COORDINATE WITH LOCAL AUTHORITIES TO ENSURE AN ADEQUATE LEVEL OF LIFE SAFETY IS MAINTAINED AT ALL TIMES.
14. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION OF PUBLIC AREAS AND SHALL BE RESPONSIBLE FOR KEEPING THESE AREAS CLEAN AND FREE OF MATERIALS AT ALL TIMES.
15. CONTRACTOR SHALL COORDINATE WITH OWNER FOR ACCESS AND REGULATIONS REGARDING REQUIRED PERMITS, HOURS OF WORK AND ALL OTHER RELEVANT REGULATIONS.
16. PRIOR TO COMMENCEMENT OF CONSTRUCTION THE GC SHALL FILE WITH THE OWNER CURRENT INSURANCE CERTIFICATIONS IN THE AMOUNTS REQUESTED BY THE OWNER FOR WORKMAN'S COMPENSATION, GENERAL LIABILITY, BODILY INJURY & PROPERTY DAMAGE. THE GC SHALL INDEMNIFY THE OWNER & THE DESIGN PROFESSIONAL FOR AND AGAINST ALL CLAIMS, SUITS & JUDGMENTS FOR PROPERTY DAMAGE OR PERSONAL INJURY ARISING OUT OF THE WORK OF THE GC, HIS AGENTS, EMPLOYEES AND SUBCONTRACTORS. PRIOR TO THE PAYMENT OF THE FINAL INVOICE THE GC SHALL: (A) CORRECT ALL PUNCH LIST ITEMS (B) PROVIDE LIEN WAIVERS FROM ALL FIRST TIER SUBCONTRACTORS (C) PROVIDE ALL GOVERNMENTAL CERTIFICATES OF COMPLETION.
18. MECHANICAL, ELECTRICAL & PLUMBING CONTRACTORS SHALL FULLY COORDINATE ALL EQUIPMENT WITH THE OTHER TRADES. CONTRACTORS SHALL BE RESPONSIBLE FOR THE FINAL HOOKUP OF ALL EQUIPMENT INCLUDING EQUIPMENT NOT FURNISHED BY THEM, BUT REQUIRING THEIR SERVICES.
19. NO EXTRA WORK OR CHANGE SHALL BE MADE WITHOUT PRIOR WRITTEN REQUEST & APPROVAL FROM THE OWNER & DESIGN PROFESSIONAL. THE CHANGE ORDER SHALL OUTLINE ADDITIONAL COSTS, ADDITIONS TO THE SCHEDULE AND MATERIALS INVOLVED.
20. GC SHALL PROVIDE SAMPLES OF ALL FINISH MATERIALS, MILLWORK & COLORS TO THE DESIGN PROFESSIONAL FOR APPROVAL PRIOR TO INSTALLATION ON THE JOB & IN A TIMELY FASHION SO AS NOT TO DELAY THE PROGRESS OF THE WORK.
21. THE GENERAL CONTRACTOR SHALL PROVIDE ADDITIONAL STUDS, TEMPORARY BLOCKING AND FRAMING SUPPORTS IN PARTITIONS, AND IN CEILINGS FOR THE ANCHORING AND INSTALLATION OF ALL LIGHT FIXTURES OR OTHER CEILING MOUNTED INSTALLATIONS AS REQUIRED BY THE DOCUMENTS.
22. BIDDERS MUST REVIEW ALL PLANS WITH THE DESIGN PROFESSIONAL PRIOR TO BIDDING WORK. DESIGN PROFESSIONAL SHALL ASSUME NO RESPONSIBILITY WHEN BIDDER HAS NOT VIEWED THE NATURE OF THE WORK. IF DOUBT EXISTS IN THE MIND OF THE BIDDER AS THE TRUE MEANING OF ANY PART OF THE CONTRACT DOCUMENTS, HE / SHE MUST REQUEST THE INFORMATION, AND / OR CLARIFICATION, IN WRITING. DESIGN PROFESSIONAL OR ENGINEERS SHALL RESPOND TO ANY INQUIRY IN WRITING.
23. THE CONTRACTOR SHALL INCLUDE WITHIN THE BID COSTS OF ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, HOSTING, ADMINISTRATION, FIELD SUPERINTEND AND COORDINATION OF ALL SUBCONTRACTORS AND ALSO OTHER CONTRACTORS OR VENDORS RETAINED BY THE OWNER AS REQUIRED FOR THE COMPLETION OF THE WORK.
