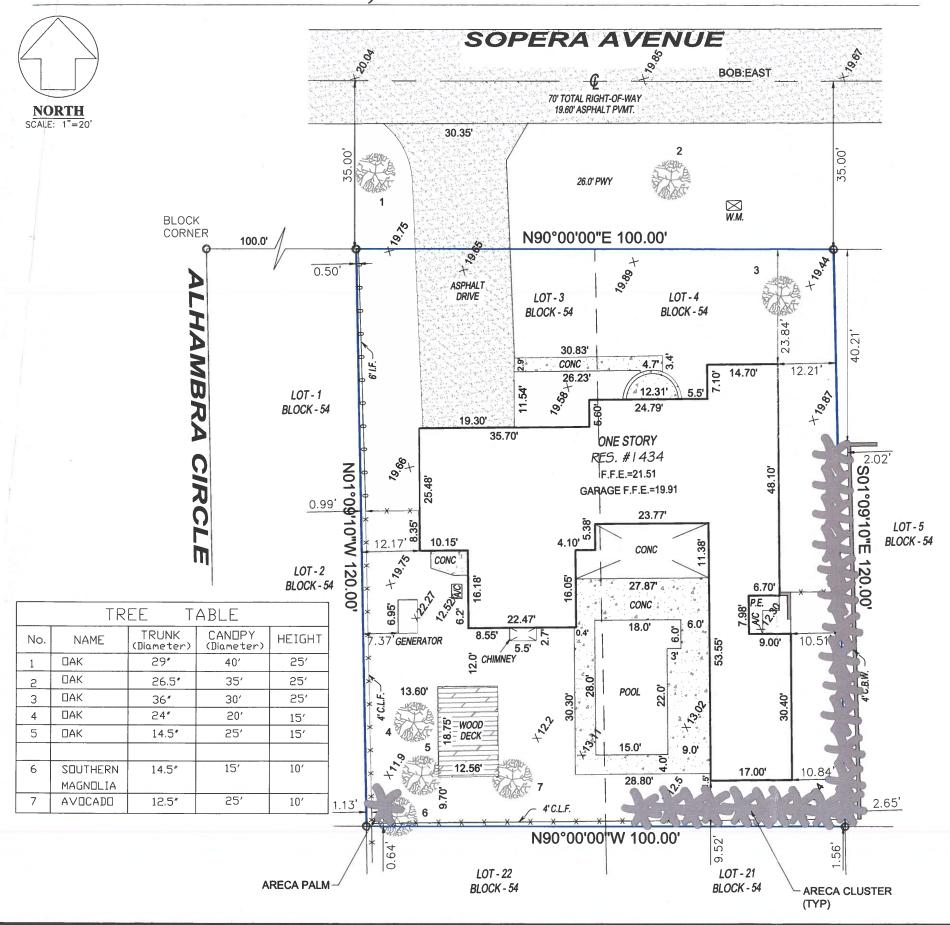




MAP OF BOUNDARY, TOPOGRAPHIC & TREE SURVEY



LEGEND

ABBREVIATIONS:

A = ARC DISTANCE AC = AIR CONDITIONER PAD BCR = BROWARD COUNTY RECORDS
BLDG = BUILDING

BM = BENCH MARK BOB = BASIS OF BEARINGS CBS = CONCRETE BLOCK & STUCCO

(C) = CALCULATED
C&G = CURB & GUTTER
CLF = CHAIN LINK FENCE COL = COLUMN

D.E. = DRAINAGE EASEMENT
D.M.E. = DRAINAGE & MAINTENANCE
EASEMENT

EASEMENT
D/W = DRIVEWAY
EB = ELECTRIC BOX
ENC. = ENCROACHMENT
EP = EDGE OF PAVEMENT
EW = EDGE OF WATER
FOH = FOUND DRILL HOLE
FF = FINISHED FLOOR ELEVATION

FIP = FOUND IRON PIPE (NO ID) FIR = FOUND IRON ROD (NO ID) FN = FOUND NAIL (NO ID)

FPL = FLORIDA POWER & LIGHT TRANSFORMER PAD L.E. = LANDSCAPE EASEMENT L.M.E. = LAKE MAINTENANCE EASEMENT

(M) = MEASURED
MDCR = MIAMI-DADE COUNTY RECORDS MH = MAN HOLE

(P) = PLAT

PB = PLAT BOOK
PC = POINT OF CURVATURE
PCP = PERMANENT CONTROL POINT

PE = POOL EQUIPMENT PAD
PG = PAGE
PI = POINT OF INTERSECTION

PI = PI ANTER

POB = POINT OF BEGINNING
POC = POINT OF COMMENCEMENT
PRC = POINT OF REVERSE CURVATURE PRM = PERMANENT REFERENCE

MONUMENT PT = POINT OF TANGENCY R = RADIUS DISTANCE (R) = RECORD

R/W = RIGHT-OF-WAY RES = RESIDENCE

SND = SET NAIL & DISK LB#8023 STL = SURVEY TIE LINE SWK = SIDEWALK

(TYP) = TYPICALUB = UTILITY BOX
U.E. = UTILITY EASEMENT W/F = WOOD FENCE

SYMBOLS:

T = TELEPHONE RISER C = CABLE TV RISER

☑ = WATER METER X 0.00 = ELEVATION

(00') = ORIGINAL LOT DISTANCE

 Δ = CENTRAL ANGLE

= CENTER LINE

= WATER VALVE

= CURB INLET

C = FIRE HYDRANT

= LIGHT POLE - = CATCH BASIN

= UTILITY POLE (D) = DRAINAGE MANHOLE

(S) = SEWER MANHOLE - = IRON FENCE

— = CHAIN LINK FENCE - = EASEMENT



SURVEYOR'S CERTIFICATE:

HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY DIRECTION AND MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA STATE BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUE

AUTHENTIC COPIES OF THIS SURVEY SHALL BEAR THE ORIGINAL SIGNATURE AND RAISED SEAL OF ATTESTING REGISTERED SURVEYOR AND MAPPER

NICOLAS DEL VENTO PROFESSIONAL SURVEYOR & MAPPER

STATE OF FLORIDA LIC. # 6945

CERTIFICATE OF AUTHORIZATION # LB-8023

Survey Pros, Inc.

5966 S. DIXIE HIGHWAY SUITE 300, MIAMI, FL. 33143 www.survey-pros.com

PROPERTY ADDRESS:

1434 SOPERA AVENUE, CORAL GABLES, FL. 33134

LEGAL DESCRIPTION:

LOTS 3 AND 4. BLOCK 54. OF CORAL GABLES COUNTRY CLUB SECTION PART FOUR. ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 57, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

FLOOD ZONE INFORMATION:

BASED ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY REVISED ON 09/11/09 AND INDEX MAP REVISED ON 09/11/09 THE GRAPHICALLY DEPICTED BUILDING(S) SHOWN ON THIS MAP OF SURVEY IS WITHIN ZONE X BASE FLOOD ELEVATION N/A COMMUNITY NAME & NUMBER CITY OF CORAL GABLES 120639 MAP & PANEL NUMBER 12086C0456 SUFFIX L

SURVEYOR'S NOTES:

. ELEVATIONS WHEN SHOWN REFER TO 1929 NATIONAL GEODETIC VERTICAL DATUM (NGVD 1929). NO ATTEMPT WAS MADE TO LOCATE FOOTINGS/FOUNDATIONS, OR UNDERGROUND

UTILITIES UNLESS OTHERWISE NOTED.

3. THE LANDS SHOWN HEREON HAVE NOT BEEN ABSTRACTED IN REGARDS TO MATTERS OF INTEREST BY OTHER PARTIES, SUCH AS EASEMENTS, RIGHTS OF WAYS, RESERVATIONS, ETC. ONLY PLATTED EASEMENTS ARE SHOWN.

4. THIS SURVEY WAS PREPARED FOR AND CERTIFIED TO THE PARTY(IES) INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE WITHOUT WRITTEN CONSENT OF

. ALL BOUNDARY LIMIT INDICATORS SET ARE STAMPED LB# 8023. 6 THE BOUNDARY LIMITS ESTABLISHED ON THIS SURVEY ARE BASED ON THE LEGAL

DESCRIPTION PROVIDED BY THE CLIENT OR ITS REPRESENTATIVE.
7. FENCE OWNERSHIP IS NOT DETERMINED.

3. ADDITIONS OR DELETIONS TO THIS SURVEY MAP AND/OR REPORT BY SOMEONE

OTHER THAN THE SIGNING PARTY(IES) IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY(IES). 9. BEARINGS WHEN SHOWN ARE TO AN ASSUMED MERIDIAN. THE CENTERLINE OF

SOPERA AVENUE HAS BEEN ASSIGNED A BEARING OF EAST.

