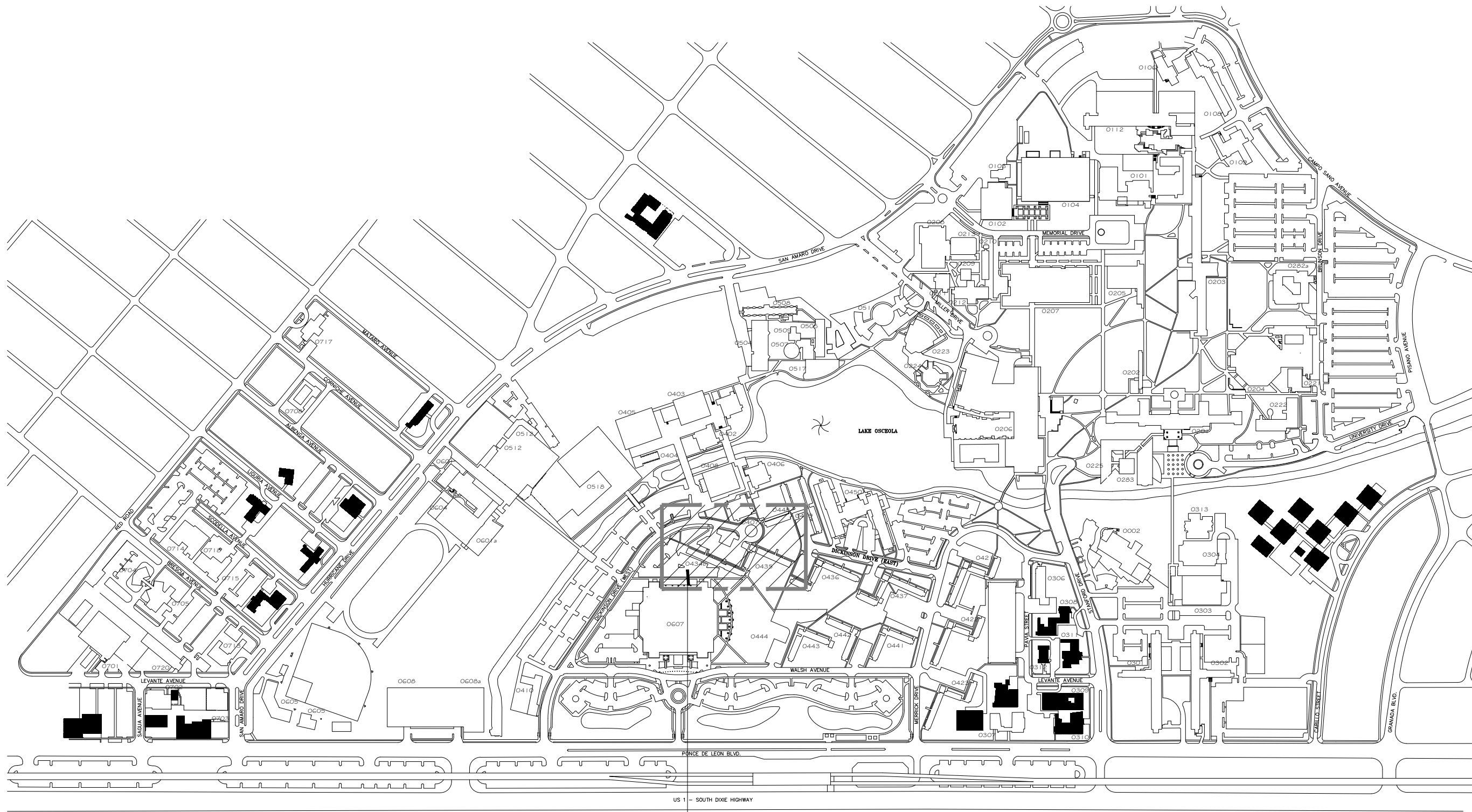
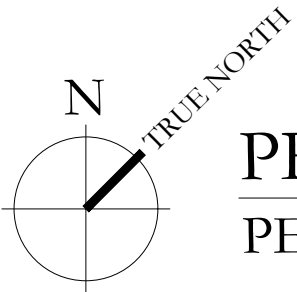
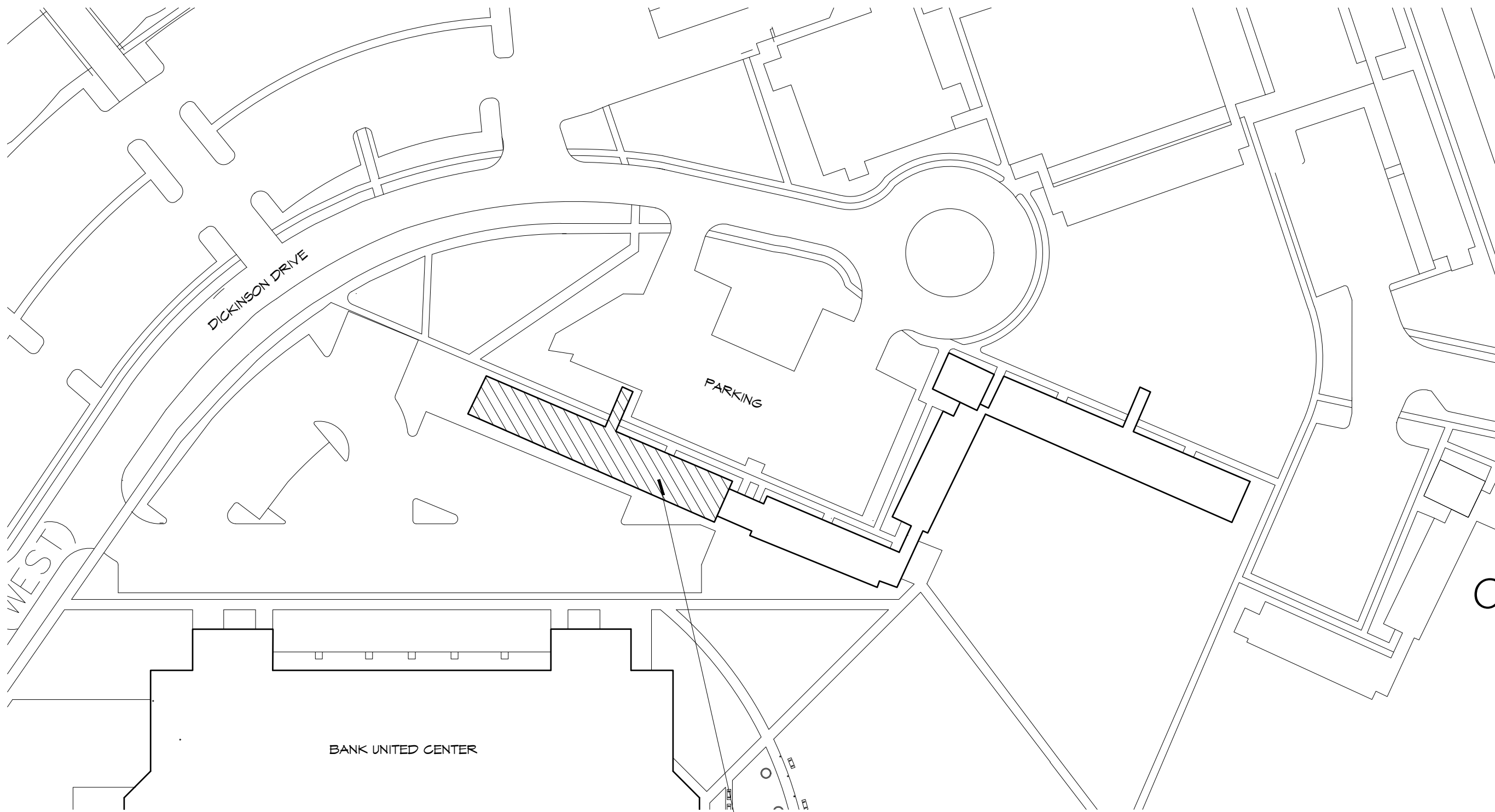


CAMPUS MAP

Project Location
Pentland House

N.T.S.



PROJECT LOCATION
PENTLAND HOUSE

Pentland House
(Building 34)

N.T.S.

RENOVATIONS TO PENTLAND HOUSE BUILDING 34

UNIVERSITY OF MIAMI

DESIGN CRITERIA: 2017 FBC - EXISTING BUILDINGS -
ALTERATIONS LEVEL 3

TOTAL BUILDING AREA - 4,348 SF. PER FLOOR
TOTAL BUILDING GROSS AREA - 13,044 SF.

BUSINESS OCCUPANCY - GROUP B

THIS BUILDING IS PROTECTED THROUGHOUT WITH AN AUTOMATIC
FIRE SPRINKLER SYSTEM

Index of Drawings

Dwg. No.	Description
A0.0	Cover Sheet
D1.0	Interior Removals
D2.0	Masonry Removals
PH1.0	Exterior Photos of Existing Building
LS1.0	Life Safety
A1.0	First Floor Plan - New Work
A2.0	Second Floor Plan - New Work
A3.0	Third Floor Plan - New Work
A4.0	Enlarged Floor Plans - New Elevator
A5.0	Exterior Elevations
A5.1	Window Details
A6.0	Door Schedules and Details
A7.0	Finish Schedules
A8.0	Sections and Details
A9.0	Sections and Details
S1.0	Structural Floor Plan - Elevator Structure
S2.0	Structural Sections and Details
S2.1	Structural Sections and Details
S3.0	Structural Details
S4.0	Structure Notes and Specifications
FP.1	Fire Protection - First and Second Floors
FP.2	Fire Protection - Third Floor and Roof
P-1	Plumbing - First Floor
P-2	Plumbing - Second Floor
P-3	Plumbing - Third Floor
P-4	Plumbing Risers
P-5	Plumbing Details and Specifications
AC-1	HVAC - First and Second Floors
AC-2	HVAC - Third Floor and Roof
AC-3	HVAC - Details and Specifications
E-1	Electrical - First Floor
E-2	Electrical - Second Floor
E-3	Electrical - Third Floor
E-4	Fire Alarm - First and Second Floors
E-5	Fire Alarm - Third Floor
E-6	Panel Schedules
E-7	Risers and Specifications

Legend

Symbols & Materials

	TRUE NORTH NORTH ARROW
	NEW MASONRY WALL
	EXISTING WALLS TO REMAIN
	NEW DRYWALL PARTITION
	NEW GLASS PARTITION
	CONCRETE COLUMN IN MASONRY WALL. SEE STRUCTURAL DWGS.
	NEW 1-HOUR FIRE RESISTIVE INTERIOR PARTITION. REFER TO PARTITION TYPES.
	NEW DOOR AND FRAME. NUMBER INDICATES DOOR NUMBER. SEE DOOR SCHEDULE.
	INDICATES PARTITION TYPES
	INDICATES WINDOW TYPES
	FIRE EXTINGUISHER/CABINET FE-B-BRACKET ONLY FE-SM-SURFACE MOUNTED CABINET FE-S-SEMI-RECESSED CABINET FE-E-EXISTING TO REMAIN
	SECTION INDICATES SECTION REFERENCE SHEET WHERE SECTION IS SHOWN
	DETAIL INDICATES DETAIL REFERENCE SHEET WHERE DETAIL IS SHOWN
	INDICATES DECK ELEVATION RELATIVE TO GROUND FIN. FL. = 0.00
	FINISH FLOOR ELEVATION
	SIGNAGE TYPE AS INDICATED ON SIGNAGE SCHEDULE
	ELEVATION ARROW SHOWS DIRECTION OF VIEW. NUMBER REFERENCES ELEVATION DESIGNATION.
	COLUMN GRID CENTER LINE
	DETAIL NUMBER

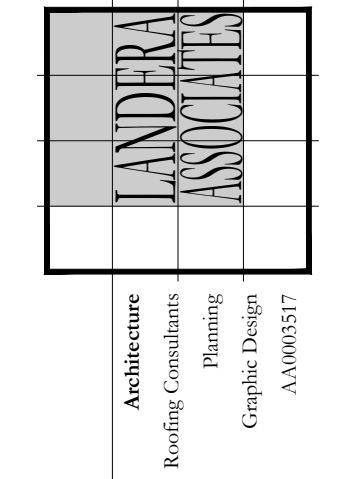
PERMIT SET

3/20/20

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Osvaldo L. Lander, A.I.A.
Florida Registration No. AR0009044

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Renovations to Pentland House (Building 34)
University of Miami
1238 Dickinson Drive
Coral Gables, Florida 33146

PROJECT NO.
LA20005

REVISIONS

	DATE 3/20/20
	DESIGN/DRAWN OLL/GBS

A0.0

Legend

- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- NEW PARTITION
- NEW MASONRY WALL

Removal Notes

- 1

DISCONNECT ELECTRICAL SERVICE. REMOVE ALL BRANCH CONDUIT, J-BOXES AND WIRING. CONDUIT AND BOXES EMBEDDED IN SLABS AND MASONRY WALLS SHALL BE LEFT IN PLACE AND PERMANENTLY CAFFED.
- 2

REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHTING FIXTURES, INCLUDING ALL ASSOCIATED WIRING AND CONDUIT.
- 3

REMOVE ALL WINDOW AND WALL AC UNITS INCLUDING ASSOCIATED ELECTRICAL CONNECTIONS, OUTLETS, WIRING AND CONDUIT, INCLUDING ALL CONDUIT RUN ALONG EXTERIOR WALLS OF THE BUILDING.
- 4

REMOVE ALL EXISTING EXTERIOR DOORS, FRAMES AND HARDWARE AND PREPARE MASONRY OPENINGS FOR INSTALLATION OF NEW DOORS AND FRAMES.
- 5

REMOVE ALL EXISTING INTERIOR DOORS, FRAMES AND HARDWARE.
- 6

REMOVE ALL EXISTING BUILT-IN CABINETRY.
- 7

REMOVE ALL EXISTING INTERIOR PARTITIONS, ENTIRELY, INCLUDING ALL FRAMING AND FASTENERS.
- 8

REMOVE ALL EXISTING PLUMBING FIXTURES, ENTIRELY, INCLUDING WATER LINES, MASTER AND VENT PIPING UP TO VERTICAL STACKS. NOTE: ASSURE WATER SERVICE IS SHUT OFF PRIOR TO REMOVALS.
- 9

REMOVE ALL APPLIED CEILING AND FURRINGS.
- 10

REMOVE ALL EXISTING GYPSUM WALLBOARD/PLASTER AND FURRING, INCLUDING INSULATION, IF ANY, AT ALL MASONRY WALLS, THROUGHOUT. (EXISTING PLASTER/STUCCO APPLIED DIRECTLY TO MASONRY SHALL REMAIN.)
- 11

REMOVE ALL EXISTING FLOOR FINISHES, ENTIRELY. PREP CONCRETE FLOOR SURFACES TO RECEIVE NEW FLOOR FINISHES.
- 12

REMOVE EXISTING (ABANDONED) HOT WATER HEATING PIPING EXTENDING FROM OLD BOILER ROOM AND THROUGHOUT THE BUILDING, INCLUDING AT VERTICAL CHASE AT WEST END OF BUILDING AND ALL PIPING EXPOSED ALONG EXTERIOR WALLS.
- 13

REMOVE ALL EXISTING FIRE ALARM COMPONENTS, INCLUDING CONDUIT AND WIRING TO EXISTING FA PANEL. REMOVE FA PANEL.
- 14

REMOVE ALL EXISTING WINDOWS ENTIRELY, INCLUDING ATTACHMENTS. PREPARE EXISTING OPENINGS TO RECEIVE NEW WINDOWS.

Existing Building Components to Remain

- A.

ALL EXISTING FIRE PROTECTION COMPONENTS ARE TO REMAIN. PROTECT EXISTING PIPING, VALVES AND SPRINKLER HEADS DURING REMOVAL WORK.
- B.

ALL EXISTING RAILINGS THROUGHOUT THE BUILDING ARE TO REMAIN. EXERCISE CAUTION TO AVOID AND DAMAGE TO EXISTING RAILINGS DURING REMOVAL WORK.
- C.

EXISTING TELECOM, DATA AND AUDIO-VISUAL COMPONENTS AND WIRING WILL BE REMOVED BY THE UNIVERSITY'S IT DEPARTMENT, AFTER REMOVAL OF WIRING AND COMPONENTS, THE CONTRACTOR SHALL REMOVE ANY AND ALL EMPTY CONDUIT LEFT BEHIND.

General Removal Notes

1.

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING THEIR BID PRICING. ANY DISCREPANCIES ENCOUNTERED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER FOR RESOLUTION.
2.

CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS FROM THE CITY OF CORAL GABLES AND OTHER APPLICABLE PERMITTING AGENCIES.
3.

CONTRACTOR SHALL COORDINATE WITH UM PROJECT MANAGER FOR ANY REMOVED ITEMS TO BE SALVAGED AND SHALL DELIVER ANY SUCH SALVAGED ITEMS TO A LOCATION DESIGNATED BY THE PROJECT MANAGER.
4.

ALL DEBRIS AND REMOVED MATERIAL SHALL BE DISPOSED OF IN A LEGAL MANNER.
5.

CONTRACTOR SHALL SECURE ALL AREAS OF WORK AND SHALL ADHERE TO ALL OSHA AND UNIVERSITY RULES AND POLICIES FOR WORK SITE SAFETY.