24. BID SHALL BE BASED ON WORK BEING PERFORMED DURING NORMAL WORKING HOURS.
25. THE CONTRACTOR SHALL PROTECT WORK OF OTHER TRADES SO THAT PRE-FINISH SURFACES, OR SURFACES TO BE FINISHED AT A LATER DATE ARE NOT MARKED. EACH CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJACENT WORK AND IS RESPONSIBLE FOR THE REPAIR OF SAID DAMAGE AT HIS OWN COST.
26. COMMENCEMENT OF WORK BY ONE TRADE OR SUBCONTRACTOR OVER THE EXISTING FINISHED WORK OF A PREVIOUS TRADE OR SUBCONTRACTOR SHALL CONSTITUTE ACCEPTANCE OF THAT PREVIOUS WORK BY THE NEW TRADE OR SUBCONTRACTOR.
27. DESIGN PROFESSIONALURAL DRAWINGS SHALL GOVERN OVER ENGINEERING DRAWINGS FOR LOCATIONS OF LIGHTING, ELECTRICAL, DATA AND TELEPHONE OUTLETS, AIR CONDITIONING, ETC. REFER TO ENGINEERING DRAWINGS FOR MINIMUM CODE COMPLIANCE.
29. UPON COMPLETION OF THE WORK, THE CONTRACTOR MUST SUBMIT AS-BUILT DRAWINGS FOR ALL TRADES TO THE BUILDING IN ORDER TO RECEIVE THEIR FINAL PAYMENTS. UPON COMPLETION OF WORK IT SHALL BE LEFT PROFESSIONALLY CLEANED, FREE OF DIRT, DEFECTS, STAINS, SOILING, MOISTURE. ALL CLEANING AGENTS SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS AND USED SO AS NOT TO DAMAGE THE INSTALLED MATERIAL.
30. ALL DRAWINGS AND SPECIFICATIONS ARE PART OF THE CONTRACT DOCUMENTS. THE COMPLETE SCOPE OF WORK CAN ONLY BE DETERMINED BY USING ALL OF THE CONTRACT DOCUMENTS TOGETHER. FAILURE BY THE GENERAL CONTRACTOR TO USE ALL OF THE DOCUMENTS AND TO CROSS-REFERENCE ONE ANOTHER SHALL NOT BE CAUSE FOR ADDITIONAL COSTS. COORDINATION OF THE WORK AND OF THE SUBCONTRACTORS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. SUPPLEMENTAL DETAIL DRAWINGS WILL BE FURNISHED DURING CONSTRUCTION AS PART OF THE FIELD ORDER PROCESS. THESE SK DRAWINGS SHALL CARRY THE SAME STRENGTH AS THE ORIGINAL CONTRACT DOCUMENTS. THE DRAWINGS (ELEVATIONS, FLOOR PLANS AND DESIGN DETAILS) AND SPECIFICATIONS ARE AN OUTLINE OF THE CRITERIA AND PERFORMANCE REQUIREMENTS OF THE WORK. THE REQUIREMENTS INDICATED BY THE DETAILS ARE INTENDED TO ESTABLISH BASIC DIMENSIONS, SITE LINES AND PROFILES. WITHIN THESE PARAMETERS, THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND ANY SYSTEMS, INCLUDING WHATEVER MODIFICATIONS AND ADDITIONS MAY BE REQUIRED TO MEET THE SPECIFIED REQUIREMENTS AND MAINTAIN THE VISUAL DESIGN CONCEPT OF THE ENTIRE PROJECT.
- NOTE:  
A. PLANS ARE DIMENSIONED TO FINISH, U.O.N.  
B. INTERIOR ELEVATIONS ARE DIMENSIONED TO FINISH, U.O.N.  
C. DRAWINGS ARE NOT TO BE SCALED. DRAWINGS ARE USED TO SHOW RELATIONSHIPS ONLY.  
D. FEATURES NOTED ALONG OR INDICATED IN ALIGNMENT SHALL BE FINISHED FLUSH AND SMOOTH.



