

PROJECT

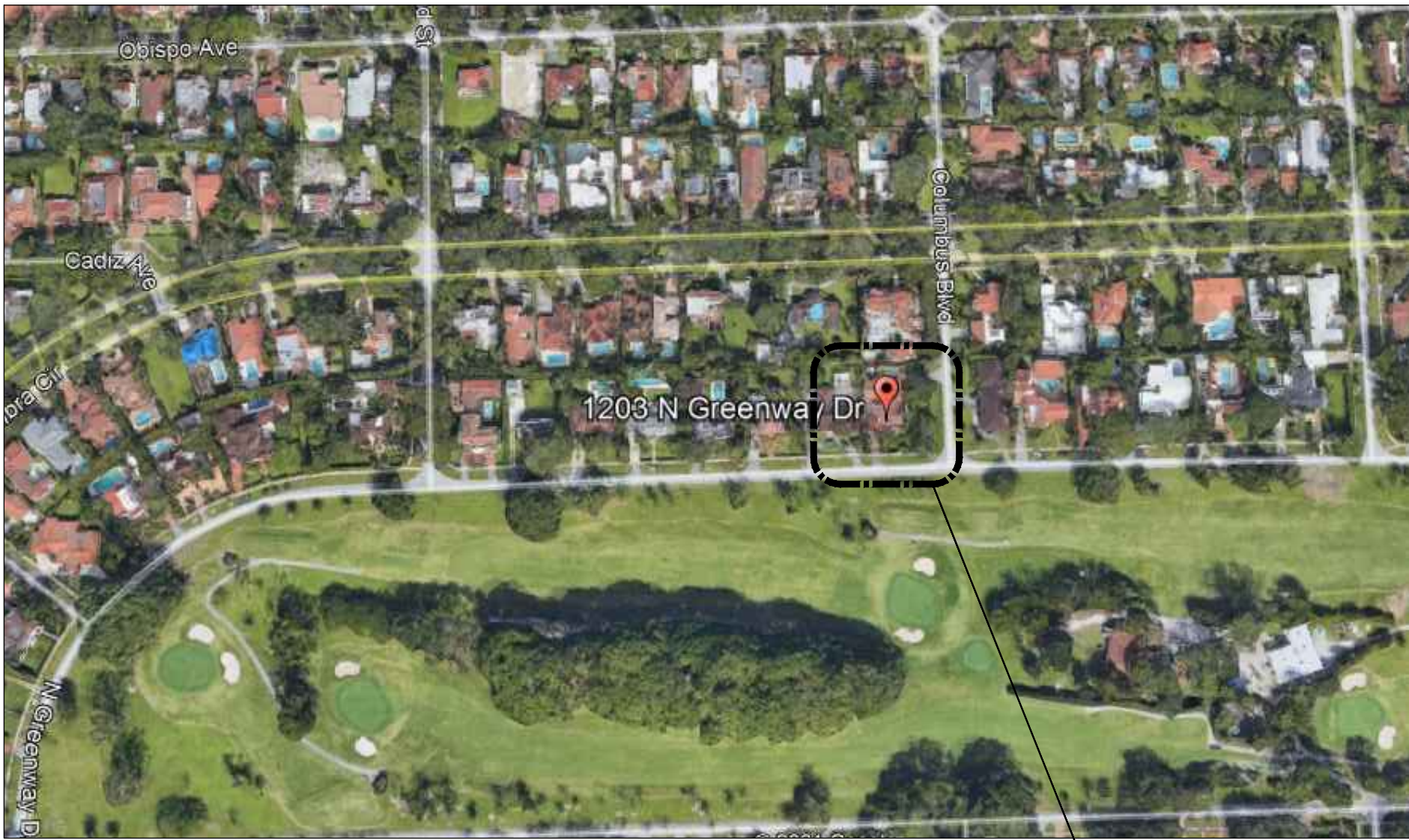
CLEMENTI
RESIDENCE
CORAL GABLES

LOCATION

1203 NORTH GREENWAY DRIVE
CORAL GABLES, FLORIDA 33134

TITLE

PRELIMINARY ISSUE TO
BOARD OF ARCHITECTS
October. 23rd 2020



SITE LOCATION PLAN

LOCATION OF
EXISTING RESIDENCE

HERNANDEZ STRUCTURAL DESIGN Inc.

STRUCTURAL CONSULTANTS, INSPECTIONS, INVESTIGATIONS

Victor Hernandez – P.E. # 72387 C.A. 28634

11423 Soc Grass Cir, Boca Raton, FL 33498

Tel: 804-247-1388 Cell: 734-422-8796

HSD

ARCHITECT OF RECORD HEREBY EXPRESSLY
RESERVES HIS COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE
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WITHOUT FIRST OBTAINING THE EXPRESS
WRITTEN PERMISSION AND CONSENT OF
OSCAR CABEZA.

ARCHITECT:
LUIS E. URIARTE
Florida Architect License # AR 94107
18100 ATLANTIC BOULEVARD
PHONE 786 290 9807
Email: invusa@live.com

SIGN / SEAL:



2925 NW 126 AVE. UNIT 106
SUNRISE, FLORIDA 33323
TEL: 305.773.1311
RADINC2002@GMAIL.COM

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STATEMENT:

DESIGN STYLE OF PROPOSED ADDITION IS TO MATCH
THE SPANISH STYLE OF THE EXISTING RESIDENCE.

ARCHITECTURAL REVIEW SUBMITTAL: 10-23-20

REVISED ARCH REVIEW SUBMITTAL: 12-24-20

REVISED ARCH REVIEW SUBMITTAL: 03-11-21

REVISED ARCH REVIEW SUBMITTAL: 05-28-21

Code in Effect: F.B.C. 2020 7th EDITION

GENERAL LEGEND:

BCR = BROWARD COUNTY RECORDS
BM = BENCHMARK
CB = CATCH BASIN
CME = CANAL MAINTENANCE EASEMENT
C/L = CENTERLINE
CLF = CHAIN LINK FENCE
CBS = CONCRETE BLOCK STRUCTURE
CHATT = CHATTAHOOCHEE
CONC = CONCRETE
D = DELTA (CENTRAL ANGLE)
DE = DRAINAGE EASEMENT
E = EAST
ELE = ELEVATION
X 0.00' = ELEVATION
EOP = EDGE OF PAVEMENT
EOW = EDGE OF WATER
FF = FINISHED FLOOR
FH = FIRE HYDRANT
FN = FOUND NAIL
FIP = FOUND IRON PIPE
FIR = FOUND IRON ROD
FN = FOUND NAIL
FND = FOUND NAIL & DISC
INV = INVERT
L = ARC LENGTH
LP = LIGHT POLE
LM = LAKE MAINTENANCE
LME = LAKE MAINTENANCE EASEMENT
N = NORTH
N&D = NAIL & DISC
MF = METAL FENCE
MH = MAN HOLE
OH = OVERHEAD CABLES
OR = OFFICIAL RECORD BOOK
O/S = O/S
PB = PLAT BOOK
PBCR = PALM BEACH COUNTY RECORDS
PC = POINT OF CURVATURE
PG = PAGE
PL = PLANTER
POB = POINT OF BEGINNING
POC = POINT OF COMMENCEMENT
P.U.E = PUBLIC UTILITY EASEMENT
PVCF = POLYVINYL CHLORIDE FENCE
R = RADIUS
R/W = RIGHT OF WAY
S = SOUTH
S/W = SIDEWALK
SIR = SET 1/2" IRON ROAD
SND = SET NAIL & DISC
TYP = TYPICAL
UE = UTILITY EASEMENT
W = WEST
WF = WOOD FENCE
WM = WATER METER

OVERHEAD CABLES (OH)

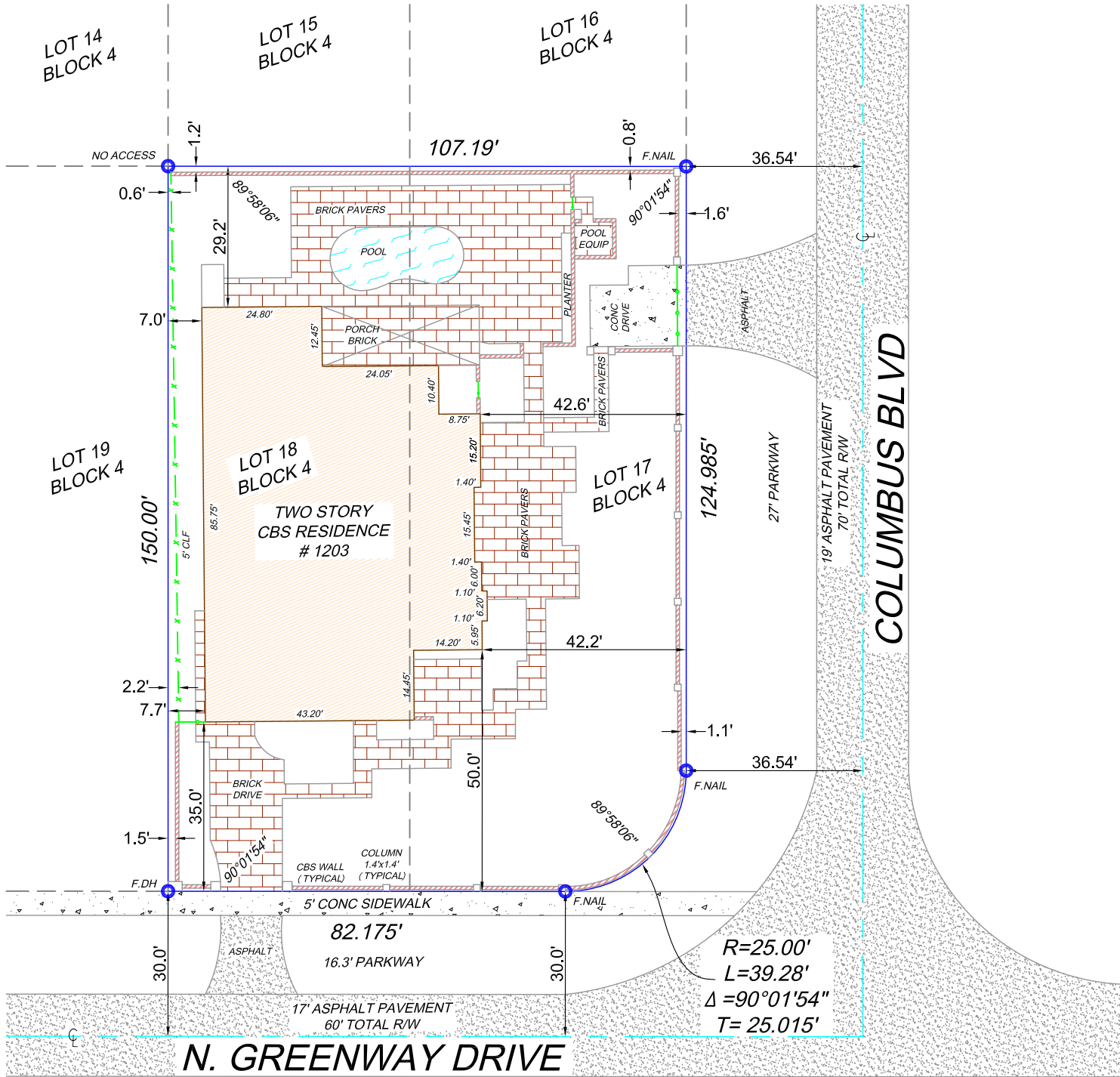
OH OH

PLASTIC FENCE

WOOD FENCE (WF)

METAL FENCE (MF)

° DEGREE SYMBOL



LEGAL DESCRIPTION:

LOT 17 AND 18, BLOCK 4 OF "CORAL GABLES SECTION E" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 13 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

CERTIFICATIONS:

MICHAEL S. CLEMENTI, as Trustee of the Poppy Revocable Trust dated October 14, 2019

RICHARD E. DOUGLAS, P.A. OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

SURVEYORS NOTES:

- (1). ANGLES IF SHOWN ARE REFERENCED TO THE RECORD PLAT AND ARE AS MEASURED.
- (2). LEGAL DESCRIPTION PROVIDED BY CLIENT UNLESS OTHERWISE NOTED.
- (3). NO UNDERGROUND IMPROVEMENTS LOCATED EXCEPT AS SHOWN.
- (4). THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT THEREFOR THE ONLY SURVEY MATTERS SHOWN ARE PER THE RECORD PLAT. THERE MAY BE ADDITIONAL MATTERS OF RECORD, NOT SHOWN WHICH CAN BE FOUND IN THE PUBLIC RECORDS OF THE CORRESPONDING COUNTY OF RECORD.
- (5). THIS SURVEY IS FOR CONVEYANCE PURPOSES ONLY
- (6). THIS SURVEY IS NOT TO BE USED FOR CONSTRUCTION PURPOSES AND/OR NEW DESIGN.
- (7). NAVD = NORTH AMERICAN VERTICAL DATUM OF 1988
THE FLOOD ZONE DATUM SHOWN BELOW IS REFERENCED TO 1988

Boundary Survey

PROPERTY ADDRESS:

1203 N. GREENWAY DRIVE,
CORAL GABLES, FL. 33134

FLOOD ZONE DATA:

ZONE: X N/A

COMMUNITY #: 120639

PANEL & SUFFIX: 0294 L

DATE OF FIRM: 11/09/09

REVISIONS:

FIELD LOCATION OF IMPROVEMENTS

DATE:

01/13/2020

SCALE: 1" = 30'

CADD: I.C.

CHECKED BY: JSP

INVOICE #: 20- 51578

SHEET # 1 OF 1

THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 54 N. FLORIDA ADMINISTRATIVE CODE.

JULIO S. PITA. PSM., STATE OF FLORIDA
PROFESSIONAL SURVEYOR AND MAPPER L.S. 5789
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

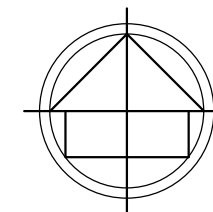
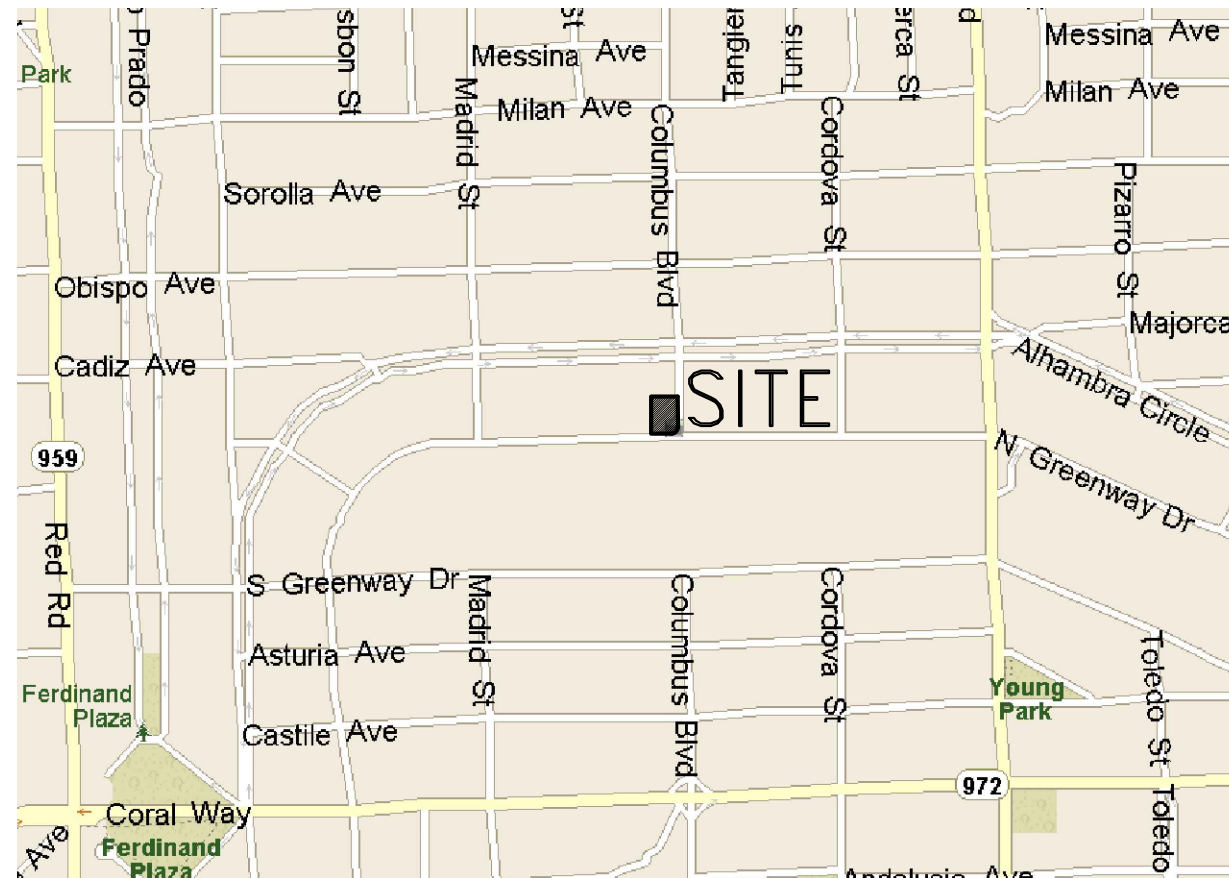
ALL COUNTY SURVEYORS



SKETCH OF SURVEY

LEGEND:

CKD	CHECKED BY
CONC	CONCRETE
DWN	DRAWN BY
FB/PG	FIELD BOOK AND PAGE
SIR	SET 5/8"IRON ROD & CAP #6448
SNC	SET NAIL & CAP #6448
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
FNC	FOUND NAIL & CAP
FND	FOUND NAIL & DISK
P.B.	PLAT BOOK
M/D.C.R.	MIAMI/DADE COUNTY RECORDS
FPL	FLORIDA POWER & LIGHT
-X-	CHAIN LINK FENCE
-E-	OVERHEAD UTILITY LINES
WM	WATER METER
WV	WATER VALVE
EB	ELECTRIC BOX
WPP	WOOD POWER POLE
0.00	ELEVATIONS
R	RADIUS
Δ	DELTA ANGLE
A	ARC DISTANCE
DBH	DIAMETER AT BREAST HEIGHT
NTS	NOT TO SCALE



LAND DESCRIPTION:

LOT 17 AND 18, BLOCK 4 OF "CORAL GABLES SECTION E",
ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT
BOOK 8, PAGE 13, OF THE PUBLIC RECORDS OF MIAMI/DADE
COUNTY, FLORIDA.

NOTES:

1. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
3. THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
4. THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
5. UNDERGROUND IMPROVEMENTS NOT SHOWN.
6. ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29).
7. BENCHMARK DESCRIPTION: MIAMI/DADE COUNTY BENCHMARK #P-401 ELEVATION = 16.34' (NGVD29)

I HEREBY CERTIFY THAT THE "SKETCH OF SURVEY" OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED IN THE FIELD UNDER MY DIRECTION IN SEPTEMBER, 2020. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE STANDARD OF PRACTICE FOR SURVEYING IN THE STATE OF FLORIDA ACCORDING TO CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE. PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THERE ARE NO ABOVE GROUND ENCROACHMENTS OTHER THAN THOSE SHOWN HEREON, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

FOR THE FIRM, BY: -----

RICHARD E. COUSINS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. 4188

SURVEY DATE : 09/09/20

COUSINS SURVEYORS & ASSOCIATES, INC.



