

**Architectural Style Statement**

The concept for the proposed remodeling is based on the response of the architectural lines from the existing construction (A). The transition between the new and the existing is achieved through an architectural element defined as a "Portico" (B), which becomes the focal point of the entrance. This "Portico" is created with a new architectural feature wall, which becomes a statement on its own, both for its height and for the usage of a noble cladding material – such as stone. The wall height is greater than the existing top beam, to create a visual bridge between the existing one-story house and the two-story addition. A concrete canopy is used to highlight both the access and the horizontality of the proposed architectural style.

For the two stories addition (C) an architectural volume of pure and simple lines is proposed, recreating cubic architectural style and clean proportions – which is emphasized by using smooth stucco painted in white color. The existing Red Barrel tile will replace with a new flat tile grey color as shown



BOUNDARY SURVEY

PROPERTY ADDRESS  
5815 MAYNADA ST, MIAMI, FL 33145


PREPARED FOR:  
CHRISTIAN A SAPORTA  
DIANA P CABANZO


LEGAL DESCRIPTION:  
LOT 19, 20 AND 20-A BLOCK 147 OF "CORAL GABLES RIVIERA SEC PT 8", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 25 PAGE 55 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

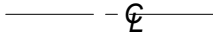
- SURVEYOR'S NOTES:
1. NO UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS. CONTACT APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION.
  2. LEGAL DESCRIPTION WAS PROVIDED BY CLIENT.NO TITLE SEARCH WAS MADE. EXAMINATION OF ABSTRACT OF TITLE MUST BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING PROPERTY BESIDES THOSE NOTED.
  3. NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
  4. TYPE OF SURVEY: TREE SURVEY
  5. RECORD & MEASURED VALUES ARE IN ACCORDANCE UNLESS OTHERWISE IS NOTED.
  6. BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED VALUE OF S02°18'17"E FOR THE WEST LINE OF BLOCK 147 OF "CORAL GABLES RIVIERA SEC PT 8" PLAT BOOK 25 PAGE 55 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA..
  7. THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY
  8. SHOWN ELEVATIONS ARE REFERRED TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929. BENCH MARK USED CG-22, ELEVATION: 11.31' (NATIONAL GEODETIC VERTICAL DATUM 1929).
  9. FIELD WORK DATE: 08.01.2020

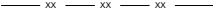
SYMBOLS & ABBREVIATIONS


CBS = CONCRETE BLOCK STRUCTURE; CL = CENTER LINE; CLF = CHAIN LINK FENCE; EOP = EDGE OF PAVEMENT; FND= FOUND; I.D.= IDENTIFICATION; IF = IRON FENCE; IP = IRON PIPE; NAC = NOT ACCESSIBLE CORNER; RB = REBAR; R/W= RIGHT OF WAY; SWK = SIDEWALK; UE = UTILITY EASEMENT


 A/C UNIT

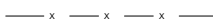
 PALM TREE


 CENTER LINE

 IRON FENCE

 TREE

 WATER PUMP

 CHAIN LINK FENCE

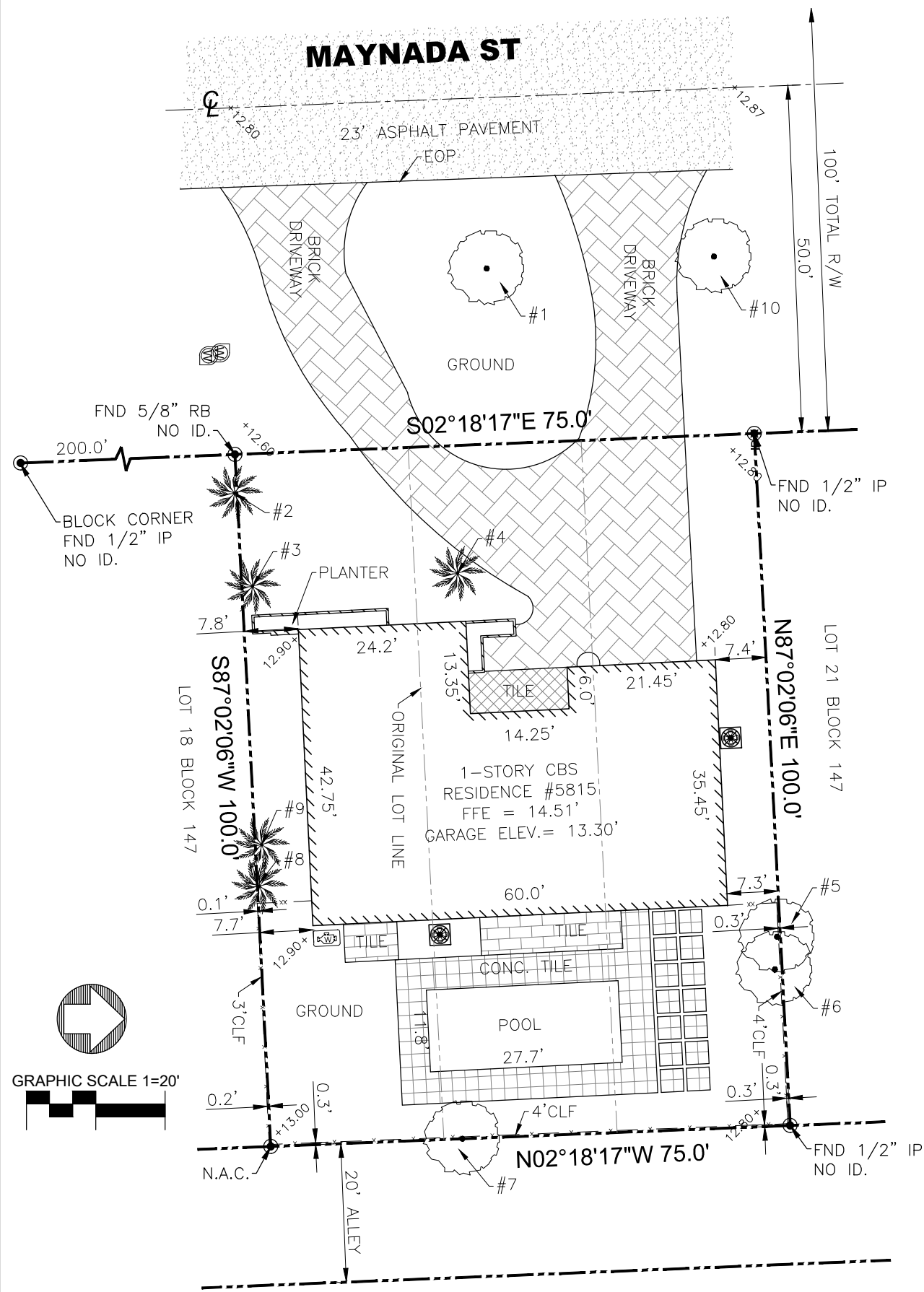
 RIGHT OF WAY LINE

NOTE: SYMBOLS SHOWN IN SURVEY DRAWINGS ARE NOT TO SCALE AND SHALL NOT BE USED TO SIZE SUCH ELEMENTS.

TREE INFORMATION


TREE #	NAME	DBH (INCH)	HEIGHT (FEET)	SPREAD (FEET)	TREE #	NAME	DBH (INCH)	HEIGHT (FEET)	SPREAD (FEET)
1	LIVE OAK TREE	17	35	30	6	LIVE OAK	19	45	30
2	SABAL PALM	12	20	12	7	FICUS BENJAMINA	4	18	10
3	TWO QUEEN PALMS	8 & 7	28	20	8	QUEEN PALM	10	35	20
4	QUEEN PALM	10	30	18	9	QUEEN PALM	8	30	18
5	LIVE OAK TREE	14 & 8	35	25	10	LIVE OAK TREE	18		

TREE INFORMATION WAS PROVIDED BY:  
JOE R. RODRIGUEZ, ARBORCARE INC.  
ISA-CERTIFIED ARBORIST FL- 124A/TRAQ  
LIAF-CERTIFIED LANDSCAPE INSPECTOR #171



**TREE SURVEY**


5815 MAYNADA ST  
MIAMI, FLORIDA 33146  
FOLIO: 03-4130-003-0090



**CARDINAL  
SURVEYORS CO.**

**SURVEYOR'S CERTIFICATE:**

I HEREBY CERTIFY: THAT THE SKETCH OF THIS TREE SURVEY WAS PREPARED UNDER MY SUPERVISION AND THAT MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17.050 OF THE FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 475 OF THE FLORIDA STATUTES AND THAT THE SKETCH THEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SUBJECT TO NOTES AND ANNOTATIONS SHOWN HEREON.



**FERNANDO FERNANDEZ  
PROFESSIONAL SURVEYOR AND MAPPER**

LICENSE LS 6765 STATE OF FLORIDA  
1397 WEST 63 STREET, HIALEAH, FLORIDA 33012  
CELL PHONE (786) 631 7053  
EMAIL: fernandezpsm@gmail.com

Date: 08.02.2020

# Saporta Residence

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5815 Maynada Street Coral Gables

## Color Photos

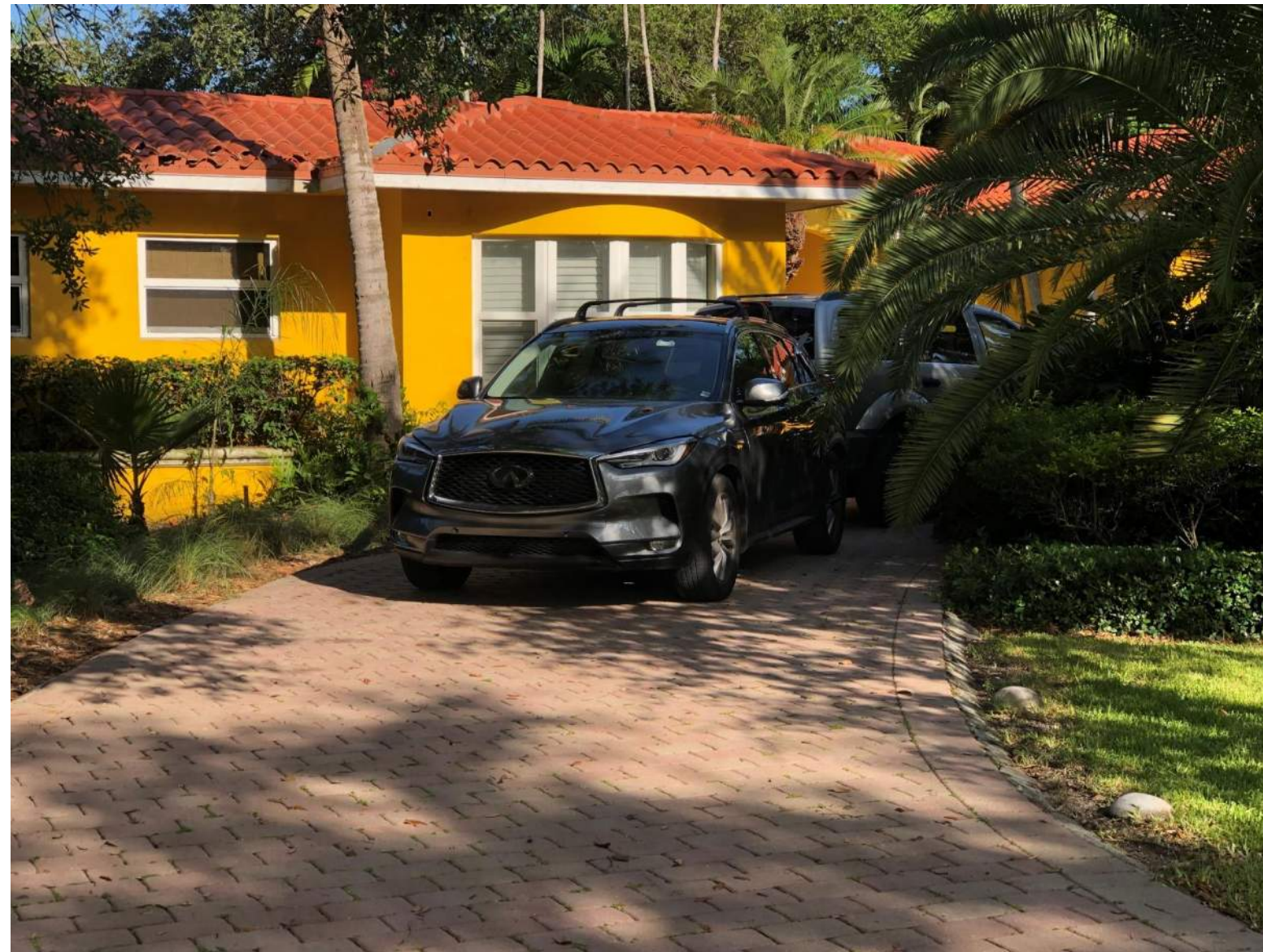
  
ARCHITECT:  
LUIS E. URIARTE  
FLA. REG.# AR 94107  
18100 Atlantic Boulevard  
Suite 506  
Sunny Isle Beach, FL 33160  
Cell: 786.290.9807  
Email: lvuarte@live.com

