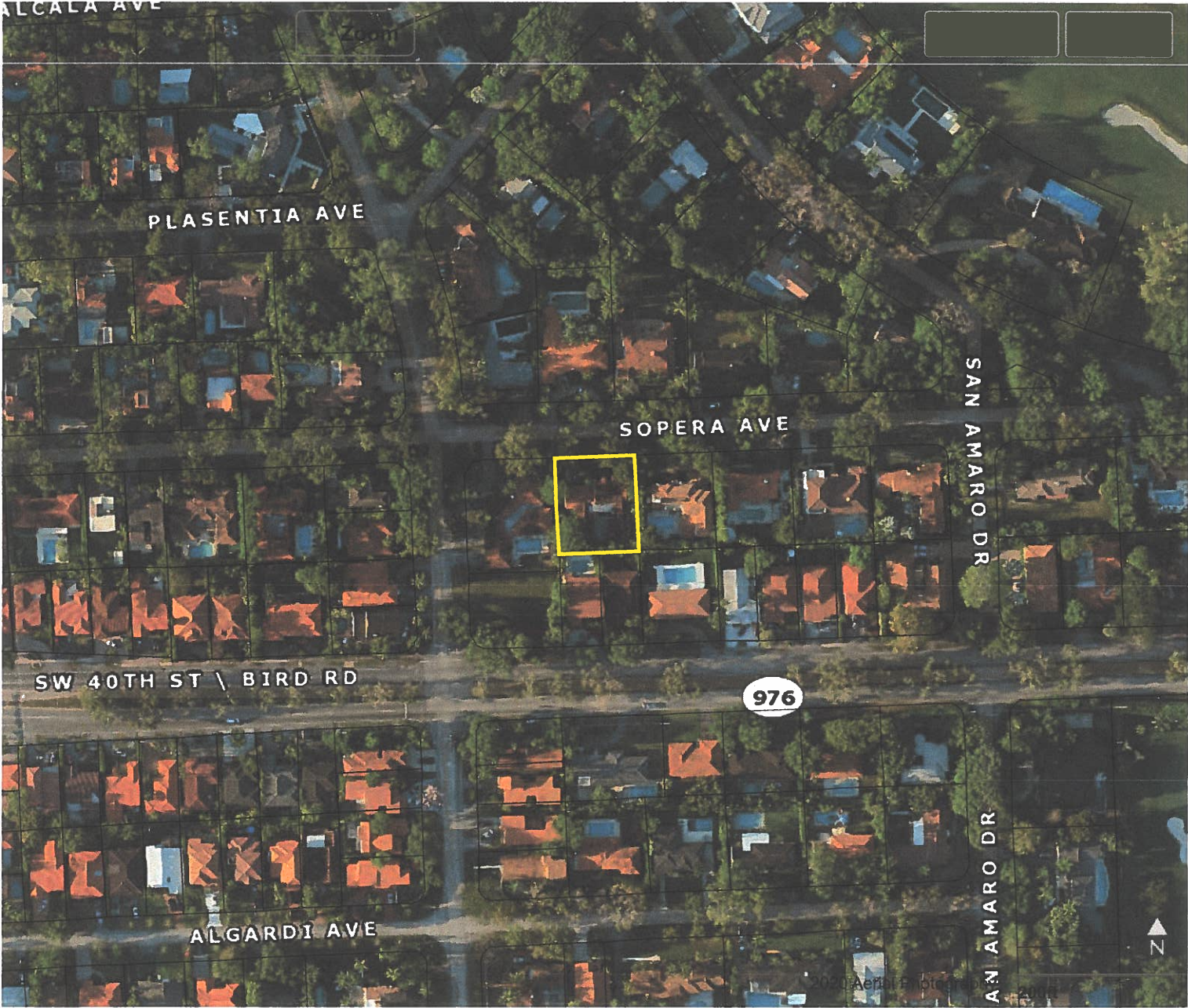


Living Area	2,892 Sq.Ft
Adjusted Area	3,210 Sq.Ft
Lot Size	12,000 Sq.Ft
Year Built	Multiple (See Building Info.)

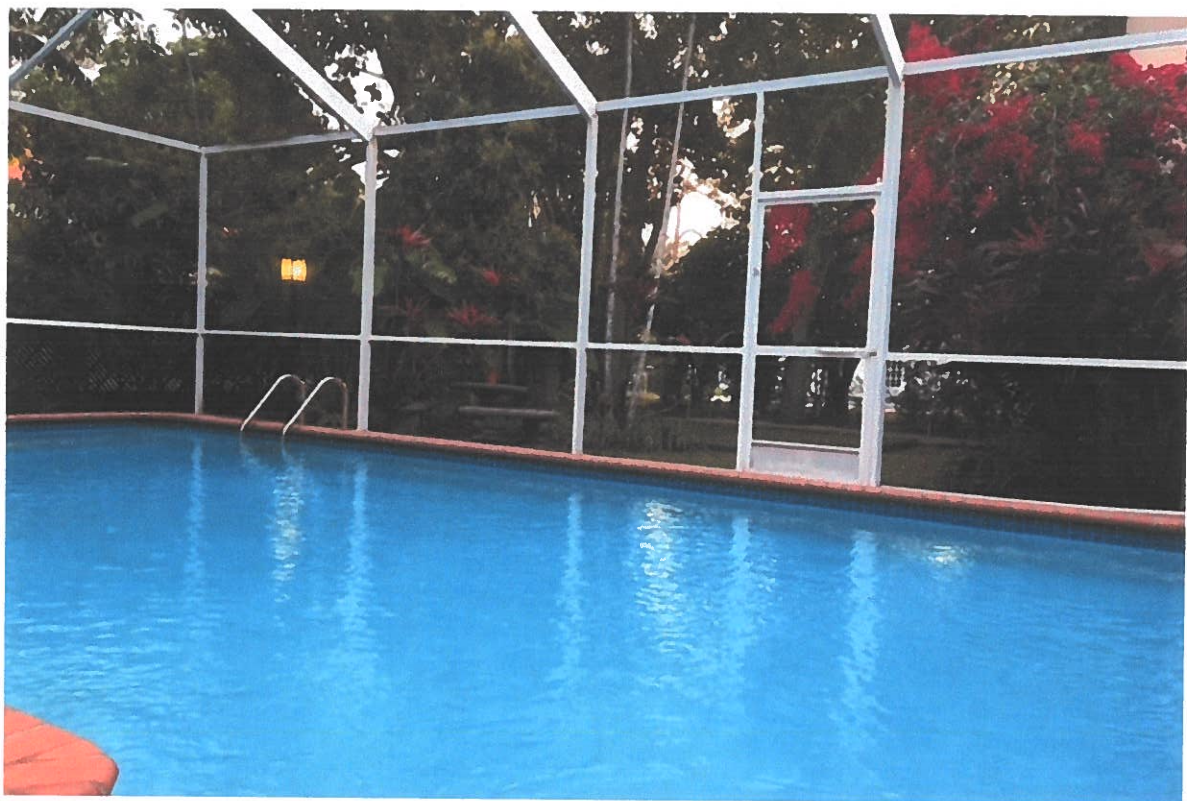


Featured Online Tools

Comparable Sales	Glossary
PA Additional Online Tools	Property Record Cards
Property Search Help	Property Taxes
Report Discrepancies	Report Homestead Fraud



STEIN, DOUGLAS
1434 SUREDA



STEIN, DOUGLAS
1434 SOPER



STEIN, DOUGLAS
1434 S OPERA A



STEIN, DOUGLAS
1434 S OPERA Ave

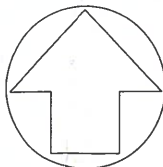


STEIN, DOUGLAS
1434 SOPERA AVE

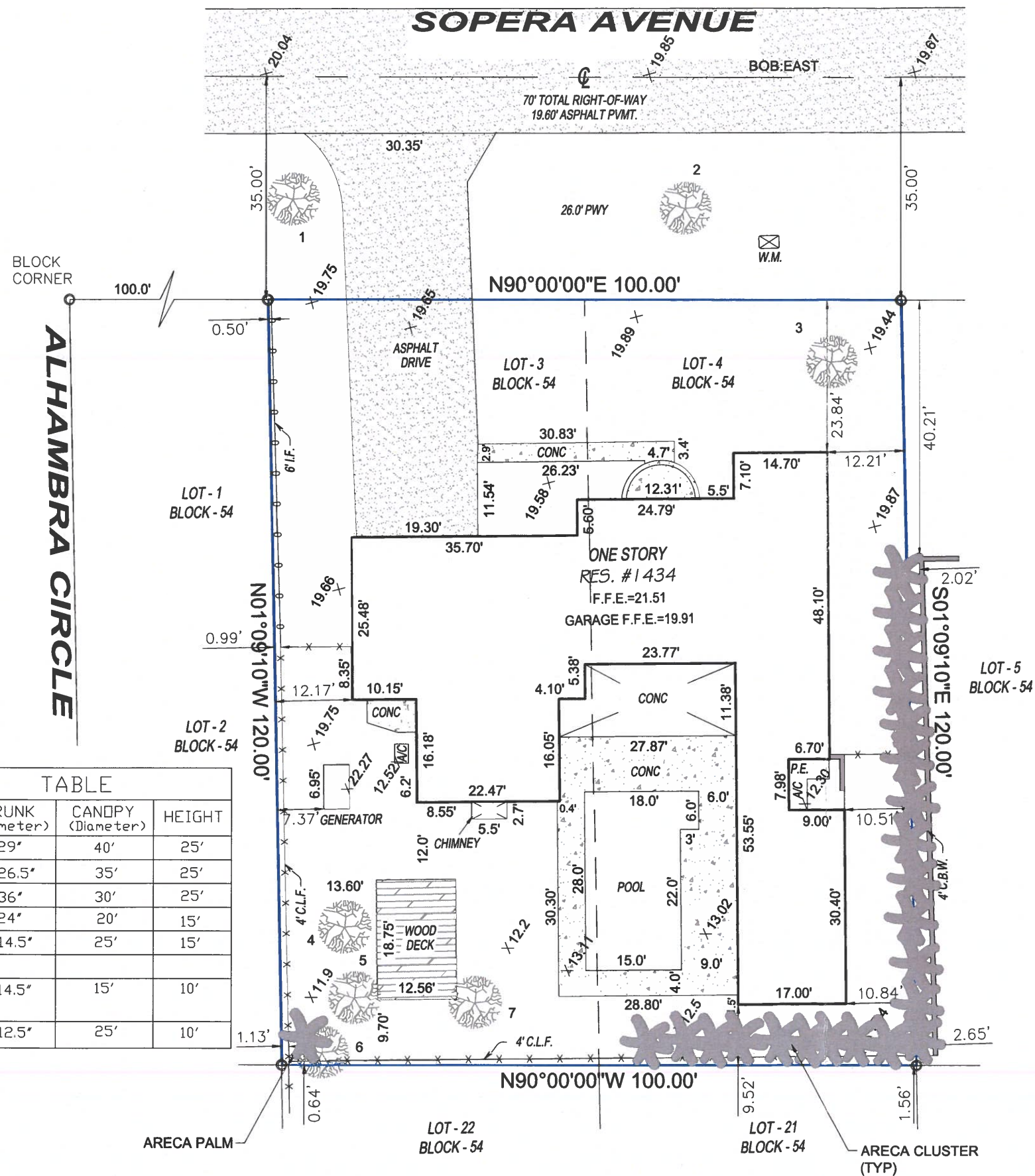


SPO

MAP OF BOUNDARY, TOPOGRAPHIC & TREE SURVEY



NORTH
SCALE: 1"=20'



