

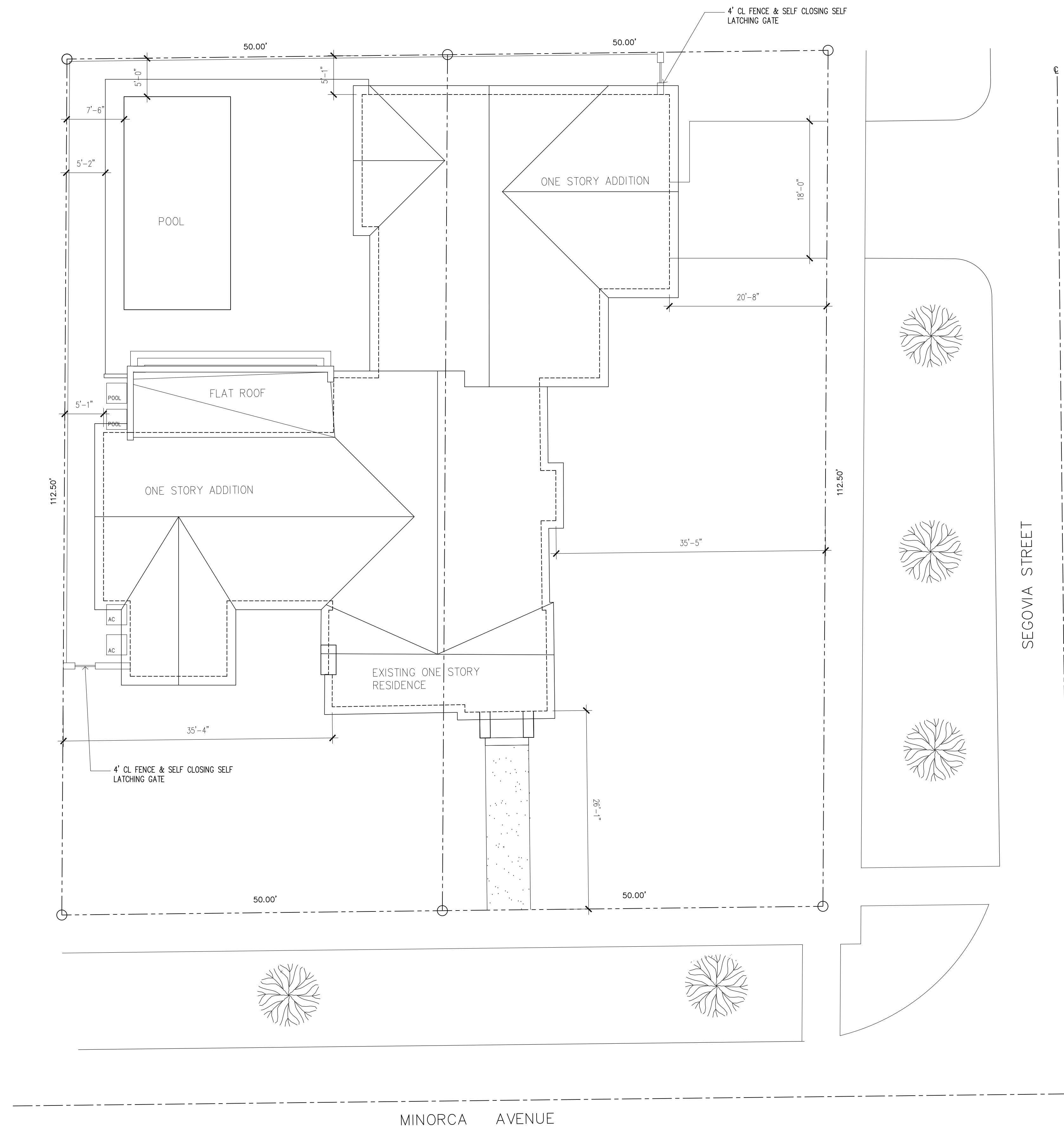
THE
GOLDSTEIN RESIDENCE
603 MINORCA AVENUE
CORAL GABLES FLORIDA
HISTORIC HOUSE ADDITION



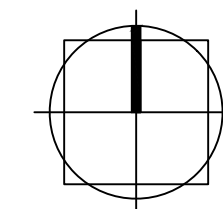
CALLUM GIBB ARCHITECT PA

NOVEMBER 2020

LOTS 14 & 15, BLOCK 18, REVISED PLAT OF CORAL GABLES
SECTION B, ACCORDING TO THE PLAT THEREOF AS RECORDED
IN PLAT BOOK 5 AT PAGE 111 OF THE PUBLIC RECORDS OF
MIAMI DADE COUNTY, FLORIDA.

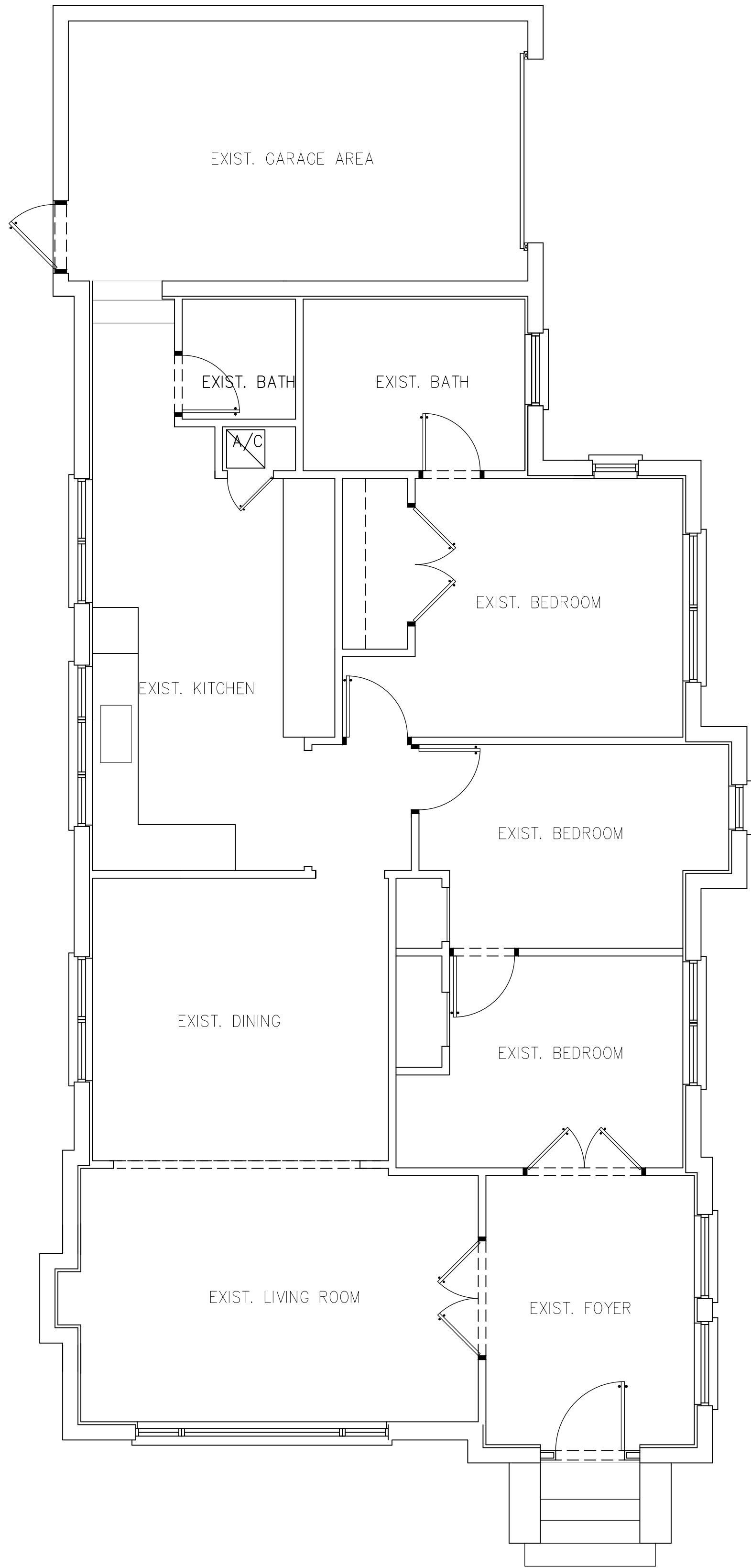


SITE PLAN 1 / 8"

