



ARBOR LANE RESIDENCE

5577 ARBOR LANE
CORAL GABLES FL, 33156

B.O.A. PRESENTATION



HamedRodriguez
architects



FRONT ENTRANCE



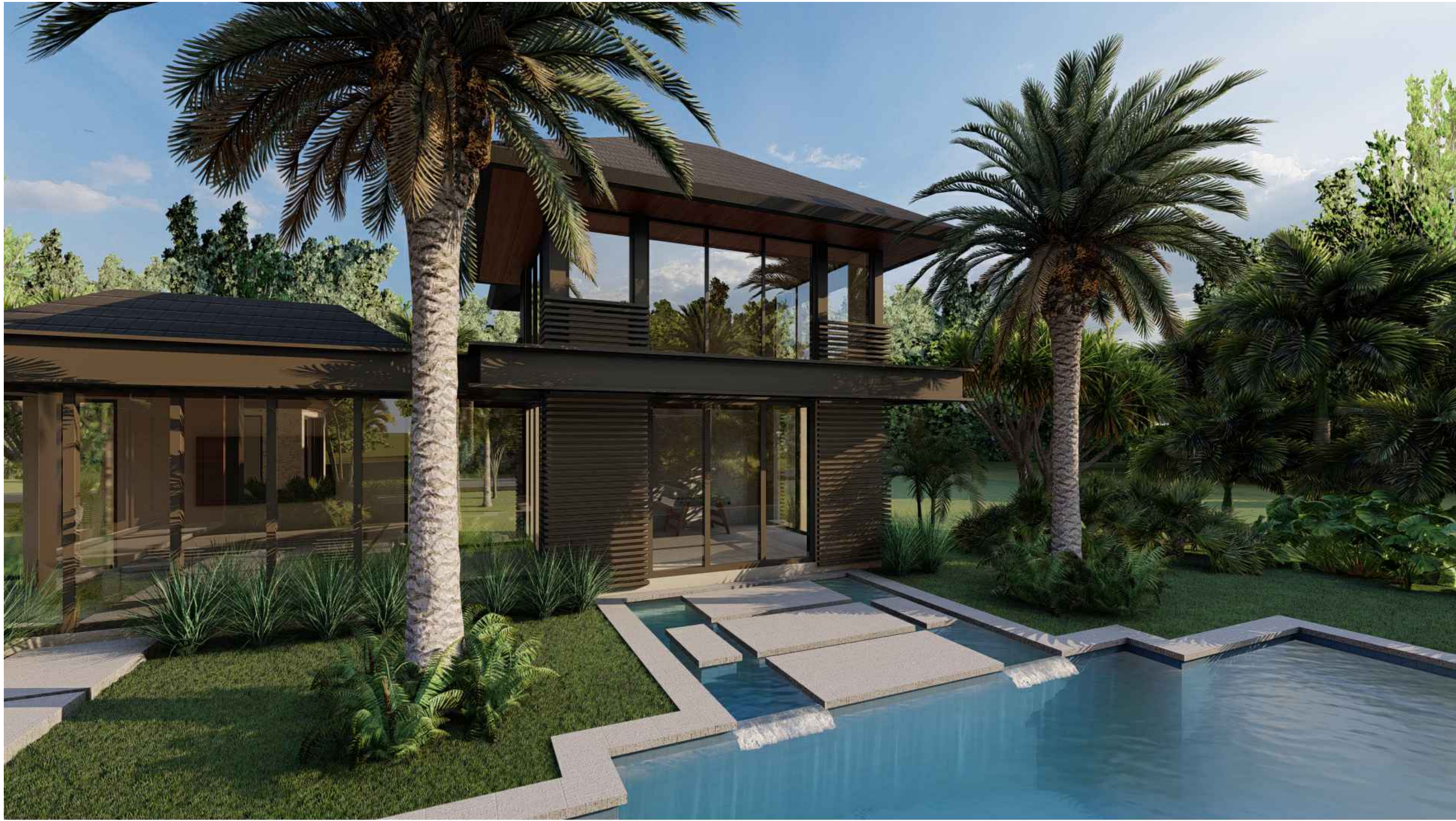
FRONT ENTRANCE



ENTRANCE FOUNTAIN



GUEST HOUSE, POOL DECK AND
PAVILION



GUEST HOUSE



REAR FACADE AND POOL



REAR FACADE

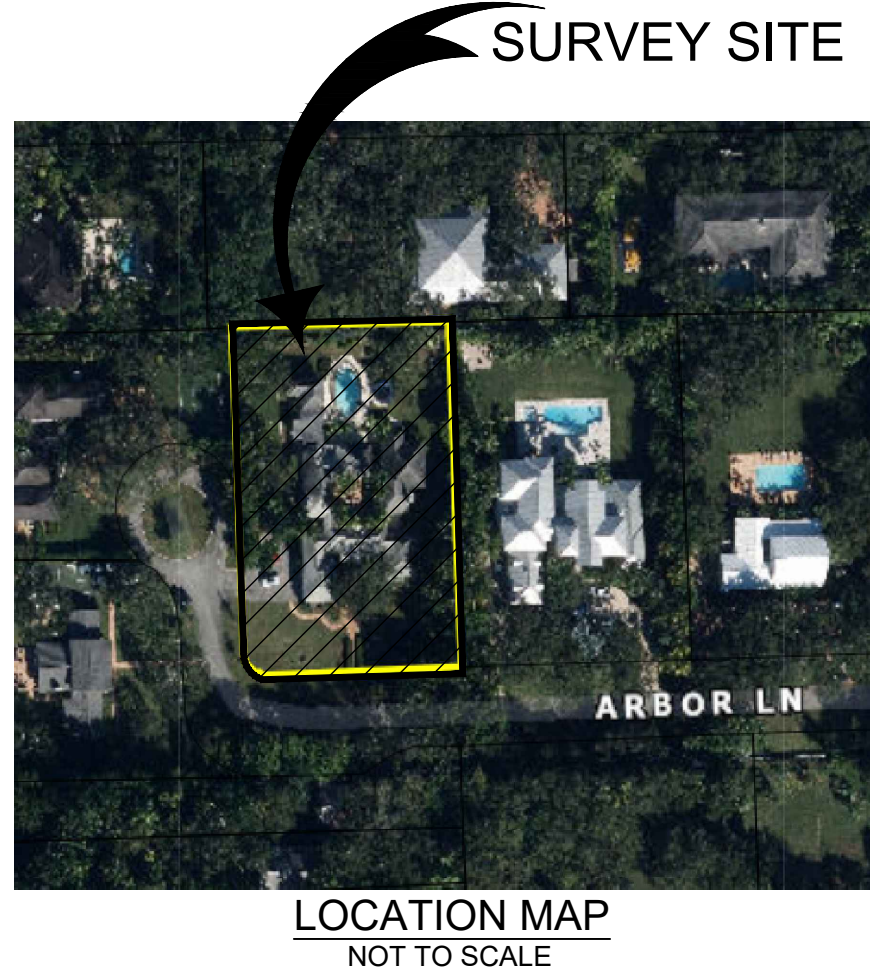
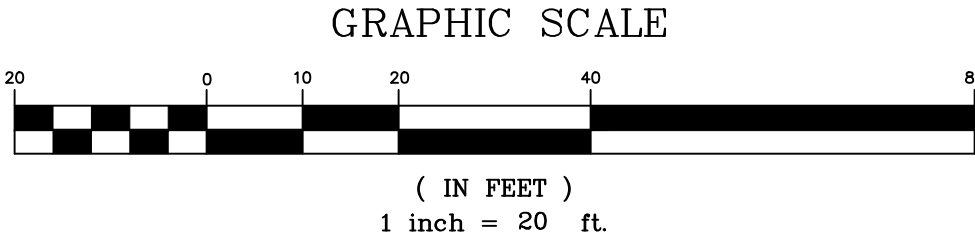


REAR VIEW



LEGEND
(C) = Calculated
CL = Clear
C = Center Line
CONC. = Concrete
CBS. = Concrete Block Stucco
Δ = Delta
ENC. = Encroachment
F.F.E.L. = Finish Floor Elevation
F.I.P. = Found Iron Pipe
F.I.R. = Found Iron Rod
F.N. = Found Nail
F.N&D. = Found Nail & Disc
I.D. = Identification
L = Length
(M) = Measured
O/L = On Line
P = Property Line
P.C. = Point of Curvature
P.B. = Plat Book
P.G. = Page
R = Radius
(R) = Record
R/W = Right of Way
U.E. = Utility Easement

SKETCH OF BOUNDARY SURVEY



REFERENCE PROPERTY ADDRESS BY MIAMI DADE COUNTY PUBLIC RECORDS:
5577 Arbor Lane
Coral Gables, Florida 33156-3434

LEGAL DESCRIPTION:
Lots 5 and 5-A, Block 10, of "FIRST ADDITION TO SNAPPER CREEK LAKES SUBDIVISION", according to the Plat thereof, as recorded in Plat Book 67, at Page 22, of the Public Records of Miami-Dade County, Florida.

REFERENCE FOLIO NUMBER BY MIAMI DADE COUNTY PUBLIC RECORDS:
03 0106 012 0050

CERTIFIED TO:
T & C, Inc., a Florida limited liability company

SURVEYOR'S NOTES:
All distances as shown hereon are based on the US Survey foot.

Bearings are based/referred to an assumed meridian where the centerline of Arbor Lane bears EAST-WEST, as shown on Plat Book 67, Page 22.

At the time of Survey, The National Flood Insurance Rate Map for Florida, Community Panel No. 120639 (City of Coral Gables) 12086 C, 0468 L, FIRM Date 09/11/2009 and Revised with an effective date of 09/11/2009, published by the United States Department of Housing and Urban Development, delineates the described parcel land to be situated within Flood Hazard Zone "AH", Base Flood Elevation 7 feet, and also within Zone "X", areas determined to be outside the 0.2% annual chance floodplain. The Base Flood Elevation "AH" 7' refers to the NGVD (1929) Datum.

All elevations as shown on this survey drawing are referred to the National Geodetic Vertical Datum, 1929 (NGVD).

DADE COUNTY BENCHMARK REFERENCES:

BM FRAZIER RM #1 - EXISTING

BM Name: FRAZIER RM #1

Elevation (NGVD 1929): 8.96 feet

Location 1: SW 88 ST

Location 2: SW 57 AVE --- 40' WEST OF C/L

Location 3: SNAPPER CREEK CANAL --- 25' NORTH OF NORTH TOP OF BANK

Description 1: US C & G BRASS DISC IN CONC BASE OF A TRAFFIC LIGHT POLE.

BM SC-38-A - EXISTING

BM Name: SC-38-A

Elevation (NGVD 1929): 10.52 feet

The floor and garage elevations as shown on this survey drawing were taken from the outside of the house only. No access was available to the surveyor to the inside of the house at the time of survey. There may be different levels of elevation inside the house not known to the surveyor.

In some instances graphic representations have been exaggerated to more clearly illustrate the relationship between physical improvements and/or lot lines. In all cases dimensions shall control the location of the improvements over scaled positions.

The dimensions and directions shown hereon are in substantial agreement with record and calculated values unless otherwise noted.

Survey done by occupation, physical evidence, the recovery of existing property corners, field measurements, calculations, adjacent plats and legal description provided to the surveyor and also from the Miami-Dade County Public Records/ Property Appraiser Office and no claims as to ownership are made or implied.

Adjacent properties were not investigated at the time of this Survey.

A comparison between plat and measured dimensions are delineated hereon. All dimensions are based directly on the recovered monumentation, unless otherwise noted. Platted dimensions are based on the said plat of "FIRST ADDITION TO SNAPPER CREEK LAKES SUBDIVISION" and any measurable difference between the recorded dimensions shown on the said plat and the measured dimensions are denoted as (M).

Obstructed corners are witnessed by improvements.

There is no observable evidence of the site being used as a solid waste dump, sump or sanitary landfill.

There is no observable evidence of recent street or sidewalk construction and/or repairs within the Public Right of Way.

There are no additional changes in street right of way lines completed or proposed which have been made known to the Surveyor and are disclosed on the survey drawing.