S

E

A

L

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Planning

Graphic Design

A3000357

Demolition Floor Plans

Renovations to Pentland House (Building 34)

UNIVERSITY OF

Miami

University of Miami

1238 Dickinson Drive

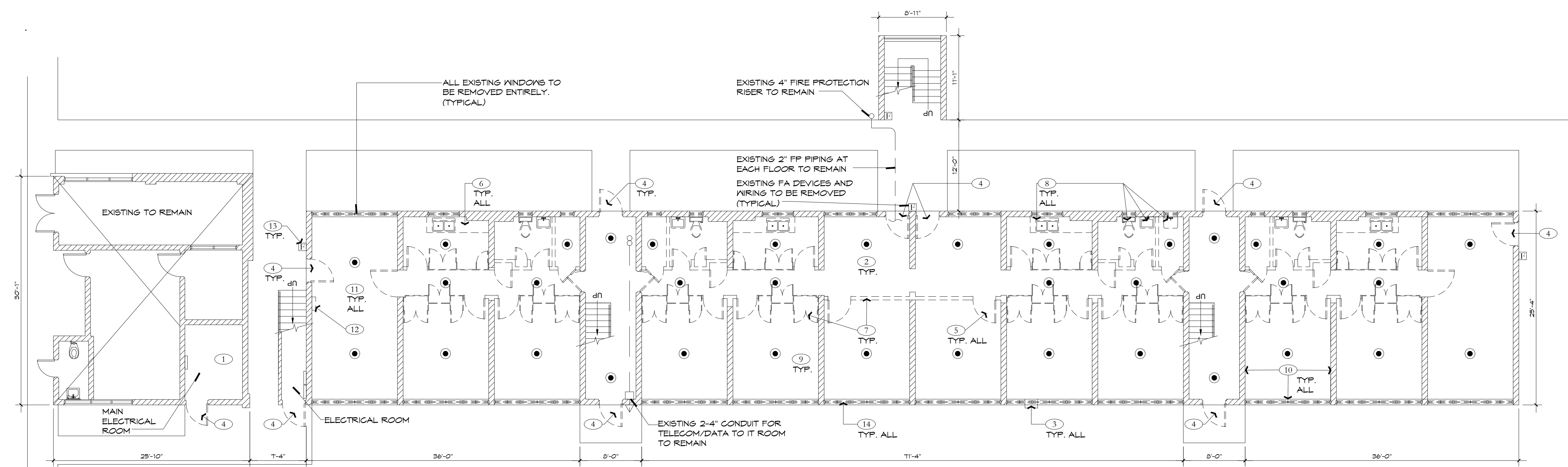
Coral Gables, Florida 33146

PROJECT NO.
LA20005

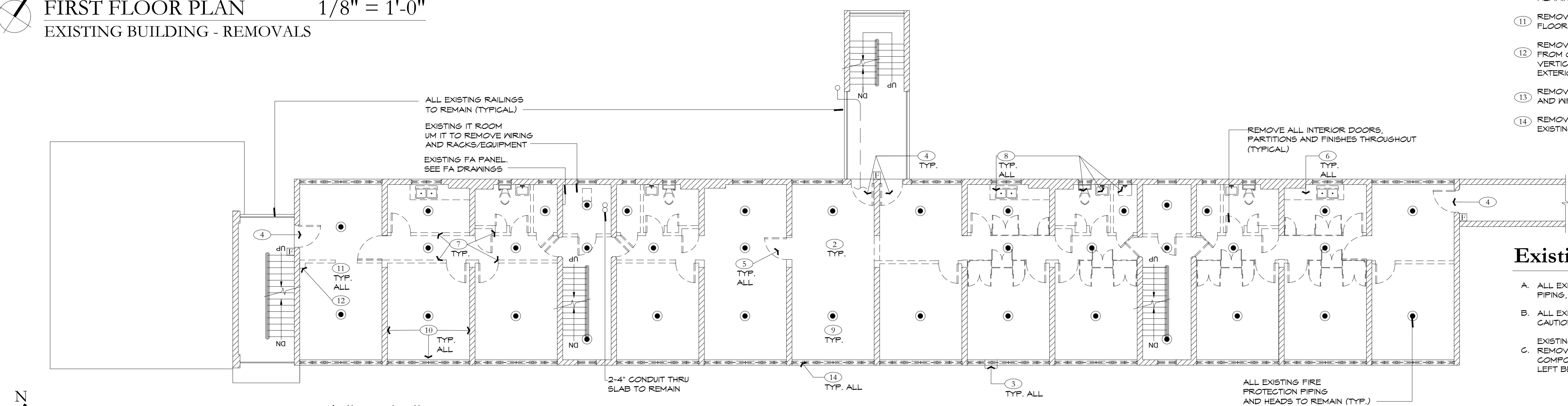
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	DESIGN DRAWN OLL GBS

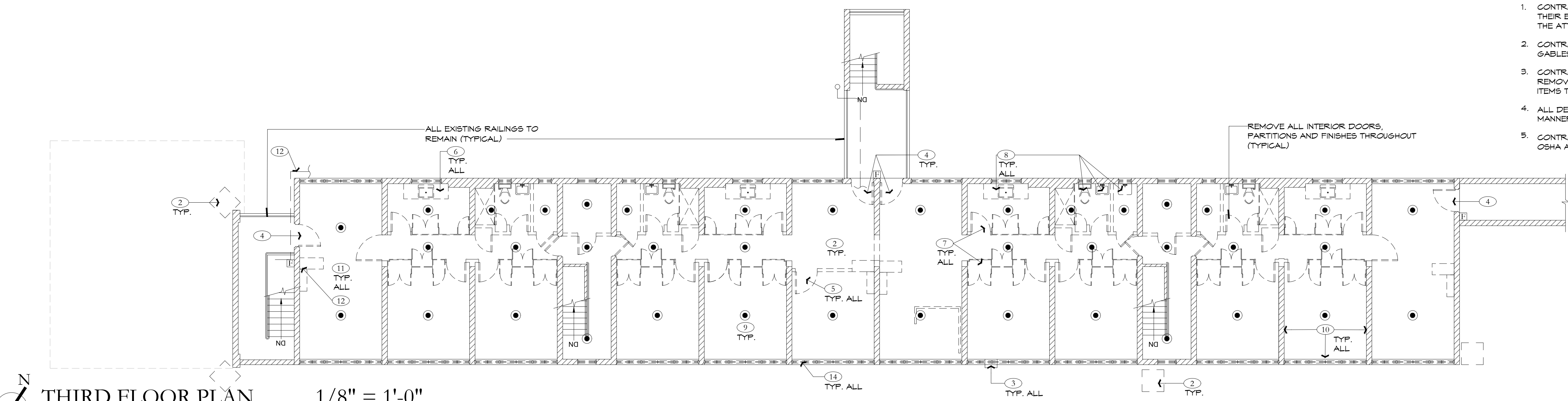
D1.0



FIRST FLOOR PLAN 1/8" = 1'-0"
EXISTING BUILDING - REMOVALS



SECOND FLOOR PLAN 1/8" = 1'-0"
EXISTING BUILDING - REMOVALS



THIRD FLOOR PLAN 1/8" = 1'-0"
EXISTING BUILDING - REMOVALS



PENTLAND HOUSE - SOUTH

REMOVE ALL EXISTING SURFACE MOUNTED
CONDUIT AND PIPING AT EXTERIOR WALLS



PENTLAND HOUSE - SOUTH

REMOVE EXISTING WINDOWS ENTIRELY INCLUDING
ALL WALL/WINDOW WALL UNITS (TYPICAL)

EXISTING STAIR TOWER



PENTLAND HOUSE - NORTH

PHOTOGRAPHS OF EXISTING BUILDING

LOCATION OF NEW ELEVATOR TOWER
AND CONNECTING WALKWAY ADJACENT
TO EXISTING STAIR TOWER



EXISTING
STAIR TOWER

PENTLAND HOUSE - NORTH STAIR

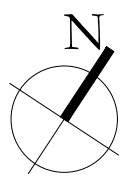
REMOVE EXISTING WINDOWS, ENTIRELY
AND PREPARE OPENINGS FOR NEW
WINDOWS

REMOVE ALL AC WALL/WINDOW
UNITS (TYPICAL)

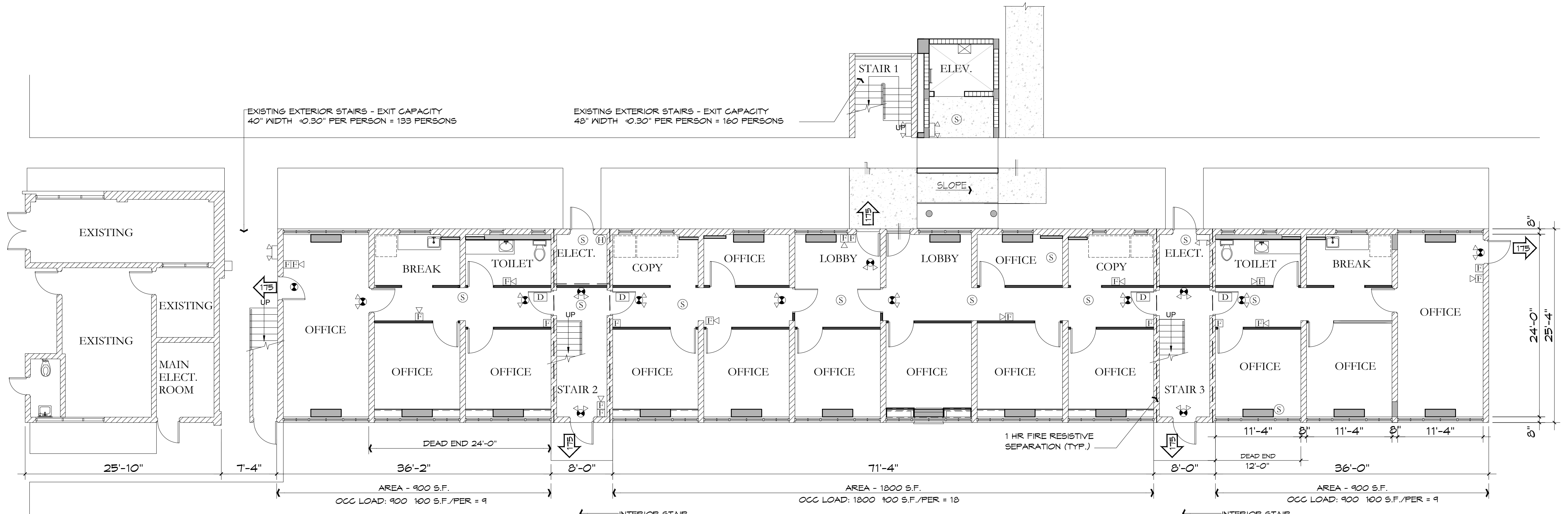
REMOVE ALL EXISTING SURFACE
MOUNTED CONDUIT AND PIPING
AT EXTERIOR WALLS



PENTLAND HOUSE - TYPICAL EXISTING WINDOW

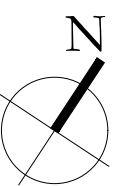


LIFE SAFETY PLAN 1/8" = 1'-0"
PENTLAND HOUSE - FIRST FLOOR

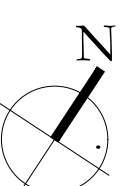
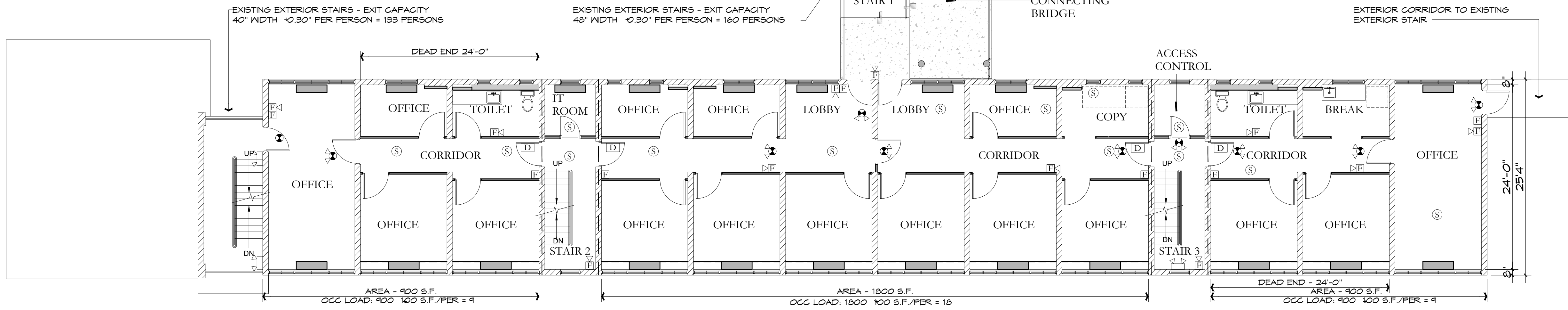


LIFE SAFETY LEGEND

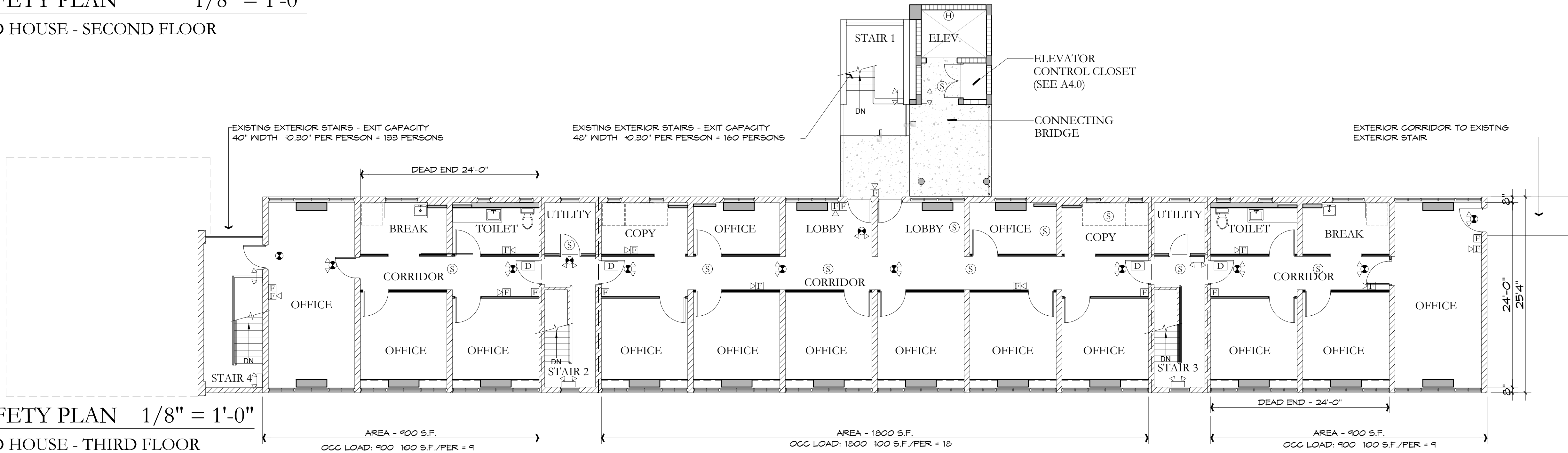
- EXIT LIGHT/ SIGN
- SMOKE DETECTOR
- EXIT CAPACITY
- FIRE ALARM PULL STATION
- FIRE ALARM HORN/STROBE
- MAGNETIC DOOR HOLDER TIED TO FA SYSTEM
- HEAT DETECTOR
- EXIT/EMERGENCY LIGHT
- EMERGENCY LIGHT



LIFE SAFETY PLAN 1/8" = 1'-0"
PENTLAND HOUSE - SECOND FLOOR



LIFE SAFETY PLAN 1/8" = 1'-0"
PENTLAND HOUSE - THIRD FLOOR



2017 FBC EXISTING BUILDINGS
ALTERATIONS LEVEL 3

Business Occupancy - Group B
Single Tenant

NFPA 101 Chapter 38
New Business Occupancy

Building is Protected Throughout with an
Automatic Fire Sprinkler System

OCCUPANT LOAD:

FIRST FLOOR: 36 PERSONS
SECOND FLOOR: 36 PERSONS
THIRD FLOOR: 36 PERSONS
TOTAL BUILDING OCCUPANT LOAD = 108 PERSONS

EXIT CAPACITY PROVIDED:

GROUND FLOOR: 525 PERSONS
SECOND AND THIRD FLOORS - STAIRS: 266 PERSONS

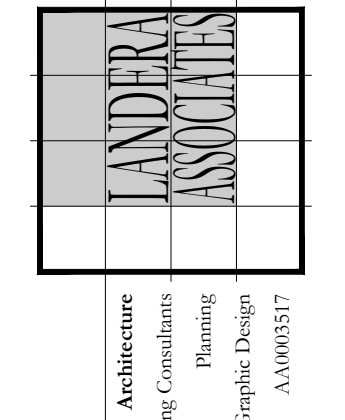
TRAVEL DISTANCE:

MAX ALLOWED (SPRINKLED): 300 FT.
MAX PROVIDED: 40 FT TO EXIT.
MAX DEAD END: 24 FT

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Demolition Floor Plans

Renovations to Pentland House (Building 34)