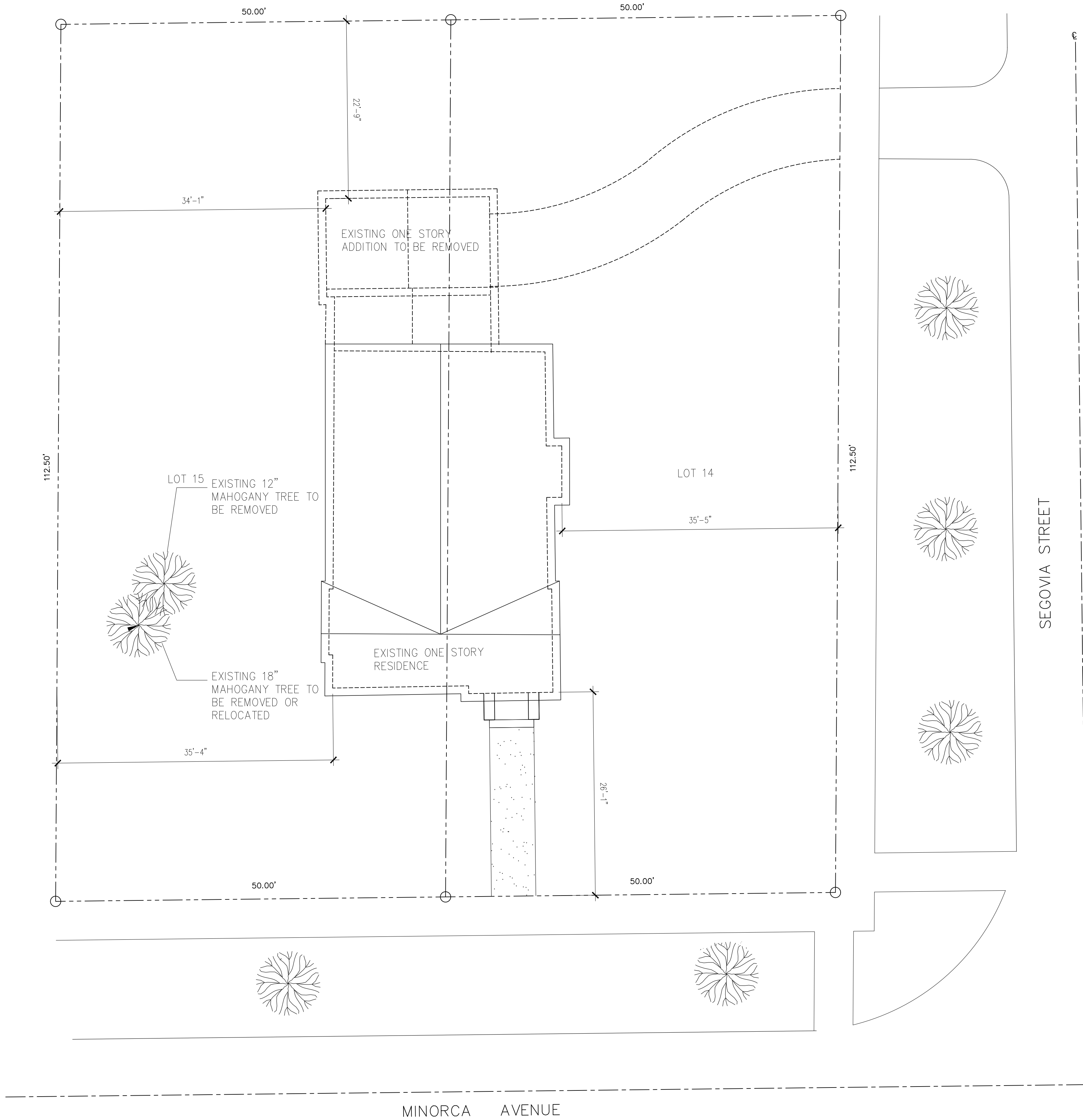
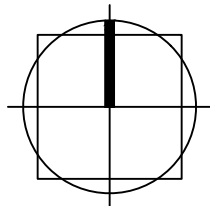


DATE: NOVEMBER 2020

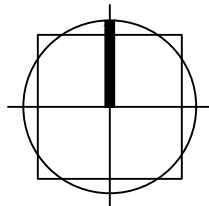
CALLUM GIBB ARCHITECT P A
ARCHITECTURE • PLANNING • INTERIORS



EXISTING FLOOR PLAN 1/8"



EXISTING SITE PLAN 1/8"



DRAWING NOTES
DRAWING REVISIONS
THE GOLDSTEIN RES 603 MINORCA AVE PROJECT NO: 18-11.14
EXISTING PLAN & SITE PLAN
SCALE: 1 / 8"
A.1.2
DATE: NOVEMBER 2020

ZONING DATA

ADDRESS: 603 MINORCA AVENUE
FOLIO: 03-4129-027-2590

LOT AREA 11,250 S.F.

LEGAL DESCRIPTION
LOTS 14, BLOCK 18, REVISED PLAT OF CORAL GABLES SECTION B, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5 AT PAGE 111 OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.

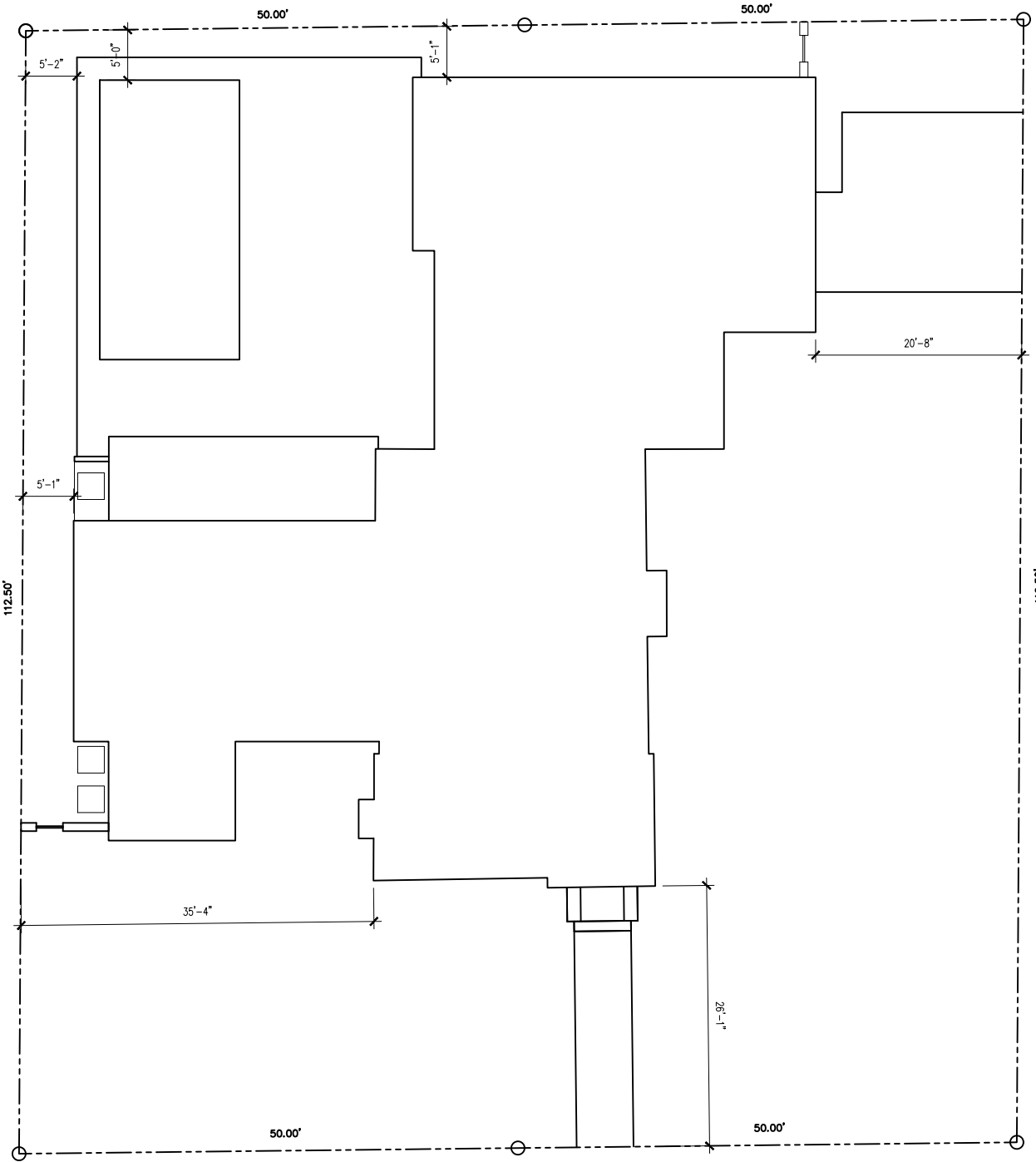
SCOPE OF WORK
ADDITION TO EXISTING RESIDENCE