3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954)689-7766 FAX (954)689-7799
EMAIL: OFFICE@CSASURVEY.NET

PROJECT NUMBER: 9342-20

CLIENT :

MARK TATIS

REVISIONS	DATE	FB/PG	DWN	CKD
BOUNDARY & IMPROVEMENTS SURVEY	09/09/20	SKETCH	JD	REC

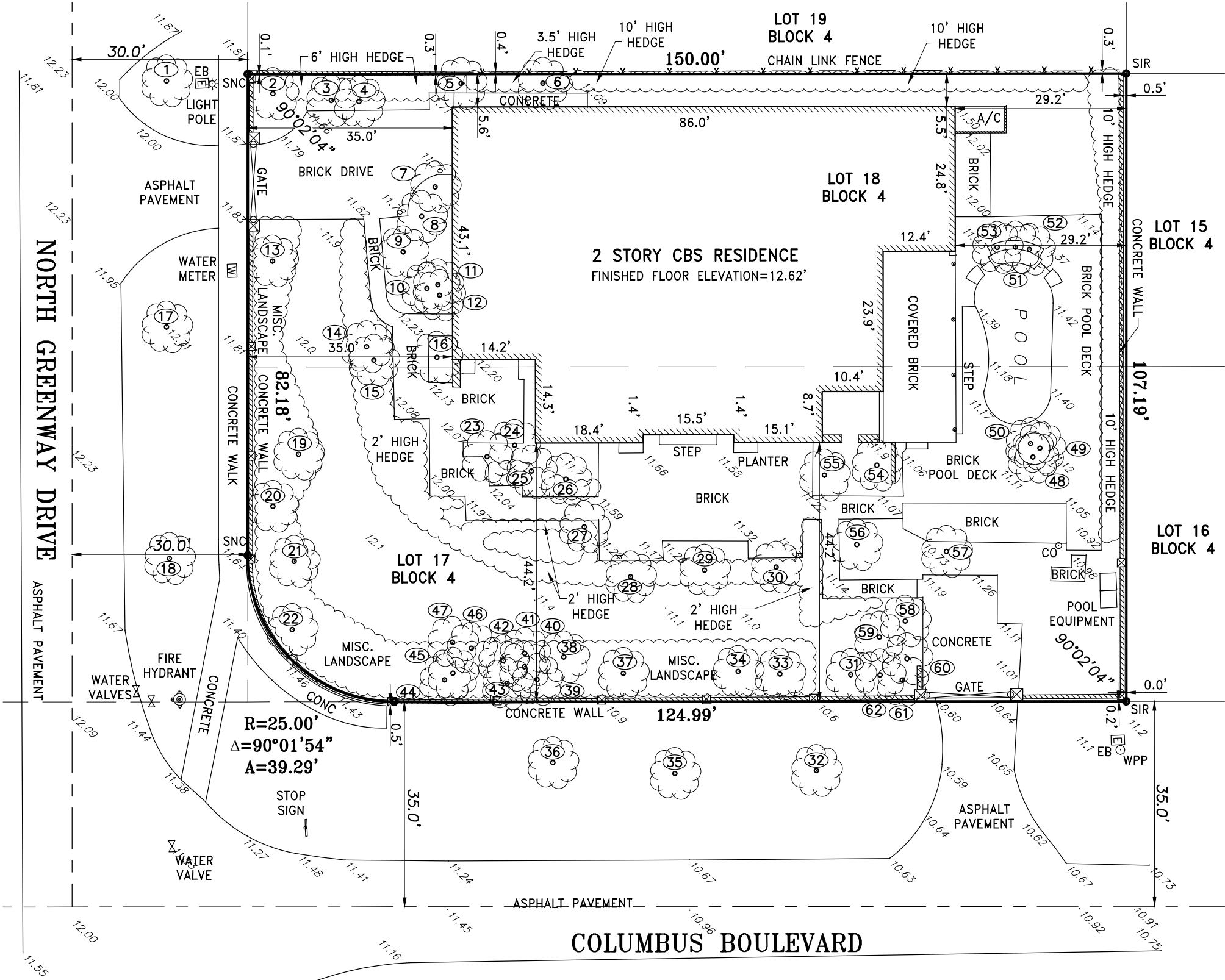
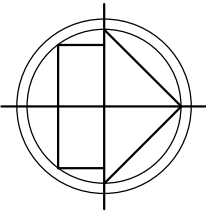
FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	120639
PANEL NUMBER	0294L
ZONE	X
BASE FLOOD ELEVATION	N/A
EFFECTIVE DATE	09/11/09

PROPERTY ADDRESS :
1203 N GREENWAY DRIVE

SCALE: 1"= 20'

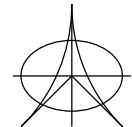
SHEET 1 OF 2

SKETCH OF SURVEY



TREE #	TREE NAME (COMMON)	DBH	# OF TRUNKS
1	PALM	8"	1
2	OAK	6"	1
3	PALM	15"	1
4	UNKNOWN	7"	1
5	PALM	16"	1
6	MAHOGANY	16"	1
7	PALM	4"	2
8	PALM	4"	2
9	UNKNOWN	4"	1
10	PALM	4"	1
11	PALM	4"	1
12	PALM	4"	1
13	PALM	15"	1
14	PALM	4"	2
15	PALM	4"	2
16	PALM	6"	2
17	PALM	8"	1
18	PALM	8"	1
19	UNKNOWN	12"	1
20	PALM	4"	1
21	PALM	3"	2
22	FICUS	50"	1
23	PALM	3"	2
24	PALM	4"	1
25	UNKNOWN	4"	1
26	PALM	9"	1
27	PALM CLUSTER		
28	ACACIA	6"	1
29	ACACIA	12"	1
30	ACACIA	10"	1
31	OAK	15"	1

TREE #	TREE NAME (COMMON)	DBH	# OF TRUNKS
32	PALM	11"	1
33	OAK	15"	1
34	OAK	12"	1
35	PALM	11"	1
36	PALM	12"	1
37	PALM	12"	1
38	PALM	3"	1
39	PALM	8"	3
40	PALM	5"	1
41	PALM CLUSTER		
42	PALM	3"	3
43	PALM	3"	1
44	PALM	8"	2
45	PALM	12"	1
46	PALM	3"	1
47	SUGAR APPLE	4"	1
48	PALM	4"	1
49	PALM	4"	1
50	PALM	4"	1
51	PALM	6"	1
52	PALM	6"	1
53	PALM	6"	1
54	UNKNOWN	4"	1
55	UNKNOWN	3"	1
56	UNKNOWN	4"	1
57	PALM	4"	1
58	UNKNOWN	6"	1
59	UNKNOWN	6"	1
60	UNKNOWN	3"	1
61	UNKNOWN	3"	1
62	UNKNOWN	6"	1



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REVISIONS	DATE	FB/PG	DWN	CKD
BOUNDARY & IMPROVEMENTS SURVEY	09/09/20	SKETCH	JD	REC

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	120639
PANEL NUMBER	0294L
ZONE	X
BASE FLOOD ELEVATION	N/A
EFFECTIVE DATE	09/11/09

PROPERTY ADDRESS :
1203 N GREENWAY DRIVE

SCALE: 1"= 20'

SHEET 2 OF 2



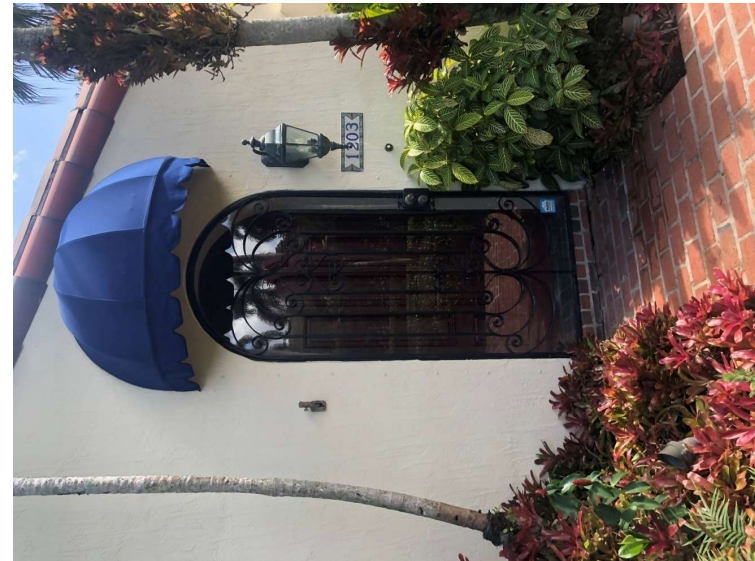
FRONT VIEW FROM N. GREENWAY DR.



CLOSER FRONT VIEW FROM N. GREENWAY DR.



INTERIOR FAÇADE OF EXISTING HOUSE – FACING N. GREENWAY



MAIN ENTRANCE WITH BLUE CANOPY AT N. GREENWAY

CLEMENTI RESIDENCE

1203 N. GREENWAY DR.
CORAL GABLES, FLORIDA





INTERIOR PROPERTY - COLUMBUS BLVD. SIDE



INTERIOR PROPERTY TO POOL AND FUTURE PROPOSED ADDITION



BACK INTERIOR PROPERTY- POOL SIDE-NEIGHBOR SIDE



BACK POOL TERRACE-NEIGHBOR SIDE

CLEMENTI RESIDENCE 1203 N. GREENWAY DR.
CORAL GABLES. FLORIDA





OUTSIDE VIEW FROM COLUMBUS AVE.



COLUMBUS AVE DRIVEWAY- PROPOSED EXPANSION LOCATION



AREA FOR ADDITION- COLUMBUS AVE. NEIGHBOR SIDE



COLUMBUS AVE. NEIGHBOR'S HOUSE

CLEMENTI RESIDENCE 1203 N. GREENWAY DR.
CORAL GABLES. FLORIDA





NEIGHBOR' HOUSE ACROSS -COLUMBUS BLVD.



NORTH VIEW DOWN COLUMBUS BLVD. TOWARD ALHAMBRA CIRCLE



NEIGHBOR'S HOUSE ACROSS- COLUMBUS BLVD. SIDE-SE CORNER
CLEMENTI RESIDENCE 1203 N. GREENWAY DR.
 CORAL GABLES. FLORIDA



VIEW SOUTH FROM COLUMBUS BLVD. TOWARDS N. GREENWAY





NEIGHBOR' HOUSE – N. GREENWAY DR.



HOUSE ALONG N. GREENWAY DR.



HOUSE ALONG N. GREENWAY DR.



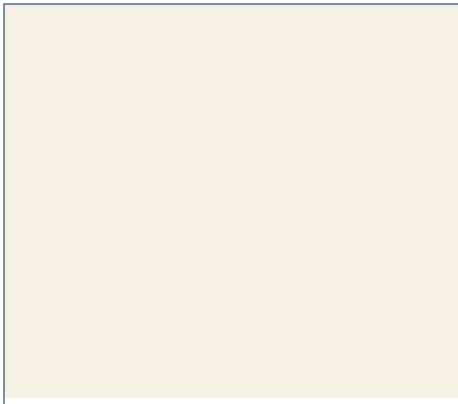
HOUSE ALONG N. GREENWAY DR.

CLEMENTI RESIDENCE

1203 N. GREENWAY DR.
CORAL GABLES. FLORIDA



COLOR AND MATERIALS



PT-1

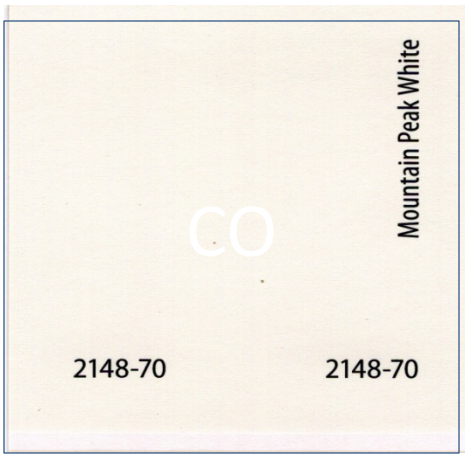
BENJAMIN MOORE
BM-2148-50
SANDY WHITE
(ALL STUCCO WALLS-
FINISH TO MATCH
EXISTING HOUSE
COLOR)



STUCCO WALLS TEXTURE
(TO MATCH EXISTING)
PAINTED PT-1



SCONCES-TO MATCH EXISTING



PT-2

BENJAMIN MOORE
BM-2148-70
MOUNTAIN PEAK WHITE
(ALL TRIMS/WINDOWS-
FINISH TO MATCH EXISTING
HOUSE COLOR)



LOW WALL DETAILS



RAILING DETAILS-TO MATCH EXISTING

CLEMENTI RESIDENCE

1203 N. GREENWAY DR.
CORAL GABLES. FLORIDA



COLOR AND MATERIALS- 2



KEYSTONE FINISH ON PLANTER WINDOW BOXES.

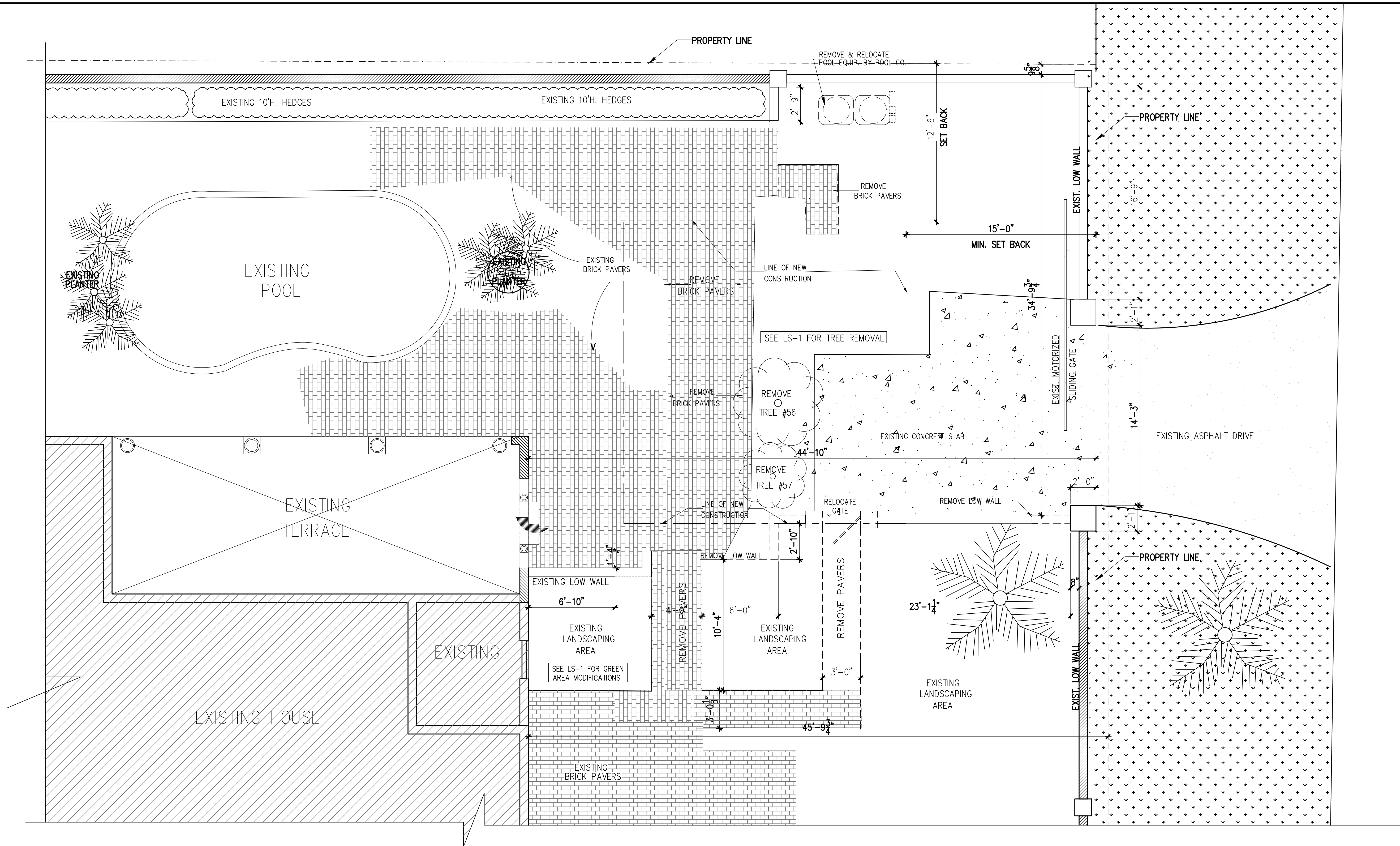


PLANTER WINDOW BOXES

CLEMENTI RESIDENCE

1203 N. GREENWAY DR.
CORAL GABLES. FLORIDA





DEMOLITION NOTES

- CONDITIONS AND REQUIREMENTS : THE DEMOLITION CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR HAULING AND LEGALLY DISPOSING OF MATERIALS REMOVED IN MATERIALS REMOVED IN DEMOLITION WORK.
- PROCEDURES: THE PROCEDURES PROPOSED FOR THE ACCOMPLISHMENT OF SALVAGE & DEMOLITION WORK SHALL PROVIDE FOR SAFE CONDUCT OF WORK CAREFUL REMOVAL AND DISPOSITION OF MATERIALS, PROTECTION OF PROPERTY, COORDINATION WITH WORK OF OTHERS IN PROGRESS, AND TIMELY DISCONNECTION OF UTILITY SERVICES. THE PROCEDURES SHALL INCLUDE A DETAILED DESCRIPTION OF METHODS AND EQUIPMENT TO BE USED FOR EACH OPERATION.
- POOL EQUIPMENT: REMOVE POOL PUMP, ELECTRICAL DEVICES AND RELOCATE PER PROPOSED PLAN.
- DUST CONTROL: THE AMOUNT OF DUST RESULTING FROM DEMOLITION SHALL BE CONTROLLED TO PREVENT THE SPREAD OF DUST TO AVOID CREATION OF A NUISANCE IN THE SURROUNDING AREA. USE OF WATER WILL NOT BE PERMITTED WHEN IT WILL RESULT IN, OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.
- PROTECTION OF EXISTING BUILDING:
 - EXISTING BUILDING SHALL BE PROTECTED FROM DAMAGE. ANY PART DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS AT CONTRACTOR'S EXPENSE.
 - COVER ITEMS AS NECESSARY TO PROTECT FROM DUST.
 - AT END OF EACH WORK DAY, CLOSE OFF AREAS FROM PUBLIC.
 - DEMOLITION CONTRACTOR SHALL PROVIDE AND MAINTAIN NECESSARY BARRICADES TO PREVENT SPILLAGE ON ANY UNAUTHORIZED PERSONS FROM ACCIDENTALLY OR INTENTIONALLY ENTERING THE AREA OF WORK.
- ENVIRONMENTAL PROTECTION: ALL WORK AND CONTRACT OPERATIONS SHALL COMPLY WITH ALL REQUIREMENTS OF STATE AND BROWARD COUNTY ENVIRONMENTAL PROTECTION REGULATIONS. WHEN IT WILL RESULT IN, OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.
- DISPOSING OF MATERIAL:
 - TITLE TO MATERIALS: TITLE TO ALL MATERIAL AND EQUIPMENT TO BE DEMOLISHED AND REMOVED EXCEPT ITEMS INDICATED TO BE TURNED OVER TO THE OWNER IS VESTED IN THE CONTRACTOR AT START OF PROJECT. THE OWNER WILL NOT BE RESPONSIBLE FOR THE CONDITIONS, LOSS, OR DAMAGE TO SUCH PROPERTY AFTER NOTICE TO PROCEED.
 - DEBRIS CONTROL: REMOVE AND TRANSPORT DEBRIS IN LEAK-FREE CONTAINERS IN A MANNER TO PREVENT SPILLAGE ON ANY PART OF EXISTING BUILDING, PARKING LOT AREAS, OR CITY STREETS.
 - REGULATIONS: COMPLY WITH COUNTY, MUNICIPALITY, AND CITY REGULATIONS REGARDING HAULING AND DISPOSAL OF DEBRIS. ALL SUCH MATERIAL SHALL BE DISPOSED OF OFF SITE IN A LEGAL DISPOSAL AREA.
- PREPARATION:
 - PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ASSURE STRUCTURAL VALUE OR INTEGRITY OF AFFECTED PORTION OF PROJECT FROM DAMAGE.
 - PROVIDE DEVICES AND METHODS TO PROTECT OTHER PORTIONS OF PROJECT FROM DAMAGE.
 - PROVIDE PROTECTION FROM ELEMENTS FOR THAT PORTION OF THE PROJECT WHICH MAY BE EXPOSED BY CUTTING, PATCHING WORK, PAINTING, APPLY SHEROOCK, FUMES, DUST, & NOISE.
- PERFORMANCE:
 - EXECUTE CUTTING AND DEMOLITION BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER WORK, AND WHICH WILL PROVIDE PROPER SURFACES TO RECEIVE INSTALLATION OF REPAIRS. POOL DECK CUTTING W/ NO SLAB DAMAGE.
 - EXECUTE FITTING AND ADJUSTMENT OF PRODUCTS TO PROVIDE A FINISHED INSTALLATION TO COMPLY WITH SPECIFIED PRODUCTS, FUNCTION, TOLERANCE AND FINISHES.
 - RESTORE WORK WHICH HAS BEEN CUT OR REMOVED. INSTALL NEW PRODUCTS TO PROVIDE COMPLETED WORK IN ACCORD WITH REQUIREMENTS THROUGH DOCUMENTS.
 - FIT WORK AIR-TIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT AND OTHER PENETRATIONS THROUGH SURFACES.
 - REFINISH ENTIRE SURFACES AS NECESSARY TO PROVIDE AN EVEN FINISH TO MATCH ADJACENT FINISHES.

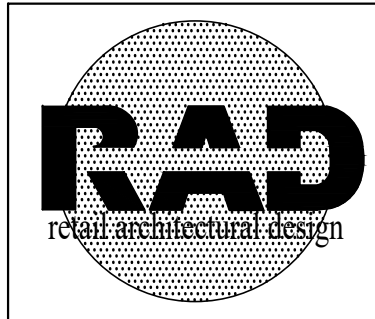
SITE DEMOLITION PLAN

SCALE 1/4"=1'-0"

ARCHITECT:
LUIS E. URIARTE
Florida Architect License # AR 94107
18100 ATLANTIC BOULEVARD
PH. 786 290 9807 Email: invusa@live.com

Code in Effect: F.B.C. 2020 7th EDITION

ARCHITECT OF RECORD HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THE DESIGN AND DRAWINGS ARE NEITHER TO BE REPRODUCED, COPIED NOR CHANGED IN ANY FORM OR MANNER WHAT SO EVER NOR ASSIGNED TO ANY PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF OSCAR CABEZA.



2025 NW 126 AVE. UNIT 106
SUNRISE, FLORIDA 33323
TEL: 305.773.1311
RADINC2002@GMAIL.COM

CONDITIONS:
ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF R.A.D. INC. AND ARE CREATED, ENJOINED AND DEVELOPED FOR USE IN, AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF R.A.D. INC. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL DIMENSIONS ON CONDITIONS ON THE JOB AND THE OFFICE. MUST BE NOTICED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

REVISIONS
12/27/20 12/27/20 12/27/20
05/28/21 05/28/21 05/28/21
GENERAL REVISIONS BASED ON BOA COMMENTS ON 4-15-21

ITEM DATE DESCRIPTION

PROJECT

CLEMENTI
RESIDENCE

CORAL GABLES

LOCATION

1203 NORTH GREENWAY DRIVE
CORAL GABLES, FLORIDA 33134

TITLE

SITE DEMOLITION
PLAN

SCALE: AS NOTED

DRAWN: M.T.

CHECK: M.T.