TREE TABLE				
No.	NAME	TRUNK (Diameter)	CANOPY (Diameter)	HEIGHT
1	QAK	29"	40'	25'
2	QAK	26.5"	35'	25'
3	QAK	36"	30'	25'
4	QAK	24"	20'	15'
5	QAK	14.5"	25'	15'
6	SOUTHERN MAGNOLIA	14.5"	15'	10'
7	AVOCADO	12.5"	25'	10'

- LEGEND**
ABBREVIATIONS:
A = ARC DISTANCE
AC = AIR CONDITIONER PAD
BCR = BROWARD COUNTY RECORDS
BLDG = BUILDING
BM = BENCH MARK
BOB = BASIS OF BEARINGS
CBS = CONCRETE BLOCK & STUCCO
(C) = CALCULATED
C&G = CURB & GUTTER
CLF = CHAIN LINK FENCE
COL = COLUMN
D.E. = DRAINAGE EASEMENT
D.M.E. = DRAINAGE & MAINTENANCE EASEMENT
D/W = DRIVEWAY
EB = ELECTRIC BOX
ENC. = ENCROACHMENT
EP = EDGE OF PAVEMENT
EW = EDGE OF WATER
FDH = FOUND DRILL HOLE
FF = FINISHED FLOOR ELEVATION
FIP = FOUND IRON PIPE (NO ID)
FIR = FOUND IRON ROD (NO ID)
FN = FOUND NAIL (NO ID)
FPL = FLORIDA POWER & LIGHT TRANSFORMER PAD
L.E. = LANDSCAPE EASEMENT
L.M.E. = LAKE MAINTENANCE EASEMENT
(M) = MEASURED
MDCR = MIAMI-DADE COUNTY RECORDS
MH = MAN HOLE
ML = MONUMENT LINE
(P) = PLAT
PB = PLAT BOOK
PC = POINT OF CURVATURE
PCP = PERMANENT CONTROL POINT
PE = POOL EQUIPMENT PAD
PG = PAGE
PI = POINT OF INTERSECTION
PL = PLANTER
POB = POINT OF BEGINNING
POC = POINT OF COMMENCEMENT
PRC = POINT OF REVERSE CURVATURE
PRM = PERMANENT REFERENCE MONUMENT
PT = POINT OF TANGENCY
R = RADIUS DISTANCE
(R) = RECORD
R/W = RIGHT-OF-WAY
RES = RESIDENCE
SIP = SIP LB#8023
SND = SET NAIL & DISK LB#8023
STL = SURVEY TIE LINE
SWK = SIDEWALK
(TYP) = TYPICAL
UB = UTILITY BOX
U.E. = UTILITY EASEMENT
W/F = WOOD FENCE

- SYMBOLS:**
[Symbol] = TELEPHONE RISER
[Symbol] = CABLE TV RISER
[Symbol] = WATER METER
X 0.00 = ELEVATION
(00') = ORIGINAL LOT DISTANCE
Δ = CENTRAL ANGLE
C = CENTER LINE
[Symbol] = WATER VALVE
[Symbol] = CURB INLET
[Symbol] = FIRE HYDRANT
[Symbol] = LIGHT POLE
[Symbol] = CATCH BASIN
[Symbol] = UTILITY POLE
[Symbol] = DRAINAGE MANHOLE
[Symbol] = SEWER MANHOLE
[Symbol] = IRON FENCE
[Symbol] = WOOD FENCE
[Symbol] = CHAIN LINK FENCE
[Symbol] = EASEMENT
[Symbol] = ASPHALT
[Symbol] = CONCRETE
[Symbol] = PAVERS
[Symbol] = TILES
[Symbol] = COVER

SURVEYOR'S CERTIFICATE:
I HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY DIRECTION AND MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA STATE BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTE.

AUTHENTIC COPIES OF THIS SURVEY SHALL BEAR THE ORIGINAL SIGNATURE AND RAISED SEAL OF THE ATTESTING REGISTERED SURVEYOR AND MAPPER

SEAL

Nicolas Del Vento
NICOLAS DEL VENTO
PROFESSIONAL SURVEYOR & MAPPER
STATE OF FLORIDA LIC. # 6945

DATE OF ORIGINAL FIELD WORK: 08/05/2020
JOB#: 20075541
DRAWN BY: NICK
CAD FILE: STEIN
SHEET 1 OF 1

CERTIFICATE OF AUTHORIZATION # LB-8023
Survey Pros, Inc.
5966 S. DIXIE HIGHWAY SUITE 300, MIAMI, FL. 33143
Tel: 305.767.6802
www.survey-pros.com

PROPERTY ADDRESS:
1434 SOPERA AVENUE, CORAL GABLES, FL. 33134

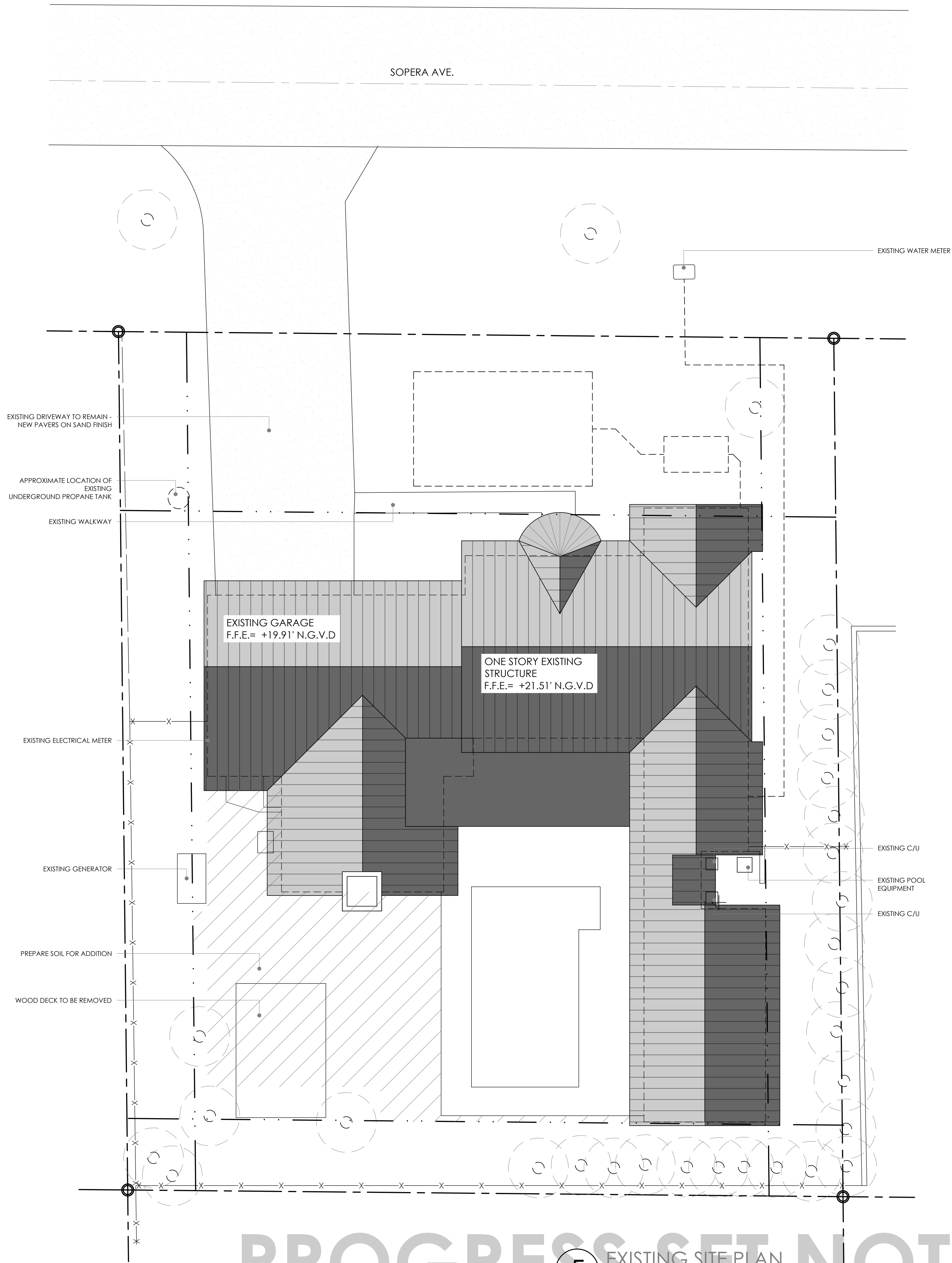
LEGAL DESCRIPTION:
LOTS 3 AND 4, BLOCK 54, OF CORAL GABLES COUNTRY CLUB SECTION PART FOUR, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 57, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

FLOOD ZONE INFORMATION:
BASED ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY REVISED ON 09/11/09 AND INDEX MAP REVISED ON 09/11/09 THE GRAPHICALLY DEPICTED BUILDING(S) SHOWN ON THIS MAP OF SURVEY IS WITHIN ZONE X BASE FLOOD ELEVATION N/A COMMUNITY NAME & NUMBER CITY OF CORAL GABLES 120639 MAP & PANEL NUMBER 120R6C0456 SUFFIX L

SURVEYOR'S NOTES:
1. ELEVATIONS WHEN SHOWN REFER TO 1929 NATIONAL GEODETIC VERTICAL DATUM (NGVD 1929).
2. NO ATTEMPT WAS MADE TO LOCATE FOOTINGS/FOUNDATIONS, OR UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
3. THE LANDS SHOWN HEREON HAVE NOT BEEN ABSTRACTED IN REGARDS TO MATTERS OF INTEREST BY OTHER PARTIES, SUCH AS EASEMENTS, RIGHTS OF WAYS, RESERVATIONS, ETC. ONLY PLATTED EASEMENTS ARE SHOWN.
4. THIS SURVEY WAS PREPARED FOR AND CERTIFIED TO THE PARTY(IES) INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE WITHOUT WRITTEN CONSENT OF THIS FIRM.
5. ALL BOUNDARY LIMIT INDICATORS SET ARE STAMPED LB# 8023.
6. THE BOUNDARY LIMITS ESTABLISHED ON THIS SURVEY ARE BASED ON THE LEGAL DESCRIPTION PROVIDED BY THE CLIENT OR ITS REPRESENTATIVE.
7. FENCE OWNERSHIP IS NOT DETERMINED.
8. ADDITIONS OR DELETIONS TO THIS SURVEY MAP AND/OR REPORT BY SOMEONE OTHER THAN THE SIGNING PARTY(IES) IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY(IES).
9. BEARINGS WHEN SHOWN ARE TO AN ASSUMED MERIDIAN. THE CENTERLINE OF SOPERA AVENUE HAS BEEN ASSIGNED A BEARING OF EAST.