SETBACKS
FRONT
25'-0" REQUIRED
26'-1" PROVIDED

REAR
10'-0" REQUIRED
5'-0" PROVIDED AS PER BOA APPROVAL

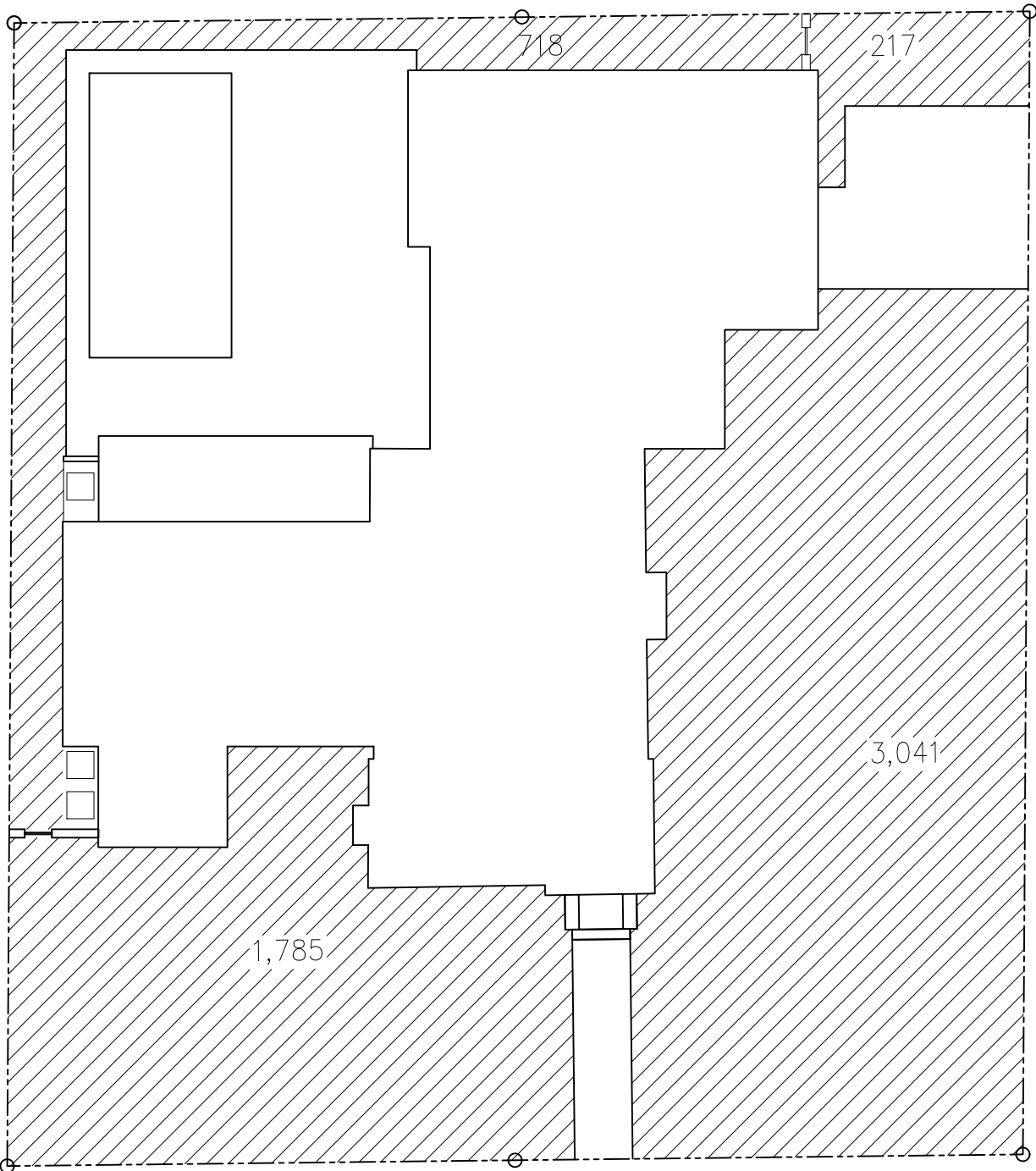
INTERIOR SIDE
5'-0" MIN. 20'-0" COMBINED REQUIRED
5'-1" & 25'-9" PROVIDED