Site Plan

SCALE: 1" = 10'-0"

INDEX OF DRAWINGS

SHEET NUMBER	DESCRIPTION	REVISION / SUBMITTAL SET
A-1.0	SITE PLAN / GENERAL NOTES / SITE DATA	•
A-2.0	PROPOSED FLOOR PLAN / SCHEDULES / NOTES	•
A-3.0	REFLECTED CEILING PLAN / SCHEDULES	•
A-4.0	ROOF PLAN / ATTIC VENTILATION CALCULATIONS	•
A-5.0	EXTERIOR ELEVATIONS	•
A-6.0	WINDOW AND DOOR DETAILS / WALL DETAILS	•
S-1	GENERAL STRUCTURAL NOTES / SCHEDULES	•
S-2	FOUNDATION PLAN / SECOND FLOOR FRAMING PLAN / DETAILS	•
S-3	ROOF FRAMING PLAN / DETAILS	•
P-1.0	PLUMBING PLANS / SCHEDULES	•
P-2.0	PLUMBING DETAILS / NOTES	•
M-1.0	MECHANICAL PLAN / SCHEDULES / DETAILS	•
M-2.0	MECHANICAL DETAILS / NOTES	•
E-1.0	ELECTRICAL PLANS / SCHEDULES / NOTES	•
E-2.0	ELECTRICAL PANEL SCHEDULES / RISER DIAGRAM	•

LEGAL DESCRIPTION:

LOT 22, BLOCK 24, OF CORAL GABLES BILTMORE SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 20, AT PAGE 28, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SQ. FOOTAGE DATA

EXISTING NET LOT AREA	5,000	SQ.FT.
GROUND FLOOR A/C SPACE	1,254.4	SQ.FT.
SECOND FLOOR A/C SPACE	1,026.5	SQ.FT.
TOTAL A/C SPACE	2,280.9	SQ.FT.
FRONT PORCH AREA	51.4	SQ.FT.
CARPORT AREA	293.7	SQ.FT.
REAR COVERED TERRACE AREA	150.4	SQ.FT.
SUNDECK AREA	133.9	SQ.FT.
TOTAL BUILDING AREA	2,910.3	SQ.FT.
TOTAL F.A.R. ALLOWED (48% MAX)	2,400	SQ.FT.
TOTAL F.A.R. PROPOSED	2,332.3	SQ.FT.

ZONING CALCULATIONS

NET LOT AREA	5,000	SQ.FT.
MIN. GREEN AREA (40% MIN.)	2,000	SQ.FT.
GREEN AREA PROVIDED	2,882.9	SQ.FT.
MIN. FRONT GREEN AREA (20% OF 40%)	400	SQ.FT.
FRONT GREEN AREA PROVIDED	1,241	SQ.FT.
TOTAL F.A.R. ALLOWED (48% MAX)	2,400	SQ.FT.
TOTAL F.A.R. PROPOSED	2,332.3	SQ.FT.
GROUND AREA COVERAGE ALLOWED (35%)	1,750	SQ.FT.
GROUND AREA COVERAGE PROVIDED	1,749.9	SQ.FT.

SCOPE OF WORK:

1. NEW CONSTRUCTION OF A TWO-STORY SINGLE FAMILY RESIDENCE.
2. NEW PLUMBING, MECHANICAL, AND ELECTRICAL WORK ASSOCIATED WITH NEW RESIDENCE.

CLASSIFICATION DATA

OCCUPANCY CLASSIFICATION:

THIS SPACE IS CLASSIFIED AS: RESIDENTIAL - (GROUP R)

BUILDING CLASSIFICATION:

LIGHT-COMBUSTIBLE (UN-PROTECTED)

CONSTRUCTION TYPE:

EXISTING BUILDING AND RENOVATION : TYPE III-B (UNPROTECTED COMBUSTIBLE)

CATEGORY OF REHABILITATION WORK:

SCOPE OF WORK IS CATEGORIZED AS A: NEW CONSTRUCTION

ALTERATION LEVEL:

PROPOSED SCOPE OF WORK IS CLASSIFIED AS AN:  
ALTERATION - LEVEL 2 (PER F.B.C. 403.1 EXISTING BUILDINGS.)