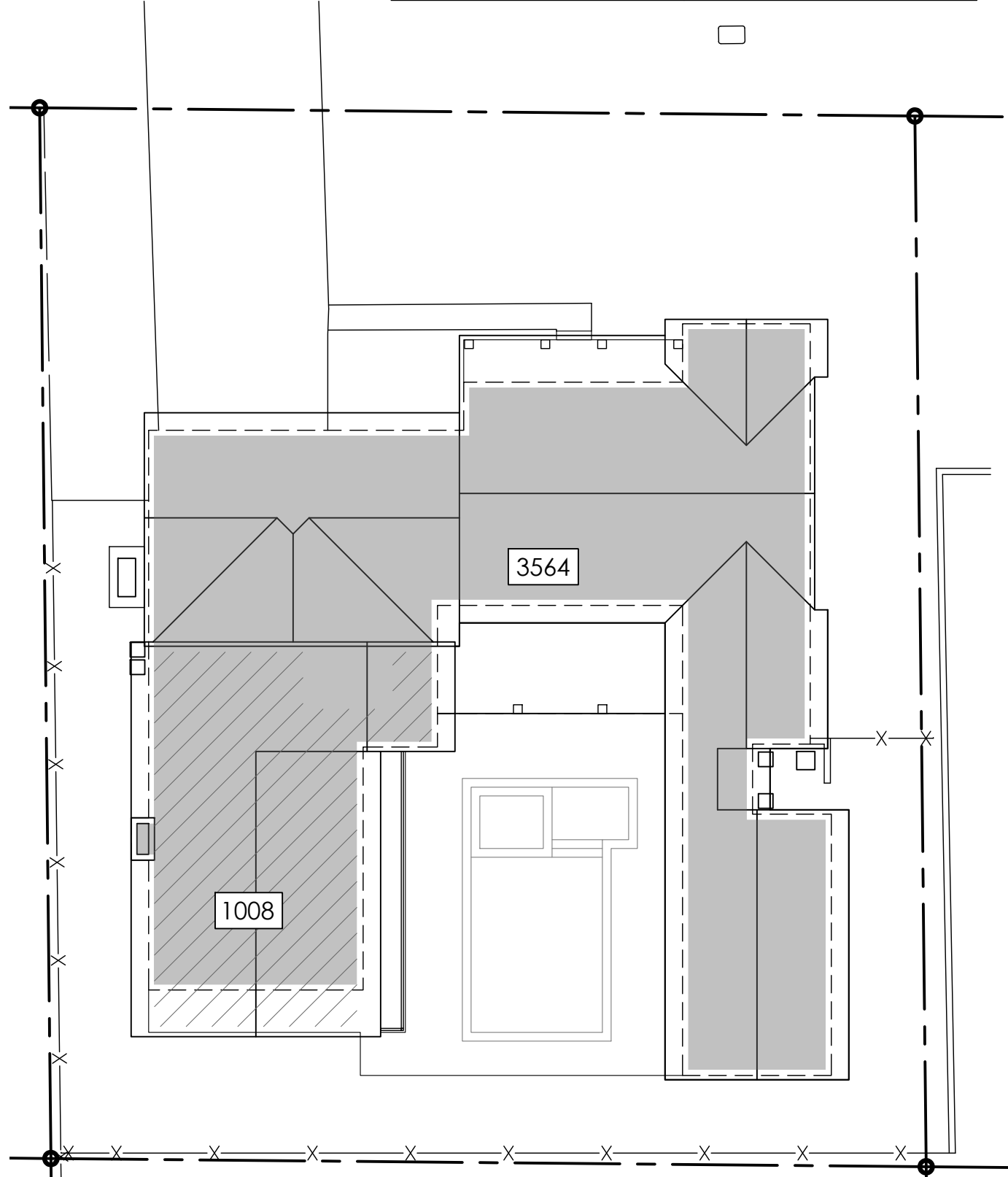
BENCHMARK INFORMATION:
NAME: P-483-R
ELEVATION(NGVD1929): 13.31
LOCATION1: SW 40 ST---79' NORTH OF NORTH EDGE OF PAVEMENT PROJECTED WEST
LOCATION2: SW 57 AVE---2.3' WEST OF WEST EDGE OF PAVEMENT
LOCATION3: GAS STATION---63.9' EAST OF SE CORNER OF BLDG
DESCRIPTION: PK NAIL AND BRASS WASHER IN CONC DECK OF CATCH BASIN IN SIDEWALK

CERTIFIED TO:
DOUGLAS H. STEIN
ELIZABETH STEIN



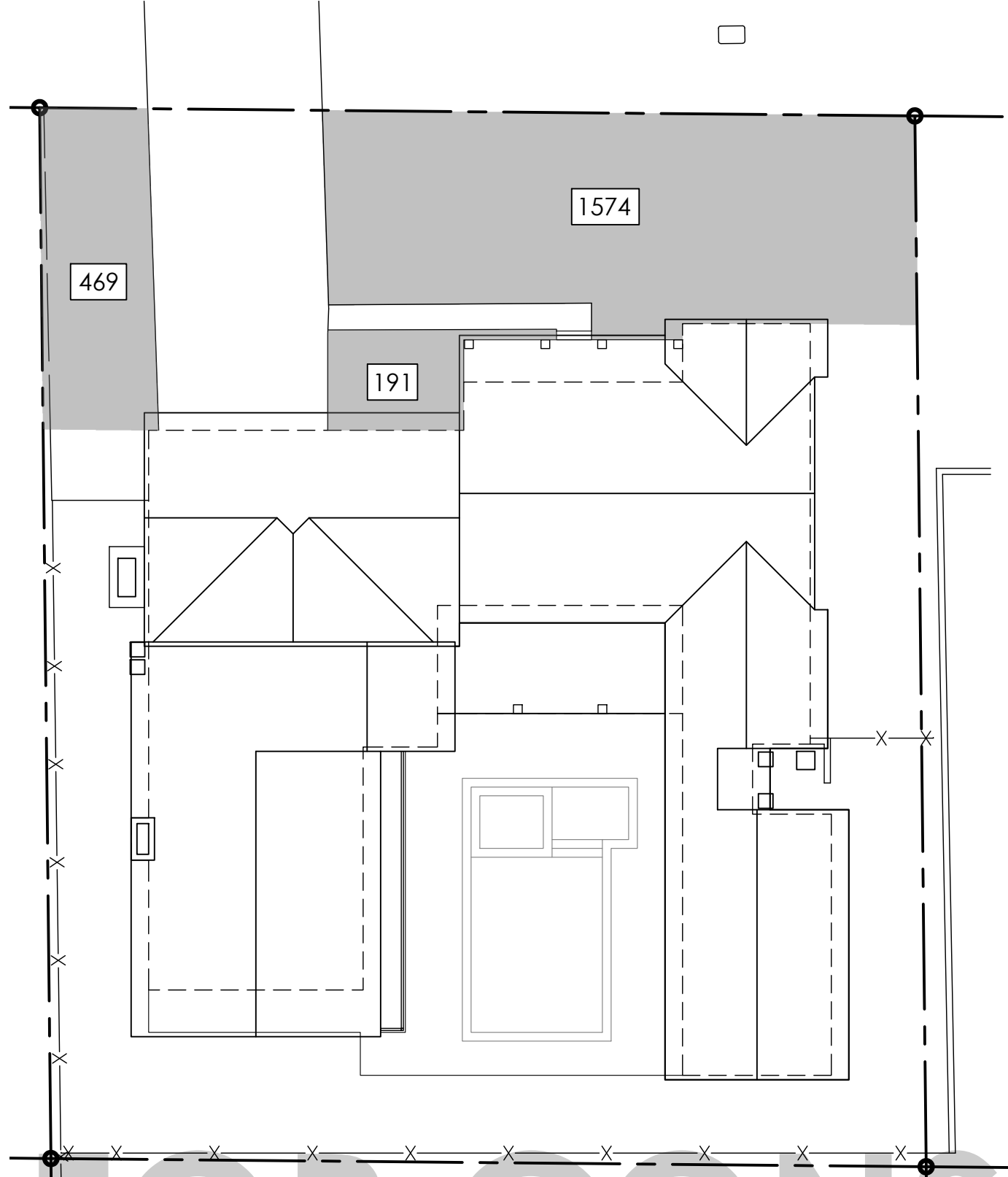
5 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"

FLOOR AREA RATIO	
MAX. ALLOWED	PROVIDED
48% OF 5000 SQ FT = 2400 SQ FT	1ST LEVEL = 3564 SQ FT
35% OF 5000 SQ FT = 1750 SQ FT	2ND LEVEL = 1008 SQ FT
30% OF 2000 = 600 SQ FT	TOTAL = 4572 SQ FT
TOTAL = 4750 SQ FT	



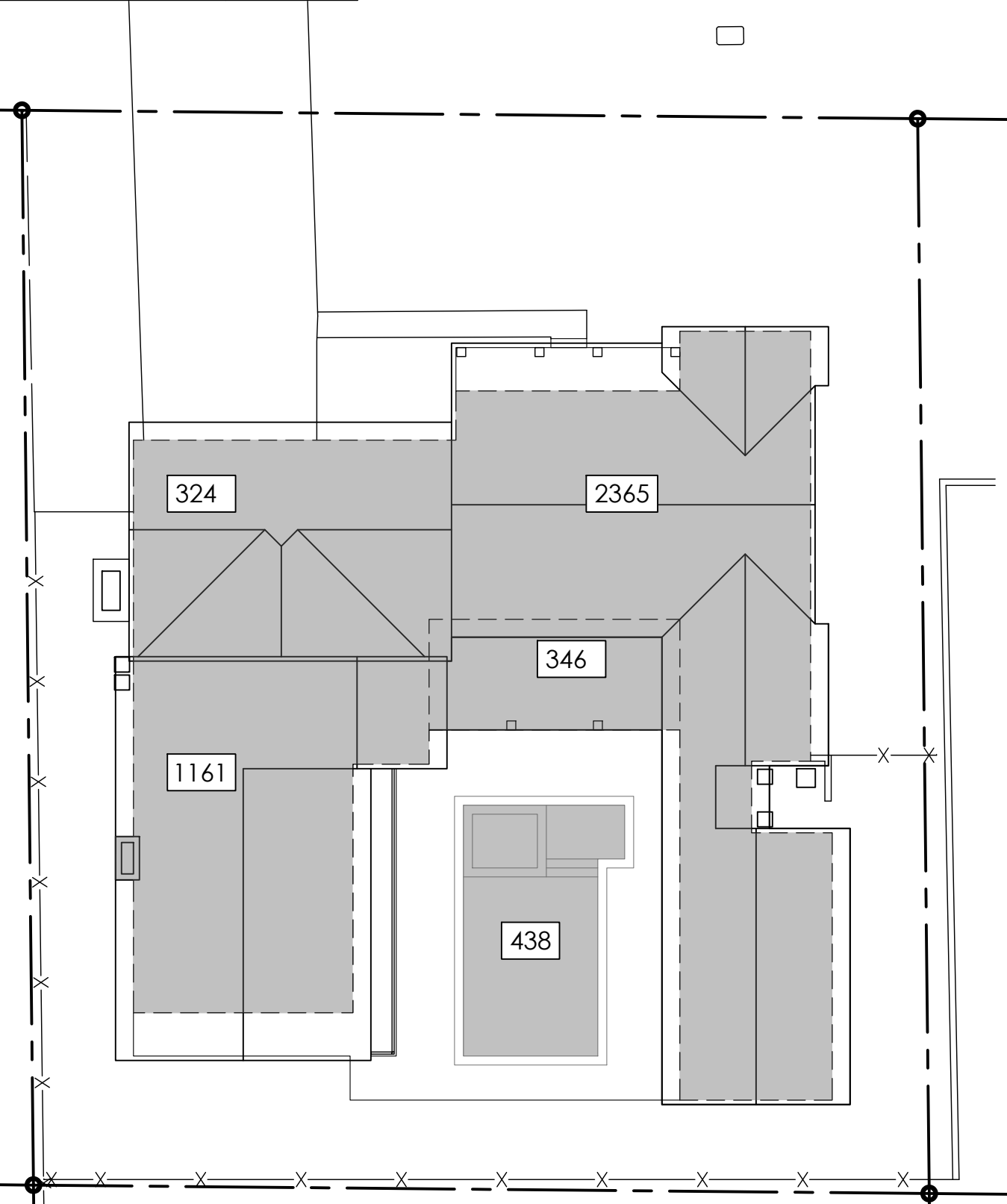
4 FLOOR AREA RATIO
SCALE: 1/16" = 1'-0"