University of Miami
1238 Dickinson Drive
Coral Gables, Florida 33146

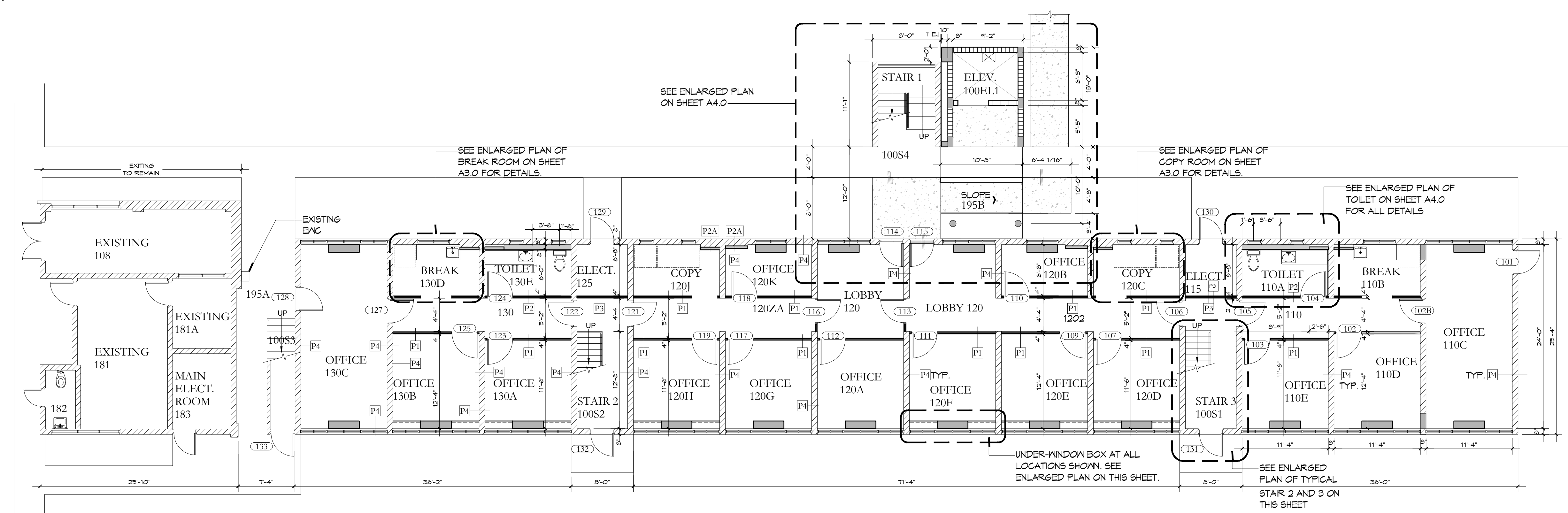
PROJECT NO.
LA20005

REVISIONS

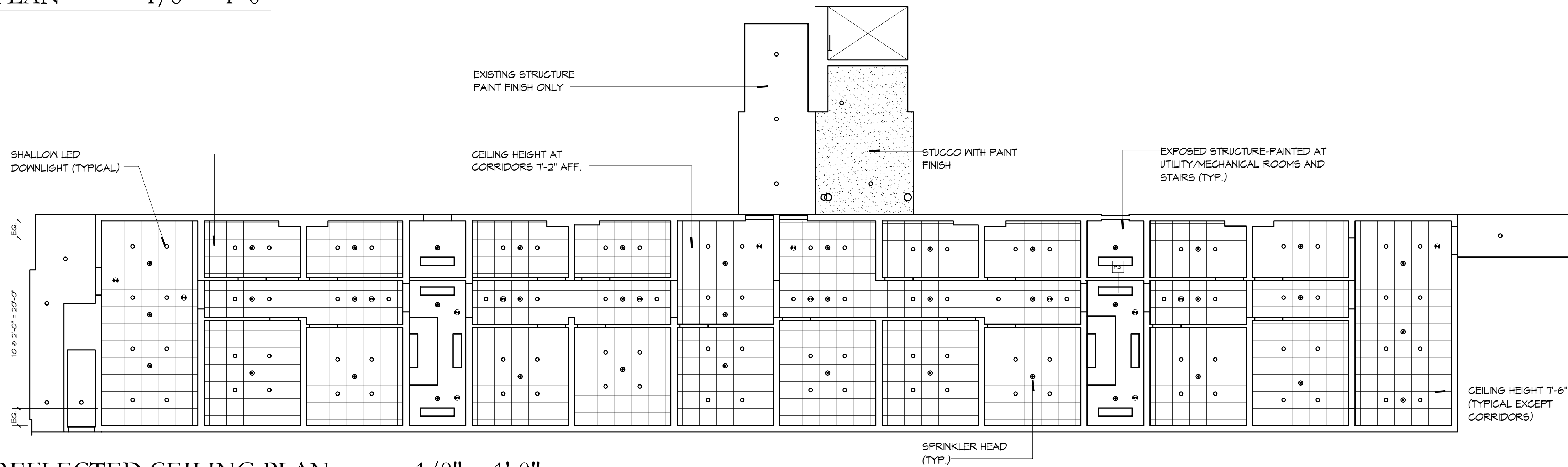
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	DESIGN DRAWN OLL GBS

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5 OF 15



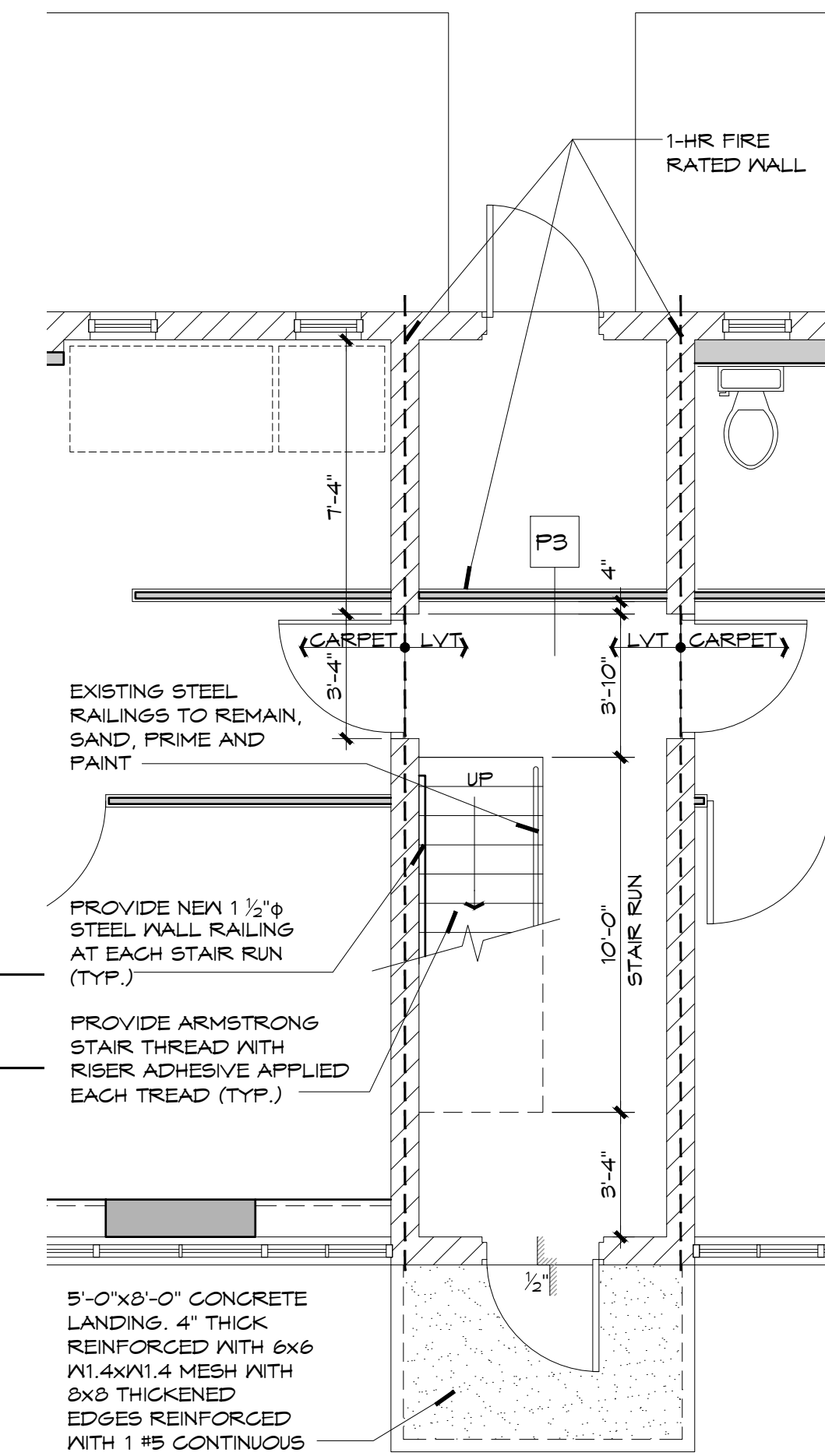
FIRST FLOOR PLAN 1/8" = 1'-0"



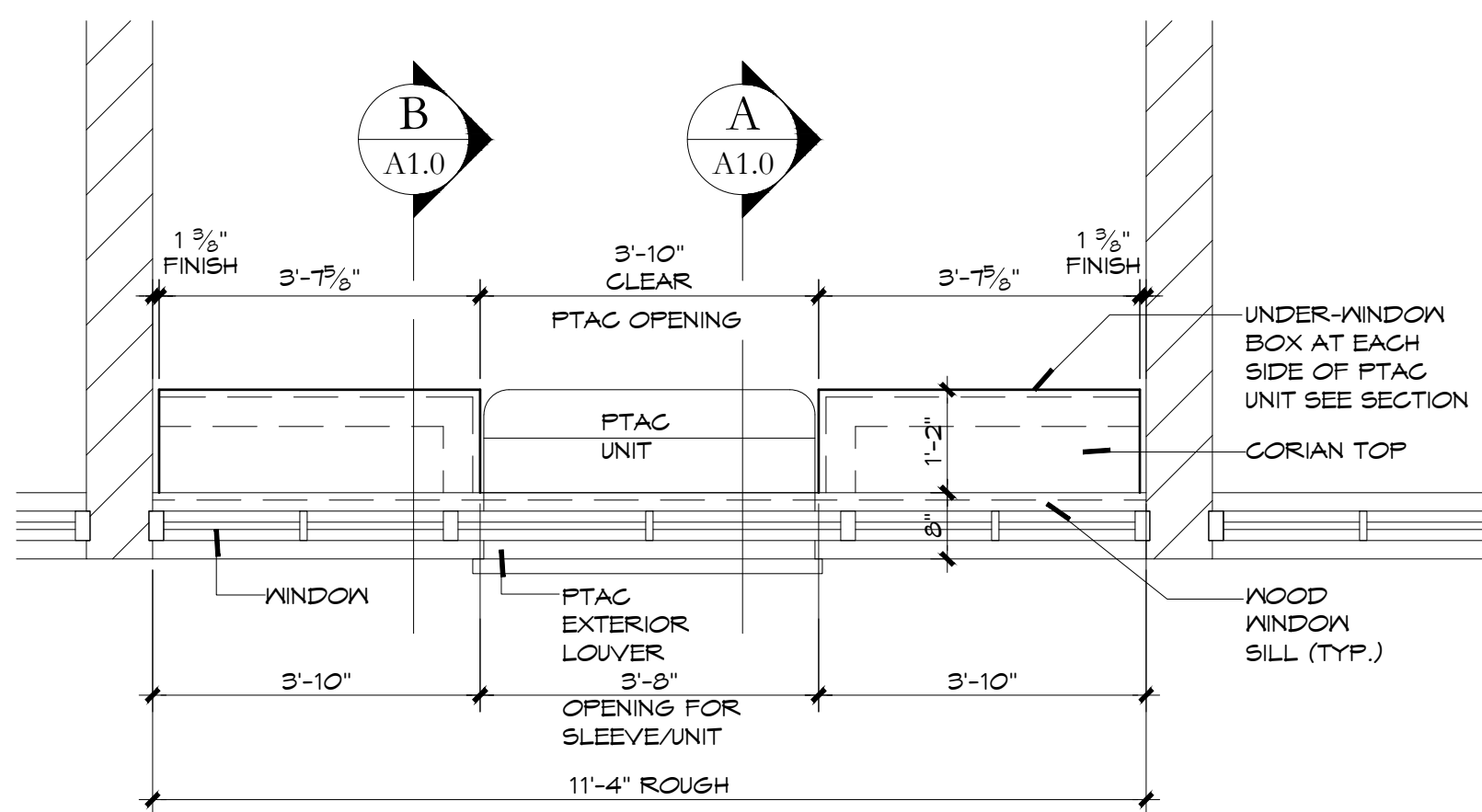
FIRST FLOOR REFLECTED CEILING PLAN 1/8" = 1'-0"

GENERAL NOTES

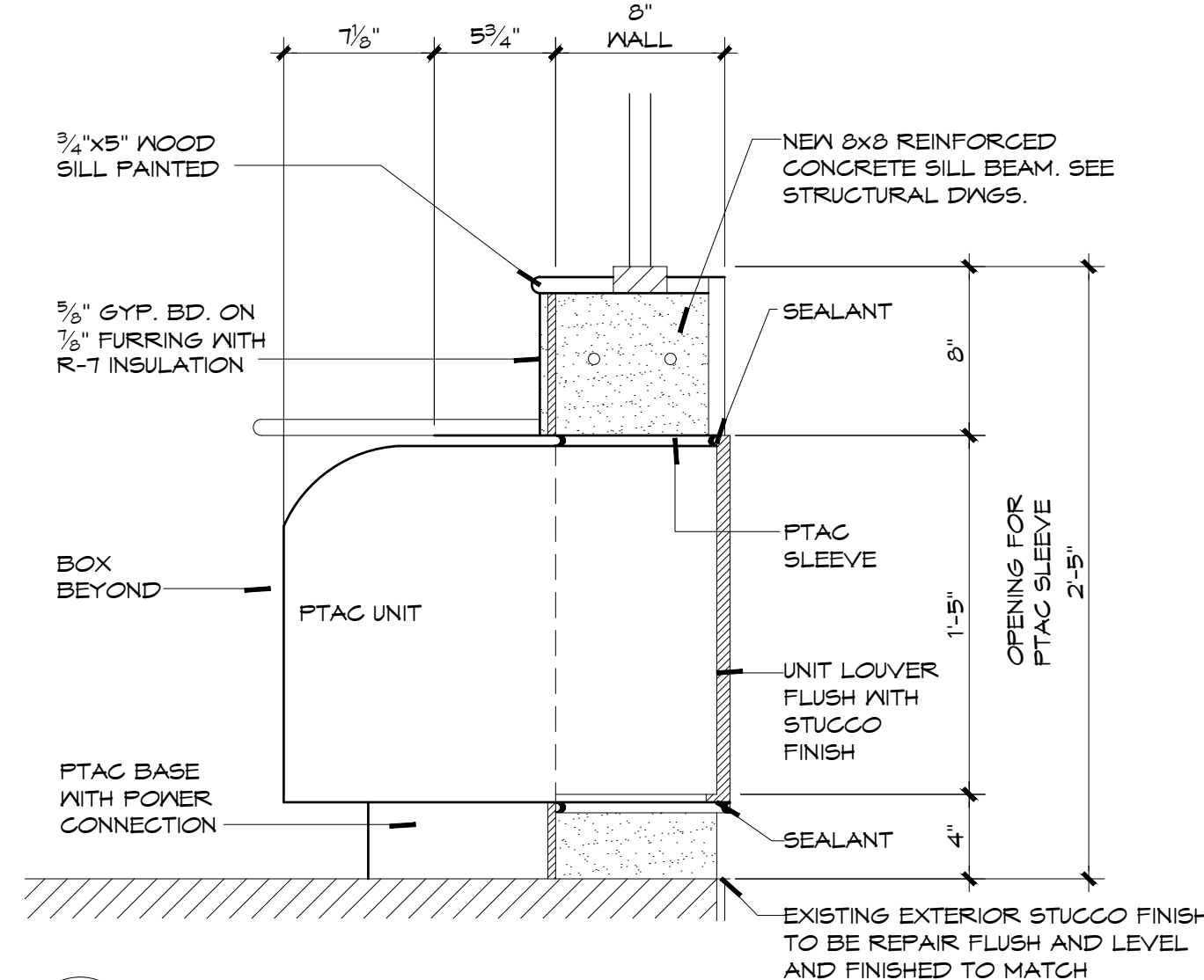
- 1. SEE FINISH SCHEDULE AND PARTITION TYPES ON SHEET A1.0.
- 2. ALL MASONRY WALLS EXCEPT INTERIOR OF STAIRS 2 AND 3 RECEIVE PARTITION TYPE P4
- 3. WINDOW TYPES ARE SHOWN ON SHEET A5.0 AND A5.1.
- 4. SEE DOOR SCHEDULE ON SHEET A6.0.
- 5. ALL DOOR FRAMES SHALL BE SET 3" FROM ADJACENT PERPENDICULAR WALLS UNLESS OTHERWISE NOTED.
- 6. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD AND RESOLVE AND DISCREPANCIES WITH A/E BEFORE PROGRESSING WITH WORK.