**IGC** *Plus*  
International Group Consultants  
The Professional Network



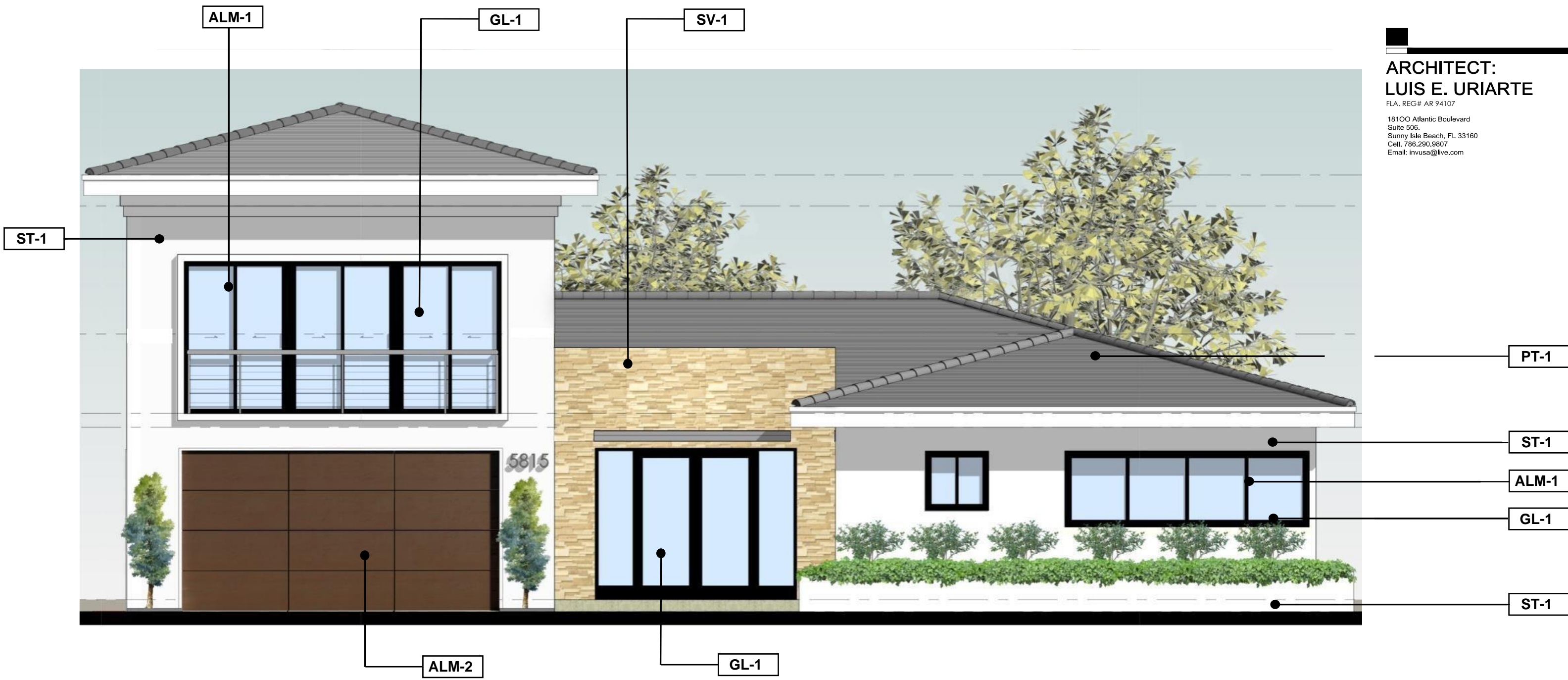








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**ST-1 SMOOTH STUCCO**  
COLOR: SW 6070 HERON  
PLUME BY SHERWIN  
WILLIAMS OR SIMILAR



**PT-1 PAINTED ROOF TILE**  
COLOR: WINDSPRAY BY  
SHIELDCOAT OR SIMILAR



**GL-1 CLEAR GLASS**



**ALM-1 ALUMINUM WINDOW  
FRAME**  
COLOR: BLACK ANODIZED



**SV-1 STONE VENEER**  
COLOR: STACK STONE WALL  
CLADDING



**ALM-2 ALUMINUM GARAGE  
DOOR**  
COLOR: BROWN

PROPOSED EXTERIOR FINISH MATERIALS



BOARD OF ARCHITECTS REVIEW APPLICATION  
SAPORTA RESIDENCE  
REMODELING - ADDITION

5815 MAYNADA STREET  
CORAL GABLES, FL. 33146 -2653

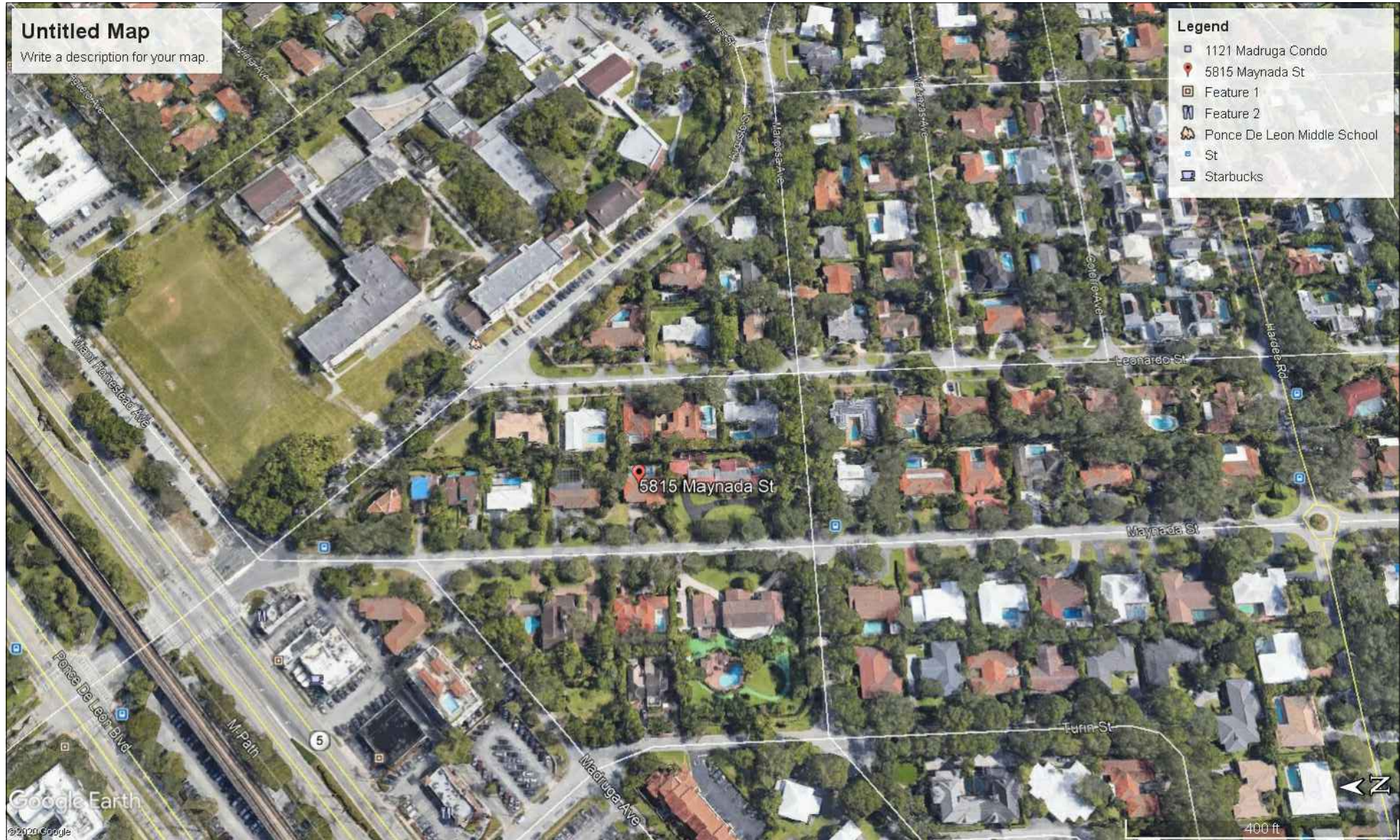
PROPERTY INFORMATION

PROPERTY ADDRESS:	5815 MAYNADA ST. CORAL GABLES, FL. 33146-2653
OWNER:	DIANA P. CABANZO
LEGAL DESCRIPTION:	LOTS 19, 20 & 20-A BLK 147LOT SIZE 75.000 X 100OR 17390-2956 1096 1
FOLIO NO:	03-4130-003-0090
PRIMARY ZONE:	0100 SINGLE FAMILY - GENERAL
PRIMARY LAND USE:	0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
BEDS / BATHS / HALF:	3 / 2 / 0
FLOORS:	1
LIVING UNITS:	1
ACTUAL AREA:	2,292 SQ. FT.
LIVING AREA:	1,760 SQ. FT.
ADJ. SQ. FOOTAGE:	3,682 SQ. FT.
LOT SIZE:	7,500 SQ. FT.
YEAR BUILT:	1954

DRAWING INDEX:

ARCHITECTURAL:

A-0. 00	COVER SHEET , INDEX & LEGAL DESCRIPTION
	BOUNDARY SURVEY PLAN
A-0.01	EXISTING SITE PHOTOS
A-0.02	EXISTING SITE PLAN
A-0.03	EXISTING GROUND LEVEL
A-0.04	EXISTING ROOF PLAN
A-1. 00	PROPOSED SITE PLAN & PROJECT DATA
A-1. 01	PROPOSED GROUND LEVEL
A-1. 02	PROPOSED SECOND LEVEL
A-1.03	PROPOSED ROOF PLAN
A-2. 00	PROPOSED & EXISTING RENDER VIEW
A-3.01	EXISTING & PROPOSED WEST ELEVATION (FRONT ELEVATION)
A-3.02	EXISTING & PROPOSED EAST ELEVATION (REAR ELEVATION)
A-3.03	EXISTING & PROPOSED NORTH & SOUTH ELEVATIONS (SIDE ELEVATIONS)



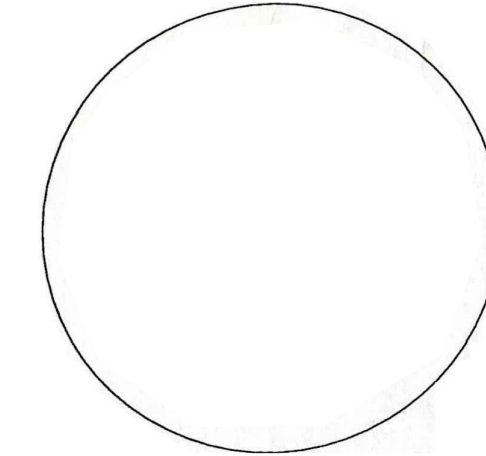
LOCATION MAP



ARCHITECT:  
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SIGN & SEAL



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ALL IDEAS, DESIGNS, ARRANGEMENTS, PLANS, AND SPECIFICATIONS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, LUIS E. URIARTE ARCHITECT AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF THESE IDEAS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, CORPORATION OR FIRM, FOR ANY PURPOSE WHATSOEVER, WITHOUT THE WRITTEN PERMISSION OF LEU ARCHITECT. VISUAL CONTACT WITH THESE PLANS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS OF THE JOB AND LEU ARCHITECT BE NOTIFIED IN WRITING OF ANY VARIATION FROM THE DIMENSIONS, CONDITIONS AND SPECIFICATIONS APPEARING ON THESE PLANS (c) 2021.

**IGC**  
International Group Consultants  
The Professional Network

1508 NE 105 Street Miami Shores,  
Florida 33138  
PH. 786.251.1954

PROJECT IDENTIFICATION

Saporta Residence  
5815 Maynada Street  
Coral Gables  
FL. 33162-2924

ISSUE DATES

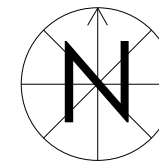
12-20-2020	ZONING COMMENTS
04-30-2021	BUILDING COMMENTS

