



VALENCIA RESIDENCE

1108 VALENCIA AVE. CORAL GABLES FL. 33134



SKETCH OF SURVEY

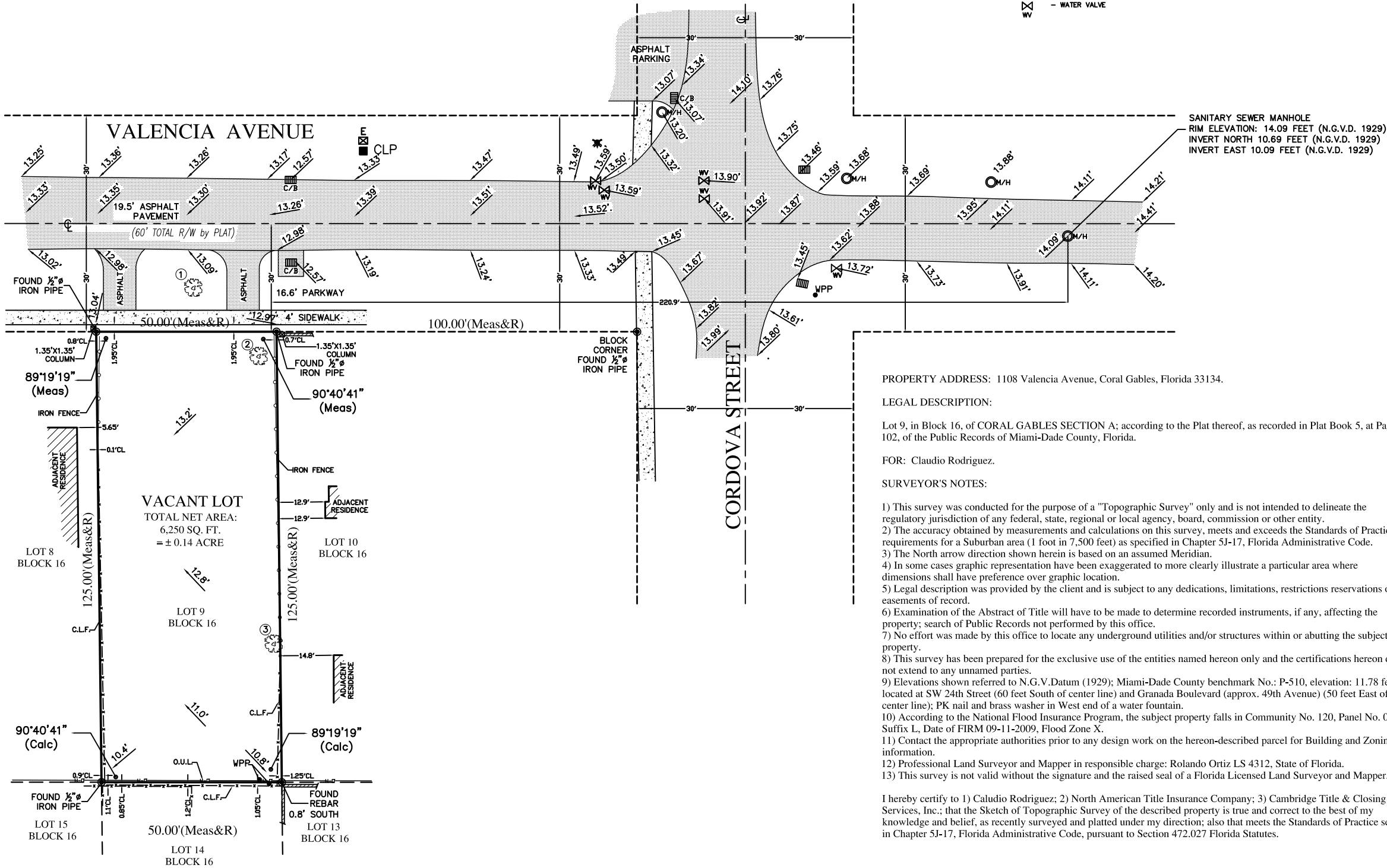
PREPARED BY:
GUNTER GROUP, INC.
LAND SURVEYING - LAND PLANNING
FLORIDA CERTIFICATE OF AUTHORIZATION NO. LB 4507
9350 S.W. 22nd TERRACE
MIAMI, FLORIDA 33165
(305) 220-0073

LEGEND:

- CENTER LINE
- CATCH BASIN
- WOOD POWER POLE
- SPOT ELEVATION
- SANITARY SEWER MANHOLE
- ELECTRIC BOX
- CONCRETE LIGHT POLE
- FIRE HYDRANT
- WATER VALVE

ABBREVIATIONS:

- (Calc) CALCULATE
- (Meas) MEASURED
- (R) RECORD
- R/W RIGHT OF WAY
- SQ. SQUARE
- FT. FEET
- O.U.L. OVERHEAD UTILITY LINE
- C.L.F. CHAIN LINK FENCE
- CL CLEAR



PROPERTY ADDRESS: 1108 Valencía Avenue, Coral Gables, Florida 33134.

LEGAL DESCRIPTION:

Lot 9, in Block 16, of CORAL GABLES SECTION A; according to the Plat thereof, as recorded in Plat Book 5, at Page 102, of the Public Records of Miami-Dade County, Florida.

FOR: Claudio Rodriguez.

SURVEYOR'S NOTES:

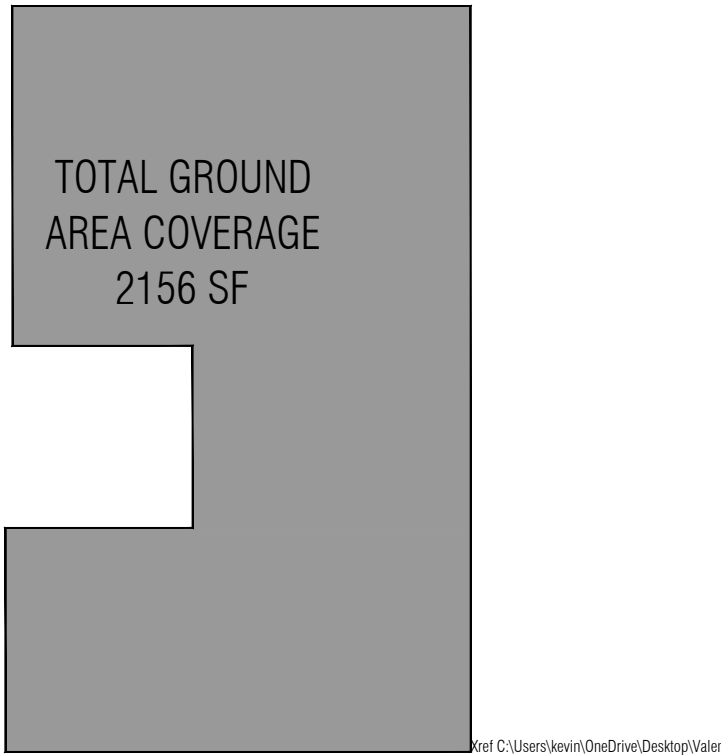
- 1) This survey was conducted for the purpose of a "Topographic Survey" only and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other entity.
- 2) The accuracy obtained by measurements and calculations on this survey, meets and exceeds the Standards of Practice requirements for a Suburban area (1 foot in 7,500 feet) as specified in Chapter 5J-17, Florida Administrative Code.
- 3) The North arrow direction shown herein is based on an assumed Meridian.
- 4) In some cases graphic representation have been exaggerated to more clearly illustrate a particular area where dimensions shall have preference over graphic location.
- 5) Legal description was provided by the client and is subject to any dedications, limitations, restrictions reservations or easements of record.
- 6) Examination of the Abstract of Title will have to be made to determine recorded instruments, if any, affecting the property; search of Public Records not performed by this office.
- 7) No effort was made by this office to locate any underground utilities and/or structures within or abutting the subject property.
- 8) This survey has been prepared for the exclusive use of the entities named hereon only and the certifications hereon do not extend to any unnamed parties.
- 9) Elevations shown referred to N.G.V.Datum (1929); Miami-Dade County benchmark No.: P-510, elevation: 11.78 feet; located at SW 24th Street (60 feet South of center line) and Granada Boulevard (approx. 49th Avenue) (50 feet East of center line); PK nail and brass washer in West end of a water fountain.
- 10) According to the National Flood Insurance Program, the subject property falls in Community No. 120, Panel No. 0, Suffix L, Date of FIRM 09-11-2009, Flood Zone X.
- 11) Contact the appropriate authorities prior to any design work on the hereon-described parcel for Building and Zoning information.
- 12) Professional Land Surveyor and Mapper in responsible charge: Rolando Ortiz LS 4312, State of Florida.
- 13) This survey is not valid without the signature and the raised seal of a Florida Licensed Land Surveyor and Mapper.

I hereby certify to 1) Caludio Rodriguez; 2) North American Title Insurance Company; 3) Cambridge Title & Closing Services, Inc.; that the Sketch of Topographic Survey of the described property is true and correct to the best of my knowledge and belief, as recently surveyed and platted under my direction; also that meets the Standards of Practice set in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.

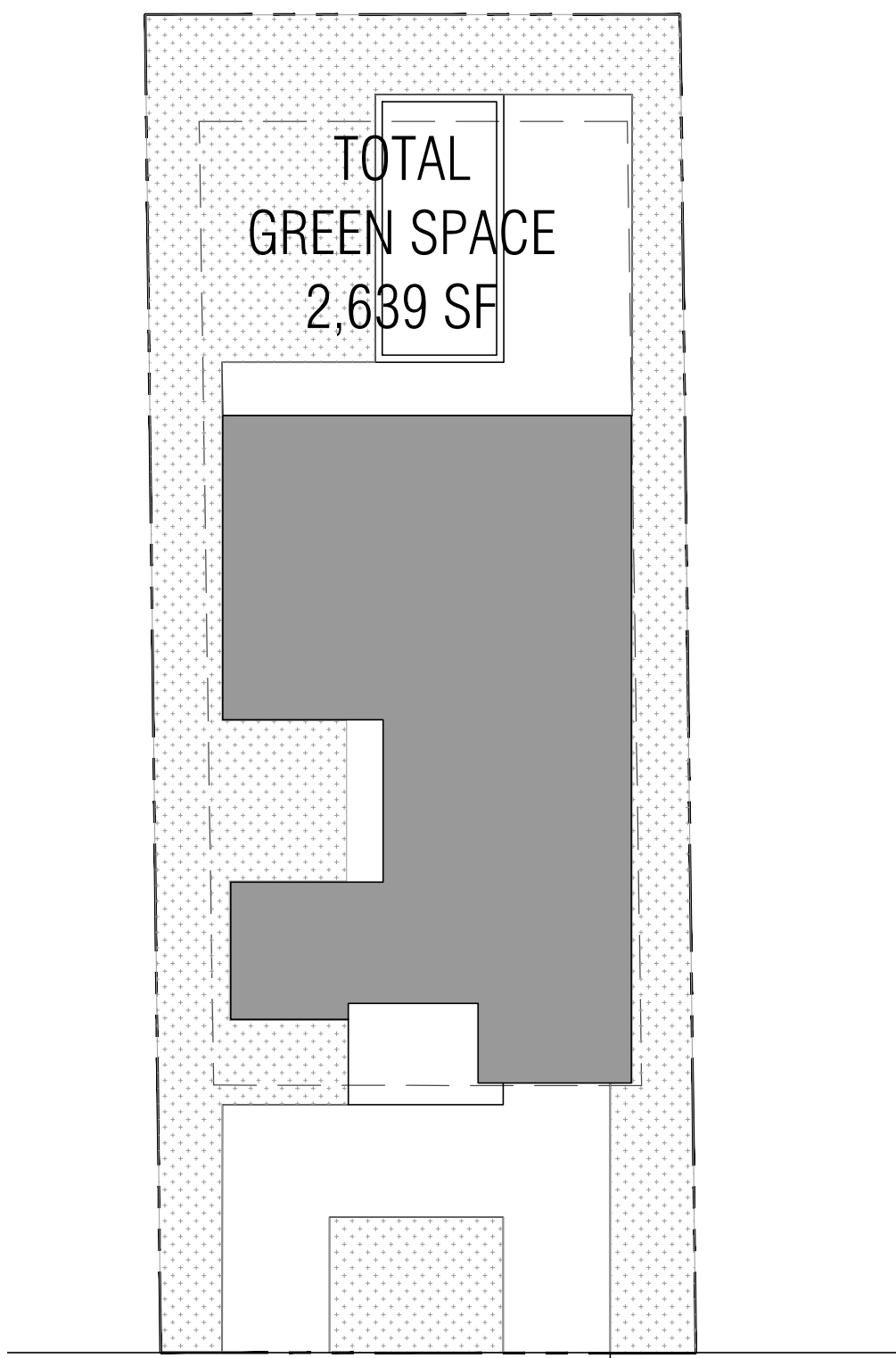
By: Rolando Ortiz LS 4312
Professional Land Surveyor
& Mapper, State of Florida.