BENCHMARK INFORMATION:

NAME: P-483-R

ELEVATION(NGVD1929): 13.31

LOCATION1: SW 40 ST---79' NORTH OF NORTH EDGE OF PAVEMENT PROJECTED WEST

LOCATION2: SW 57 AVE---2.3' WEST OF WEST EDGE OF PAVEMENT LOCATION3: GAS STATION---63.9' EAST OF SE CORNER OF BLDG DESCRIPTION: PK NAIL AND BRASS WASHER IN CONC DECK OF CATCH BASIN IN SIDEWALK

CERTIFIED TO:

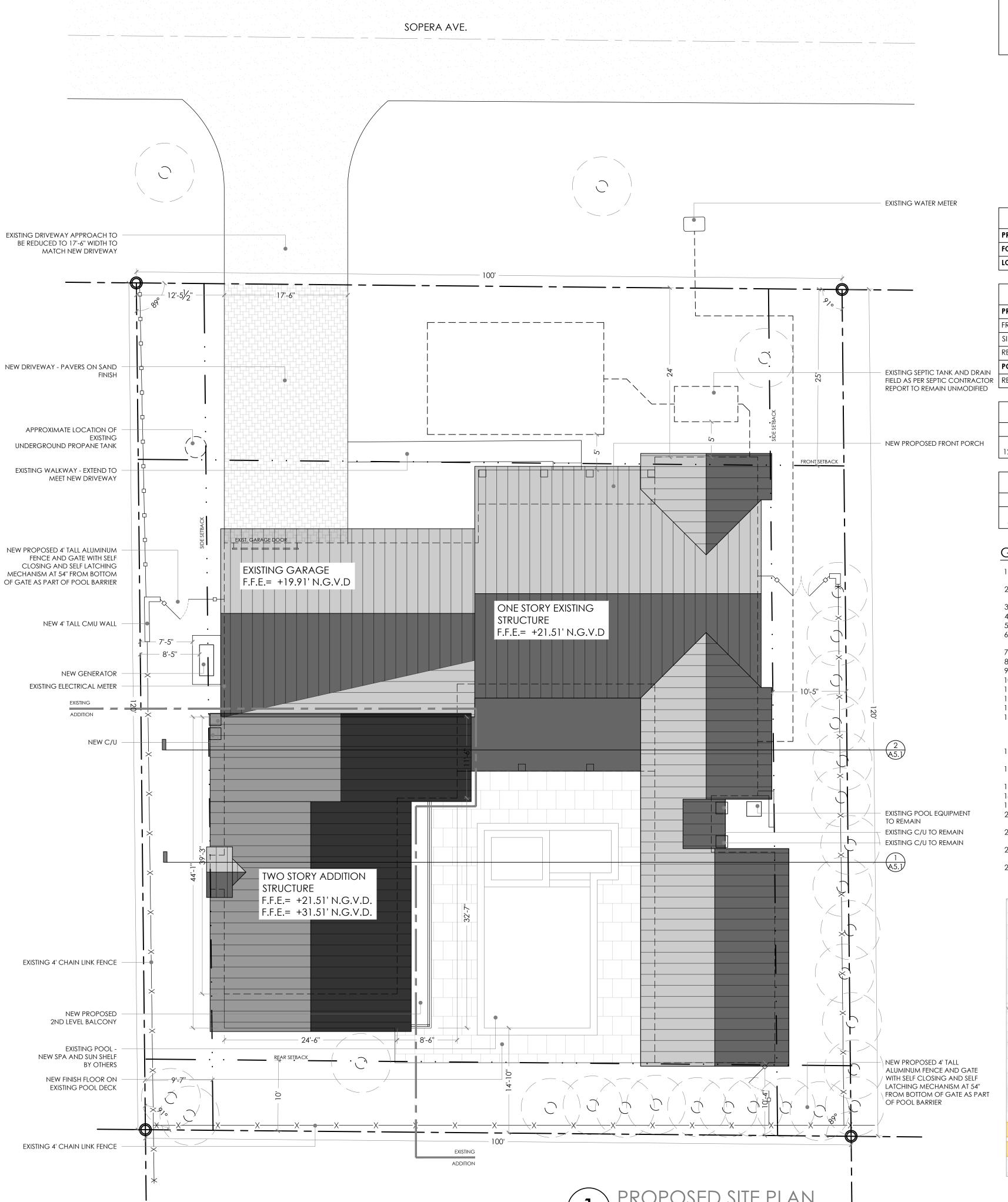
ELIZABETH STEIN

DATE OF ORIGINAL FIELD WORK: 08/05/2020

JOB#: 20075541 DRAWN BY: NICK

CAD FILE: STEIN

SHEET 1 OF 1



LEGEND
——— — - SITE BOUNDARIES
· · SETBACKS
FACE OF STRUCTURE
XXX- CHAINLINK FENCE

SCOPE AND CLASSIFICATION

- 1155 SQ FT (APPROX) TWO STORY ADDITION TO SINGLE FAMILY RESIDENCE
- LEVEL 3 ALTERATION
- NEW PRIMARY SUITE
- NEW BEDROOM 4
- NEW STUDY NEW FRONT PORCH
- EXISTING COVERED PATIO RECONFIGURATION
- EXISTING POOL RECONFIGURATION BY OTHERS

CODE REFERENCES:

- 1. FLORIDA BUILDING CODE 7TH EDITION 2020 2. MIAMI-DADE COUNTY HRS DEPARTMENT
- 3. NFPA 101 LIFE SAFETY CODE 2015 EDITION

4. FLORIDA ACCESSIBILITY CODE FOR NEW BUILDING CONSTRUCTION 7TH EDITION 2020

ZONING LEGEND				
PROPERTY ADDRESS	1434 SOPERA AVENUE, MIAMI FL, 33134	FLOOD ZONE	Х	
FOLIO NUMBER	03-4118-006-1010	ZONING DISTRICT	SFR	
LOT SIZE	12.000 SF			

	EA RATIO	FLOOR ARI	SETBACKS		
DED	PROVIDE	MAX. ALLOWED	PROVIDED	MIN.	PRINCIPLE
		48% OF 5000 SQ FT = 2400 SQ FT	24' EXISTING	25'	FRONT
۶FT د	1ST LEVEL = 3563 SQ F	35% OF 5000 SQ FT = 1750 SQ FT	10'-5" + 9'-7" = 20'	20% OF WIDTH = 20'	SIDE
۶FT د	2ND LEVEL = 1008 SQ F	30% OF 2000 = 600 SQ FT	10'-4''	10'	REAR
۶FT د	TOTAL = 4571 SQ F	TOTAL = 4750 SQ FT	PROVIDED	MIN.	POOL
			14'-10''	10'	REAR
		·			

MINIMUM LANDSCAPE		GROU	JND AREA CO	OVERAGE
REQUIRED	PROVIDED		ALLOWED	PROVIDED
40% OF LOT	43.85%	PRINCIPAL	35 % = 4200 SQ FT	34.95 % = 4195 SQ FT
12000 SQ FT x 40% = 4800 SQ FT	5071 + 191 = 5262 SQ FT	ACCESSORY ACCESSORY	10 % = 1200 SQ FT	3.65 % = 438 SQ FT
		TOTAL	45 % = 5400 SQ FT	38.61 % = 4634 SQ FT
FRONT YARD				
REQUIRED	PROVIDED			

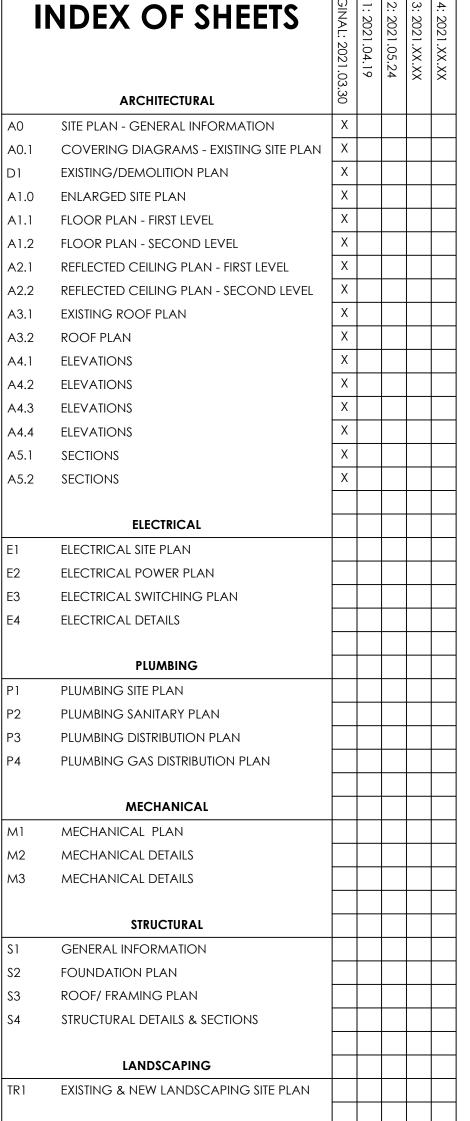
GENERAL NOTES:

20% OF 40%

- 1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS. IN THE EVENT OF CONFLICT, NOTIFY ARCHITECT BEFORE PROCEEDING.
- 2. CONTRACTOR SHALL COORDINATE WITH OWNER AND VARIOUS TRADES SO THAT PROPER OPENINGS AND CHASES SHALL BE
- 3. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED

4800 SQ FT x 20% = 960 SQ FT | 1574 + 469 + 191 = 2234 SQ FT

- 4. USE GALVANIZED NAILS ONLY FOR EXTERIOR WOOD WORK.
- 5. ALL STUCCO SCRATCH COATS SHALL BE ALLOWED 24 HOURS DRYING PERIOD
- 6. SUBSTITUTIONS OF SPECIFIED PRODUCTS AND/OR MATERIALS BY WRITTEN REQUEST TO AND SUBJECT TO APPROVAL BY OWNER/
- 7. CONTRACTOR TO PROVIDE WHITE MARBLE WINDOW SILLS FOR ALL ALTERED EXTERIOR OPENINGS
- 8. EVERY CLOSET DOOR SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET
- 9. INTERIOR FINISH OF WALLS AND CEILINGS SHALL BE CLASS A, B, OR C 10. ALL BATHROOM FLOORS TO BE OF IMPERVIOUS MATERIAL
- 11.EVERY BATHROOM DOOR SHALL BE DESIGNED TO ALLOW OPENING FROM THE OUTSIDE DURING AN EMERGENCY
- 12.NO DOUBLE CYLINDER KEY LOCKS OR KEY OPERATED CHAIN LOCKS SHALL BE INSTALLED ON THE FRONT ENTRANCE DOOR 13. ENTRY DOOR SHALL BE CONSIDERED AN EGRESS DOOR AND IMPACT TESTS SHALL BE PROVIDED 14. EVERY SLEEPING ROOM OF GROUP OR OCCUPANCY R SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR
- APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS OR KEYS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NO MORE THAN 44 INCHES FROM FINISH FLOOR
- 15. THE MINIMUM CLEAR OPENING HEIGHT SHALL BE 24 INCHES. THE CLEAR MINIMUM OPENING WITH SHALL BE 20 INCHES. THE MINIMUM NET CLEAR OPENING SHALL BE IN NO CASE LESS THAN 5.7 SQUARE FEET
- 16. ALL NEW WALLS AT WET LOCATIONS SUCH AS TUBS AND SHOWERS TO BE 1/2 INCHES MINIMUM CEMENTITIOUS BOARD TO CEILING HEIGHT
- 17. ALL SHOWERS TO BE EQUIPPED WITH ANTI SCALDING FAUCETS
- 18. ALL SHOWER DOORS AND ENCLOSURES TO BE CATEGORY II GLASS
- 19.BUILDER TO COORDINATE ALL THE WORK OF ALL THE TRADES
- 20.FLAME SPREAD INDEX: WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 (PER FBC
- 21.SMOKE-DEVELOPED INDEX: WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450
- 22. ALL RECESSED LIGHTING TO BE 4" IC RATED AIR-TIGHT UNITS W/ SQUARE TRIMS PROVIDED BY CONTRACTOR UNLESS OTHERWISE
- 23. WINDOW GLAZING REQUIREMENTS: SGHC: 0.30 & U FACT.: 0.65



SOIL STATEMENT (BEARING PRESSURE):

BY VISUAL INSPECTION, I HAVE MADE A SITE VISIT TO THE RIGHT CAPTION ADDRESS AND HAVE FOUND THE SOIL TO BE UNDISTURBED ROCK AND SAND CAPABLE OF WITHSTANDING A DESIGN LOAD OF 2000 PSF. SHOULD ANY OTHER CONDITIONS BE ENCOUNTERED THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. UPON EXCAVATION OF THE FOUNDATION A LETTER WILL BE PROVIDED TO THE BUILDING OFFICIAL ATTESTING TO THE CONDITION.

TERMITE PROTECTION:

BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

PROJECT TEAM:

MIAMI FLORIDA 33134

305.495.2751

DEBOWSKY DESIGN GROUP 4384 SOUTHWEST 13TH ST

STUART DEBOWSKY AR 94898 AA 260022858

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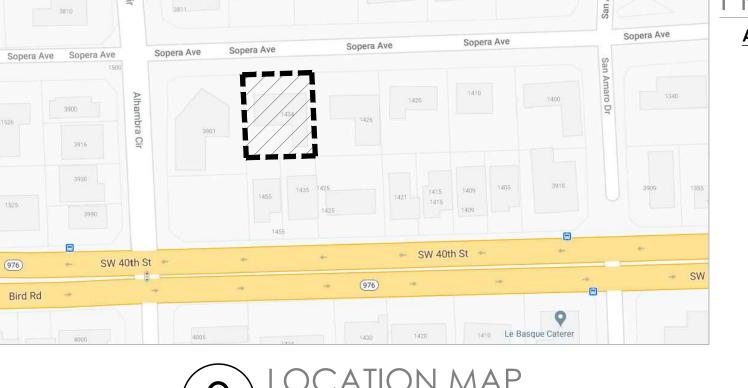
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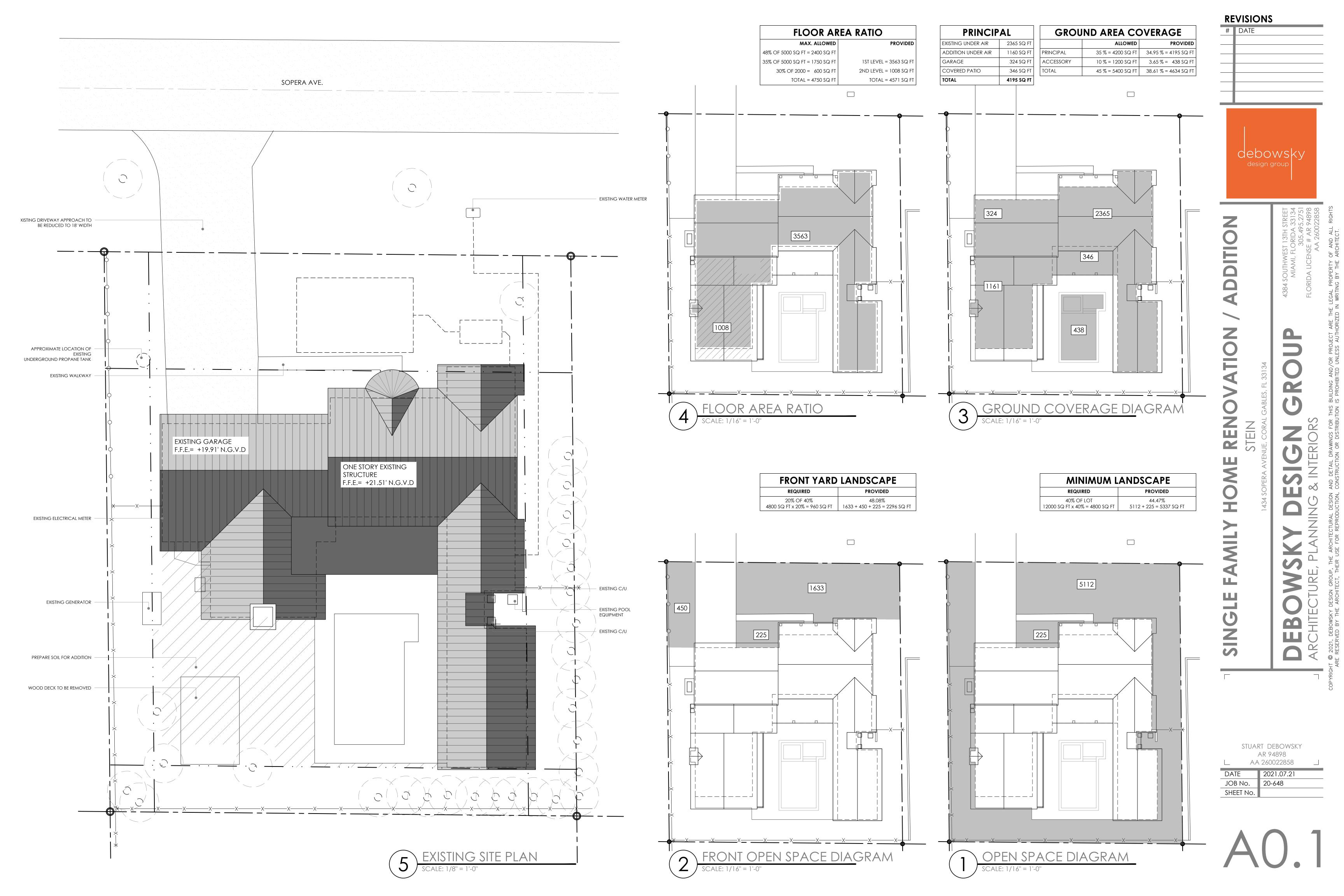
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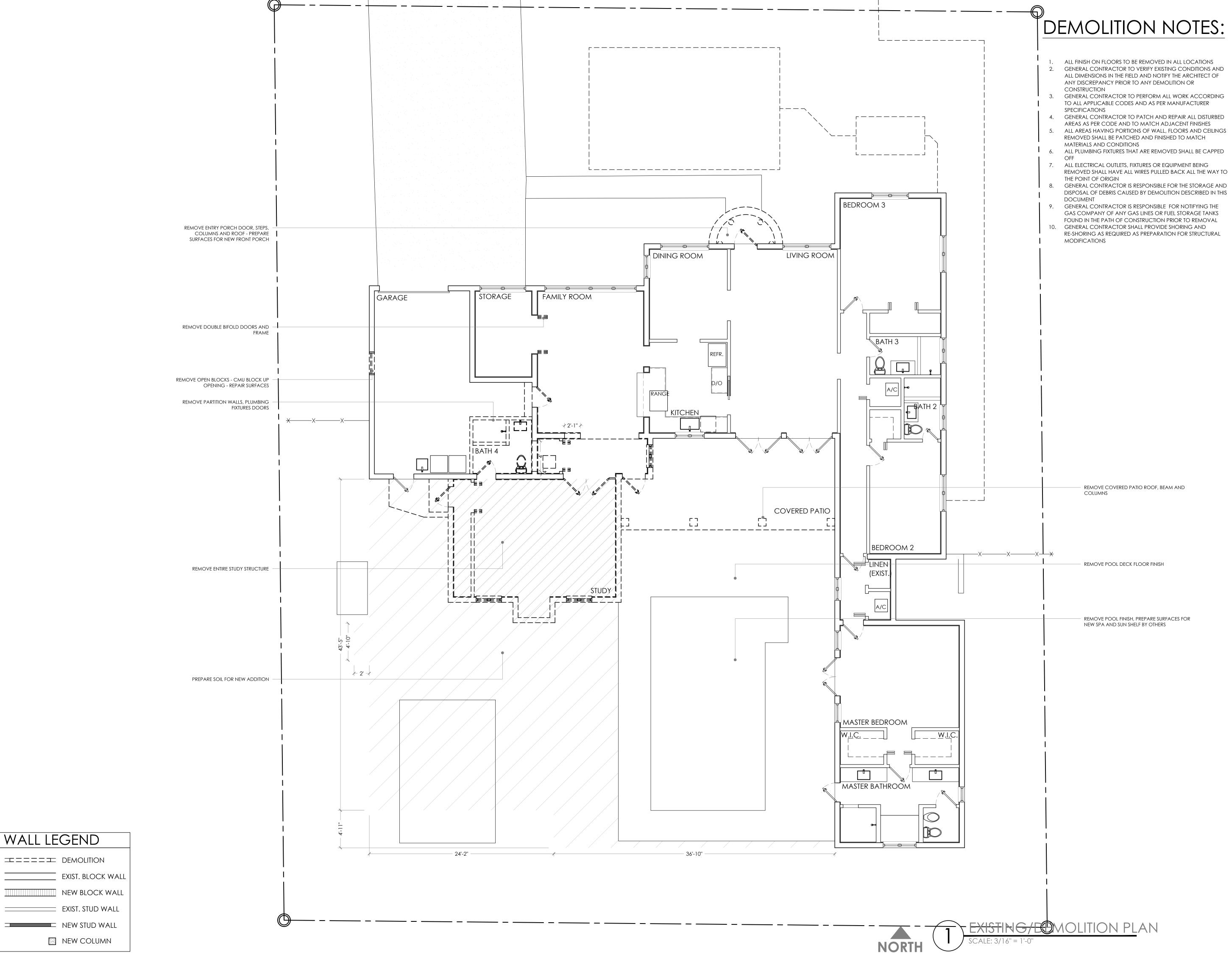
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2021.07.21 JOB No. 20-648 SHEET No.