NEW SINGLE-FAMILY RESIDENCE FOR:

555 CATALONIA, LLC

555 CATALONIA AVENUE

CORAL GABLES, FL 33134

ALEXANDER CAMPS, A.I.A.

AR93635

ARCHITECTURE · INTERIORS · PLANNING

11601 SOUTHWEST 98TH STREET

MIAMI, FLORIDA 33176

PHONE: 305.219.6833

E-MAIL: ALOFARCH@AOL.COM

CONSULTANT:

CLIENT / PROJECT NAME:

SHEET INFORMATION:

DATE ISSUED: 02-18-2021

JOB NO.: 2021-01

DRAWN BY: G.M.

SHEET NUMBER:

A-1.0

BOA PRELIMINARY SET



- DEMOLITION GENERAL NOTES
1. GENERAL CONTRACTOR SHALL FIELD COORDINATE AND VERIFY CONDITIONS AT EXISTING STRUCTURAL COMPONENTS PRIOR TO TIME OF DEMOLITION AND AFTER.

2. GENERAL CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL UNDERGROUND UTILITIES (VERTICAL AND HORIZONTAL) BEFORE STARTING ANY DEMOLITION OR EXCAVATION.

3. COORDINATE DEMOLITION PLANS WITH PROPOSED ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING PLANS.

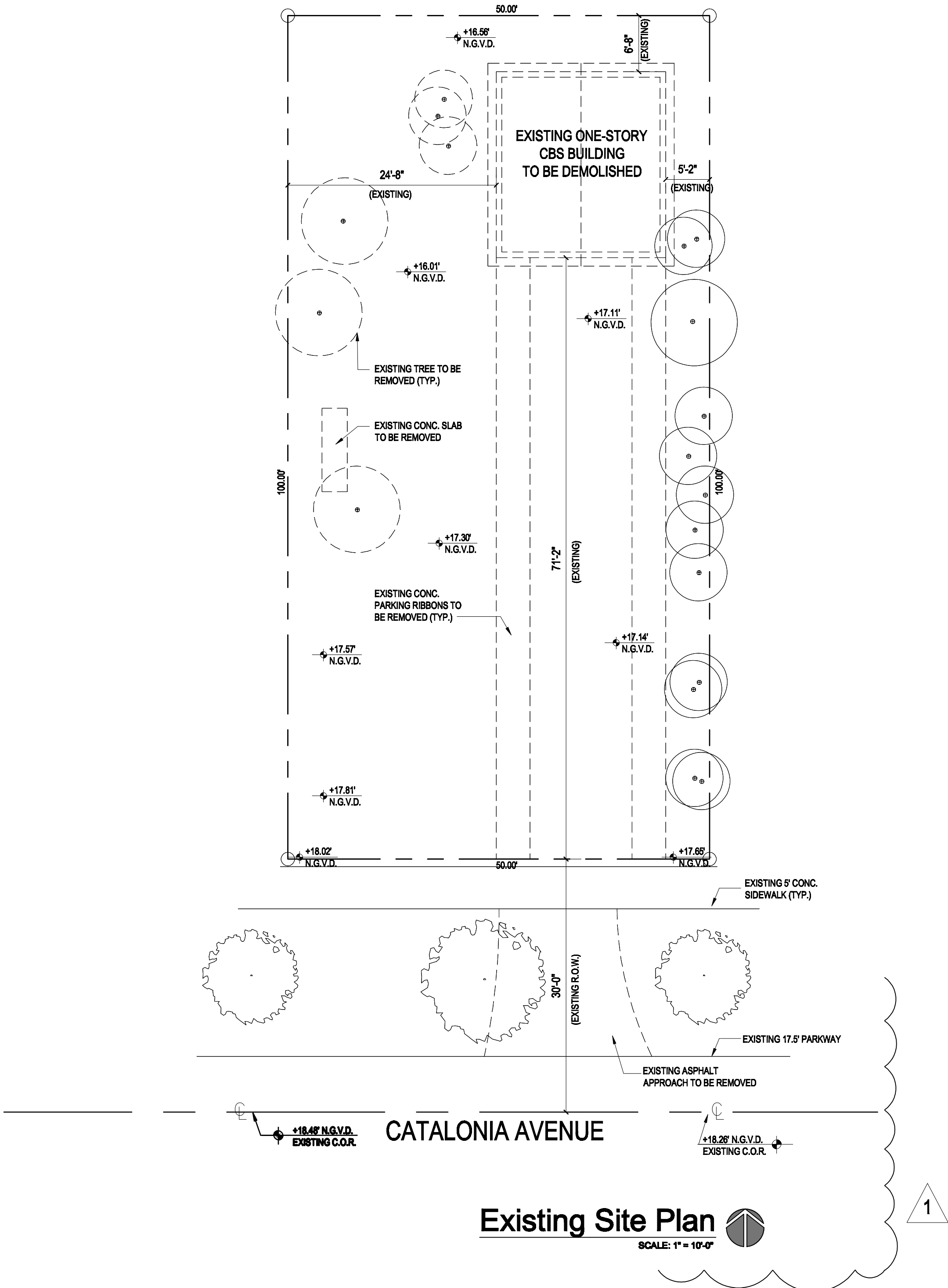
4. ALL ITEMS SHOWN IN DASHED LINES ARE TO BE REMOVED UNLESS OTHERWISE NOTED.