UP-DATE: 04-07-2020

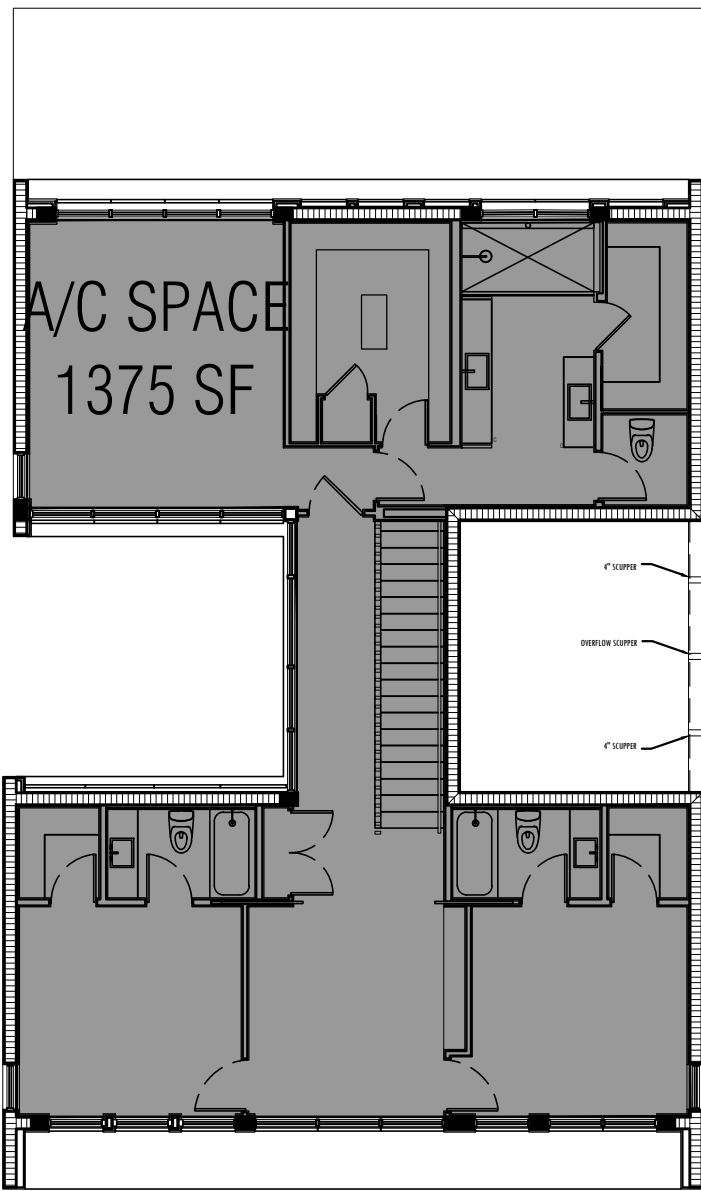
Claudio Rodriguez 1108 Valencía Avenue Coral Gables, Florida 33134.	JOB No.: 20-31997	SKETCH No.: 29568	DATE: 04-08-2020	SCALE: 1"=20'	SHEET: 1 OF 1
---	----------------------	----------------------	---------------------	------------------	------------------



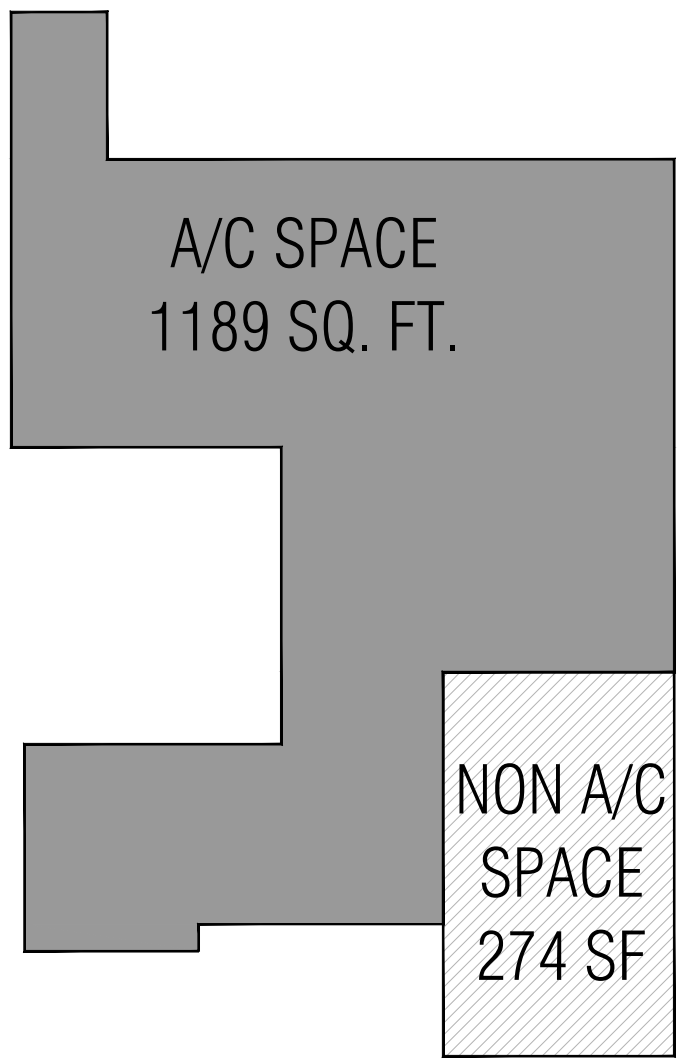
5
A-001 GROUND AREA COVERAGE DIAGRAM
SCALE: 3/32" = 1'-0"



4
A-001 GREEN SPACE DIAGRAM
SCALE: 3/32" = 1'-0"



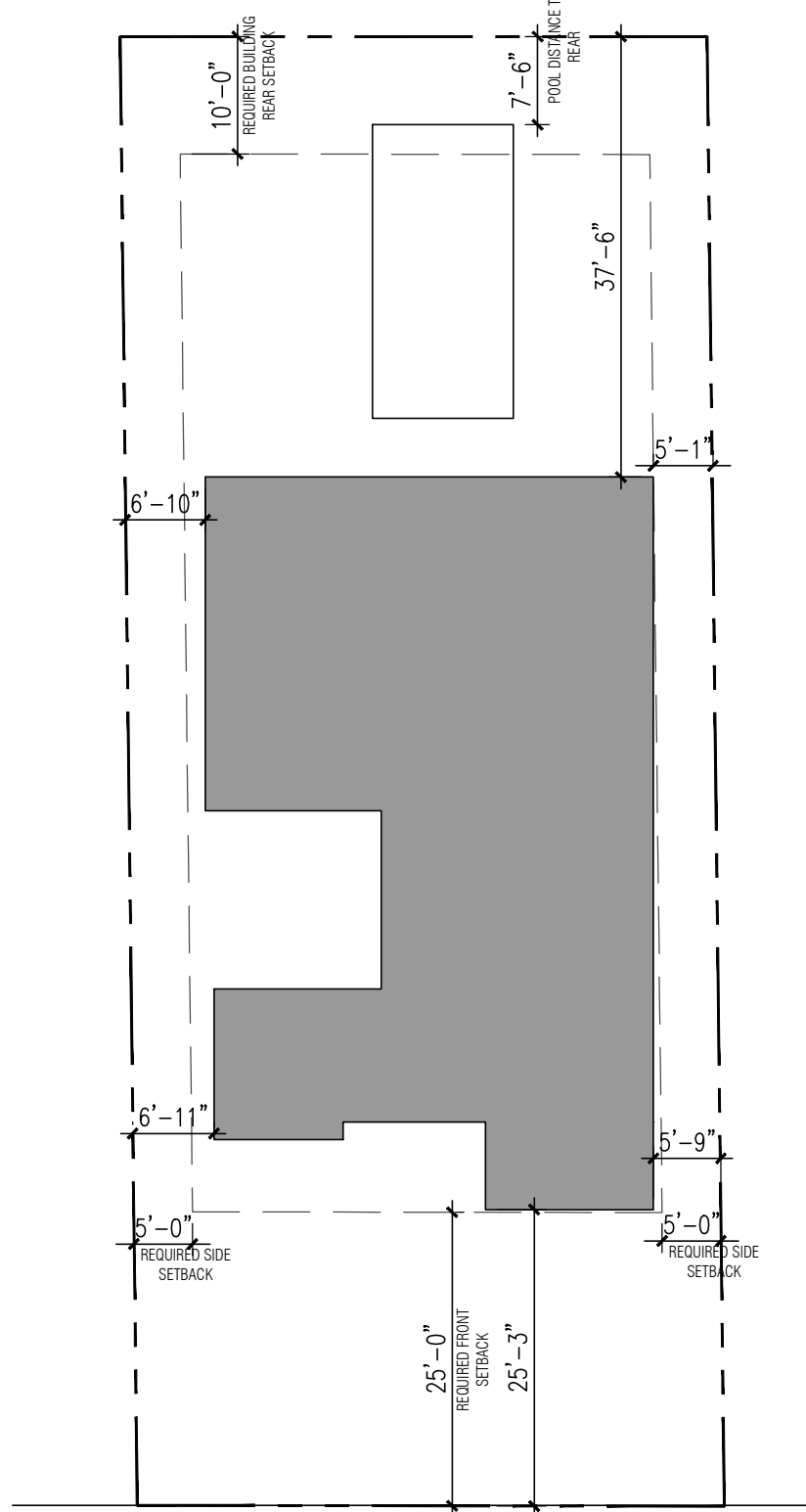
SECOND FLOOR SF DIAGRAM



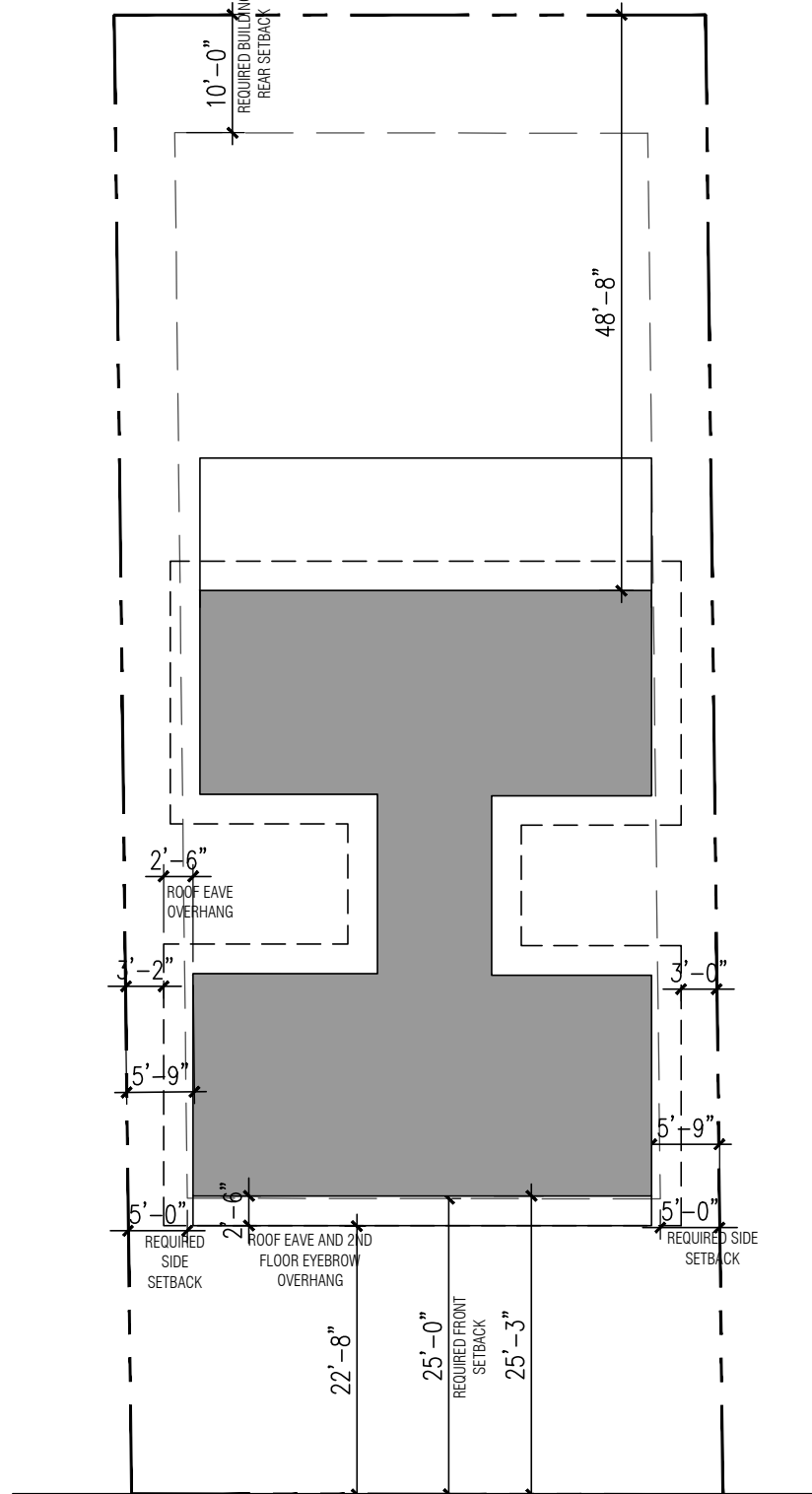
FIRST FLOOR SF DIAGRAM

TOTAL SF: 2,838 SF.
TOTAL A/C SF: 2,564 SF.