FRONT YARD LANDSCAPE	
REQUIRED	PROVIDED
20% OF 40% 4800 SQ FT x 20% = 960 SQ FT	46.54% 1574 + 469 + 191 = 2234 SQ FT



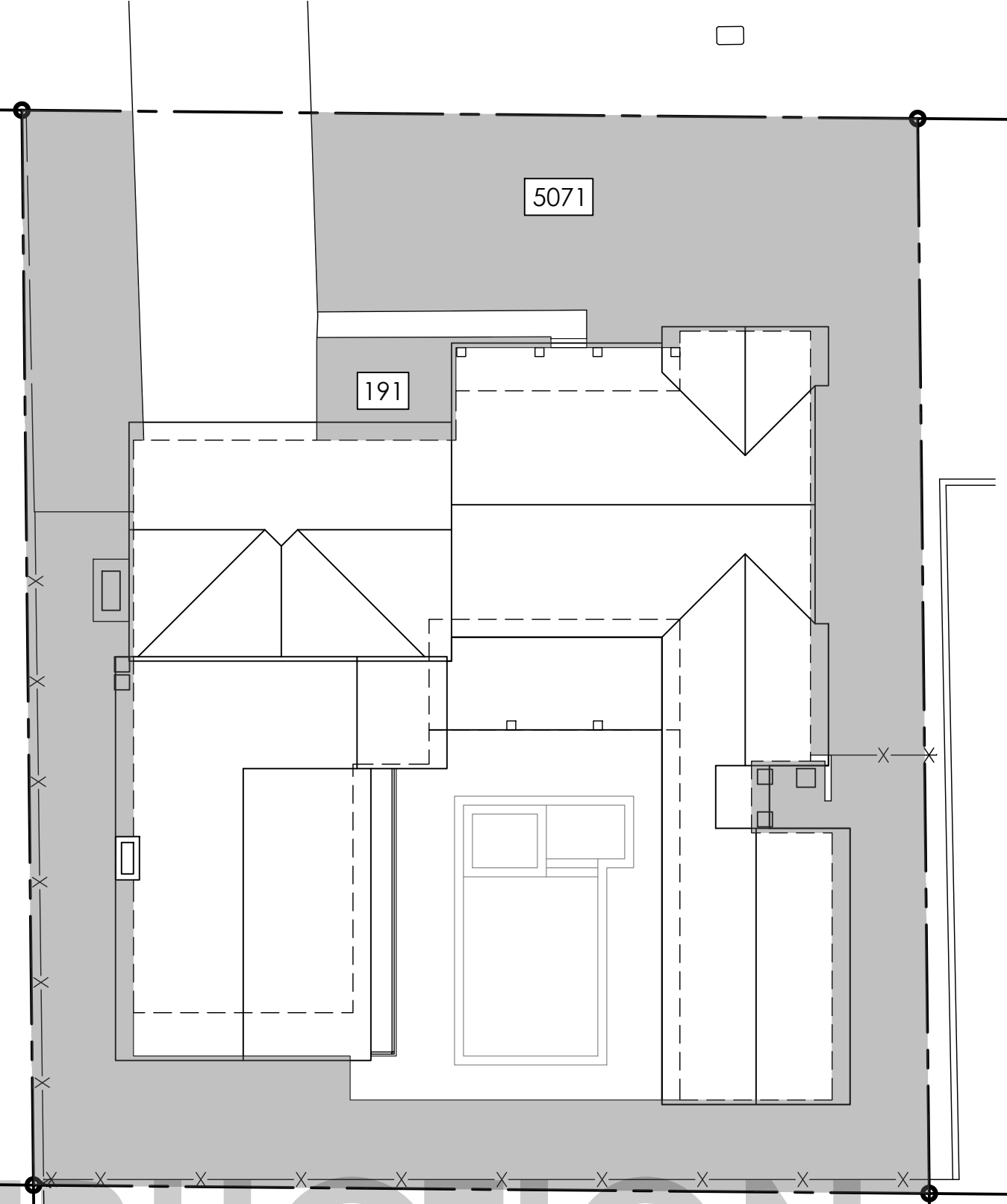
2 FRONT OPEN SPACE DIAGRAM
SCALE: 1/16" = 1'-0"

PRINCIPAL		GROUND AREA COVERAGE	
EXISTING UNDER AIR	2365 SQ FT	ALLOWED	PROVIDED
ADDITION UNDER AIR	1161 SQ FT		
GARAGE	324 SQ FT	PRINCIPAL	35 % = 4200 SQ FT
COVERED PATIO	346 SQ FT	ACCESSORY	10 % = 1200 SQ FT
TOTAL	4196 SQ FT	TOTAL	45 % = 5400 SQ FT



3 GROUND COVERAGE DIAGRAM
SCALE: 1/16" = 1'-0"

MINIMUM LANDSCAPE	
REQUIRED	PROVIDED
40% OF LOT 12000 SQ FT x 40% = 4800 SQ FT	43.85% 5071 + 191 = 5262 SQ FT



1 OPEN SPACE DIAGRAM
SCALE: 1/16" = 1'-0"

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SINGLE FAMILY HOME RENOVATION / ADDITION

STEIN

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DEBOWSKY DESIGN GROUP

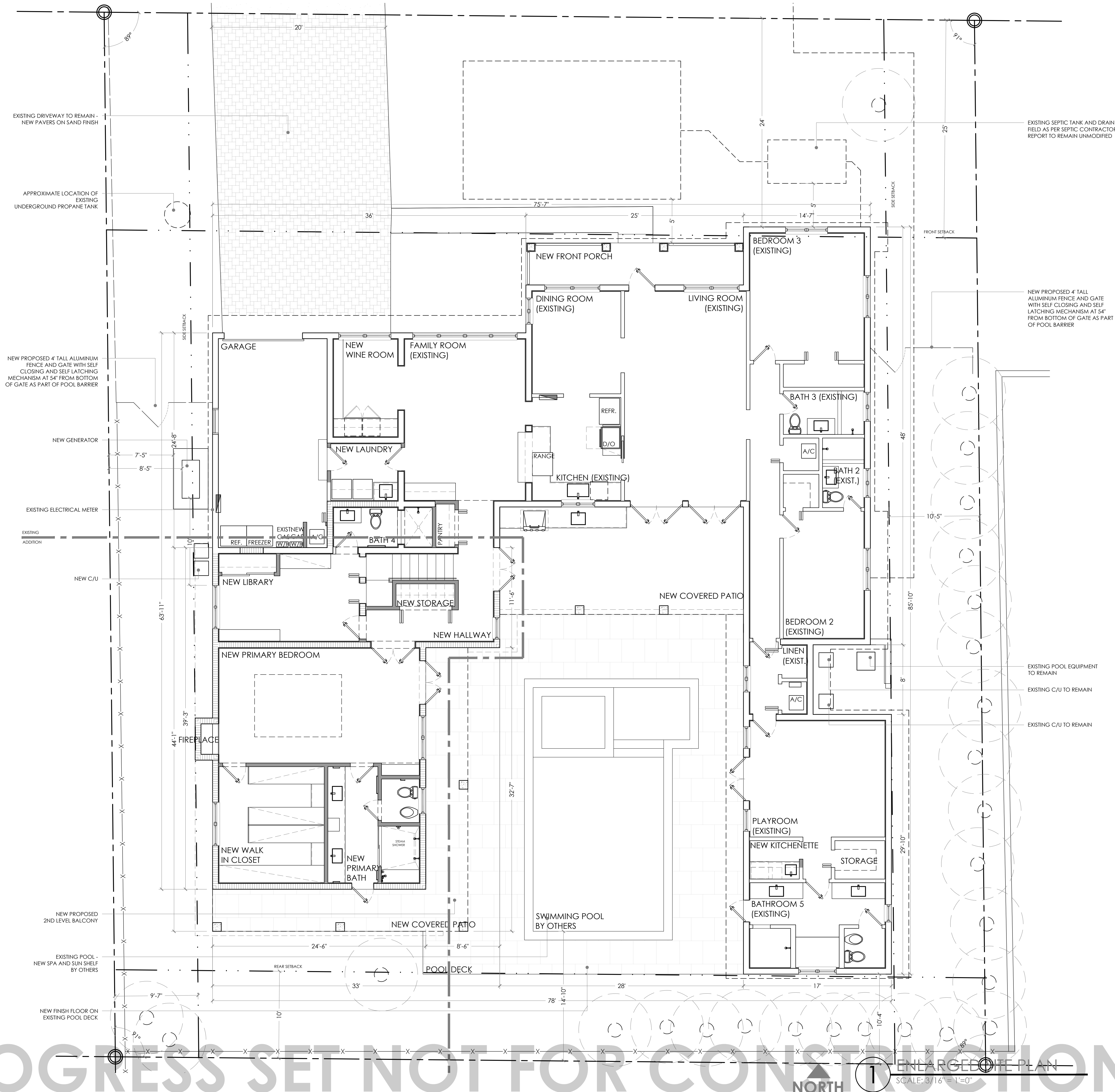
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MIAMI, FLORIDA 33134
305.495.2751
FLORIDA LICENSE # AR 94898
AA 260022858

STUART DEBOWSKY AR 94898 AA 260022858	
DATE	2021.04.05
JOB No.	20-648
SHEET No.	

A0.1

WALL LEGEND	
	DEMOLITION
	EXIST. BLOCK WALL
	NEW BLOCK WALL
	EXIST. STUD WALL
	NEW STUD WALL
	NEW COLUMN



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SINGLE FAMILY HOME RENOVATION / ADDITION

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STUART DEBOWSKY AR 94898 AA 260022858	
DATE	2021.04.05
JOB No.	20-648
SHEET No.	