5. ALL ELECTRICAL LIGHTING AND RECEPTACLES THAT ARE BEING DELETED SHALL BE REMOVED BACK TO ELECTRICAL METER.

6. THE TERM 'REMOVE' SHALL BE UNDERSTOOD TO REMOVE FROM BUILDING AND DISPOSE OF SUCH ITEMS IN A TIMELY, NEATLY AND LEGAL METHOD. STORAGE OF CONSTRUCTION DEBRIS WILL NOT BE PERMITTED ON SITE.

7. ANY EXISTING CONSTRUCTION TO REMAIN SHALL BE PREPARED FOR NEW CONSTRUCTION AND NEW FINISHES AS SHOWN IN THESE CONSTRUCTION DOCUMENTS.

8. EXISTING BUILDING MATERIALS TO BE REMOVED MAY BE FINISHED WITH LEAD-BASED OR LEAD-CONTAINING PAINT. REMOVE AND DISPOSE WITH DEMOLITION WORK AS REQUIRED.



Existing Site Plan

BOA PRELIMINARY SET

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CONSULTANT:

CLIENT / PROJECT NAME:

NEW SINGLE-FAMILY RESIDENCE FOR:  
**555 CATALONIA, LLC**  
555 CATALONIA AVENUE  
CORAL GABLES, FL 33134

SHEET ISSUE:

1 08/20/2021 B.O.A REVISIONS

MARK DATE DESCRIPTION

PROFESSIONAL SEAL:

ARCHITECT OF RECORD:  
ALEXANDER CAMPS  
A.R. # 93635

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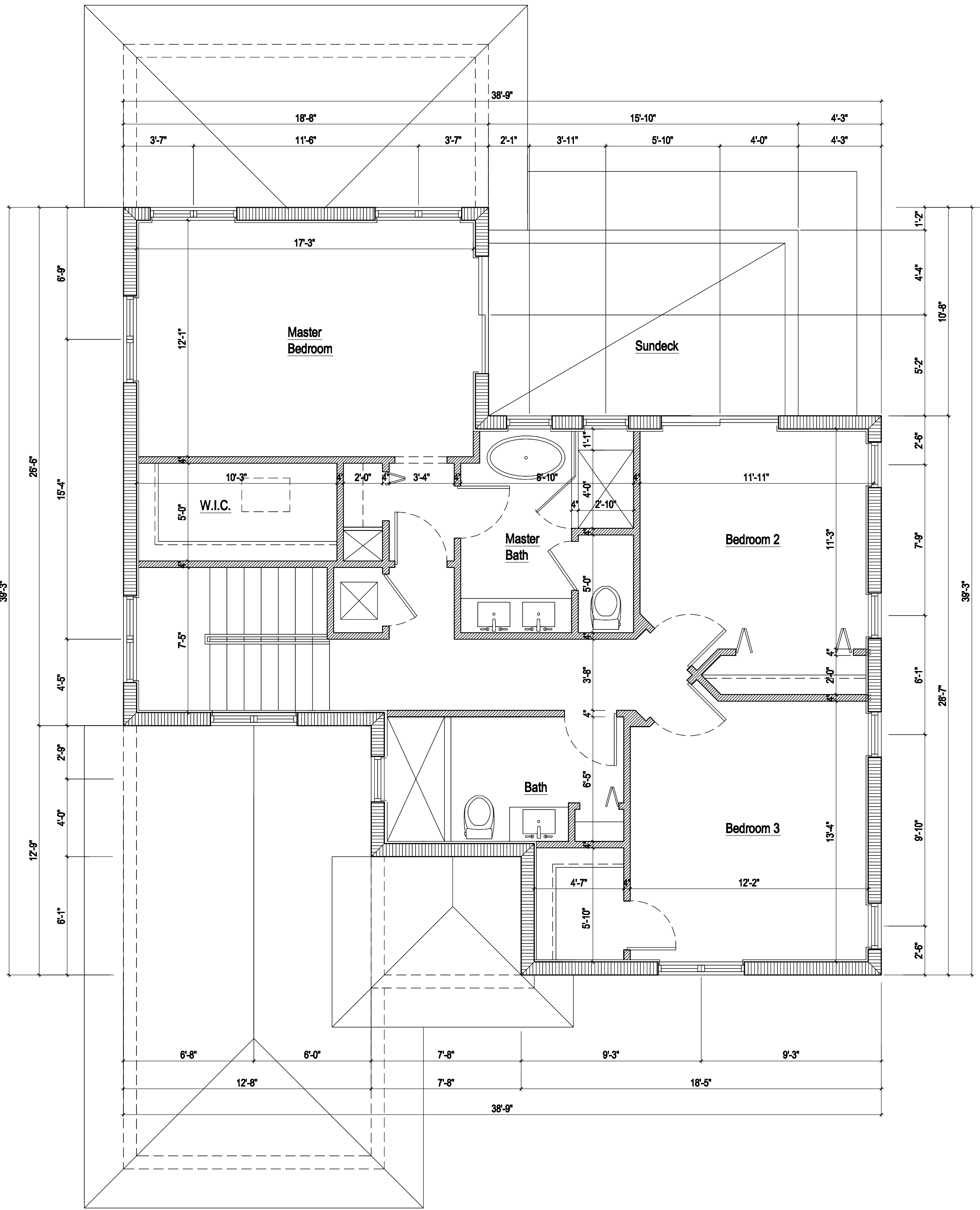
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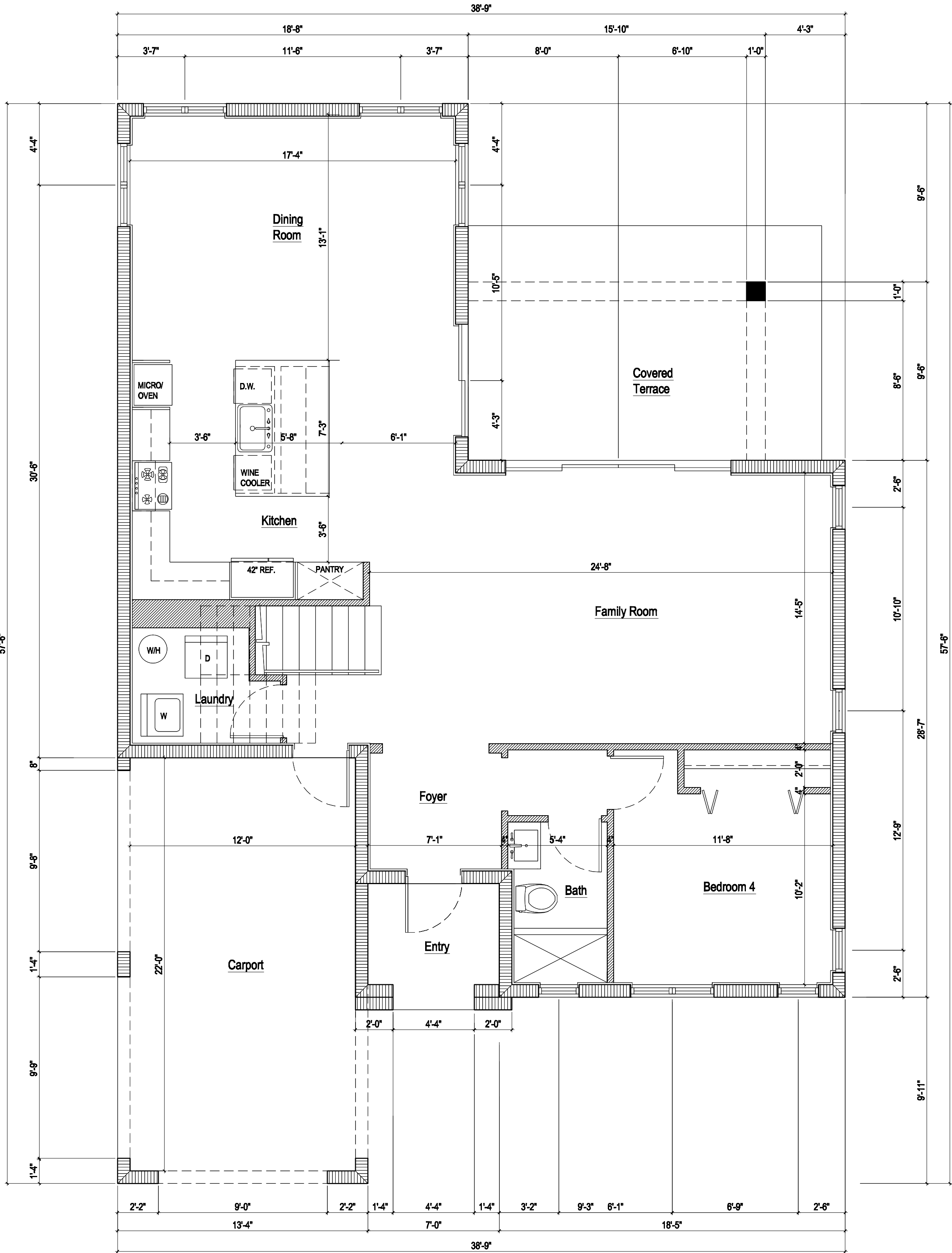
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Second Floor Plan  
SCALE: 1/4" = 1'-0"