3
A-001 F.A.R. DIAGRAM
SCALE: 3/32" = 1'-0"



1
A-001 SETBACKS DIAGRAM
SCALE: 1/16" = 1'-0"



2
A-001 2ND FLOOR SETBACKS DIAGRAM
SCALE: 1/16" = 1'-0"

ARCHITECTURE LICENSE REGISTRATION NUMBER:
REUBEN RAMOS: AR98369

OWNER / CLIENT
KEVIN & CLAIRE RODRIGUEZ
1108 VALENCIA AVE.
CORAL GABLES, FL. 33134
PHONE:

STRUCTURAL ENGINEER
KHAN & ASSOCIATES
TAIMUR KHAN
7400 SW 50TH TERRACE SUITE 105
MIAMI FLORIDA 33155
PHONE: 305-662-2301

MECHANICAL/ELECTRICAL/PLUMBING
H VIDAL & ASSOCIATES
HENRY VIDAL
241 NW S RIVER DRIVE
MIAMI FL. 33128
PHONE: 305-571-1860

LANDSCAPE ARCHITECT
TRAVIS HARRISON

PHONE:

PROFESSIONAL LICENSE

ISSUE NO.	DESCRIPTION	ISSUE DATE
	ARCHITECTURE REVIEW BOARD	07.24.20

KEY PLAN

PROJECT PROJECT NO.: 20_01

VALENCIA RESIDENCE

DRAWING TITLE
PROJECT INFORMATION

SCALE DRAWING NO.



A-001



SKETCH OF SURVEY

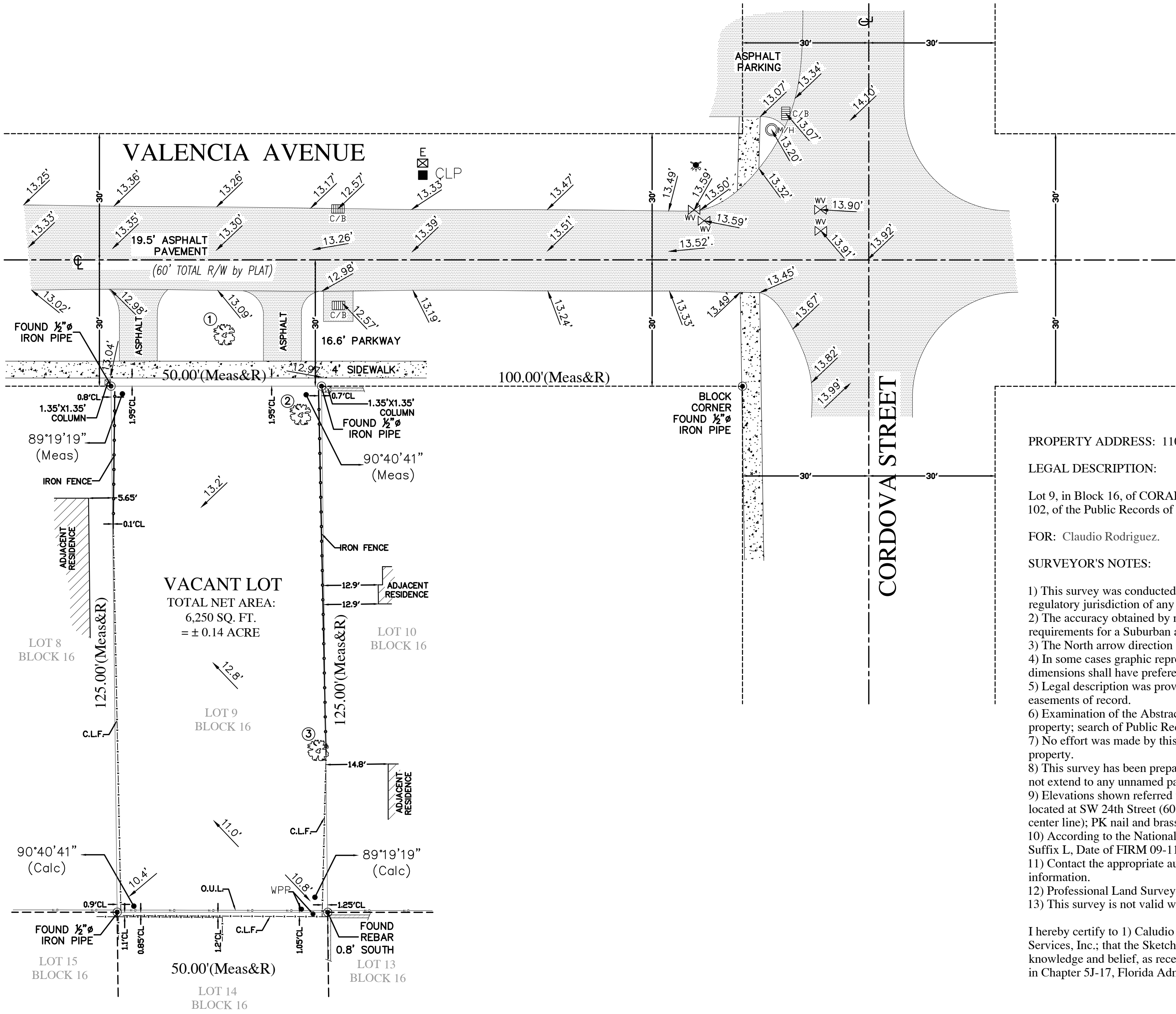
PREPARED BY:
GUNTER GROUP, INC.
LAND SURVEYING - LAND PLANNING
FLORIDA CERTIFICATE OF AUTHORIZATION NO. LB 4507
9350 S.W. 22nd TERRACE
MIAMI, FLORIDA 33165
(305) 220-0073

LEGEND:

- CENTER LINE
- C/B - CATCH BASIN
- WPP - WOOD POWER POLE
- SPOT ELEVATION
- S/M/H - SANITARY SEWER MANHOLE
- E - ELECTRIC BOX
- CLP - CONCRETE LIGHT POLE
- FIRE HYDRANT
- WV - WATER VALVE

ABBREVIATIONS:

- (Calc) CALCULATE
- (Meas) MEASURED
- (R) RECORD
- R/W RIGHT OF WAY
- Sq. SQUARE
- FT. FEET
- O.U.L. OVERHEAD UTILITY LINE
- C.L.F. CHAIN LINK FENCE
- CL CLEAR



PROPERTY ADDRESS: 1108 Valencia Avenue, Coral Gables, Florida 33134.

LEGAL DESCRIPTION:

Lot 9, in Block 16, of CORAL GABLES SECTION A; according to the Plat thereof, as recorded in Plat Book 5, at Page 102, of the Public Records of Miami-Dade County, Florida.

FOR: Claudio Rodriguez.

SURVEYOR'S NOTES:

- 1) This survey was conducted for the purpose of a "Topographic Survey" only and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other entity.
- 2) The accuracy obtained by measurements and calculations on this survey, meets and exceeds the Standards of Practice requirements for a Suburban area (1 foot in 7,500 feet) as specified in Chapter 5J-17, Florida Administrative Code.
- 3) The North arrow direction shown herein is based on an assumed Meridian.
- 4) In some cases graphic representation have been exaggerated to more clearly illustrate a particular area where dimensions shall have preference over graphic location.
- 5) Legal description was provided by the client and is subject to any dedications, limitations, restrictions reservations or easements of record.
- 6) Examination of the Abstract of Title will have to be made to determine recorded instruments, if any, affecting the property; search of Public Records not performed by this office.
- 7) No effort was made by this office to locate any underground utilities and/or structures within or abutting the subject property.
- 8) This survey has been prepared for the exclusive use of the entities named hereon only and the certifications hereon do not extend to any unnamed parties.
- 9) Elevations shown referred to N.G.V.Datum (1929); Miami-Dade County benchmark No.: P-510, elevation: 11.78 feet; located at SW 24th Street (60 feet South of center line) and Granada Boulevard (approx. 49th Avenue) (50 feet East of center line); PK nail and brass washer in West end of a water fountain.
- 10) According to the National Flood Insurance Program, the subject property falls in Community No. 120, Panel No. 0, Suffix L, Date of FIRM 09-11-2009, Flood Zone X.
- 11) Contact the appropriate authorities prior to any design work on the hereon-described parcel for Building and Zoning information.
- 12) Professional Land Surveyor and Mapper in responsible charge: Rolando Ortiz LS 4312, State of Florida.
- 13) This survey is not valid without the signature and the raised seal of a Florida Licensed Land Surveyor and Mapper.

I hereby certify to 1) Claudio Rodriguez; 2) North American Title Insurance Company; 3) Cambridge Title & Closing Services, Inc.; that the Sketch of Topographic Survey of the described property is true and correct to the best of my knowledge and belief, as recently surveyed and platted under my direction; also that meets the Standards of Practice set in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.

By: Rolando Ortiz LS 4312
Professional Land Surveyor
& Mapper, State of Florida.

Claudio Rodriguez 1108 Valencia Avenue Coral Gables, Florida 33134.	JOB No.: 20-31997	SKETCH No.: 29568	DATE: 04-08-2020	SCALE: 1"=20'	SHEET: 1 OF 1
---	----------------------	----------------------	---------------------	------------------	------------------

ARCHITECTURE LICENSE REGISTRATION NUMBER:
REUBEN RAMOS: AR98369

OWNER / CLIENT
KEVIN & CLAIRE RODRIGUEZ
1108 VALENCIA AVE.
CORAL GABLES, FL. 33134
PHONE:

STRUCTURAL ENGINEER
KHAN & ASSOCIATES
TAIMUR KHAN
7400 SW 50TH TERRACE SUITE 105
MIAMI FLORIDA 33155
PHONE: 305-662-2301

MECHANICAL/ELECTRICAL/PLUMBING
H VIDAL & ASSOCIATES
HENRY VIDAL
241 NW S RIVER DRIVE
MIAMI FL 33128
PHONE: 305-571-1860

LANDSCAPE ARCHITECT
TRAVIS HARRISON

PHONE:

PROFESSIONAL LICENSE

ISSUE NO.	DESCRIPTION	ISSUE DATE
01	ARCHITECTURE REVIEW BOARD	07.24.20

KEY PLAN

PROJECT PROJECT NO.: 20_01

VALENCIA RESIDENCE

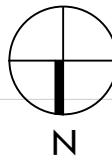
DRAWING TITLE

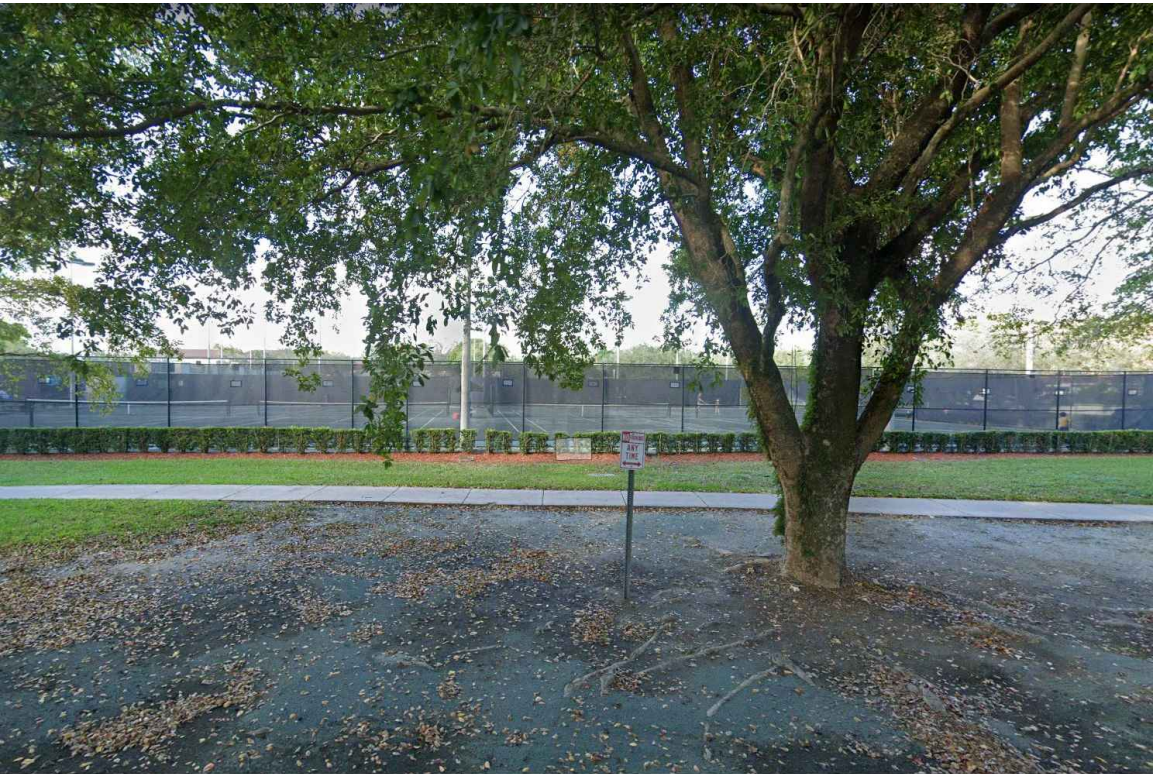
SURVEY

SCALE DRAWING NO.