PROJECT NUMBER	052320-01
DRAWN BY	CL
COPYRIGHT	LEU ARCHITECTS, 2021
DATE :	03.18.2021
SCALE :	NTS
SHEET TITLE	

COVER SHEET

SHEET NUMBER

A- 0.01

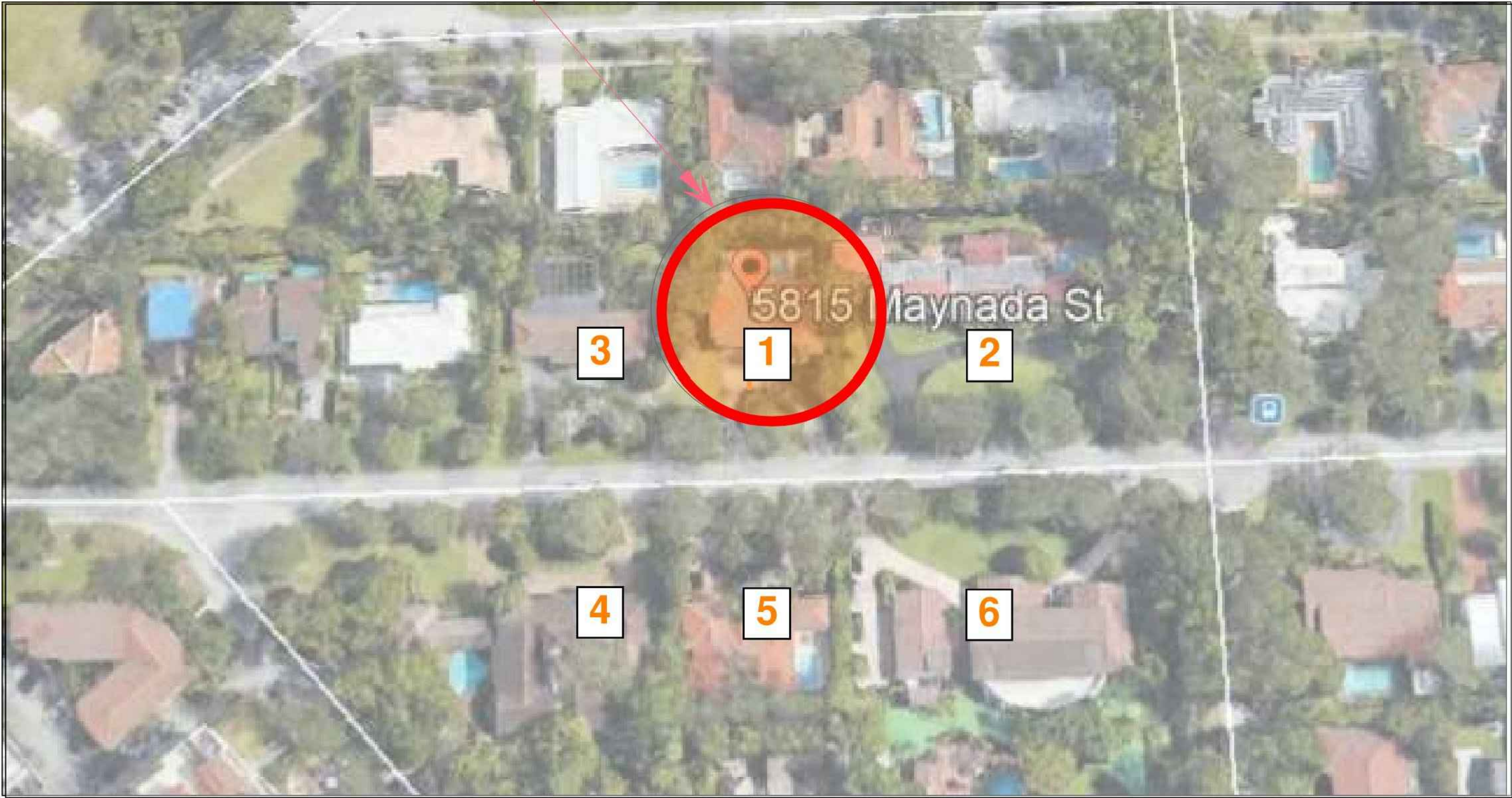






PROJECT SITE - EXISTING STRUCTURE

PROJECT LOCATION

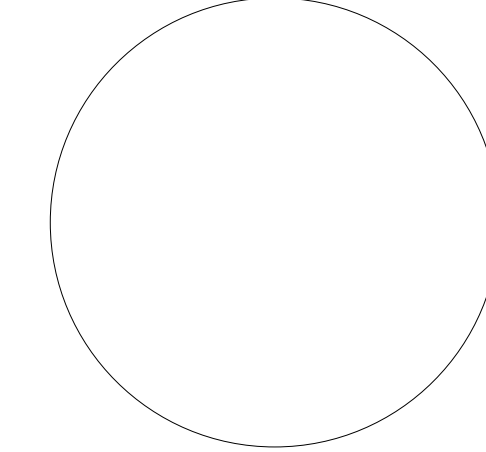


NEIGHBORHOOD STRUCTURES

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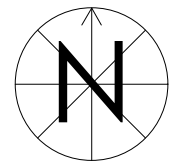
SCALE :

SHEET TITLE

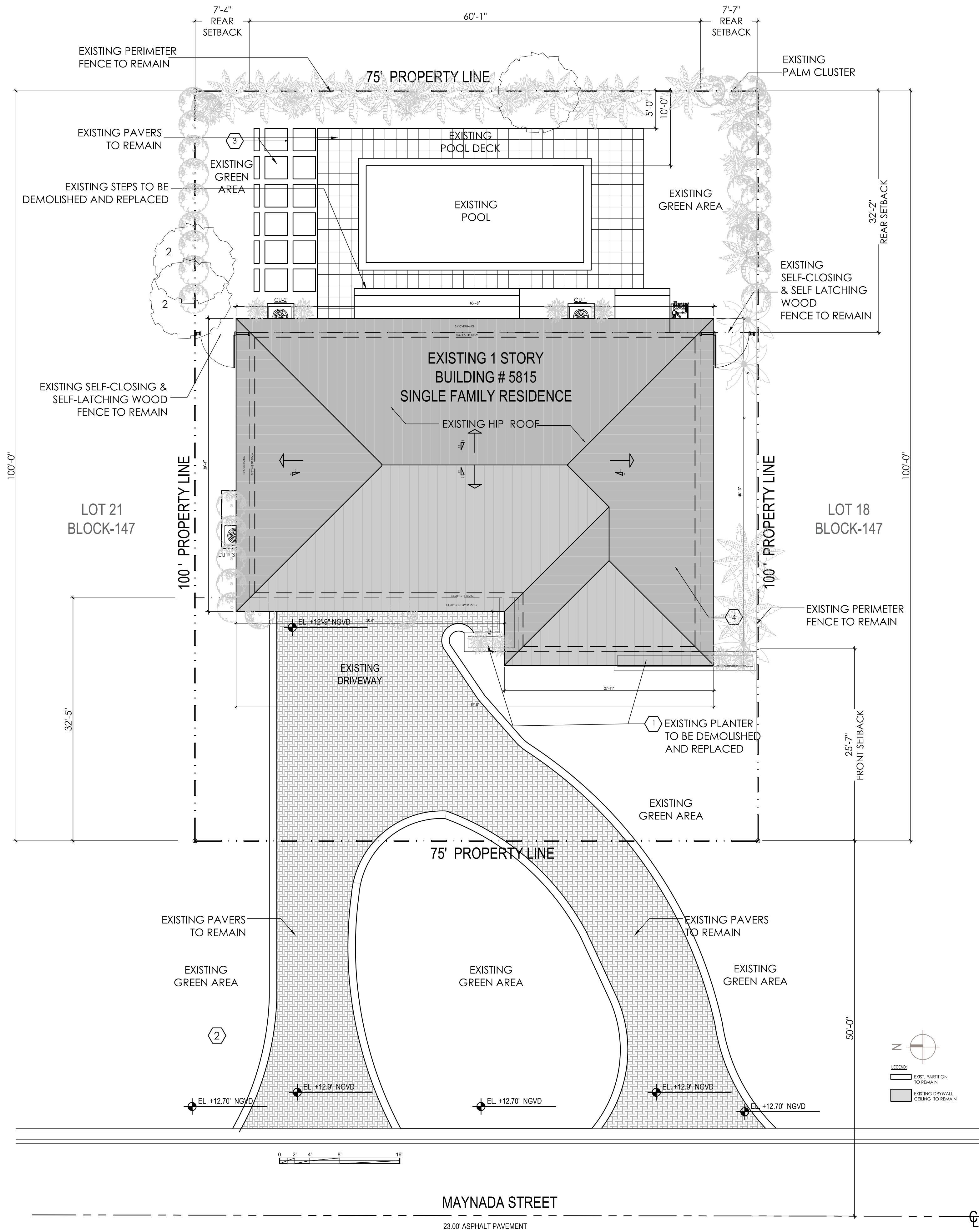
EXISTING SITE PHOTOS

SHEET NUMBER

A- 0.01







**A1** **EXISTING SITE PLAN**  
SCALE: 1/8" = 1'-0"

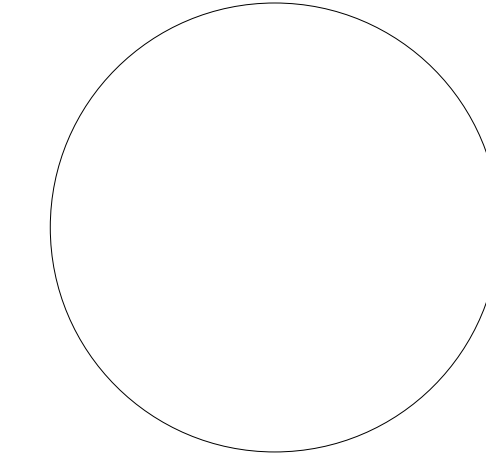
**LEGAL DESCRIPTION**

LOT 19, LOT 20 AND LOT 20-A, IN BLOCK 147,  
OF CORAL GABLES RIVIERA SECTION PART EIGHT,  
ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25,  
PAGE 55, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

**ARCHITECT:**  
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FLA. REG# AR 94107

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ISSUE DATES


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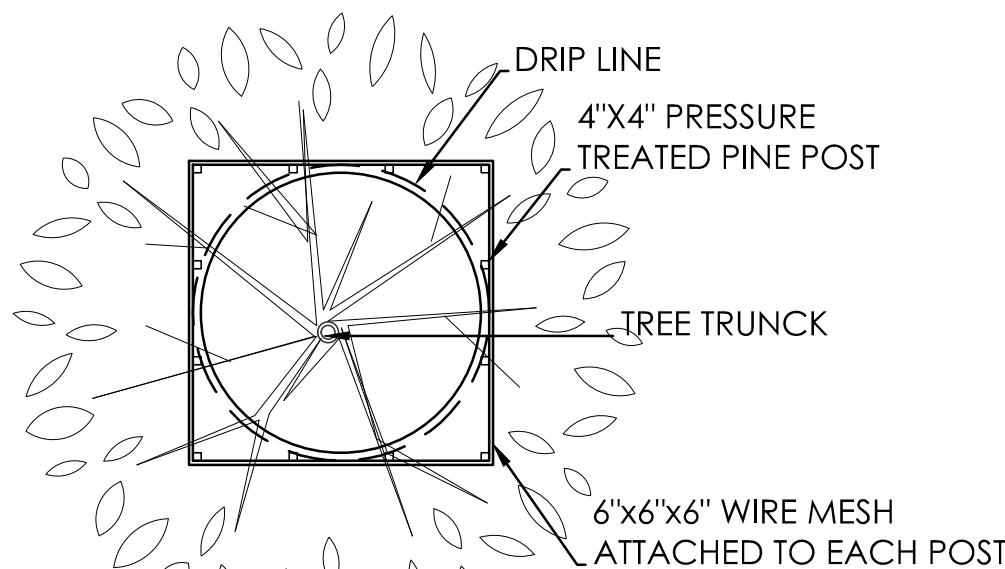
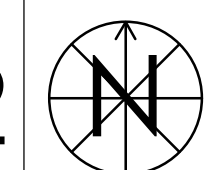
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SHEET TITLE

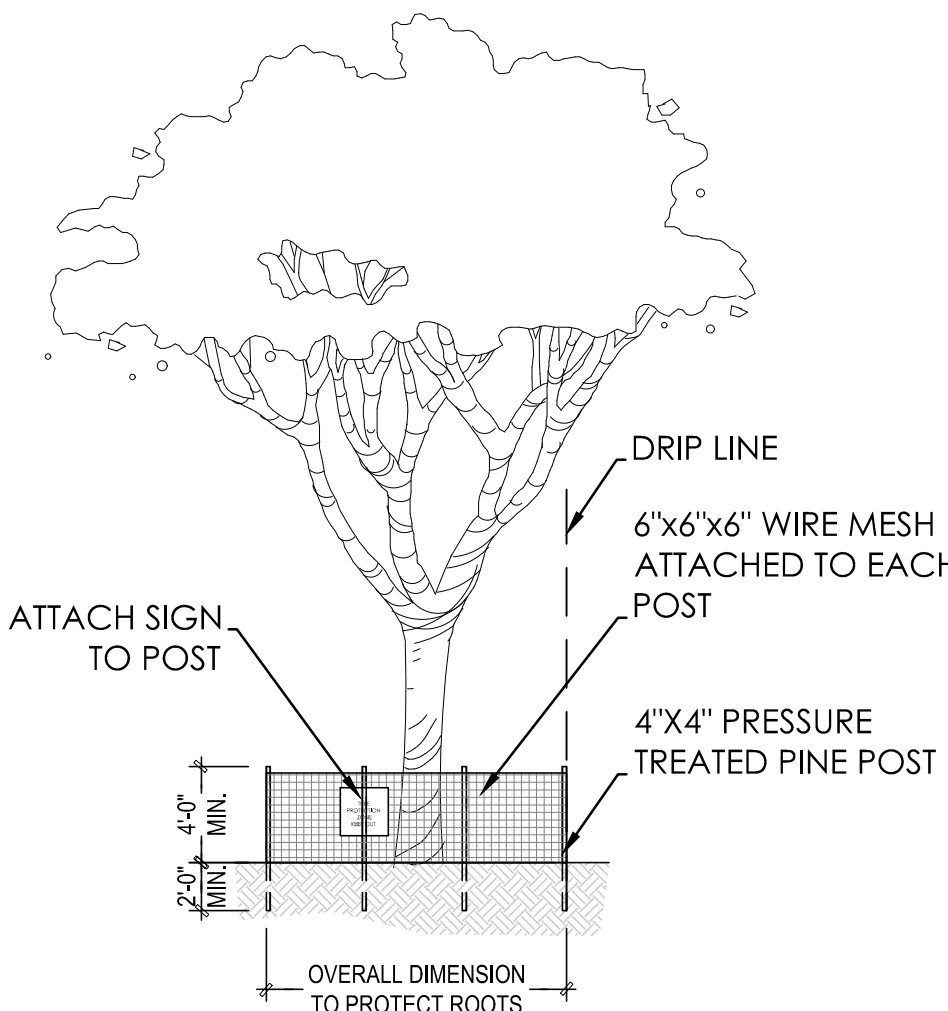
**EXISTING SITE PLAN**

SHEET NUMBER

**A-0.02**



**WOOD BARRIER DETAIL PLAN**



**WIRE MESH BARRIER DETAIL**

**TREE PROTECTION FENCE NOTES:**

1. ALL PLANTS DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING, AS ILLUSTRATED.
2. INSTALL TREE PROTECTION FENCE AT TREE DRIP LINE OR AT EDGE OF DISTURBED AREA, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. SPACE TREE PROTECTION ZONE SIGNS A MINIMUM OF ONE EVERY 300 FEET. THE SIZE OF EACH SIGN MUST CONTAIN THE FOLLOWING LANGUAGE IN BOTH ENGLISH AND SPANISH: "TREE PROTECTION ZONE, KEEP OUT"
4. THERE SHALL BE NO STORAGE OF MATERIAL WITHIN THE BOUNDARIES OF THE TREE PROTECTION FENCING.
5. TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.