There is no observable evidence that any portion of site lies within a wetland area, nor was there any evidence provided to the surveyor that the site was delineated as a wetland area by the proper authorities.

Property is subject to restrictions, conditions, limitations, easements, and reservations of record and existing zoning ordinances.

There may be restrictions not shown on this survey that may affect the future development of this property. Such restrictions could be found in the Public Records or Building and Zoning Department of Miami-Dade County, Florida and the City of Coral Gables.

Lands depicted hereon were surveyed per legal description provided by client and no claims as to ownership are made or implied.

Legal description subject to any dedications, limitations, reservations or easements of records; search of the Public Records not performed by this office. Code Restrictions not reflected on this survey.

Any notorious evidence of occupation and/or use of the described parcel for Right-of-Way, Ingress or Egress are shown on this survey drawing. However, this survey does not purport to reflect any recorded instruments for Right-of-Way other than shown on the recorded plat or stated in the legal description, as it appears on this drawing.

Only the above ground visible surface indications of the underground utilities have been located. There may be other underground utilities in addition to those evidenced by visible appurtenances as shown on this sketch. Underground utility references based on limited information provided by the utility company. Owner of his agent should verify all utility locations with the appropriate utility provider before using.

The scope of this survey is to define the boundary lines as defined by the deed and referenced plats, and show all above ground improvements.

No underground footings were located and no subsurface investigation was performed at the time of survey.

The legal ownership of the fences and/or walls as shown hereon was not determined, and the locations as shown are based on the recovered boundary monumentation and calculations.

Distances from property lines to fences or walls may slightly varies due to their irregularity, width and composition. Fences or walls not always travel on a straight line and in most cases meander through trees, hedges, vines and heavy landscaping usually located along boundary lines, therefore the resultant of said dimensions as shown hereon may vary slightly within 0.30' to 0.50' of a foot more or less.

Any fencing, walls, entrance features and landscaping could be subject to a "Safe Sight Distance Triangle" rule.

Call 811 or visit www.sunshine811.com before digging.

This survey is intended for the use of the parties to whom this survey is certified to and for. Any reproduction is not an original. This surveyor retains an original to verify these dated contents for validity.

This survey was conducted for the purpose of a "Boundary Survey" only and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other entity. This survey does not reflect or determine ownership.

The accuracy obtained for all horizontal control measurements and office calculations of closed geometric figures, meets or exceeds the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors and Mappers as contained in Chapter SJ-17.051(3)(b)15.b.i of 1' foot in 10,000 feet for Commercial / High Risk Areas.

This sketch shown hereon in its graphic form is the record depiction of the surveyed lands described herein and will in no circumstances be supplanted in authority by any other graphic or digital format. This map is intended to be displayed at a scale of 1" = 20'.

The location of the trees as shown on this survey drawing are compiled from such field surveys deemed necessary by Jorge L. Cabrera, PSM, therefore the resultant of said dimensions shown hereon could vary slightly within 1 to 2 feet more or less.

The Tree Table as shown hereon was prepared by certified Arborist Ian Wogan Registered Consulting Arborist #684 ISA Certified Arborist #FL6594-A from True Tree Service, LLC at 1733 NW 21st Terrace Miami, FL 33142 305.842.3581

This is to certify to the above named firm and or persons that the "SKETCH OF BOUNDARY SURVEY" of the herein described property is true and correct to the best of my knowledge and belief as recently surveyed under my direction, also there are no visible encroachments other than those shown. Owner or his representative furnished the legal description contained herein. Other recorded instruments may affect this property. Surveyor has not examined the abstract of title. Locations of utilities on or adjacent to the property were not secured unless specifically requested by owner. I further certify that this map or plat meets the Standards of Practice and the Minimum Technical Standard Requirements, adopted by the Board of Professional Surveyors and Mappers, pursuant to Chapter 472.027 Florida Statutes, as set forth in Chapter SJ-17, Florida Administrative Code, under Sections SJ-17.051 and SJ-17.052 for a "BOUNDARY SURVEY" as defined in Section SJ-17.050.

LAST REVISION
07/28/2021
JN 20-5401-A

JORGE L. CABRERA

No. 6487

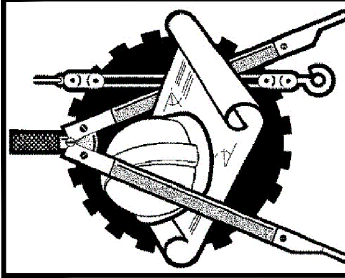
STATE OF FLORIDA

PROFESSIONAL SURVEYOR & MAPPER

Professional Surveyor & Mapper, # 6487

State of Florida

This drawing is the property of Jorge L. Cabrera Professional Surveyor & Mapper Reproductions of this drawing are not valid unless Signed and embossed with the surveyor's seal.



JORGE L. CABRERA
Professional Surveyor and Mapper
State of Florida
PLS/PSM License No: 6487
2852 S.W. 149th Place, Miami, Florida 33185
Phone: (305) 302-2522 Fax: (305) 207-9537

No.	Date	Job No.	Description
1	07/28/2021	20-5401-A	REVISION TO UPDATE ADDITIONAL TREES & ELEVATIONS, IN 20-5401-A

Prepared for:

CHECKED BY:	JLC.
DRAWN BY:	ELF.
FIELD DATE:	07/02/2020
DATE:	07/06/2020
SCALE:	1" = 20'
JOB No.	20-5401

SHEET:
1 OF 1

GENERAL NOTES

1.

AIA Documents A201, "General Conditions Of The Contract For Construction, Latest Edition," shall govern all work under this Contract and shall apply to all trades and is hereby incorporated into these documents.
2.

All work shall comply with all applicable National Codes, the latest edition of the 2017 Florida Building Code (herein also referred to as F.B.C.) - Residential, Sixth Edition, and updated Local Zoning Ordinances.
3.

The Contractor shall field verify all dimensions and existing conditions and notify the Architect of all discrepancies or needed interpretations prior to commencing construction.
4.

Omissions from drawings and/or mis-description of details of work which are manifestly necessary to carry out intent of drawings or are customarily performed shall not relieve contractor from performing such omitted or mis-described details of work, but shall be performed as if fully and correctly set forth and described in drawings using most appropriate method, with final approval issued by Architect to alleviate conflicts of scheduling, drawings, details, and/or specifications.
5.

All work shall be performed in the best and most professional manner by mechanics skilled in their respective trades.
6.

Contractor shall be responsible for quality and performance of all materials, appliances, and work.
All materials, equipment, and systems shall be installed in strict accordance with applicable standards and manufacturers written specifications, instructions, and recommendations. Contractor shall review all shop drawings such as and not limited to roof trusses, doors, windows and hardware. Contractor will inform the Architect of any item which deviates from the working drawings.
These plans may be used only under such conditions in which all applicable safety laws, rules and regulations are the sole responsibility of the contractor.
7.

Written dimensions have precedence over scaled dimensions. Do not scale drawings. Field verify all dimensions.
8.

Contractor is responsible that easements and setbacks are not encroached.
9.

Coordinate Architectural drawings with Structural, Mechanical, Plumbing, and Electrical drawings. Any discrepancies are to be brought to Architect's attention for clarification prior to bidding and work.
10.

Contractor shall verify and coordinate all rough openings for scheduled doors, windows, and hardware, clearances for all equipment and appliances to be part of the work, and future locations and clearances. Typically all windows and doors to be in accordance to that specified in the drawings and applicable items of Chapter 24 of The Florida Building Code (latest edition).
11.

Provide all site clearing, excavating to required grades and lines, back fill, grading fill, compaction and de-watering as required to execute the work. All fill under slabs shall be compacted with fine sand fill set in 6" layers to 95% density ASTM 1157. Verify against Structural drawings. Preserve all existing trees and shrubs unless otherwise specified by landscape plan or Owner.
12.

Contractor shall remove all construction debris and leave the site graded as indicated on the site plan or as specified by Architect/Owner.
13.

All concrete work at ground level shall have 8 Mil thick Visqueen vapor Barrier, or approved equal. Lap Visqueen by min. 6" fully duct tape along length of lap.
14.

Finish grade shall slope away from building walls and property lines. Refer to Site Plan.
15.

All gates to be self closing and latching.
16.

Refer to engineering drawings for all engineering information (coordinate against Architectural).
17.

Rainwater shall direct itself to existing catch basins.
18.

All work shall comply with chapter 10 (means of egress) of the 2010 Florida Building Code and NFPA 101. Typical throughout these documents.
19.

Elevations shown on the plan refer to National Geodetic Vertical Datum (N.G.V.D.).
20.

Termite protection shall be provided by registered termiticides or other approved methods of termite protection labeled for use as a preventative treatment to new construction - All new structures shall comply to section 1B16 of F.B.C.
21.

UTILITY NOTES:
A. General Contractor to verify exact locations of the following outside the property line:
1. Electric Service. 2. Gas 3. Water Main. 4. Telephone.
22.

B. All above and associated work utilities shall be as per enforced edition of the Florida Building Code F.B.C. and all applicable Codes.
23.

C. Contractor shall verify the locations of all utilities, overhead and underground, prior to construction and coordinate with Architect/Owner prior to start of work.
24.

D. Electrical power, telephone, water and gas shall be run as required to meet existing service. All to be verified with Architect/Owner. The Contractor shall coordinate tie-ins and service with utility companies prior to start of work.
25.

All pre-manufactured items such as exterior shutters and doors, but not limited to these, shall be under a separate permit if required. General contractors and any subcontractor providing the above items shall provide signed and sealed callings and shop drawings. All submissions shall be according to N.F.P.A. 101 and the latest edition of the F.B.C. for A/E approval prior to fabrication and ordering. All manufactured items shall meet high velocity hurricane zone (HVHZ) prior to ordering and work, typical throughout project. Refer to Structural engineering sheets for applicable information, i.e. wind pressure calculations, etc.
26.

Typical throughout project. Where slope is indicated with an arrow, contractor to provide 1/4" per ft. min. slope or as noted.
27.

For septic tank and drain field refer to plumbing drawings (when applicable).
28.

Every closet door latch shall be operable by a child from inside the closet.
29.

Every bathroom door shall be operable from the outside during an emergency when locked. Per life safety code 212.4.4.
30.

All window, exterior doors and shutters to have current Miami - Dade county product approval.
31.

All glazing within 60" of tub or shower shall have safety glazing per section 2406.4.5 F.B.C. - Typical
The plans and specifications are not intended to depict each and every detail as the party in the field. The contractor is in the best position to verify that all conditions are completed to provide a watertight structure.
32.

FEMA NOTES: (when applicable)
A. All walls below base flood elevation shall receive M.R. gypsum wall board & 1 coat plaster finish.
B. All Electrical, Mechanical & Plumbing shall be above base flood elevation.

DEMOLITION NOTES

1.

DASHED WALLS AS INDICATED ON PLANS ARE TO BE REMOVED.
NO WALL REMOVED IS LOAD BEARING
2.

SELECTIVE REMOVAL AND OFF SITE DISPOSAL INCLUDES:
----- FLOOR TILES AND THIN SET/ THICKSET REMOVAL
----- FRAME WALLS AND WALL BOARD
----- INDICATED INTERIOR DOORS
----- INTERIOR FINISHES AS INDICATED
----- KITCHEN APPLIANCES (ASK OWNER IF TO BE DISPOSED)
3.

OWNER OR ARCHITECT TO ASSUME NO RESPONSIBILITY FOR THE ACTUAL CONDITIONS ON SITE.
4.

WHEN APPLICABLE, PROTECT EXISTING FINISH WORK ON SITE FROM DAMAGE DUE TO NEW CONSTRUCTION.
5.

CONTRACTOR TO REPAIR ANY (AT NO COST TO THE OWNER) ON SITE OR ON ADJACENT FACILITIES DUE TO DAMAGES.
6.