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INTERIOR DOOR SCHEDULE

DOOR No.	WIDTH	HEIGHT	DOOR MATERIAL	DOOR TYPE	HARDWARE STYLE	NOTES
1	2'-8"	6'-8"	WOOD	PANEL	PRIVACY	
2	2'-8"	6'-8"	WOOD	PANEL	PRIVACY	
3	2'-2"	6'-8"	WOOD	LOUVERED BIF	PASSAGE	A/C INTAKE
4	4'-0"	6'-8"	WOOD	DBL BIFOLD	PASSAGE	
5	6'-0"	5'-0"	WOOD	DBL BIFOLD	PASSAGE	
6	2'-8"	6'-8"	WOOD	PANEL	PRIVACY	
7	2'-8"	6'-8"	WOOD	PANEL	PRIVACY	
8	6'-0"	6'-8"	WOOD	DBL SLIDING	PASSAGE	
9	5'-0"	6'-8"	WOOD	DBL PANEL	PRIVACY	
10	2'-8"	6'-8"	WOOD	PANEL	PRIVACY	
11	2'-4"	6'-8"	WOOD	PANEL	PRIVACY	
12	2'-8"	6'-8"	WOOD	PANEL	PASSAGE	
13	2'-8"	6'-8"	WOOD	PANEL	PRIVACY	
14	2'-10"	6'-8"	WOOD	BIFOLD	PASSAGE	
15	2'-0"	6'-8"	WOOD	BIFOLD	PASSAGE	A/C INTAKE
16	5'-0"	6'-8"	WOOD	DBL PANEL	PRIVACY	WOOD FINISH
17	2'-4"	3'-6"	WOOD	BIFOLD	PASSAGE	
18	2'-4"	3'-6"	WOOD	BIFOLD	PASSAGE	
19	2'-6"	6'-8"	WOOD	POCKET	PASSAGE	REPLACE EXISTING DOOR
20	2'-6"	6'-8"	WOOD	PANEL	PRIVACY	REPLACE EXISTING DOOR
21	4'-0"	6'-8"	WOOD	DBL BIFOLD	PASSAGE	REPLACE EXISTING DOOR
22	2'-4"	6'-8"	WOOD	PANEL	PRIVACY	REPLACE EXISTING DOOR
23	2'-0"	6'-8"	WOOD	BIFOLD	PASSAGE	REPLACE EXISTING DOOR - A/C INTAKE
24	2'-8"	6'-8"	WOOD	PANEL	PRIVACY	REPLACE EXISTING DOOR
25	2'-0"	6'-8"	WOOD	BIFOLD	PASSAGE	REPLACE EXISTING DOOR
26	2'-8"	6'-8"	WOOD	PANEL	PRIVACY	REPLACE EXISTING DOOR
27	3'-0"	6'-8"	WOOD	BIFOLD	PASSAGE	REPLACE EXISTING DOOR
28	3'-0"	6'-8"	WOOD	BIFOLD	PASSAGE	REPLACE EXISTING DOOR - A/C INTAKE
29	2'-8"	6'-8"	WOOD	PANEL	PRIVACY	REPLACE EXISTING DOOR
30	2'-0"	6'-8"	WOOD	BIFOLD	PASSAGE	REPLACE EXISTING DOOR
31	2'-8"	6'-8"	WOOD	PANEL	PRIVACY	REPLACE EXISTING DOOR
31	2'-8"	6'-8"	WOOD	PANEL	PRIVACY	REPLACE EXISTING DOOR

NOTES ALL INTERIOR DOORS TO BE SOLID CORE 2 PANEL. PRIMED AND PAINTED WHITE UNLESS OTHERWISE SPECIFIED

EXTERIOR DOOR SCHEDULE

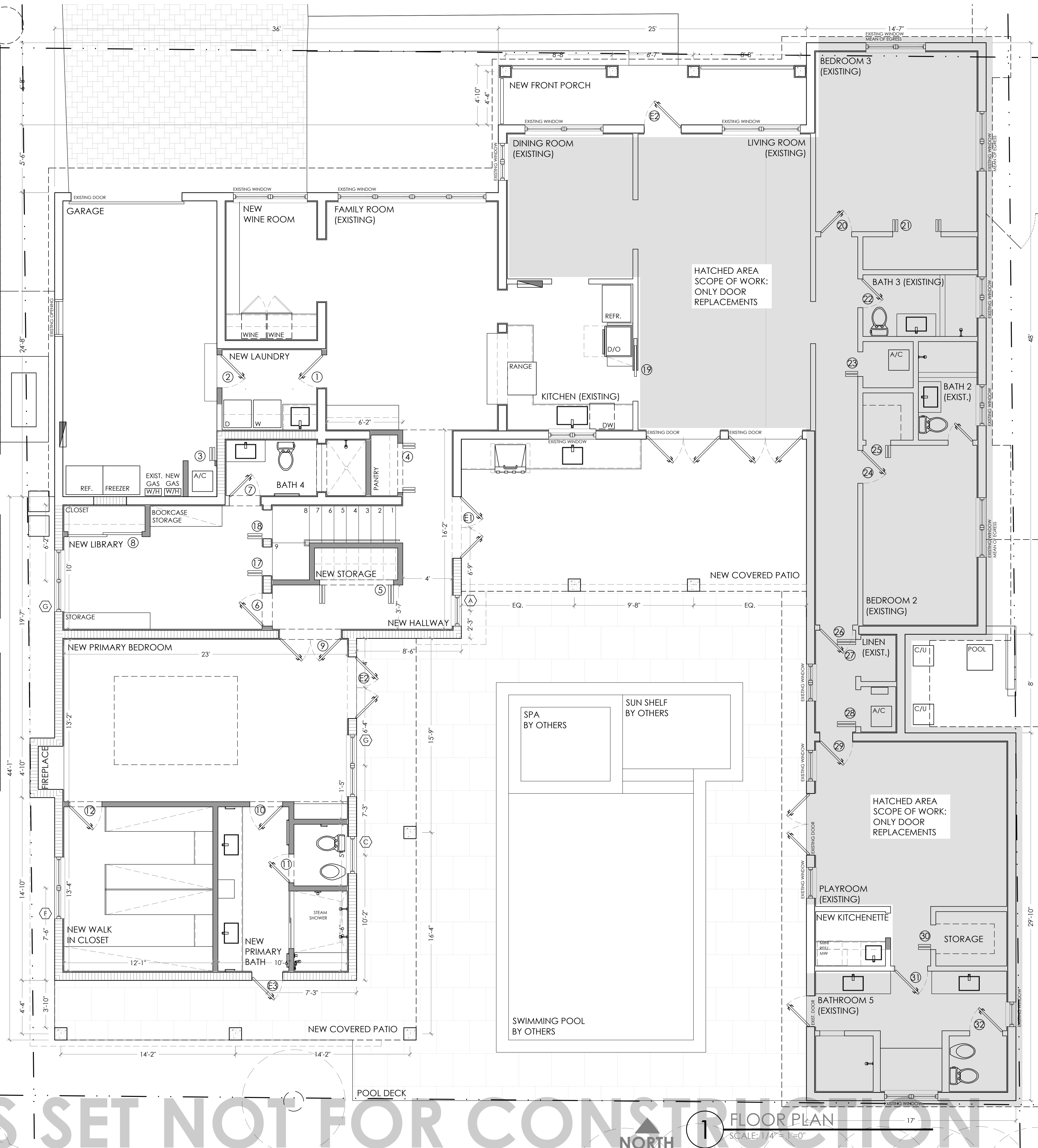
DOOR No.	WIDTH	HEIGHT	DOOR MATERIAL	MANUFACTURER	N.O.A	NOTES
E1	5'-0"	6'-8"	ALUM/GLASS	TBD		1 LITE - 5' DOUBLE DOOR
E2	5'-0"	6'-8"	ALUM/GLASS	TBD		1 LITE - 5' DOUBLE DOOR
E3	2'-6"	6'-8"	ALUM/GLASS	TBD		1 LITE
E4	5'-0"	6'-8"	ALUM/GLASS	TBD		1 LITE - 5' DOUBLE DOOR
E5	3'-0"	6'-8"	ALUM/GLASS	TBD		1 LITE
NOTES ALL EXTERIOR GLASS TO BE IMPACT RATED CAT II SAFETY GLASS					GLAZING REQUIREMENTS	SGHC: 0.30 U FACTOR: 0.65

WINDOW SCHEDULE

TAG	WIDTH	HEIGHT	WINDOW TYPE	FRAME MATERIAL	FRAME COLOR	MANUFACTURER	N.O.A	NOTES
A	2'-6"	4'-0"	CASEMENT	ALUMINUM	WHITE	TBD		
B	5'-0"	4'-0"	FIXED	ALUMINUM	WHITE	TBD		
C	3'-0"	2'-0"	FIXED	ALUMINUM	WHITE	TBD		
D	3'-6"	6'-8"	FIXED	ALUMINUM	WHITE	TBD		
E	3'-6"	6'-8"	FIXED	ALUMINUM	WHITE	TBD		
F	5'-0"	3'-0"	FIXED	ALUMINUM	WHITE	TBD		
G	5'-0"	3'-0"	DOUBLE CASEMENT	ALUMINUM	WHITE	TBD		
NOTES					GLAZING REQUIREMENTS	SGHC: 0.30 U FACTOR: 0.65		

WALL LEGEND

	DEMOLITION
	EXIST. BLOCK WALL
	NEW BLOCK WALL
	EXIST. STUD WALL
	NEW STUD WALL
	NEW COLUMN



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SINGLE FAMILY HOME RENOVATION / ADDITION

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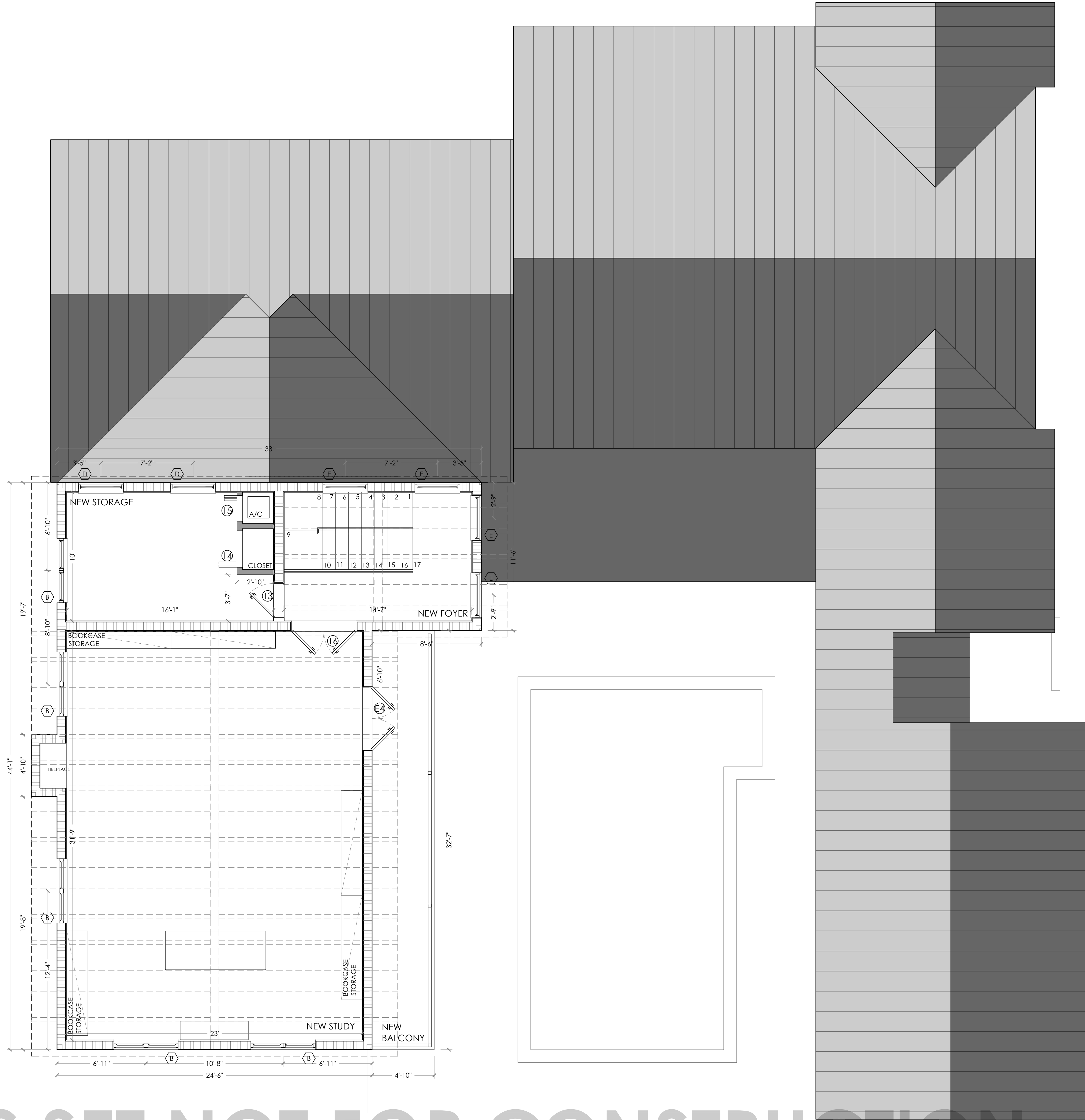
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AR 94898
AA 260022858

DATE	2021.04.05
JOB No.	20-648
SHEET No.	