**A2**

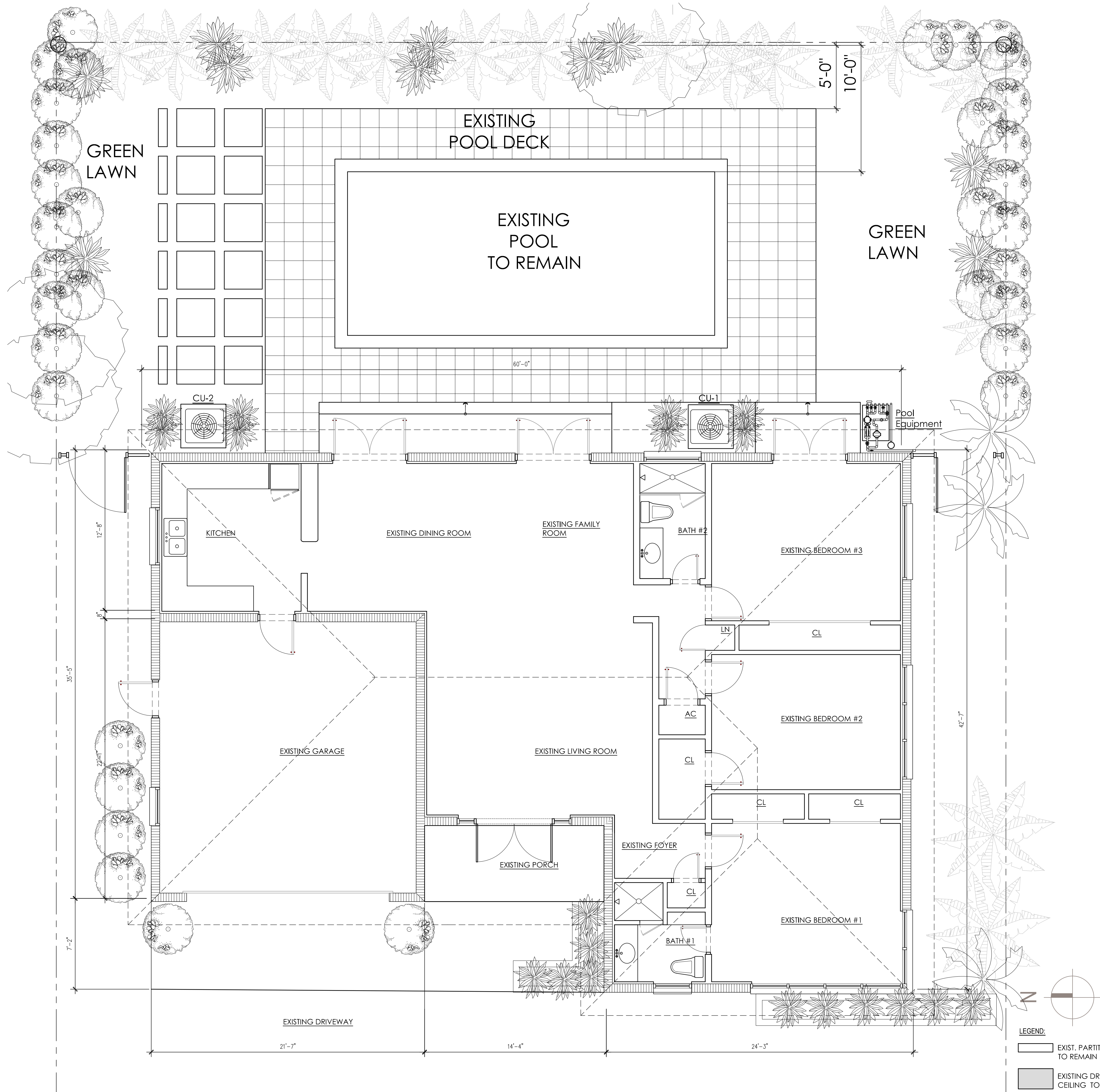
**TREE PROTECTION DETAIL**

N.T.S.

KEY NOTES:

1. EXISTING BUILDING FOOTPRINT (EXTERIOR PERIMETER WALL LINE)
2. EXISTING TREE TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. REFER TO TREE PROTECTION DETAIL. A2/A-0.02
3. PORTION OF ROOF TO BE DEMOLISHED
4. ROOF TILE TO BE REPLACED





A1 **EXISTING GROUND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

NEW CONSTRUCTION NOTES:

- GC AND SUBCONTRACTORS ARE RESPONSIBLE TO REPORT IN WRITING TO DESIGNER OF ANY AND ALL DISCREPANCIES IN PLANS/ DETAILS BEFORE COMMENCEMENT OF WORK
- GC TO COORDINATE DISPOSING OF ALL MATERIALS & DEBRIS
- ALL STRUCTURAL & LOAD BEARING WALLS TO REMAIN
- GC RESPONSIBLE FOR LAYING OUT DIMENSIONS PRIOR TO BUILDING TO ENSURE EXACTNESS
- GC TO PROVIDE LEVEL 4 TO LEVEL 5 FINISH ON ALL EXISTING AND NEW DRYWALL
- ALL DIMENSIONS GIVEN ARE FROM FINISH FACE TO FINISH FACE
- GC TO PATCH, REFINISH, AND REPAIR AS NEEDED IN INTERIOR SPACE, BOTH DUE TO DEMOLITION AND EXISTING CONDITIONS
- GC TO MEET AND/OR EXCEED LOCAL BUILDING CODE REQUIREMENTS; ALSO FOLLOW 'MODEL ENERGY CODE' OR INTERNATIONAL CONSERVATION CODE
- BUILDER TO USE LOCCALLY PRODUCED 'GREEN' BUILDING MATERIALS WHERE POSSIBLE; ALSO USE LOW/NO VOC EMISSION BUILDING PRODUCTS, VERIFY WITH INTERIOR DESIGNER
- NEW WALLS TO BE CONSTRUCTED WITH MIN R-4.1 VALUE FOR INSULATION AND ACOUSTICS IN PLUMBING WALLS; USE MOISTURE RESISTANT USG HUMITEK 5/8" GYPSUM BOARD OVER METAL STUDS AT 16" O.C.
- LOCATION OF INTERIOR PARTITIONS AND ROOM NAMES SHOWN ON THE FLOOR PLAN REFLECT PROPOSED ROOM USES
- ALL GLASS FRAMELESS SHOWER ENCLOSURES (TO BE TEMPERED SAFETY GLASS) AND APPLIED MIRRORS TO BE PROVIDED BY GC--REFER TO SCHEDULE FOR SPECIFICATIONS
- GC TO PROVIDE PROPER CEILING/WALL SUPPORT FOR ALL SHOWER ENCLOSURES, NEW LIGHT FIXTURES WHERE SPECIFIED
- INSTALL NEW PLATES, OUTLETS, SWITCHES, ETC
- ALL FINISHES TO BE SMOOTH, PAINT READY
- ALL WALL FINISHES IN WET AREA TO BE MOUNTED ON WATER RESISTANT CEMENT BOARD
- PAINT WALLS, CEILINGS AND MOLDINGS THROUGHOUT
- INSTALL NEW BASEBOARDS THROUGHOUT
- LOCATION OF INTERIOR PARTITIONS & ROOM NAMES SHOWN ON FLOOR PLAN, REFLECT PROPOSED ROOM USES
- WINDOW SILLS TO REFINISHED WITH DRYWALL AND SQUAREDEDGE
- GC TO REINFORCE WALL WITH 3/4" PLYWOOD WHERE IS INDICATED AND COORDINATED WITH CARPENTER.
- ALL THRESHOLD WILL NOT EXCEED 1/2" MAXIMUMS SHALL COMPLY WITH FBC 2017 5TH EDITION, SECTION 1008.
- PROVIDE WALL TILES IN BATHROOM WET AREAS TO 70" ABOVE FLOOR IN COMPLIANCE WITH FBC § R307 § 1210.3.
- INTERIOR FINISHED FLOOR AT THE REQUIRED EGRESS DOOR SHALL NOT TO BE MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THRESHOLD. FBC 2017 6TH EDITION R311.3.1.

LEGEND:

XXXX	ROOM NAME	XXX	DOOR NUMBER		PLYWOOD
X'-X" AFF	CEILING HEIGHT ABOVE FINISHED FLOOR	X	WINDOW NUMBER		MORTAR
X-X	FINISH INDICATOR	W	WALL TYPE		DRYWALL
XX-XXX	ELEVATION INDICATOR PAGE LOCATION PAGE NUMBER	GC TO REINFORCE WALLS AND COORDINATE WITH CARPENTER			CEMENT BOARD
XX-XXX	SECTION INDICATOR PAGE LOCATION PAGE NUMBER	STONE			AREA OF NEW RAISED FLOOR
		WOOD			NEW WALL / DOOR
					BASE REVEAL

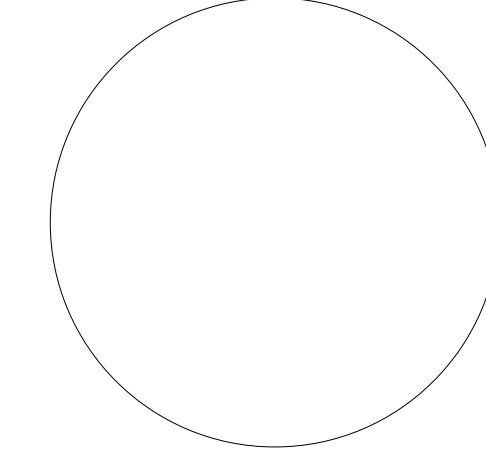
LEGEND:

	OUT OF SCOPE		EXIST. PARTITION TO REMAIN		EXIST. PARTITION TO REMAIN
	NEW C.M.U.		EXIST. PARTITION TO REMAIN		EXIST. PARTITION TO REMAIN
	EXIST. C.M.U. TO REMAIN		WALL TYPE - DETAIL REFER TO A-XXX		EXISTING DRYWALL CEILING TO REMAIN
	NEW PARTITION		WALL TYPE SECTION REFER TO A-XXX		

ARCHITECT:  
LUIS E. URIARTE

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IGC  
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ISSUE DATES


PROJECT NUMBER 052320-01

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DATE: 03.18.2021

SCALE: 1/4" = 1'-0"

SHEET TITLE

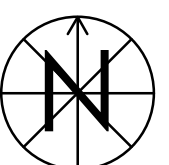
EXISTING  
GROUND FLOOR PLAN

SHEET NUMBER

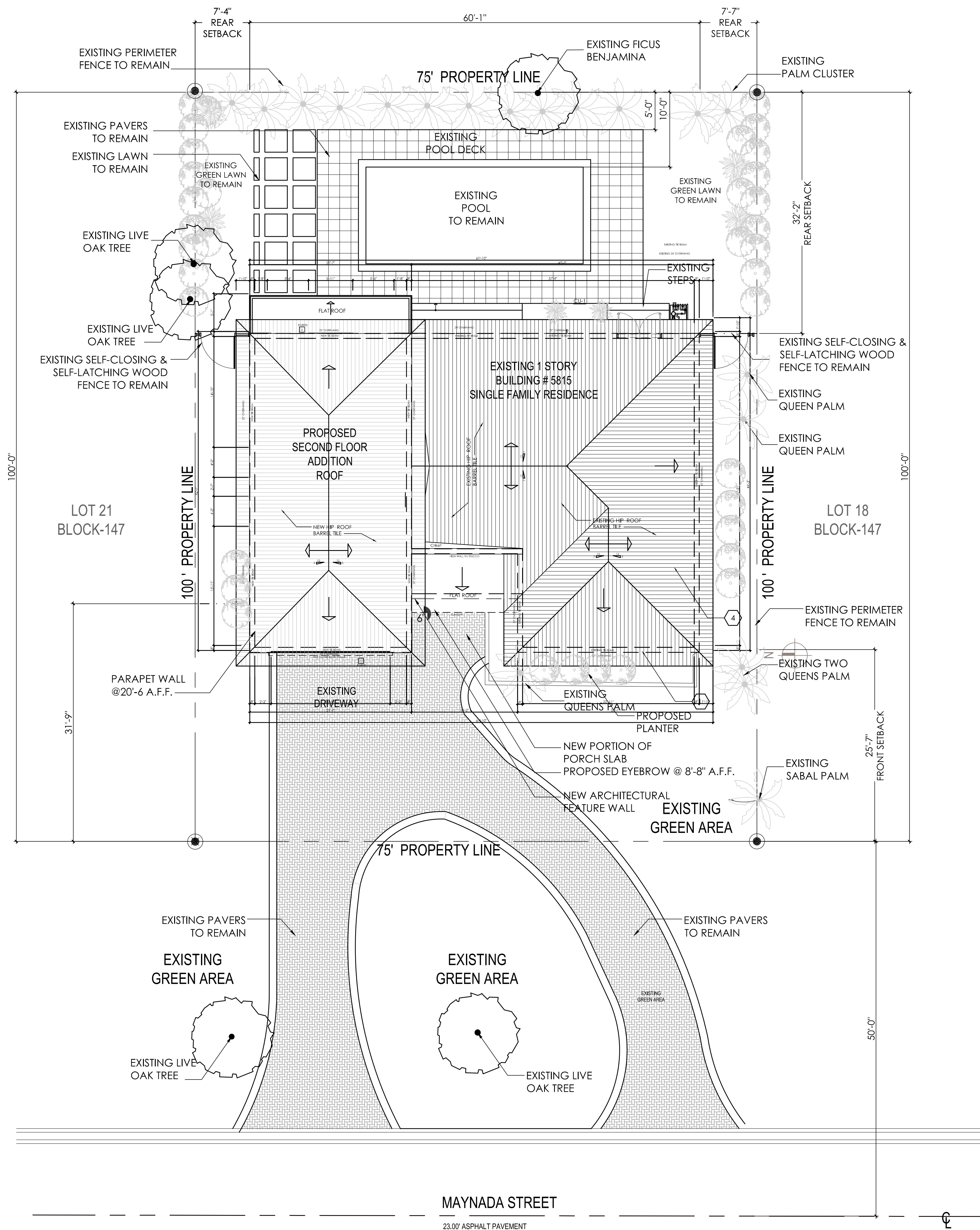
A-0.03





A-0.04 





**A1** PROPOSED SITE PLAN  
SCALE: 1/8" = 1'-0"

**ZONING DATA**

A. CURRENT USE OF PROPERTY	SFR	SFR
B. LAND USE DESIGNATION	SFR - SINGLE-FAMILY	SFR - SINGLE-FAMILY
C. ZONING DESIGNATION / REZONING REQUEST	EXISTING SFR	PROPOSED SFR
D. WATER / WASTEWATER SERVICE PROVIDER	CITY OF CORAL GABLES	
E. SITE AREA / LOT SIZE:	100' X 75' = 7,500 SQ.FT.	
F. FLOOR FOOTPRINT COVERAGE (MAX. OF 35%) ALLOWED 2,625 SQ.FT.	EXISTING 2,213 SQ.FT.	PROPOSED 2,370 SQ.FT.
G. FLOOR AREA RATIO (F.A.R.) CALCULATIONS: 0.438533 FOR BUILDING SITE AREA OF 5,000 SQ.FT. OR LESS MAX. OF 48% ALLOWED: 3,600.00 SQ.FT.	EXISTING 2,270 SQ.FT.	PROPOSED 3,052 SQ.FT.