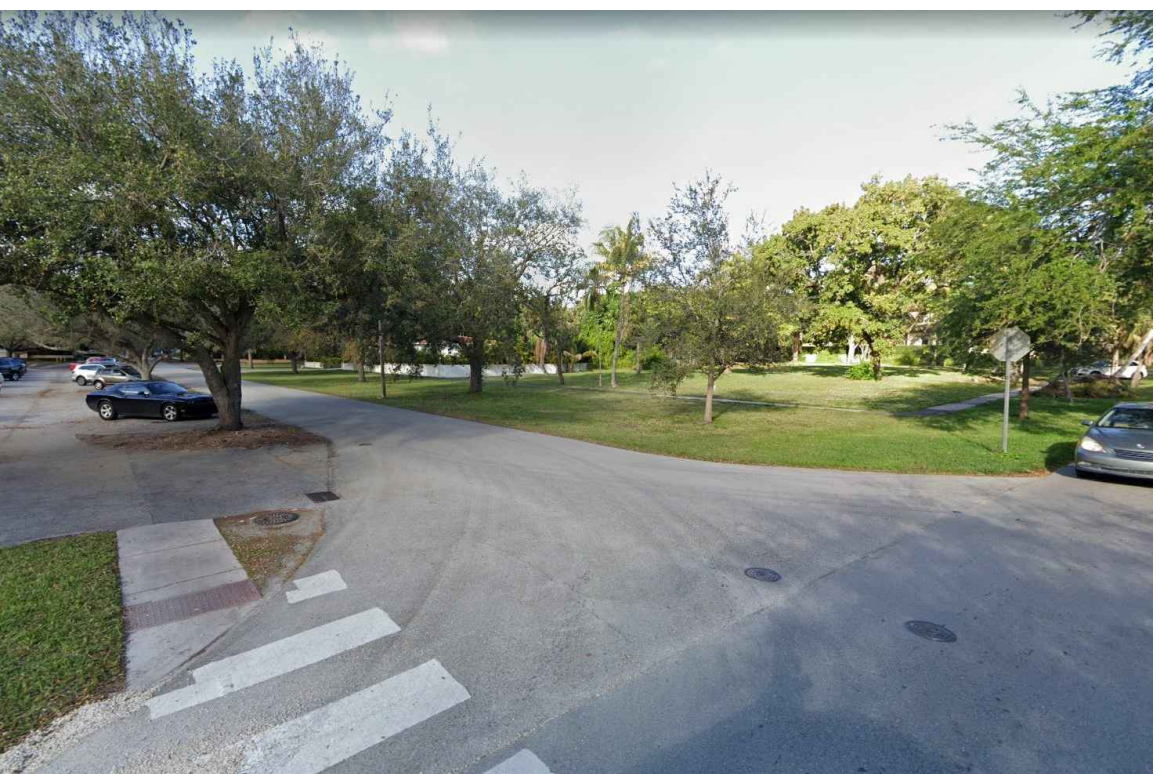
A-002

1
A-002 SURVEY
NTS





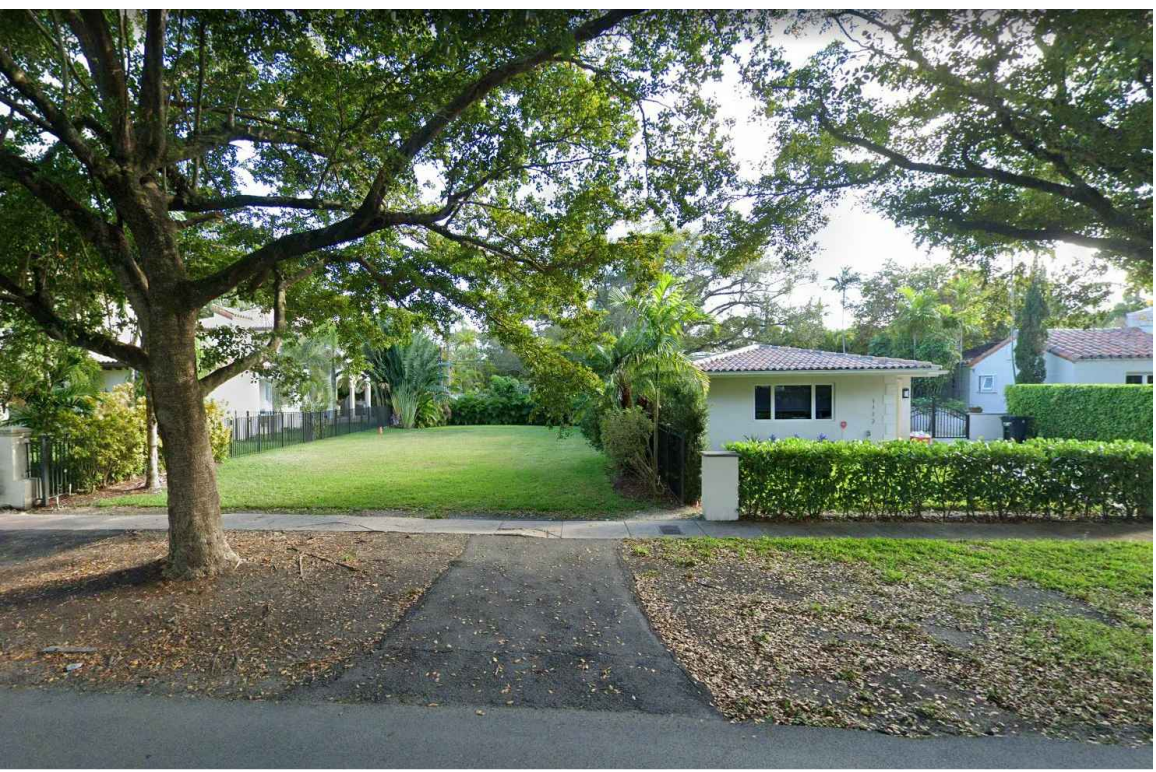
1
A-003
PARK IN FRONT OF SITE
NTS



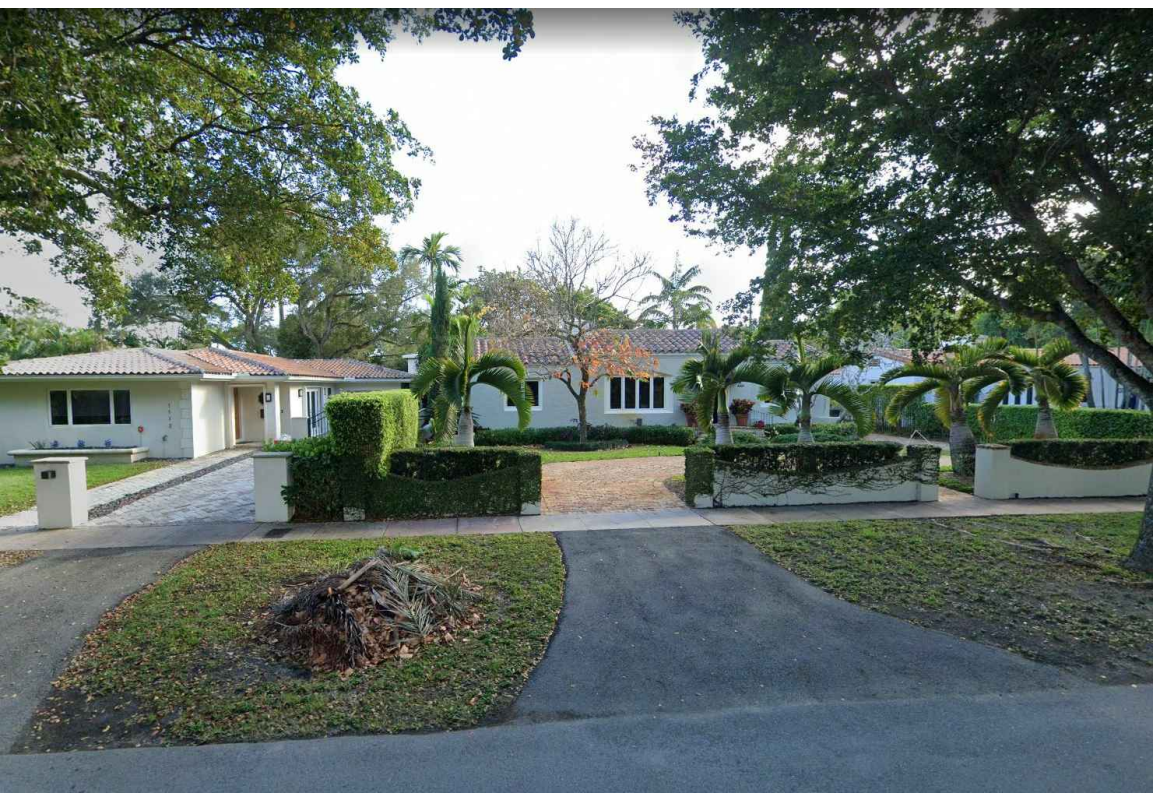
2
A-003
INTERSECTION FRONT OF SITE
NTS



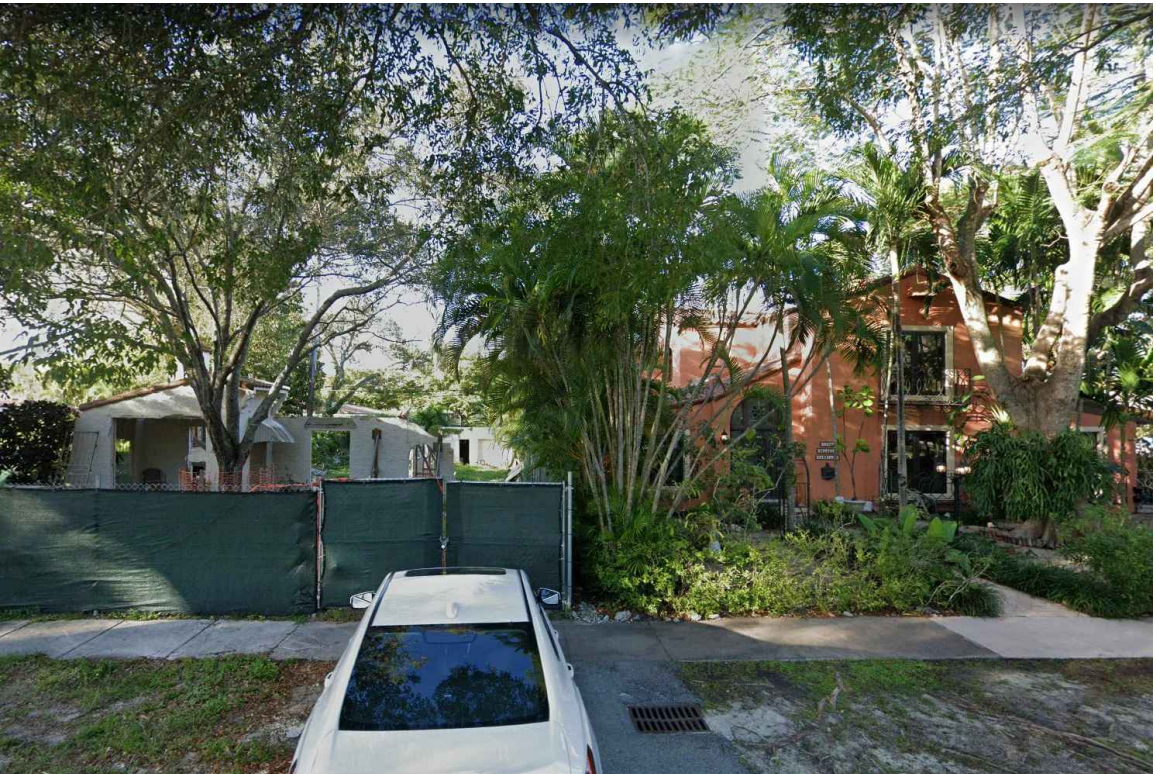
3
A-003
NEIGHBOR TO THE LEFT OF SITE
NTS