DATE: 10-23-20

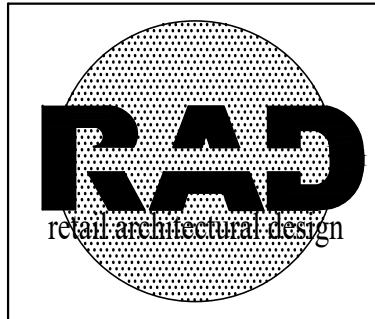
PROJECT NO.: 18100 ATLANTIC

DRAWING NUMBER

D-1

HERNANDEZ STRUCTURAL DESIGN INC.
STRUCTURAL CONSULTANTS, INSPECTIONS, INVESTIGATIONS
Victor Hernandez - P.E. # 72387 C.A. 29634
11423 Sec Grass Cir, Boca Raton, FL 33488
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TEL: 305.773.1311
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REVISIONS
12/27/20 12/27/20 12/27/20
05/28/21 05/28/21 05/28/21
GENERAL REVISIONS BASED ON BOA COMMENTS ON 4-15-21

ITEM DATE DESCRIPTION

PROJECT

CLEMENTI
RESIDENCE

CORAL GABLES

LOCATION

1203 NORTH GREENWAY DRIVE
CORAL GABLES, FLORIDA 33134

TITLE

SITE DEMOLITION
PLAN

SCALE: AS NOTED

DRAWN: M.T.

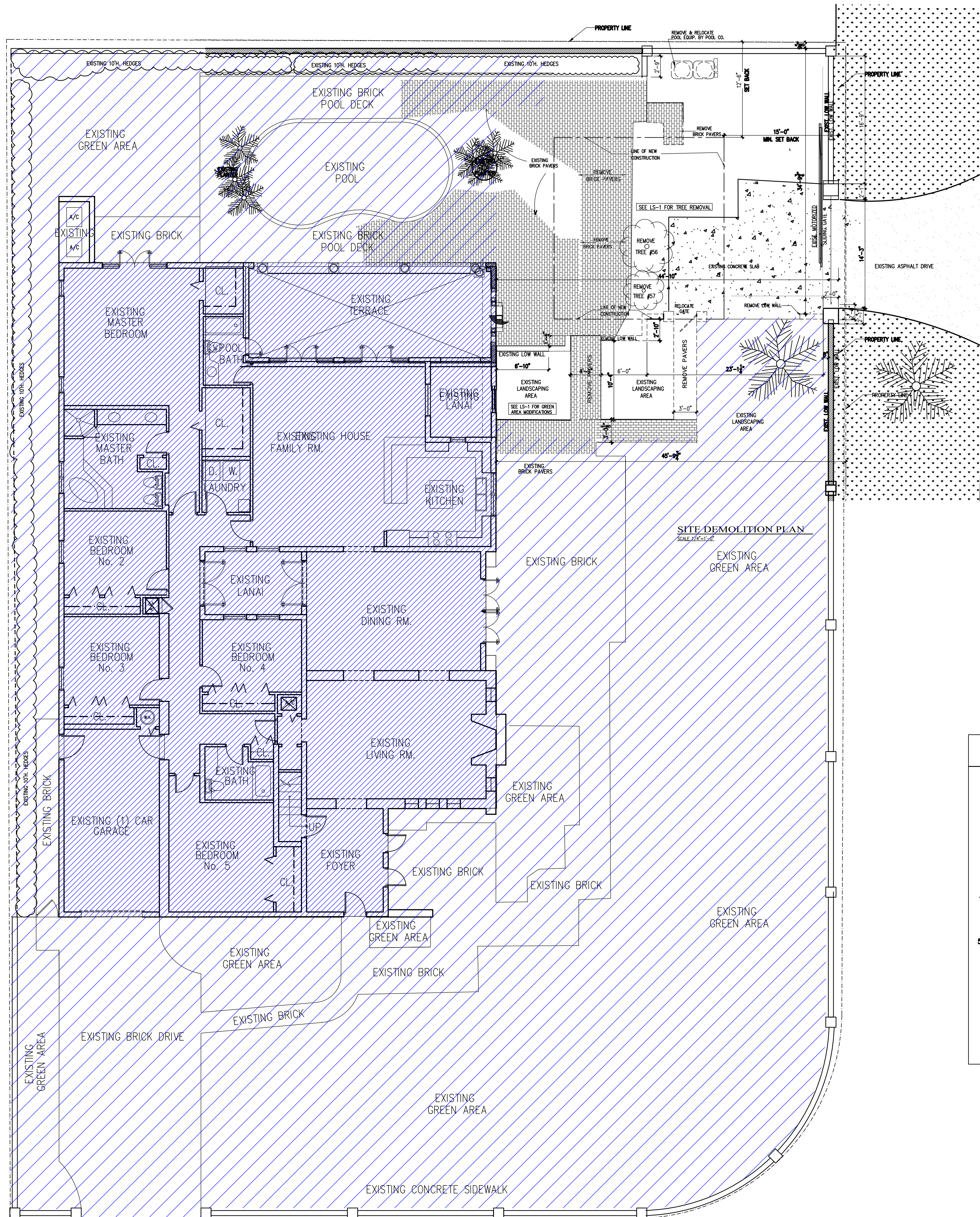
CHECK: M.T.

DATE: 10-23-20

PROJECT NO.: 18100 ATLANTIC

DRAWING NUMBER

D-1



COLUMBUS BLVD.

DEMOLITION NOTES

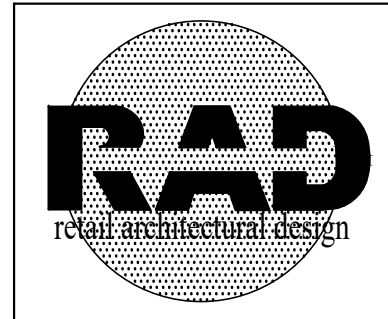
- CONDITIONS AND REQUIREMENTS :**
THE DEMOLITION CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR HAULING AND LEGALLY DISPOSING OF MATERIALS REMOVED IN MATERIALS REMOVED IN DEMOLITION WORK.
- PROCEDURES:** THE PROCEDURES PROPOSED FOR THE ACCOMPLISHMENT OF SALVAGE & DEMOLITION WORK SHALL PROVIDE FOR SAFE CONDUCT OF WORK CAREFUL REMOVAL AND DISPOSITION OF MATERIALS, PROTECTION OF PROPERTY, COORDINATION WITH WORK OF OTHERS IN PROGRESS, AND TIMELY DISCONNECTION OF UTILITY SERVICES. THE PROCEDURES SHALL INCLUDE A DETAILED DESCRIPTION OF METHODS AND EQUIPMENT TO BE USED FOR EACH OPERATION.
- POOL EQUIPMENT:** REMOVE POOL PUMP, ELECTRICAL DEVICES AND RELOCATE PER PROPOSED PLAN.
- DUST CONTROL:** THE AMOUNT OF DUST RESULTING FROM DEMOLITION SHALL BE CONTROLLED TO PREVENT THE SPREAD OF DUST TO AVOID CREATION OF A NUISANCE IN THE SURROUNDING AREA. USE OF WATER WILL NOT BE PERMITTED WHEN IT WILL RESULT IN, OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.
- PROTECTION OF EXISTING BUILDING:**
 - EXISTING BUILDING SHALL BE PROTECTED FROM DAMAGE. ANY PART DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS AT CONTRACTOR'S EXPENSE.
 - COVER ITEMS AS NECESSARY TO PROTECT FROM DUST.
 - AT END OF EACH WORK DAY, CLOSE OFF AREAS FROM PUBLIC.
 - DEMOLITION CONTRACTOR SHALL PROVIDE AND MAINTAIN NECESSARY BARRICADES TO PREVENT SPILLAGE ON ANY UNAUTHORIZED PERSONS FROM ACCIDENTALLY OR INTENTIONALLY ENTERING THE AREA OF WORK.
- ENVIRONMENTAL PROTECTION:** ALL WORK AND CONTRACT OPERATIONS SHALL COMPLY WITH ALL REQUIREMENTS OF STATE AND BROWARD COUNTY ENVIRONMENTAL PROTECTION REGULATIONS. WHEN IT WILL RESULT IN, OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.
- DISPOSING OF MATERIAL:**
 - TITLE TO MATERIALS:
THE OWNER WILL NOT BE RESPONSIBLE FOR THE CONDITIONS, LOSS, OR DAMAGE TO SUCH PROPERTY AFTER NOTICE TO PROCEED.
 - DEBRIS CONTROL: REMOVE AND TRANSPORT DEBRIS IN LEAK-FREE CONTAINERS IN A MANNER TO PREVENT SPILLAGE ON ANY PART OF EXISTING BUILDING, PARKING LOT AREAS, OR CITY STREETS.
 - REGULATIONS: COMPLY WITH COUNTY, MUNICIPALITY, AND CITY REGULATIONS REGARDING HAULING AND DISPOSAL OF DEBRIS. ALL SUCH MATERIAL SHALL BE DISPOSED OF OFF SITE IN A LEGAL DISPOSAL AREA.
- PREPARATION:**
 - PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ASSURE STRUCTURAL VALUE OR INTEGRITY OF AFFECTED PORTION OF PROJECT FROM DAMAGE.
 - PROVIDE DEVICES AND METHODS TO PROTECT OTHER PORTIONS OF PROJECT FROM DAMAGE.
 - PROVIDE PROTECTION FROM ELEMENTS FOR THAT PORTION OF THE PROJECT WHICH MAY BE EXPOSED BY CUTTING, PATCHING WORK, PAINTING, APPLY SHEETROCK, FUMES, DUST, & NOISE.
- PERFORMANCE:**
 - EXECUTE CUTTING AND DEMOLITION BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER WORK, AND WHICH WILL PROVIDE PROPER SURFACES TO RECEIVE INSTALLATION OF REPAIRS. POOL DECK CUTTING W/ NO SLAB DAMAGE.
 - EXECUTE FITTING AND ADJUSTMENT OF PRODUCTS TO PROVIDE A FINISHED INSTALLATION TO COMPLY WITH SPECIFIED PRODUCTS, FUNCTION, TOLERANCE, AND FINISHES.
 - RESTORE WORK WHICH HAS BEEN CUT OR REMOVED. INSTALL NEW PRODUCTS TO PROVIDE COMPLETED WORK IN ACCORD WITH REQUIREMENTS THROUGH DOCUMENTS.
 - FIT WORK AIR-TIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT AND OTHER PENETRATIONS THROUGH SURFACES.
 - REFINISH ENTIRE SURFACES AS NECESSARY TO PROVIDE AN EVEN FINISH TO MATCH ADJACENT FINISHES.

ARCHITECT:
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PH. 786 290 9807 Email: invusa@live.com

SIGN / SEAL:

Code in Effect: F.B.C. 2020 7th EDITION

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ITEM DATE DESCRIPTION

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CORAL GABLES

LOCATION

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CORAL GABLES, FLORIDA 33134

TITLE

**SITE DEMOLITION
PLAN**

SCALE: AS NOTED

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CHECK:

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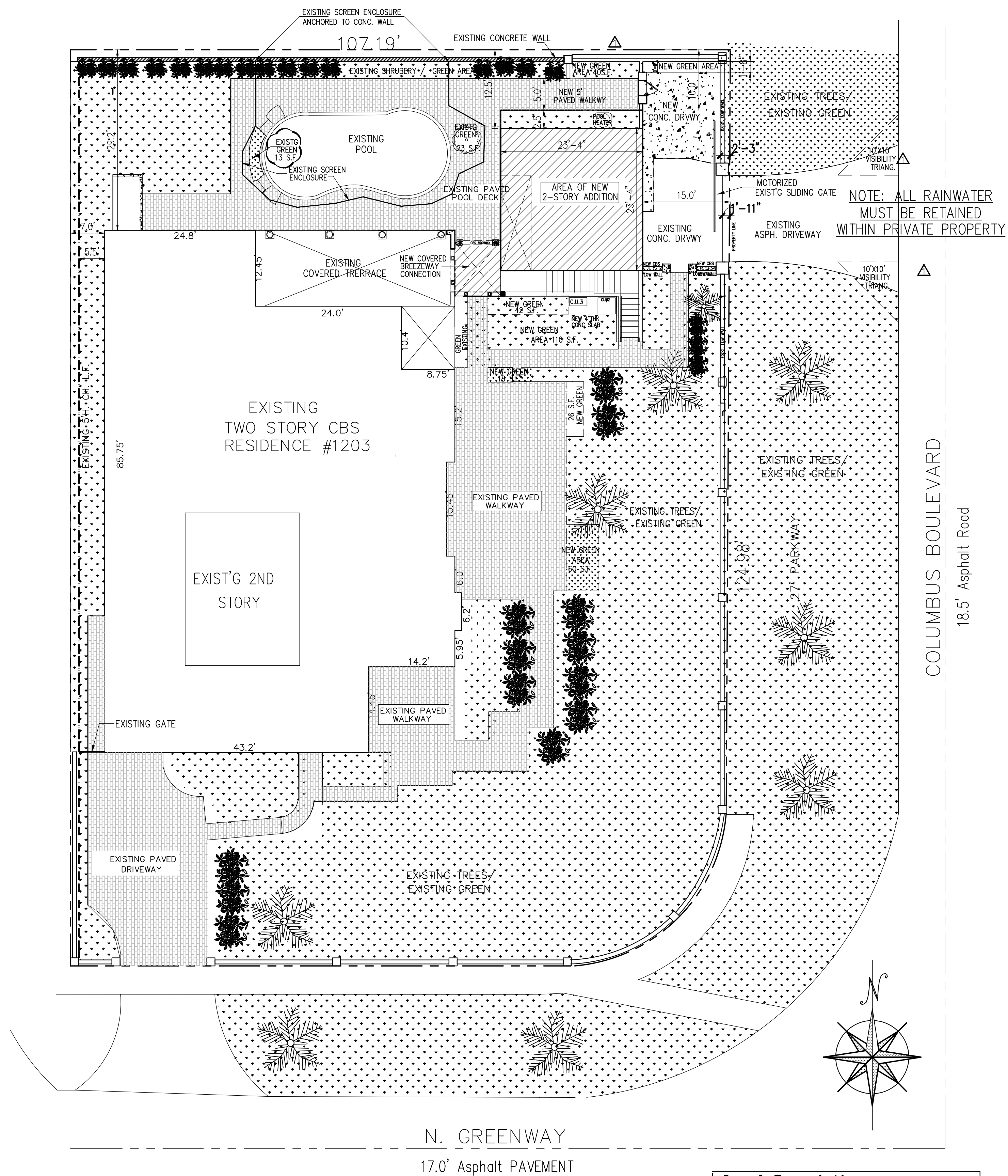
PROJECT NO.:

DRAWING NUMBER

D-1.1

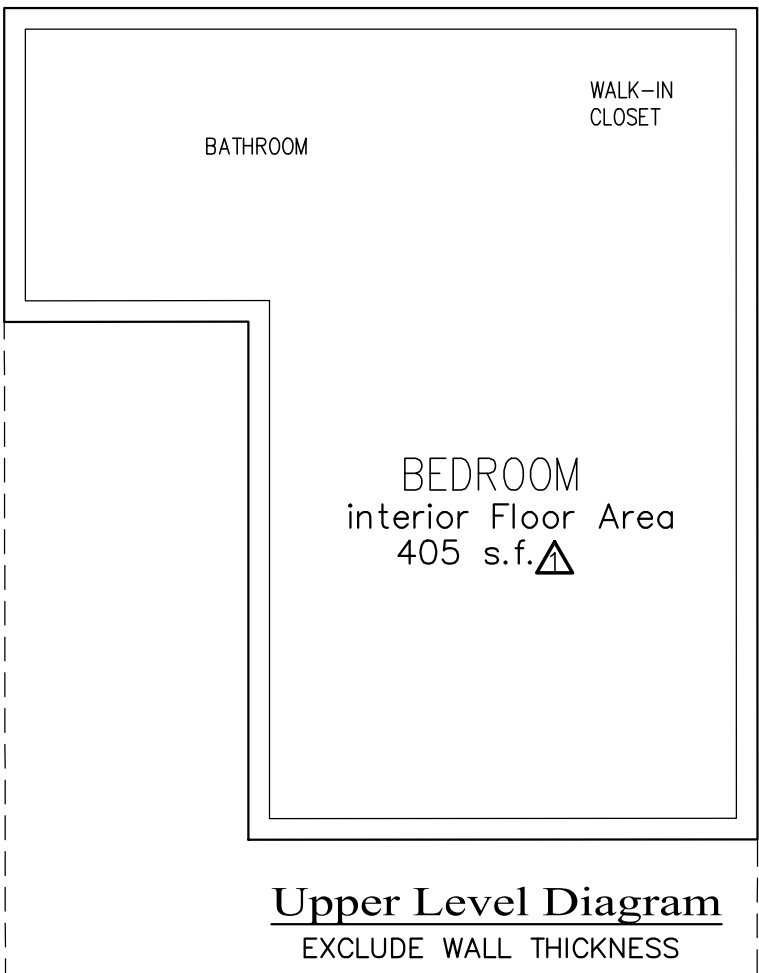
HERNANDEZ STRUCTURAL DESIGN INC.
STRUCTURAL CONSULTANTS, INSPECTIONS, INVESTIGATIONS
Victor Hernandez - P.E. # 72387 C.A. 29634
11423 Sec Grass Cir, Boca Raton, FL 33488
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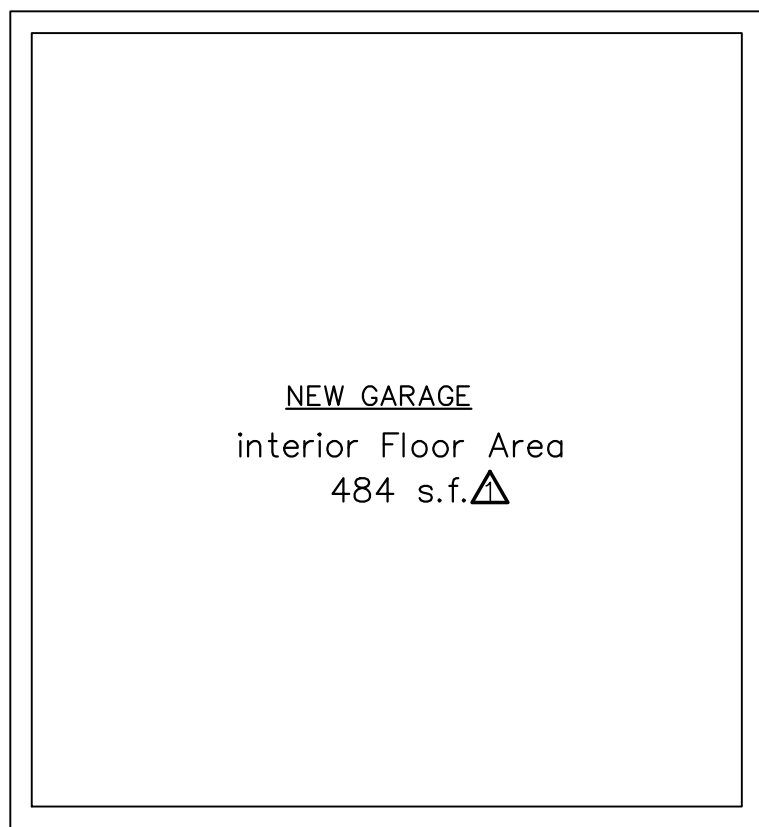


Proposed Site Plan With Improvements
SCALE: 3/32"= 1'-0"

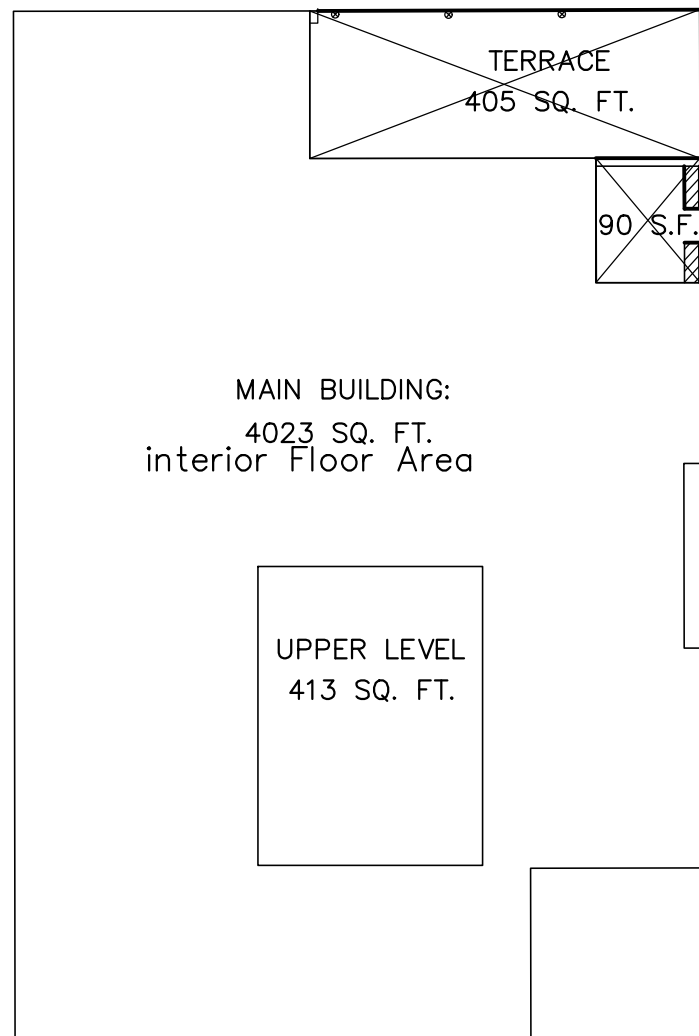
Legal Description:
LOT #17 &18 BLOCK #4, OF
SUBDIVISION:
"CORAL GABLES SECTION E"
PLAT BOOK #8 PG. 13 of the
Public Records of Dade County Florida



Upper Level Diagram
EXCLUDE WALL THICKNESS



Ground Level Diagram
EXCLUDE WALL THICKNESS



MAIN RESIDENCE
EXCLUDE WALL THICKNESS

Impervious Site Sq.Ft.	
EXISTING BUILDING FOOTPRINT UNDER ROOF	4,220 SQ. FT.
ADDITIONAL BUILDING FOOTPRINT UNDER ROOF	544 SQ. FT.
TOTAL UNDER ROOF	4,764 SQ. FT.
CONC DRIVEWAY, POOL DECK & PAVED WALKWAYS:	3,612 SQ. FT. Δ
BUILDING FOOTPRINT + IMPERVIOUS SURFACES:	= 8,376 SQ. FT. Δ
IMPERVIOUS SURFACES	= 52.5 % OF NET LOT Δ

F.A.R. Calculations	
ZONING: RU-1	SINGLE FAMILY
HEIGHT (TO RIDGE OF ROOF):	29'-6"
NET LAND AREA:	15,935 SQ. FT.
48% of 1st 5,000 s.ft. of. BLDG SITE AREA	2,400 SQ. FT.
35% of next 5,000 S.F.T. of. BLDG SITE AREA	1,750 SQ. FT.
30% of THE REMAINDER S.F.T. OF BLDG SITE AREA	1,780 SQ. FT.
TOTAL MAXIMUM SQ. FT OF FLOOR AREA ALLOWED	5,930 SQ. FT.
TOTAL EXISTG + NEW PROPOSED	5,820 S.F.< 5930 S.F. ΔΔ

MAIN BUILDING:	
GROUND LEVEL:	4023 s.f.
UPPER LEVEL:	413 s.f.
COVERED TERRACE:	495 s.f.
TOTAL FLOOR AREA:	4931 s.f.