\*THE DETERMINATION OF A BUILDING'S FLOOR AREA RATIO SHALL EXCLUDE THE FOLLOWING:  
a. THE THICKNESS OF EXTERIOR WALLS, MEASURED FROM THE INTERIOR FACE OF THE STRUCTURE.

H. PARKING REQUIREMENTS	NOT APPLICABLE.	
I. BUILDING HEIGHT ALLOWED: TWO (2) STORIES OR TWENTY-FIVE (25) FEET	EXISTING 1 STORY 14 FEET HEIGHT	PROPOSED (2) STORIES 21 FEET HEIGHT
J. SETBACKS	REQUIRED	PROPOSED
FRONT SETBACK	25 FEET	25 FEET
SIDE SETBACK **	7.5 FEET	7.5 FEET
SIDE SETBACK **	7.5 FEET	7.5 FEET
REAR SETBACK	10 FEET	32.2 FEET
**SIDE SETBACK -20% OF THE TOTAL LOT WIDTH. COMBINE MAX. OF (20) FEET ON BOTH SIDES		

K. LANDSCAPE REQUIREMENTS		
OPEN SPACE CALCULATIONS	EXISTING	PROPOSED
BUILDING FOOTPRINT AREA:	2,213.00 SQ.FT.	2,370.00 SQ.FT.
DRIVEWAYS, WALKWAYS, POOL DECK	1,762.50 SQ.FT.	1,879.00 SQ.FT.
TOTAL IMPERVIOUS AREA:	3,975.50 SQ.FT.	4,249.00 SQ.FT.
OPEN SPACE (TOTAL PERVIOUS AREA):	3,524.50 SQ.FT.	3,251.00 SQ.FT.

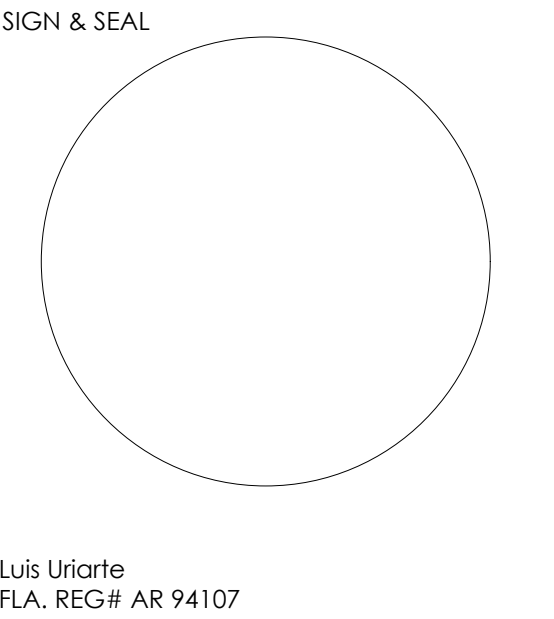
LANDSCAPE OPEN SPACE ALL BUILDING SITES SHALL PROVIDE LANDSCAPED OPEN SPACE OF NO LESS THAN 40% OF THE AREA OF THE BUILDING SITE.  
**3,000 SQ.FT. MIN REQUIRED - 3,251.00 SQ.FT. PROVIDED**

L. OPEN SPACE FRONT YARD		
20% MINIMUM LANDSCAPE REQUIREMENT (3,000 x 20%)		
<b>600 SQ.FT. MIN REQUIRED - 1,122.5 SQ.FT. PROVIDED</b>		
	EXISTING	PROPOSED
DRIVEWAY (IMPERVIOUS AREA)	1,056.0 SQ.FT.	953.5 SQ.FT.
OPEN SPACE (LANDSCAPE AREA)	1,276.0 SQ.FT.	1,122.5 SQ.FT.
FRONT YARD AREA (25' X 75')	1,875 SQ.FT.	1,875.0 SQ.FT.

- M. APPLICABLE CODES
- (a) FLORIDA BUILDING CODE, 6TH EDITION (F.B.C. 2017) RESIDENTIAL
  - (b) FLORIDA FIRE PREVENTION CODE, 6TH EDITION (F.F.P.C. 2017) W / LOCAL AMENDMENTS.
  - (c) CITY OF CORAL GABLES ZONING CODE .
- OCCUPANCY CLASSIFICATION (FBC SEC. 310): RESIDENTIAL R-3.
- TYPE OF CONSTRUCTION (FBC SEC. 601 TABLE 601): TYPE IIIA CONSTRUCTION NOT SPRINKLER
- NUMBER OF STORIES (F.B.C. SECTION503 TABLE 504.3 & TABLE 504.4): MAX. HEIGHT ALLOWED 65 FT. - 4 STORIES
- BUILDING HEIGHT : 21'-0" A.F.F. ADDITION

<b>A2</b> CODE DATA	N.T.S.
KEY NOTES:	
(1) EXISTING BUILDING FOOTPRINT (EXTERIOR PERIMETER WALL LINE)	
(2) EXISTING TREE TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. REFER TO TREE PROTECTION DETAIL. A2/A-0.02	
(3) PORTION OF ROOF TO BE DEMOLISHED	
(4) ROOF TILE TO BE REPLACED	

**ARCHITECT:**  
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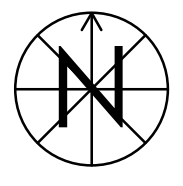
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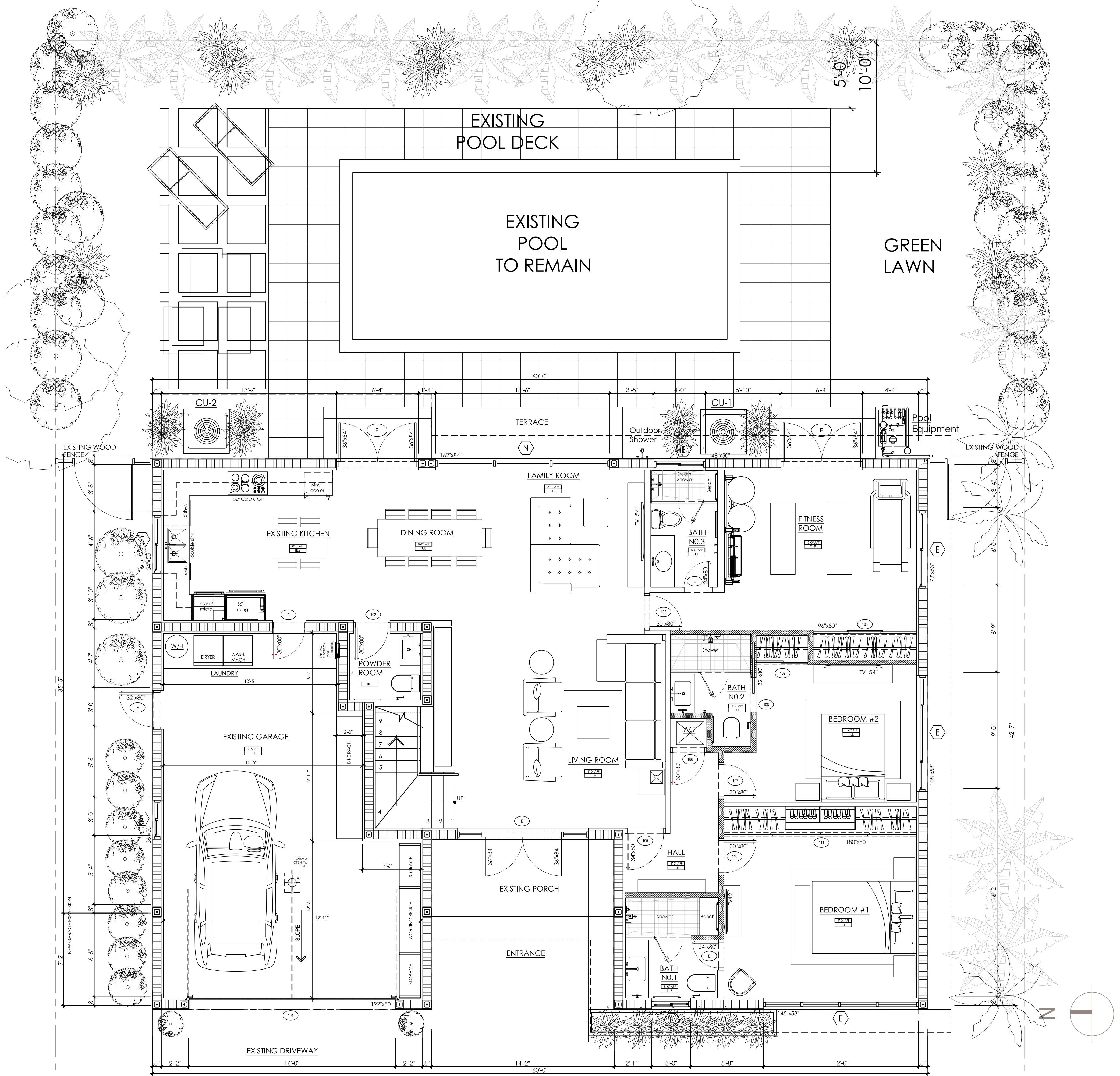
PROJECT IDENTIFICATION  
**Saporta Residence**  
**5815 Maynada Street**  
**Coral Gables**  
**FL. 33162-2924**

ISSUE DATES		

PROJECT NUMBER	052320-01
DRAWN BY	CL
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DATE :	03.18.2021
SCALE :	1/8" = 1'-0"
SHEET TITLE	PROPOSED SITE PLAN
SHEET NUMBER	A-1.00







**A1** PROPOSED GROUND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

NEW CONSTRUCTION NOTES:

- GC AND SUBCONTRACTORS ARE RESPONSIBLE TO REPORT IN WRITING TO DESIGNER OF ANY AND ALL DISCREPANCIES IN PLANS/ DETAILS BEFORE COMMENCEMENT OF WORK
- GC TO COORDINATE DISPOSING OF ALL MATERIALS & DEBRIS
- ALL STRUCTURAL & LOAD BEARING WALLS TO REMAIN
- GC RESPONSIBLE FOR LAYING OUT DIMENSIONS PRIOR TO BUILDING TO ENSURE EXACTNESS
- GC TO PROVIDE LEVEL 4 TO LEVEL 5 FINISH ON ALL EXISTING AND NEW DRYWALL
- ALL DIMENSIONS GIVEN ARE FROM FINISH FACE TO FINISH FACE
- GC TO PATCH, REFINISH, AND REPAIR AS NEEDED IN INTERIOR SPACE, BOTH DUE TO DEMOLITION AND EXISTING CONDITIONS
- GC TO MEET AND/OR EXCEED LOCAL BUILDING CODE REQUIREMENTS; ALSO FOLLOW 'MODEL ENERGY CODE' OR INTERNATIONAL CONSERVATION CODE
- BUILDER TO USE LOCCALLY PRODUCED 'GREEN' BUILDING MATERIALS WHERE POSSIBLE; ALSO USE LOW/NO VOC EMISSION BUILDING PRODUCTS, VERIFY WITH INTERIOR DESIGNER
- NEW WALLS TO BE CONSTRUCTED WITH MIN R-4.1 VALUE FOR INSULATION AND ACOUSTICS IN PLUMBING WALLS; USE MOISTURE RESISTANT USG HUMITEK 5/8" GYPSUM BOARD OVER METAL STUDS AT 16" O.C.
- LOCATION OF INTERIOR PARTITIONS AND ROOM NAMES SHOWN ON THE FLOOR PLAN REFLECT PROPOSED ROOM USES
- ALL GLASS FRAMELESS SHOWER ENCLOSURES (TO BE TEMPERED SAFETY GLASS) AND APPLIED MIRRORS TO BE PROVIDED BY GC--REFER TO SCHEDULE FOR SPECIFICATIONS
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- INSTALL NEW PLATES, OUTLETS, SWITCHES, ETC
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- PAINT WALLS, CEILINGS AND MOLDINGS THROUGHOUT
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- WINDOW SILLS TO REFINISHED WITH DRYWALL AND SQUARED EDGE
- GC TO REINFORCE WALL WITH 3/4" PLYWOOD WHERE IS INDICATED AND COORDINATED WITH CARPENTER.
- ALL THRESHOLD WILL NOT EXCEED 1/2" MAXIMUMS SHALL COMPLY WITH FBC 2017 5TH EDITION, SECTION 1008.
- PROVIDE WALL TILES IN BATHROOM WET AREAS TO 70" ABOVE FLOOR IN COMPLIANCE WITH FBC § R307 § 1210.3.
- INTERIOR FINISHED FLOOR AT THE REQUIRED EGRESS DOOR SHALL NOT TO BE MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THRESHOLD. FBC 2017 6TH EDITION R311.3.1.