4
A-003
SITE
NTS



5
A-003
NEIGHBOR TO THE RIGHT OF SITE
NTS



6
A-003
REAR NEIGHBORS
NTS



7
A-003
INSPIRATION IMAGE OF VENETIAN POOL
NTS



8
A-003
VENETIAN POOL BLUE COLOR IMAGE
NTS

ARCHITECTURE LICENSE REGISTRATION NUMBER:
REUBEN RAMOS: AR98369

OWNER / CLIENT
KEVIN & CLAIRE RODRIGUEZ
1108 VALENCIA AVE.
CORAL GABLES, FL. 33134
PHONE:

STRUCTURAL ENGINEER
KHAN & ASSOCIATES
TAIMUR KHAN
7400 SW 50TH TERRACE SUITE 105
MIAMI FLORIDA 33155
PHONE: 305-662-2301

MECHANICAL/ELECTRICAL/PLUMBING
H VIDAL & ASSOCIATES
HENRY VIDAL
241 NW S RIVER DRIVE
MIAMI FL 33128
PHONE: 305-571-1860

LANDSCAPE ARCHITECT
TRAVIS HARRISON

PHONE:

PROFESSIONAL LICENSE

ISSUE NO.	DESCRIPTION	ISSUE DATE
01	ARCHITECTURE REVIEW BOARD	07.24.20

KEY PLAN

PROJECT PROJECT NO.: 20_01

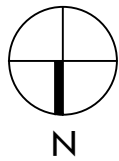
VALENCIA RESIDENCE

DRAWING TITLE

NEIGHBORHOOD CONTEXT

SCALE

DRAWING NO.



A-003

FOLIO NUMBER: 03-4118-001-1620

1. REFER TO THE RECORDED PLAT FOR INFORMATION RELATED TO THIS PROPERTY
2. SITE TO BE FILLED TO GOVERNMENT FLOOD CRITERIA ELEVATION N.G.V.D OR AN ELEVATION NOT LESS THAN THE HIGHEST APPROVED CROWN ELEVATIONS OF THE ROAD ABUTTING THE PROPERTY
3. LOW WATER BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORM WATER INTO NEIGHBORING PROPERTIES.
4. REFER TO LEGAL SURVEY FOR SITE GEOMETRY, BOUNDARIES, ELEVATIONS AND LOCATION OF EXISTING ELEMENTS.
5. ALL RAINWATER WILL BE RETAINED ON PROPERTY

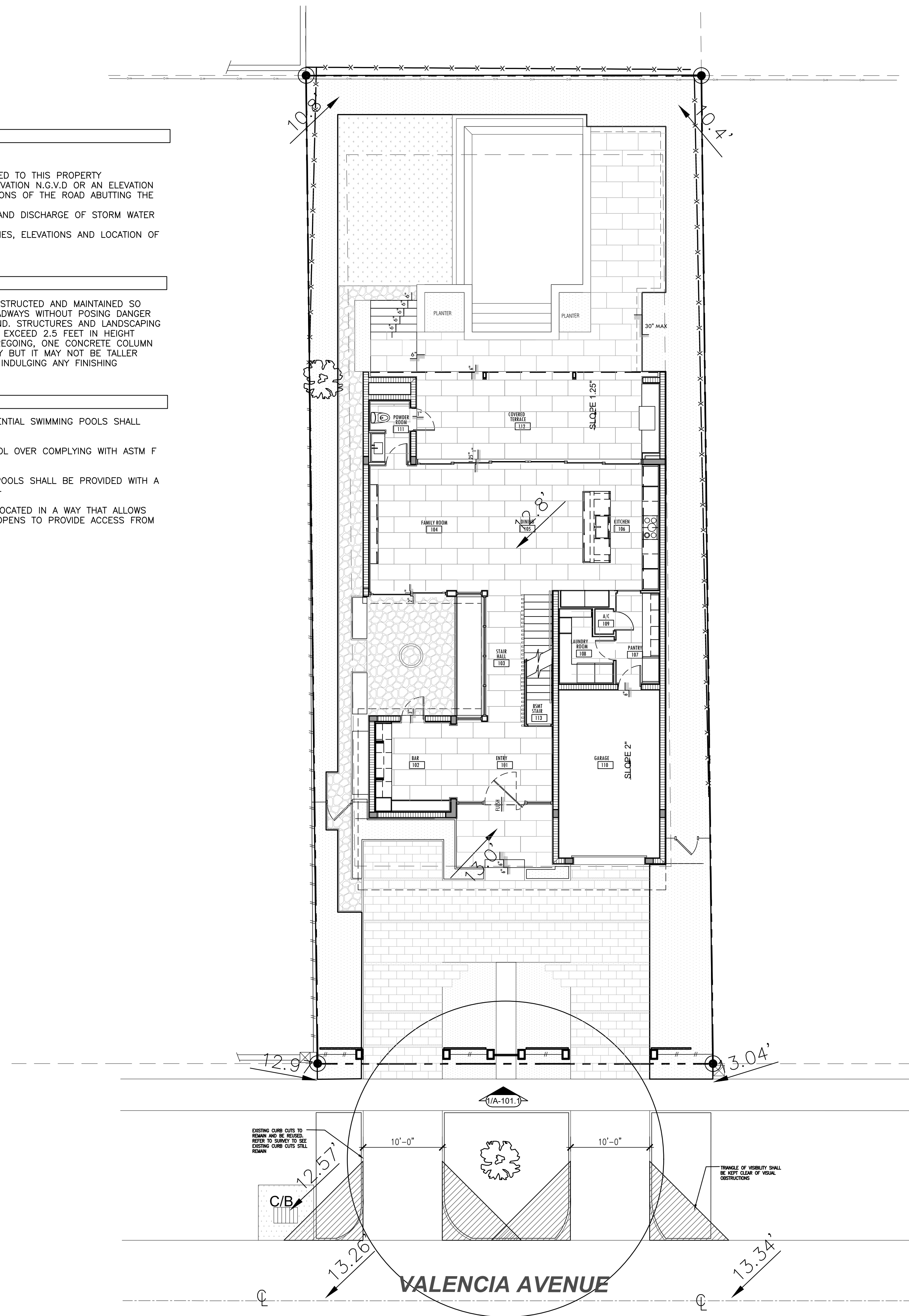
ALL DRIVEWAY/ROADWAY ENTRANCES AND EXITS SHALL BE CONSTRUCTED AND MAINTAINED SO THAT VEHICLES CAN ENTER, EXIT, AND TRAVEL ALONG THE ROADWAYS WITHOUT POSING DANGER TO OCCUPANTS, PEDESTRIANS OR OTHER VEHICLES. TO THE END, STRUCTURES AND LANDSCAPING SHALL NOT OBSCURE THE VISIBILITY TRIANGLE AND SHALL NOT EXCEED 2.5 FEET IN HEIGHT WITHIN THE TRIANGLE OF VISIBILITY. NOTWITHSTANDING THE FOREGOING, ONE CONCRETE COLUMN MAY BE ERRECTED WITHIN THE TRIANGLE NEXT TO THE DRIVEWAY BUT IT MAY NOT BE TALLER THAN EIGHT FEET OR WIDER THAN 18 INCHES BY 18 INCHES. INDULGING ANY FINISHING MATERIALS

R410.17 RESIDENTIAL SWIMMING BARRIER REQUIREMENT. RESIDENTIAL SWIMMING POOLS SHALL COMPLY WITH SECTION R4101.17.1 THROUGH R4101.17.3.

EXCEPTION: A SWIMMING POOL WITH AN APPROVED SAFETY POOL OVER COMPLYING WITH ASTM F 1346

R4101.17.1 OUTDOOR SWIMMING POOLS. OUTDOOR SWIMMING POOLS SHALL BE PROVIDED WITH A BARRIER COMPLYING WITH R4101.17.1 THROUGH R4101.17.1.14

R4101.17.3 PROHIBITED LOCATIONS. A BARRIER MAY NOT BE LOCATED IN A WAY THAT ALLOWS ANY PERMANENTS STRUCTURE, EQUIPMENT, OR WINDOW THAT OPENS TO PROVIDE ACCESS FROM THE HOME TO THE SWIMMING POOL.



ARCHITECTURE LICENSE REGISTRATION NUMBER:
REUBEN RAMOS: AR98369

OWNER/ CLIENT
KEVIN & CLAIRE RODRIGUEZ
1108 VALENCIA AVE.
CORAL GABLES, FL. 33134
PHONE:

STRUCTURAL ENGINEER
KHAN & ASSOCIATES
TAIMUR KHAN
7400 SW 50TH TERRACE SUITE 105
MIAMI FLORIDA 33155
PHONE: 305-662-2301

MECHANICAL/ELECTRICAL/PLUMBING
H VIDAL & ASSOCIATES
HENRY VIDAL
241 NW S RIVER DRIVE
MIAMI FL. 33128
PHONE: 305-571-1860

LANDSCAPE ARCHITECT
TRAVIS HARRISON

PHONE:

PROFESSIONAL LICENSE

[illegible]

KEY PLAN

PROJECT NO.: 20_01

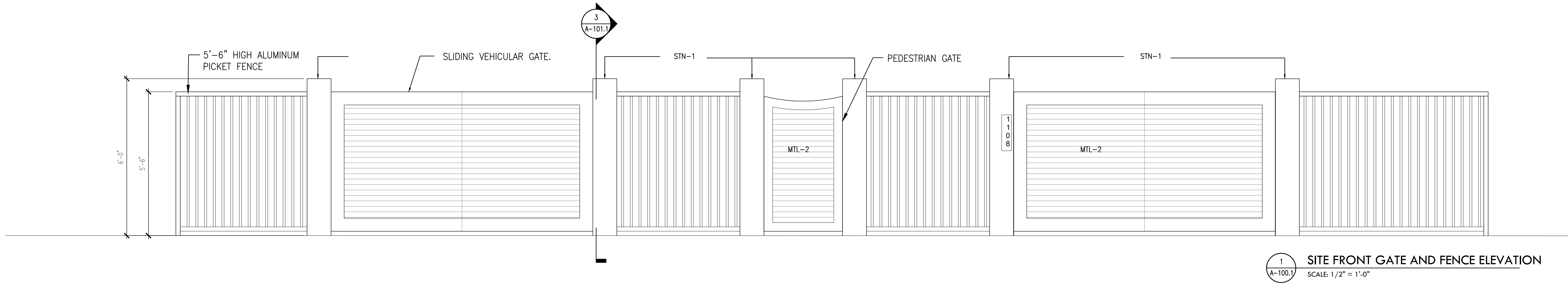
VALENCIA RESIDENCE

DRAWING TITLE

SITE PLAN

SCALE _____ DRAWING NO. _____

A-100.0



ARCHITECTURE LICENSE REGISTRATION NUMBER:
REUBEN RAMOS: AR98369

OWNER / CLIENT
KEVIN & CLAIRE RODRIGUEZ
1108 VALENCIA AVE.
CORAL GABLES, FL. 33134
PHONE:

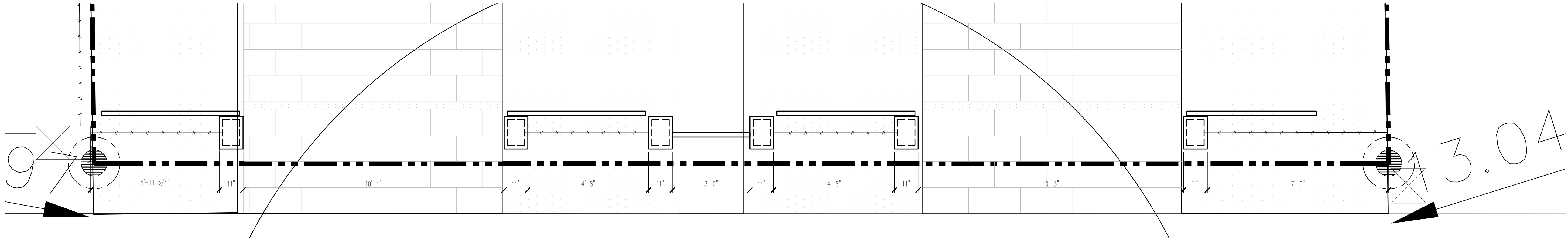
STRUCTURAL ENGINEER
KHAN & ASSOCIATES
TAIMUR KHAN
7400 SW 50TH TERRACE SUITE 105
MIAMI FLORIDA 33155
PHONE: 305-662-2301