GENERAL CONTRACTOR TO PERFORM ALL WORK ACCORDING

5. ALL AREAS HAVING PORTIONS OF WALL, FLOORS AND CEILINGS

REMOVED SHALL HAVE ALL WIRES PULLED BACK ALL THE WAY TO

GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STORAGE AND DISPOSAL OF DEBRIS CAUSED BY DEMOLITION DESCRIBED IN THIS

GENERAL CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE GAS COMPANY OF ANY GAS LINES OR FUEL STORAGE TANKS FOUND IN THE PATH OF CONSTRUCTION PRIOR TO REMOVAL

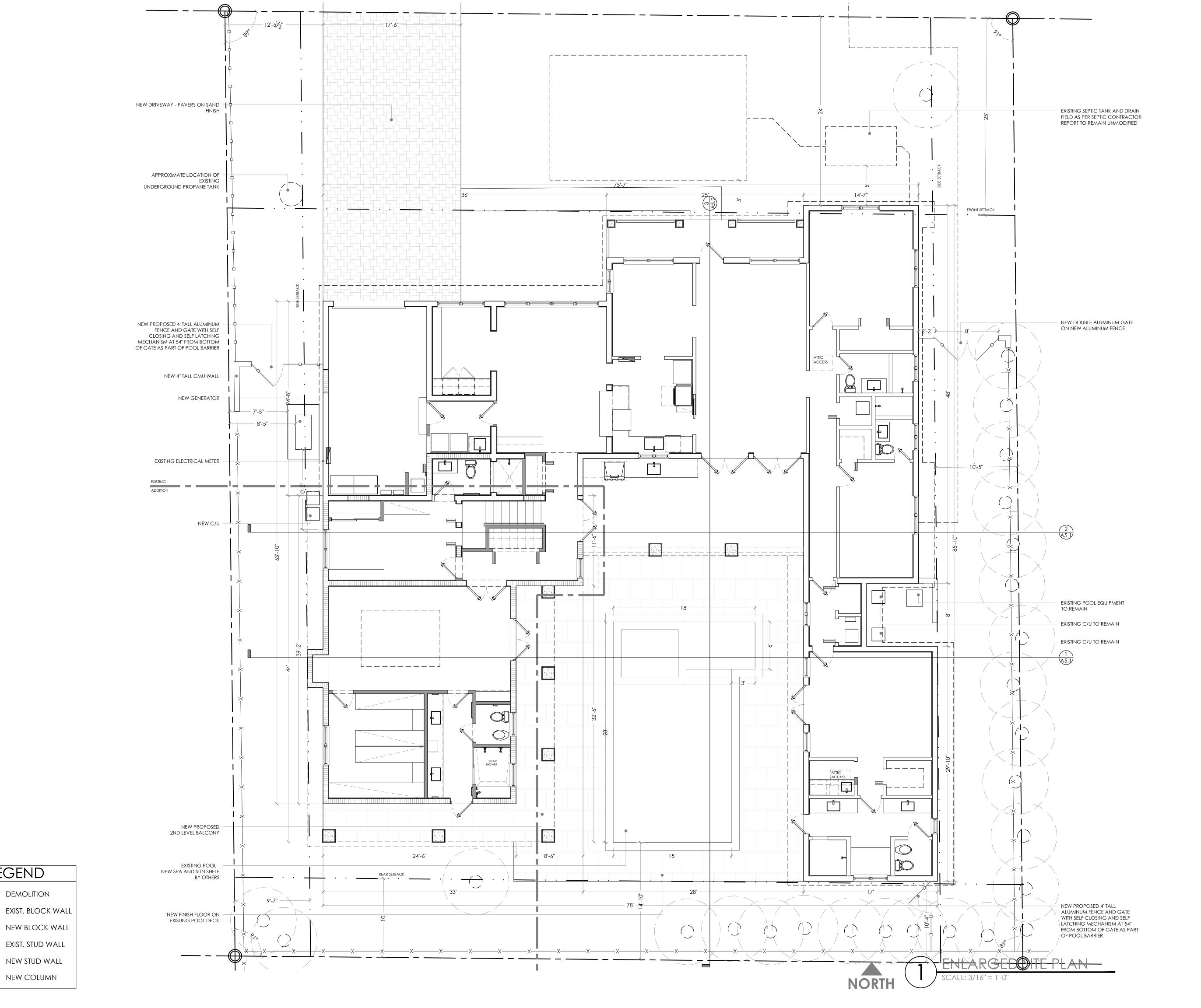
RE-SHORING AS REQUIRED AS PREPARATION FOR STRUCTURAL

STUART DEBOWSKY

AR 94898

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AA 260022858 2021.07.21 JOB No. 20-648 SHEET No.



WALL LEGEND

±===± DEMOLITION

NEW STUD WALL

EXIST. STUD WALL

NEW COLUMN

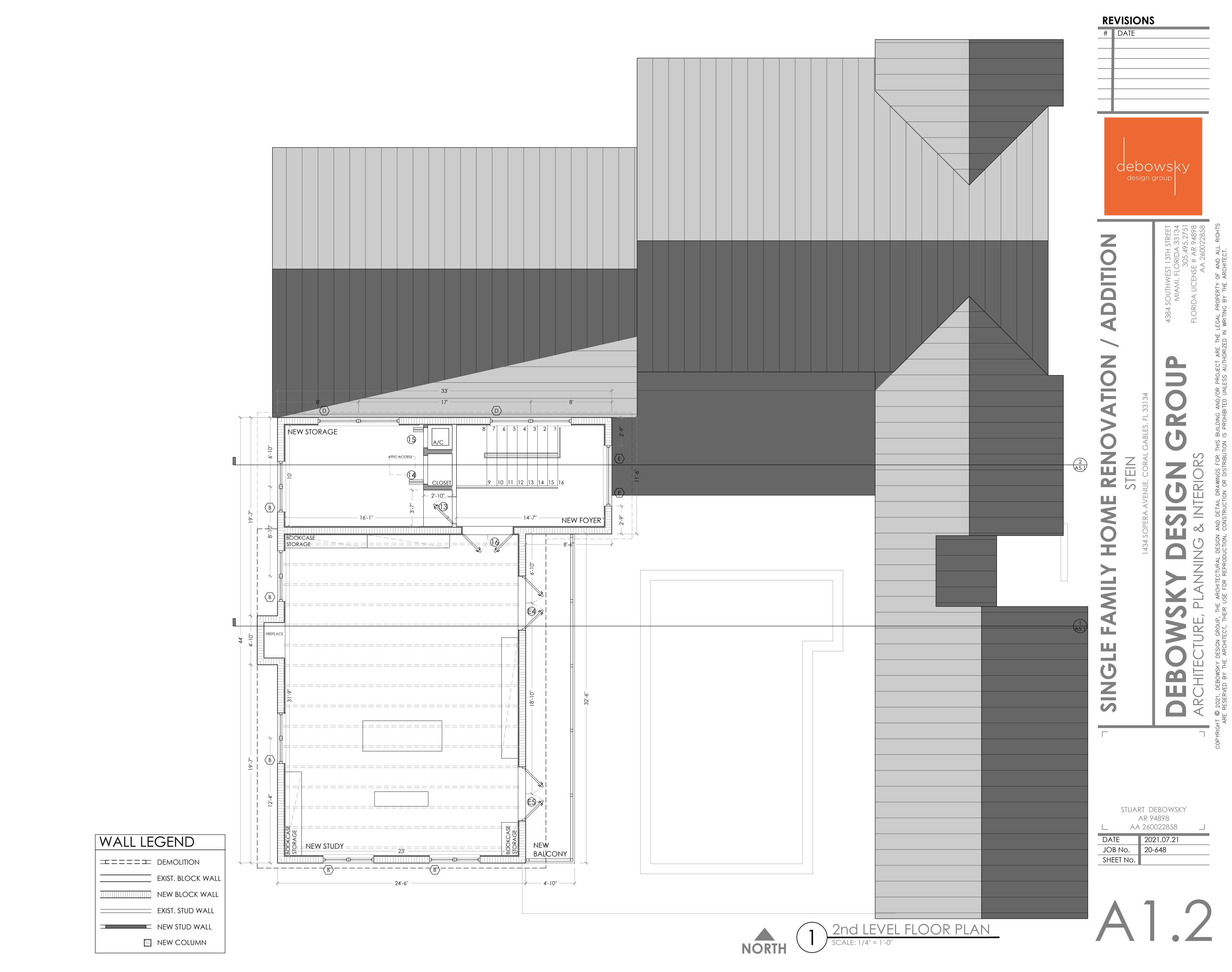
REVISIONS debowsky

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STUART DEBOWSKY AR 94898

AA 260022858 2021.07.21 JOB No. 20-648 SHEET No.