LEGEND:			
XXXX	ROOM NAME	XXX	DOOR NUMBER
X-3" AFF	CEILING HEIGHT ABOVE FINISHED FLOOR	X	WINDOW NUMBER
X-X	FINISH INDICATOR	W	WALL TYPE
XX-XXX	ELEVATION INDICATOR PAGE LOCATION PAGE NUMBER	GC TO REINFORCE WALLS AND COORDINATE WITH CARPENTER	CONCRETE
XX-XXX	SECTION INDICATOR PAGE LOCATION PAGE NUMBER	STONE	WOOD
		PLYWOOD	MORTAR
		DRYWALL	CEMENT BOARD
		AREA OF NEW RAISED FLOOR	NEW WALL / DOOR
			BASE REVEAL

LEGEND:		
OUT OF SCOPE	EXIST. PARTITION TO REMAIN	EXIST. PARTITION TO REMAIN
NEW C.M.U.	WALL TYPE - DETAIL REFER TO A-XXX	EXISTING DRYWALL CEILING TO REMAIN
EXIST. C.M.U. TO REMAIN	WALL TYPE SECTION REFER TO A-XXX	
NEW PARTITION		

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PROJECT NUMBER 052320-01

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DATE: 03.18.2021

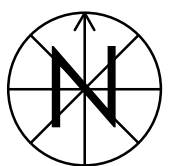
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SHEET TITLE

PROPOSED  
GROUND FLOOR PLAN

SHEET NUMBER

A-1.01



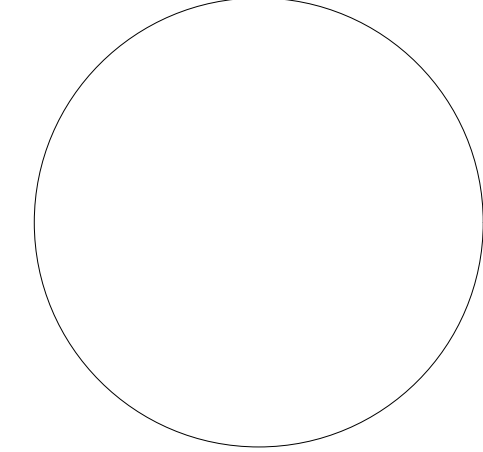




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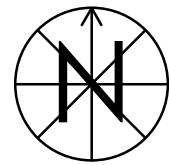
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SHEET TITLE

PROPOSED  
SECOND FLOOR PLAN

SHEET NUMBER

A-1.02



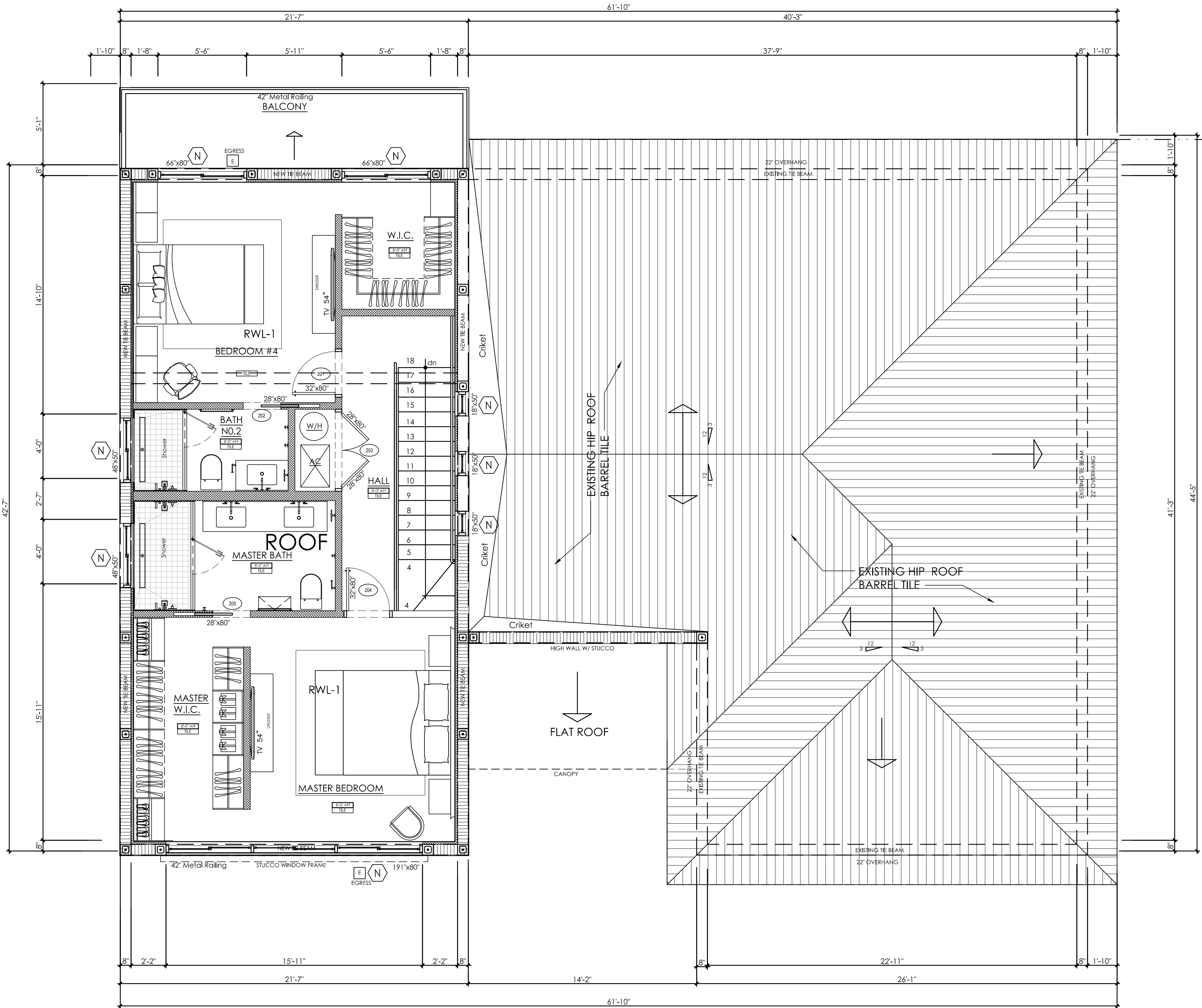
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### LEGEND:

XXXX	ROOM NAME	XXX	DOOR NUMBER		PLYWOOD
X-X AFF	CEILING HEIGHT ABOVE FINISHED FLOOR	X	WINDOW NUMBER		MORTAR
X-X	FINISH INDICATOR	X	WALL TYPE		DRYWALL
XX	ELEVATION INDICATOR		GC TO REINFORCE WALLS AND COORDINATE WITH CARPENTER		CEMENT BOARD
XX-XXX	PAGE LOCATION PAGE NUMBER		CONCRETE		AREA OF NEW RAISED FLOOR
XX	SECTION INDICATOR		STONE		NEW WALL / DOOR
XX-XXX	PAGE LOCATION PAGE NUMBER		WOOD		BASE REVEAL

LEGEND:	OUT OF SCOPE	EXIST. PARTITION TO REMAIN	EXIST. PARTITION TO REMAIN
	NEW C.M.U.	WALL TYPE DETAIL REFER TO A-XXX	EXISTING DRYWALL CEILING TO REMAIN
	EXIST. C.M.U. TO REMAIN	WALL TYPE SECTION REFER TO A-XXX	
	NEW PARTITION		



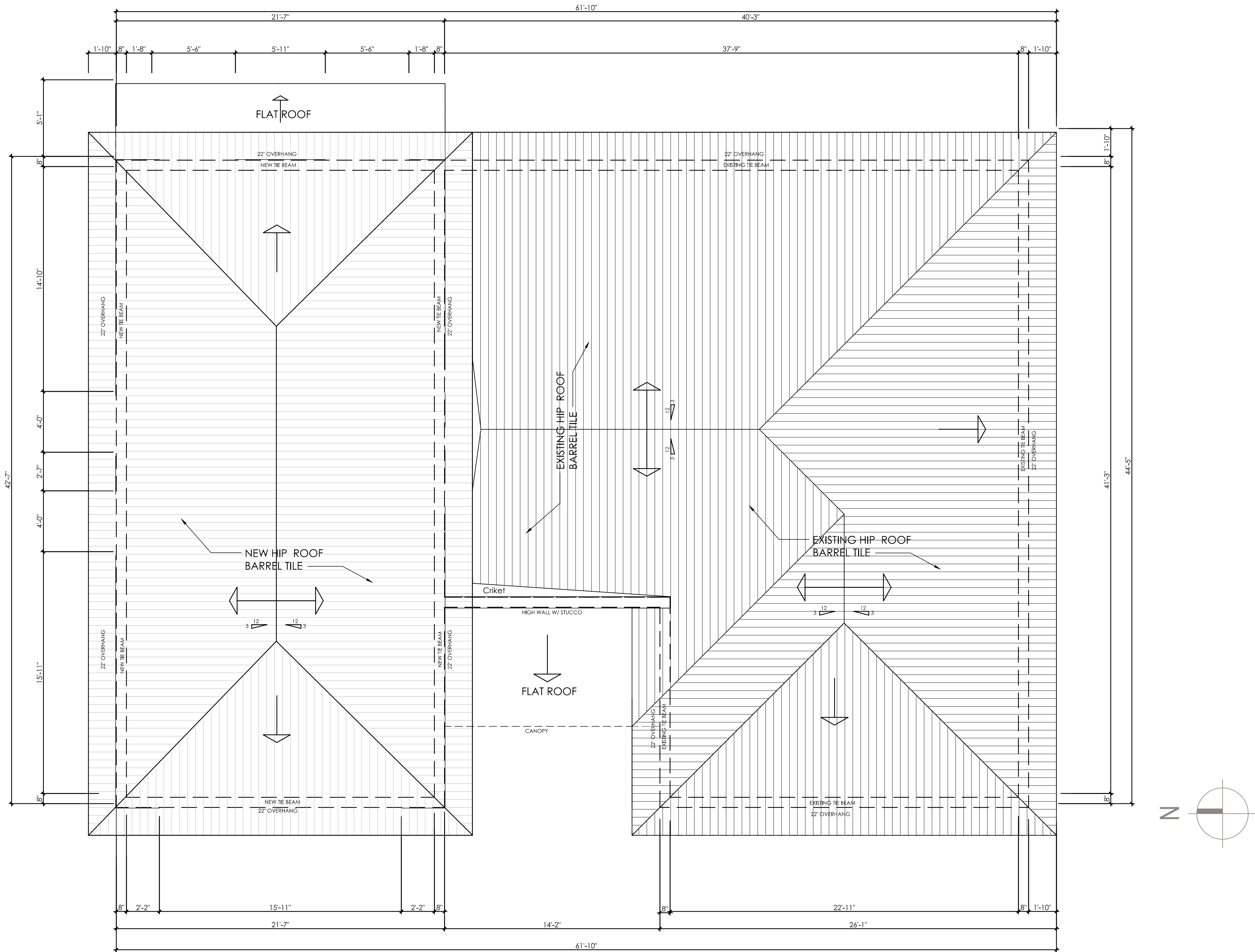
A1

## PROPOSED SECOND FLOOR PLAN

SCALE : 1/4" = 1'-0"



A1 PROPOSED ROOF FLOOR PLAN  
SCALE: 1/4" = 1'-0"



NEW CONSTRUCTION NOTES:

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LEGEND:			
XXXX	ROOM NAME	XXX	DOOR NUMBER
X-X' AFF	CEILING HEIGHT ABOVE FINISHED FLOOR	X	WINDOW NUMBER
X-X	FINISH INDICATOR	W	WALL TYPE
XX	ELEVATION INDICATOR	GC TO REINFORCE WALLS AND COORDINATE WITH CARPENTER	
XX-XXX	PAGE LOCATION PAGE NUMBER	CONCRETE	
XX	SECTION INDICATOR	STONE	
XX-XXX	PAGE LOCATION PAGE NUMBER	WOOD	
		PLYWOOD	
		MORTAR	
		DRYWALL	
		CEMENT BOARD	
		AREA OF NEW RAISED FLOOR	
		NEW WALL / DOOR	
		BASE REVEAL	

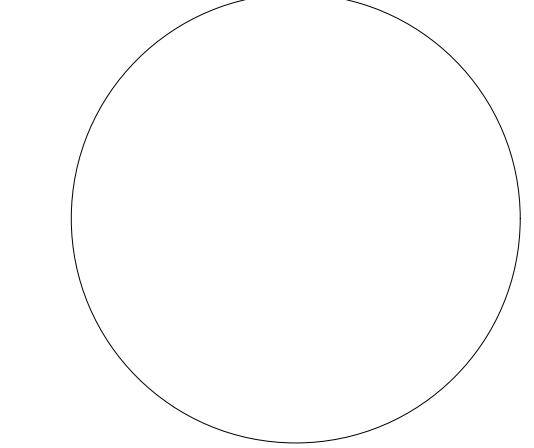
LEGEND:			
OUT OF SCOPE	EXIST. PARTITION TO REMAIN	EXIST. PARTITION TO REMAIN	
NEW C.M.U.	WALL TYPE DETAIL REFER TO A-XXX	EXISTING DRYWALL CEILING TO REMAIN	
EXIST. C.M.U. TO REMAIN	WALL TYPE SECTION REFER TO A-XXX		
NEW PARTITION			



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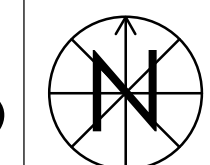
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SHEET TITLE

PROPOSED  
ROOF PLAN

SHEET NUMBER

A-1.03







Existing View - 1



Existing View - 2



Proposed View - 1

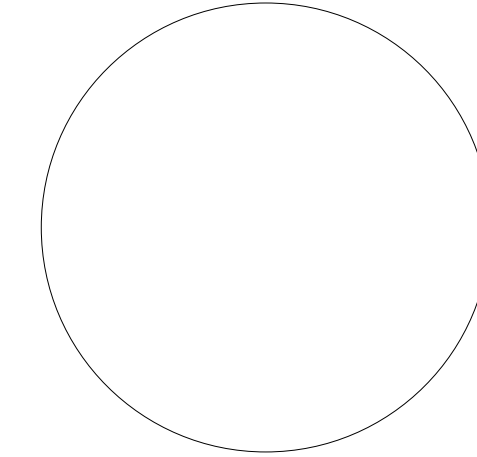


Proposed View - 2

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International Group Consultants  
The Professional Network