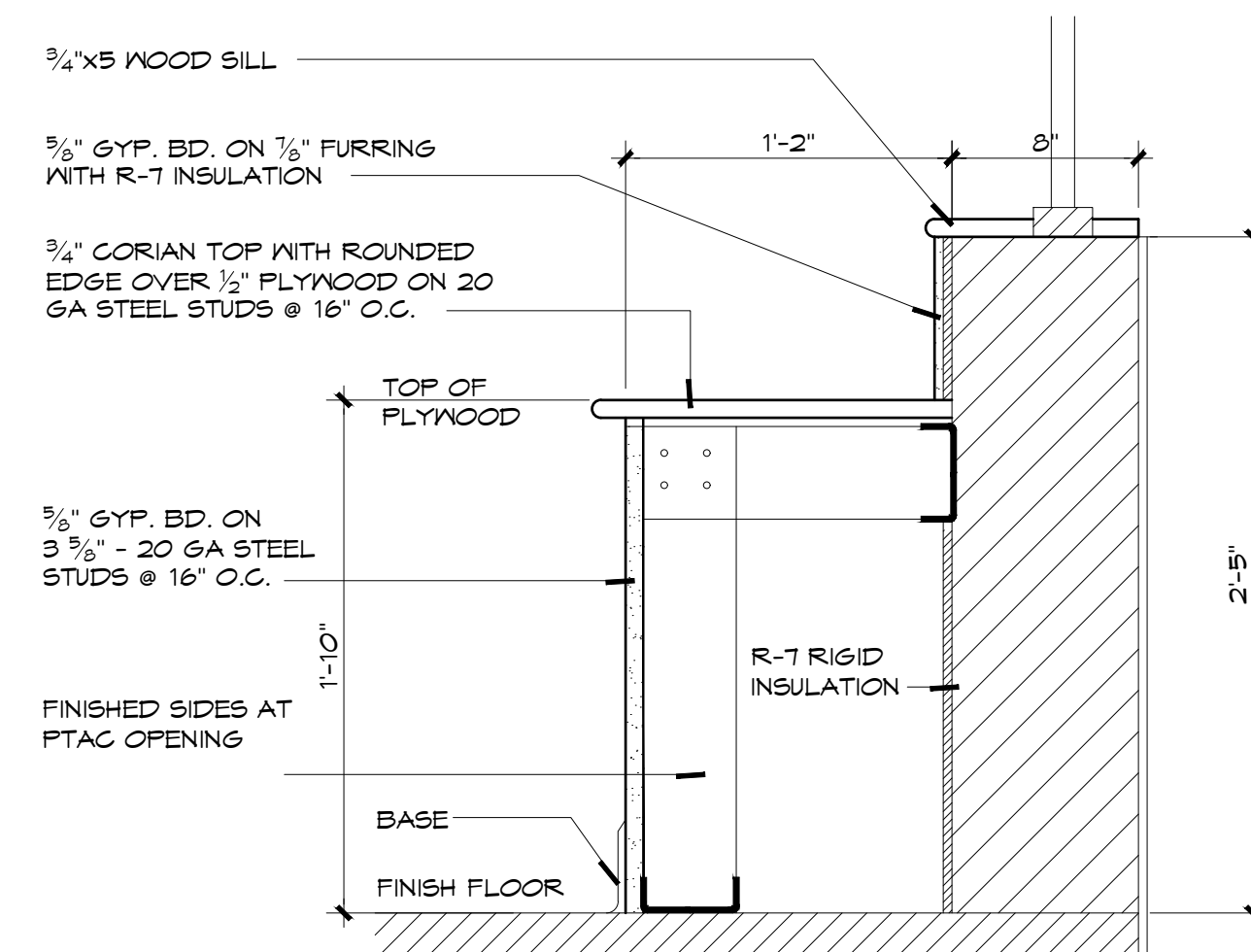
ENLARGED PLAN 1/4" = 1'-0"
TYPICAL INTERIOR STAIR 2 AND 3



ENLARGED PLAN 1/2" = 1'-0"
UNDER-WINDOW BOX / PTAC UNIT INSTALL



SECTION A 1 1/2" = 1'-0"

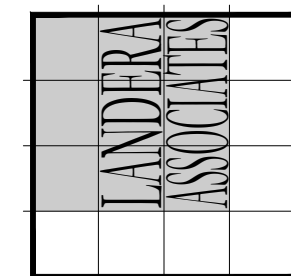


SECTION B 1 1/2" = 1'-0"

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Floor Plans

Renovations to Pentland House (Building 34)



University of Miami
1238 Dickinson Drive
Coral Gables, Florida 33146

PROJECT NO.
LA20005

REVISIONS

NO.	DESCRIPTION

	DATE 3/20/20
	DESIGN OLL
	DRAWN GBS

A1.0

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- Osvaldo L. Landera, A.I.A.
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Architecture
Planning
Graphic Design
AA0003517

Floor Plans

Renovations to Pentland House (Building 34)

UNIVERSITY OF
Miami

University of Miami
1238 Dickinson Drive
Coral Gables, Florida 33146

PROJECT NO.
LA20005

REVISIONS

DATE	
3/20/20	
DESIGN	DRAWN
OLL	GBS

A2.0

7 OF 15



GENERAL NOTES

1. SEE FINISH SCHEDULE AND PARTITION TYPES ON SHEET A7.0.
2. ALL MASONRY WALLS EXCEPT INTERIOR OF STAIRS 2 AND 3 RECEIVE PARTITION TYPE P4
3. WINDOW TYPES ARE SHOWN ON SHEET A5.0 AND A5.1.
4. SEE DOOR SCHEDULE ON SHEET A6.0.
5. ALL DOOR FRAMES SHALL BE SET 3" FROM ADJACENT PERPENDICULAR WALLS UNLESS OTHERWISE NOTED.
6. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD AND RESOLVE AND DISCREPANCIES WITH A/E BEFORE PROGRESSING WITH WORK.

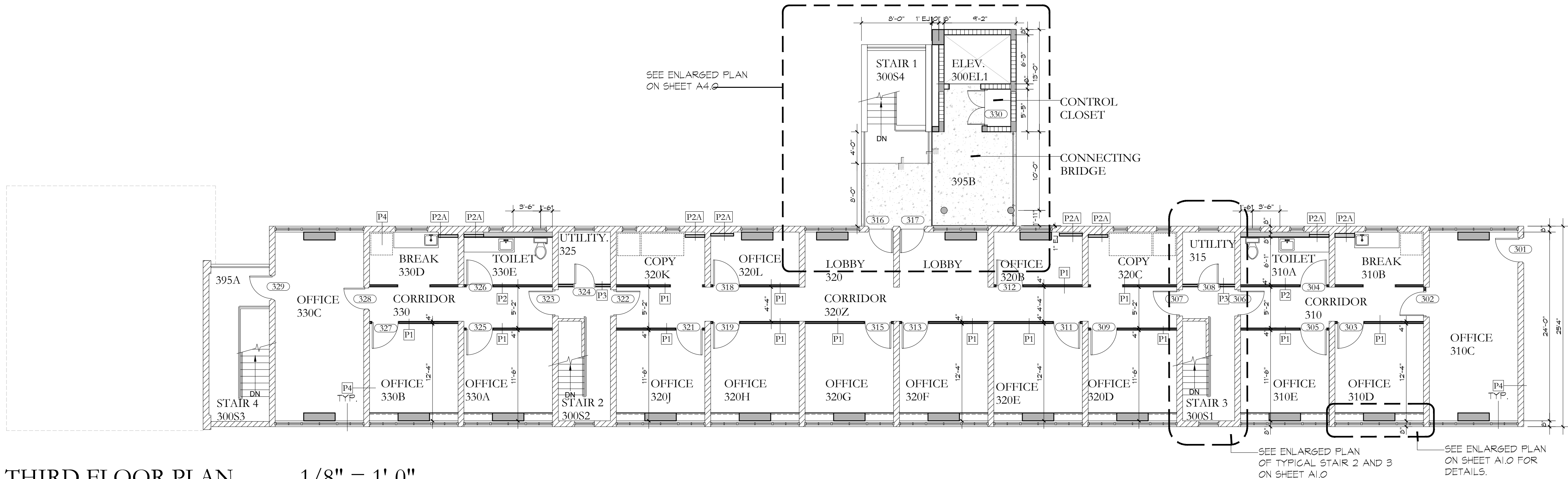
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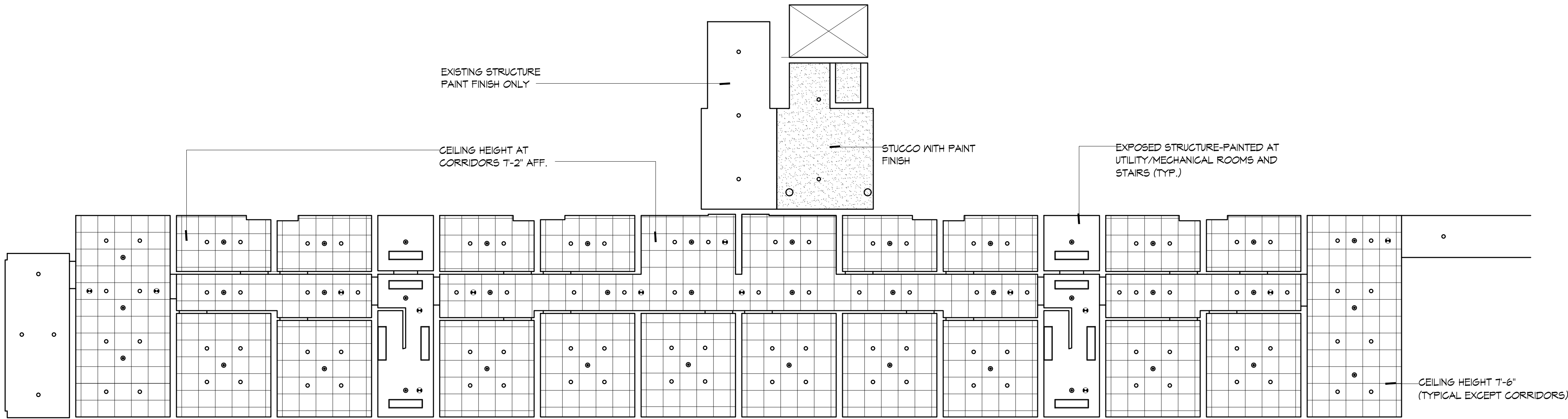
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LANDERA ASSOCIATES

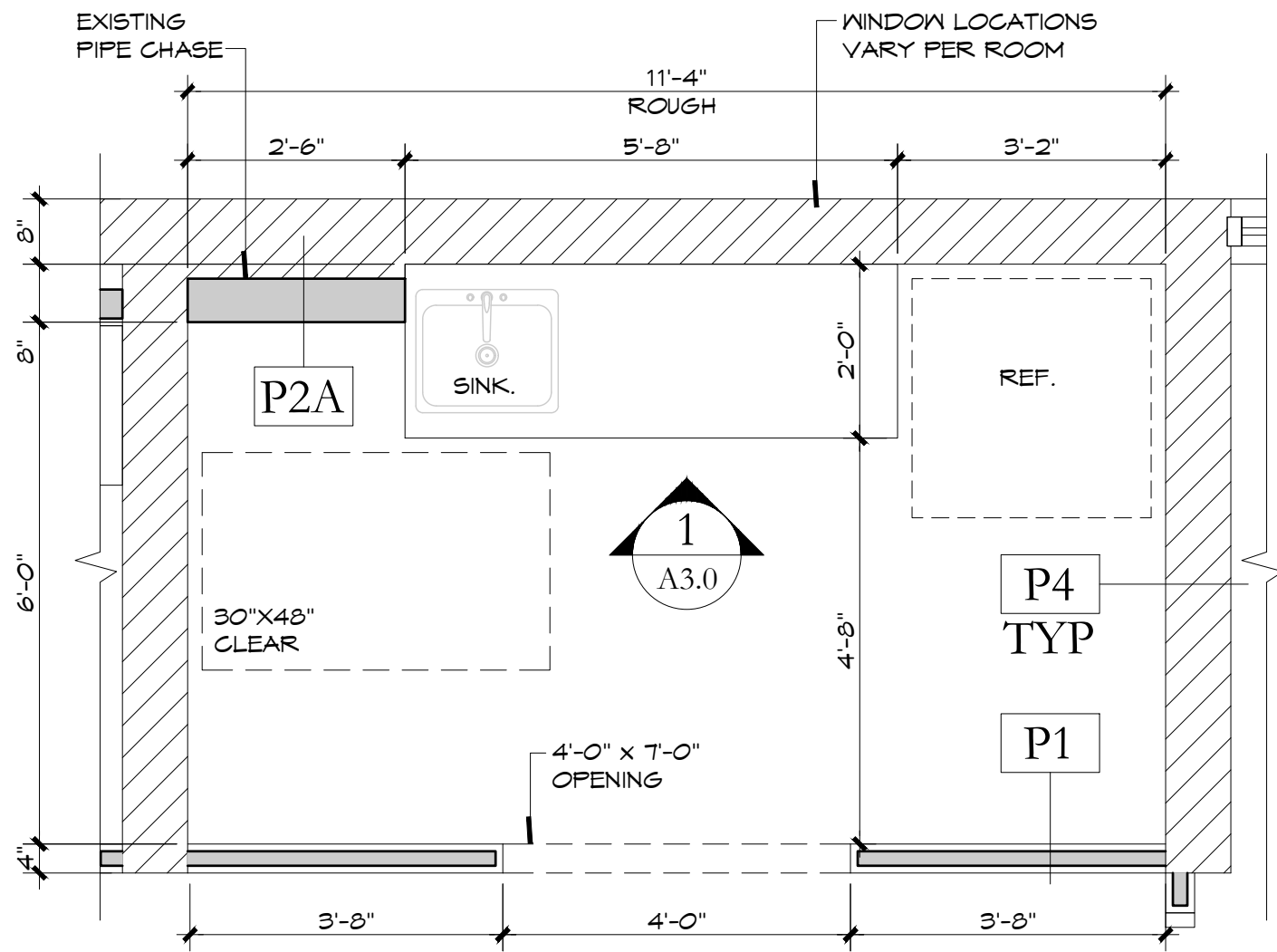
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Roofing Consultants
Planning
Graphic Design
A1000557



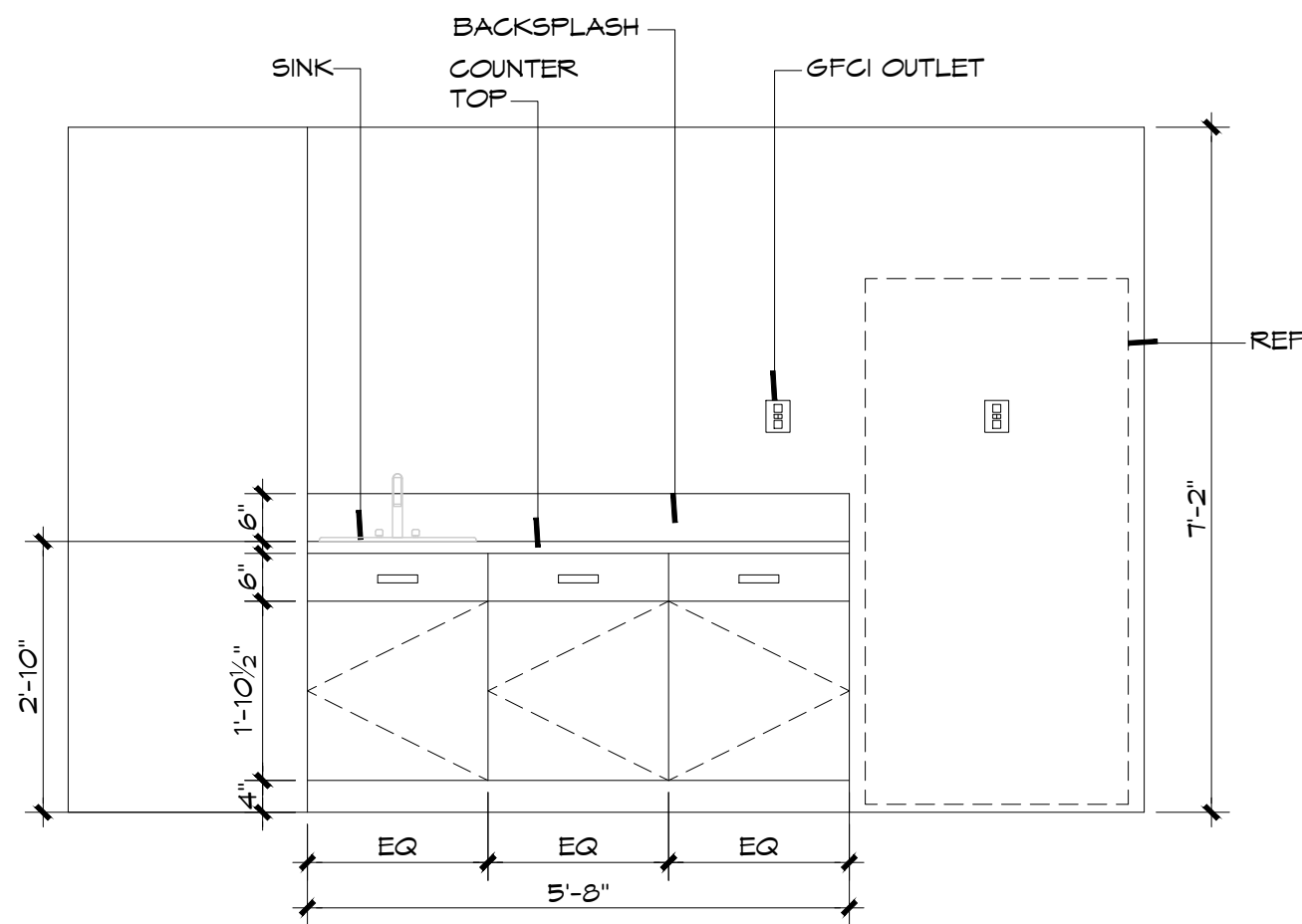
THIRD FLOOR PLAN 1/8" = 1'-0"