A1.1



WALL LEGEND	
	DEMOLITION
	EXIST. BLOCK WALL
	NEW BLOCK WALL
	EXIST. STUD WALL
	NEW STUD WALL
	NEW COLUMN



1

2nd LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

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debowsky

design group

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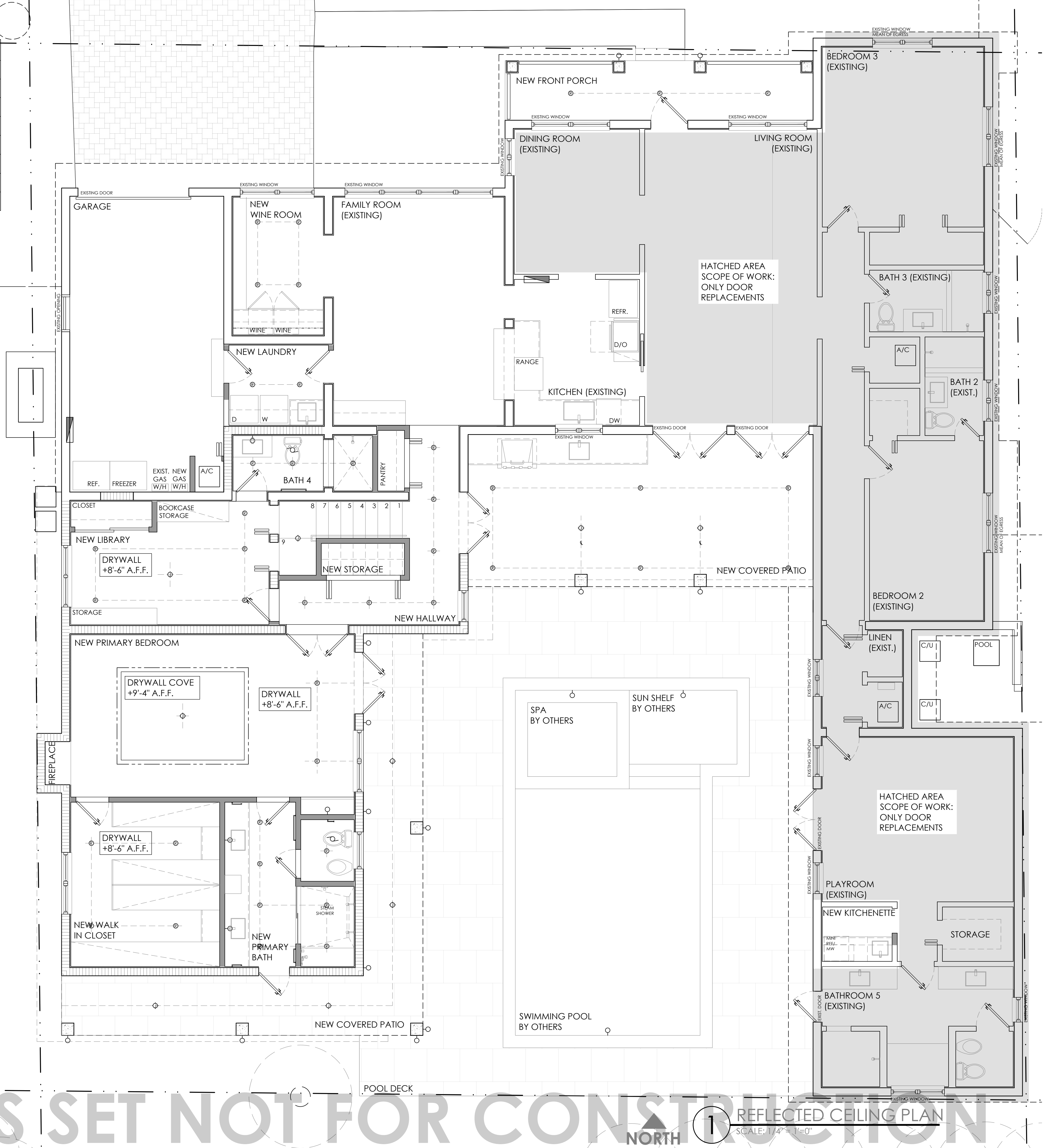
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LIGHTING LEGEND			
MARK	TYPE	MANUFACTURER	NOTES
Ⓜ	RECESSED CAN	BY CONTRACTOR	TRIM TO MATCH EXISTING
○	WALL SCONCE	DESIGNER/ CLIENT TBD	SEE ID DOCUMENTS FOR MOUNTING HEIGHTS
⊙	FAN	BY CONTRACTOR	SQUARE. MODEL TBD
⦿	J BOX	DESIGNER/ CLIENT TBD	CEILING MOUNTED LIGHT OR FAN - SEE ID DOCUMENTS
---	LED STRIP	BY CONTRACTOR	
NOTES			
ALL LIGHTING TO BE SUPPLIED BY CONTRACTOR UNLESS NOTED - ALL CONTRACTOR SELECTIONS TO BE APPROVED BY ARCHITECT/OWNER PRIOR TO PURCHASE			
IF UNMARKED - RECESSED CANS TO BE 4" IC RATED AIR TIGHT UNITS - ARCHITECT/OWNER TO APPROVE UNITS BEFORE PURCHASE BY CONTRACTOR			
AREA NOT IN SCOPE TO REMAIN WITH THE EXISTING FIXTURES.			

WALL LEGEND	
----	DEMOLITION
=====	EXIST. BLOCK WALL
	NEW BLOCK WALL
----	EXIST. STUD WALL
=====	NEW STUD WALL
■	NEW COLUMN



PROGRESS SET NOT FOR CONSTRUCTION

REVISIONS

#	DATE
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SINGLE FAMILY HOME RENOVATION / ADDITION

STEIN

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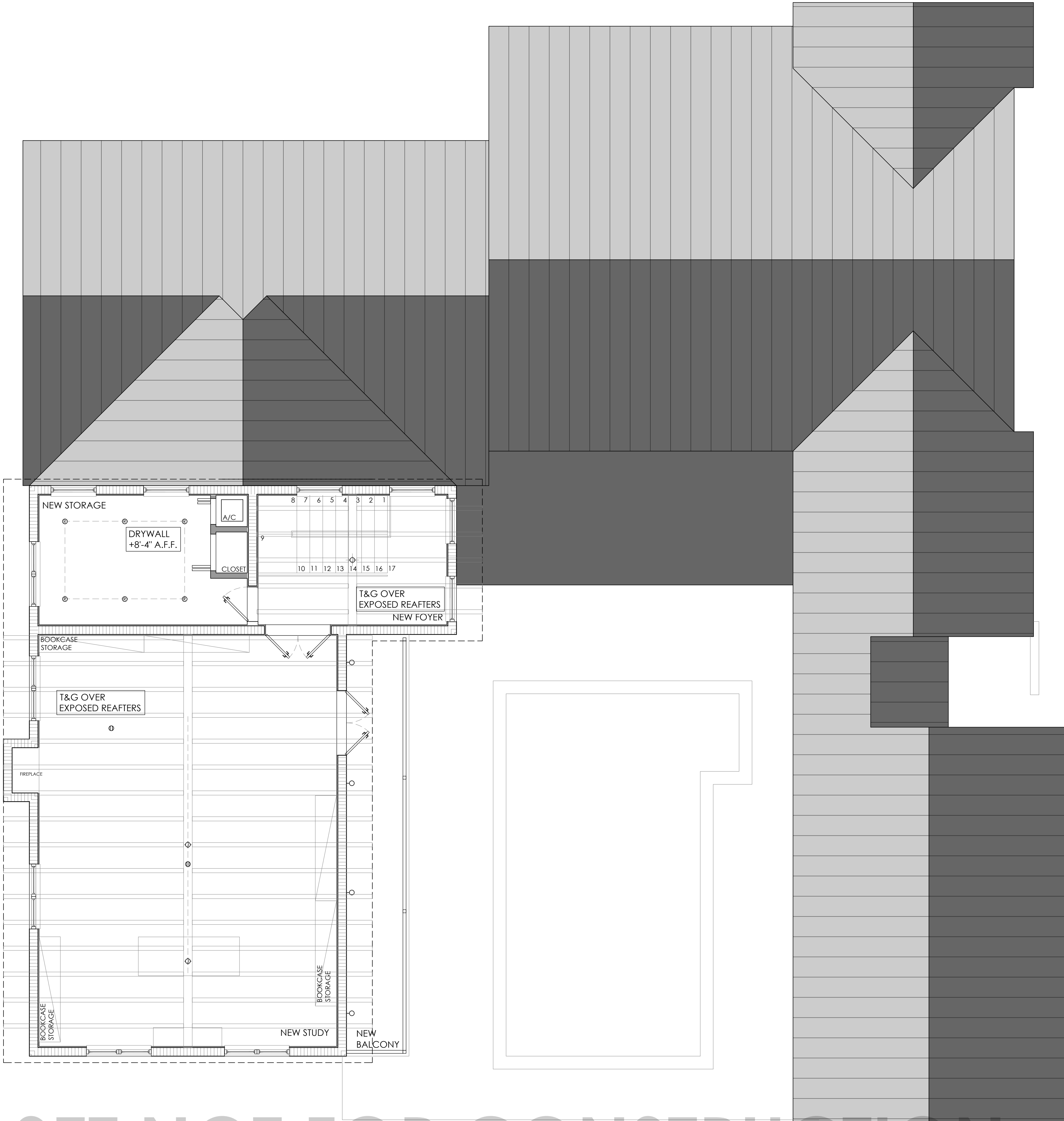
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LIGHTING LEGEND

MARK	TYPE	MANUFACTURER	NOTES
Ⓜ	RECESSED CAN	BY CONTRACTOR	TRIM TO MATCH EXISTING
○	WALL SCONCE	DESIGNER/ CLIENT TBD	SEE ID DOCUMENTS FOR MOUNTING HEIGHTS
⦿	FAN	BY CONTRACTOR	SQUARE. MODEL TBD
⦿	J BOX	DESIGNER/ CLIENT TBD	CEILING MOUNTED LIGHT OR FAN - SEE ID DOCUMENTS
— · — · — · —	LED STRIP	BY CONTRACTOR	
NOTES	ALL LIGHTING TO BE SUPPLIED BY CONTRACTOR UNLESS NOTED - ALL CONTRACTOR SELECTIONS TO BE APPROVED BY ARCHITECT/OWNER PRIOR TO PURCHASE		
	IF UNMARKED - RECESSED CANS TO BE 4" IC RATED AIR TIGHT UNITS - ARCHITECT/OWNER TO APPROVE UNITS BEFORE PURCHASE BY CONTRACTOR		
	AREA NOT IN SCOPE TO REMAIN WITH THE EXISTING FIXTURES.		