MAIN RES. FLOOR AREA:	4931 s.f. Δ
NEW FLOOR AREA:	889 s.f.
TOTAL FLOOR AREA:	5820 s.f.

NEW AUXILIARY BUILDING:	
GROUND LEVEL:	484 s.f. ΔΔ
UPPER LEVEL:	405 s.f.
TOTAL INTER. FLR AREA:	889 s.f.

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SIGN / SEAL:	

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HERNANDEZ STRUCTURAL DESIGN INC.

STRUCTURAL CONSULTANTS, INSPECTIONS, INVESTIGATIONS

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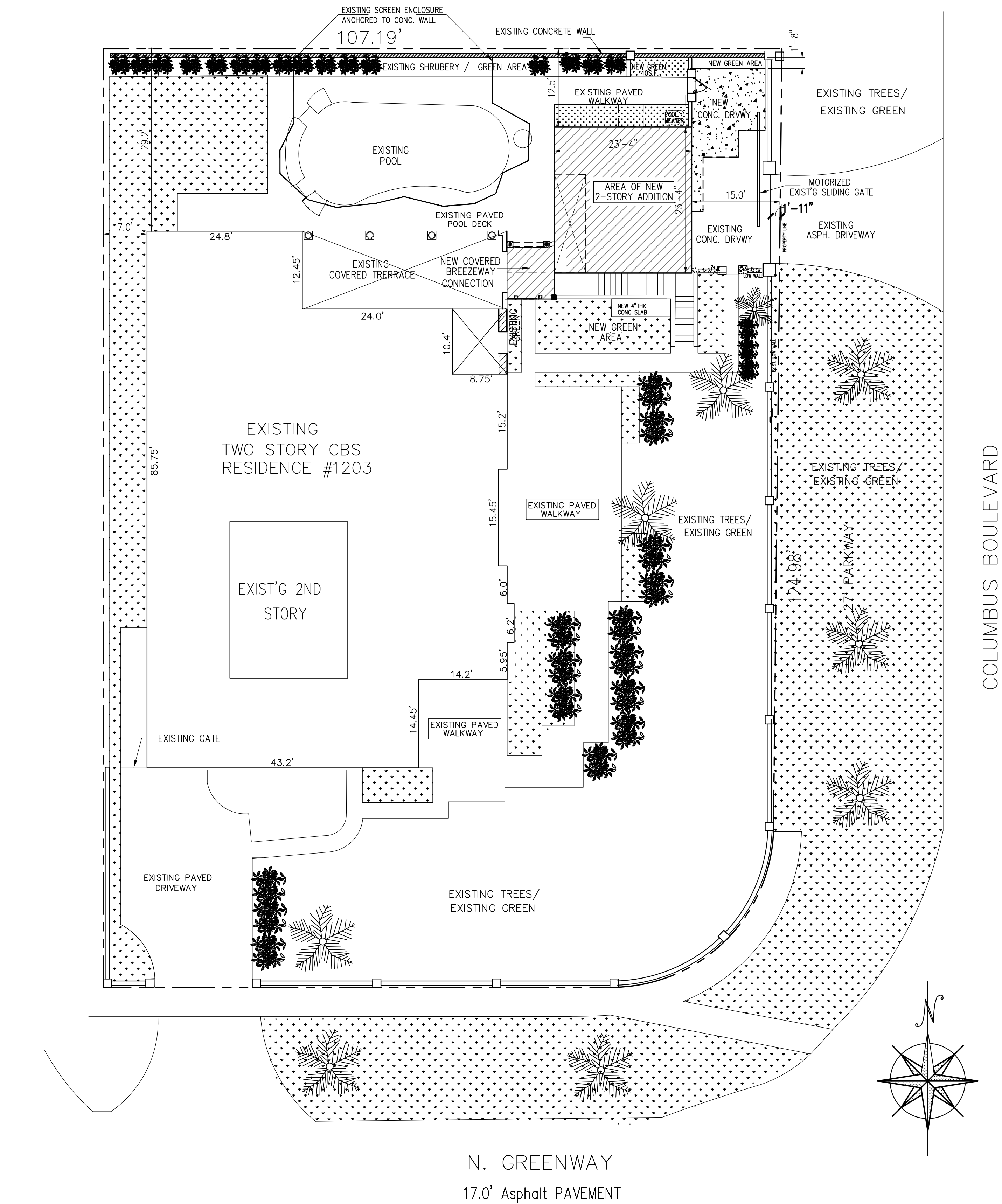
RAD
1941 ARCHITECTURE DESIGN

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REVISIONS
Δ 12/21/20 ABB- REVISIONS
Δ 05/28/21 GENERAL REVISIONS-BASED ON
BOA COMMENTS ON 4-15-21

ITEM	DATE	DESCRIPTION
PROJECT		
CLEMENTI RESIDENCE		
CORAL GABLES		
LOCATION		
1203 NORTH GREENWAY DRIVE CORAL GABLES, FLORIDA 33134		
TITLE		
SITE PLAN WITH AREA CALCULATIONS		
SCALE: AS NOTED		
DRAWN: M.D.		
CHECK:		
DATE: 10-23-20		
PROJECT NO.:		
DRAWING NUMBER		
ST-1		



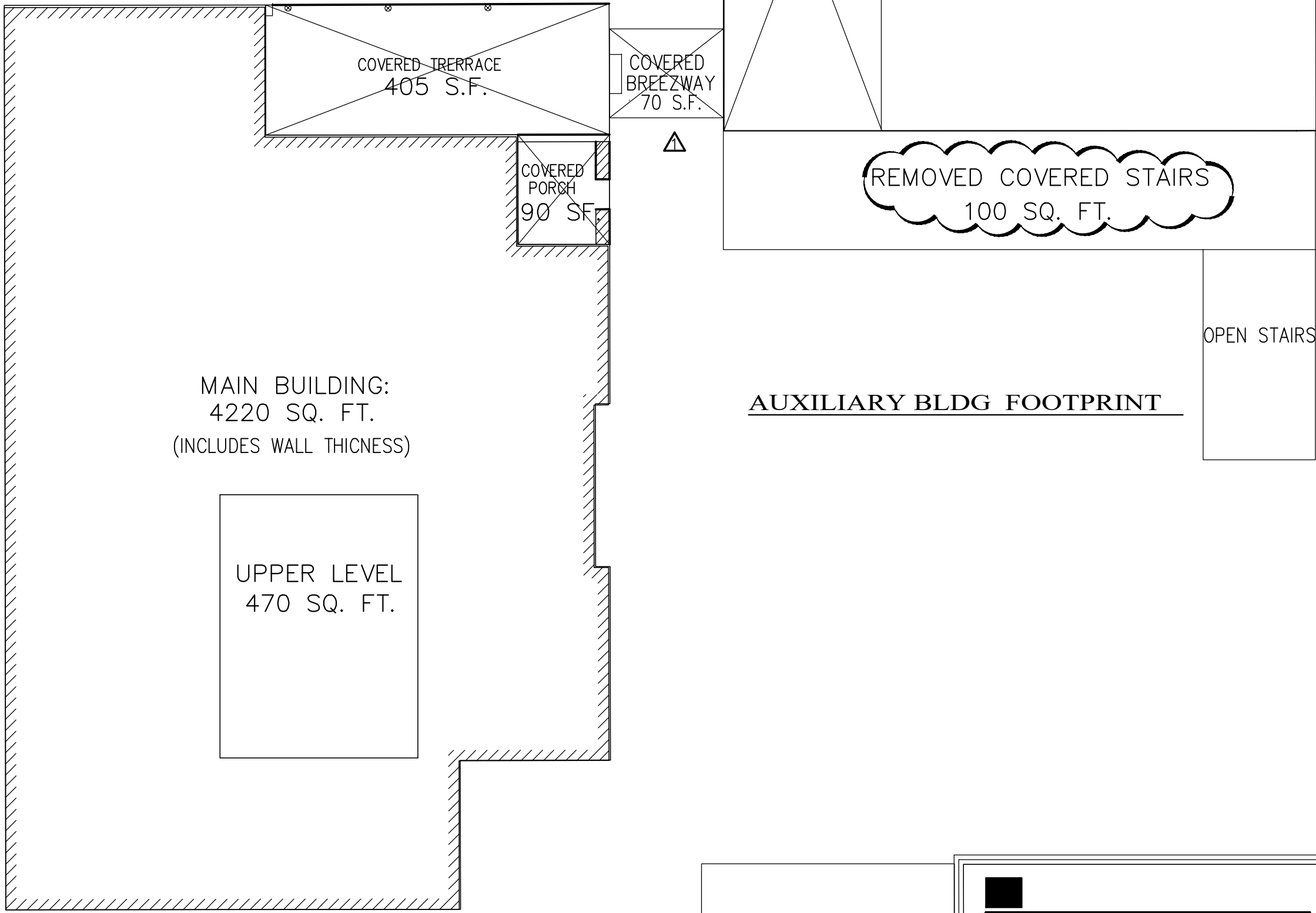
Proposed Site Plan Ground Coverage
SCALE: 3/32" = 1'-0"

ZONING LEGEND			
ZONING:	RU-1	SINGLE FAMILY	
HEIGHT (TO TOP OF CONC.TIE BM)		25'-0"	
NET LAND AREA:	15,935	SQ. FT.	
35% of NET MAX. LOT COVERAGE	5,577	SQ. FT.	
45% Max net lot Ground Coverage		=	7,170 SQ. FT.
EXISTING BUILDING FOOTPRINT UNDER ROOF		4,715 SQ. FT.	
ADDITIONAL BUILDING FOOTPRINT & NEW BREEZWAY		544s.f.+70s.f= 614S.F.	
TOTAL BUILDINGS FOOTPRINT:		Δ 5,329 SQ.FT.< 45%	
SETBACKS:	REQUIRED.	PROV,D	
FRONT	25.00'	35.0 (existing)	
REAR	10.00'	12.5' (Proposed)	
COLUMBUS BLVD SIDE STREET	15.0'	15.0' (Proposed)	
INTERIOR SIDE STREET	5.00'	5.5' (existing)	

MAIN BUILDING:	
BUILDING FOOTPRINT:	4220 s.f.
COVERED TERRACE:	495 s.f.
TOTAL FLOOR AREA:	4715 s.f.

NEW AUXILIARY BUILDING:	
BUILDING FOOTPRINT:	544 s.f.
COVERED BREEZWAY:	70 S.F.
TOTAL FOOT PRINT:	
614 s.f.	

MAIN RES. FOOTPRINT:	4715 s.f.
NEW FOOTPRINT:	614 s.f.
(INCLUDES BREEZWAY)	
TOTAL FOOT PRINT:	
5329 s.f.	

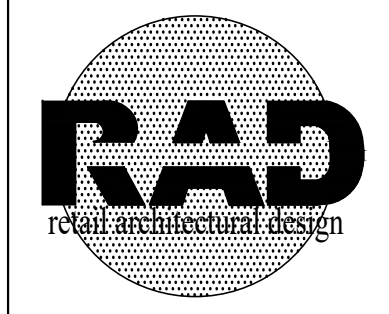


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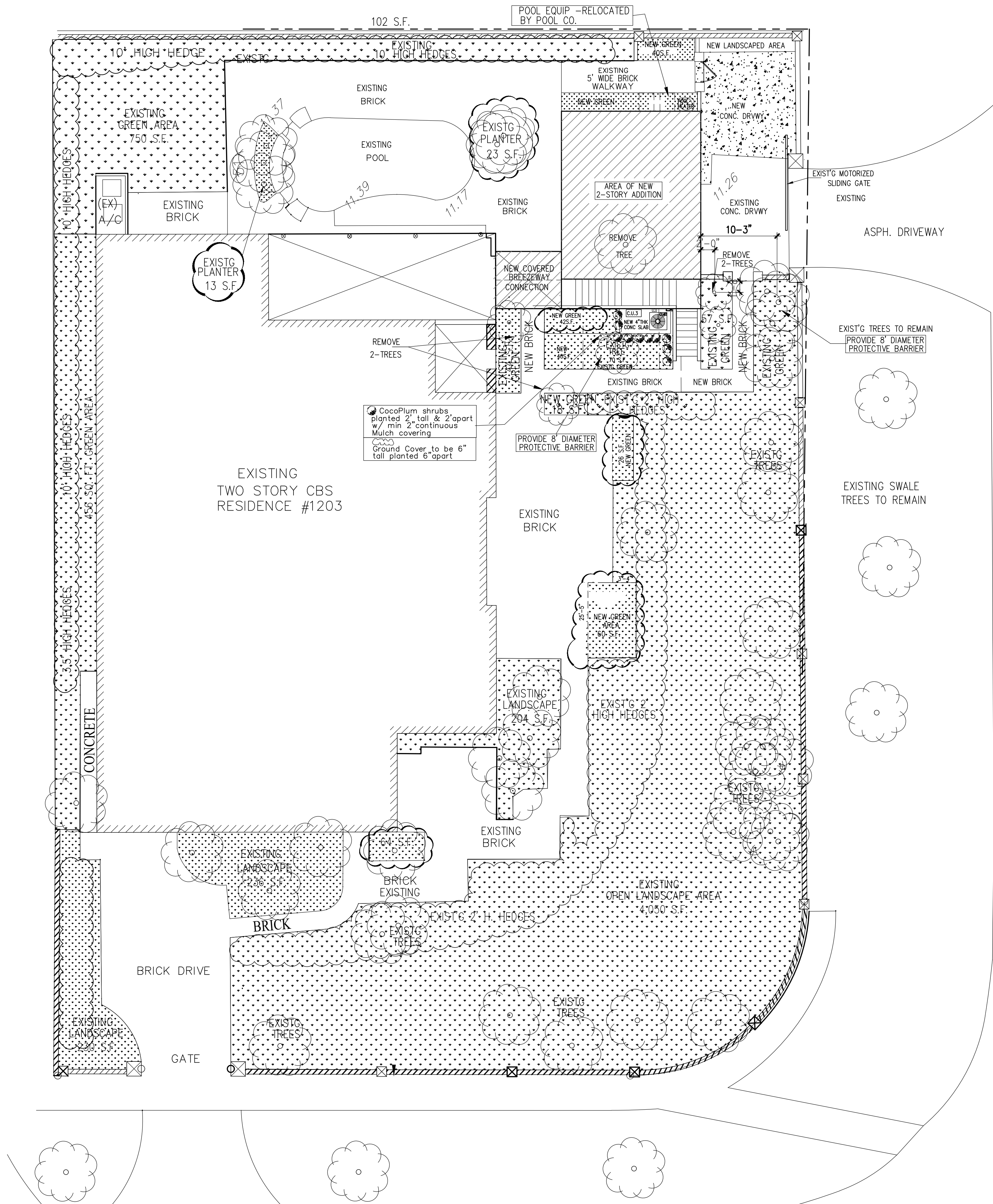
ITEM	DATE	DESCRIPTION
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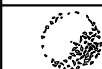
PROJECT
**CLEMENTI
RESIDENCE
CORAL GABLES**

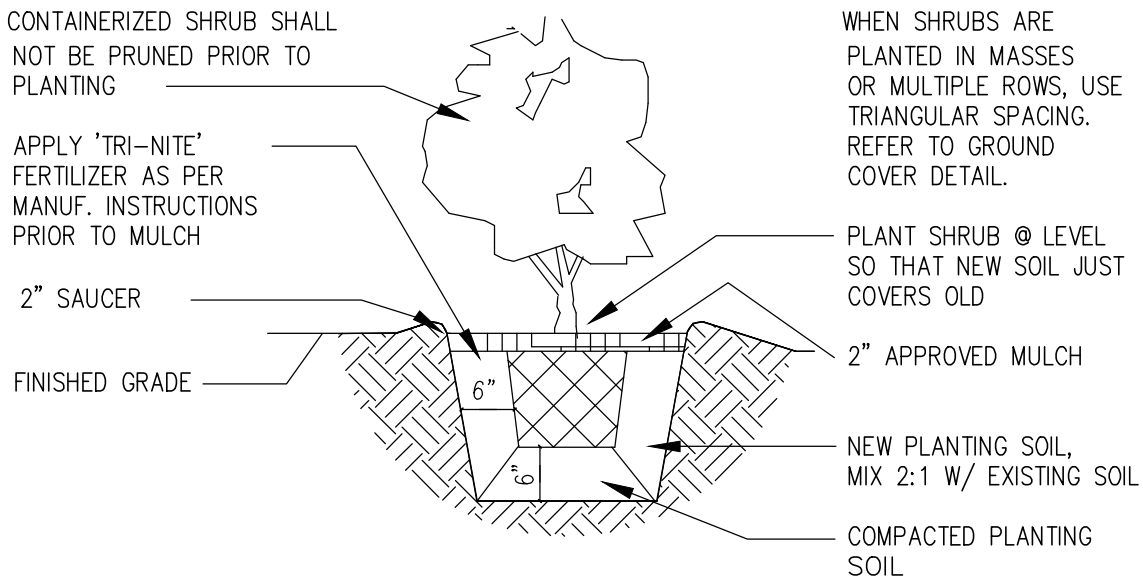
LOCATION
1203 NORTH GREENWAY DRIVE
CORAL GABLES, FLORIDA 33134

TITLE
**SITE PLAN WITH
AREA CALCULATIONS**

SCALE:	AS NOTED
DRAWN:	M.D.
CHECK:	
DATE:	10-20-20
PROJECT NO.:	
DRAWING NUMBER	ST-1A

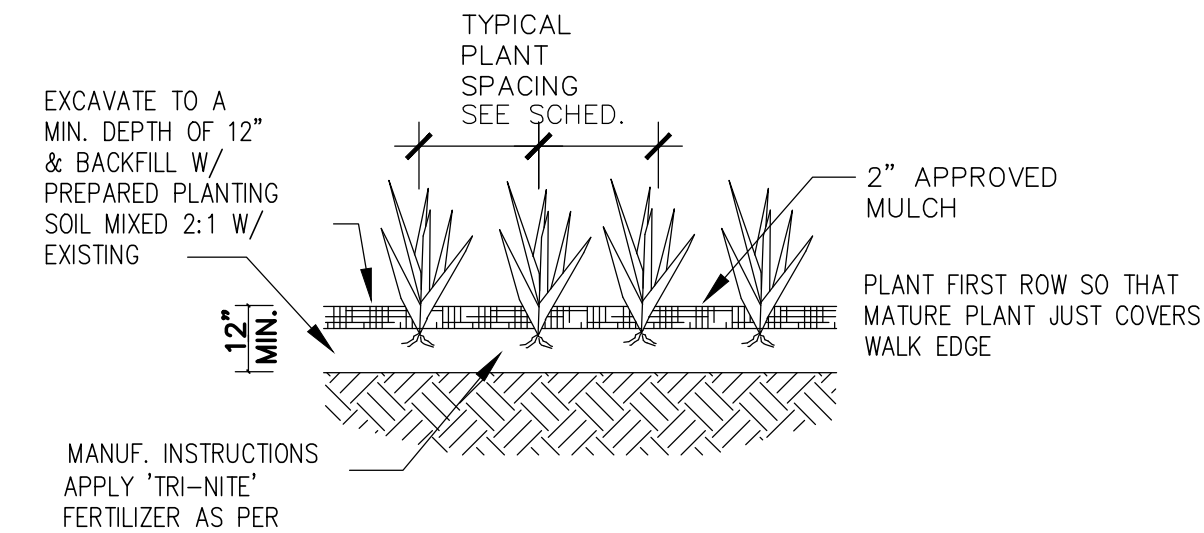


SHRUBS		NAME	MAX. HEIGHT	NATIVE SPECIES YES/NO	QUANTITIES	PROPOSED
SCIENTIFIC	COMMON					
	HIBISCUS	HIBISCUS	24"-30"	N	20	●
	CHRYSOBALANUS	RED-TIPPED COCOPLUM	24"-30"	Y	15	●
	ST. AUGUSTINE FLORATAM SOD					



shrub planting detail

n.t.s.



ground cover planting detail

n.t.s.