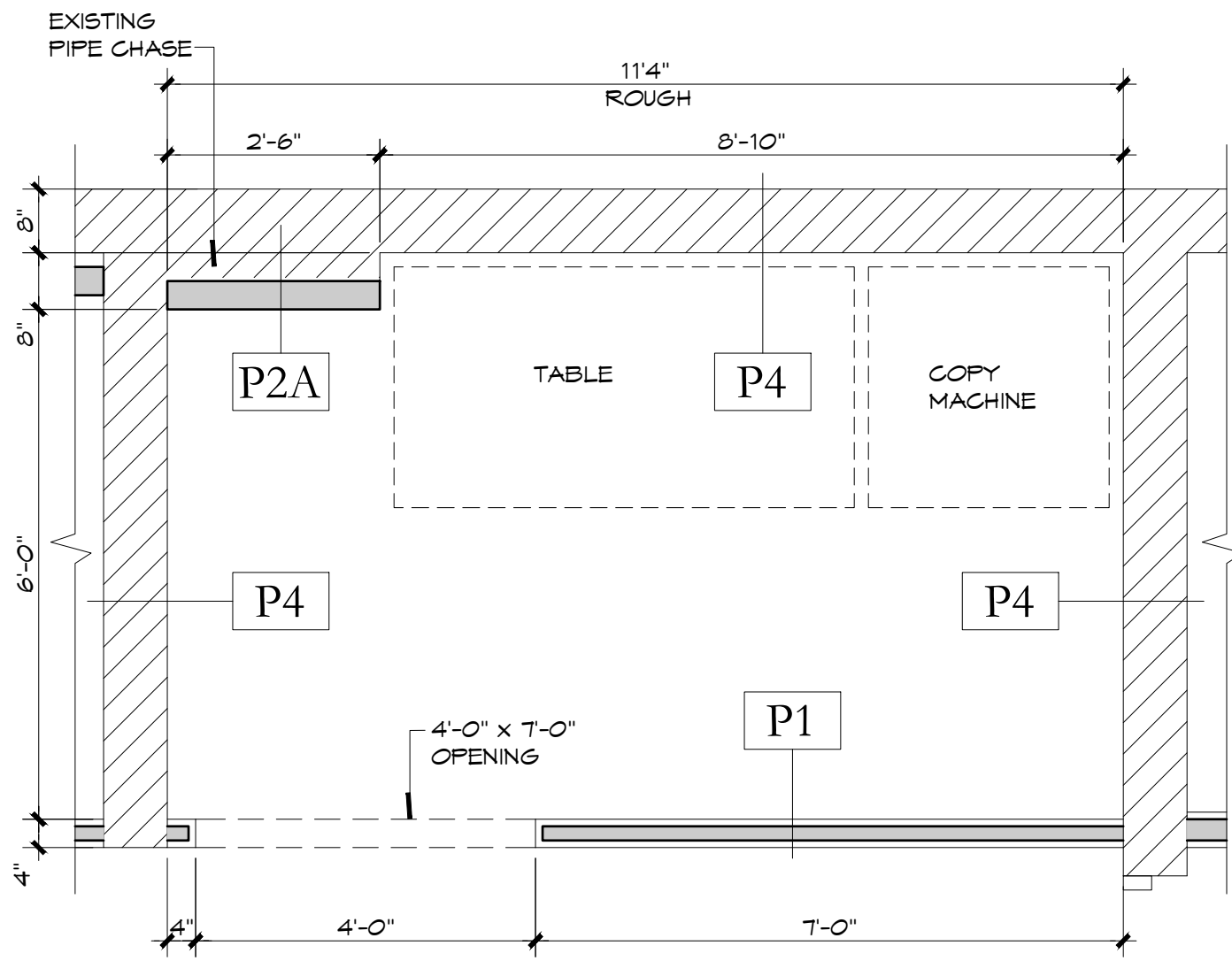
THIRD FLOOR REFLECTED CEILING PLAN 1/8" = 1'-0"



ENLARGED PLAN 1/2" = 1'-0"
TYPICAL BREAK ROOM (OPPOSITE HAND - SOME LOCATIONS)



1/2" = 1'-0"
ELEVATION



ENLARGED PLAN 1/2" = 1'-0"
TYPICAL COPY ROOM (OPPOSITE HAND - SOME LOCATIONS)

Floor Plans

Renovations to Pentland House (Building 34)

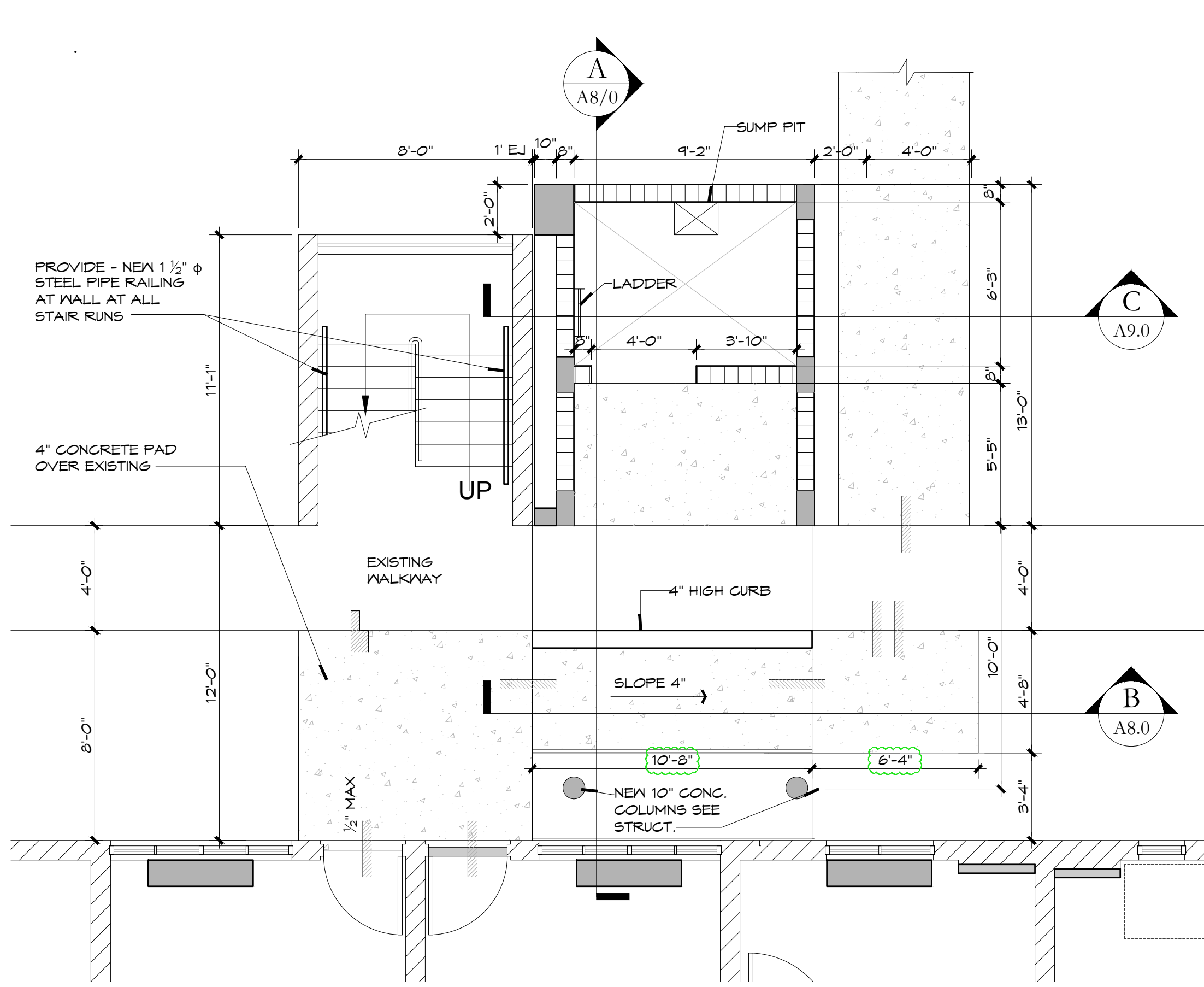
UNIVERSITY of Miami

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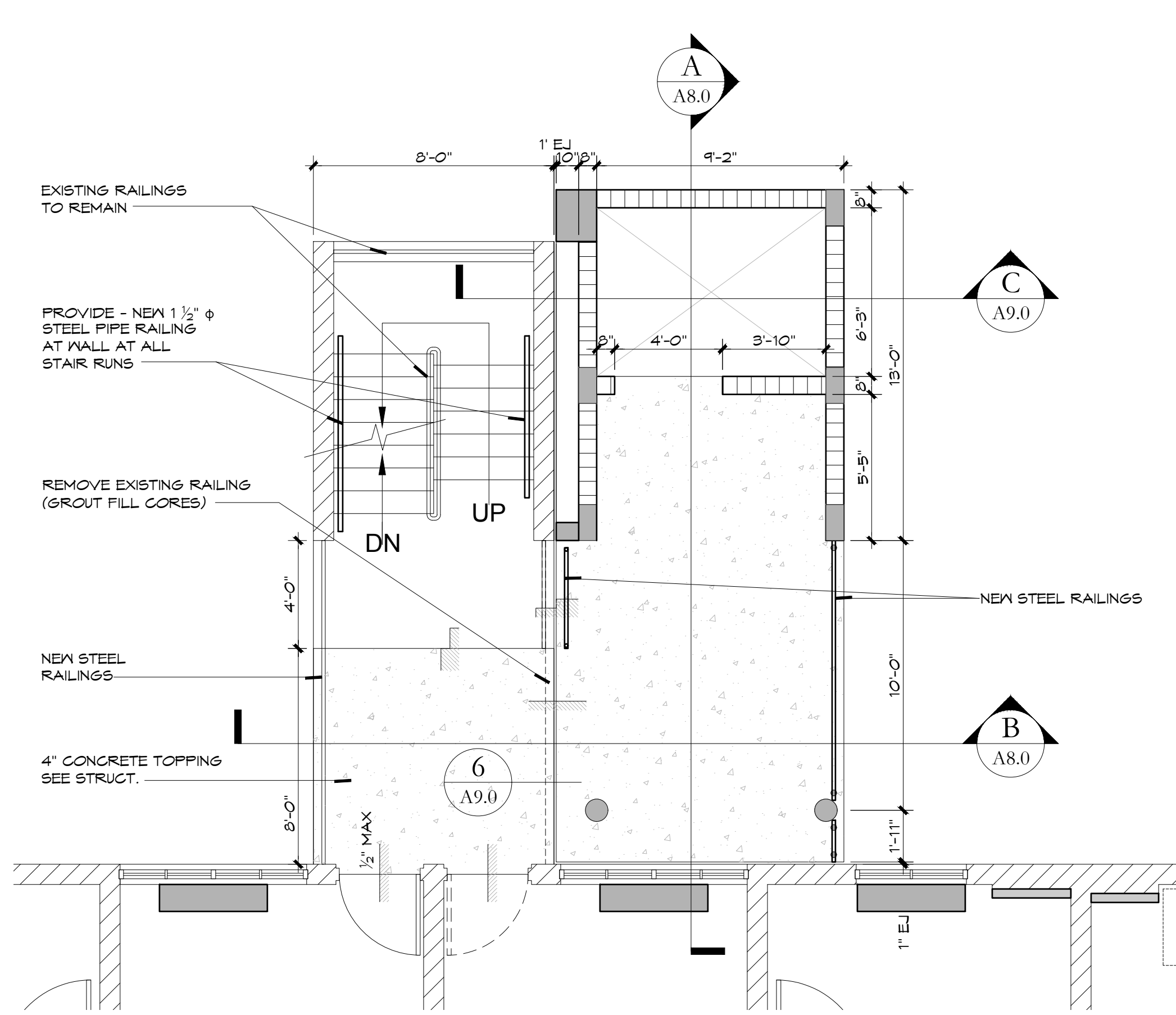
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REVISIONS	

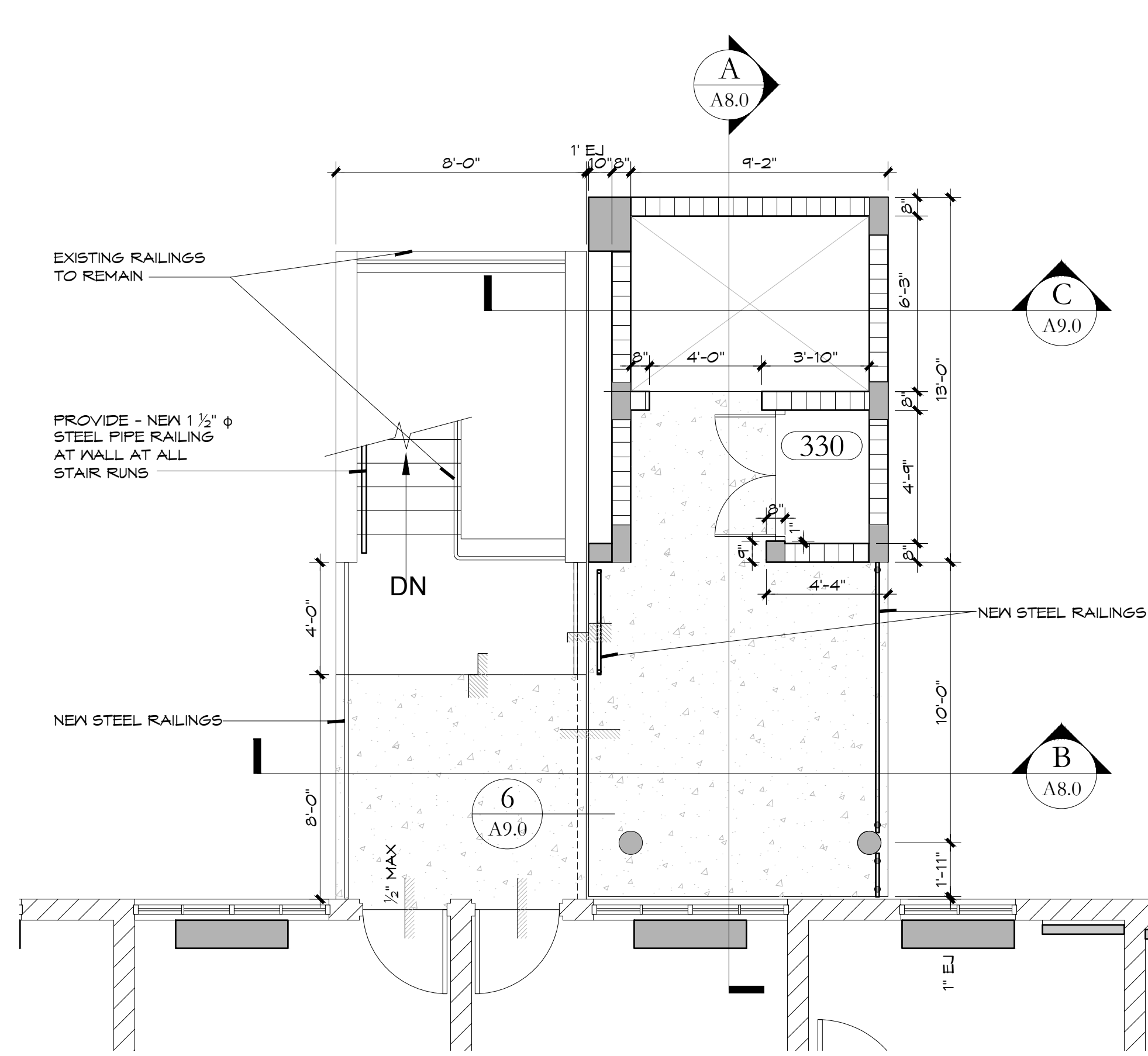
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	OLL GBS