SIDE STREET
15'-0" REQUIRED
20'-8" PROVIDED



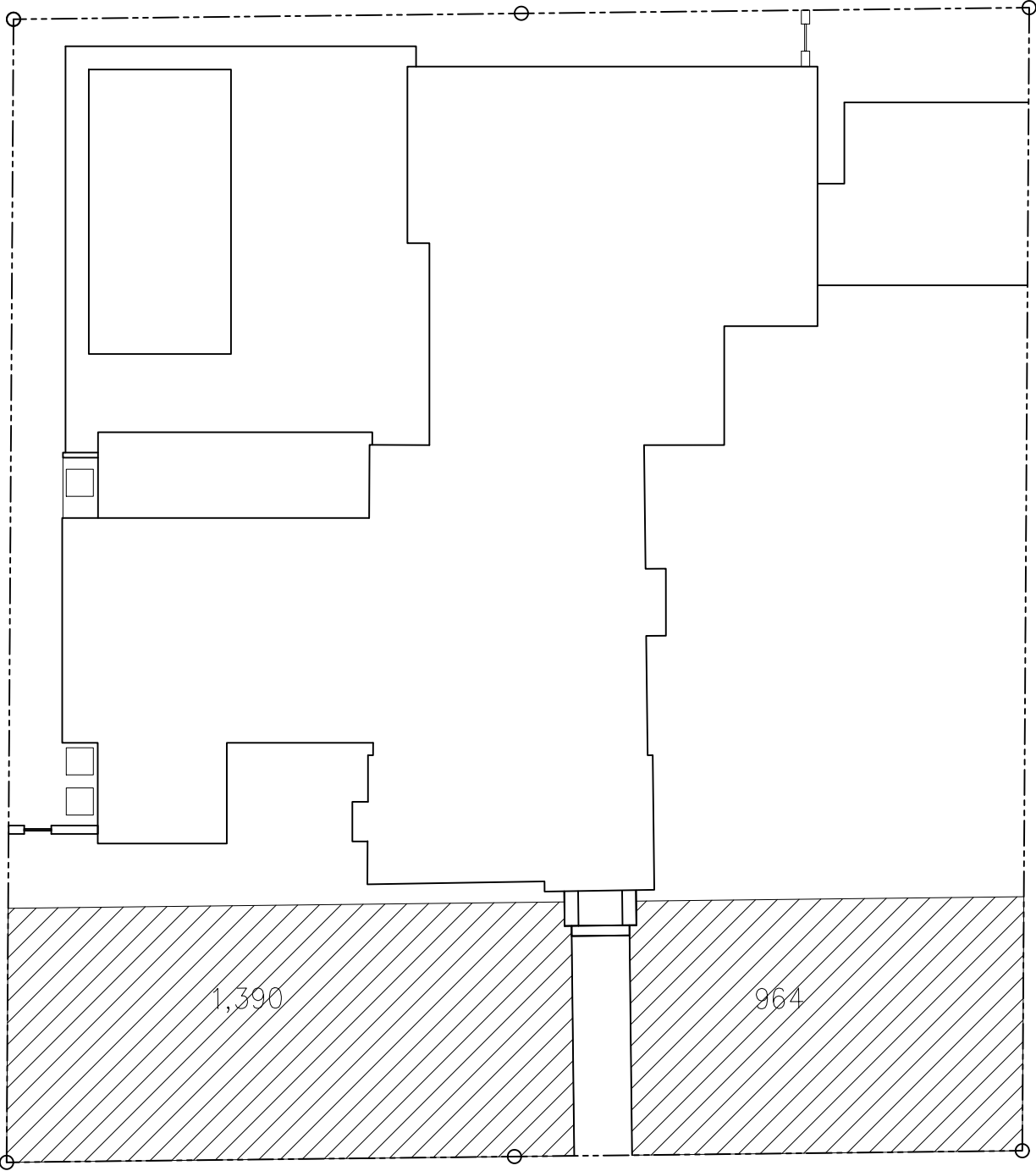
GREEN AREA

40% MINIMUM LANDSCAPE REQUIREMENT
11,250 X 40% = 4,500 S.F.
GREEN AREA PROPOSED
5,761 S.F. = 51%



FRONT YARD GREEN AREA

20% MINIMUM LANDSCAPE REQUIREMENT
4,500 S.F. X 20% = 900 S.F.
GREEN AREA PROPOSED = 2,354 S.F.



DRAWING NOTES

DRAWING REVISIONS

THE
GOLDSTEIN RES
603 MINORCA AVE

PROJECT NO: 18-11.14

ZONING DATA LEGEND

SCALE:

A.1.3

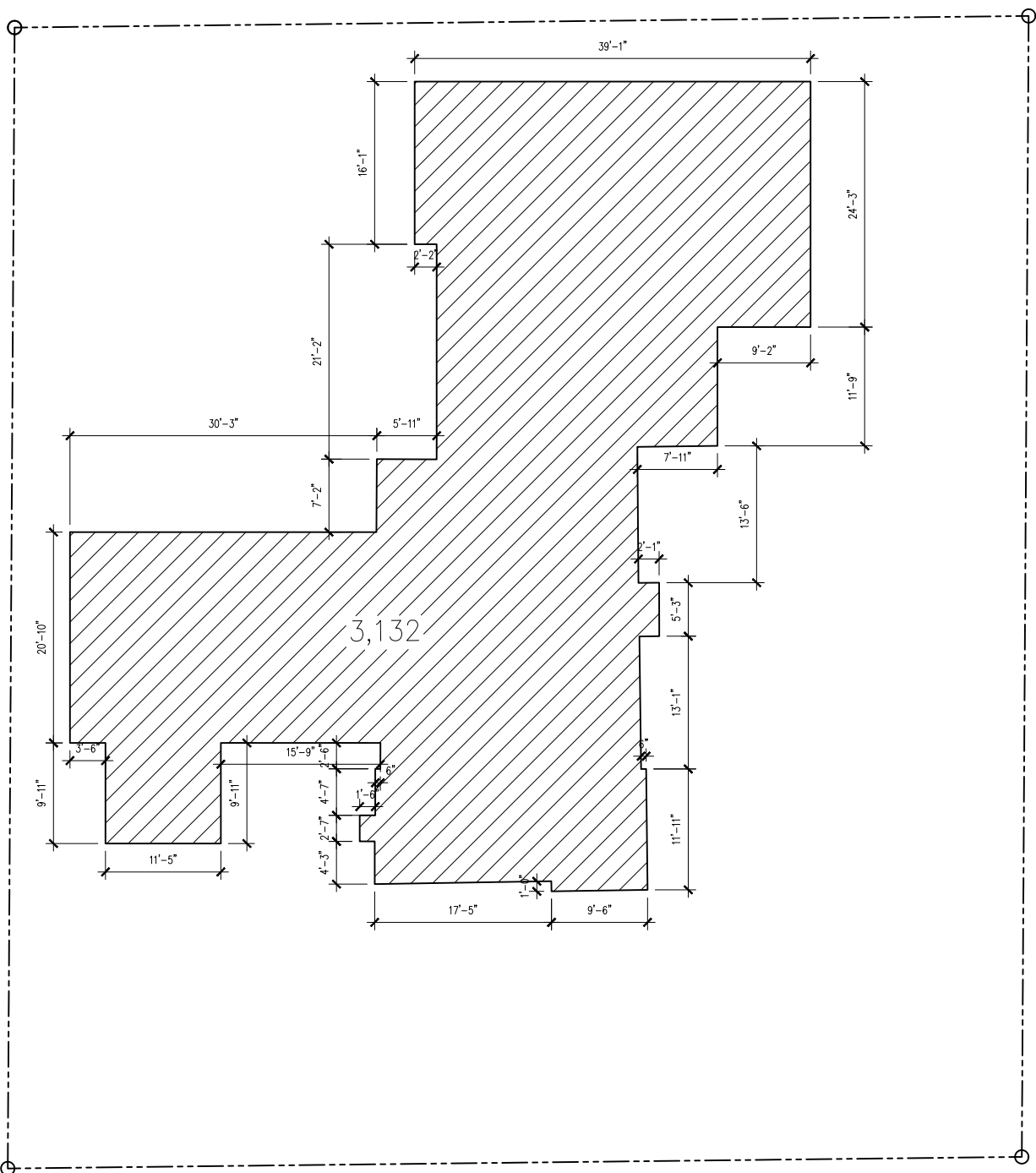
DATE: NOVEMBER 2020

CALLUM GIBB ARCHITECT P A
ARCHITECTURE • PLANNING • INTERIORS

353 ALCAZAR AVENUE CORAL GABLES FLORIDA 33134
TEL: 305-445-7083 A/R: 16751

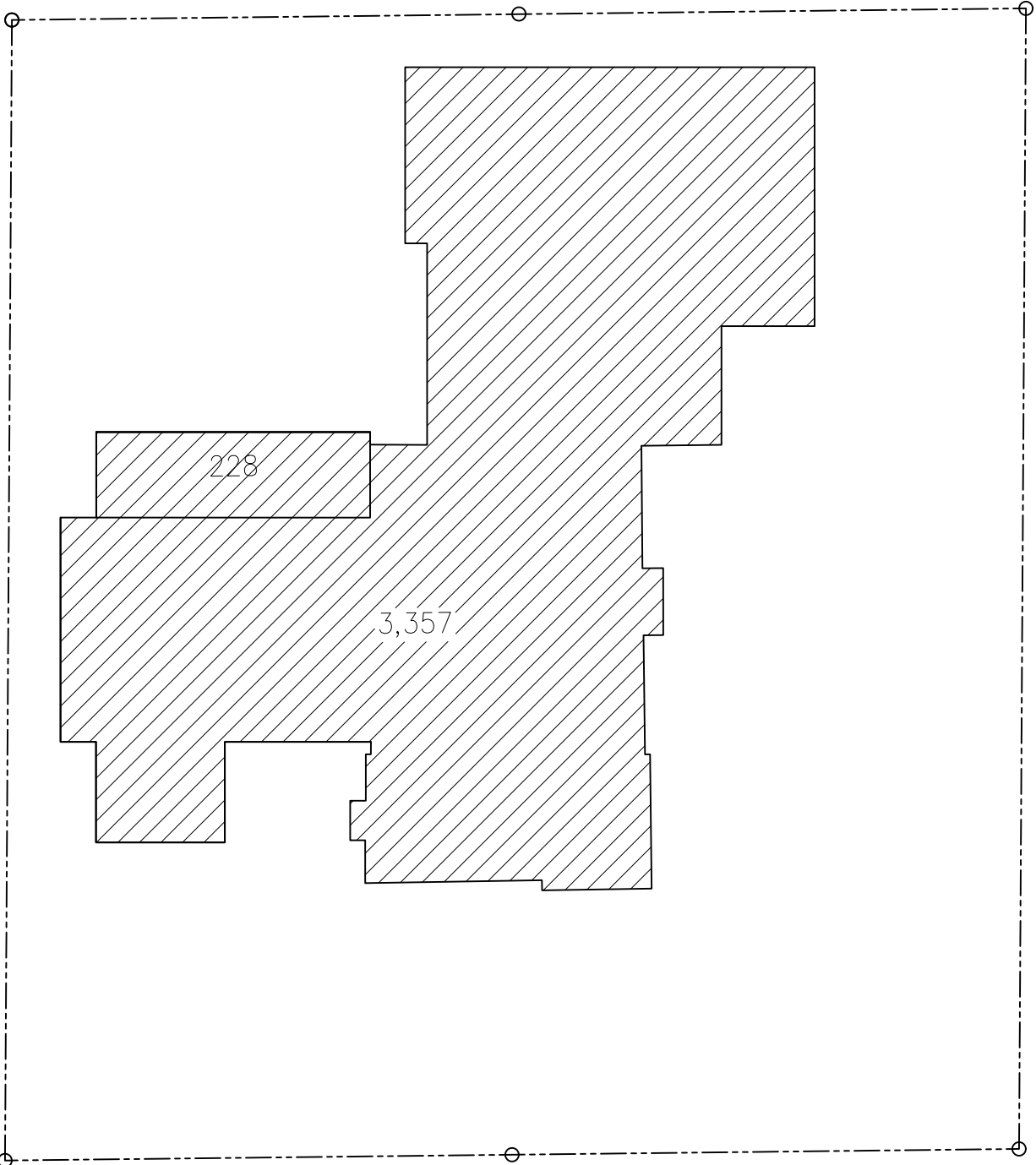
FAR

5,000 X 45% = 2,400
5,000 X 35% = 1,750
1,250 X 30% = 375
MAXIMUM ALLOWED = 4,525
TOTAL PROVIDED = 3,132 S.F.