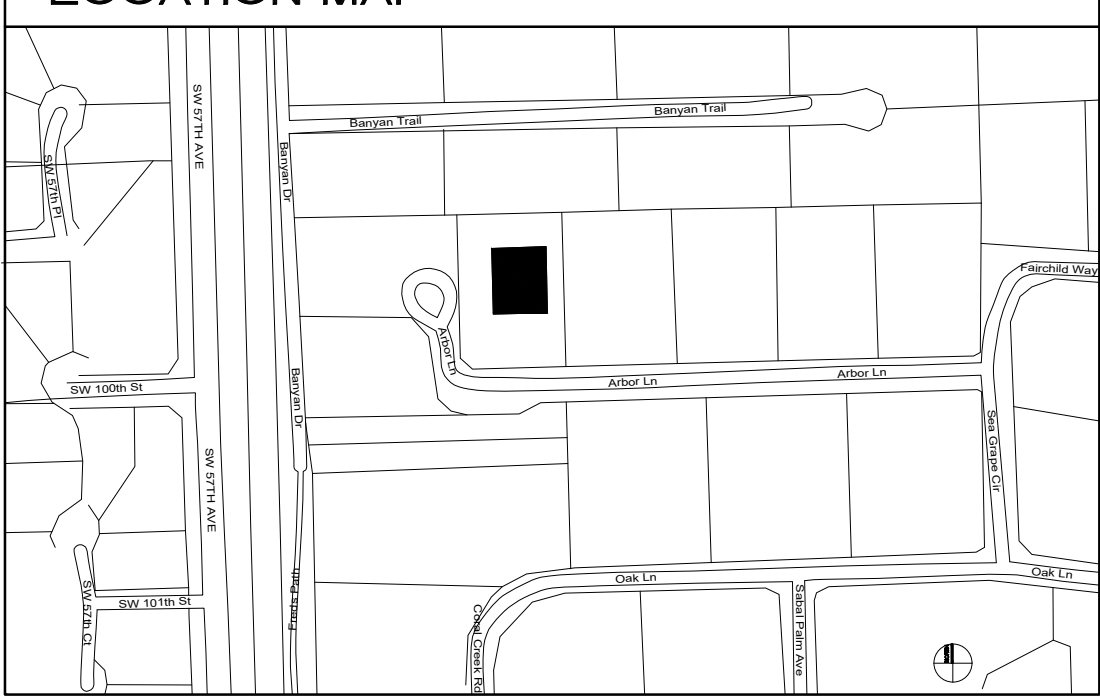
CONTRACTOR TO IDENTIFY, STUB OFF AND DISCONNECT UTILITY SERVICE
CONTRACTOR TO OBTAIN ALL APPLICABLE PERMITS PRIOR TO BEGINNING WORK
7.

DEMOLITION WORK TO BE IN COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS
8.

OF ALL CODES HAVING JURISDICTION OVER THE PROJECT.
9.

CONTRACTOR TO PROVIDE BRACING AND SHORING TO PREVENT THE SETTLEMENT OR COLLAPSE OF STRUCTURE WHEN APPLICABLE.

LOCATION MAP



ZONING (SFR ZONING Sec. 6)

SETBACKS	REQUIRED / ALLOWED	EXISTING / PROPOSED
FRONT (SOUTH)	50'-0" MIN.	50'-0" (PROPOSED)
SIDE FACADE (EAST)	30'-0" MIN.	30'-11" (PROPOSED)
STREET SIDE FACADE (WEST)	50'-0" MIN.	50'-4" (PROPOSED)
REAR (NORTH)	30'-0" MIN.	32'-9" (PROPOSED)
REAR POOL (NORTH)	EXIST.	SAME AS EXIST.

PROPERTY AREA	47,810 SF (43560 ± 1.10 ACRES)	PROPOSED
BUILDING HEIGHT	2.5 STORIES 35'-0"	2 STORIES 28'-0"
MAX BLDG / LOT COVERAGE	15% (7,172 SF)	20% (10,015 SF)
MAX IMPERVIOUS SURFACE	20% (9,562 SF)	35% (16,876 SF)
MIN. GREEN SPACE	80% (38,248 SF)	65% (30,940 SF)

MIN. FOOTING	REQUIRED	PROPOSED
FRONT	75'-0" MAX	91'-10"

AREA BREAKDOWN FOR BUILDING SQUARE FOOTAGE			
COVERED AREAS:			
FIRST FLOOR UNDER AIR	7,509 SF	9,052 SF (AC)	PROPOSED F.A.R.: 9,778 SF
GYM	551 SF		
GYM 2ND FLOOR	551 SF		
GARAGE	726 SF		
FLORIDA ROOM	441 SF		
COVERED ENTRY	824 SF		
COVERED REAR PAVILION	294 SF		
COVERED REAR PORCH	175 SF		
AREA BREAKDOWN FOR LOT COVERAGE			
COVERED AREAS:			
AIR CONDITIONED AREA	9,052 SF	COVERED AREAS 11,022 SF ± 23%	
GARAGE	726 SF		
COVERED PAVILION + WALKWAY	420 SF		
COVERED ENTRY	824 SF		
NON-COVERED AREAS: FOR CALCULATING MAXIMUM IMPERVIOUS			
POOL AND COPING	775 SF	NON-COVERED AREAS 6,265 SF ± 13%	
FRONT DRIVEWAY	1,872 SF		
SIDE DRIVEWAY	1,711 SF		
FOUNTAINS + WALKWAYS	1,732 SF		
A/C + POOL PUMP PADS	175 SF		
TOTAL IMPERVIOUS AREA:			
MAX IMPERVIOUS COV.	30% (14,343 SF) ALLOWED	35% (16,876 SF) PROPOSED	

LEGAL DESCRIPTION

SNAPPER CREEK LAKES SUB 1ST ADDN. PB 67-32. LOTS 5 & 5-B LK 10. LOT SIZE IRREGULAR.
OR 20601-0819 08 2002 1. COC 26128-127511 2007 1

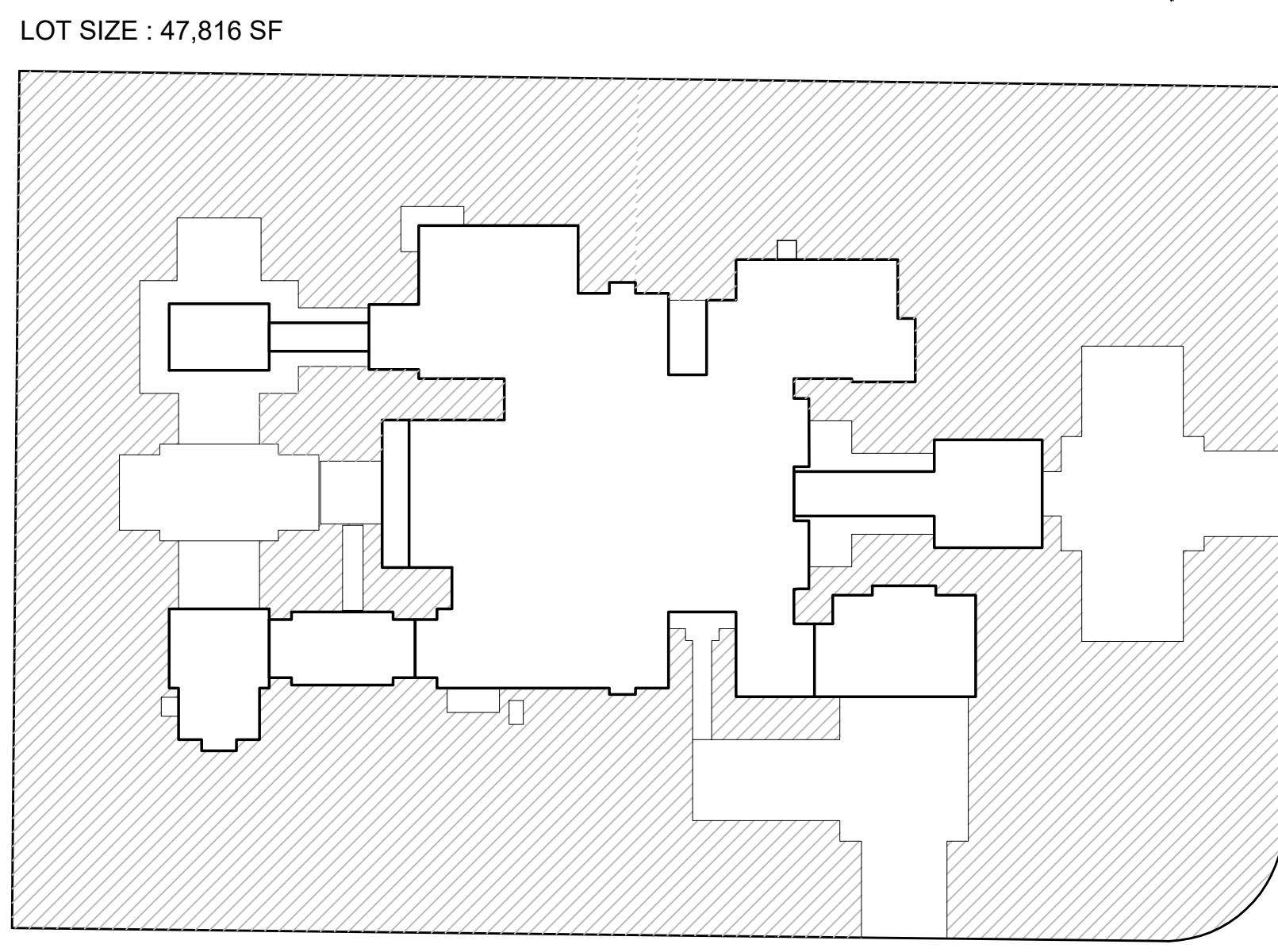
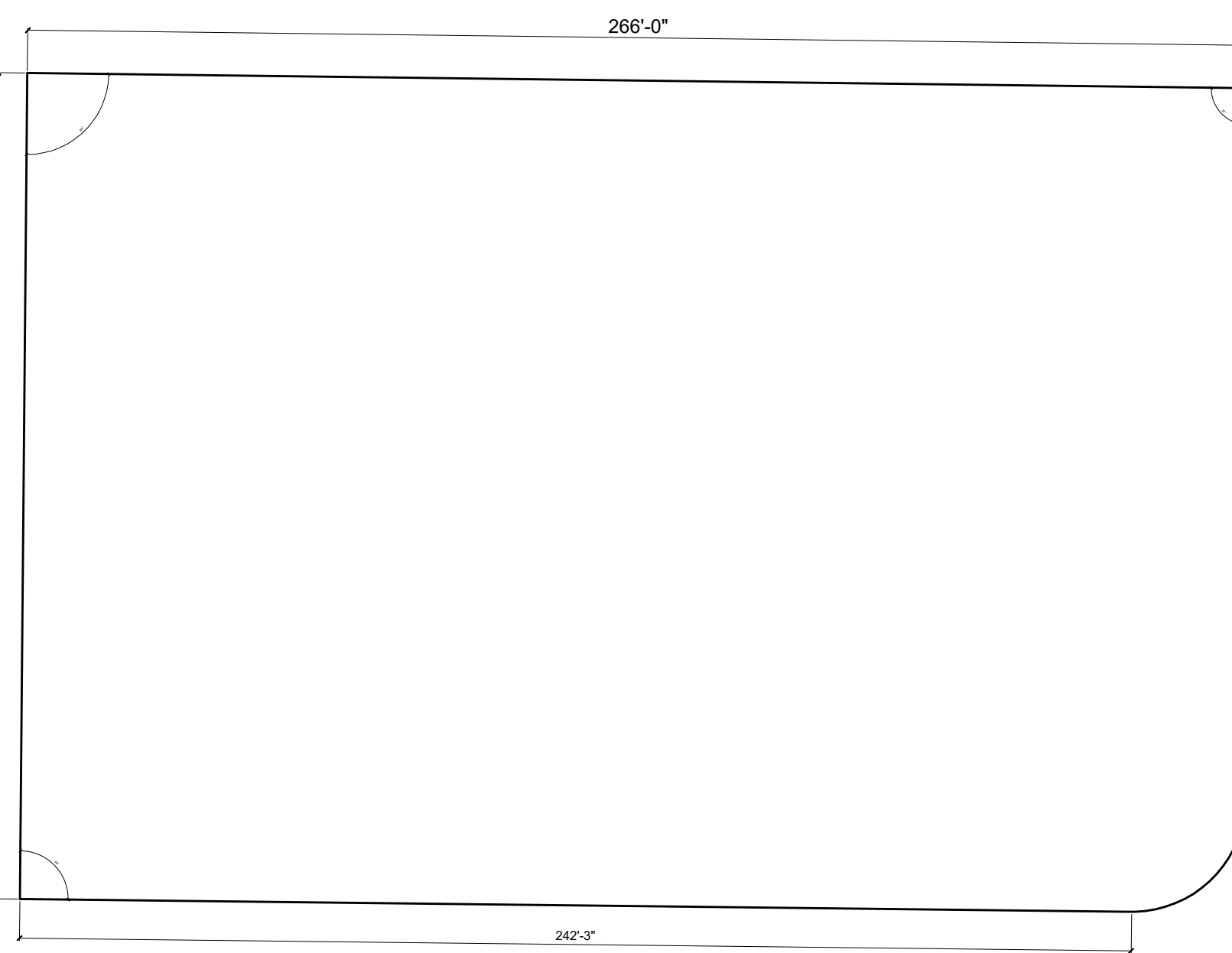
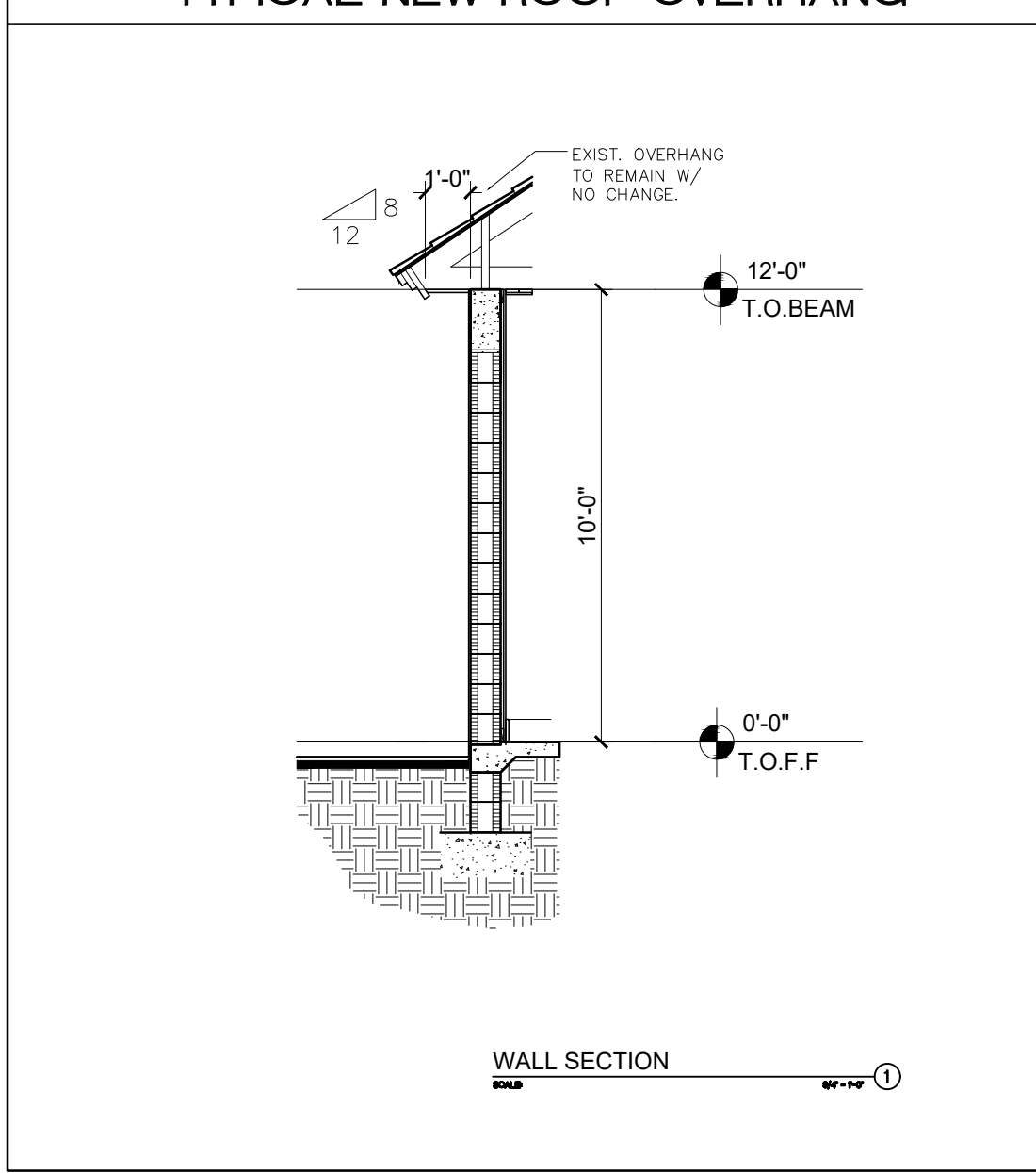
SYMBOL LEGEND