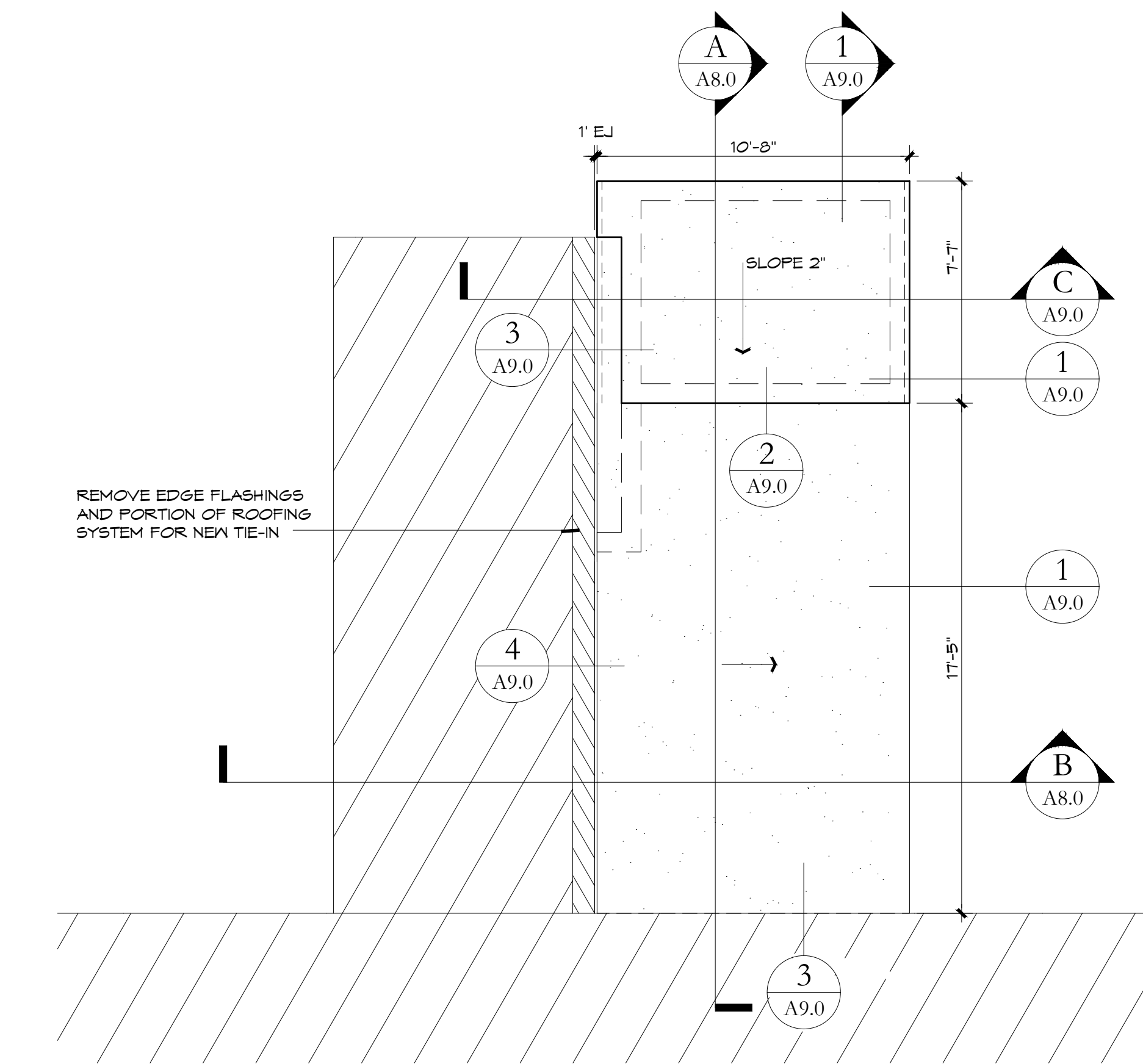
FIRST FLOOR PLAN 1/4" = 1'-0"



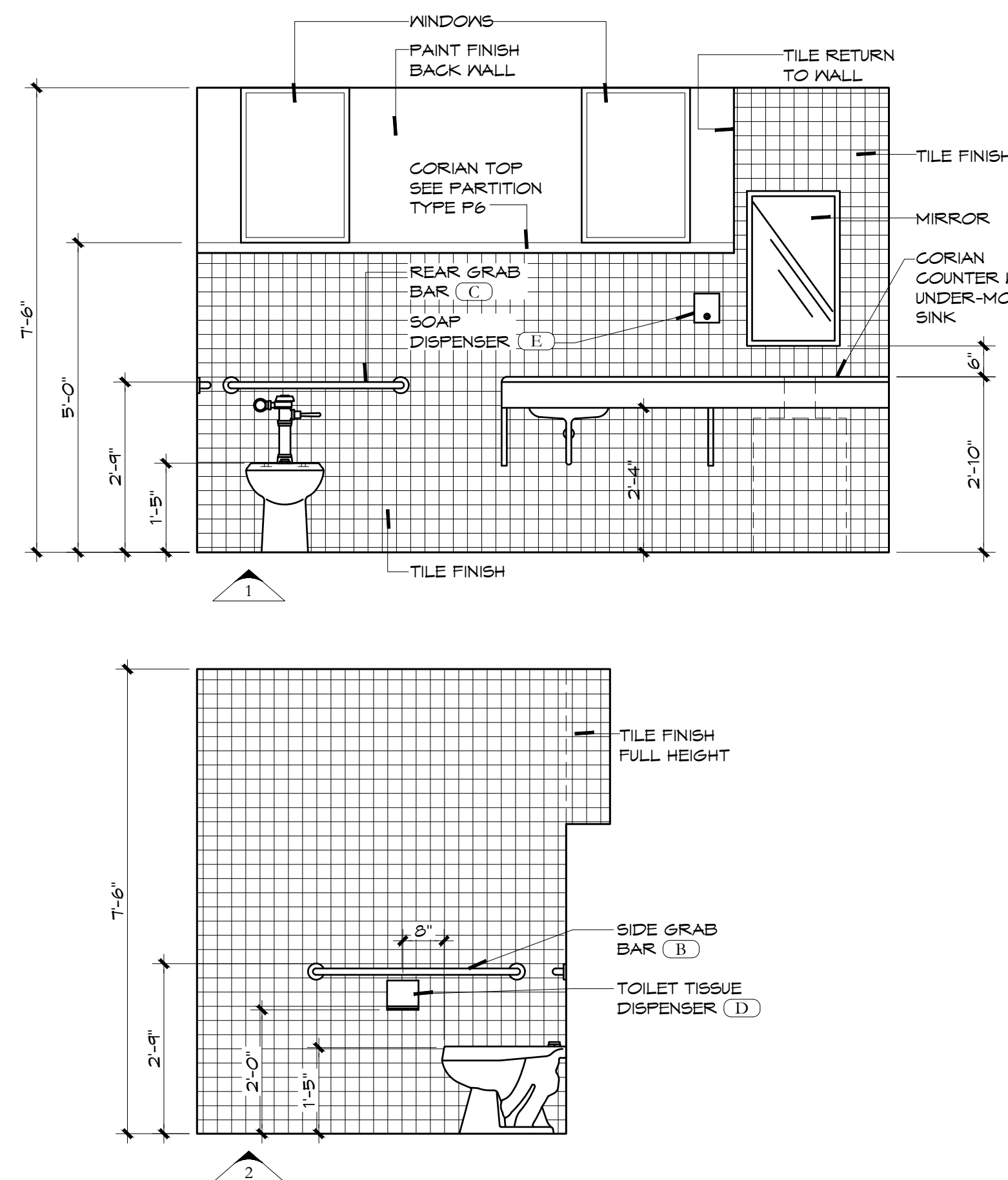
SECOND FLOOR PLAN 1/4" = 1'-0"



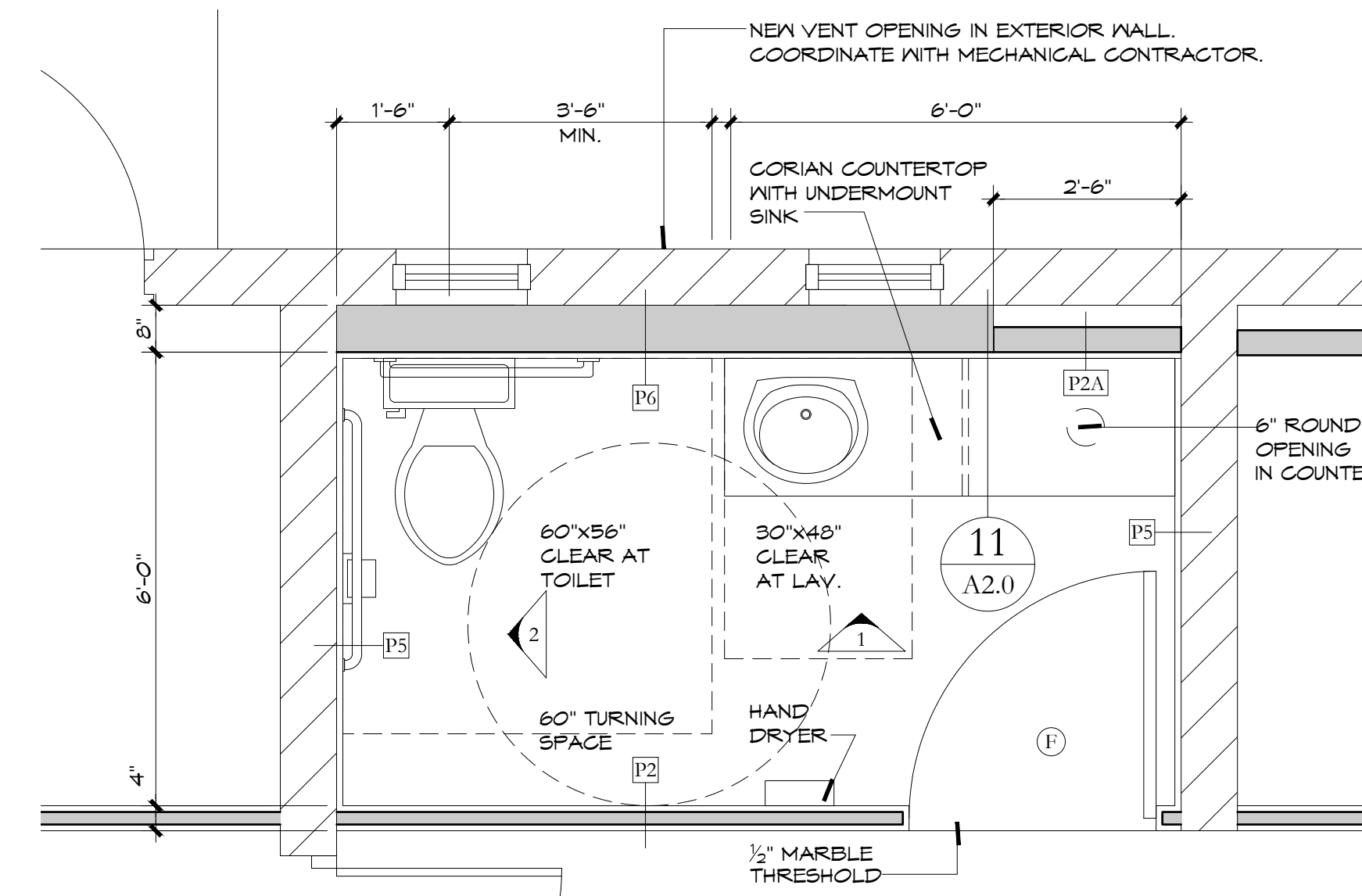
THIRD FLOOR PLAN 1/4" = 1'-0"



ROOF PLAN 1/4" = 1'-0"



TOILET ELEVATIONS 1/2" = 1'-0"
TYPICAL (REVERSE FOR ROOM NUMBERS SHOWN)



ENLARGED PLAN 1/2" = 1'-0"
TYPICAL TOILET - 110A, 210A, 310A,
REVERSE - 130E, 230E, 330E

ACCESSORIES SCHEDULE

- | | |
|---|--|
| (A) MIRROR 18" x 36"
BOBRICK B165-1836 | (D) TOILET TISSUE DISPENSER
BOBRICK B686 |
| (B) GRAB BAR 42"
BOBRICK B6806-42 | (E) SOAP DISPENSER
BOBRICK B2111 |
| (C) GRAB BAR 36"
BOBRICK B6806-36 | (F) HAND DRYER
BOBRICK BT50
ADA - RECESSED
HAND DRYER 48" AFF |

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A10003571

Floor Plans

Renovations to Pentland House (Building 34)

UNIVERSITY OF
Miami

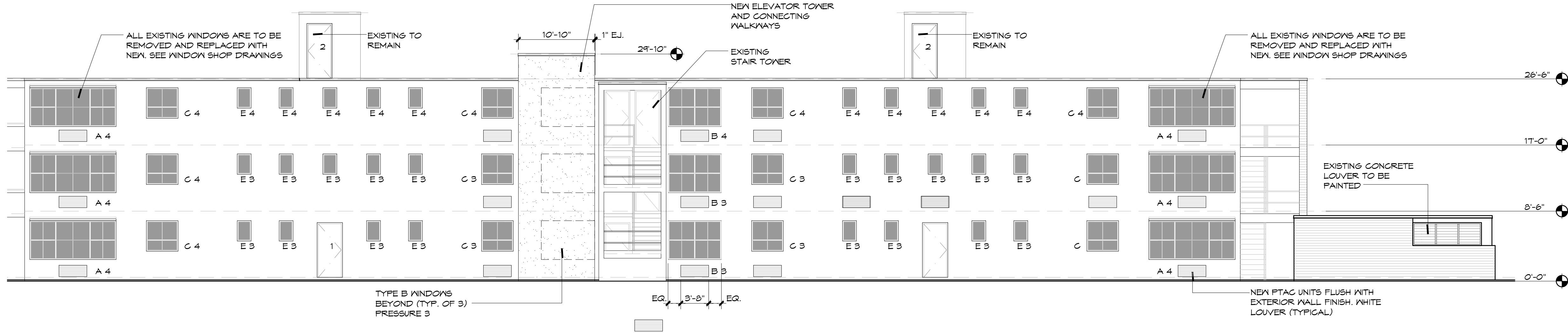
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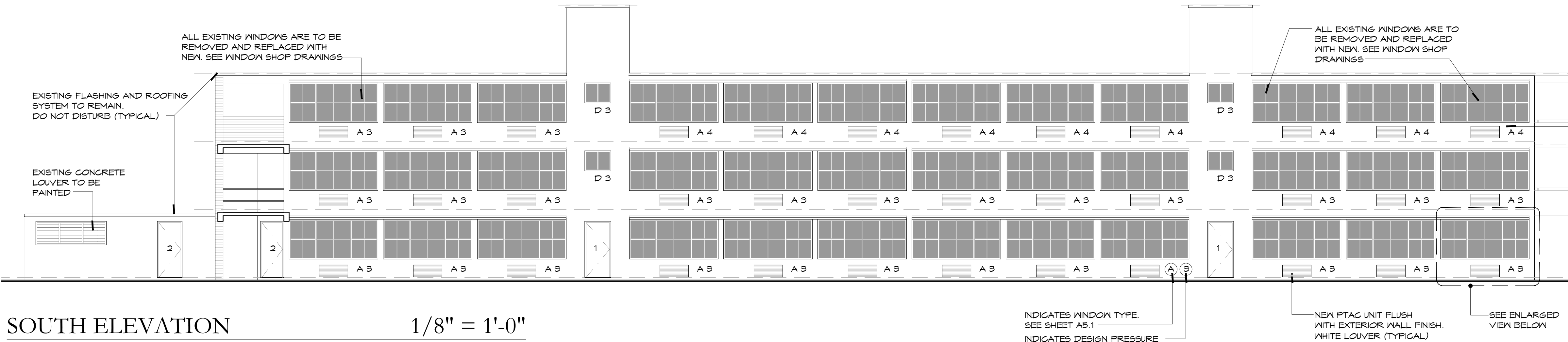
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	DATE 3/20/20
	DESIGN/DRAWN OLL/GBS