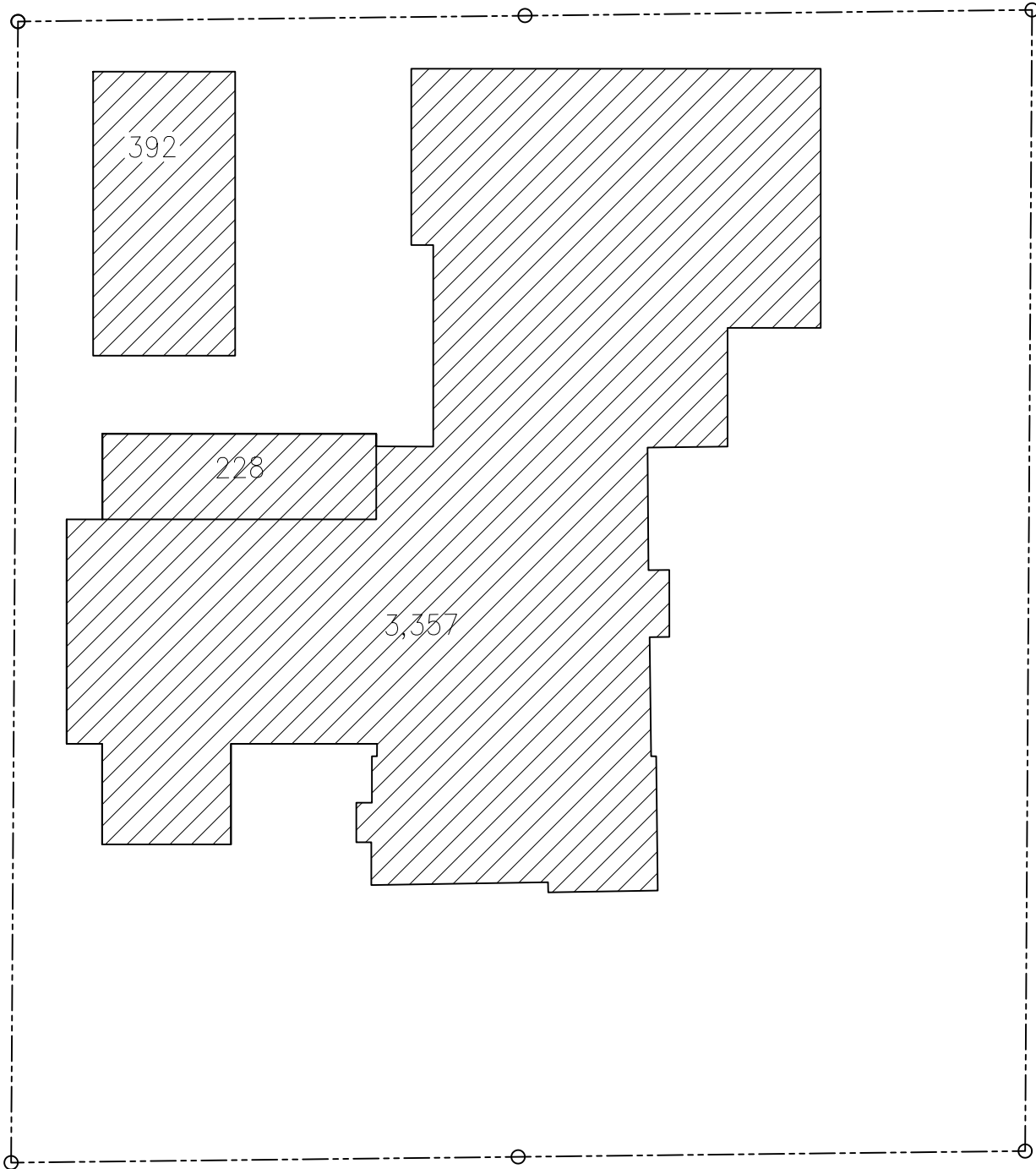
GROUND COVERAGE

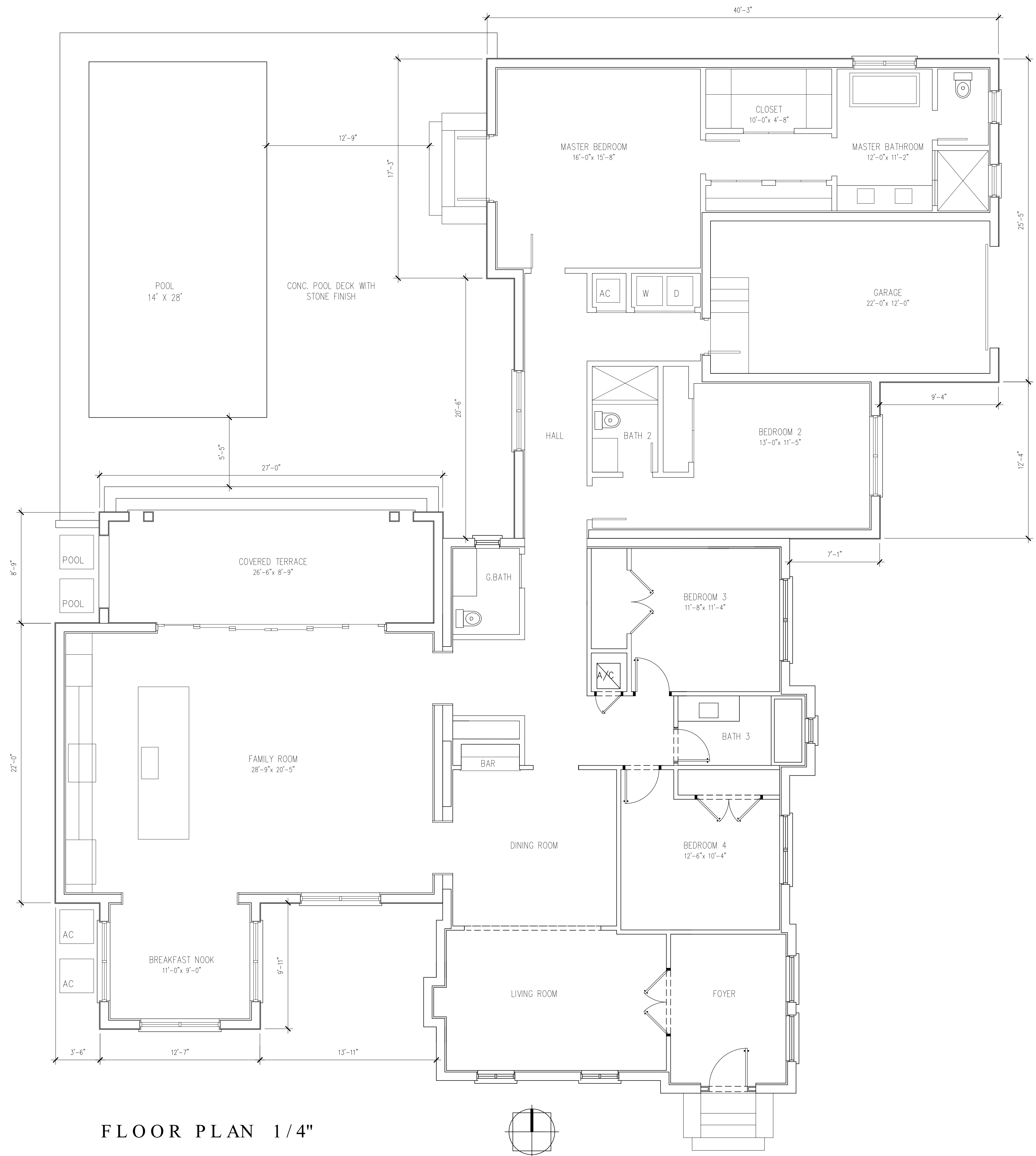
35% GROUND COVERAGE
11,250 X 35% 3,938 S.F.
MAIN HOUSE = 3,357 S.F.
COVERED PORCH = 228 S.F.
TOTAL = 3,585 S.F. 32%



LOT COVERAGE

45% LOT COVERAGE
11,250 X 45% 5,062 S.F.
MAIN HOUSE = 3,357 S.F.
COVERED PORCH = 228 S.F.
POOL = 392
TOTAL = 3,977 S.F. 35%





RAWING NOTES

DRAWING REVISIONS

THE
GOLDSTEIN RES
503 MINORCA AVE

PROJECT NO: 18-11.14

FLOOR PLAN

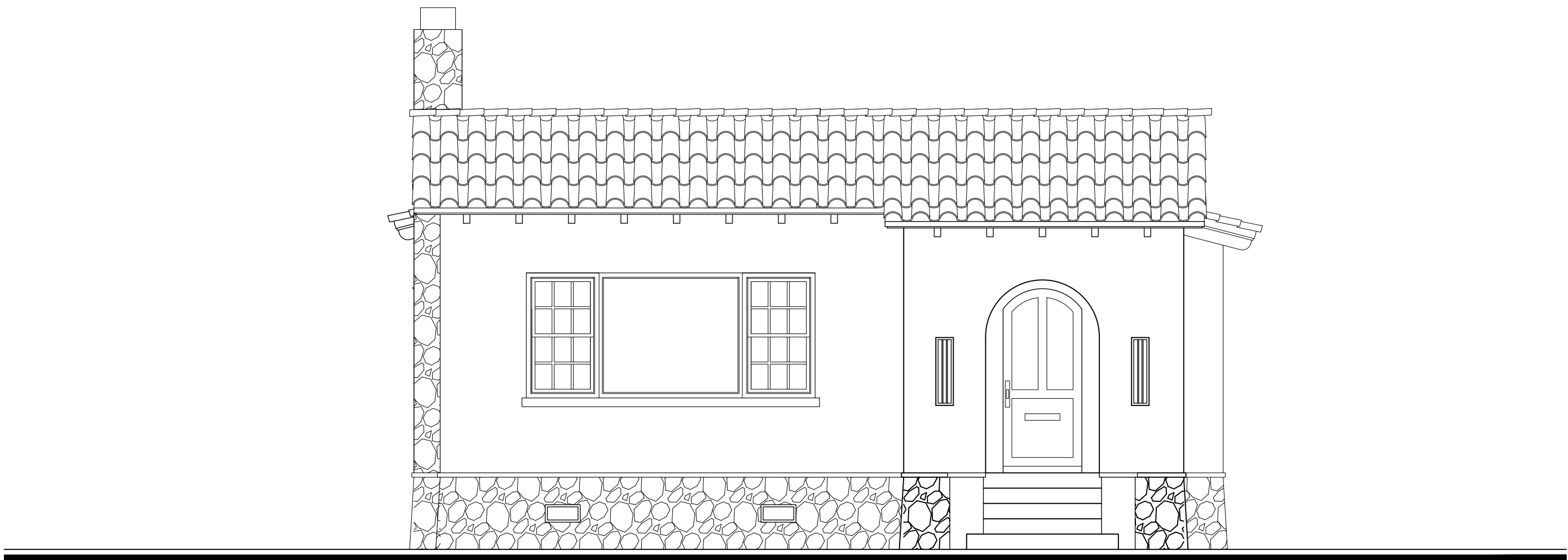
SCALE: 1 / 4"

A.2.1

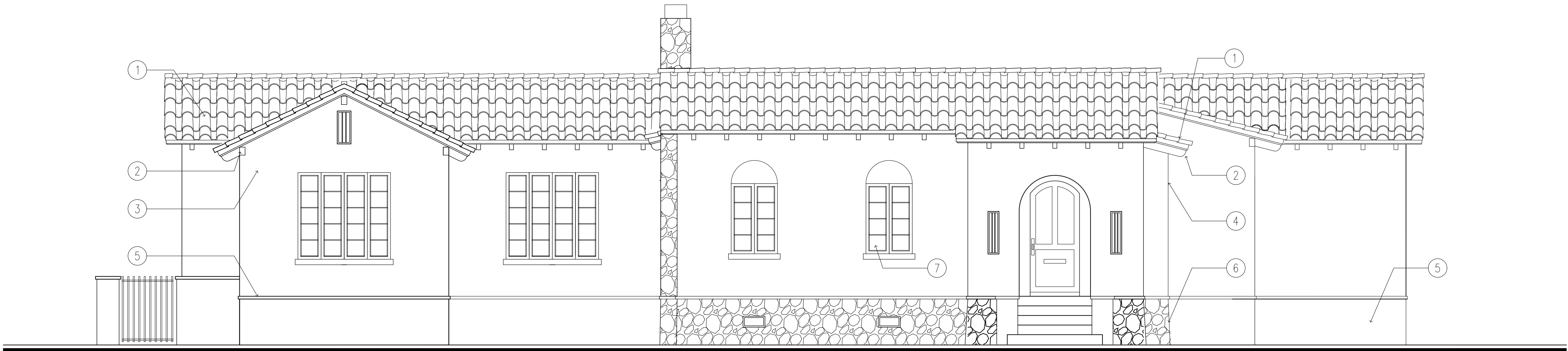
DATE: NOVEMBER 2020

CALLUM GIBB ARCHITECT P A
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53 ALCAZAR AVENUE CORAL GABLES FLORIDA 33134
TEL: 305.445.7083 AR: 16751



EXISTING FRONT ELEVATION 1/4"



FRONT ELEVATION 1/4"

DRAWING NOTES

- 1 2 PIECE CLAY BARREL TILE ROOF
- 2 PROJECTING WOOD OUTLOOKERS
- 3 SMOOTH STUCCO FINISH
- 4 EXISTING ROUGH STUCCO FINISH
- 5 THICKENED STUCCO PLINTH
- 6 STONE PLINTH
- 7 REINSTATED CASEMENT WINDOWS TO MATCH ORIGINAL PLANS
- 8 NEW FIXED WINDOWS
- 9 NEW CASEMENT WINDOWS
- 10 VENT DETAIL