SYMBOL	DESCRIPTION
	NEW 8" C.M.U. WALL
	NEW 3 5/8" MTL FRAMING 24" O.C. W 5/8" GYP. BD. EA SIDE
	AREA UNDER AIR AND GARAGE

SCOPE OF WORK

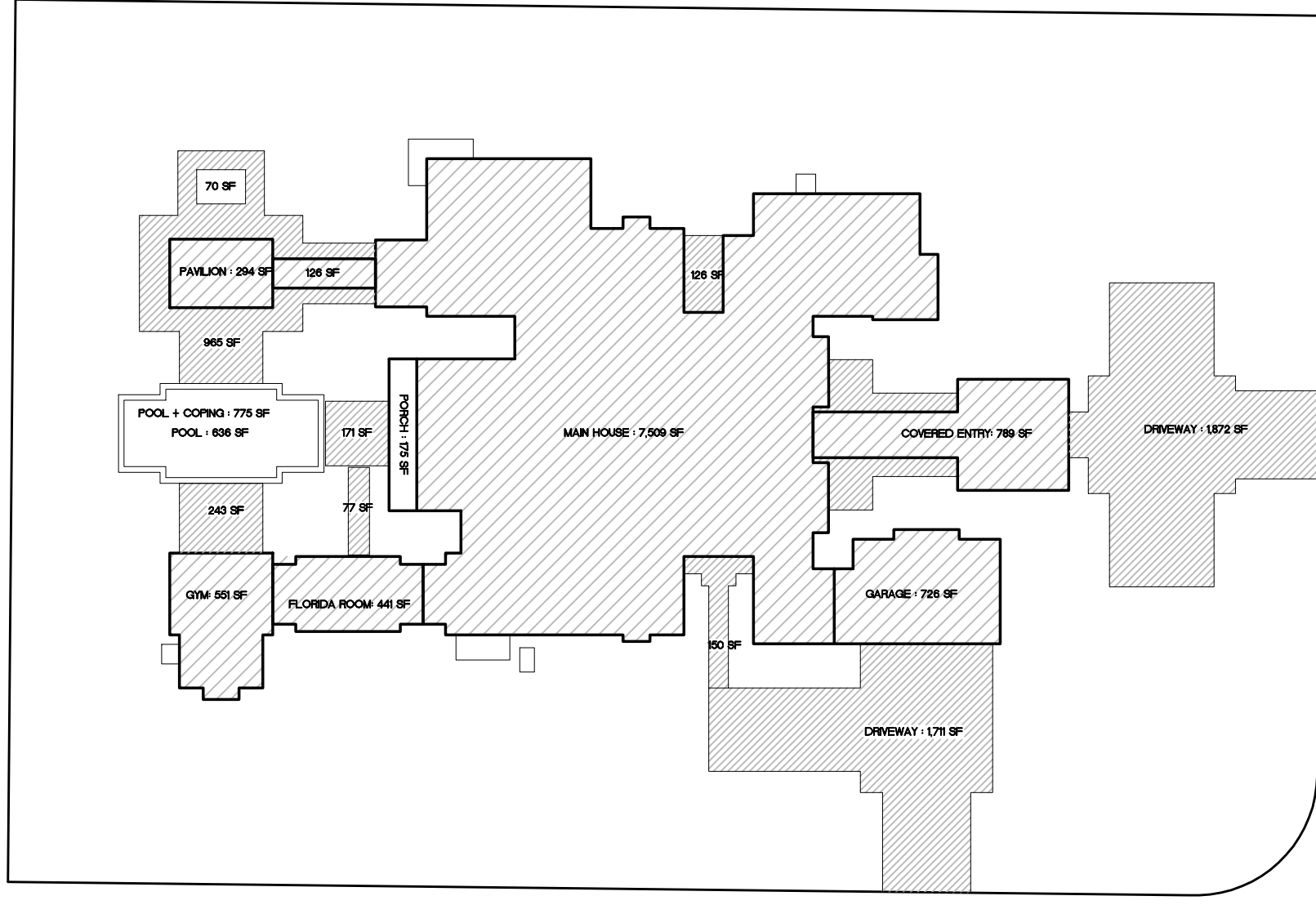
PORTIONS OF EXISTING RESIDENCE FACING STREETS AND NEIGHBORS TO REMAIN
CHANGE ELEVATION STYLE FROM CLASSICAL TO TROPICAL MODERN BY ELONGATING WINDOWS AND INCREASING OVERHANGS.
CENTER COURTYARD AND FAMILY ROOM IN REAR TO BE NEW CONSTRUCTION AND ADDED AREA TO EXISTING HOUSE.
EXISTING REAR GUESTHOUSE WITH ATTACHED TERRACE TO BE DEMOLISHED AND REPLACED FOR A NEW GYM STRUCTURE AND NEW FLORIDA ROOM MORE SUITABLE TO THE NEW STYLE.
ADDING A NEW 284 S.F. PAVILION NEAR MASTER SUITE
RESHAPE THE EXISTING POOL TO INCLUDE A SPA AND FRONT AND REAR WATER FEATURE FOUNTAINS.
NEW CONCRETE DRIVEWAYS
NEW CONCRETE TILE ROOF
NEW ENTRY STRUCTURE