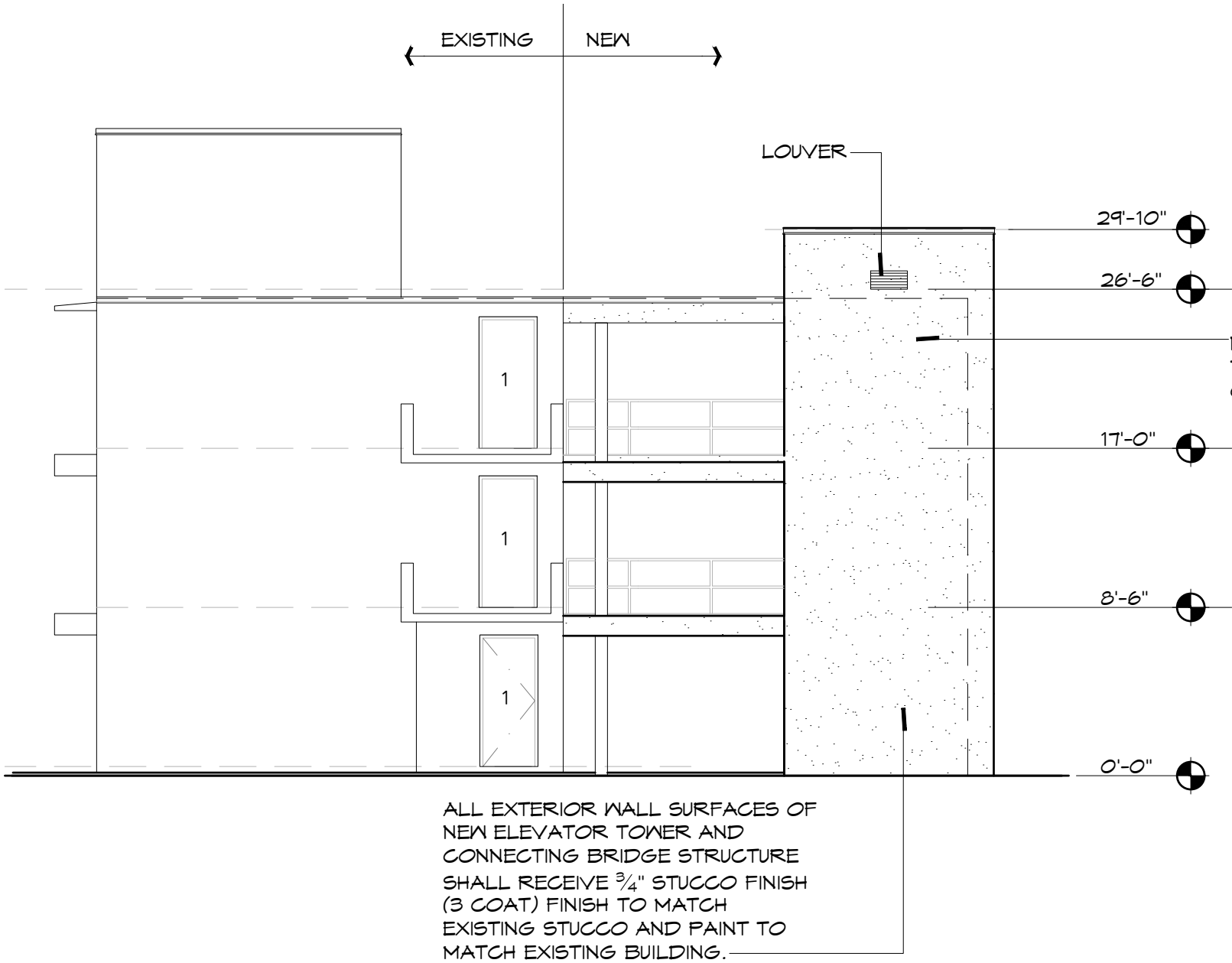
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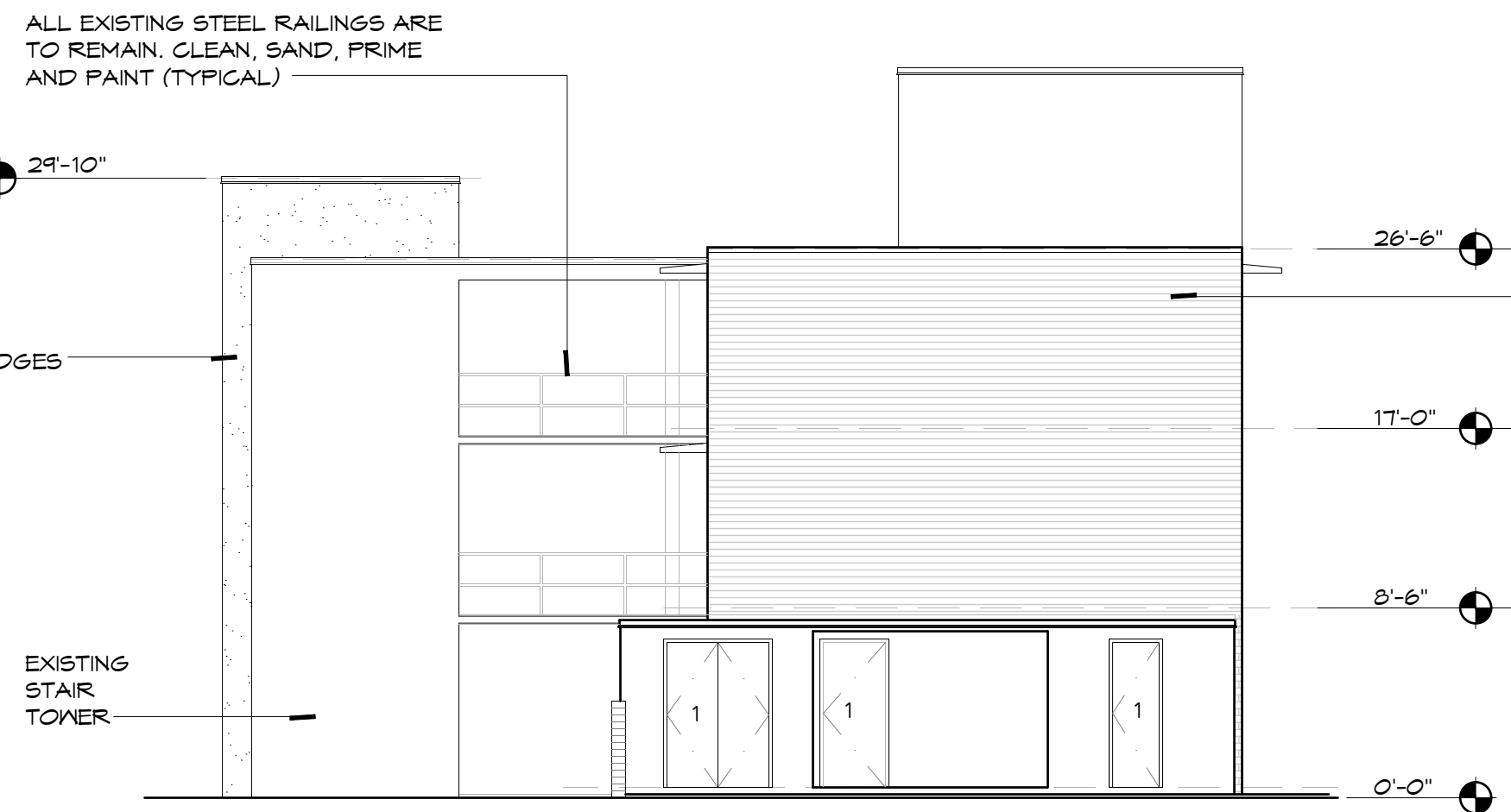
NORTH ELEVATION 1/8" = 1'-0"



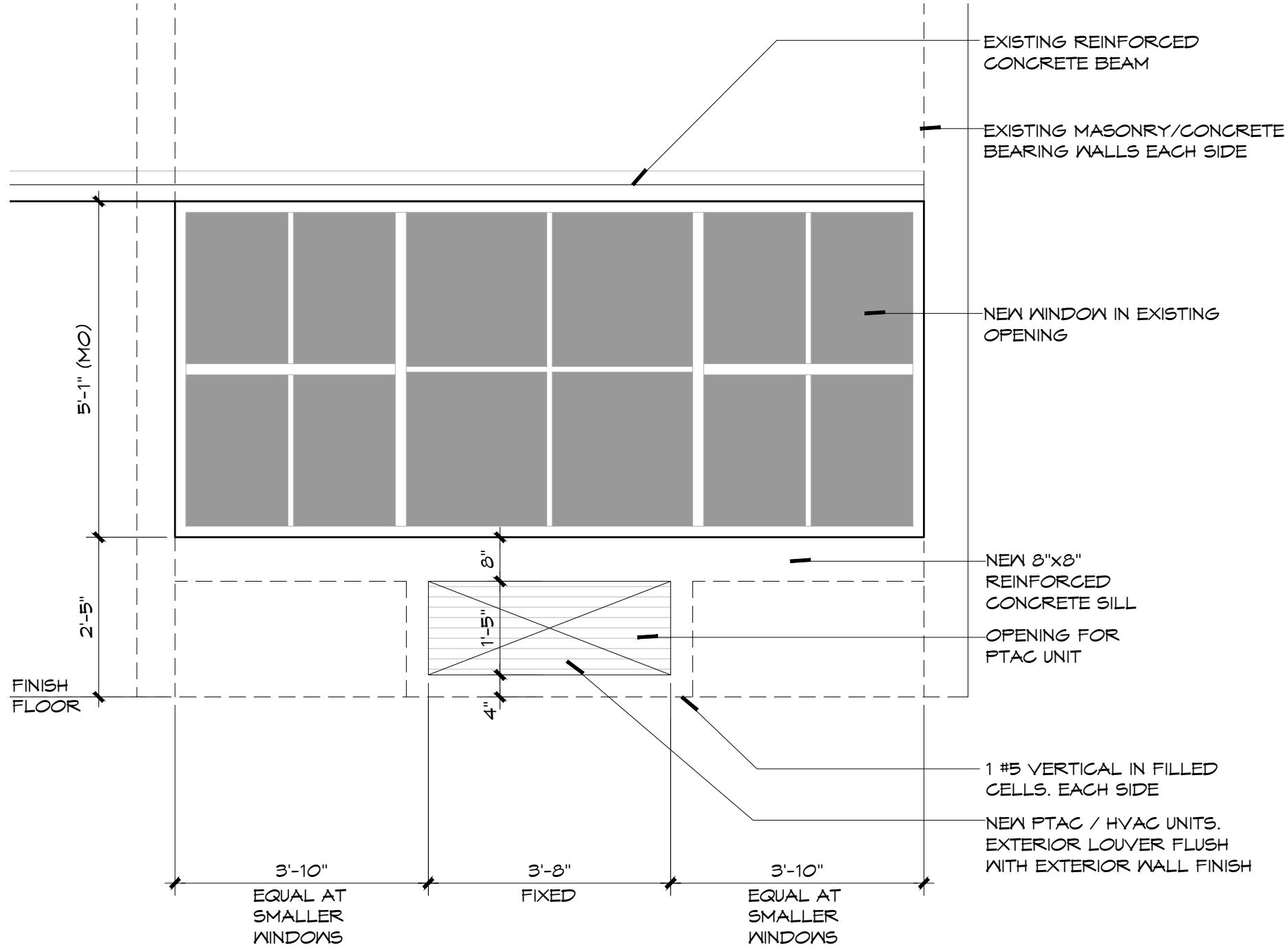
SOUTH ELEVATION 1/8" = 1'-0"



EAST ELEVATION 1/8" = 1'-0"



WEST ELEVATION 1/8" = 1'-0"



ENLARGED VIEW - TYPICAL WINDOW 1/2" = 1'-0"
SEE STRUCTURAL DRAWINGS FOR REINFORCING AND SPECIFICATIONS.

EXTERIOR WORK

1. ALL EXISTING DOORS AND FRAMES ARE TO BE REPLACED WITH NEW. SEE FLOOR PLANS AND DOOR SCHEDULES. ALL DOORS AND FRAMES TO BE PAINTED.
2. ALL WINDOWS WILL BE REPLACED WITH NEW. SEE SHEET A5.1 FOR NEW WINDOW SIZES AND CONFIGURATIONS. REFER TO MANUFACTURER'S SHOP DRAWINGS FOR DETAILS.
3. ALL EXISTING STEEL RAILINGS ARE TO REMAIN. SAND, CLEAN AND PAINT.
4. ALL WALL SURFACES SHALL BE PRESSURE CLEANED. PATCH ALL STUCCO CRACKS WITH VINYL PATCHING COMPOUND. REPAIR ALL DAMAGED AND DISTURBED STUCCO AROUND WINDOWS AND NEW STRUCTURAL WORK WITH NEW STUCCO TO MATCH THICKNESS AND FINISH OF EXISTING.
5. ALL EXTERIOR SURFACES ARE TO BE PRIMED AND PAINTED.

DESIGN PRESSURES:

1. +39.5 PSF / -43.0 PSF
2. +39.5 PSF / -51.4 PSF
3. +41.5 PSF / -45.0 PSF
4. +41.5 PSF / -55.3 PSF

S E A L

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Architecture
Roofing Consultants
Planning
Graphic Design
A10005571

Renovations to Pentland House (Building 34)

UNIVERSITY OF
Miami

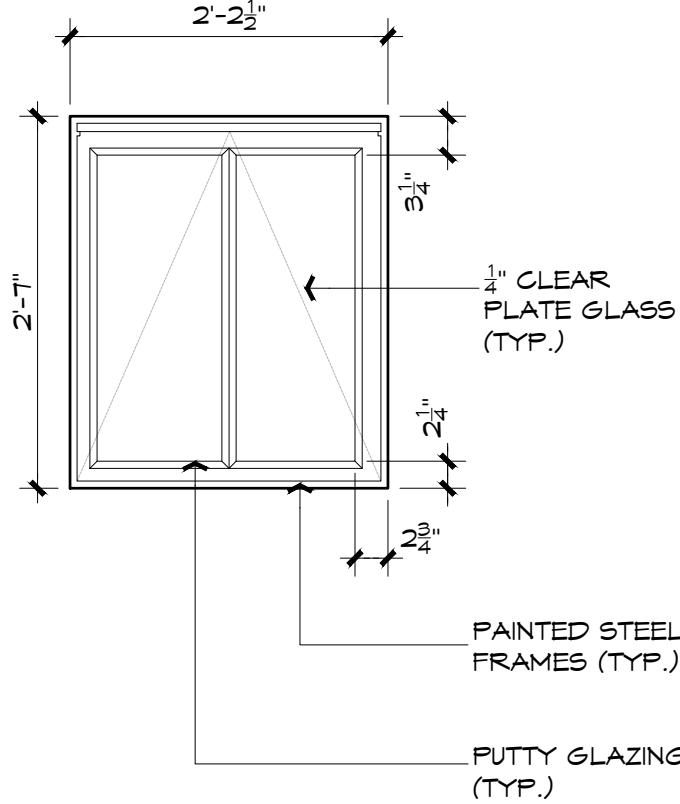
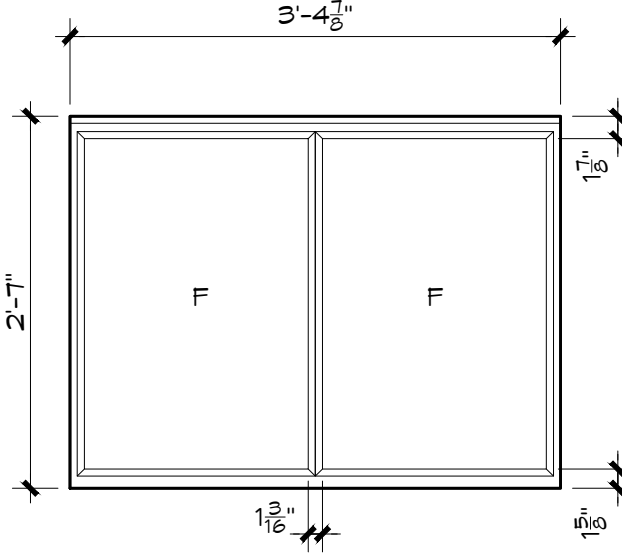
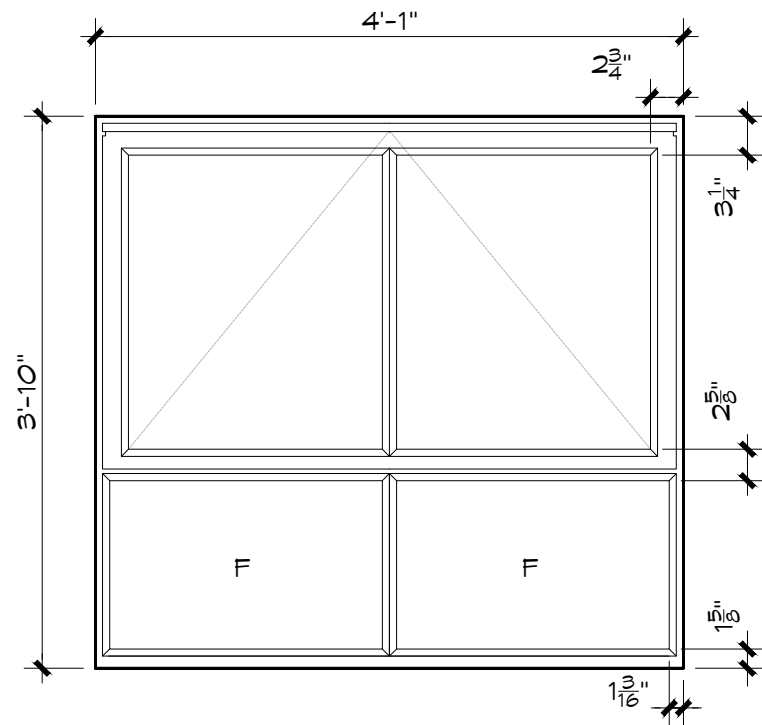
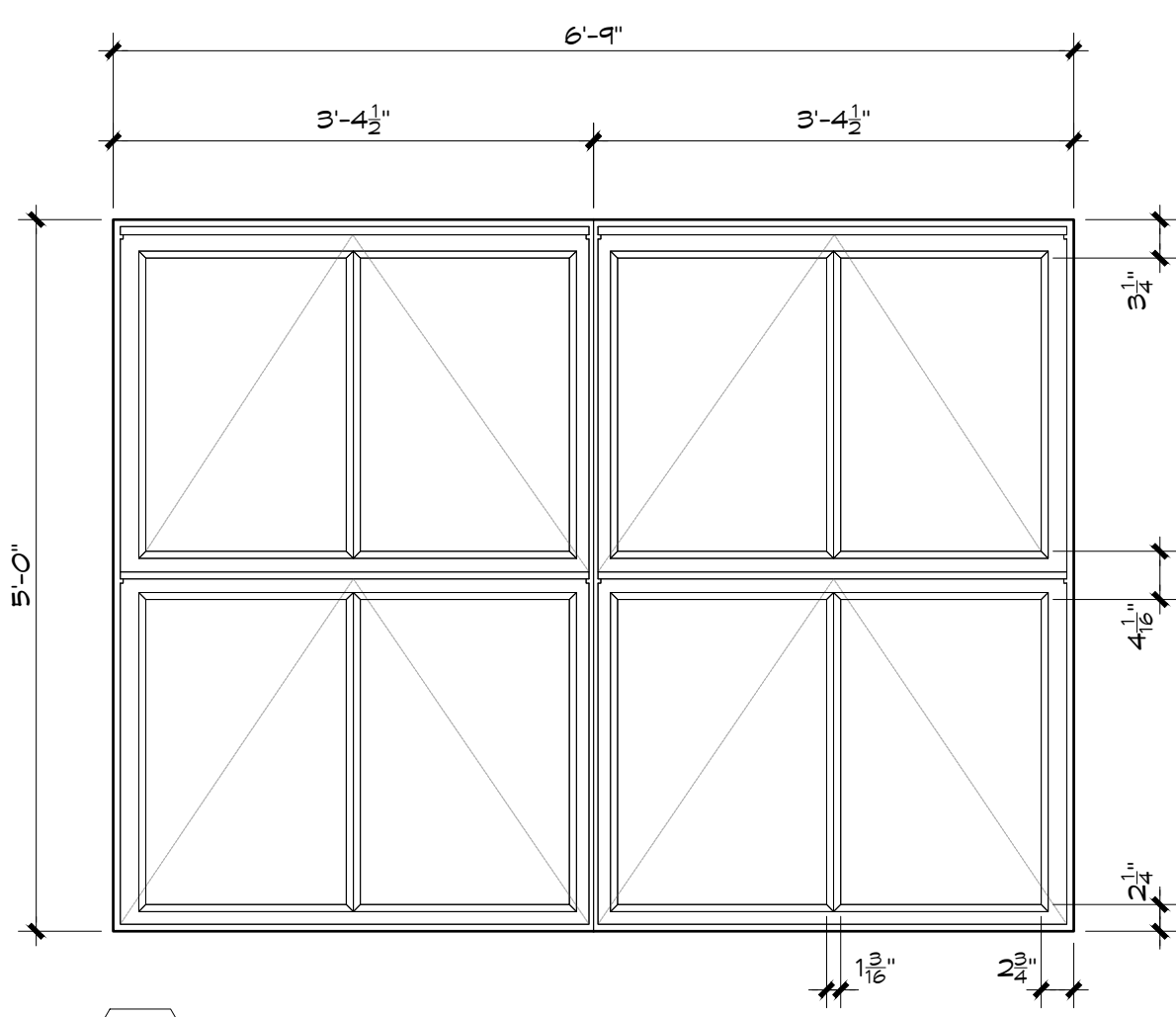
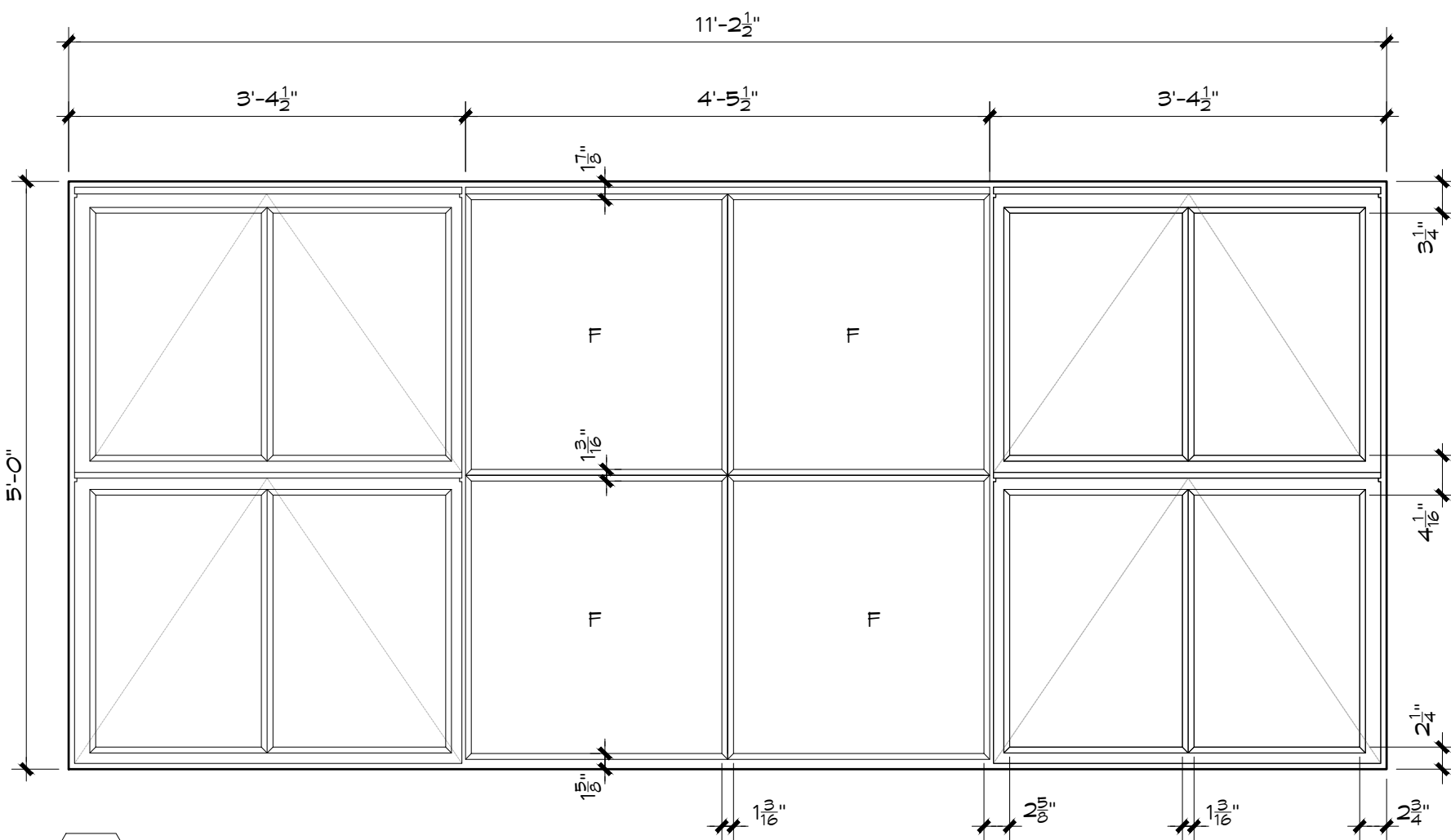
University of Miami
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PROJECT NO.
LA20005