NOTE:

- NO NEW TREES TO BE PLANTED
- (5) TREES TO BE REMOVED
- (3) TREES PROTECTED DURING CONSTRUCTION

NOTE:

SEE SUBMITTED TREE SURVEY FOR LIST OF EXISTING TREE DESIGNATIONS

EXISTING LANDSCAPE AREA: 6102 s.f.
NEW GREEN AREA: 286 s.f.
TOTAL OPEN LANDSCAPE: 6388 s.f.

NOTE:

LANDSCAPE PLAN INFORMATION PRESENTED IS IN ACCORDANCE WITH THE CORAL GABLES ZONING CODE ARTICLE 5, SECTION 5-1105(B).

SIGN / SEAL:

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Exist'g / Proposed Landscape Plan
SCALE: 3/32" = 1'-0"

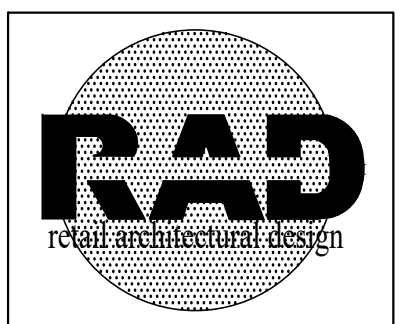
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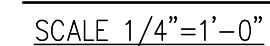
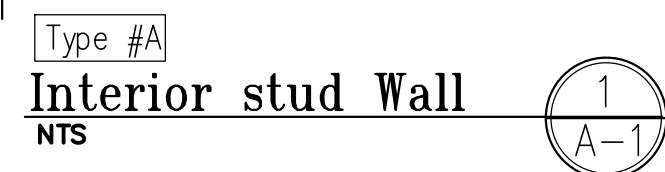
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DRAWING NUMBER
LS-1



SEE SHEET A1.1 FOR COMPLETE EXISTING
RESIDENCE FLOOR PLAN

DOORS_ FRENCH DOOR FD750 HEAVY DUTY 3 POINT S.S. LOCKING MECHANISM
PREPPED EUROPEAN STYLE HARDWARE.
WINDOWS_ CASEMENT CA740 MULTIPoint LOCKING SYSTEM, EGRESS HINGE STANDARD
TEMPERED GLASS, HEAT STRENGTHENED GLASS, LAMINATED INSULATING GLASS.
HI PERFORMANCE LOW-E SOLARBAN 60. BRONZE EXTERIOR, WHITE INTERIOR.

LOCATION		SIZE		GENERAL QUANT.	FRAME	REMARKS	NOA #	ZONE	FUNCTION	
		W.	H.						FIXED	OPERABLE
(A)	GARAGE	26"	48 5/8"	2	METAL	CASEMENT TYPE	11-1114.22	ZONE: 4		
(A)	GARAGE	26"	48 5/8"	2	METAL	CASEMENT TYPE	11-1114.22	ZONE: 4		
					Δ					
GENERAL CONTR. TO VERIFY ALL WINDOW OPENING SIZES PRIOR TO PURCHASE & INSTALLATION										

NEW C.B.S. WALL TO REMAIN

NEW 5/8" GYP. BD. ON 3 5/8" METAL STUDS @ 16" O.C.

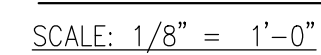
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SIGN / SEAL:

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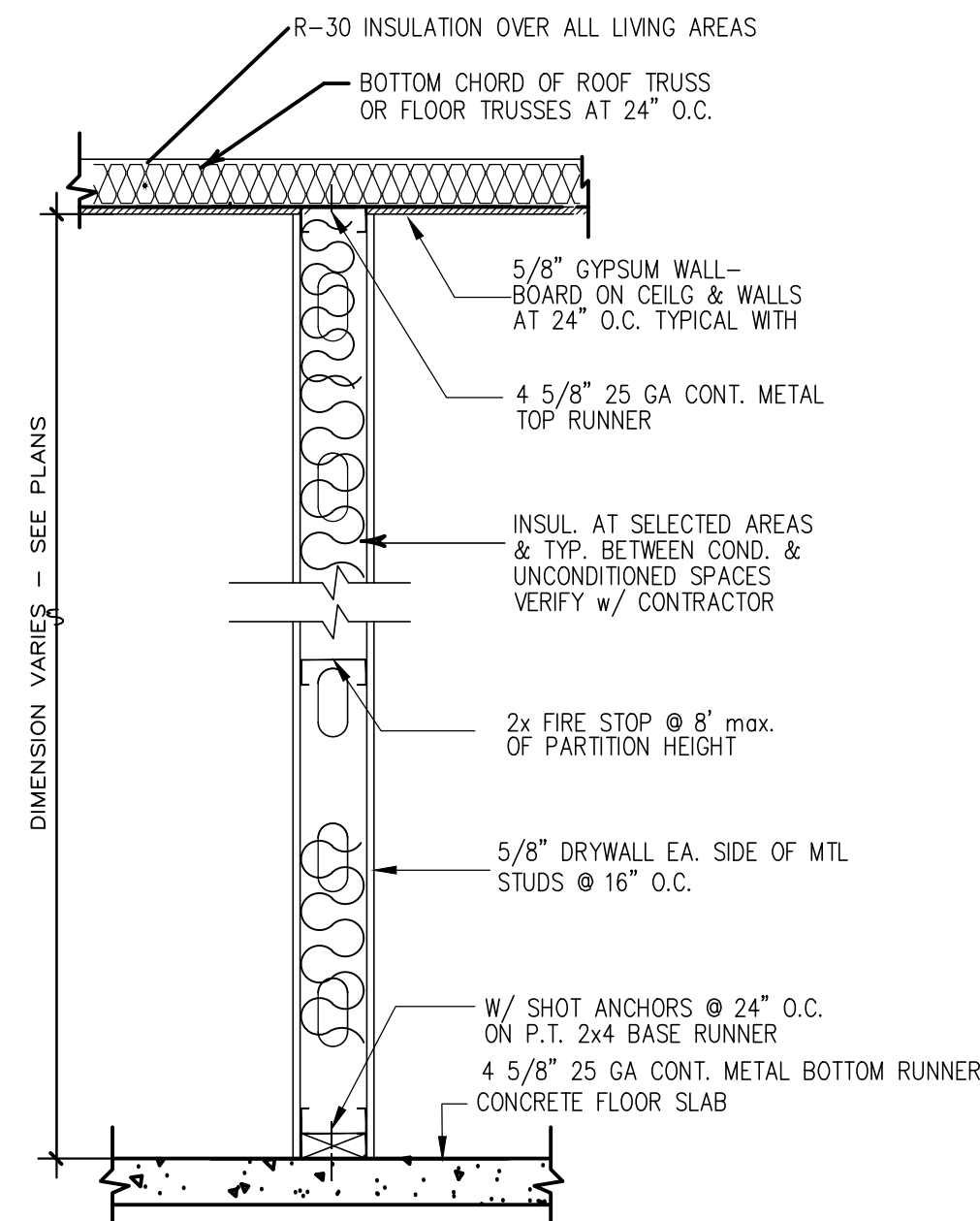
A-1

A-1



SIGN / SEAL:

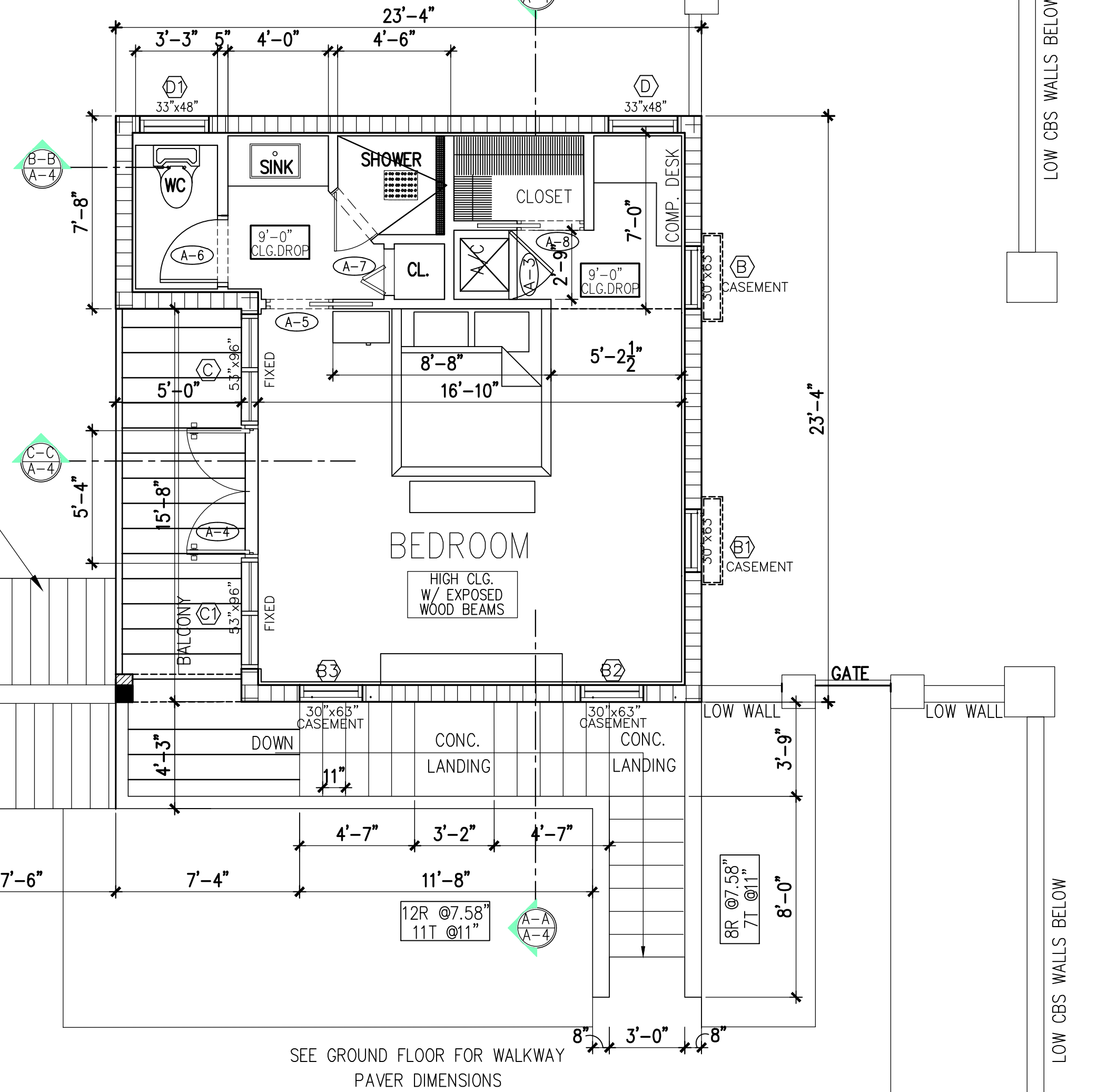
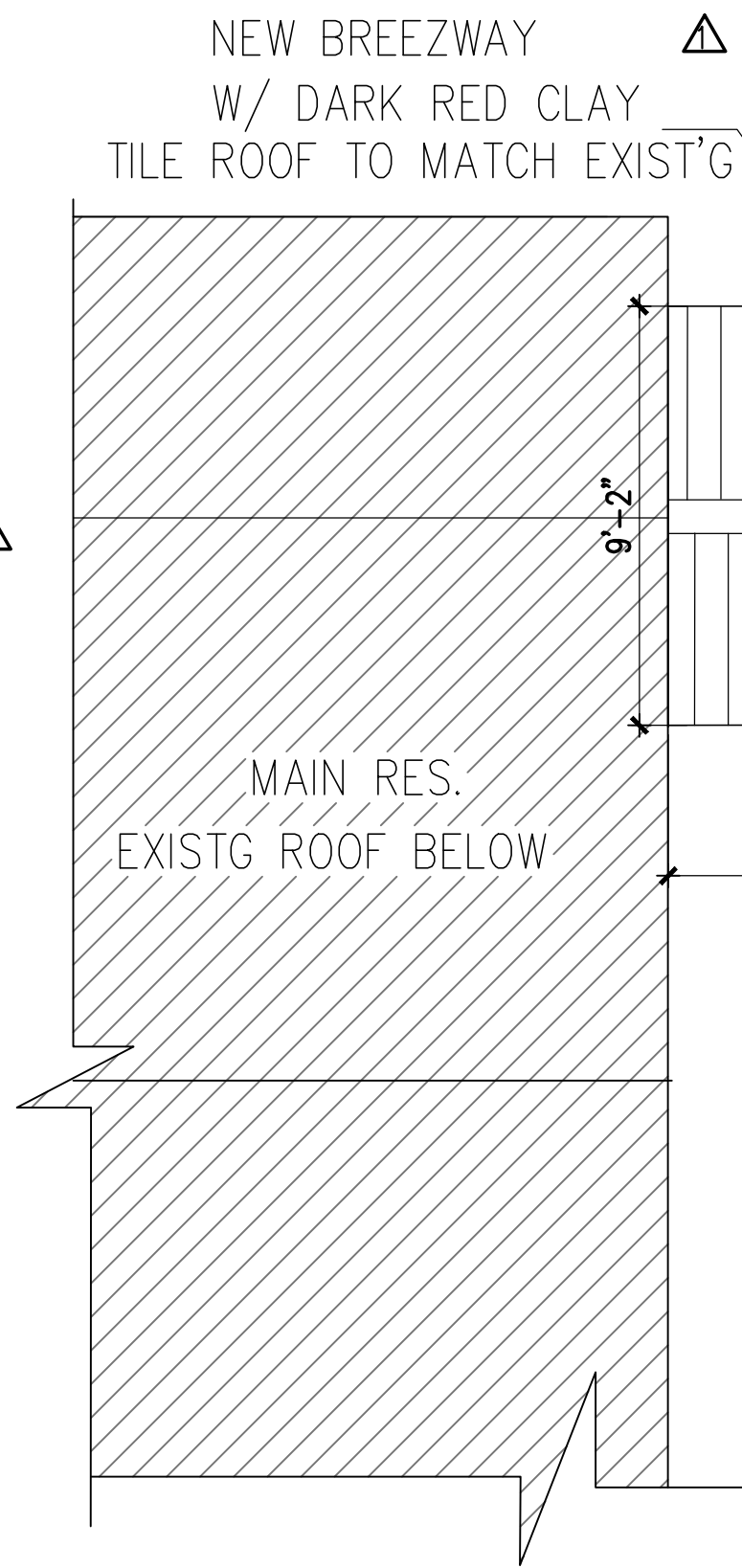
A-1.1



Type #A	1
Interior stud Wall	A-1
NTS	
Type #B	
Bath room wet walls: Type #B	
1/2" DUROCK WALL ON 3 5/8" METAL STUDS @ 16" O.C.	
W/ CERAMIC TILE TO 7'-0" AFF. MINIMUM	

Lower & upper Level: Door Schedule									
	LOCATION	SIZE			DOOR	QUANTITY	FRAME	TYPE/ REMARKS	NOA
		W.	H.	TH.					
A-1	GARAGE DOOR	8'-0"	96"	1 3/8"	METAL	2	METAL		
A-2	TO SHOWER/COURTYARD	36"	96"	1 3/8"	ALUM.	1	METAL	METAL CLAD/ SELF CLOSING	#18-0503.06
A-3	AHU CLOSET	30"	80"	1 3/8"	WOOD	1	WOOD	FULLY LOUVERED	
A-4	BEDROOM ENTRY	2-30"	96"	1 3/4"	WOOD	1 SET	METAL	FRENCH DOORS. GLASS/METAL	#18-0503.06
A-5	BATHROOM	32"	80"	1 3/4"	WOOD	1	WOOD	POCKET DOOR	
A-6	TOILET	30"	80"	1 3/4"	WOOD	1	WOOD		
A-7	BATH CLOSET	32"	80"	1 3/4"	WOOD	1	WOOD	BI-FOLD	
A-8	WALK IN CLOSET	32"	80"	1 3/4"	WOOD	1	WOOD	POCKET DOOR	

NOTE:
SEE SHEET A2.1 FOR UPPER LEVEL
EXISTING RESIDENCE FLOOR PLAN



UPPER LEVEL FLOOR PLAN

SCALE 1/4"=1'-0"

DOORS AND WINDOWS TO BE PGT WINGUARD ALUMINUM.
IMPACT RESISTANT

DOORS_ FRENCH DOOR FD750 HEAVY DUTY 3 POINT S.S. LOCKING MECHANISM PREPPED EUROPEAN STYLE HARDWARE.
WINDOWS_ CASEMENT CA740 MULTIPOINT LOCKING SYSTEM, EGRESS HINGE STANDARD TEMPERED GLASS, HEAT STRENGTHENED GLASS, LAMINATED INSULATING GLASS.
HI PERFORMANCE LOW-E SOLARBAN 60. WHITE EXTERIOR, WHITE INTERIOR.

Note: 2nd Floor Window Schedule										
LOCATION		SIZE		GENERAL QUANT.	FRAME	REMARKS	NOA #	ZONE:	FUNCTION FIXED OPERABLE	
		W.	H.							
	NOTE: (A) AND (A) ARE ON GROUND FLOOR— SHEET A-1									
(B	BEDROOM	30"	63 5/8"	2	Δ	METAL	CASEMENT TYPE	20-0402.02	ZONE: 5	YES
(B	BEDROOM	30"	63 5/8"	2		METAL	CASEMENT TYPE	20-0402.02	ZONE: 4	YES
(B	BEDROOM	30"	63 5/8"	2		METAL	CASEMENT TYPE	20-0402.02		YES
(B	BEDROOM	30"	63 5/8"	2		METAL	CASEMENT TYPE	20-0402.02		YES
(C	BEDROOM SIDELIGHTS	53"	96"	1		METAL	CAT II SAFETY GLASS	20-0402.02	ZONE: 5	YES
(C	BEDROOM SIDELIGHTS	53"	96"	1		METAL	CAT II SAFETY GLASS	20-0402.02	ZONE: 5	YES
(D	STUDY	33"	48"	1		METAL	SAFETY GLASS	20-0402.02	ZONE: 5	YES
(D	BATHROOM	33"	48"	1		METAL	SAFETY GLASS	20-0402.02	ZONE: 5	YES
GENERAL CONTR. TO VERIFY ALL WINDOW OPENING SIZES PRIOR TO PURCHASE & INSTALLATION										

DOORS NOTE:
EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE CLOSET
EVERY BATHROOM DOOR SHALL BE DESIGNED TO ALLOW OPENING FROM THE OUTSIDE DURING AN EMERGENCY WHEN LOCKED

Type #B
Bath room wet walls: Type #B
1/2" DUROCK WALL ON 3 5/8" METAL STUDS @ 16" O.C.
W/ CERAMIC TILE TO 6'-0" AFF. MINIMUM

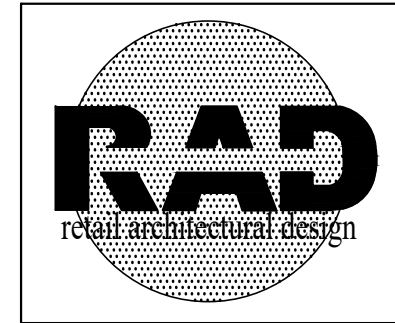
GENERAL LEGEND:	
	NEW C.B.S. WALL TO REMAIN
	NEW 5/8" GYP. BD. ON 3 5/8" METAL STUDS @ 16" O.C.

ARCHITECT:
LUIS E. URIARTE
Florida Architect License # AR 94107
18100 ATLANTIC BOULEVARD
PH. 786 290 9807 Email: invusa@live.com

Code in Effect: F.B.C. 2020 7th EDITION

HERNANDEZ STRUCTURAL DESIGN INC.
STRUCTURAL CONSULTANTS, INSPECTIONS, INVESTIGATIONS
Victor Hernandez - P.E. # 72387 C.A. 28634
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REVISIONS	
12/21/20	ARB- REVISIONS
03/16/21	ARB- REVISIONS
05/28/21	GENERAL REVISIONS-BASED ON BOA COMMENTS ON 4-15-21

ITEM DATE DESCRIPTION

PROJECT
CLEMENTI
RESIDENCE
CORAL GABLES

LOCATION

1203 NORTH GREENWAY DRIVE
CORAL GABLES, FLORIDA 33134

TITLE

SECOND FLOOR
PROPOSED PLAN

SCALE: AS NOTED

DRAWN: M.D.