TYPICAL NEW ROOF OVERHANG

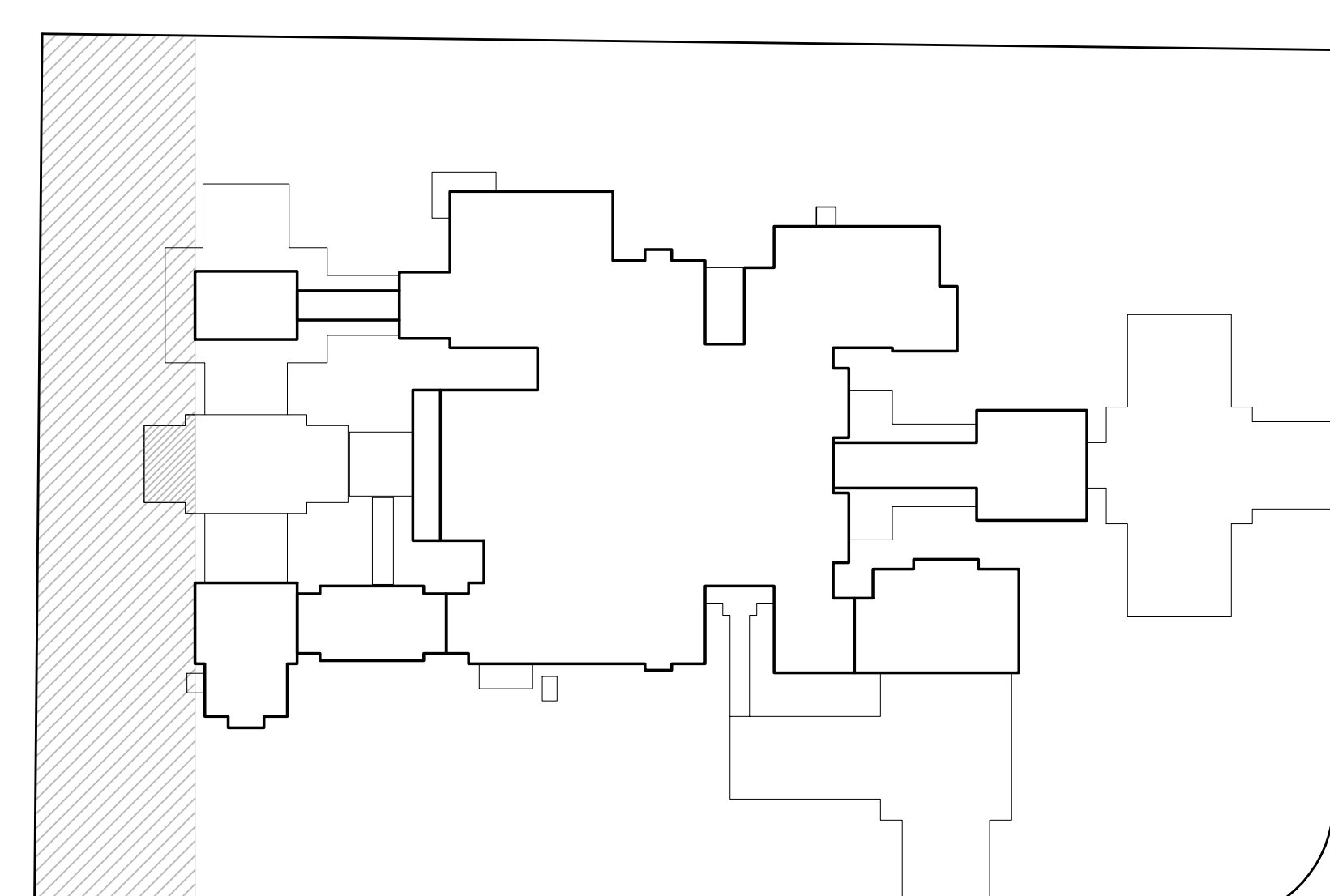


MINIMUM GREEN SPACE REQUIRED : 40% = 19,126 SF

GREEN SPACE PROPOSED : 64% = 30,616 SF

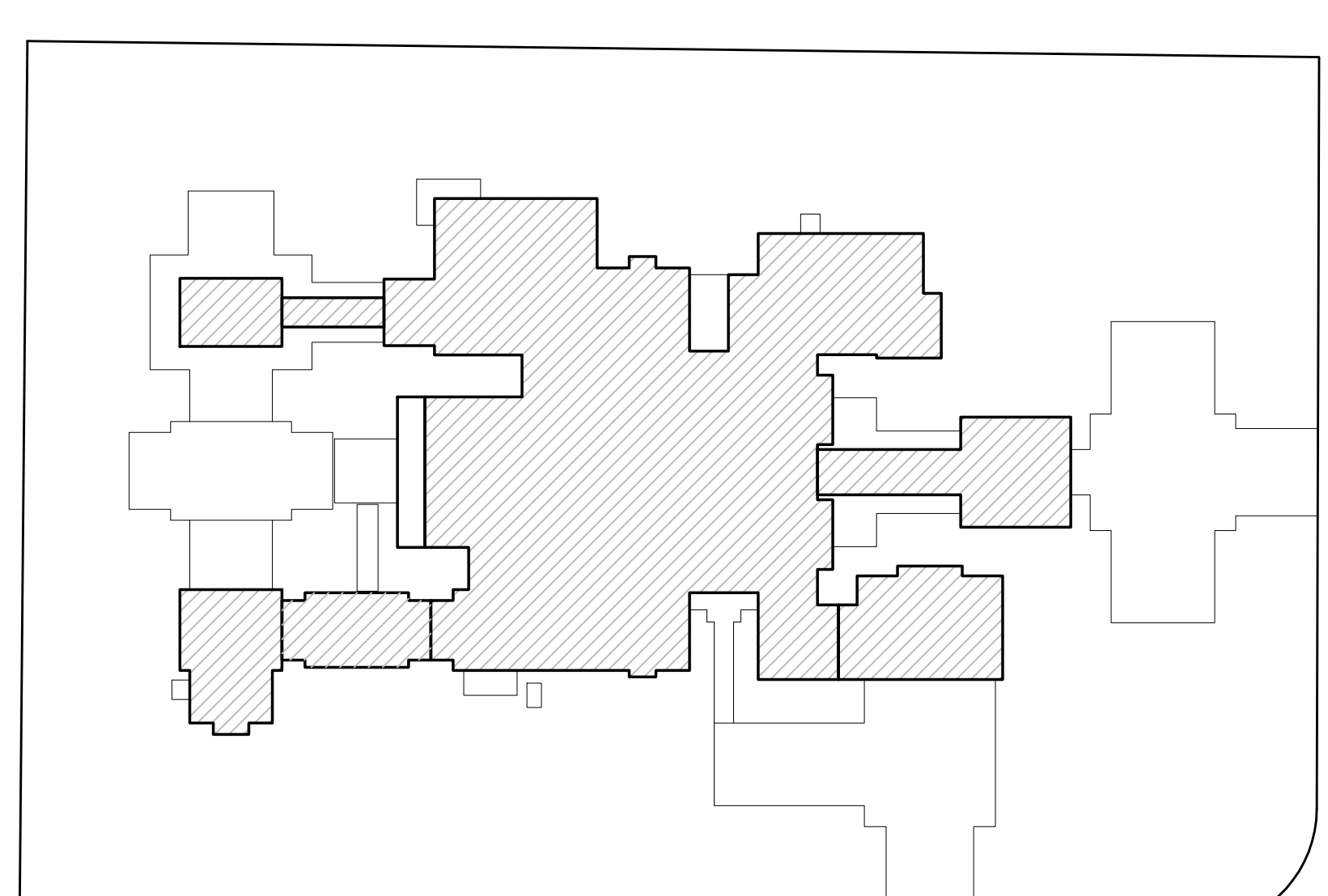


COVERED AREAS:	
MAIN HOUSE	7,509 SF
GARAGE	726 SF
GYM	551 SF
FLORIDA ROOM	441 SF
COVERED PAVILION+ WALKWAY	420 SF
COVERED ENTRY	789 SF
REAR PORCH	175 SF
NON-COVERED AREAS: FOR CALCULATING MAXIMUM IMPERVIOUS	
POOL + COPING	775 SF
FRONT DRIVEWAY	1,872 SF
SIDE DRIVEWAY	1,711 SF
FOUNTAIN + WALKWAYS	1,732 SF
A/C + POOL PUMP PADS	175 SF
TOTAL IMPERVIOUS SURFACE PROPOSED:	
	16,876 SF = 35%



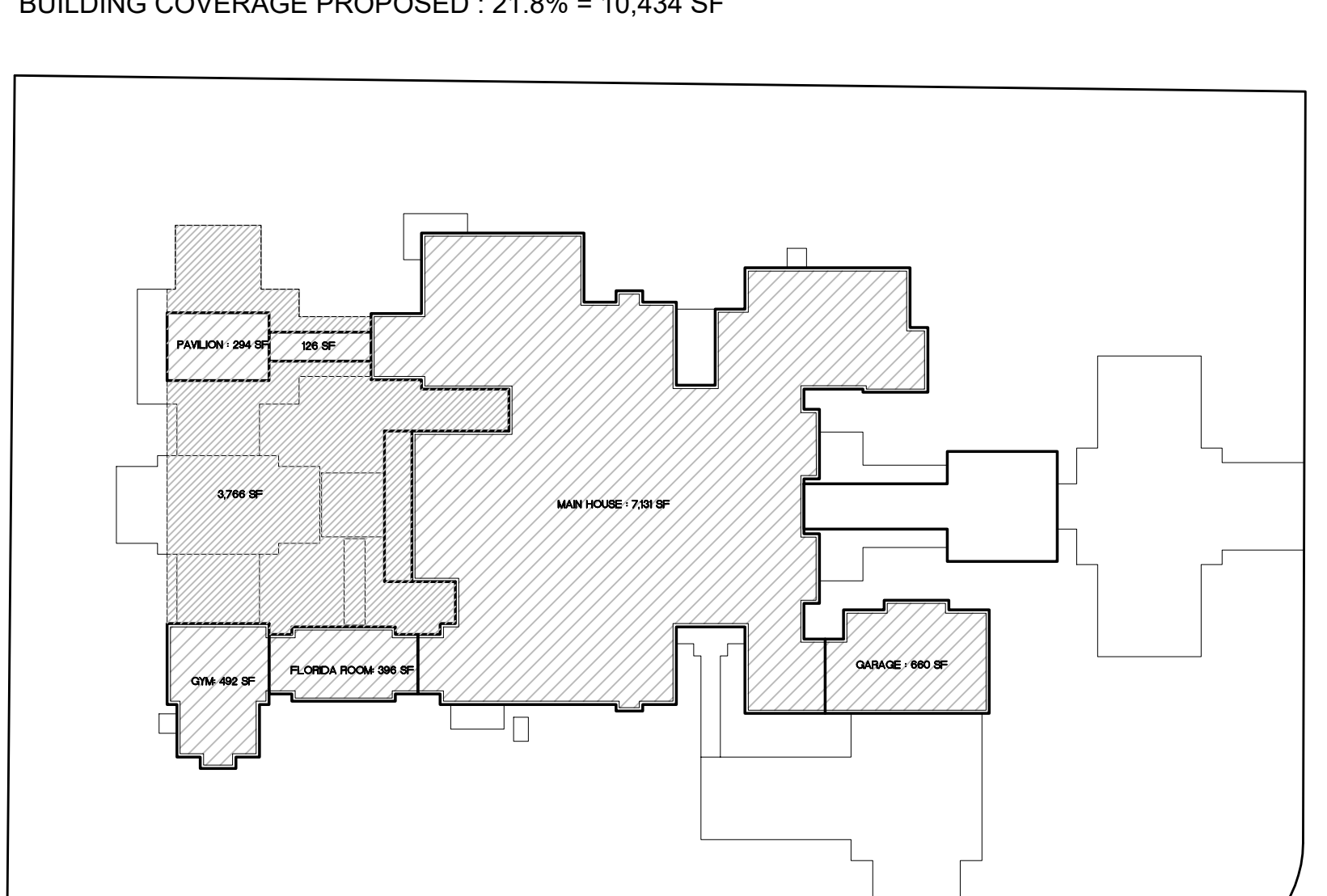
REAR YARD PROVIDED : 5,796 SF

ACCESSORY STRUCTURE : 174 SF OR 3%



MAXIMUM BUILDING GROUND (LOT) COVERAGE : 25% = 11,953 SF

BUILDING COVERAGE PROPOSED : 21.8% = 10,434 SF



MAX. BUILDING F.A.R: 15,495 SF	
1ST 5,000 SF	48% = 2,400 SF
2ND 5,000 SF	35% = 1,750 SF
REMAINING SF	30% = 11,345 SF
PROPOSED F.A.R: 12,937 SF	
FIRST FLOOR = 7,131 SF	BUILDING F.A.R. 9,591 SF
FLORIDA ROOM = 396 SF	
GYM = 492 SF	
GYM 2ND FLOOR = 492 SF	
GARAGE = 660 SF	
PAVILION = 420 SF	
ADDITIONAL SF : 3,346 SF	



VIEW OF MAIN FACADE: SOUTH SIDE



VIEW OF MAIN FACADE: SOUTHEAST SIDE



VIEW OF MAIN ENTRANCE: SOUTH SIDE



VIEW OF FRONT YARD: SOUTHWEST CORNER



VIEW OF SIDE ENTRY: WEST SIDE



VIEW OF SIDE FACADE: WEST SIDE



VIEW OF REAR TERRACE AND BBQ:
WEST SIDE



VIEW OF GUEST HOUSE:
NORTHWEST CORNER



VIEW OF REAR FACADE AND POOL:
NORTHWEST CORNER



VIEW OF REAR FACADE AND POOL DECK:
NORTH SIDE



VIEW OF REAR TERRACE AND GUEST
HOUSE: NORTH SIDE



VIEW OF REAR FACADE AND POOL DECK:
NORTH SIDE



VIEW OF SIDE FACADE: NORTHEAST CORNER



VIEW OF SIDE FACADE: EAST SIDE



VIEW OF SIDE FACADE:
SOUTH EAST CORNER



NEIGHBOR ACROSS THE STREET
ON SOUTHWEST CORNER



NEIGHBOR ACROSS THE STREET
ON WEST SIDE



NEIGHBOR ACROSS THE STREET
ON SOUTH SIDE (FRONT OF HOUSE)



VIEW OF ARBOR LANE ON SOUTH SIDE
(FRONT OF HOUSE)



NEIGHBOR ON EAST SIDE

ARCHITECT

ARCHITECT INC.