MECHANICAL/ELECTRICAL/PLUMBING
H VIDAL & ASSOCIATES
HENRY VIDAL
241 NW S RIVER DRIVE
MIAMI FL 33128
PHONE: 305-571-1860

LANDSCAPE ARCHITECT
TRAVIS HARRISON

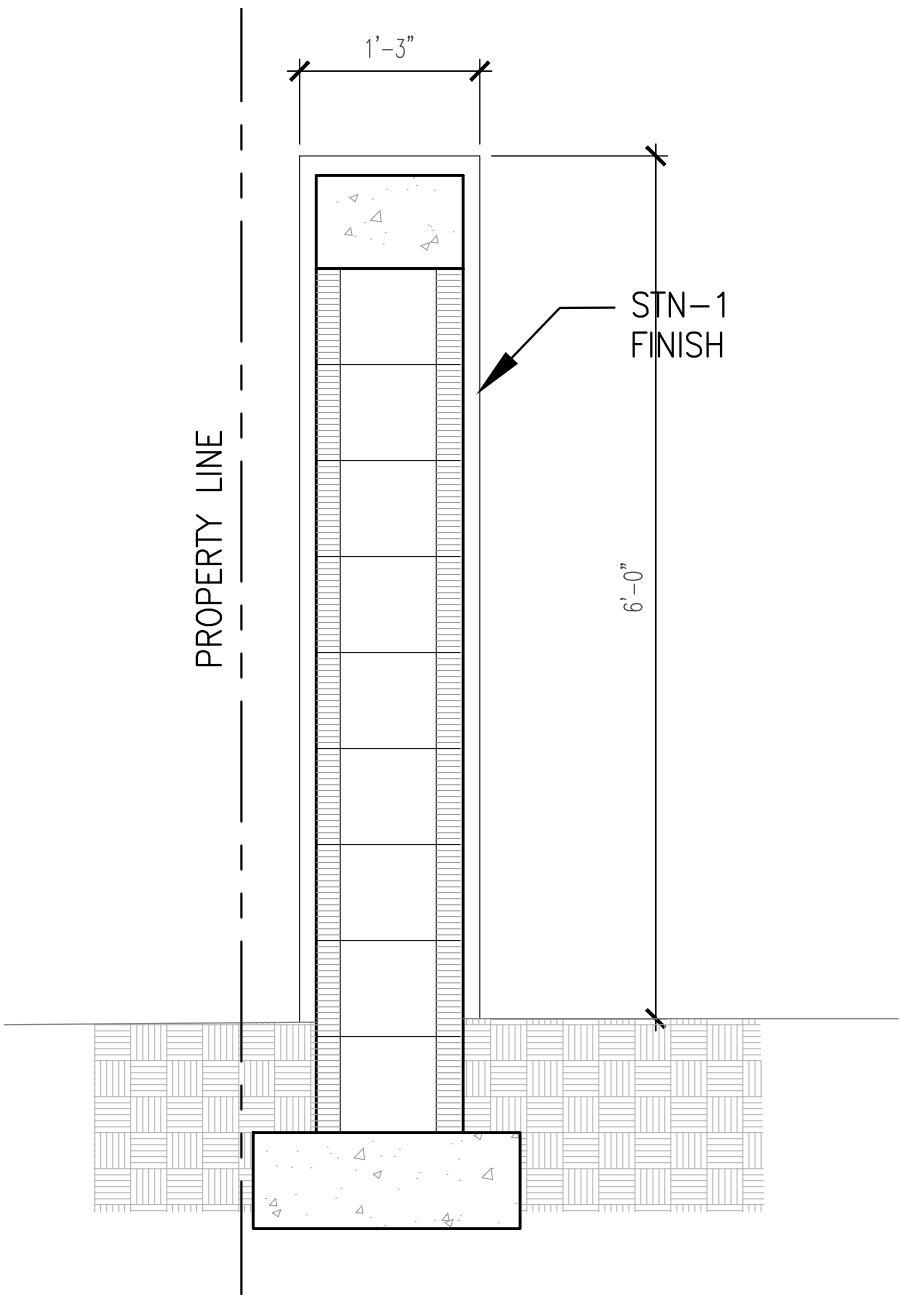
PHONE:

PROFESSIONAL LICENSE



ISSUE NO.	DESCRIPTION	ISSUE DATE
	ARCHITECTURE REVIEW BOARD	07.24.20

KEY PLAN



PROJECT PROJECT NO.: 20_01

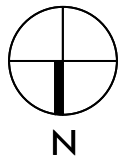
VALENCIA RESIDENCE

DRAWING TITLE

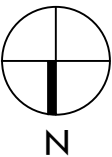
SITE PLAN DTLS

SCALE

DRAWING NO.

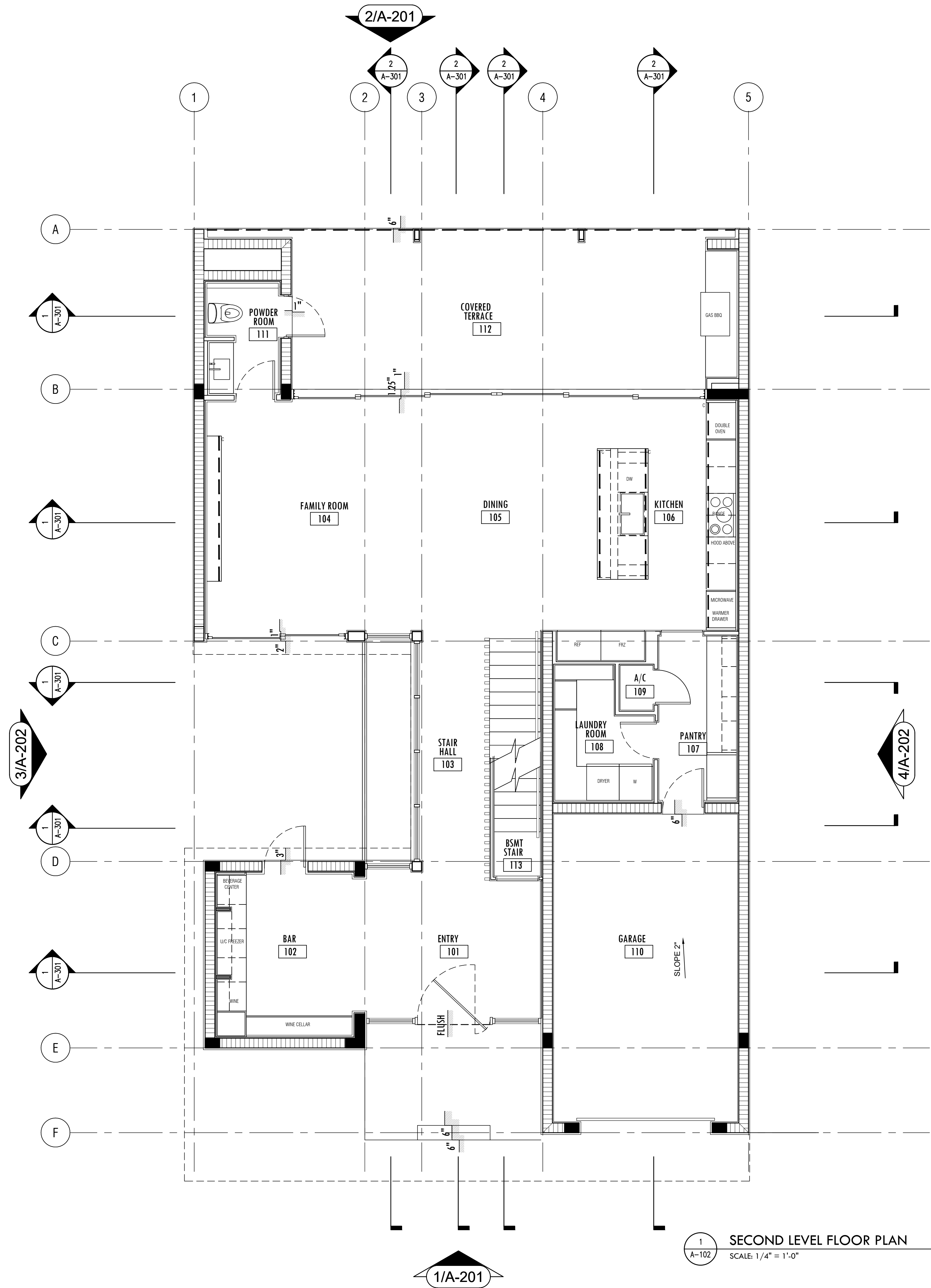


A-100.1



A-101

SCALE: 1/4" = 1'-0"



ARCHITECTURE LICENSE REGISTRATION NUMBER:
REUBEN RAMOS: AR98369

OWNER / CLIENT
KEVIN & CLAIRE RODRIGUEZ
1108 VALENCIA AVE.
CORAL GABLES, FL. 33134
PHONE:

STRUCTURAL ENGINEER
KHAN & ASSOCIATES
TAIMUR KHAN
7400 SW 50TH TERRACE SUITE 105
MIAMI FLORIDA 33155
PHONE: 305-662-2301

MECHANICAL/ELECTRICAL/PLUMBING
H VIDAL & ASSOCIATES
HENRY VIDAL
241 NW S RIVER DRIVE
MIAMI FL 33128
PHONE: 305-571-1860

LANDSCAPE ARCHITECT
TRAVIS HARRISON

PHONE:

PROFESSIONAL LICENSE

ISSUE NO.	DESCRIPTION	ISSUE DATE
1	DD SET	05.26.20

KEY PLAN

PROJECT PROJECT NO.: 20_01

VALENCIA RESIDENCE

DRAWING TITLE

GROUND LEVEL FLOOR PLAN

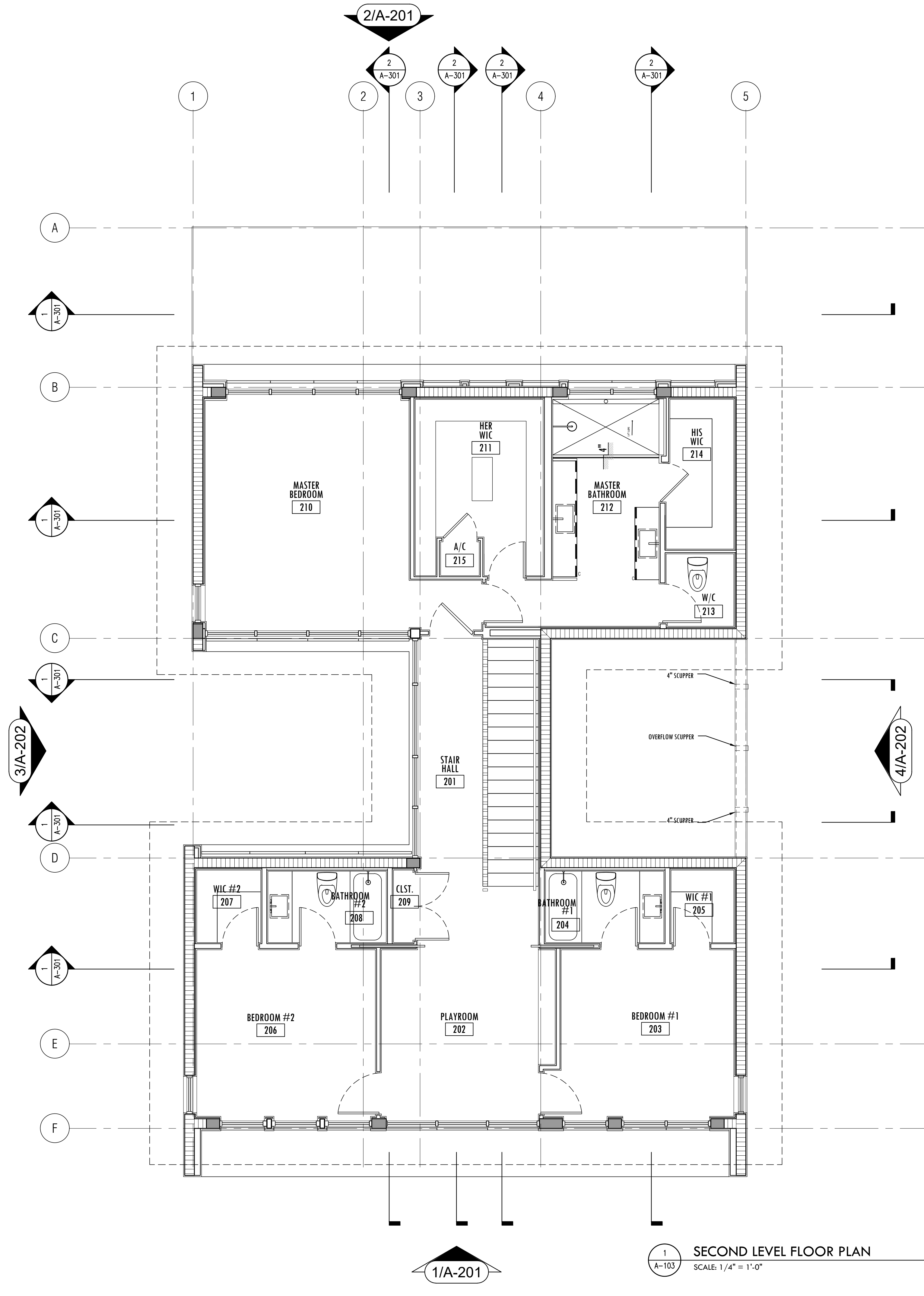
SCALE

DRAWING NO.