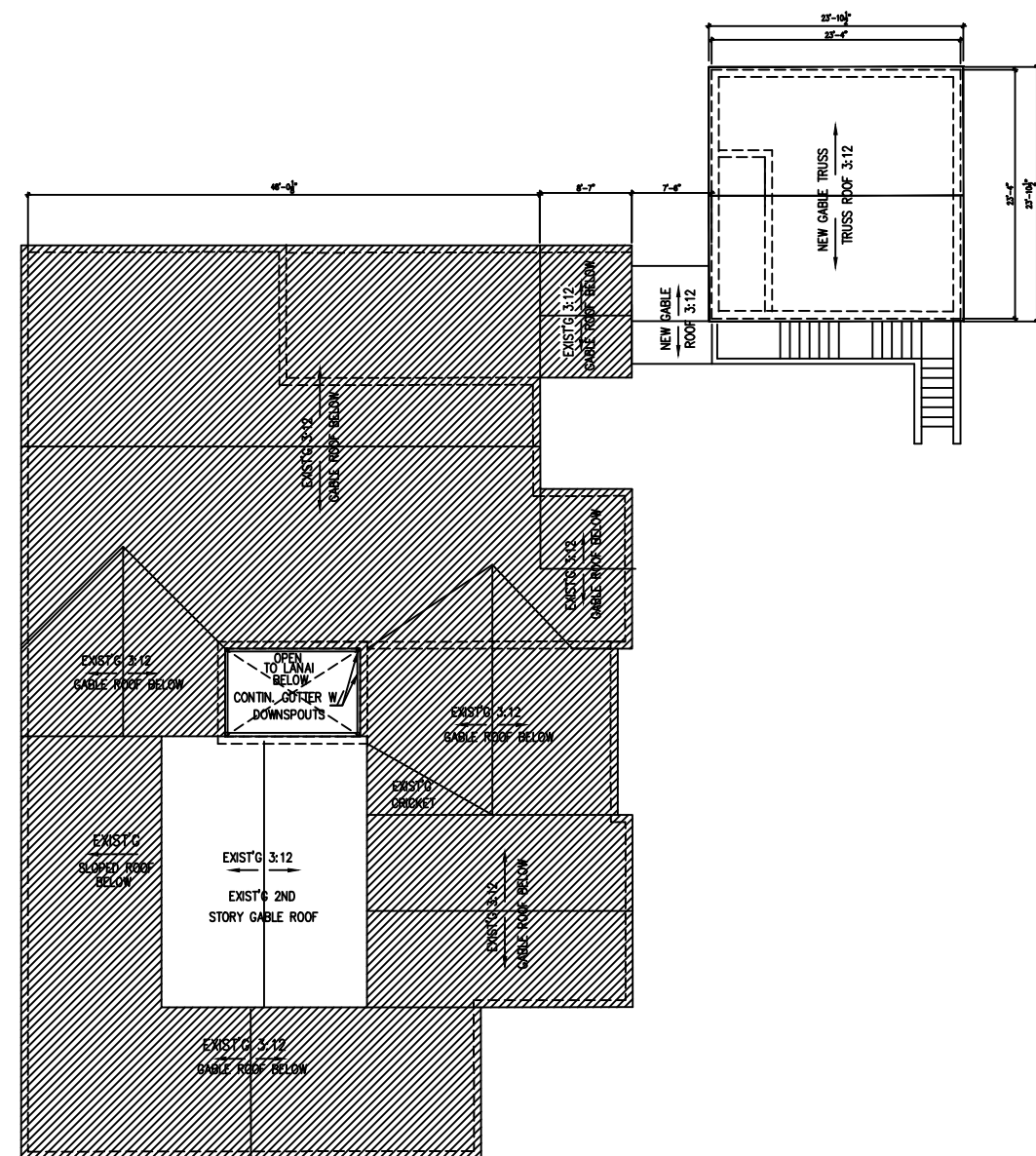
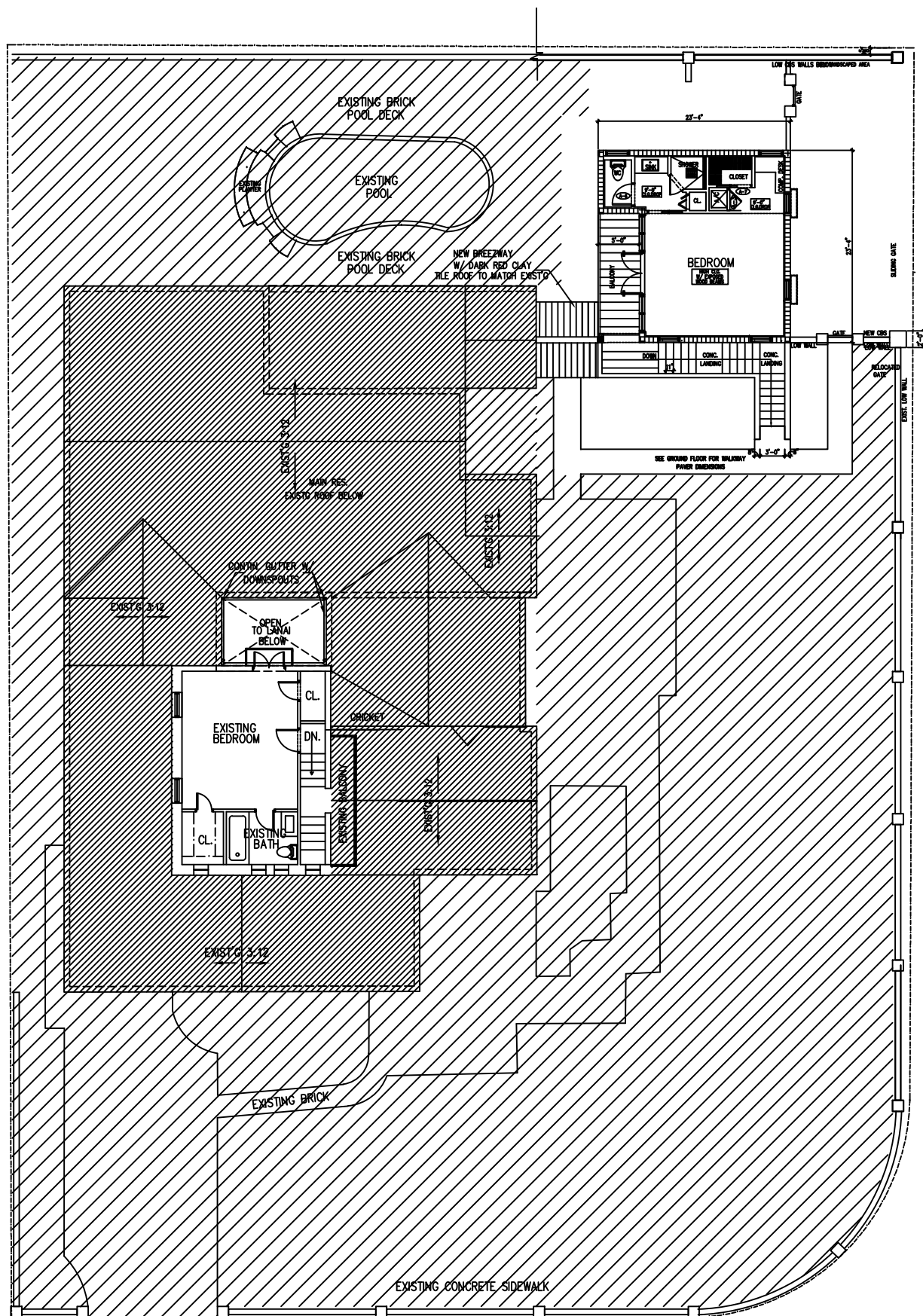
CHECK:

DATE: 10-23-20

PROJECT NO.:

DRAWING NUMBER

A-2



GENERAL LEGEND:

NEW C.B.S. WALL TO REMAIN

NEW 5/8" GYP. BD. ON 3 5/8" METAL STUDS @ 16" O.C.

ARCHITECT:
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REVISIONS

△	01-01-2000	XXXXXXXX
△	12/21/20	ARB- REVISIONS
△	03/10/21	NEW SHEET SUBMITTED
△	05/28/21	GENERAL REVISIONS-BASED ON BOA COMMENTS ON 4-15-21

ITEM	DATE	DESCRIPTION
------	------	-------------

PROJECT

CLEMENTI
RESIDENCE

CORAL GABLES

LOCATION

1203 NORTH GREENWAY DRIVE
CORAL GABLES, FLORIDA 33134

TITLE

FIRST FLOOR
GARAGE

SCALE: AS NOTED

DRAWN: M.

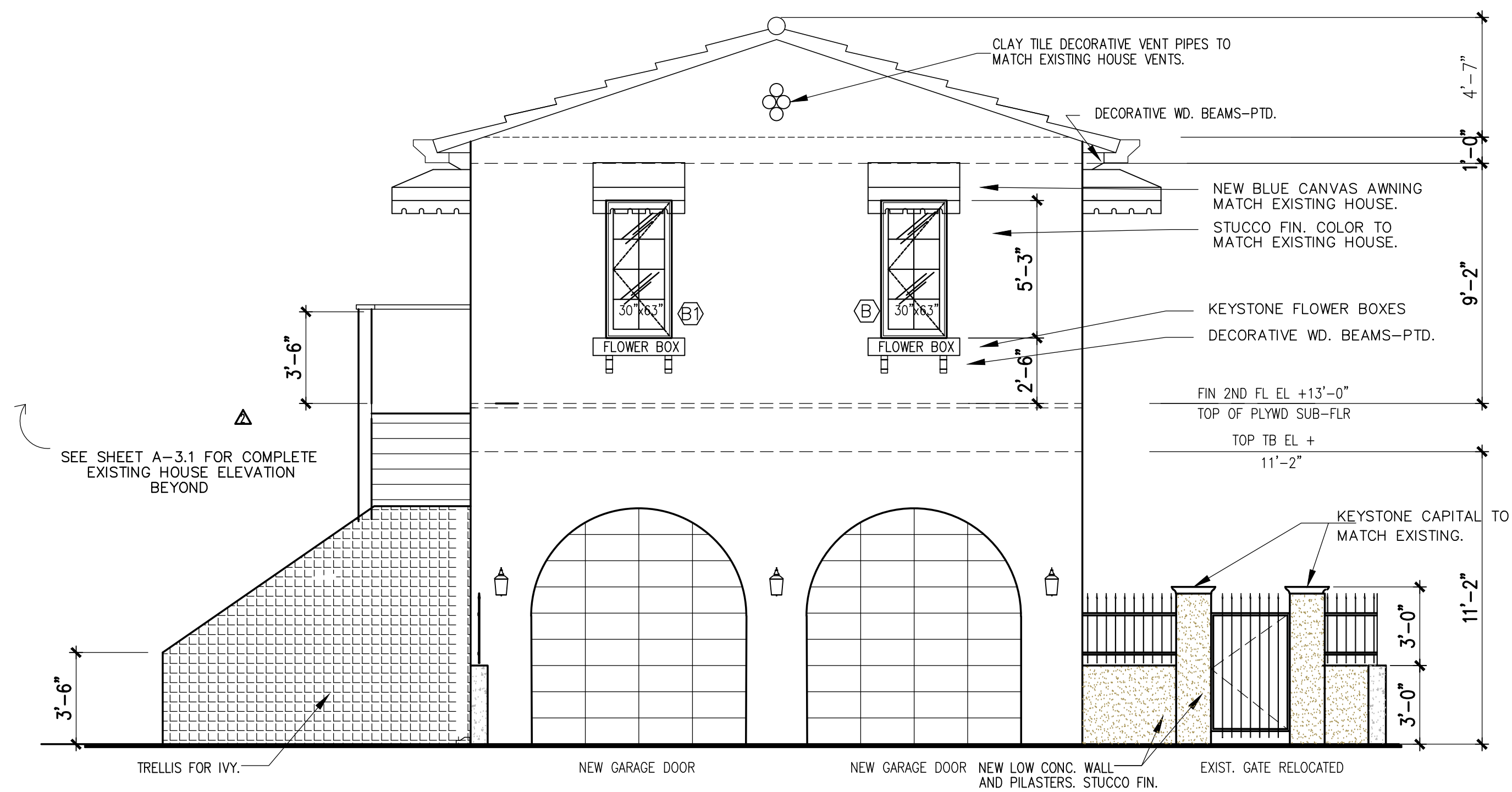
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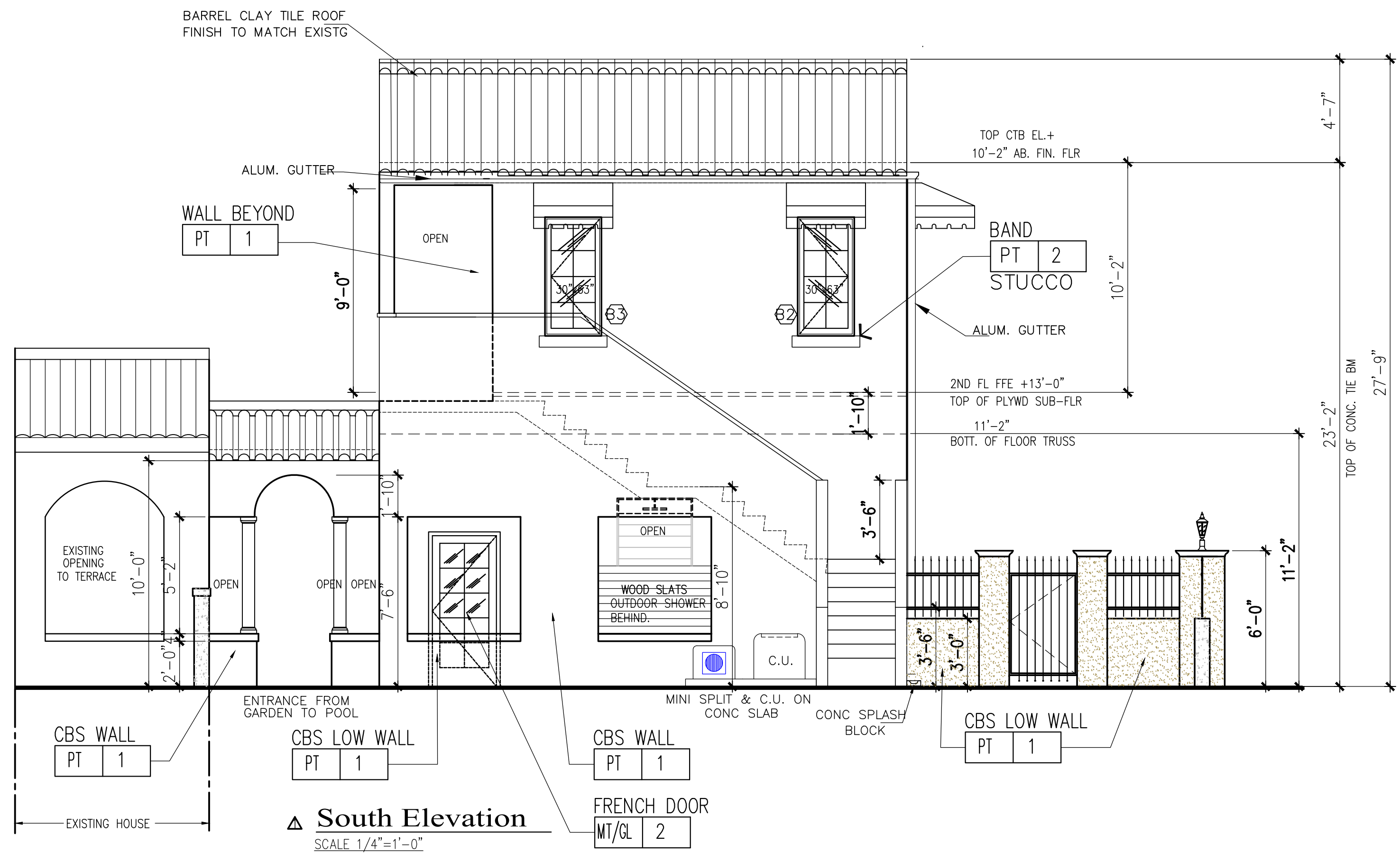
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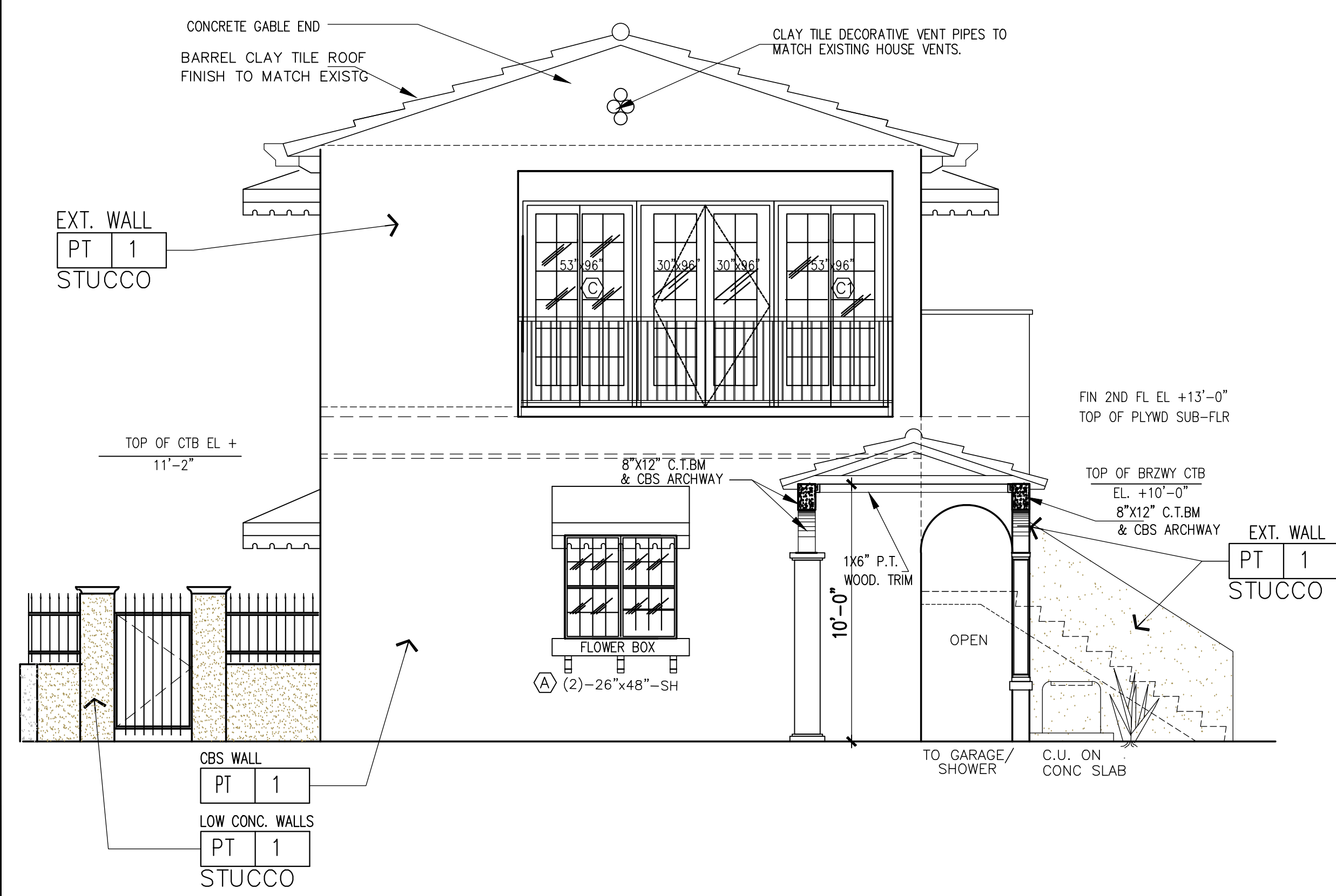
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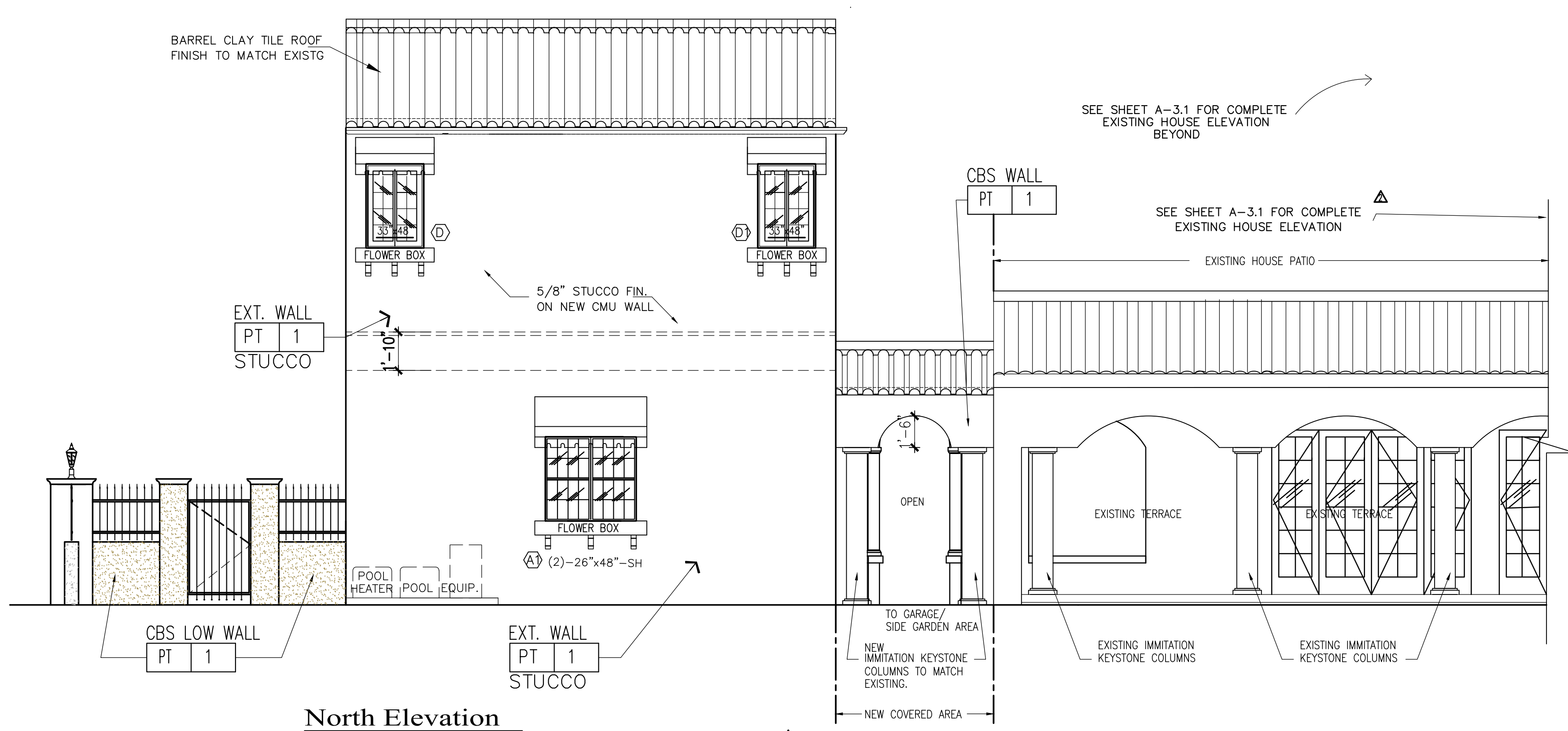
East Elevation
SCALE 1/4"=1'-0"