REVISIONS INTERIOR DOOR SCHEDULE DOOR MATERIAL DOOR TYPE HARDWARE STYLE **NOTES** (EXISTING) WOOD PRIVACY 2'-8" 6'-8" NEW FRONT PORCH WOOD PANEL PRIVACY 2'-8" 6'-8" WOOD PASSAGE A/C INTAKE 2'-2" 6'-8" 6'-8" WOOD DBL BIFOLD PASSAGE 4'-0'' 6'-0'' 5'-0'' WOOD DBL BIFOLD PASSAGE WOOD PANEL PRIVACY 2'-8'' 6'-8'' LIVING ROOM DINING ROOM WOOD PRIVACY PANEL 6'-8" 2'-8'' (EXISTING) (EXISTING) 6'-8" WOOD DBL SLIDING PASSAGE 6'-0'' PRIVACY WOOD DBL PANEL 5'-0'' 6'-8" WOOD PRIVACY 2'-8'' 6'-8" PANEL debowsky WOOD PANEL PRIVACY 2'-4" 6'-8" 2'-8" 6'-8" WOOD PASSAGE FAMILY ROOM GARAGE 2'-8" 6'-8" WOOD PANEL PRIVACY WINE ROOM (EXISTING) PASSAGE 2'-10'' 6'-8" WOOD 2'-0'' 6'-8" WOOD BIFOLD PASSAGE WOOD PRIVACY WOOD FINISH DBL PANEL 5'-0'' 6'-8" WOOD BIFOLD PASSAGE 3'-6" 2'-4" HATCHED AREA 2'-4" 3'-6'' WOOD **BIFOLD** PASSAGE SCOPE OF WORK: BATH 3 (EXISTING) WOOD POCKET PASSAGE REPLACE EXISTING DOOR 2'-6" 6'-8" ONLY DOOR **REPLACEMENTS** WOOD PRIVACY REPLACE EXISTING DOOR 2'-6" 6'-8" REPLACE EXISTING DOOR 4'-0'' 6'-8" WOOD DBL BIFOLD PASSAGE 2'-4'' 6'-8'' WOOD PANEL PRIVACY REPLACE EXISTING DOOR WINE WINE WOOD PASSAGE 2'-0'' BIFOLD REPLACE EXISTING DOOR - A/C INTAKE 6'-8'' WOOD PRIVACY PANEL REPLACE EXISTING DOOR 2'-8" 6'-8" NEW LAUNDRY 2'-0" 6'-8" WOOD BIFOLD PASSAGE REPLACE EXISTING DOOR 2'-8'' 6'-8" WOOD PANEL PRIVACY REPLACE EXISTING DOOR REPLACE EXISTING DOOR WOOD PASSAGE 3'-0'' 6'-8" BIFOLD KITCHEN (EXISTING) 6'-8" WOOD BIFOLD PASSAGE REPLACE EXISTING DOOR - A/C INTAKE 3'-0" 2'-8" 6'-8" WOOD PRIVACY REPLACE EXISTING DOOR 2'-0'' 6'-8" WOOD PASSAGE REPLACE EXISTING DOOR 2'-8" 6'-8'' WOOD PANEL PRIVACY REPLACE EXISTING DOOR 2'-8'' WOOD PANEL PRIVACY REPLACE EXISTING DOOR 6'-8'' ALL INTERIOR DOORS TO BE SOLID CORE 2 PANEL. PRIMED AND PAINTED WHITE UNLESS OTHERWISE SPECIFIED 三 EXIST. NEW GAS GAS W/H W/H REF. EXTERIOR DOOR SCHEDULE BOOKCASE STORAGE HEIGHT DOOR MATERIAL NOTES WIDTH 1 LITE - 5' DOUBLE DOOR NEW LIBRARY 8 ALUM/GLASS 5'-0'' 6'-8" 1 LITE - 5' DOUBLE DOOR 5'-0'' ALUM/GLASS TBD 6'-8'' 17 2'-6" 6'-8'' ALUM/GLASS TBD NEW STORAGE NEW COVERED PATIO TBD 1 LITE - 5' DOUBLE DOOR ALUM/GLASS 5'-0'' 6'-8" TBD 1 LITE ALUM/GLASS 5'-0'' 6'-8'' TBD 1 LITE 3'-0'' 6'-8'' ALUM/GLASS BEDROOM 2 (EXISTING) SGHC: 0.30 NOTES ALL EXTERIOR GLASS TO BE IMPACT RATED CAT II SAFETY GLASS STORAGE REQUIREMENTS NEW HALLWAY U FACTOR: 0.65 WINDOW SCHEDULE LINEN NEW PRIMARY BEDROOM (EXIST.) Ī FRAME MANUFACT COLOR URER FRAME WINDOW TYPE WIDTH HEIGHT N.O.A NOTES MATERIAL 4'-0'' CASEMENT ALUMINUM WHITE TBD 2'-6" ALUMINUM | WHITE | TBD 5'-0'' 4'-0'' DOUBLE CASEMENT SUN SHELF 3'-0'' CASEMENT 3'-0'' ALUMINUM WHITE TBD BY OTHERS WHITE TBD D 8'-0" 6'-0'' DOUBLE CASEMENT ALUMINUM BY OTHERS 6'-0'' 6'-0'' ALUMINUM WHITE TBD F 5'-0'' 3'-0" CASEMENT ALUMINUM WHITE TBD GLAZING SGHC: 0.30 NOTES REQUIREMENTS U FACTOR: 0.65 ш HATCHED AREA SCOPE OF WORK: Z ONLY DOOR REPLACEMENTS S **PLAYROOM** (EXISTING) NEW KITCHENETTE NEW WALK ATTIC ACCESS STORAGE IN CLOSET PRIMARY STUART DEBOWSKY AR 94898 AA 260022858 BATHROOM 5 DATE WALL LEGEND (EXISTING) 2021.07.21 SWIMMING POOL JOB No. 20-648 NEW COVERED PATIO BY OTHERS SHEET No. EXIST. BLOCK WALL 29'-4" NEW BLOCK WALL POOL DECK EXIST. STUD WALL FLOOR PLAN NEW STUD WALL NEW COLUMN



LIGHTING LEGEND

MARK	TYPE	MANUFACTURER	NOTES	
R	recessed Can	BY CONTRACTOR	TRIM TO MATCH EXISTING	
9	WALL SCONCE	DESIGNER/ CLIENT TBD	SEE ID DOCUMENTS FOR MOUNTING HEIGHTS	
0	FAN	BY CONTRACTOR	SQUARE. MODEL TBD	
	J BOX	DESIGNER/ CLIENT TBD	CEILING MOUNTED LIGHT OR FAN - SEE ID DOCUMENTS	
	LED STRIP	BY CONTRACTOR		
NOTES	ALL LIGHTING TO BE SUPPLIED BY CONTRACTOR UNLESS NOTED - ALL CONTRACTOR SELECTIONS TO BE APPROVED BY ARCHITECT/OWNER PRIOR TO PURCHASE			
	IF UNMARKED - RECESSED CANS TO BE 4' IC RATED AIR TIGHT UNITS - ARCHITECT/OWNER TO APPROVE UNITS BEFORE PURCHASE BY CONTRACTOR			
	AREA NOT IN SCOPE TO REMAIN WITH THE EXISTING FIXTURES.			