275 MANICIA AVE CORAL GABLES, FL 33134
TEL: 305.442.1234
WWW.HAMEDRODRIGUEZ.COM

REVISION NO.

DATE

COMMENTS

NEW RESIDENCE FOR:

ARBOR LN RESIDENCE

5577 Arbor Ln, Coral Gables Fl, 33156

COMM. NO.:

12-14-2020

ISSUE DATE:

12-14-2020

PLOT DATE:

AS NOTED

SCALE:

HRA

DRAWN BY:

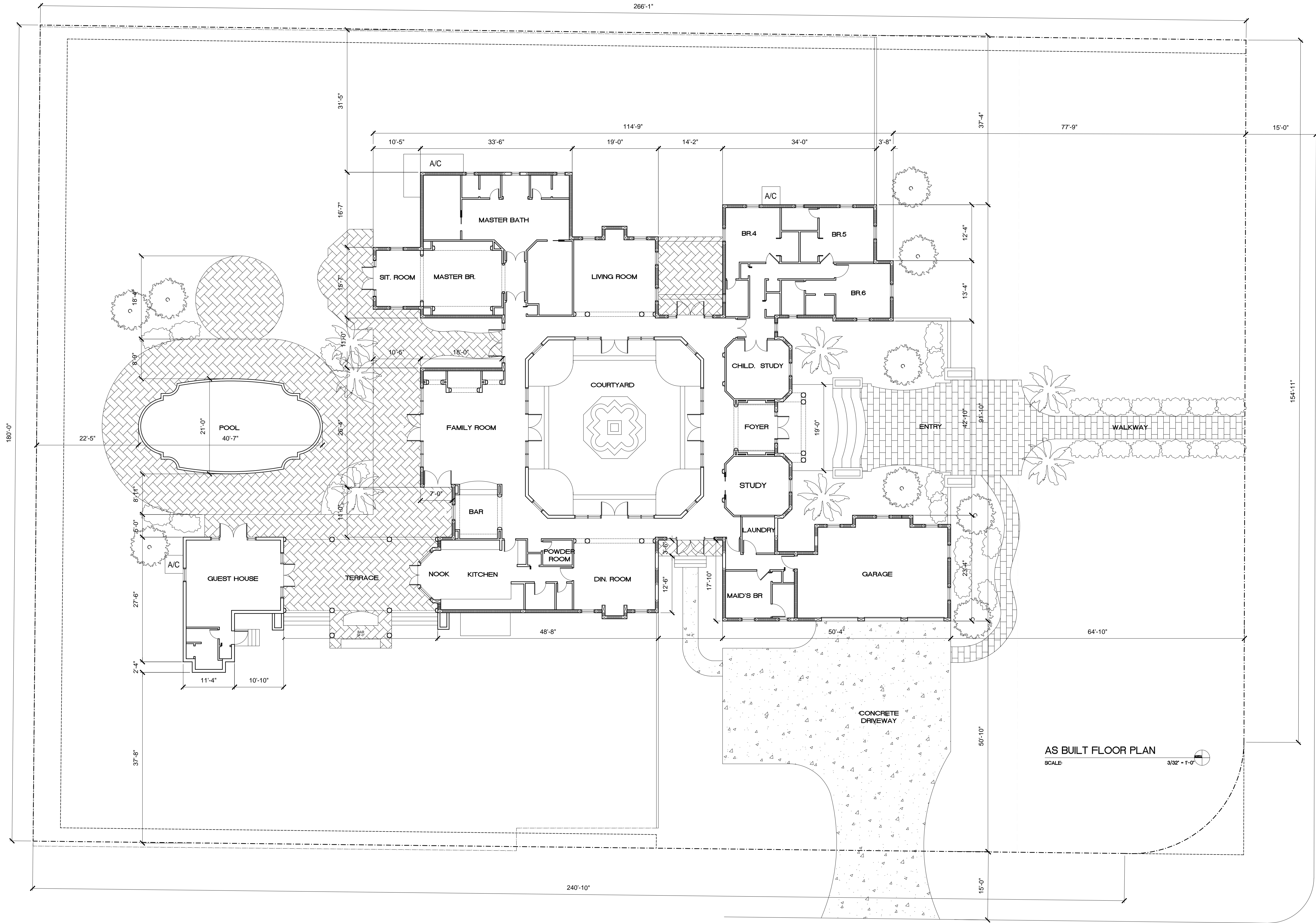
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CHECKED BY:

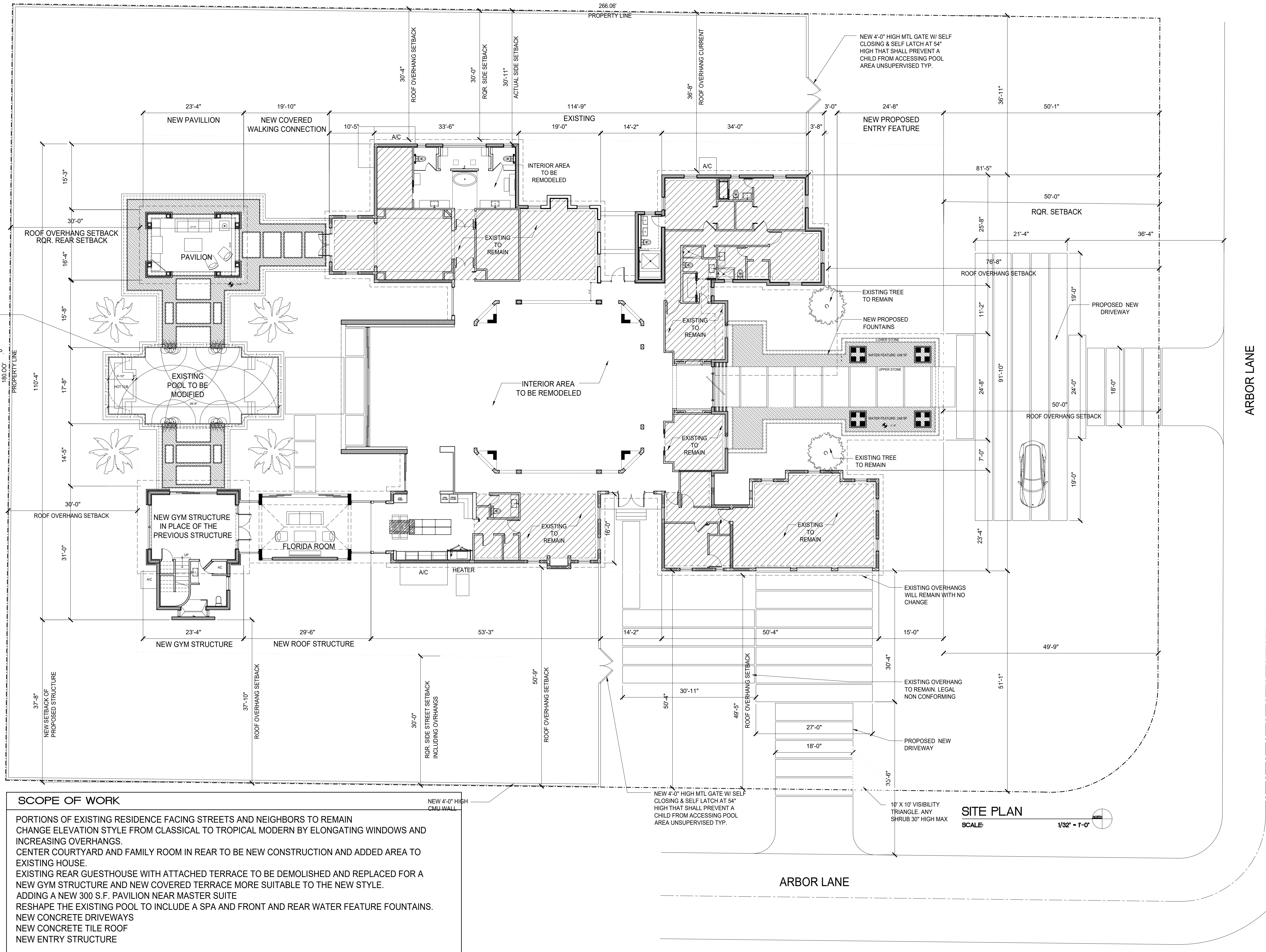
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NEW 4'-0" SCREEN POOL SAFETY ENCLOSURE (NON CLIMBABLE) W/ SELF CLOSING GATE & SELF LATCHING DEVICE AT 54" TO PREVENT CHILD FROM ACCESSING THE POOL AREA UNSUPERVISED TYP.



SCOPE OF WORK

PORTIONS OF EXISTING RESIDENCE FACING STREETS AND NEIGHBORS TO REMAIN
CHANGE ELEVATION STYLE FROM CLASSICAL TO TROPICAL MODERN BY ELONGATING WINDOWS AND INCREASING OVERHANGS.
CENTER COURTYARD AND FAMILY ROOM IN REAR TO BE NEW CONSTRUCTION AND ADDED AREA TO EXISTING HOUSE.
EXISTING REAR GUESTHOUSE WITH ATTACHED TERRACE TO BE DEMOLISHED AND REPLACED FOR A NEW GYM STRUCTURE AND NEW COVERED TERRACE MORE SUITABLE TO THE NEW STYLE.
ADDING A NEW 300 S.F. PAVILION NEAR MASTER SUITE
RESHAPE THE EXISTING POOL TO INCLUDE A SPA AND FRONT AND REAR WATER FEATURE FOUNTAINS.
NEW CONCRETE DRIVEWAYS
NEW CONCRETE TILE ROOF
NEW ENTRY STRUCTURE

NEW 4'-0" HIGH CMU WALL

NEW 4'-0" HIGH MTL GATE W/ SELF CLOSING & SELF LATCH AT 54" HIGH THAT SHALL PREVENT A CHILD FROM ACCESSING POOL AREA UNSUPERVISED TYP.

SITE PLAN

SCALE: 1/32" = 1'-0"

SHEET

COMM. NO.:
ISSUE DATE:
PLOT DATE:
SCALE:
DRAWN BY:
CHECKED BY:

12-14-2020
12-14-2020
AS NOTED
HRA
HR

NEW RESIDENCE FOR:

ARBOR LN RESIDENCE

5577 Arbor Ln, Coral Gables Fl, 33156

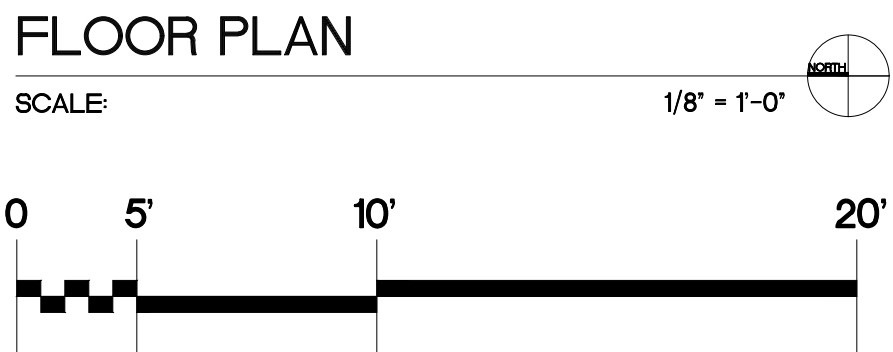
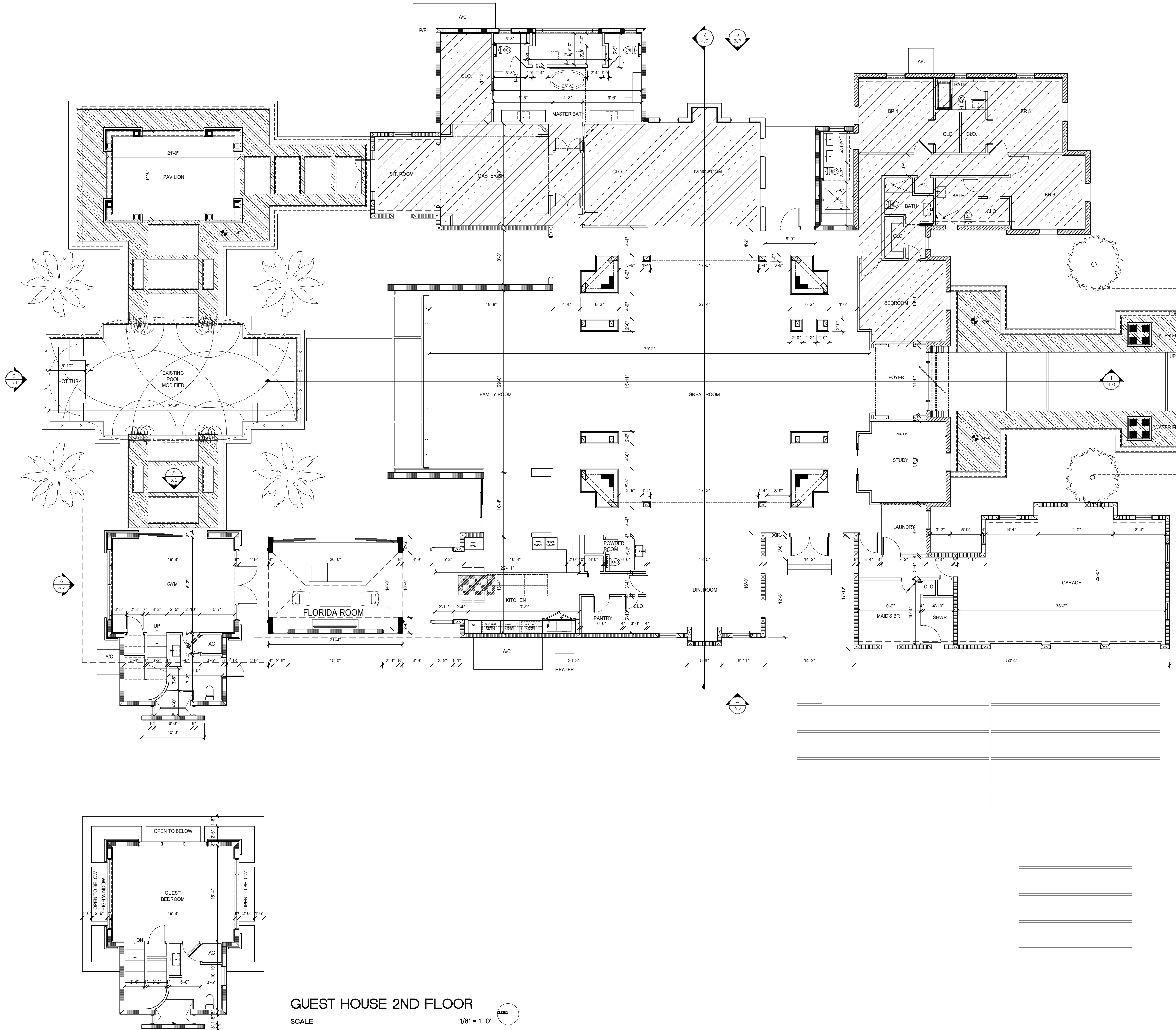
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HAMED RODRIGUEZ ARCHITECT INC.

HAMED RODRIGUEZ ARCHITECT
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A1.1



RQR. SETBACK

GUEST HOUSE 2ND FLOOR

SCALE: 1/8" = 1'-0"

SHEET

COMM. NO.:
ISSUE DATE:
PLOT DATE:
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A2.0

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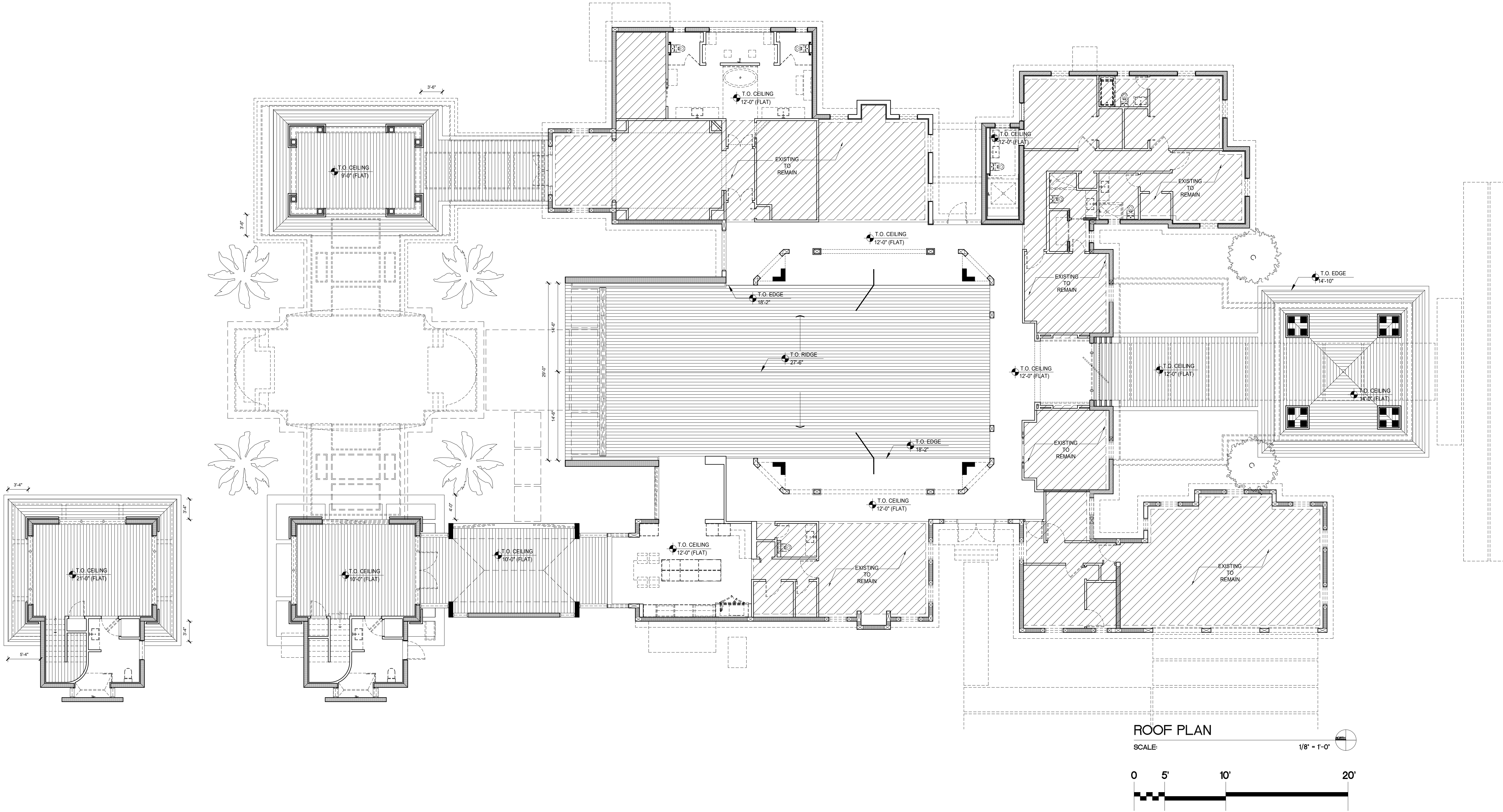
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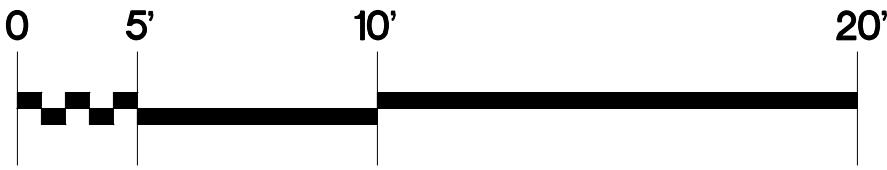
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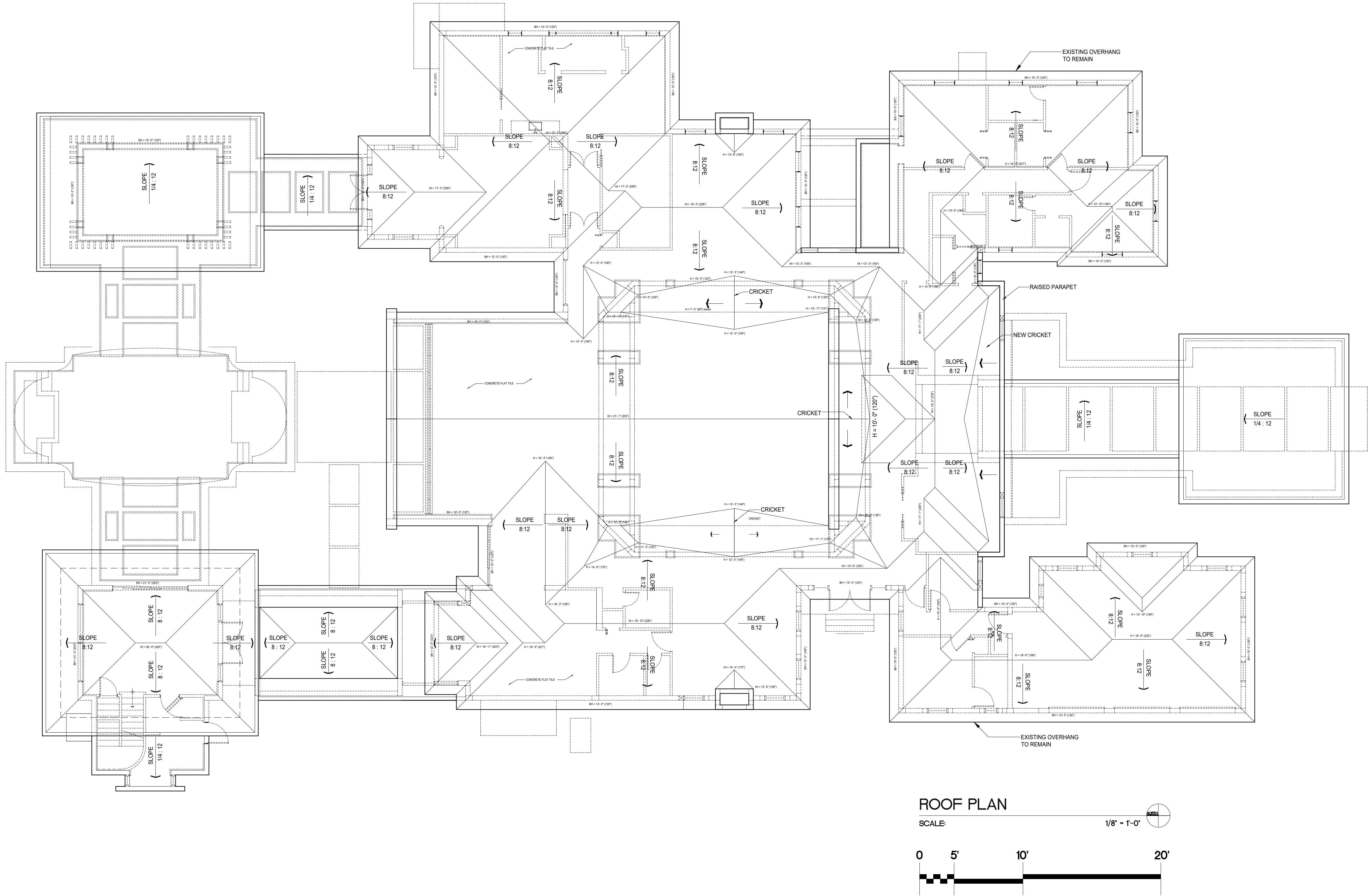


ROOF PLAN

SCALE:

1/8" = 1'-0"





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SCALE:	HRA
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ARCHITECT
AA 30002034

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AS-BUILT FRONT ELEVATION (SOUTH)

SCALE:

3/16" = 1'-0"

1



PROPOSED FRONT ELEVATION (SOUTH)

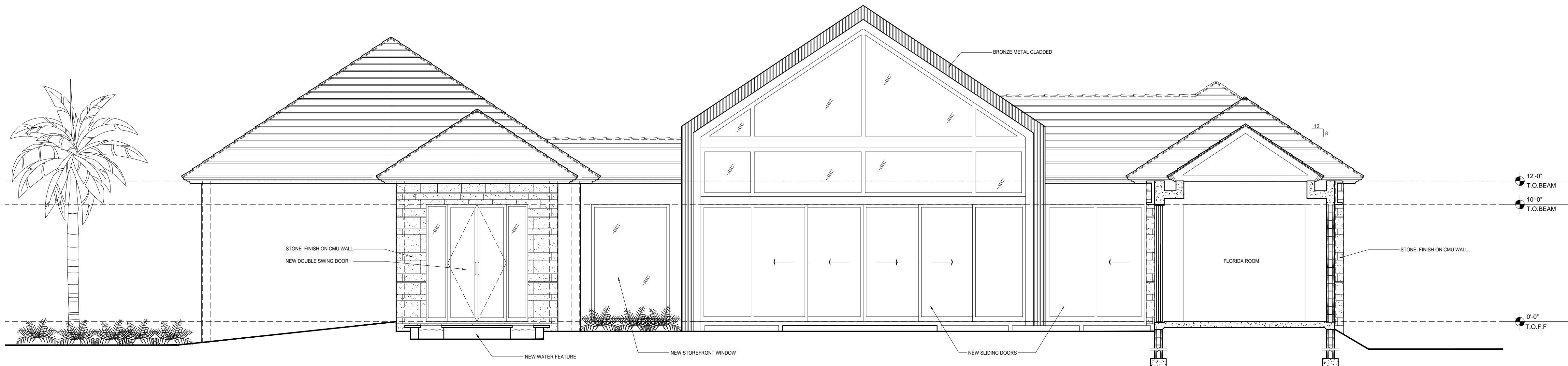
SCALE:

3/16" = 1'-0"

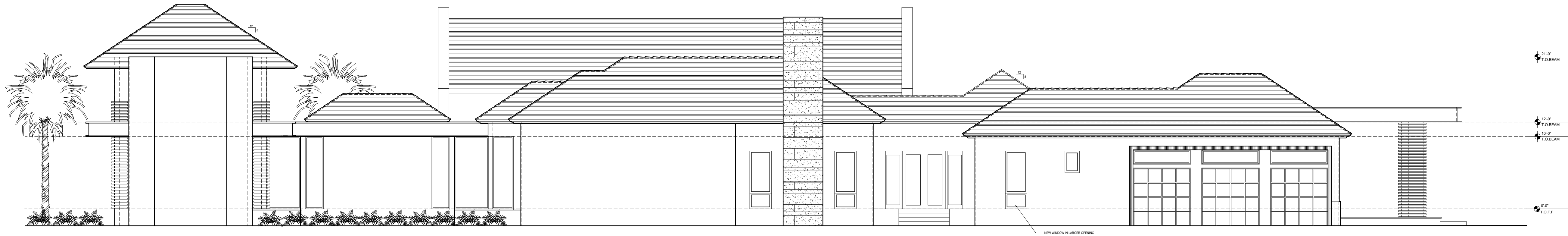
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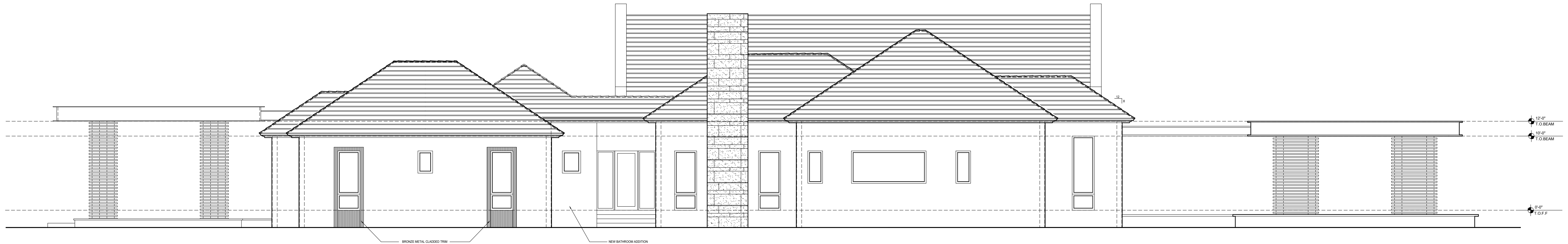
AS-BUILT REAR ELEVATION (NORTH)
SCALE 3/16" = 1'-0" 2



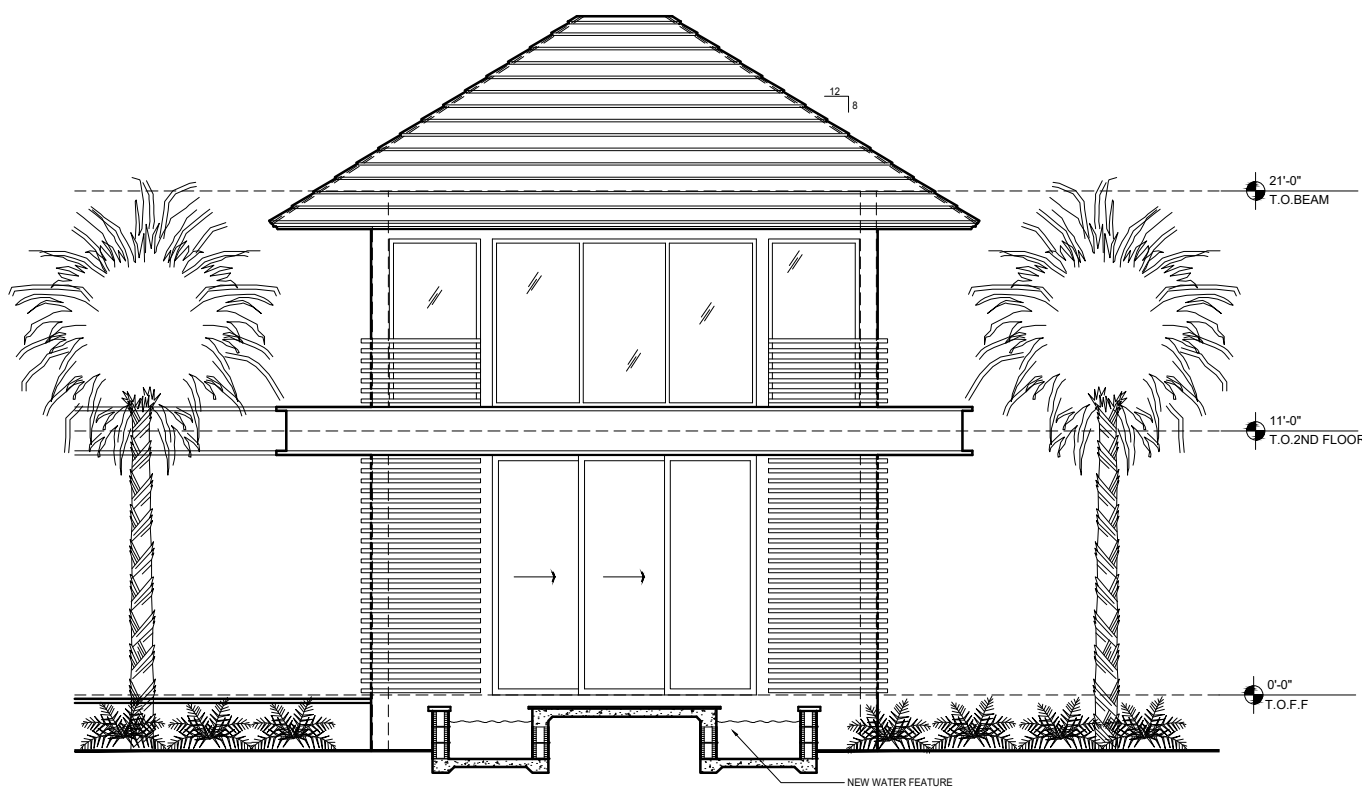
PROPOSED REAR ELEVATION (NORTH)
SCALE 3/16" = 1'-0" 2



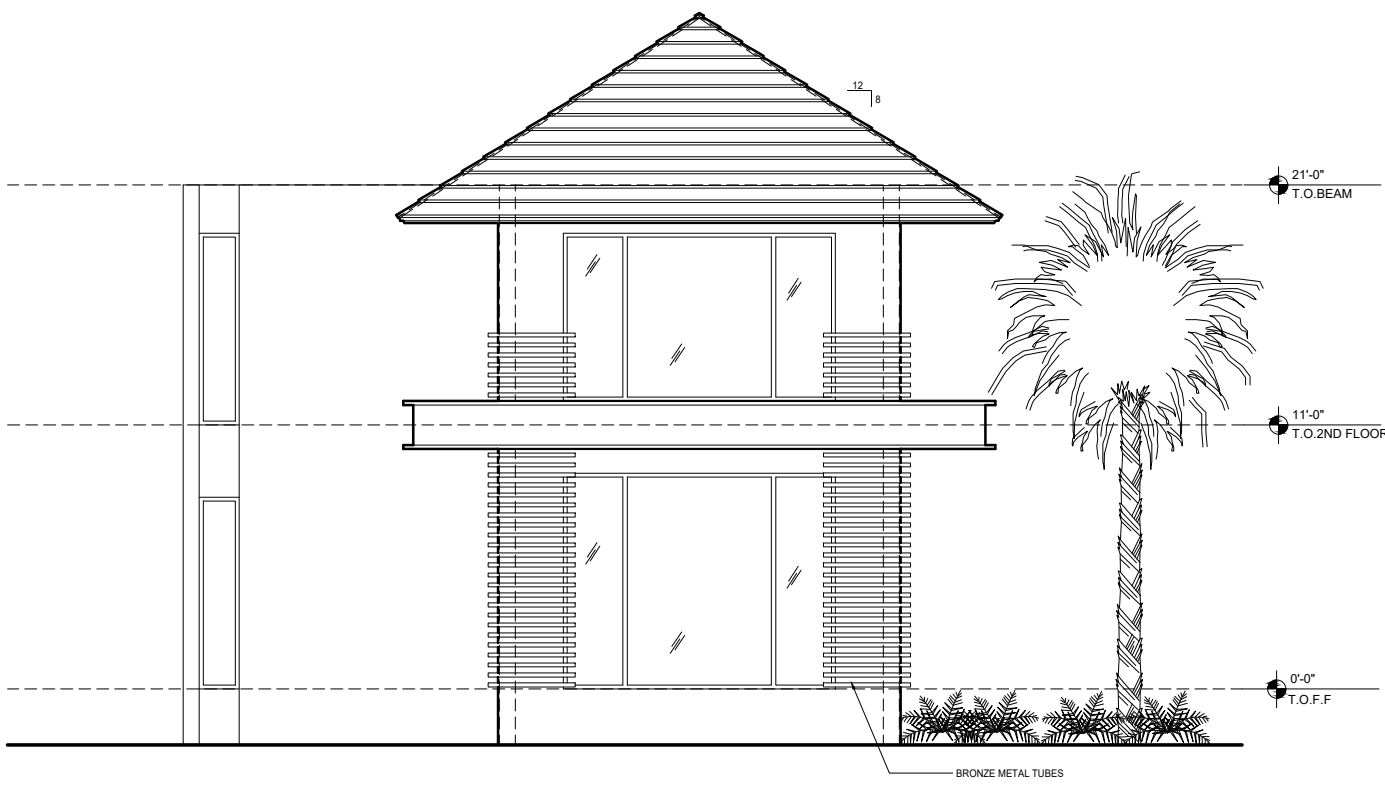
PROPOSED SIDE ELEVATION (WEST)
SCALE



PROPOSED SIDE ELEVATION (EAST)
SCALE



PROPOSED GUEST HOUSE ELEVATION (EAST)
SCALE



PROPOSED GUEST HOUSE ELEVATION (NORTH)
SCALE