South Elevation
SCALE 1/4"=1'-0"



West Elevation
SCALE 1/4"=1'-0"



North Elevation
SCALE 1/4"=1'-0"

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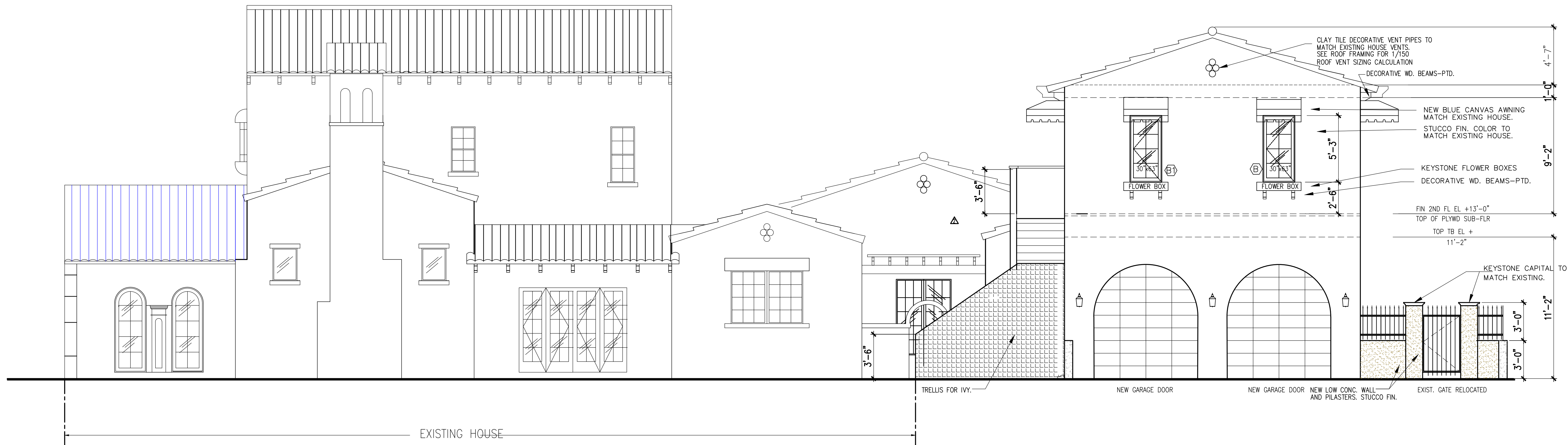
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REVISIONS

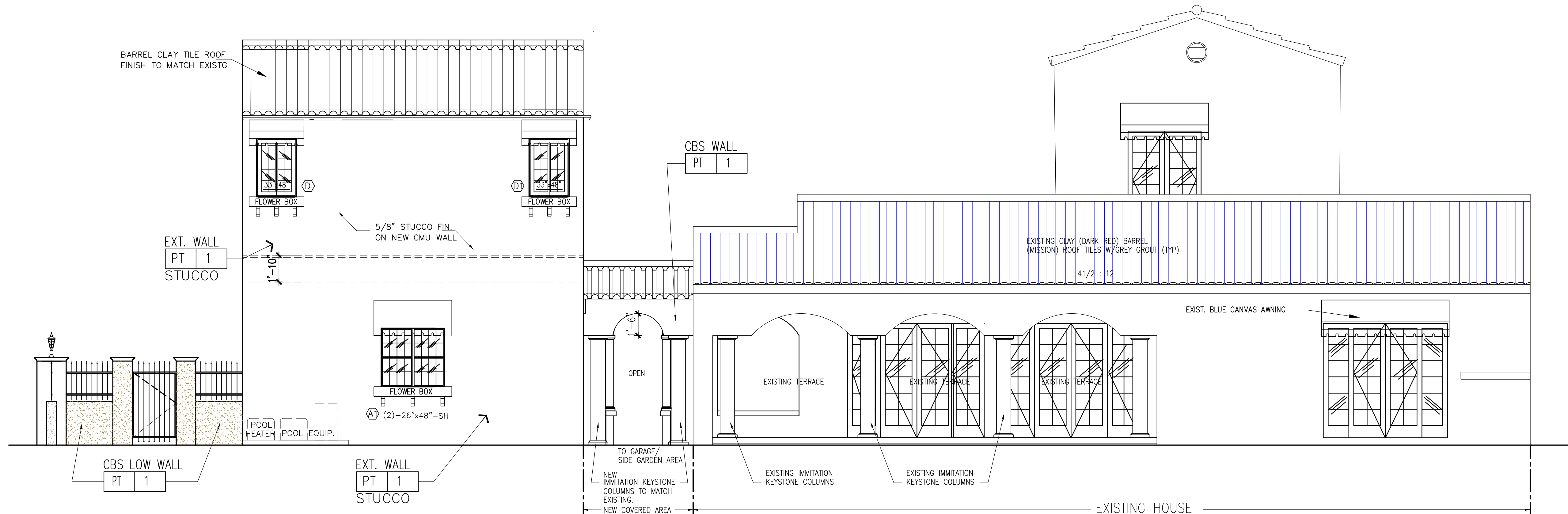
	12/21/20	ARB - REVISIONS
	03/16/21	ARB - REVISIONS
	05/28/21	GENERAL REVISIONS BASED ON BOA COMMENTS ON 4-15-21

ITEM	DATE	DESCRIPTION
PROJECT		
CLEMENTI RESIDENCE		
CORAL GABLES		
LOCATION		
1203 NORTH GREENWAY DRIVE CORAL GABLES, FLORIDA 33134		
TITLE		
PROPOSED HOUSE ELEVATIONS		
SCALE: AS NOTED		
DRAWN: M.D.		
CHECK:		
DATE: 12-17-20		
PROJECT NO.:		
DRAWING NUMBER		
A-3		



East Elevation

SCALE 1/4"=1'-0"



North Elevation

SCALE 1/4"=1'-0"

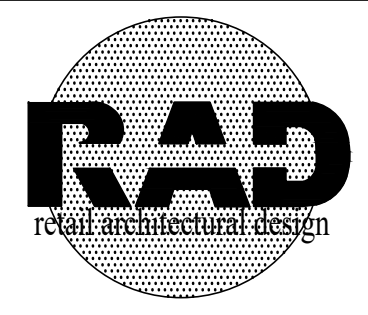
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REVISIONS
12/21/20 ARB-REVISIONS
03/16/21 NEW SHEET SUBMITTED
05/28/21 GENERAL REVISIONS-BASED ON
BOA COMMENTS ON 4-15-21

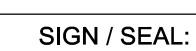
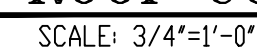
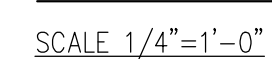
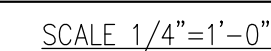
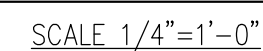
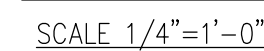
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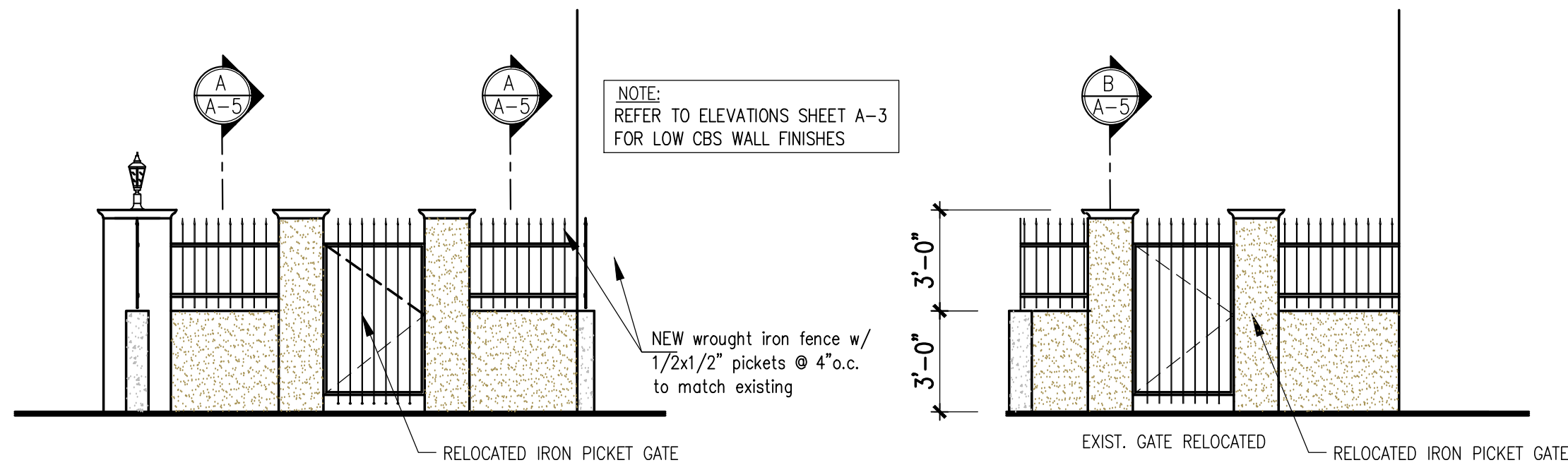
PROJECT
CLEMENTI
RESIDENCE
CORAL GABLES

LOCATION
1203 NORTH GREENWAY DRIVE
CORAL GABLES, FLORIDA 33134

TITLE
PROPOSED HOUSE
ELEVATIONS

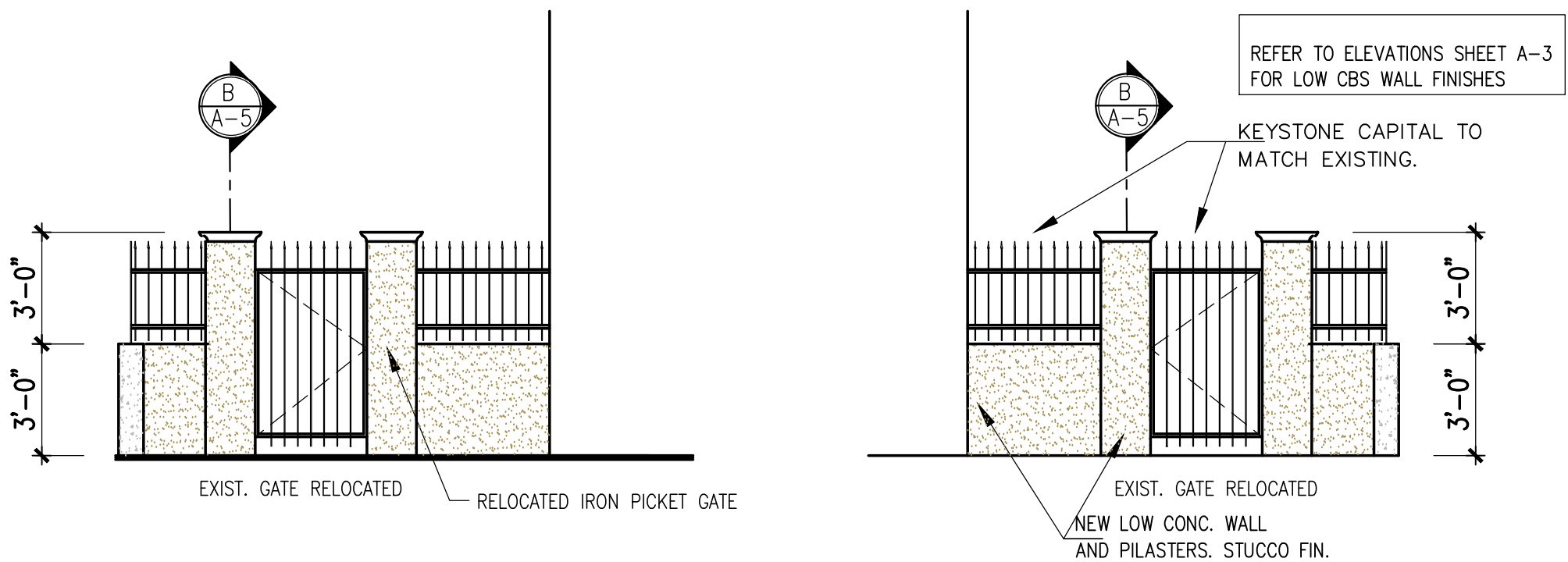
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DRAWN: M.D.
CHECK:
DATE: 12-17-20
PROJECT NO.:
DRAWING NUMBER
A-3.1





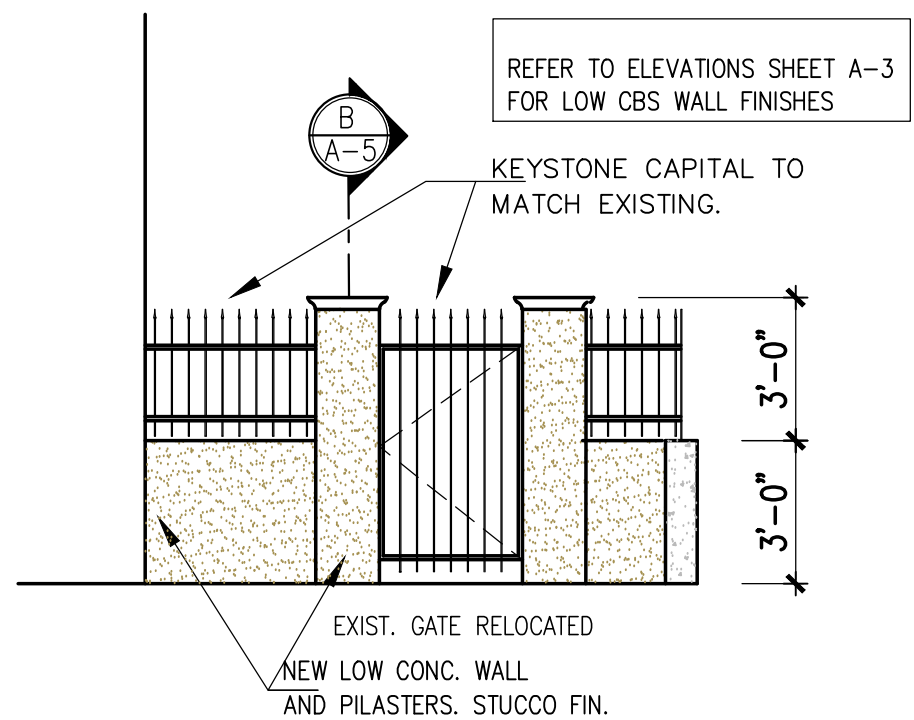
North Elevation

SCALE 1/4"=1'-0"



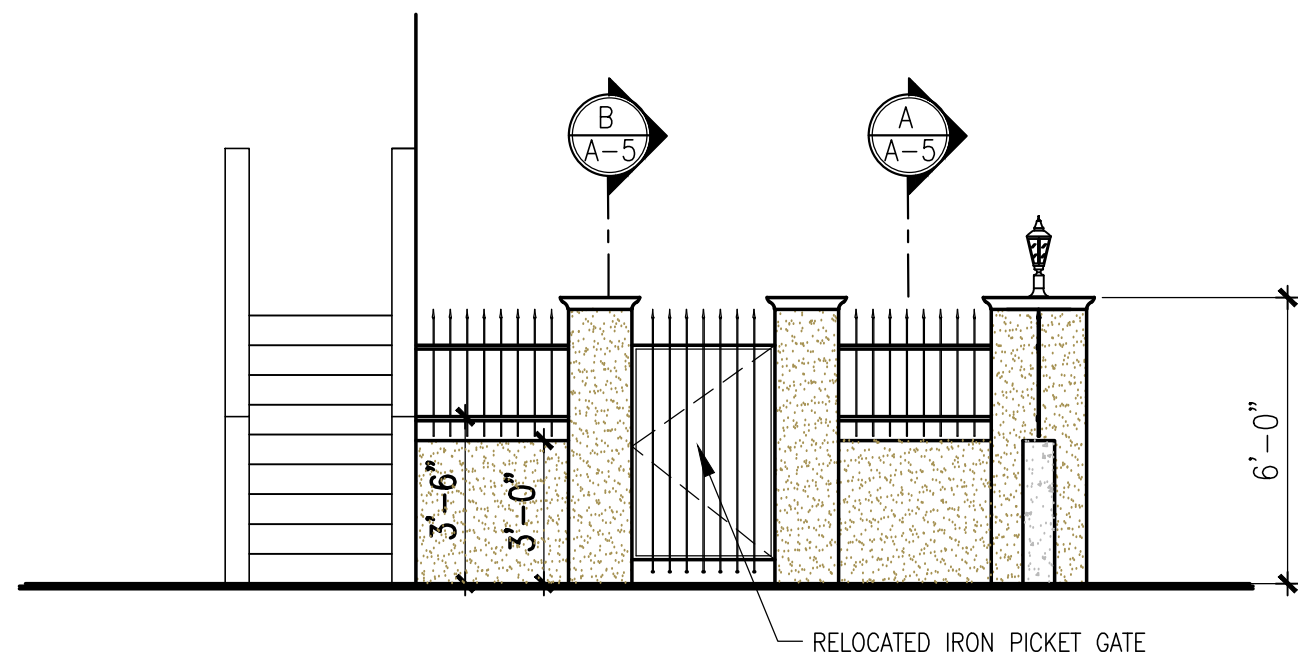
West Elevation

SCALE 1/4"=1'-0"



East Elevation

SCALE 1/4"=1'-0"



South Elevation

SCALE 1/4"=1'-0"

Codes & standards

Wind loads as per Florida Building Code, 2017 6TH Edition and ANSI/ASCE 7-10
Wind Speed=175 MPH (3 Second Gust)
Structure Type= II
Exposure = C

The project was designed in accordance with the building code requirements for reinforced concrete (ACI 318-14 Edition), ASD/13TH Edition, Building Code Requirements and Specifications for Masonry structures (ACI 530-13/ACI 318-14/TMS 402-08), Building Code Requirements and National Design Specifications for Wood Construction (NDS-2015)
SECTION AND DETAILS
All details, sections and notes shown on the drawings are intended to be typical and shall apply to similar situations elsewhere unless otherwise noted.

FOUNDATION

Bottom of footings to bear on soil capable of safely supporting 2,000 psf.

CONCRETE

Concrete shall be ready mix and have a minimum compressive strength of 2500 PSI for foundation and slab on grade, 3000 PSI for structural slabs 3000 PSI for beams, columns at 28 days. All concrete work shall comply with the requirements of the ACI Building Code (ACI 318-14 Edition), the ACI Detailing Manual (ACI 530-13/Latest Edition), and the specifications for structural concrete for buildings (ACI 301/Latest Edition). Concrete cover for reinforcing steel shall be as required by the latest ACI specifications. Welded wire fabric shall comply with ASTM A-185, unless otherwise specified. Place fabric 2" clear from top of the slab in slab on grade Lap all WWF a minimum of 6 inches unless otherwise noted. All reinforcing steel shall be manufactured from high strength billet steel conforming to ASTM Designation A-615 Grade 60. Lap all bars minimum 48 diameters unless otherwise noted on drawings. All hooks shown in reinforcement shall be ACI recommended hooks unless otherwise noted.

MASONRY

This project is designed as engineered unit masonry, 2017 FBC 2121.2 structural design shall be in accordance with ACI 530-13 / ASCE 7-10 / TMS 402-02, building code requirements for masonry structures and the commentary on building code requirements for masonry structures.