DRAWING REVISIONS

THE
GOLDSTEIN RES
603 MINORCA AVE

PROJECT NO: 18-11.14

ELEVATIONS

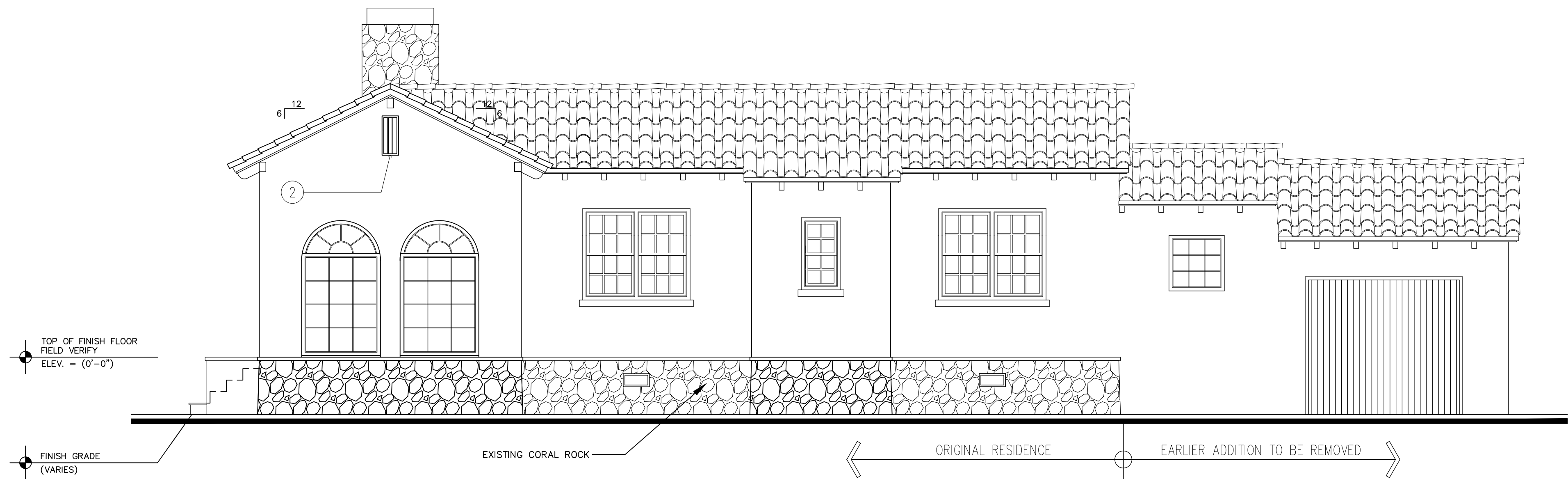
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A.3.1

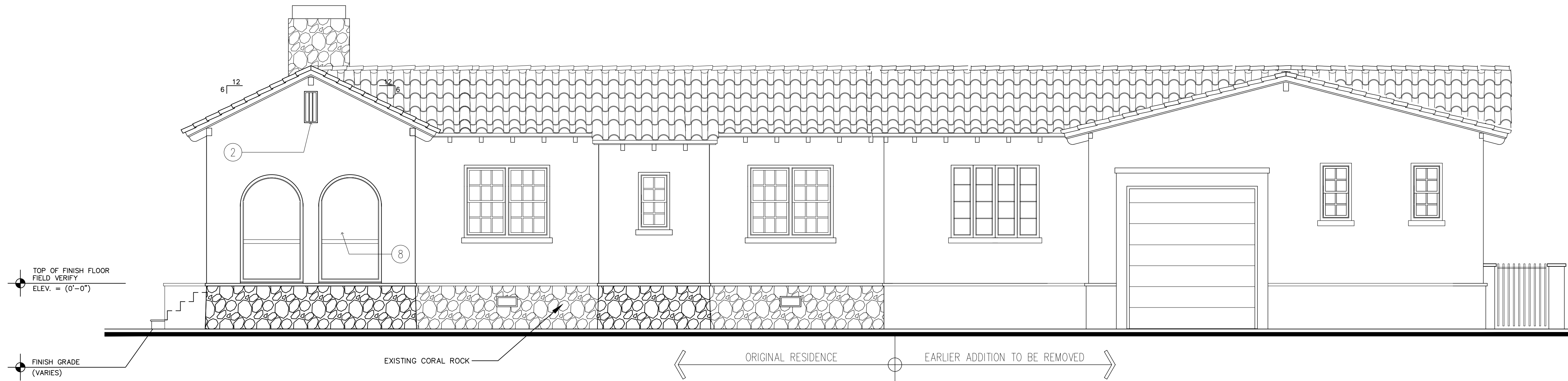
DATE: NOVEMBER 2020

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353 ALCAZAR AVENUE CORAL GABLES FLORIDA 33134
T E L : 305 - 445 - 7083 A R : 16751



WEST ELEVATION 1/4"



EXISTING WEST ELEVATION 1/4"

DRAWING NOTES

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- 10 VENT DETAIL

DRAWING REVISIONS

THE
GOLDSTEIN RES
603 MINORCA AVE

PROJECT NO: 18-11.14

ELEVATIONS

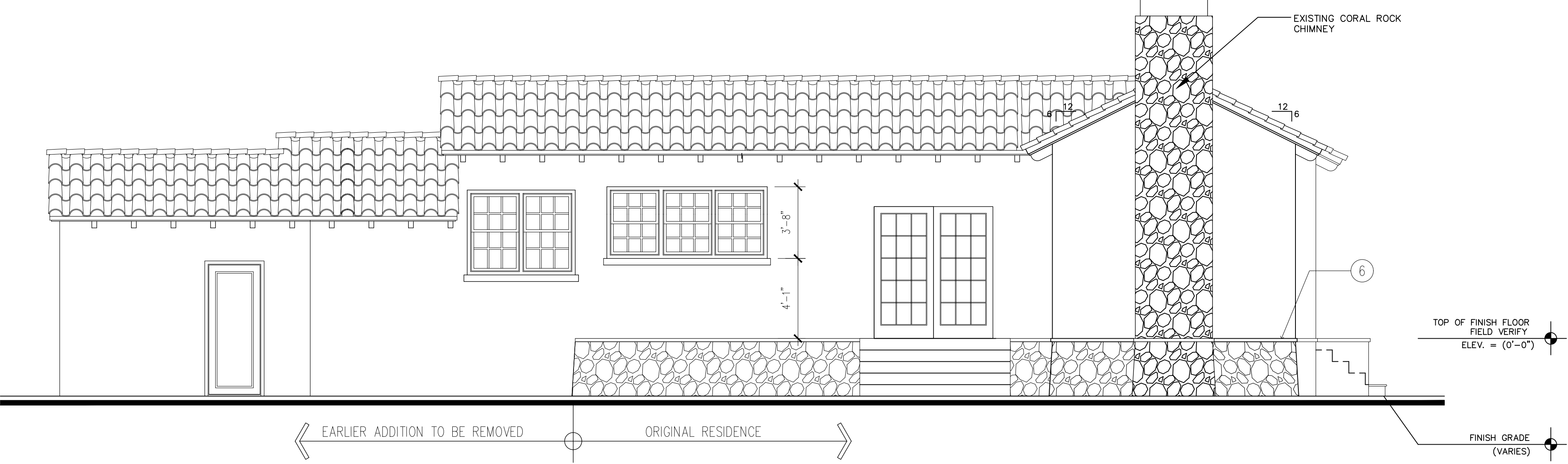
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A.3.2