WALL LEGEND

⋈ ⋈ ⋈ ⋈	DEMOLITION
=====	EXIST. BLOCK WALL
	NEW BLOCK WALL
=====	EXIST. STUD WALL
=====	NEW STUD WALL
■	NEW COLUMN



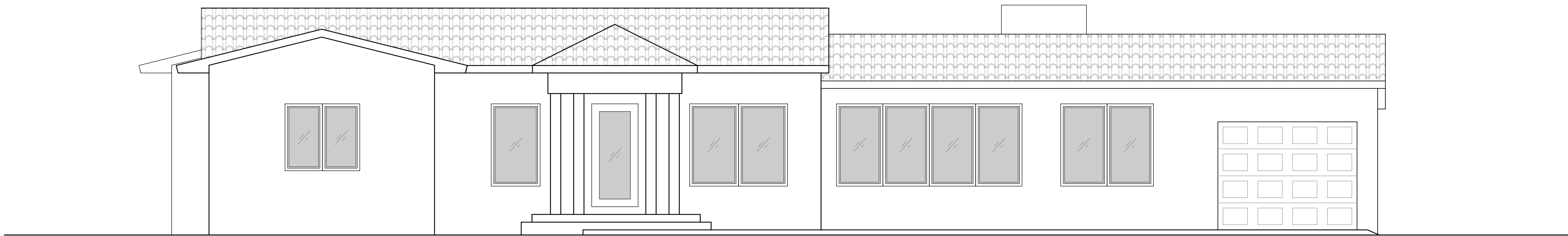
2nd LEVEL REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



1

PROGRESS SET NOT FOR CONSTRUCTION



2 EXIST. NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 NEW NORTH ELEVATION
SCALE: 1/4" = 1'-0"

PROGRESS SET NOT FOR CONSTRUCTION

REVISIONS	
#	DATE
1	2021.04.19 - PERMIT COMMENTS



SINGLE FAMILY HOME RENOVATION / ADDITION

STEIN

1434 SOPERA AVENUE, CORAL GABLES, FL 33134

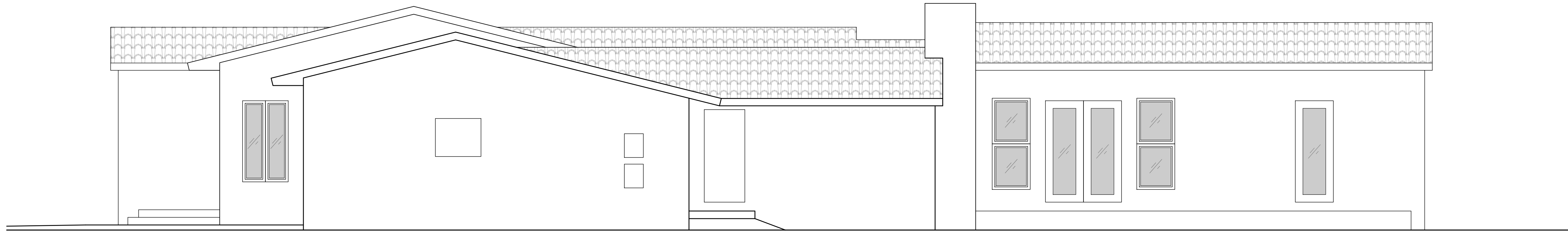
DEBOWSKY DESIGN GROUP
ARCHITECTURE, PLANNING & INTERIORS

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MIAMI, FLORIDA 33134
305.495.2751
FLORIDA LICENSE # AR 94898
AA 260022858

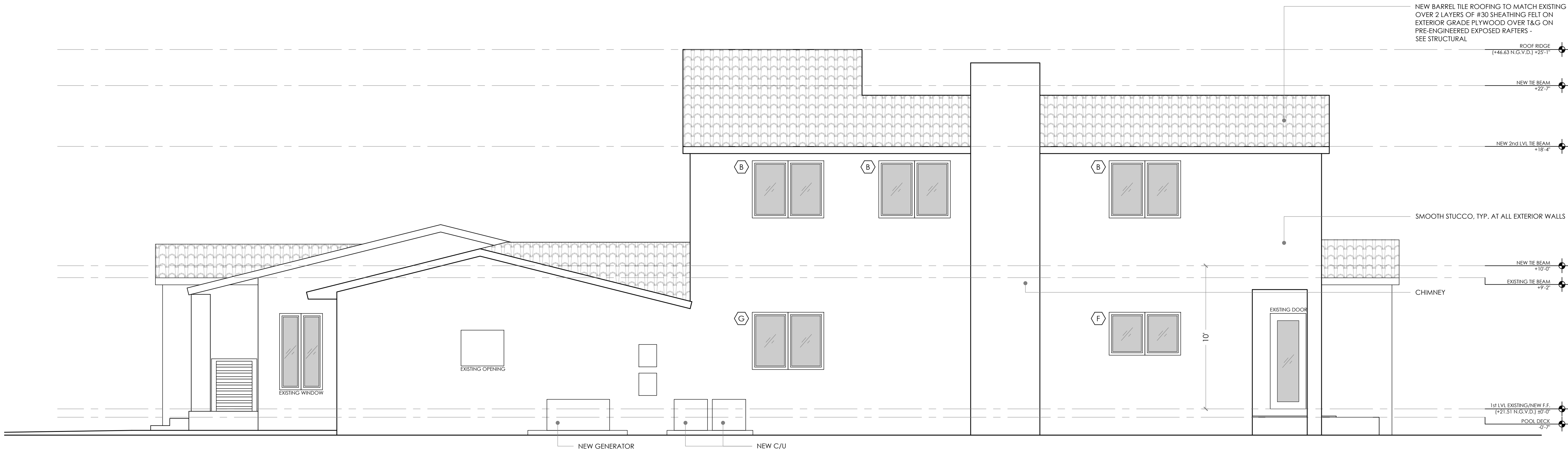
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A3.1



2 EXIST. WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 NEW WEST ELEVATION
SCALE: 1/4" = 1'-0"

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A3.2

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SINGLE FAMILY HOME RENOVATION / ADDITION

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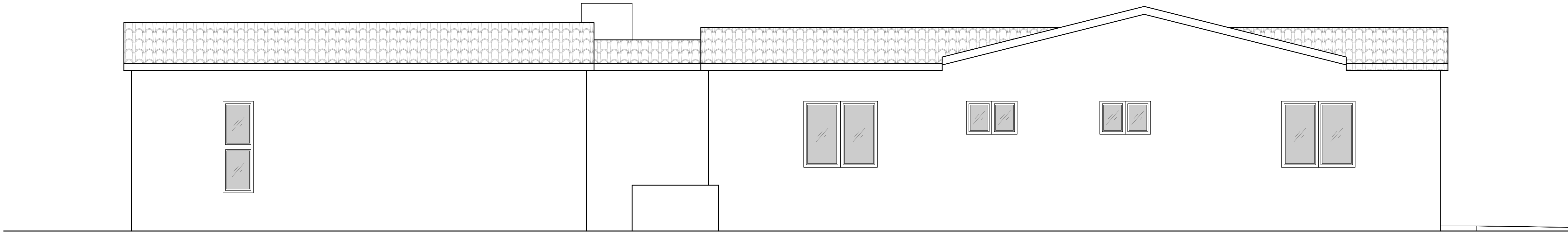
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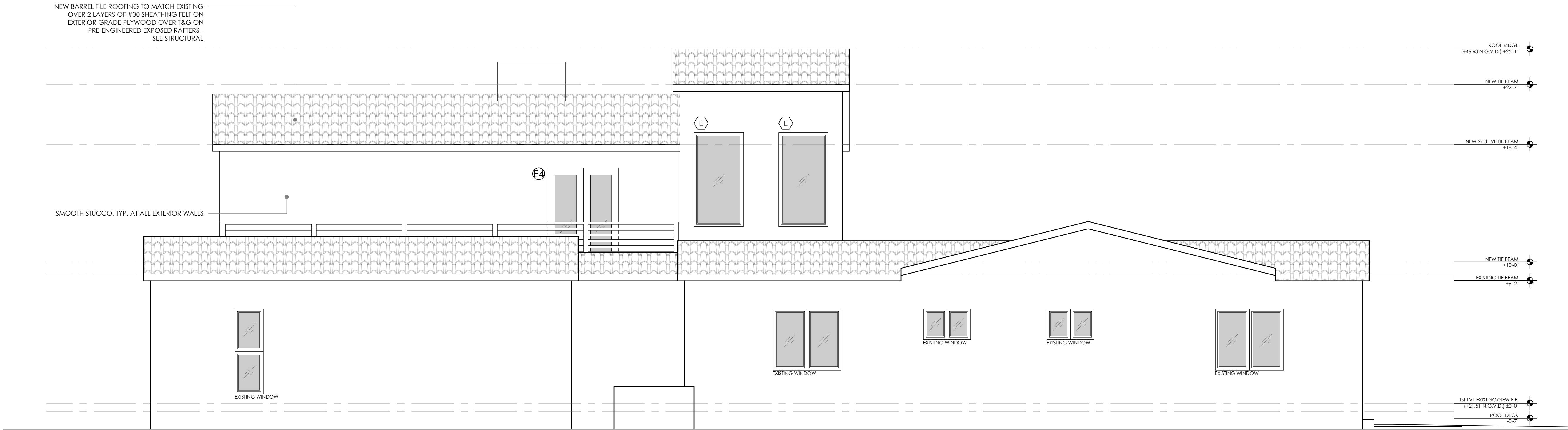
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2 EXIST. EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 NEW EAST ELEVATION
SCALE: 1/4" = 1'-0"

PROGRESS SET NOT FOR CONSTRUCTION

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SINGLE FAMILY HOME RENOVATION / ADDITION