WALL LEGEND

±===± DEMOLITION

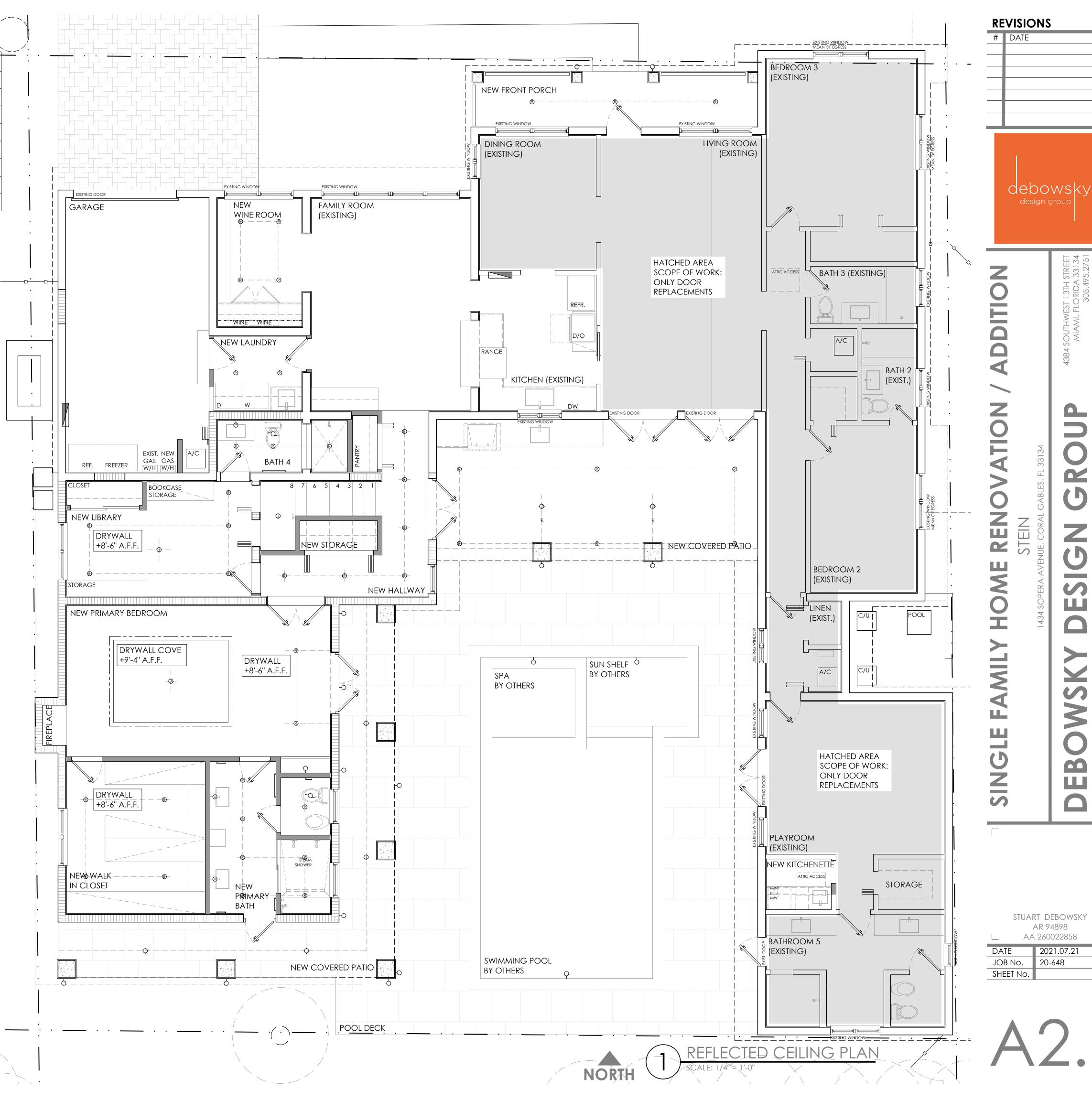
EXIST. BLOCK WALL

NEW BLOCK WALL

EXIST. STUD WALL

NEW COLUMN

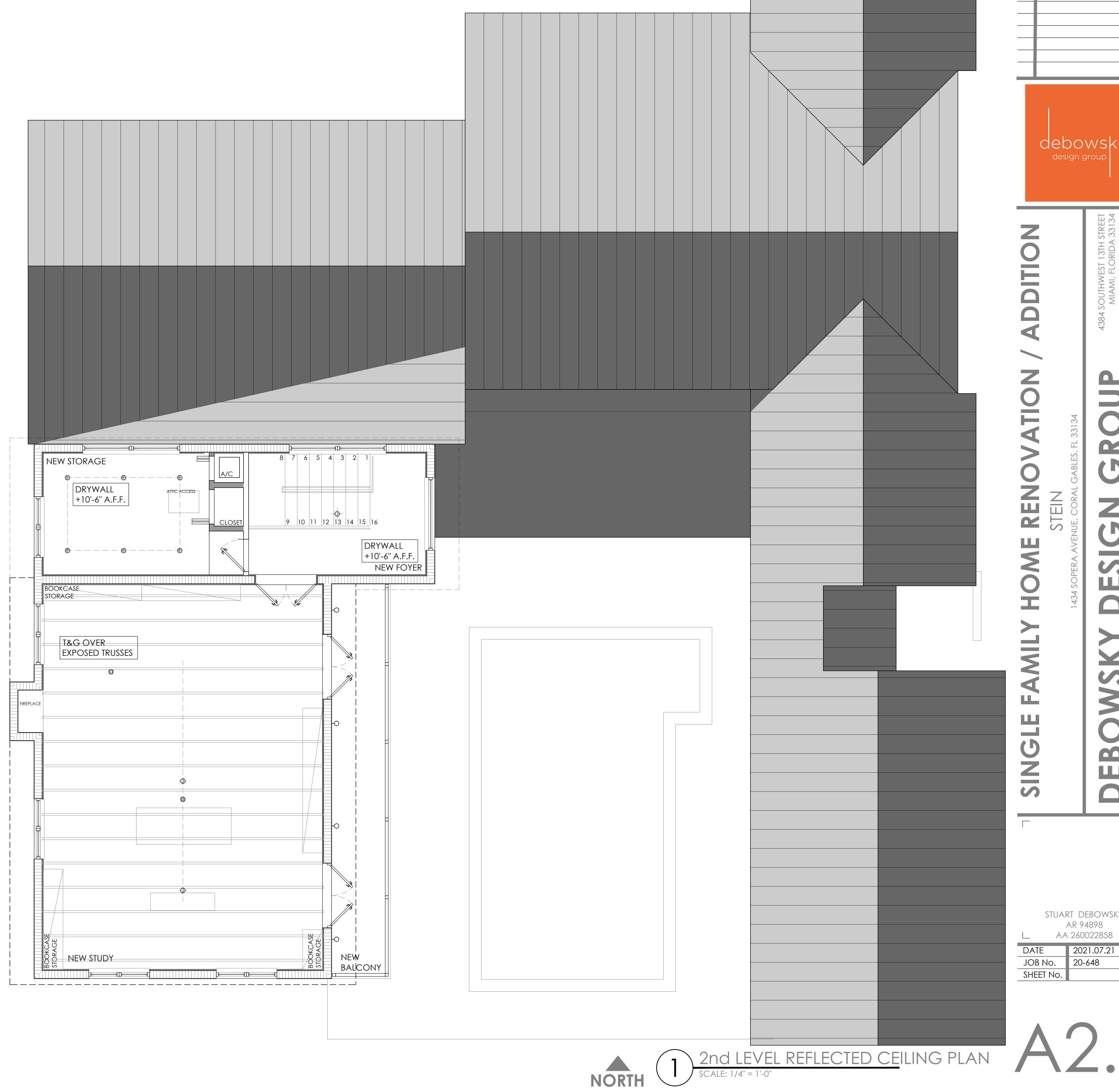
NEW STUD WALL

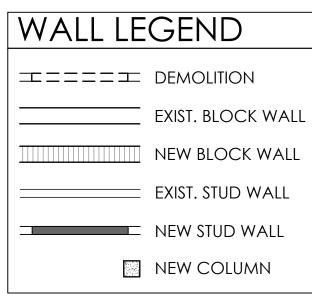


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LIGHTING LEGEND

MARK	TYPE	MANUFACTURER	NOTES	
R	recessed Can	BY CONTRACTOR	TRIM TO MATCH EXISTING	
9	WALL SCONCE	DESIGNER/ CLIENT TBD	SEE ID DOCUMENTS FOR MOUNTING HEIGHTS	
0	FAN	BY CONTRACTOR	SQUARE. MODEL TBD	
	J BOX	DESIGNER/ CLIENT TBD	CEILING MOUNTED LIGHT OR FAN - SEE ID DOCUMENTS	
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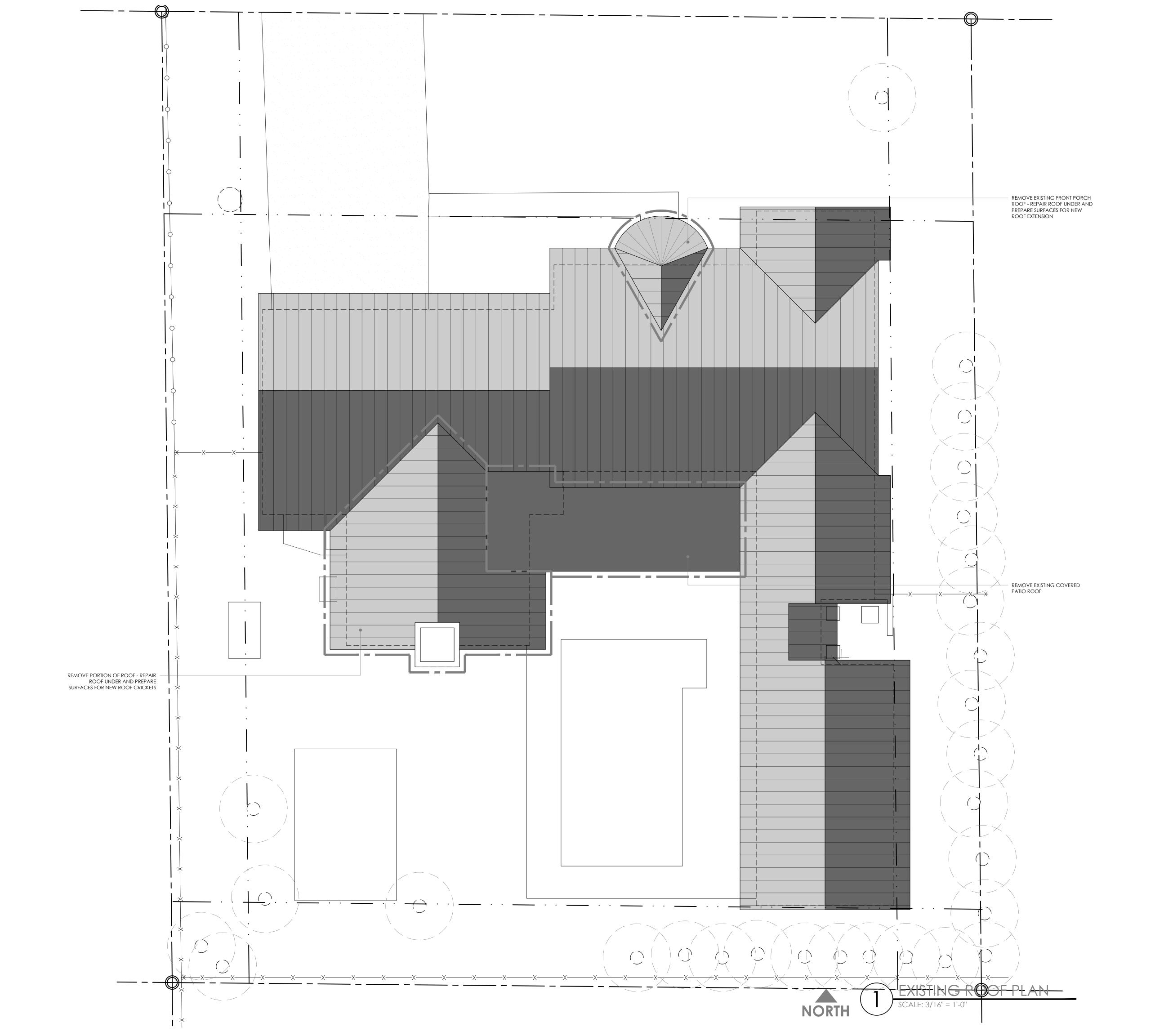


STUART DEBOWSKY AR 94898 AA 260022858

REVISIONS

debowsky

ADDITION



DATE



4384 SOUTHWEST 13TH STREET MIAMI, FLORIDA 33134

ROUP 43

ERA AVENUE, CORAL GABLES, FL

WSKY DESIGN GINTERIORS

STUART DEBOWSKY

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DATE	2021.07.21
JOB No.	20-648
SHEET No.	