Ground Floor Plan  
SCALE: 1/4" = 1'-0"

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CONSULTANT:

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NEW SINGLE-FAMILY RESIDENCE FOR:  
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555 CATALONIA AVENUE  
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SHEET ISSUE:

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PROFESSIONAL SEAL:

ARCHITECT OF RECORD:  
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A-2.0

BOA PRELIMINARY SET



CONSULTANT:

CLIENT / PROJECT NAME:

NEW SINGLE-FAMILY RESIDENCE FOR:  
**555 CATALONIA, LLC**  
555 CATALONIA AVENUE  
CORAL GABLES, FL 33134

SHEET ISSUE:

MARK	DATE	DESCRIPTION
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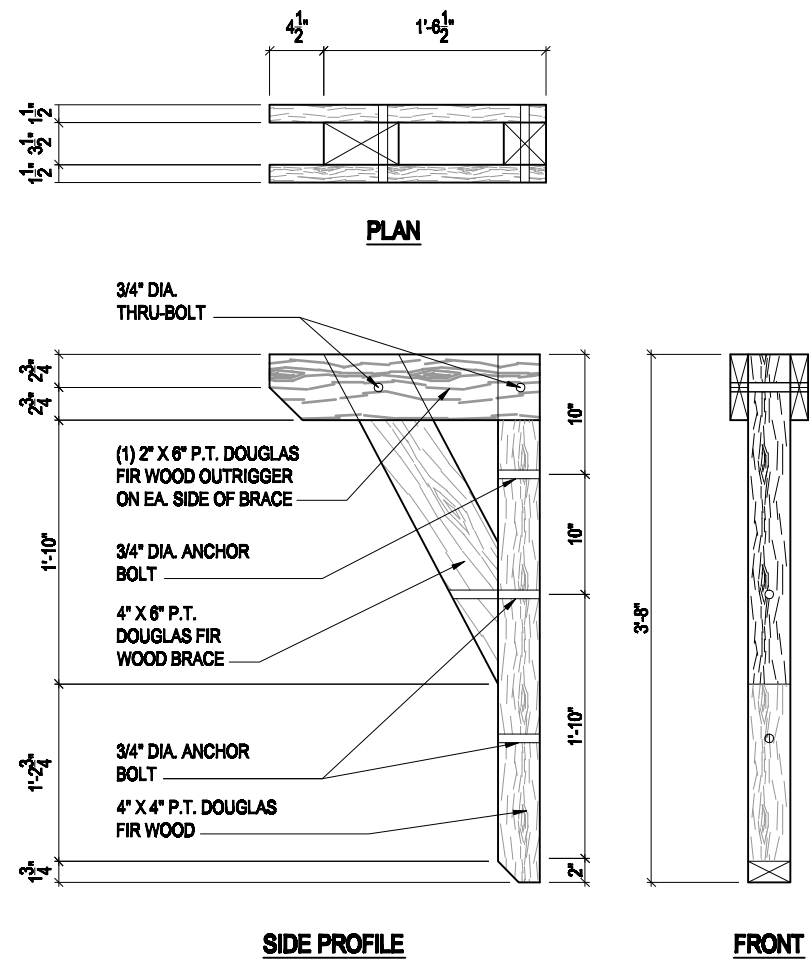
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A-5.0