1508 NE 105 Street Miami Shores,  
Florida 33138  
PH. 786.251.1954

PROJECT IDENTIFICATION

Saporta Residence  
5815 Maynada Street  
Coral Gables  
FL. 33162-2924

ISSUE DATES


PROJECT NUMBER 052320-01

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DATE : 03.18.2021

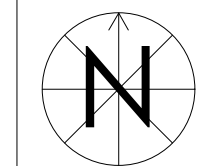
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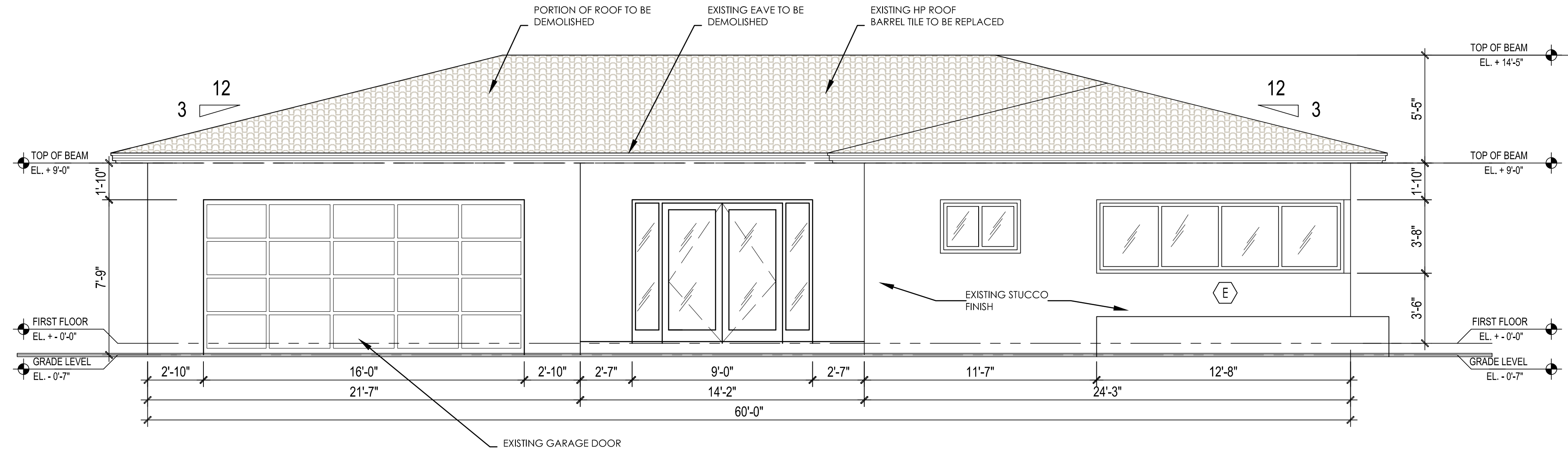
EXISTING & PROPOSED  
RENDER VIEWS

SHEET NUMBER

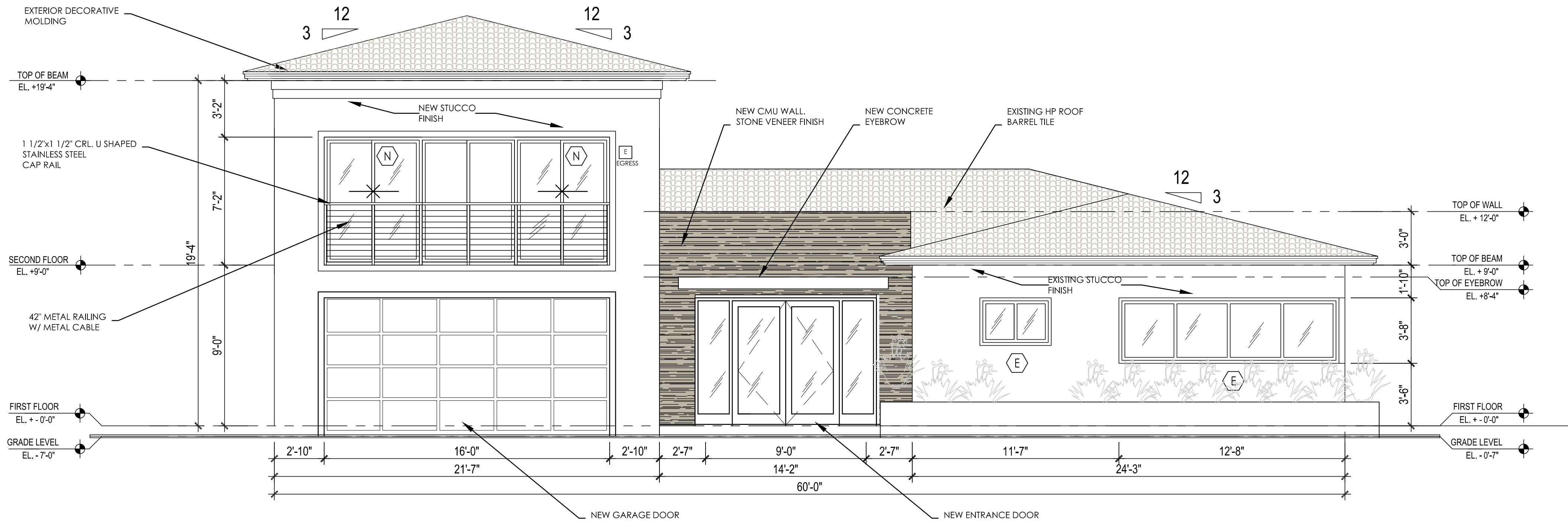
A- 2.00







1 EXISTING WEST ELEVATION  
SCALE: 1/4" = 1'-0"

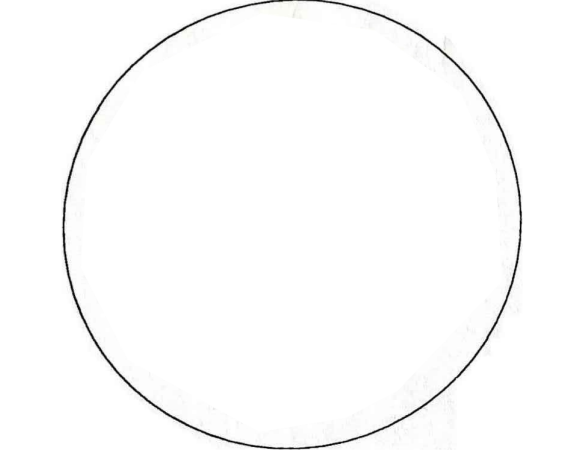


2 PROPOSED WEST ELEVATION  
SCALE: 1/4" = 1'-0"

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ISSUE DATES

12-20-2020	ZONING COMMENTS
04-30-2021	BUILDING COMMENTS

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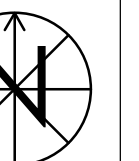
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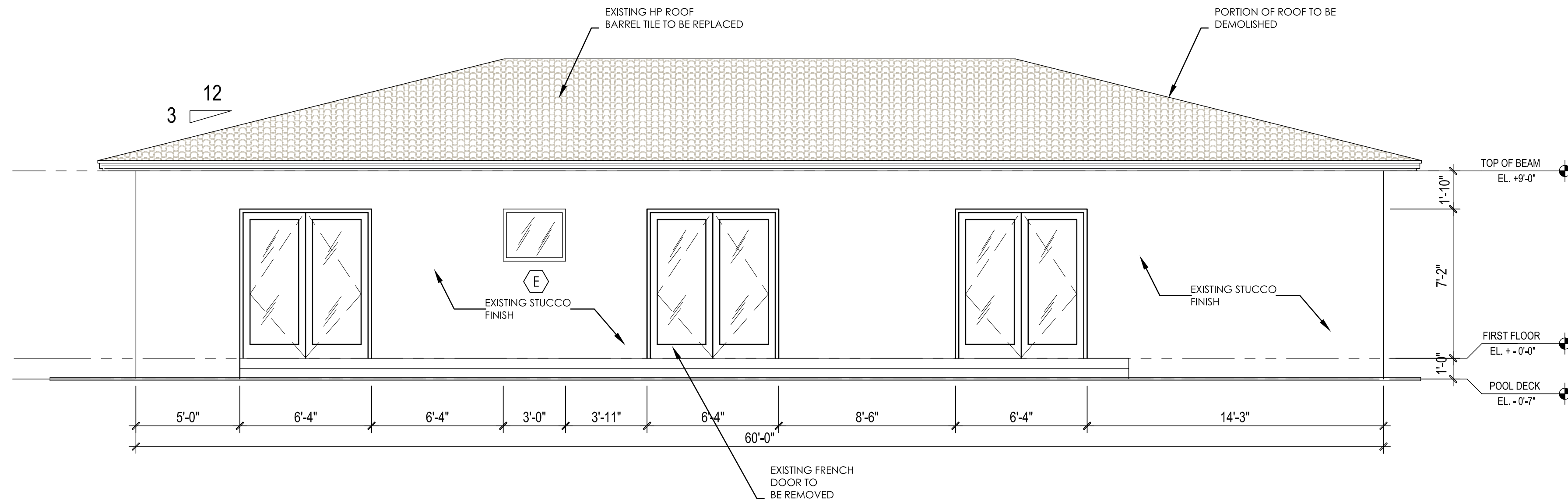
EXISTING & PROPOSED EXTERIOR  
ELEVATIONS

SHEET NUMBER

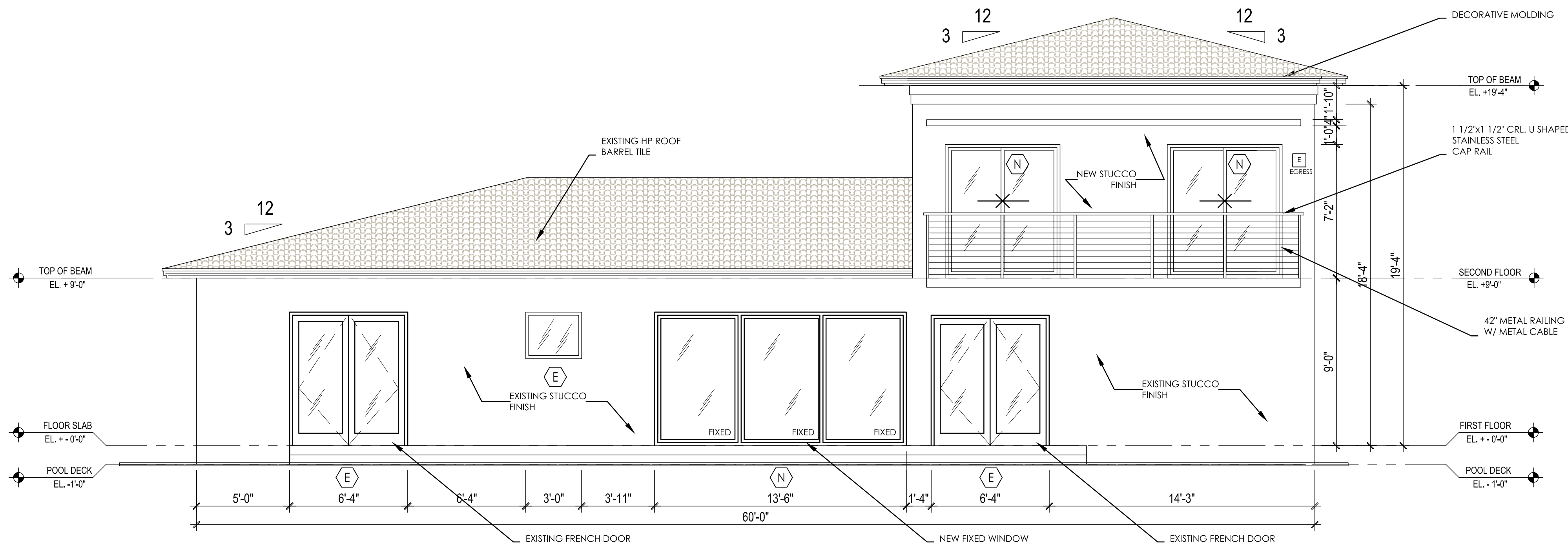
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1 EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"

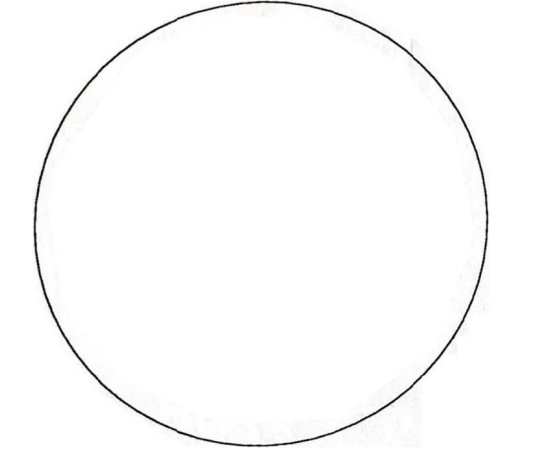


2 PROPOSED EAST ELEVATION  
SCALE: 1/4" = 1'-0"

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ISSUE DATES

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04-30-2021	BUILDING COMMENTS