A3.1



DATE

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design group

SINGLE FAMILY HOME RENOVATION / ADDIT

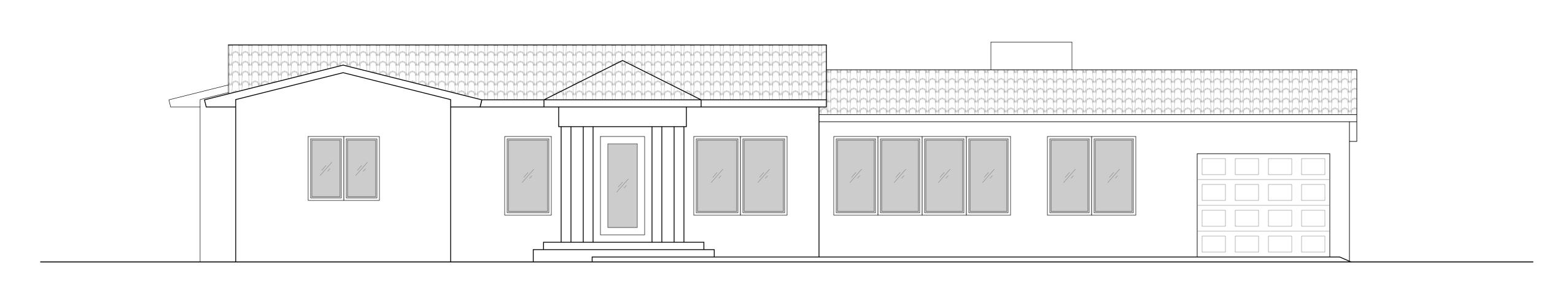
STUART DEBOWSKY AR 94898

DATE 2021.07.21

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A3.2











AMILY HOME RENOVATION / AI
STEIN
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1434 SOPERA AVENUE, CORAL GABLES, FL 33134

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STUART DEBOWSKY AR 94898

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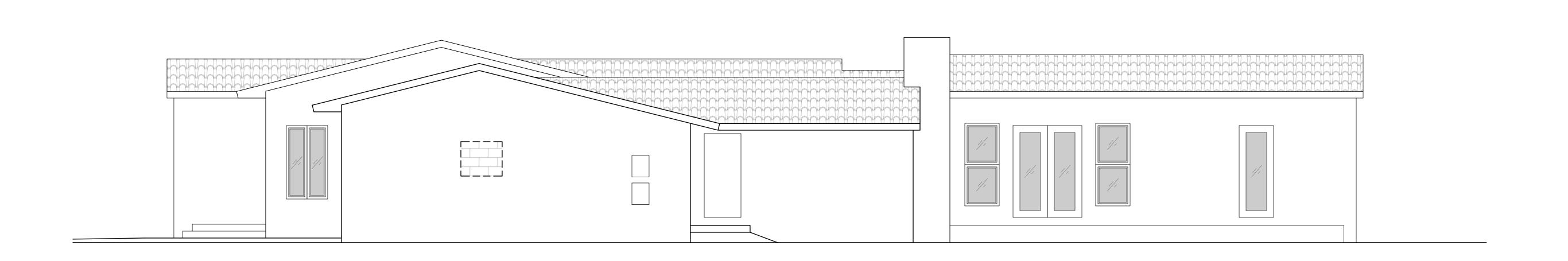
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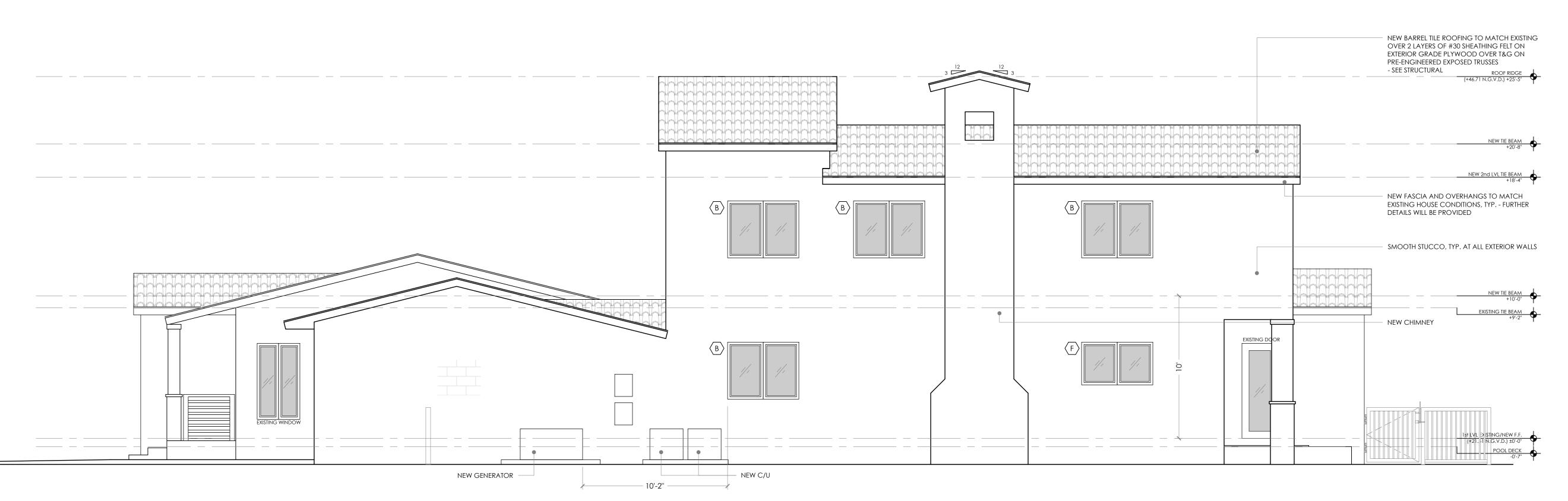
A4.





REVISIONS

debowsky



STEIN
STEIN
1434 SOPERA AVENUE, CORAL GABLES, FL 33
DEBOWSKY DESIGN GR

STUART DEBOWSKY
AR 94898
AA 260022858

DATE 2021.07.21

DATE 2021.07.21

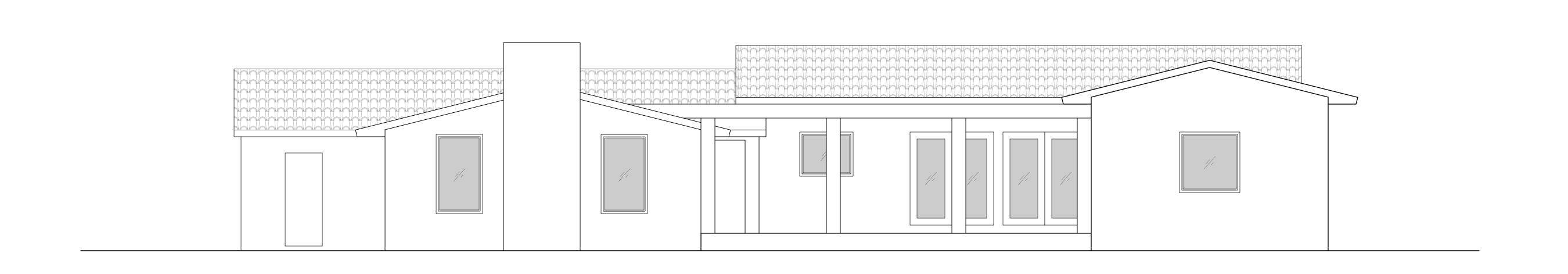
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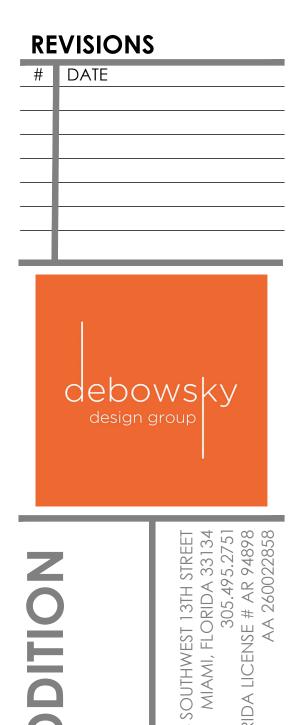
NEW WEST ELEVATION

SCALE: 1/4" = 1'-0"