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A3.4

REVISIONS

#	DATE



SINGLE FAMILY HOME RENOVATION / ADDITION

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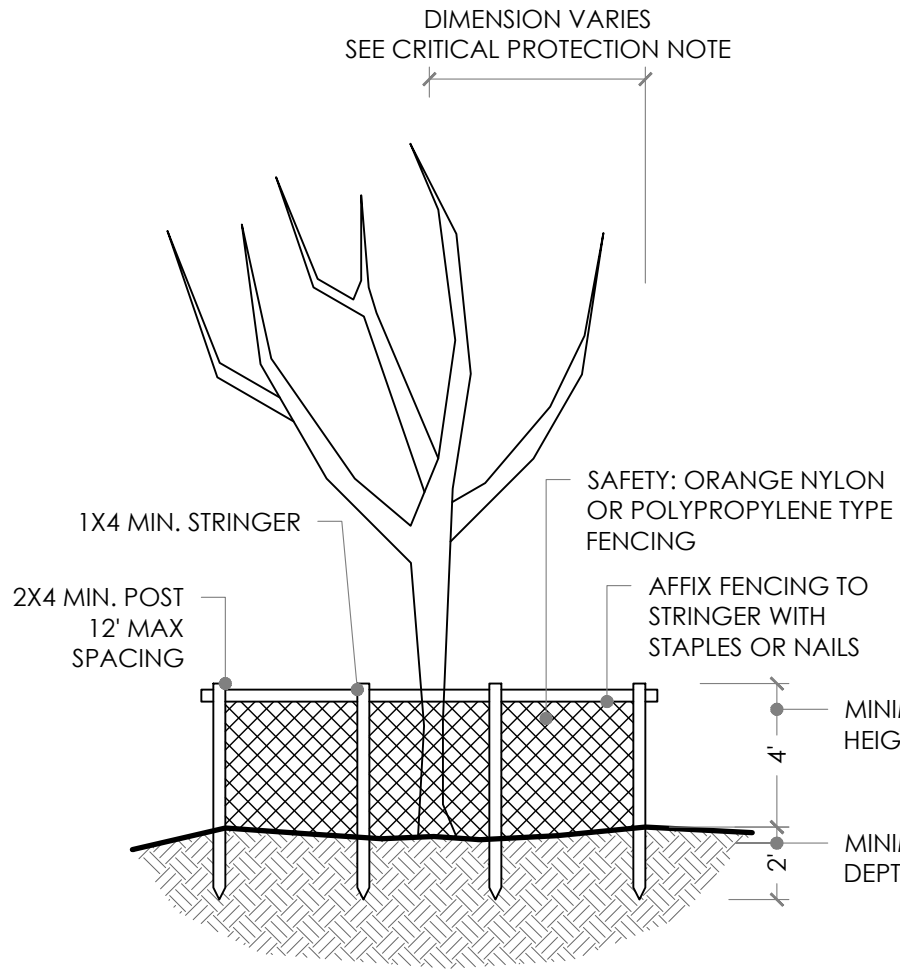
TR1

TREE SCHEDULE						
No.	NAME	SCIENTIFIC NAME	TRUNK DIAM.	CANOPY DIAM.	HEIGHT	ACTION
1	BLACK OLIVE	BUCIDA BUCERAS	29.0"	40'	25'	PROTECT
2	BLACK OLIVE	BUCIDA BUCERAS	26.5"	35'	25'	PROTECT
3	OAK	QUERCUS VIRGINIANA	36.0"	30'	25'	PROTECT
4	OAK	QUERCUS VIRGINIANA	24.0"	20'	15'	REMOVE
5	OAK	QUERCUS VIRGINIANA	14.5"	25'	15'	REMOVE
6	LOQUAT	ERIOBOTRYA JAPONICA	14.5"	15'	10'	PROTECT
7	AVOCADO	PERSEA AMERICANA	12.5"	25'	10'	PROTECT

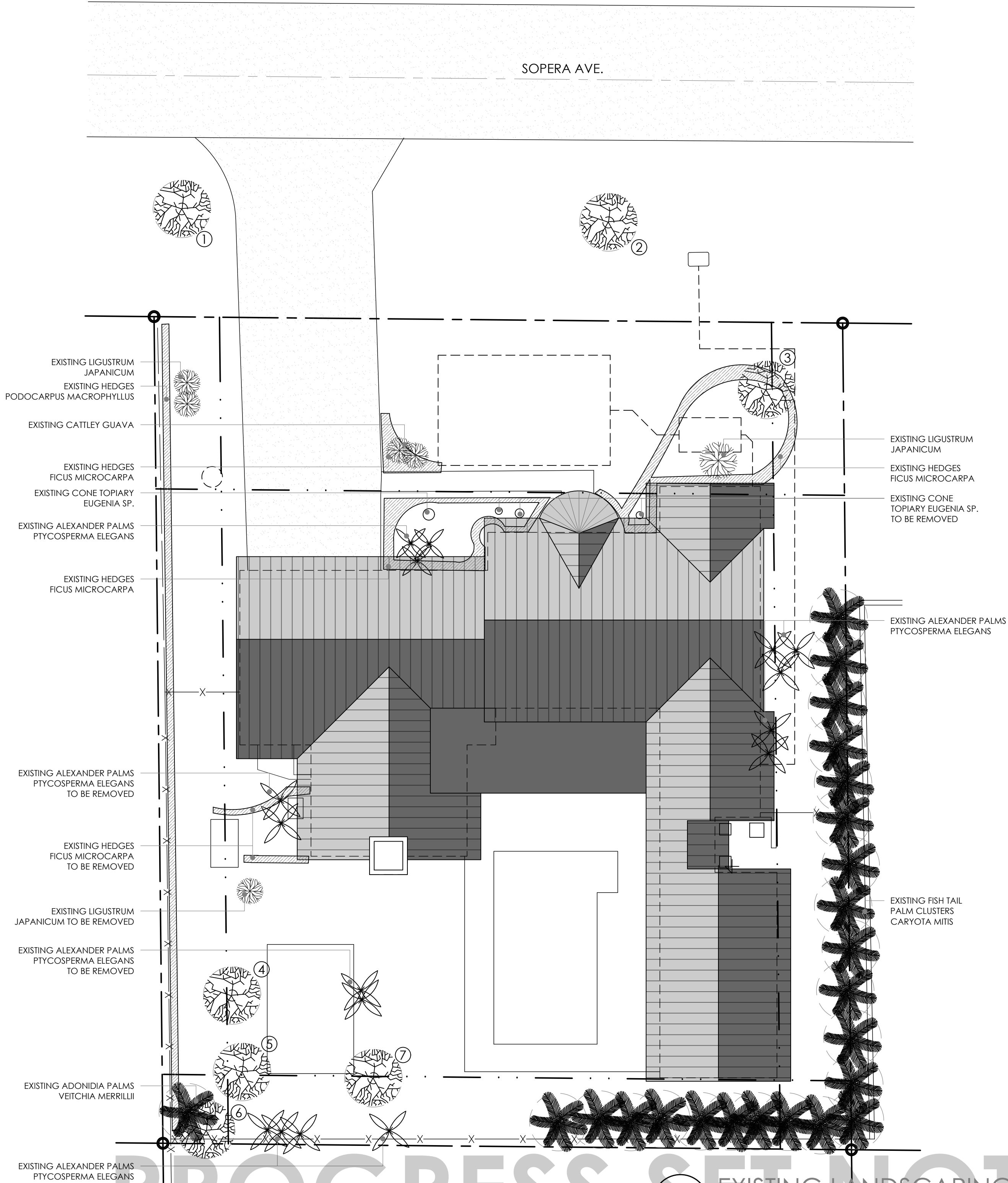
REPLACEMENT TREE NOTE:
2 LARGE SPECIES REQUIRED AS PER CODE. NO NEW LANDSCAPE TREES TO BE PLANTED ON PROPERTY. OWNER TO USE TREE FUND OPTION UPON CITY OF CORAL GABLES APPROVAL.

CRITICAL PROTECTION ZONE: THE AREA SURROUNDING A TREE WITHIN A CIRCLE DESCRIBED BY A RADIUS OF ONE FOOT FOR EACH INCH OF THE TREE TRUNK DIAMETER AT 54" ABOVE FINISH GRADE. FOR GROUPS OF TREES, PLACE BARRICADES BETWEEN TREES AND CONSTRUCTION ACTIVITY

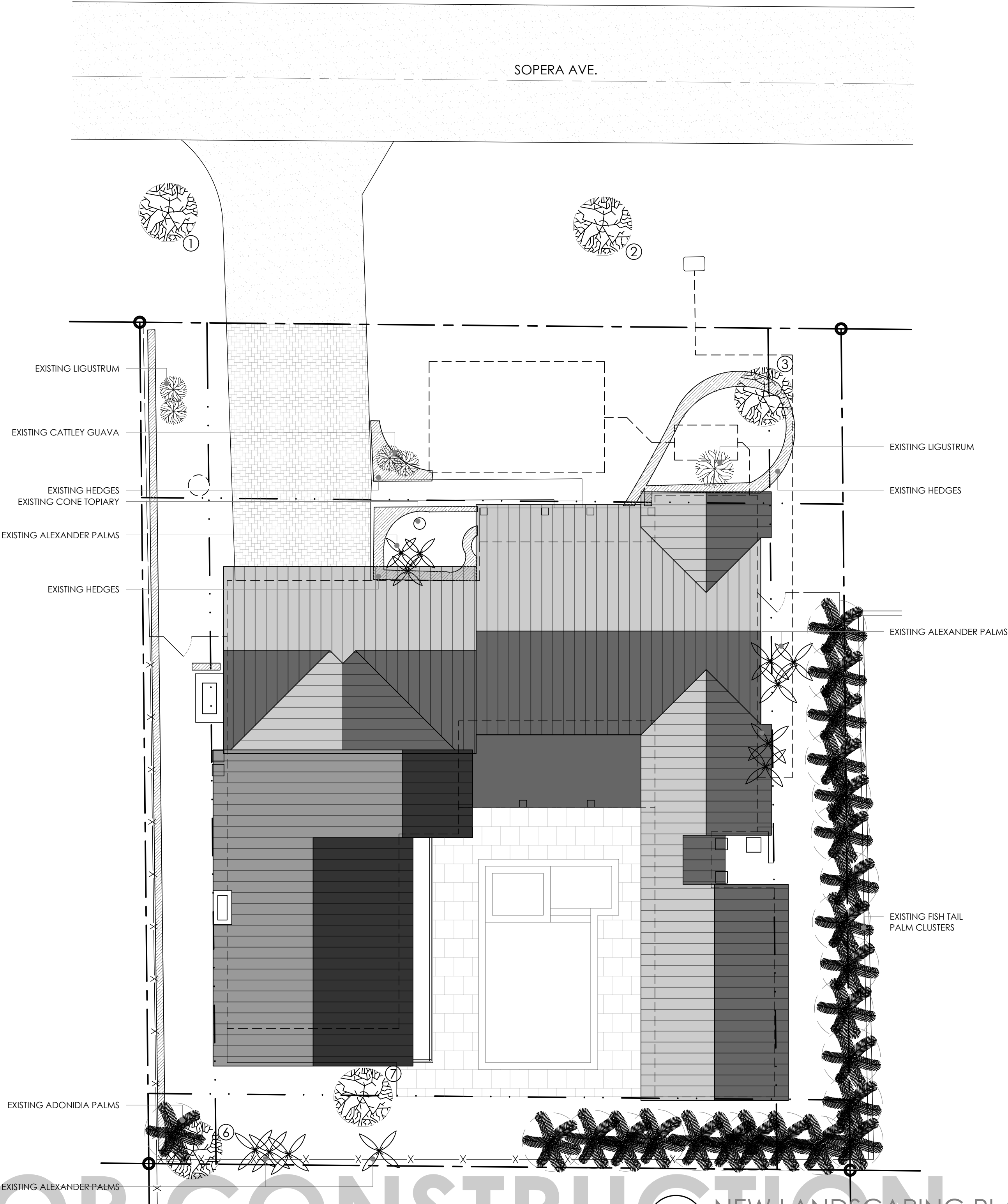
TREE PROTECTION BARRICADES SHALL BE LOCATED TO PROTECT A MINIMUM OF 75% OF THE CRITICAL PROTECTION ZONE



3 TREE PROTECTION DETAIL
SCALE: 3/16" = 1'-0"



2 EXISTING LANDSCAPING PLAN
SCALE: 3/32" = 1'-0"



1 NEW LANDSCAPING PLAN
SCALE: 3/32" = 1'-0"