(Side) East Elevation  
SCALE: 1/4" = 1'-0"



Roof Bracket Detail  
SCALE: 3/4" = 1'-0"



(Front) South Elevation  
SCALE: 1/4" = 1'-0"

BOA PRELIMINARY SET



CONSULTANT:

CLIENT / PROJECT NAME:

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555 CATALONIA AVENUE  
CORAL GABLES, FL 33134

SHEET ISSUE:

MARK	DATE	DESCRIPTION
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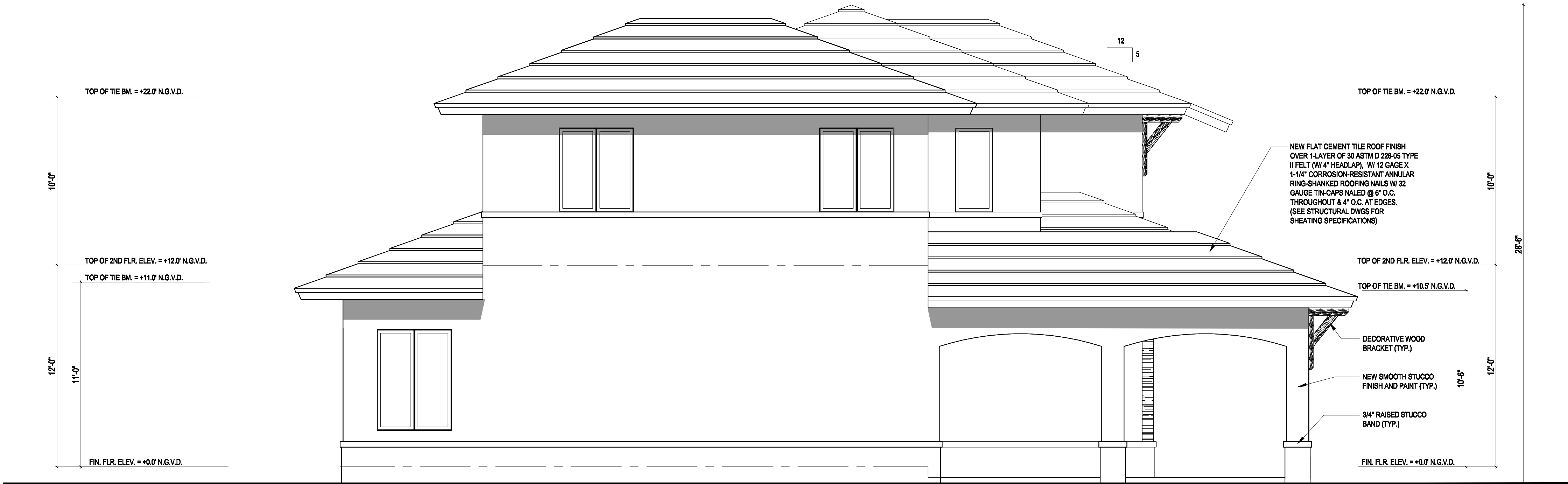
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DRAWN BY:	G.M.	



(Side) West Elevation  
SCALE: 1/4\"/>



(Rear) North Elevation  
SCALE: 1/4\"/>

BOA PRELIMINARY SET