A4.2







ILY HOME RENOVATION / ADD
STEIN

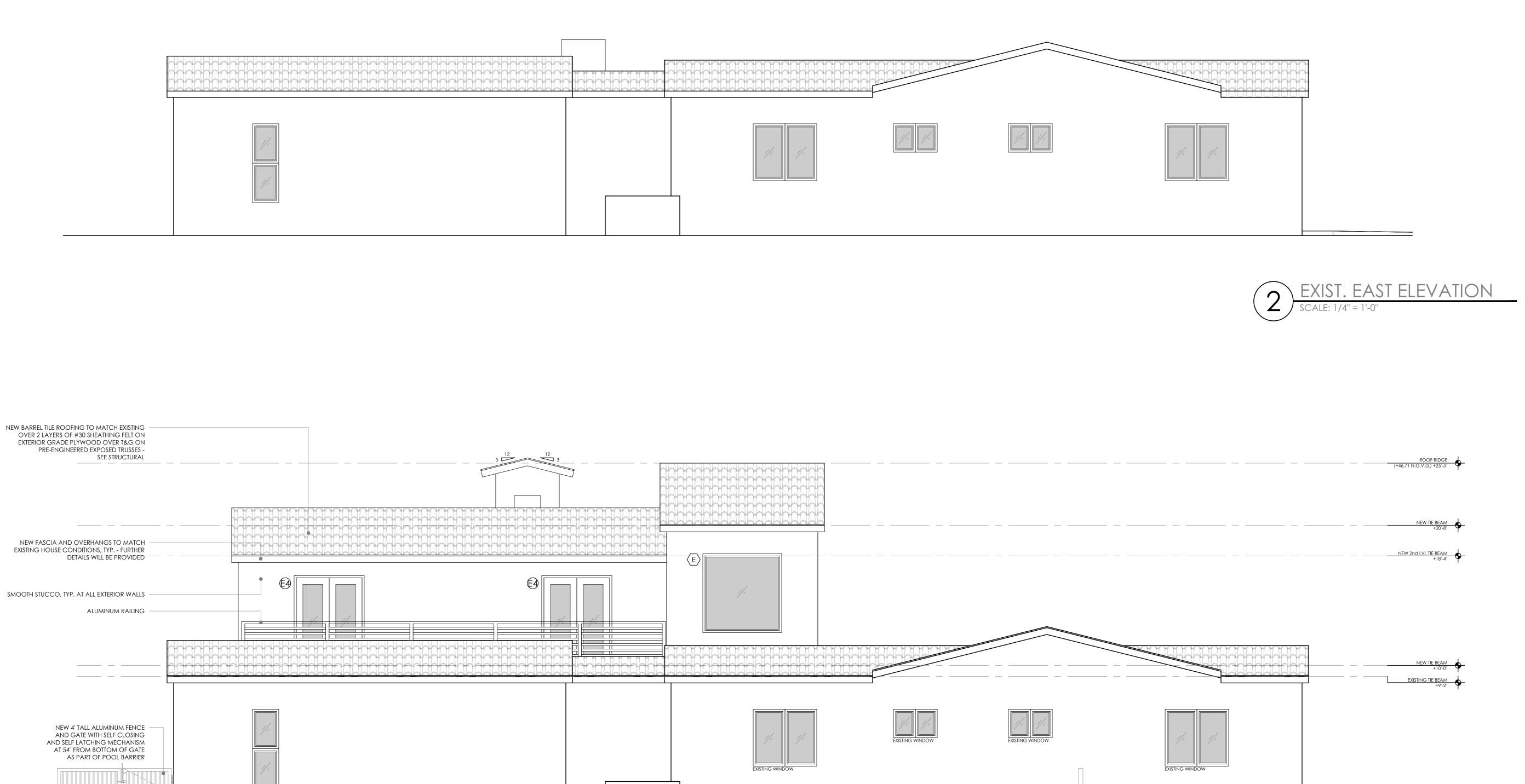
SINGLE

STUART DEBOWSKY AR 94898 AA 260022858

DATE 2021.07.21

JOB No. 20-648

SHEET No.





MILY HOME RENOVATION / ADDITION
STEIN

SINGLE

STUART DEBOWSKY AR 94898

DATE 2021.07.21

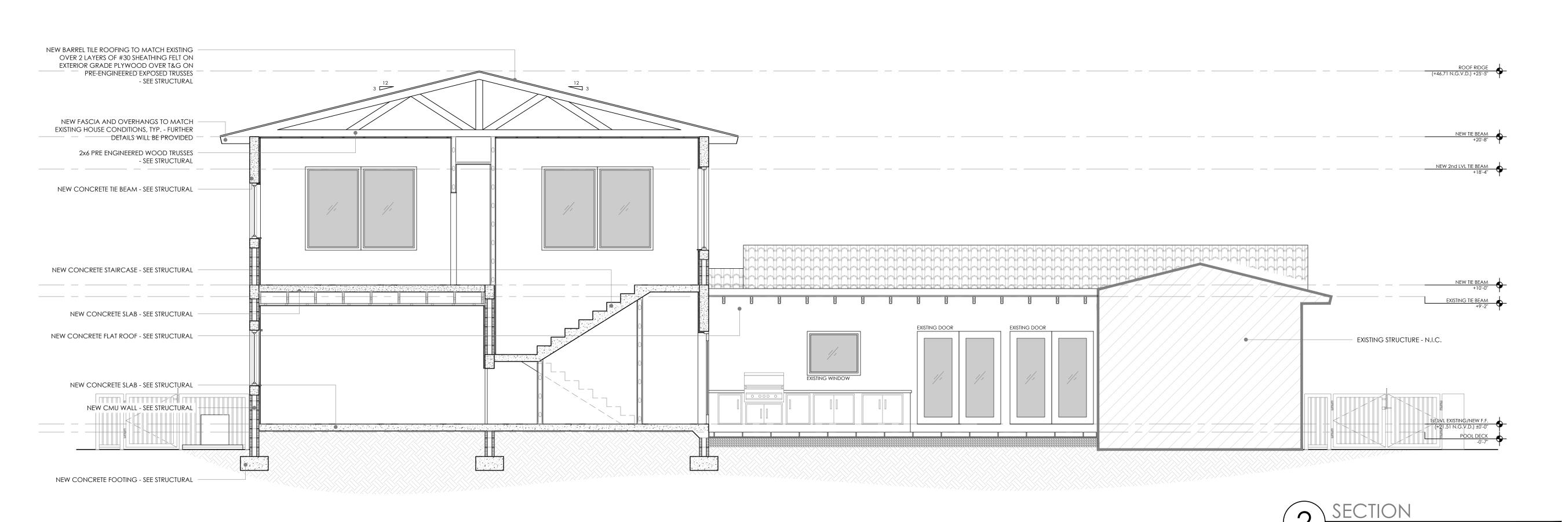
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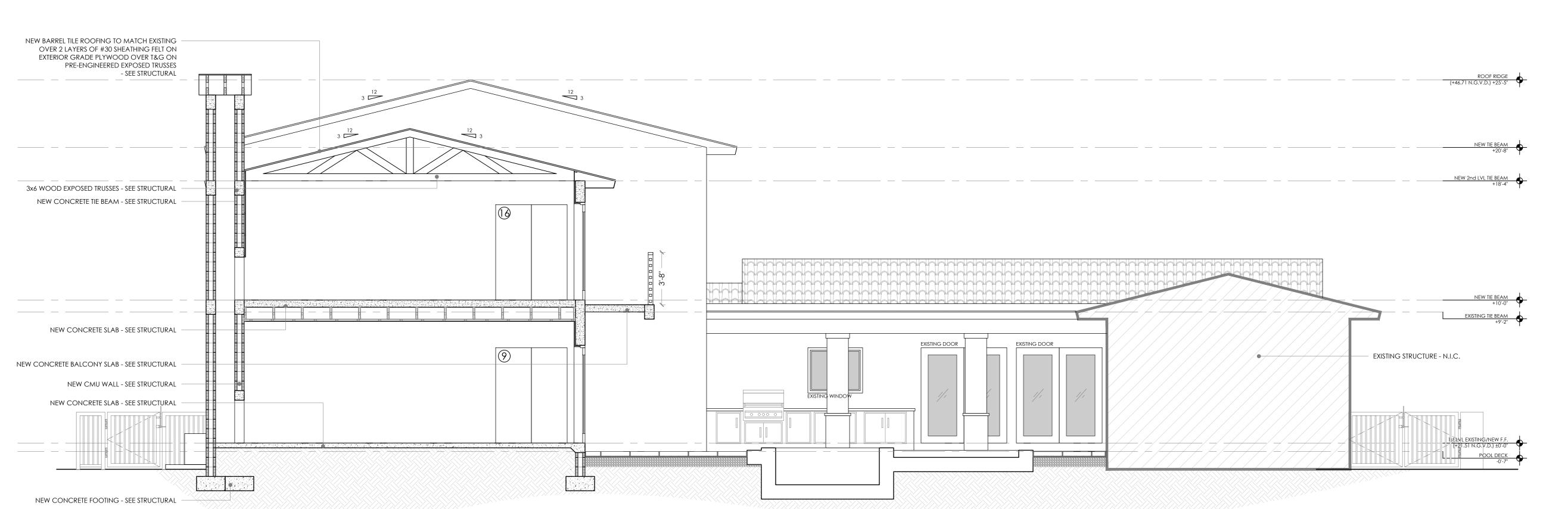
SHEET No.

NEW EAST ELEVATION

SCALE: 1/4" = 1'-0"

A4.4







RENOVATION / ADDITION
STEIN
NUE, CORAL GABLES, FL 33134

STEIN 1434 SOPERA AVENUE, CORAL G

SOWSKY DESIGN
ITECTURE, PLANNING & INTERIOR

STUART DEBOWSKY AR 94898

DATE 2021.07.21

JOB No. 20-648

SHEET No.

A5.1





MILY HOME RENOVATION / ADDITION

STEIN

STEIN

SINGLE

J434 SOPERA AVENUE

DEBOWSKY DESIGN (ARCHITECTURE, PLANNING & INTERIORS

STUART DEBOWSKY AR 94898

AR 94898 L AA 260022858		
DATE	2021.07.21	
JOB No.	20-648	
SHEET No.		

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