A-102

SECOND LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



ARCHITECTURE LICENSE REGISTRATION NUMBER:
REUBEN RAMOS: AR98369

OWNER / CLIENT
KEVIN & CLAIRE RODRIGUEZ
1108 VALENCIA AVE.
CORAL GABLES, FL. 33134
PHONE:

STRUCTURAL ENGINEER
KHAN & ASSOCIATES
TAIMUR KHAN
7400 SW 50TH TERRACE SUITE 105
MIAMI FLORIDA 33155
PHONE: 305-662-2301

MECHANICAL/ELECTRICAL/PLUMBING
H VIDAL & ASSOCIATES
HENRY VIDAL
241 NW S RIVER DRIVE
MIAMI FL 33128
PHONE: 305-571-1860

LANDSCAPE ARCHITECT
TRAVIS HARRISON

PHONE:

PROFESSIONAL LICENSE

ISSUE NO.	DESCRIPTION	ISSUE DATE
	ARCHITECTURE REVIEW BOARD	07.24.20

KEY PLAN

PROJECT PROJECT NO.: 20_01

VALENCIA RESIDENCE

DRAWING TITLE

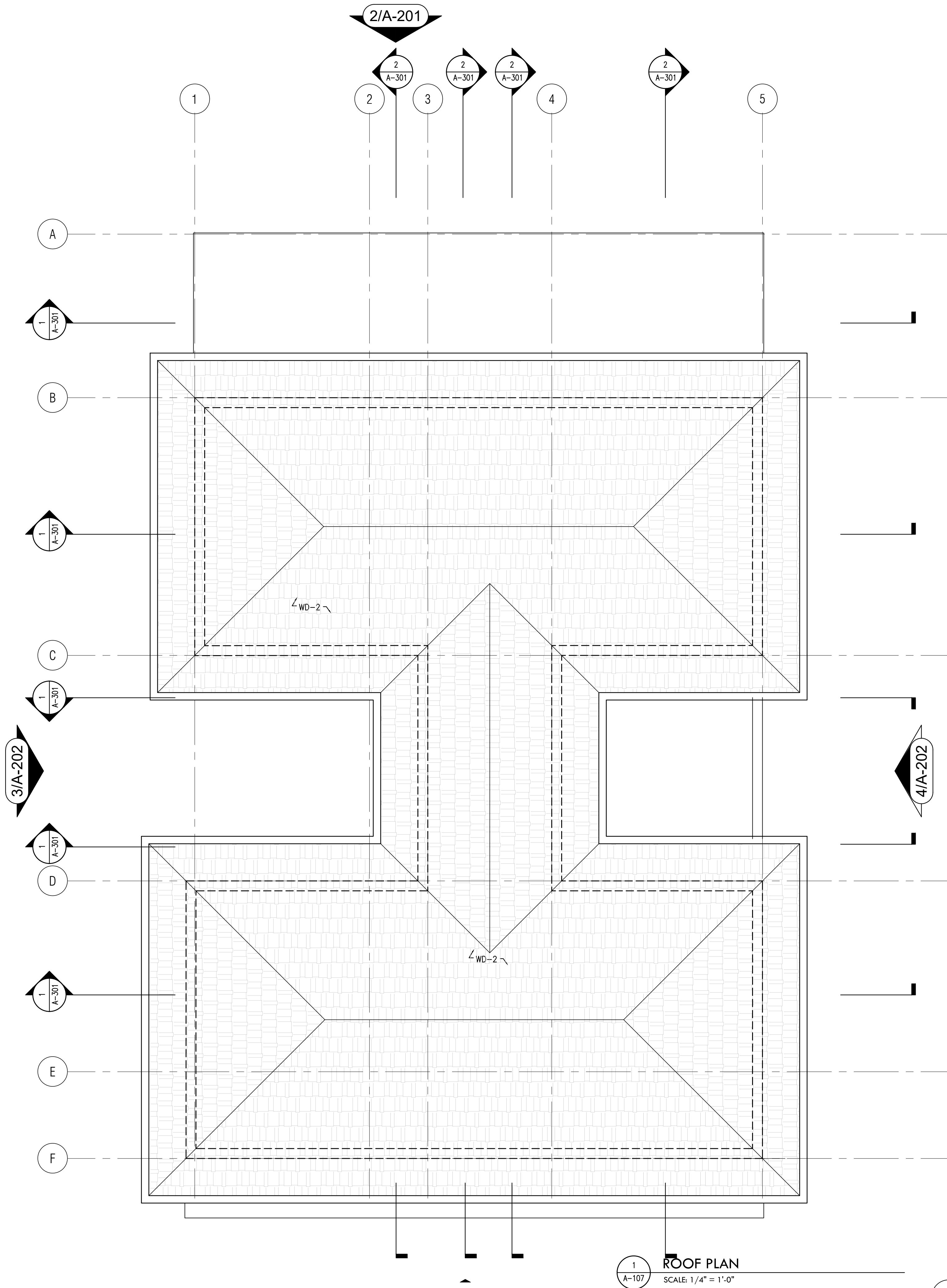
SECOND LEVEL FLOOR PLAN

SCALE

DRAWING NO.

1 SECOND LEVEL FLOOR PLAN
A-103 SCALE: 1/4" = 1'-0"

A-103



ARCHITECTURE LICENSE REGISTRATION NUMBER:
REUBEN RAMOS: AR98369

OWNER / CLIENT
KEVIN & CLAIRE RODRIGUEZ
1108 VALENCIA AVE.
CORAL GABLES, FL. 33134
PHONE:

STRUCTURAL ENGINEER
KHAN & ASSOCIATES
TAIMUR KHAN
7400 SW 50TH TERRACE SUITE 105
MIAMI FLORIDA 33155
PHONE: 305-662-2301

MECHANICAL/ELECTRICAL/PLUMBING
H VIDAL & ASSOCIATES
HENRY VIDAL
241 NW S RIVER DRIVE
MIAMI FL. 33128
PHONE: 305-571-1860

LANDSCAPE ARCHITECT
TRAVIS HARRISON

PHONE:

PROFESSIONAL LICENSE

ISSUE NO.	DESCRIPTION	ISSUE DATE
	ARCHITECTURE REVIEW BOARD	07.24.20

KEY PLAN

PROJECT PROJECT NO.: 20_01

VALENCIA RESIDENCE

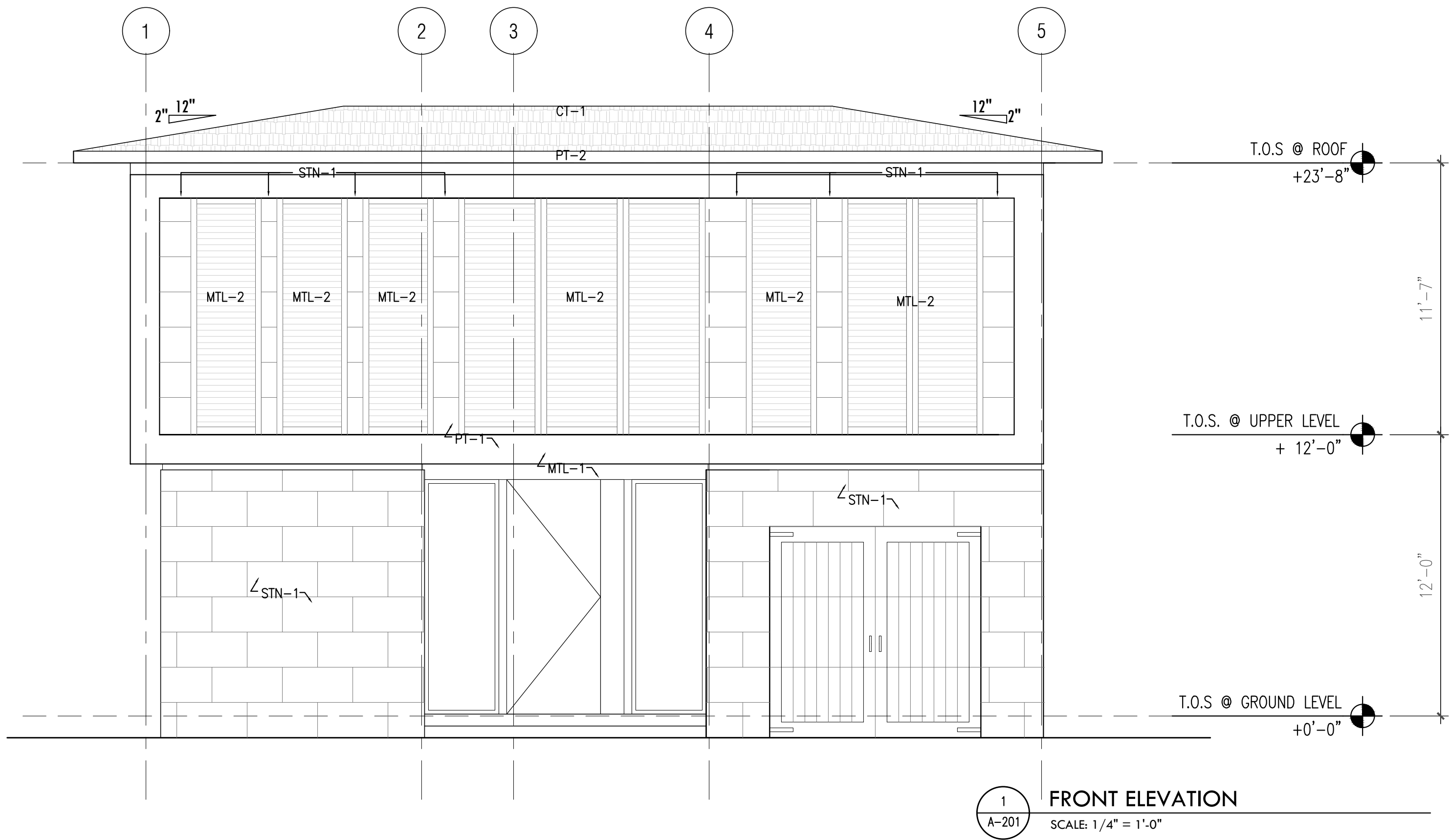
DRAWING TITLE

ROOF PLAN

SCALE

DRAWING NO.