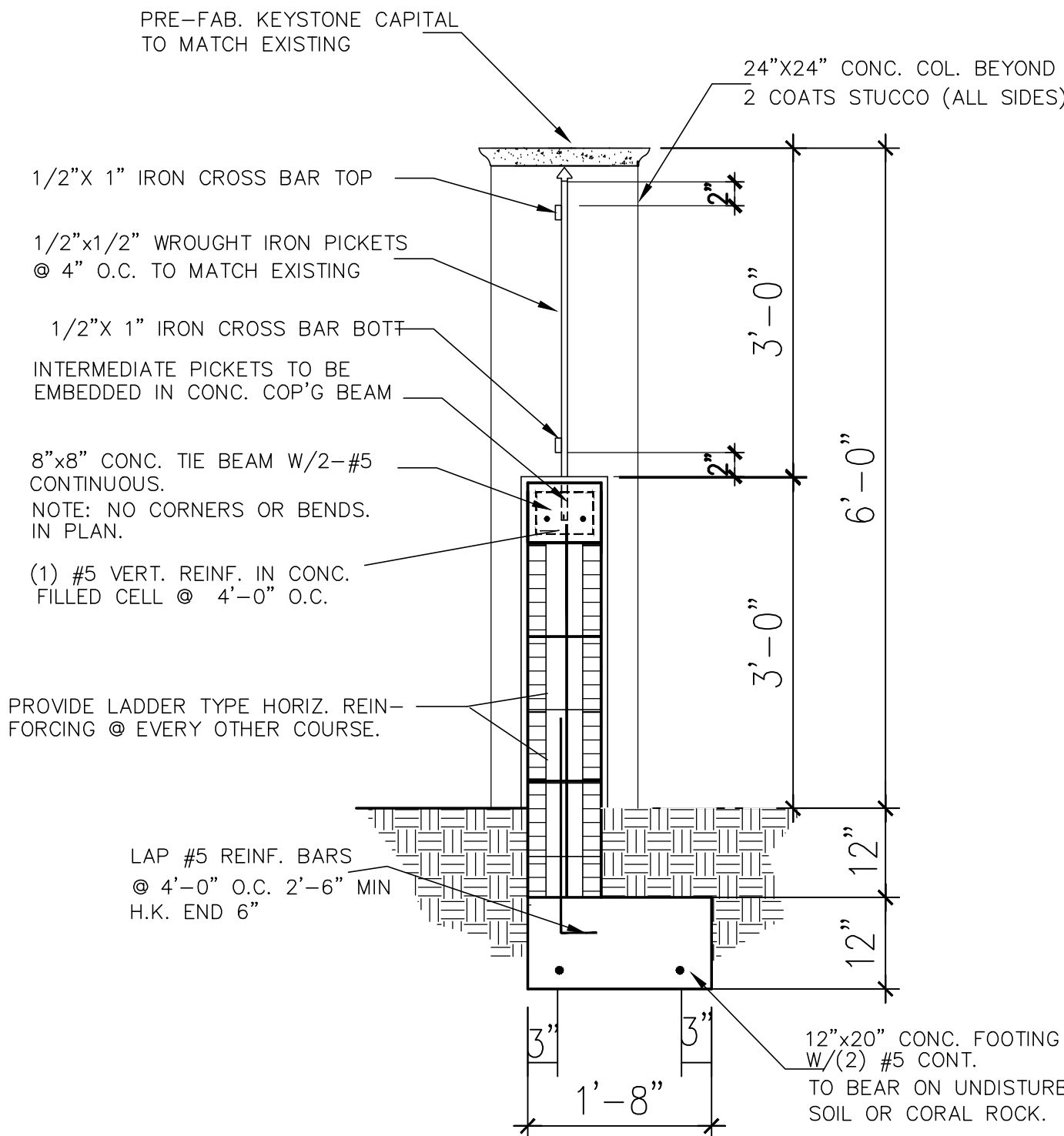
Masonry units shall be ASTM C-90 Type II with minimum compressive strength of 1500 psi on net area of individual units. All CMU shall be laid in a full bed of mortar in running bond U.O.N. All reinforcing steel shall be manufactured from high strength billet steel conforming to ASTM Designation A-615 Grade 60.

All mortar shall be Type S in accordance with ASTM Specification C-270 with a minimum compressive strength of 1800 PSI at 28 days. No testing for mortar strength is required for this project.

Grout shall be a **high slump mix (9"+/-1")** in accordance with ASTM Specification C-476 having a minimum compressive strength of 2000 PSI. No testing for grout strength is required for this project.

Provide 9 gauge horizontal joint reinforcement (ladder type only) at every second course for all exterior walls.

All concrete masonry bearing and shear walls must be inspected by a qualified engineer just prior to pouring of the foundation.

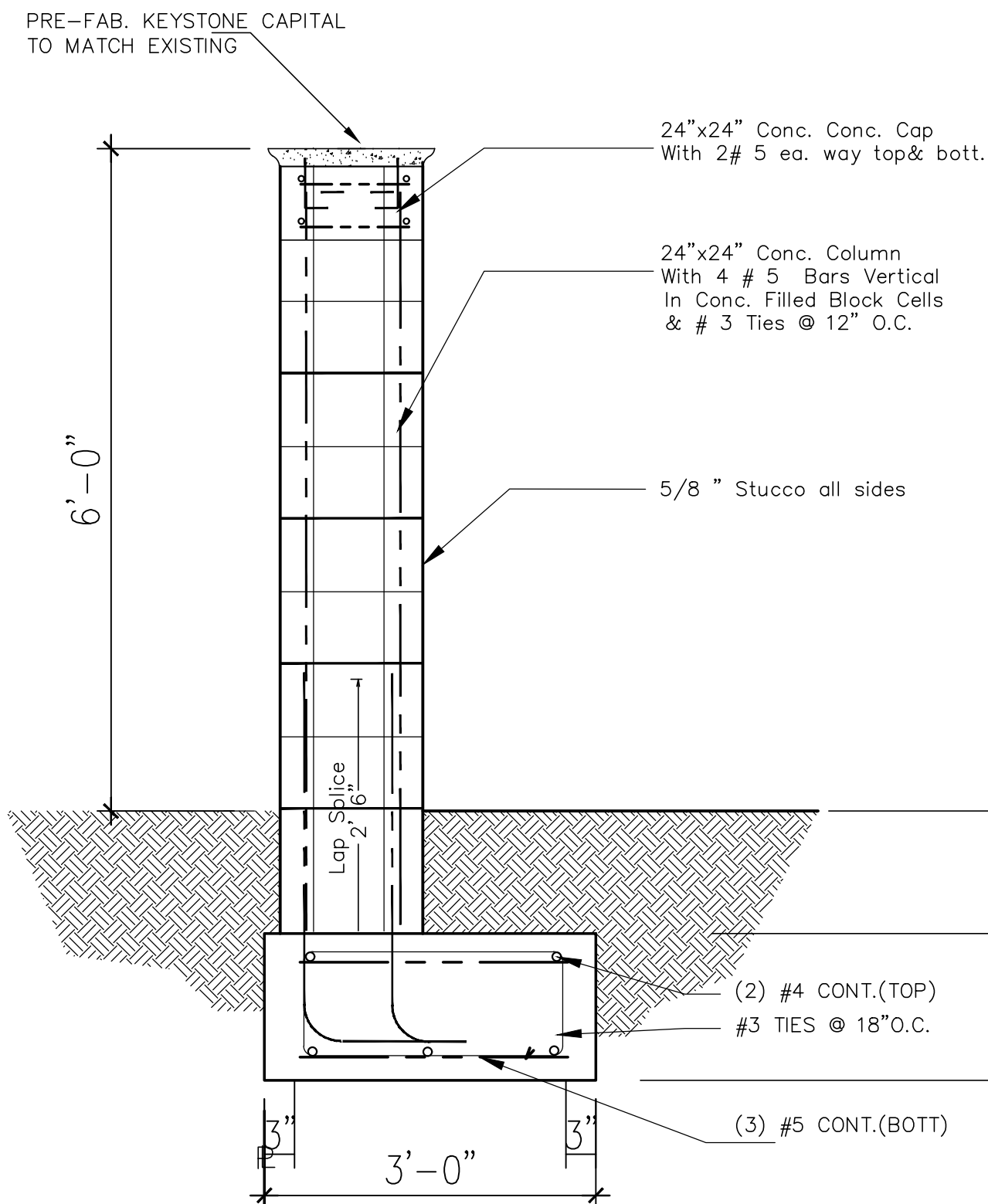


TYPICAL CONC. FENCE/IRON BARS SECTION "A"

SCALE: 3/4"=1'-0"

SOIL STATEMENT: SOIL OBSERVED TO BE SAND AND ROCK WITH A BEARING CAPACITY OF 2000 P.S.F. DESIGN LOAD OF THIS PROJECT DOES NOT EXCEED 2000 P.S.F.

IF OTHER SOIL CONDITIONS EXIST, NOTIFY ENGINEER.



TYPICAL CONC. FENCE COLUMN "B"

SCALE: 3/4"=1'-0"

ARCHITECT:
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SIGN / SEAL:

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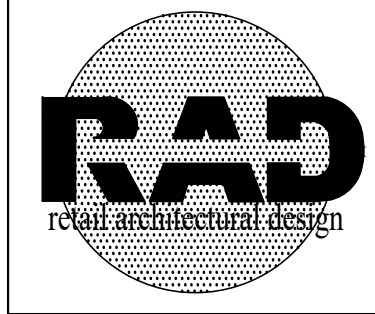
HERNANDEZ STRUCTURAL DESIGN INC.

STRUCTURAL CONSULTANTS, INSPECTIONS, INVESTIGATIONS

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HSD

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CONDITIONS:

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REVISIONS

△ 15-00-0000 XXXXXXX
△ 05/28/21 GENERAL REVISIONS-BASED ON BOA COMMENTS ON 4-15-21

ITEM DATE DESCRIPTION

PROJECT

CLEMENTI
RESIDENCE

CORAL GABLES

LOCATION

1203 NORTH GREENWAY DRIVE
CORAL GABLES, FLORIDA 33134

TITLE

LOW PRIVACY WALL
SECTION / ELEVATIONS

SCALE: AS NOTED

DRAWN: M.D.

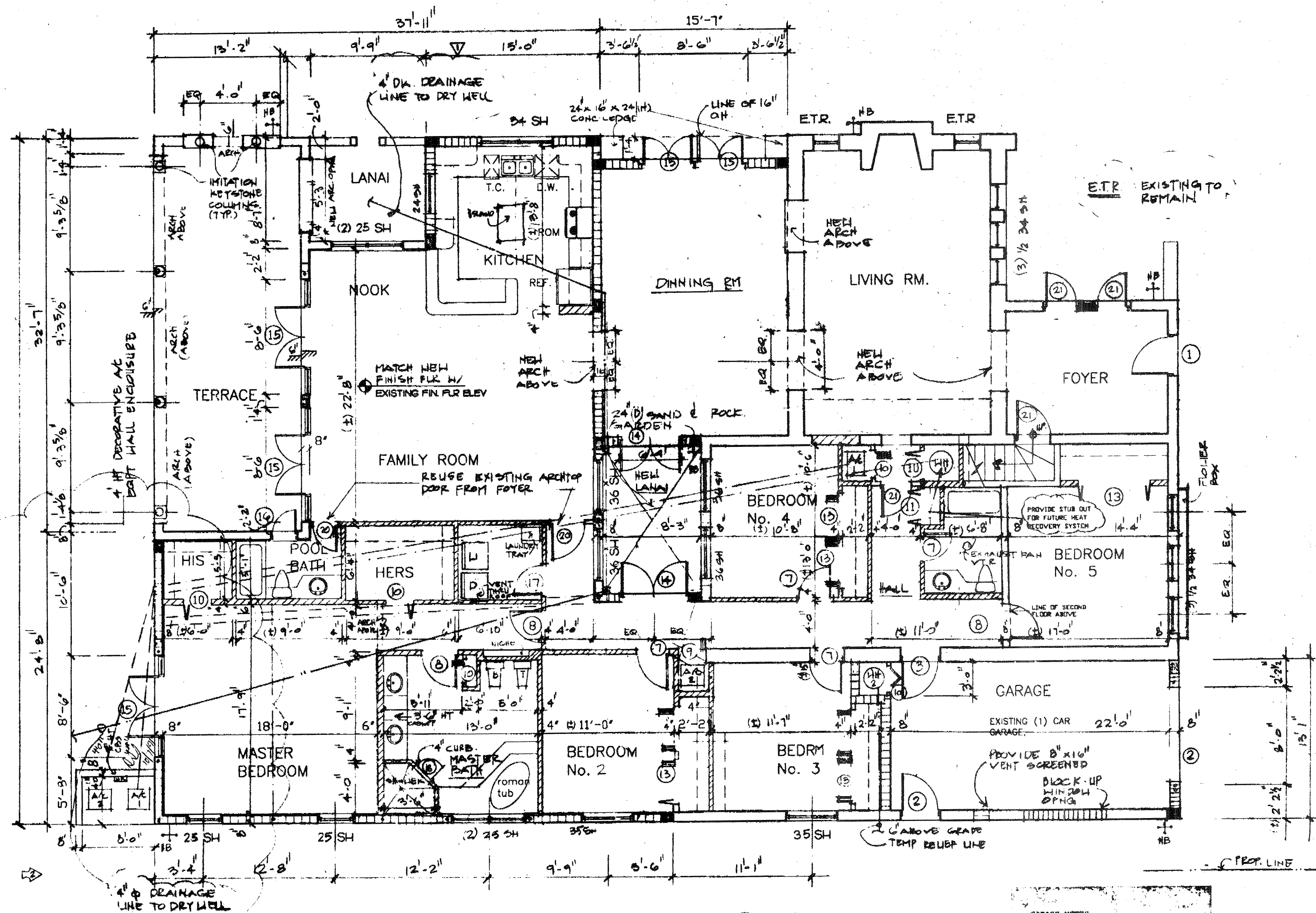
CHECK:

DATE: 10-23-20

PROJECT NO.:

DRAWING NUMBER

A-5



ROOM FINISH SCHEDULE						
ROOM	FLOOR	BASE	WALLS	CEILING	CLG. HT.	REMARKS
FOYER	TILE	WOOD 6"	GYP. BRD.	GYP. BRD.	9'-4"	
LIVING ROOM	TILE	WOOD 6"	GYP. BRD.	GYP. BRD.	9'-4"	(*) SAND BLAST
DINING ROOM	TILE	WOOD 6"	GYP. BRD.	GYP. BRD.	9'-4"	
KITCHEN	TILE	WOOD 6"	GYP. BRD.	GYP. BRD.	9'-4"	
FAMILY ROOM	TILE	WOOD 6"	GYP. BRD.	GYP. BRD.	9'-4"	
MASTER BEDROOM	HARDWOOD	WOOD 6"	GYP. BRD.	GYP. BRD.	9'-4"	BLEACHED TONGUE & GROOVE
MASTER BATH-ROOM	MARBLE	MAR. GYP. BRD.	MAR. GYP. BRD.	MAR. GYP. BRD.	8'-0"	(*)
BEDROOMS	HARDWOOD	WOOD 6"	GYP. BRD.	GYP. BRD.	8'-0"	(*)
BATH-ROOMS	CER. TILE	MAR. GYP. BRD.	MAR. GYP. BRD.	MAR. GYP. BRD.	8'-0"	(*)
HALLWAY	H.D. HD.	H.D. HD.	GYP. BRD.	GYP. BRD.	8'-0"	
CLOSETS & LINEN	H.D. HD.	WOOD 6"	GYP. BRD.	GYP. BRD.	8'-0"	
LAUNDRY ROOM	TILE	TILE 6"	MAR. GYP. BRD.	GYP. BRD.	9'-4"	
TERRACE	BRICK (*)	STUCCO	STUCCO	STUCCO	9'-10"	THIN MATCHING PAVES
GARAGE	EXISTING (*)	EXISTING	EXISTING	EXISTING	EXISTING	AT NEW PORTION
PORTICO	TILE	TILE	STUCCO	EXP. WOOD	VARIABLES	
LANAI	24" GRATE	NO NB	STUCCO	NO NB	NO NB	

PROVIDE 32" HT CAP HOLDING AT CONT WAINSCOT
REMOVE BROWN PAINT FROM STAIRS. APPLY WHITE WASH FINISH.

DOOR SCHEDULE										
NO.	LOCATION	WIDTH	SIZE	THICK	TYPE	MATERIAL	FINISH	THRESHOLD	JAMB	REMARKS
1	FOYER	3'-0"	8'-0"	1 3/4"	WOOD	SOLID CORE WOOD	STAINED	FLUSH	WOOD	RELOCATED FROM STAIRS
2	GARAGE	3'-0"	6'-8"	1 3/4"	HOLLOW	METAL	PAINT	BUMPER	WOOD	1 1/2" B LABEL
3	GARAGE	2'-6"	6'-8"	1 3/4"	HOLLOW	METAL	PAINT	BUMPER	WOOD	DOOR SCOPE
4	GARAGE	6'-0"	8'-0"	1 3/4"	OVERHEAD	WOOD	STAINED	3/4" DROP	WOOD	RAISED PANELS
5	VARIOUS	2'-0"	6'-8"	1 3/8"	PREF-HUNG (1)	WOOD	PAINT	NONE (H)	WOOD	(*)
6	VARIOUS	2'-4"	6'-8"	1 3/8"	PREF-HUNG (1)	WOOD	PAINT	NONE (H)	WOOD	(*)
7	BEDROOMS	2'-6"	6'-8"	1 3/8"	PREF-HUNG (1)	WOOD	PAINT	NONE (H)	WOOD	(*)
8	VARIOUS	2'-8"	6'-8"	1 3/8"	PREF-HUNG (1)	WOOD	PAINT	NONE (H)	WOOD	(*) HANDICAPPED ACCESS
9	CLOSETS	2'-0"	6'-8"	1 3/8"	BI-FOLD (1)	WD. (1)	PAINT	NONE (H)	WOOD	2 PANELS
10	CLOSETS	2'-4"	6'-8"	1 1/8"	BI-FOLD	WD. LOWER	PAINT	NONE (H)	WOOD	2 PANELS
11	CLOSETS	3'-0"	6'-8"	1 1/8"	BI-FOLD (1)	WD. (1)	PAINT	NONE (H)	WOOD	2 PANELS
12	CLOSETS	5'-0"	6'-8"	1 1/8"	BI-FOLD (1)	WD. (1)	PAINT	NONE (H)	WOOD	4 PANELS
13	CLOSETS	4'-0"	6'-8"	1 1/8"	BI-FOLD (1)	WD. (1)	PAINT	NONE (H)	WOOD	4 PANELS
14	VARIOUS	2'-0"	8'-0"	1 3/4"	FRENCH	WOOD/GLASS	PAINT	BUMPER	WOOD	12 LITES EACH DOOR
15	VARIOUS	2'-0"	8'-0"	1 3/4"	FRENCH	WOOD/GLASS	PAINT	BUMPER	WOOD	12 LITES EACH DOOR
16	VARIOUS	2'-0"	8'-0"	1 3/4"	FRENCH	WOOD/GLASS	PAINT	BUMPER	WOOD	12 LITES
17	LAUNDRY	3'-0"	6'-8"	1 3/4"	FRENCH	WOOD/GLASS	PAINT	BUMPER	WOOD	15 LITES
18	SHOWER	2'-0"	6'-0"	---	SWING	ALUM/GLASS	OPAQUE GLS	---	---	SAFETY GLASS
19	GATES	2'-8"	6'-0"	---	SWING	WROUGHT IRON	SHOP PAINT	---	---	DESIGN TO BE APPROVED
20	FAMILY	2'-0"	6'-8"	1 3/4"	SWING (H)	WOOD	PAINT	NONE	HD	BY THE ARCHITECT
21	FOYER	2'-0"	6'-8"	1 3/4"	FRENCH	WOOD	PAINT	BUMPER	HD	EXISTING BEING
22	LANAI	2'-0"	8'-0"	1 3/4"	"	"	"	"	"	ARCH TOP
23	EXISTING	TO	REMAIN	---	---	---	---	---	---	18 LITES EA. DR.

(1) ALL INTERIOR DOORS (NEW) TO BE BY MASONITE CORP. (DISTRIBUTED BY EVERGLADES LUMBER) MODEL "CLASSIQUE".

LEGEND

- EXISTING WALL TO REMAIN
- NEW 4" PARTITION (SEE SHT SP.1 DIVISION 6)
- 8" CONC. BLOCK WALL (SEE SHT SP.1 DIV. 4)
- NEW CONC. COLUMN. (SEE SHT SP.1 DIV. 3)
- A/C COND., REFRIG & HEAT RECOVERY LINES
- LINE OF HALL OR ARCH/ARC ABOVE, WHEN USED IN CLOSETS IT INDICATES LINE OF VINYL CLAD SHELVING ABOVE.
- ORNAMENTAL IMITATION KETSTONE COLUMN.
- 8" DIA RAIN WATER LEADERS

NOTE: ALL GLASS TO BE TINTED GREY
ALL WINDOWS TO BE COLONIAL
STYLE WITH WHITE ALUM. FRAMES

- GARAGE NOTES**
- PROVIDE 1 LAYER OF 5/8" TYPE "X" Gypsum BOARD ON 1" X 3" FURRING STRIPS @ 16" O/C TO UNDERSIDE OF WOOD TRUSSES. PROVIDE 6.1/2" BATT INSULATION (R-19 VALUE).
 - PROVIDE SIGN # GARAGE DOOR DANGER. DO NOT OPERATE ENGINES WITH DOORS CLOSED. CARBON MONOXIDE EMISSION IS LETHAL.
 - PROVIDE 2" X 6" P.T. JAMB BOLTED TO 4" CONC. BLOCK W/ 3/8" DIA. ANCH. BOLTS @ 24" O/C FOR OVERHEAD DOOR ROLL, BUT MORE THAN 6" TOP & BOTTOM.
 - PROVIDE 120 S.O. IN OF SCREENED BLOCK VENTILATION FLUSH WITH GARAGE FINISH FLOOR.
 - RESIDENCE TO GARAGE DOOR TO BE PROVIDED WITH AUTO CLOSURE, AND TO BE 1 HOUR FIRE RATED.
 - VENT DRYER THRU ROOF TO OUTSIDE.

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HSD

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REVISIONS

NO.	DATE	DESCRIPTION
1	11-19-20	XXXXXXXX

PROJECT
CLEMENTI RESIDENCE
CORAL GABLES

LOCATION
1203 NORTH GREENWAY DRIVE
CORAL GABLES, FLORIDA 33134

TITLE
EXIST'G BUILDING PLANS

SCALE: AS NOTED
DRAWN: M.T.
CHECK:
DATE: 09-19-20
PROJECT NO.:
DRAWING NUMBER
A-6