PROJECT NUMBER 052320-01

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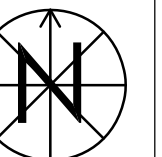
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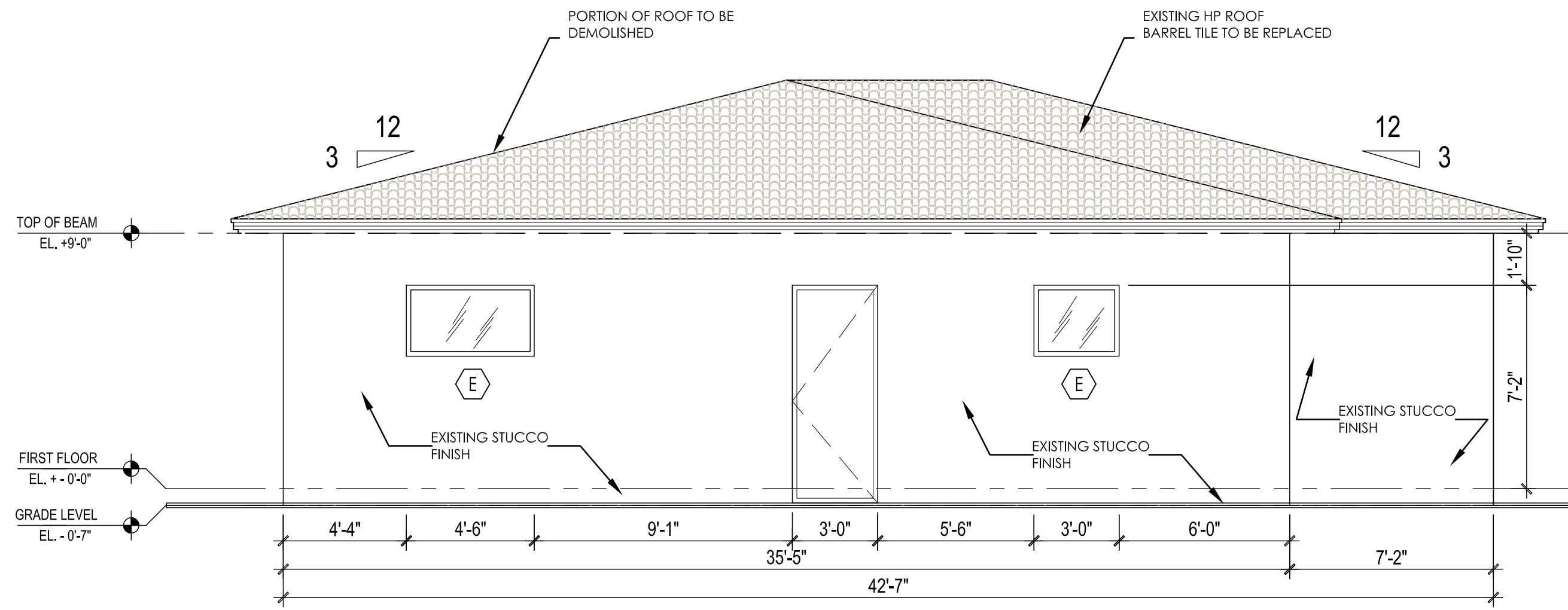
EXISTING & PROPOSED EXTERIOR  
ELEVATIONS

SHEET NUMBER

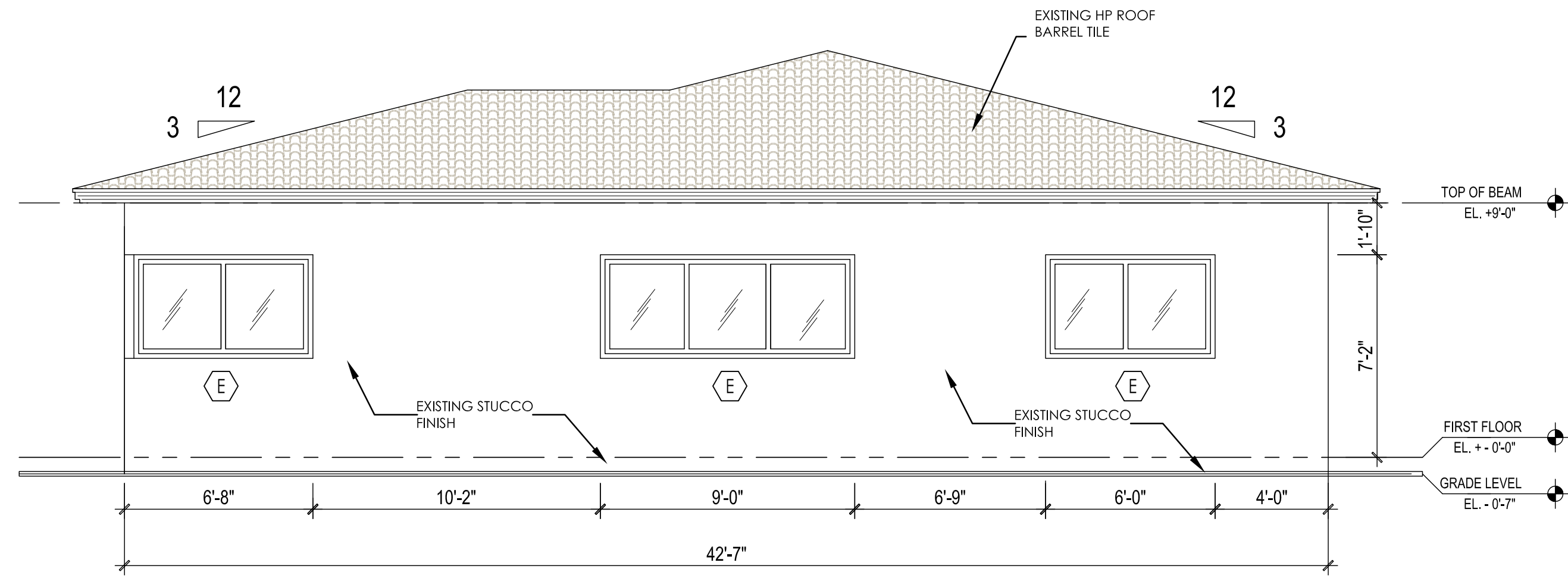
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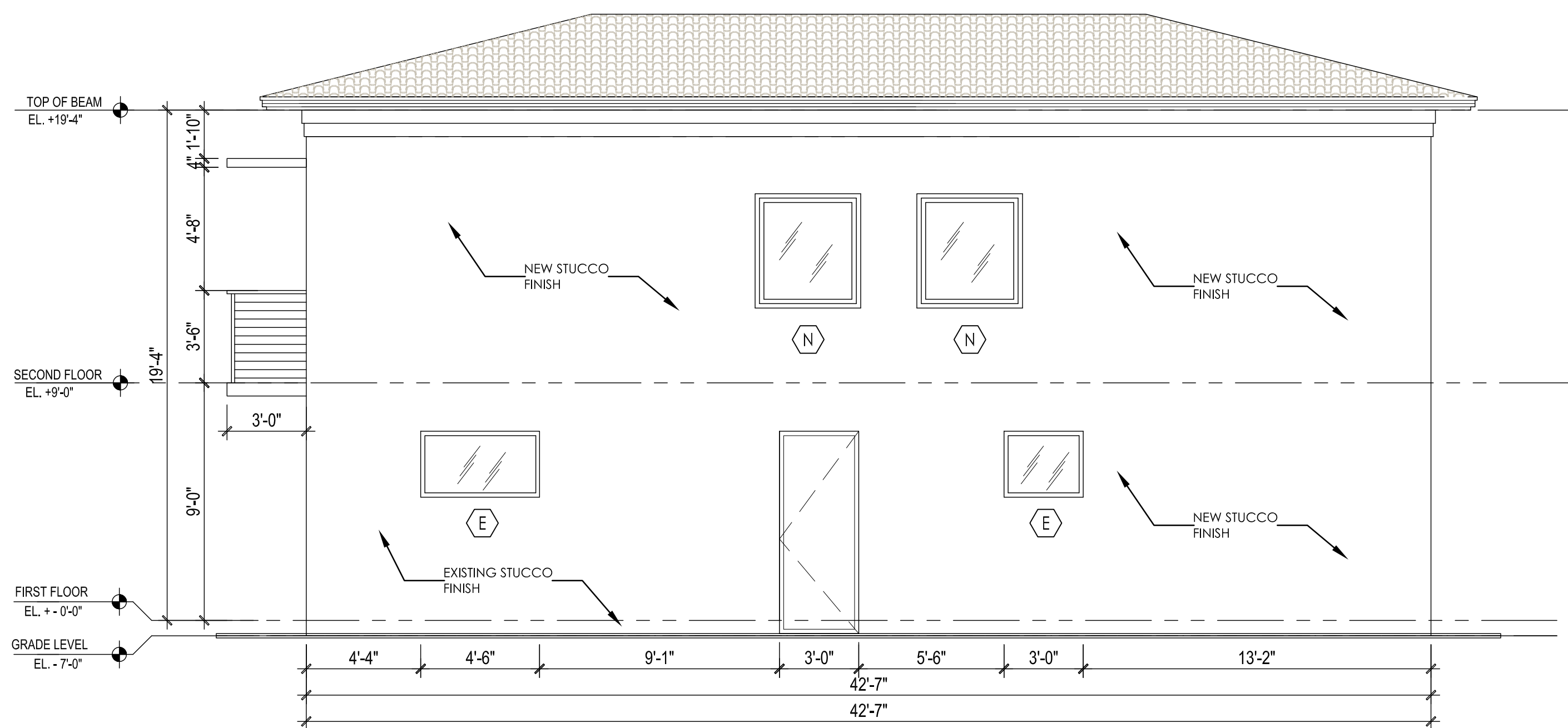




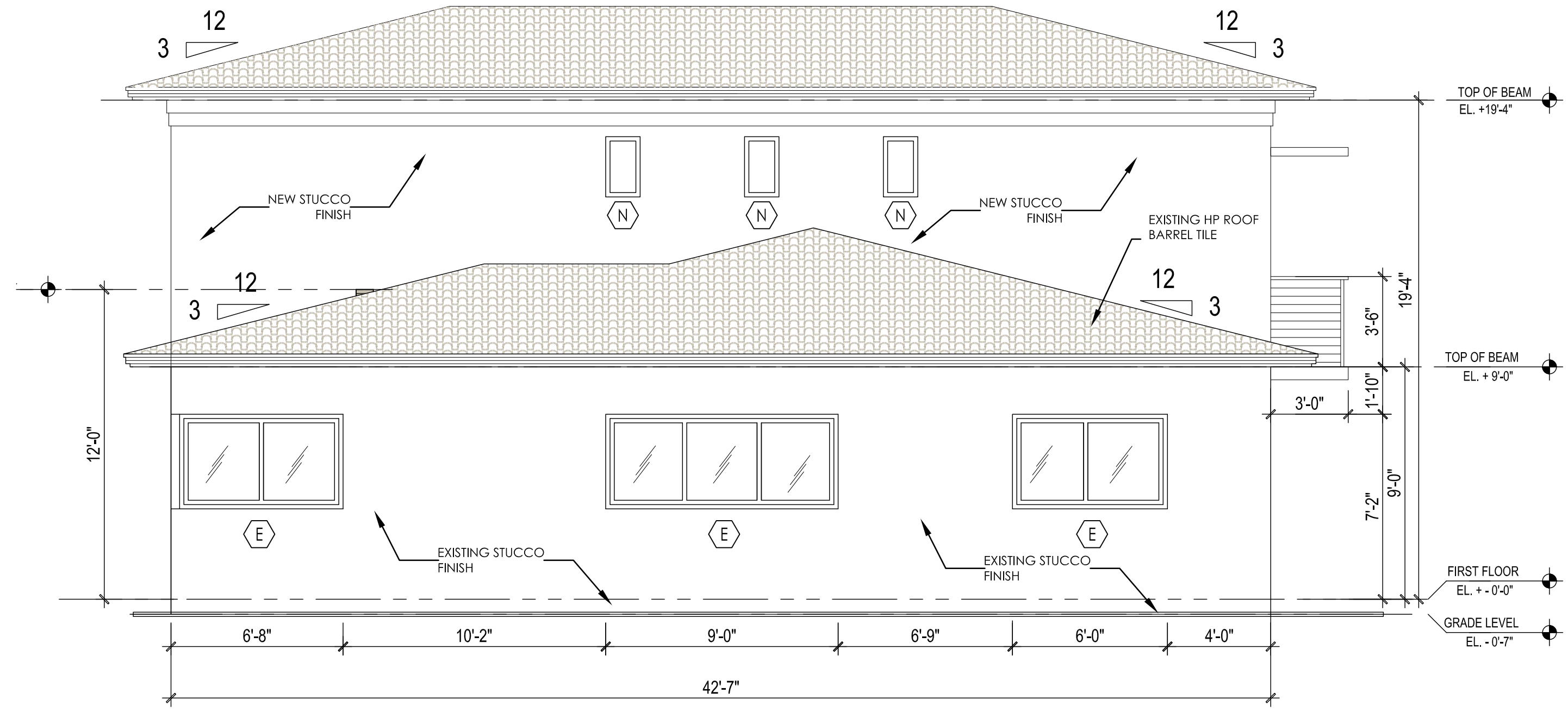
1 EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 EXISTING SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

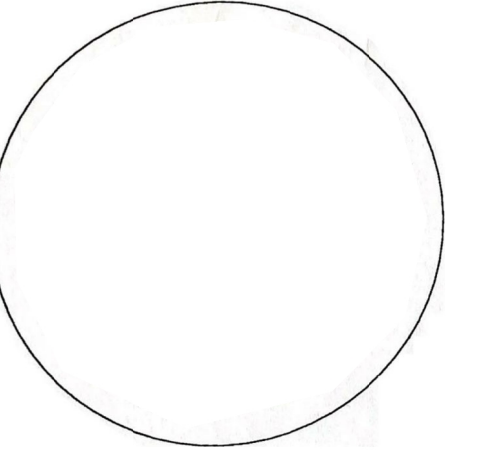


4 PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

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DATE	COMMENTS
12-20-2020	ZONING COMMENTS
04-30-2021	BUILDING COMMENTS

PROJECT NUMBER 052320-01

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DATE : 03.18.2021

SCALE : AS SHOWN

SHEET TITLE

EXISTING & PROPOSED EXTERIOR  
ELEVATIONS

SHEET NUMBER

A-3.03