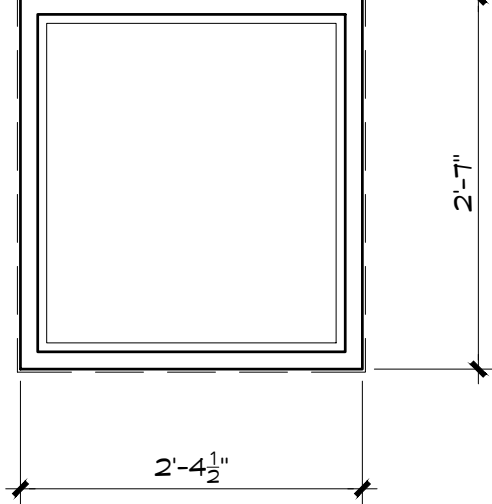
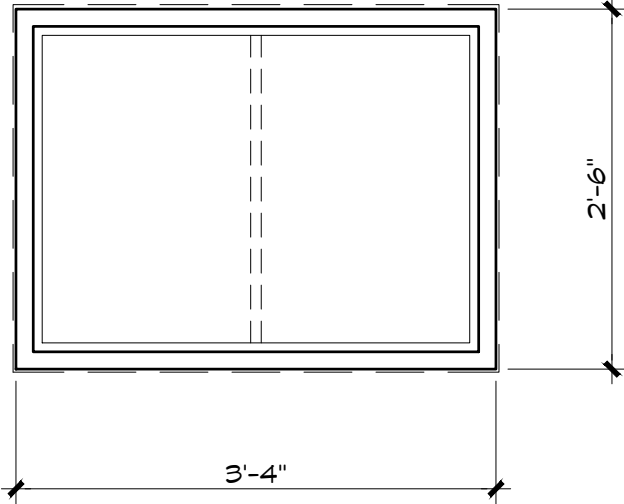
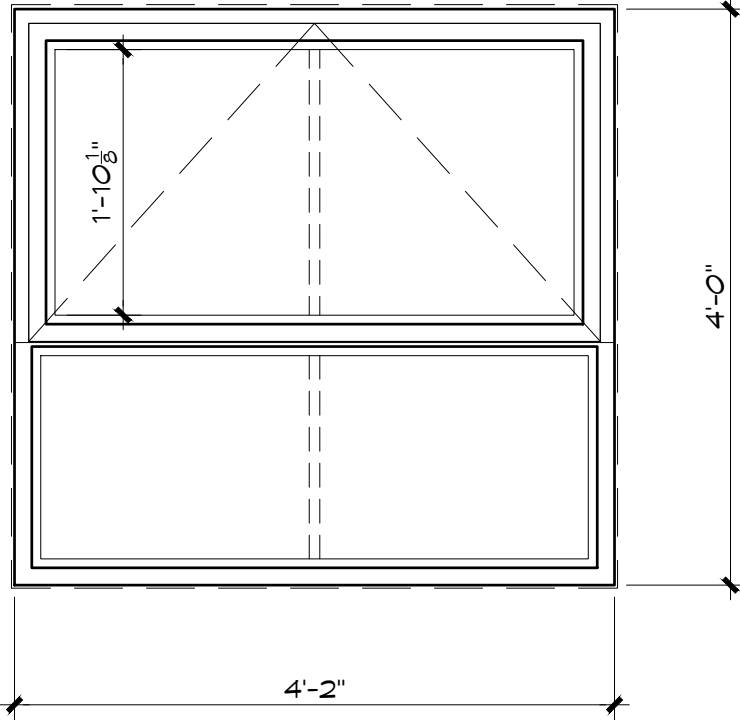
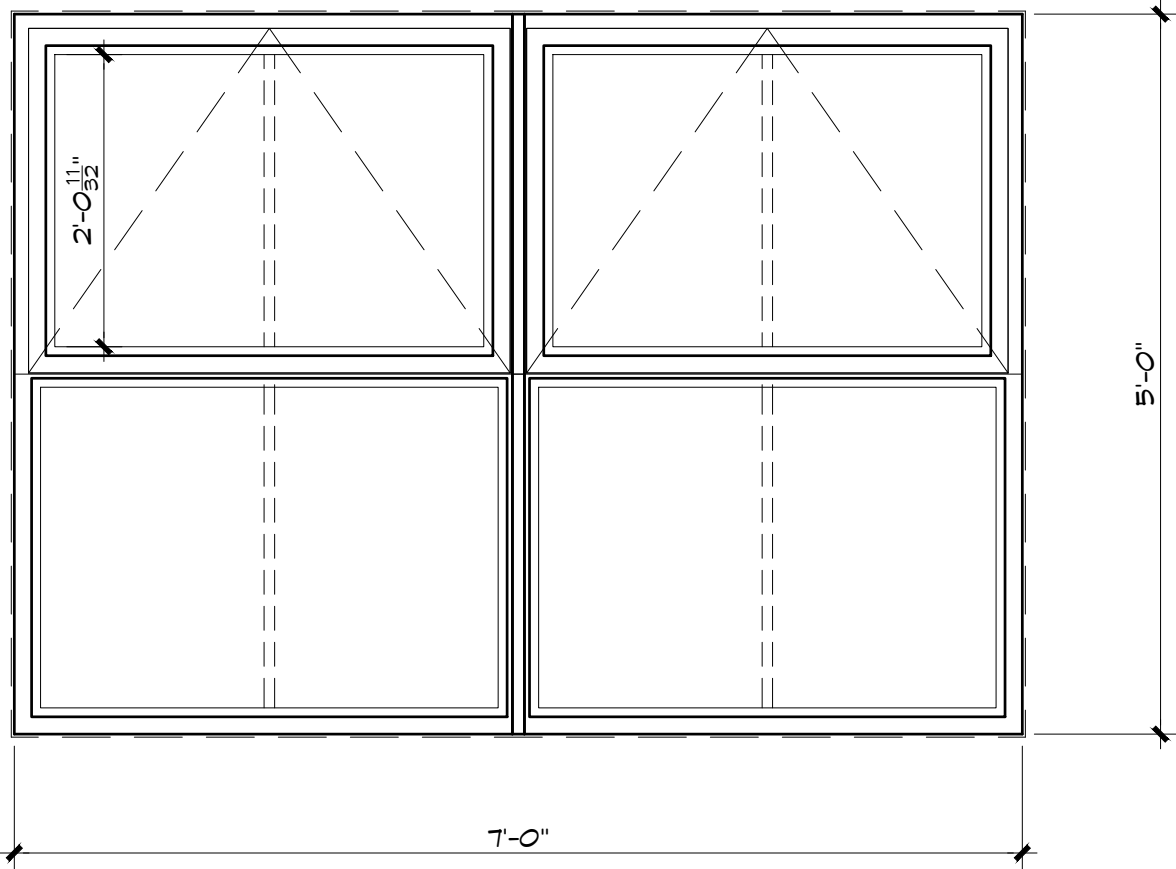
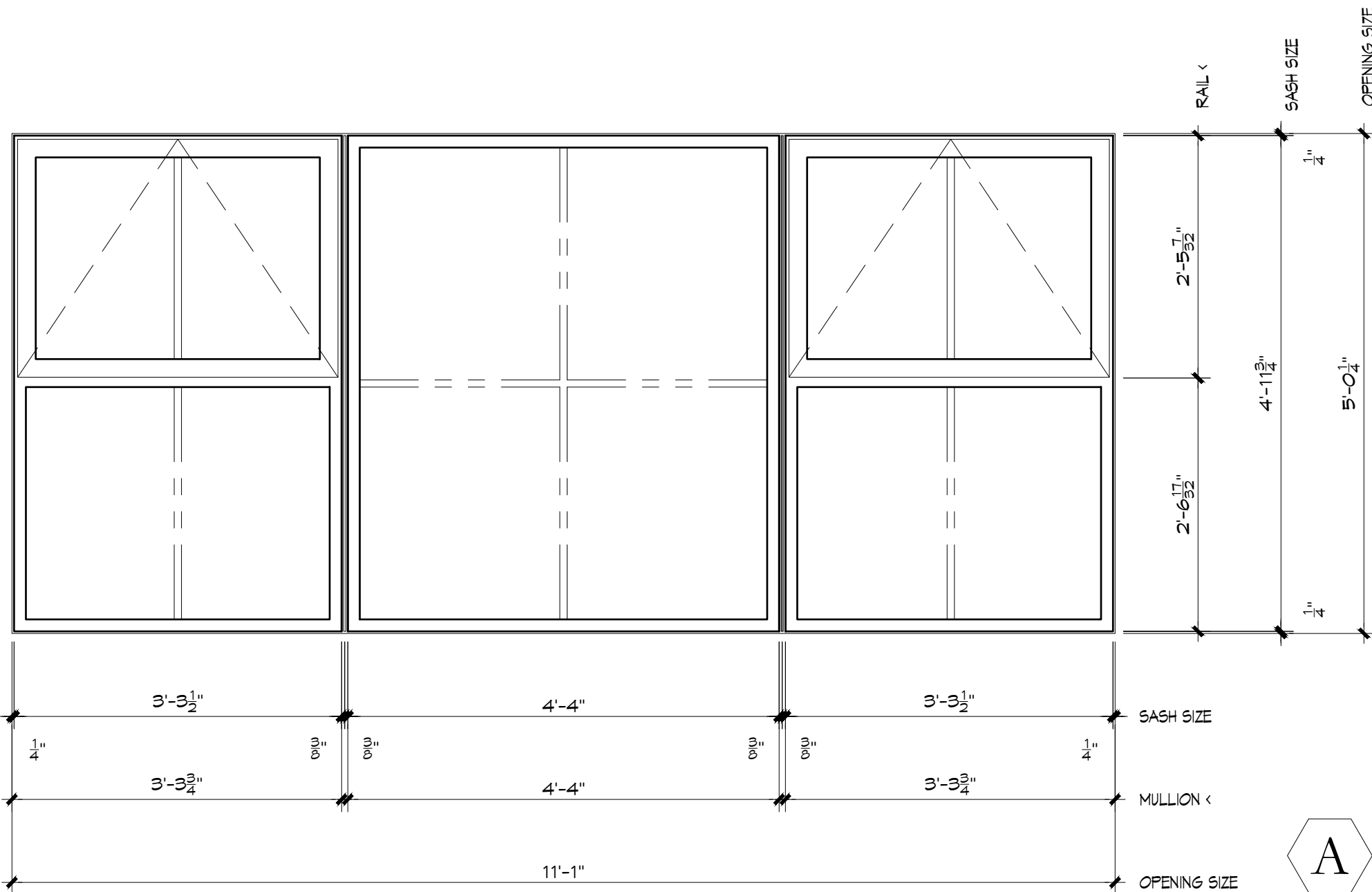
REVISIONS

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DESIGN DRAWN OLL GBS

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EXISTING WINDOWS 3/4" = 1'-0" (F=FIXED PANELS)



NEW WINDOWS 3/4" = 1'-0" HOPE'S WINDOWS JAMESTOWN 175 SERIES STEEL IMPACT (FLORIDA PRODUCT APPROVAL FL 14473-R3 +65.0 -65.0 PSF)

SEE HOPE'S SHOP DRAWINGS FOR WINDOW DETAILS

WINDOWS ARE PURCHASED BY THE UNIVERSITY
AND TURNED OVER TO CONTRACTOR FOR INSTALLATION.

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A5.1

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