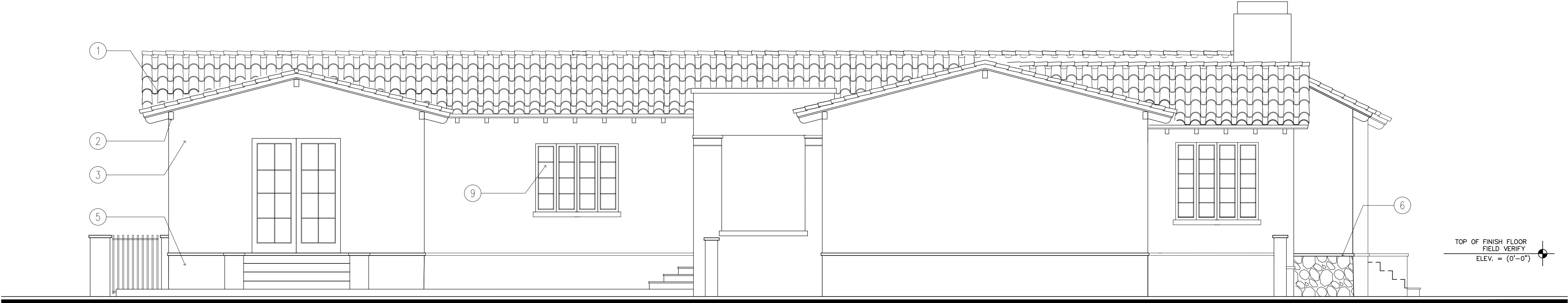
DATE: NOVEMBER 2020

CALLUM GIBB ARCHITECT P A
ARCHITECTURE • PLANNING • INTERIORS

353 ALCAZAR AVENUE CORAL GABLES FLORIDA 33134
T E L : 305 - 445 - 7083 A R : 16751



EXISTING WEST ELEVATION 1/4"



WEST ELEVATION 1/4"

DRAWING NOTES

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DRAWING REVISIONS

THE
GOLDSTEIN RES
603 MINORCA AVE

PROJECT NO: 18-11.14

ELEVATIONS

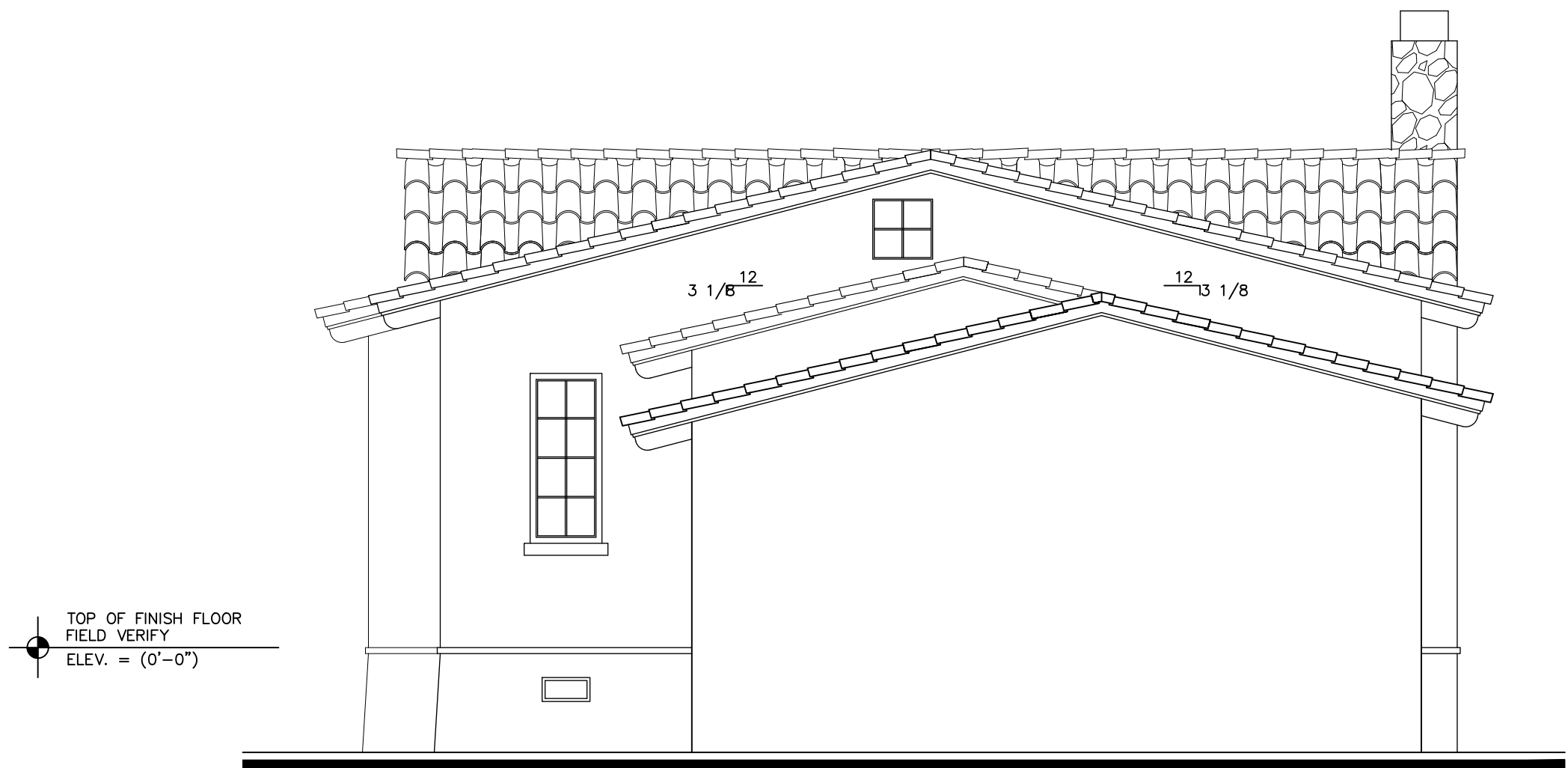
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A.3.3

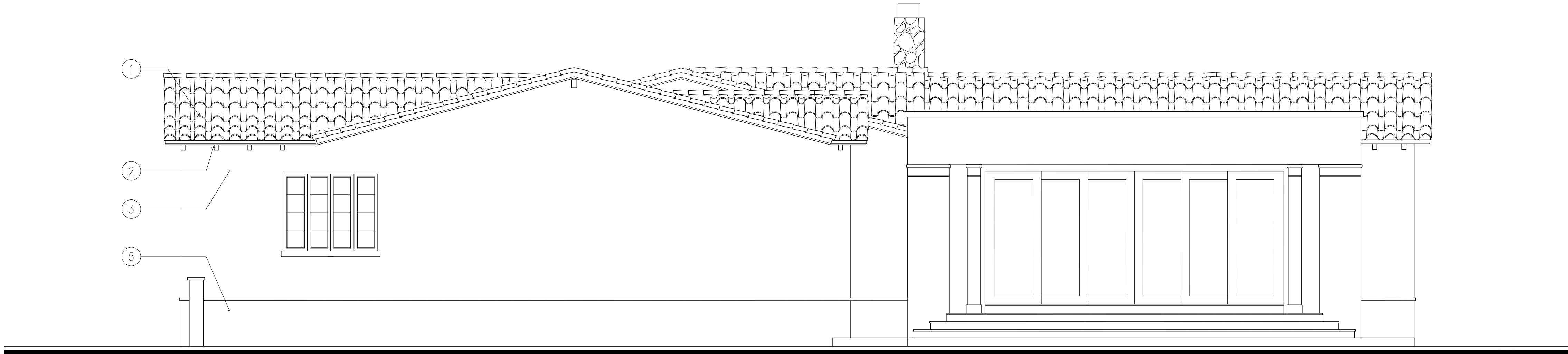
DATE: MAY 2020

CALLUM GIBB ARCHITECT P A
ARCHITECTURE • PLANNING • INTERIORS

353 ALCAZAR AVENUE CORAL GABLES FLORIDA 33134
T E L : 305 - 445 - 7083 A R : 16751



EXISTING REAR ELEVATION 1/4"



REAR ELEVATION 1/4"

DRAWING NOTES

- 1 2 PIECE CLAY BARREL TILE ROOF
- 2 PROJECTING WOOD OUTLOOKERS
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DRAWING REVISIONS

THE
GOLDSTEIN RES
603 MINORCA AVE

PROJECT NO: 18-11.14

ELEVATIONS

SCALE: 1 / 4"

A.3.4

DATE: MAY 2020

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