A-104



ARCHITECTURE LICENSE REGISTRATION NUMBER:
REUBEN RAMOS: AR98369

OWNER / CLIENT
KEVIN & CLAIRE RODRIGUEZ
1108 VALENCIA AVE.
CORAL GABLES, FL. 33134
PHONE:

STRUCTURAL ENGINEER
KHAN & ASSOCIATES
TAIMUR KHAN
7400 SW 50TH TERRACE SUITE 105
MIAMI FLORIDA 33155
PHONE: 305-662-2301

MECHANICAL/ELECTRICAL/PLUMBING
H VIDAL & ASSOCIATES
HENRY VIDAL
241 NW S RIVER DRIVE
MIAMI FL 33128
PHONE: 305-571-1860

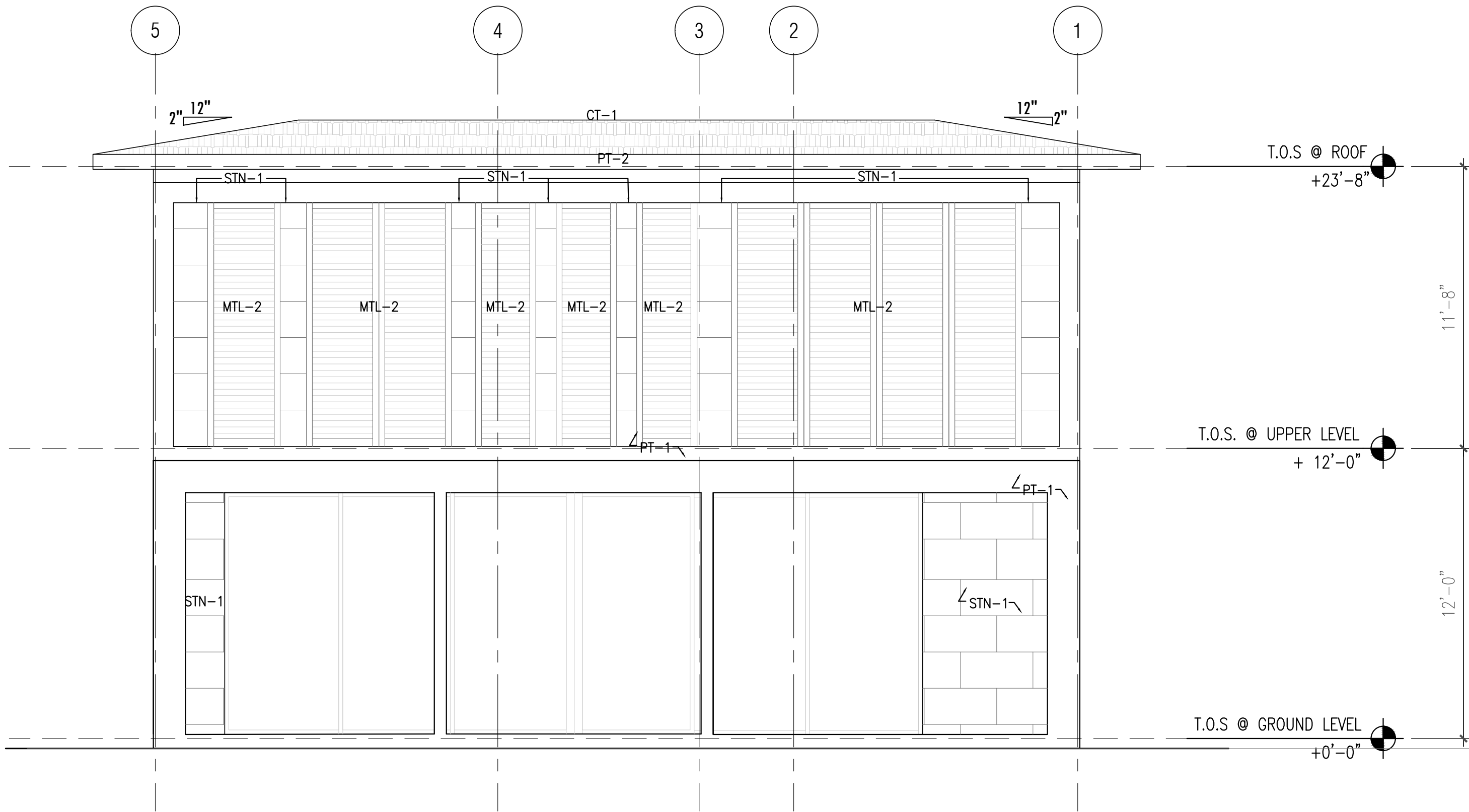
LANDSCAPE ARCHITECT
TRAVIS HARRISON

PHONE:

PROFESSIONAL LICENSE

ISSUE NO.	DESCRIPTION	ISSUE DATE
1	ARCHITECTURE REVIEW BOARD	07.24.20

KEY PLAN



PROJECT PROJECT NO.: 20_01

VALENCIA RESIDENCE

DRAWING TITLE

FRONT AND REAR ELEATION

SCALE DRAWING NO.

A-201

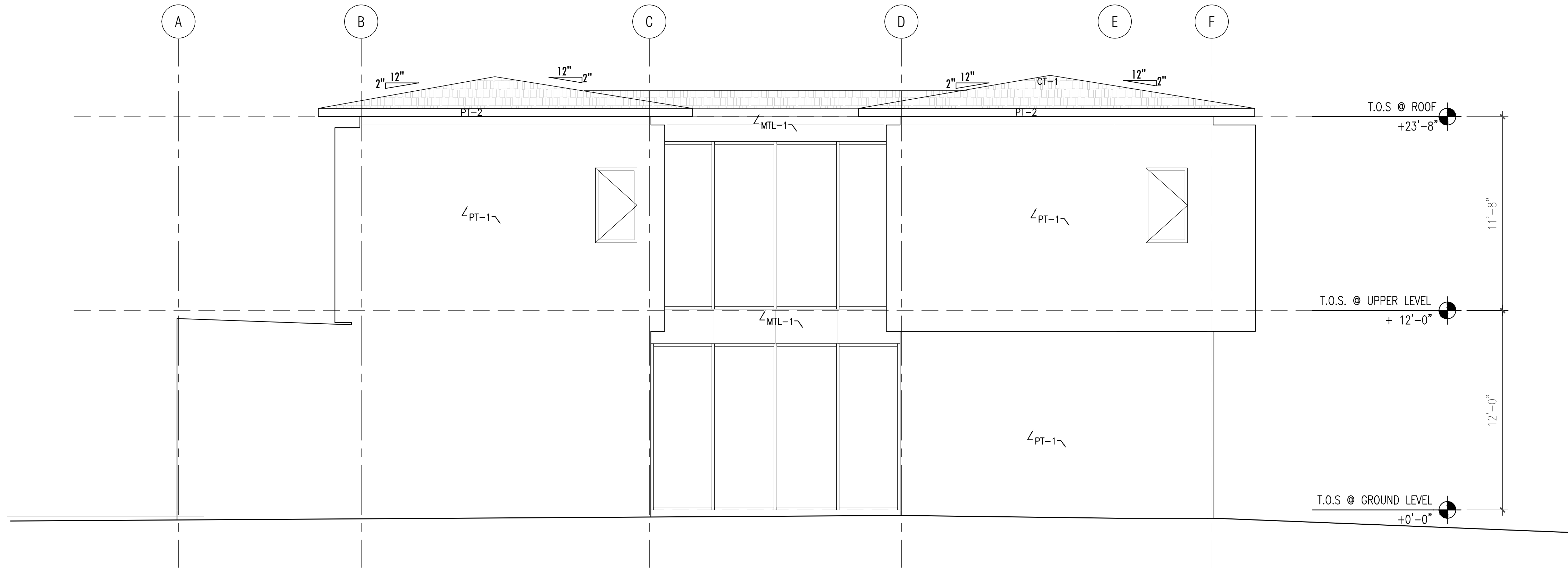
MATERIALS LEGEND

PT-1 5/8" EXTERIOR CEMENT PLASTER, SMOOTH FINISH.
EXTERIOR GRADE ACRYLIC LATEX WHITE PAINT OR APPROVED EQUAL.
PT-2 5/8" EXTERIOR CEMENT PLASTER, SMOOTH FINISH.
EXTERIOR GRADE ACRYLIC LATEX BLACK PAINT OR APPROVED EQUAL.
AL-1 LARGE AND SMALL MISSILE IMPACT RESISTANT ALUMINUM SLIDING GLASS DOOR SYSTEM. (NIA NO.17505.02) OR APPROVED EQUAL.
AL-2 LARGE AND SMALL MISSILE IMPACT RESISTANT ALUMINUM WINDOW WALL SYSTEM. (NIA NO.19-0516.03) OR APPROVED EQUAL.
AL-3 LARGE AND SMALL MISSILE IMPACT RESISTANT ALUMINUM CASEMENT WINDOW SYSTEM. (FBC NO.19-0528.06) OR APPROVED EQUAL.

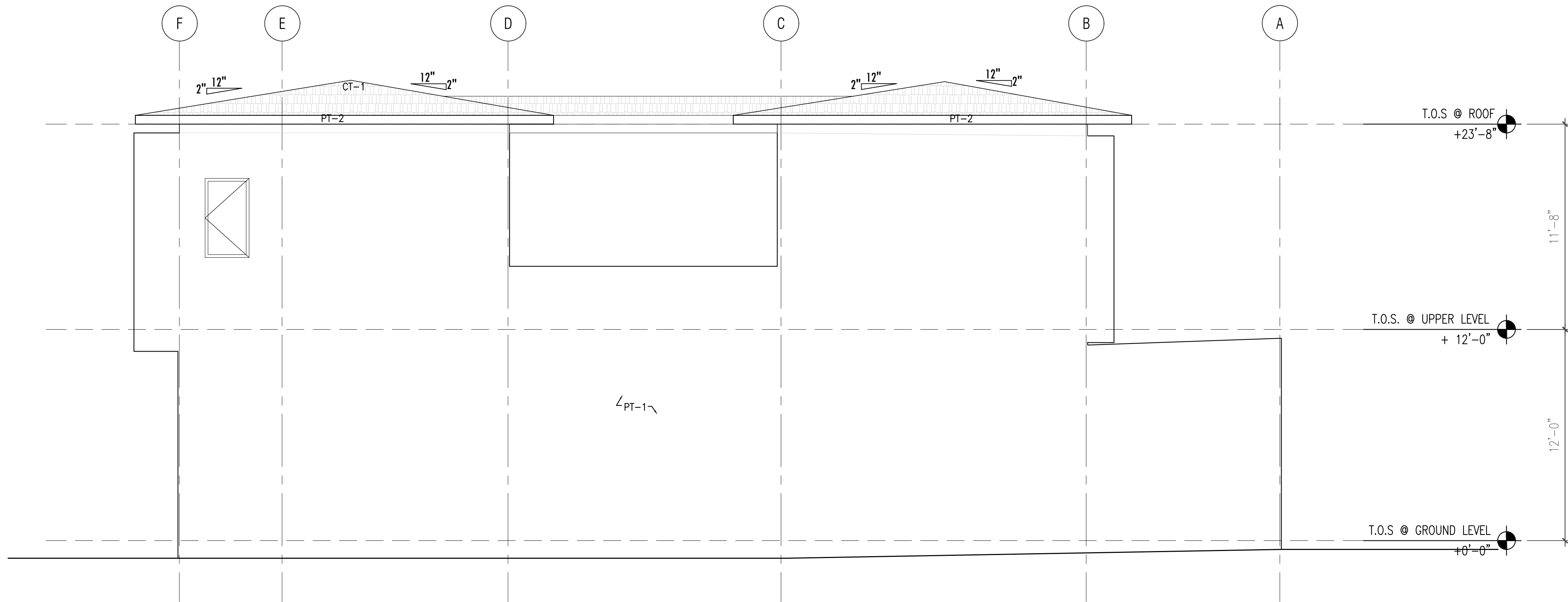
AL-4 LARGE AND SMALL MISSILE IMPACT RESISTANT ALUMINUM DOOR SYSTEM. (NIA NO.18-0319.09) OR APPROVED EQUAL.
MTL-1 ALUMINUM BREAK METAL CLADDING TO MATCH (AL-1, AL-2, AL-3)
MTL-2 METAL SHUTTERS, POWDER COATED BLUE PAINT FINISH. PROVIDE MOCKUP FOR ARCHITECT APPROVAL.
MTL-3 STAINLESS STEEL METAL RAILING.
GL-1 LARGE MISSILE IMPACT RESISTANT LAMINATED GLASS UNIT, 1/4" THICK HEAT STRENGTHENED CLEAR GLASS, CLEAR INTERLAYER (0.09 TO 0.12 AS REQ.), 1/4" THICK HEAT STRENGTHENED CLEAR GLASS. FOR USE IN AL-1, AL-2 AND AL-3 SYSTEMS UNLESS OTHERWISE NOTED. PROVIDE SAMPLES FOR APPROVAL.
STN-1 SHW CUT 3/4" FLORIDA KEystone.
CT-1 FLAT CONCRETE TILE NIA 18-0509.18 OR APPROVED EQUAL.

NOTES:

- LAMINATED GLASS INTERLAYER THICKNESS AS REQUIRED BY Dade-County IMPACT RATING.
- GLASS, HMR APPROVED EQUAL.
- ALL INTERIOR FINISHES TO BE PROVIDED BY OWNER.
- RAILINGS-GUARDRAILS, LOUVER SYSTEM, ELEVATOR, POOL, EXTERIOR DOORS AND WINDOWS ARE UNDER A SEPARATE PERMIT. RAILINGS-GUARDRAILS SHALL BE TESTED TO COMPLY WITH FBC 1618.4.6.1, ANSI Z97.1, AND IMPACT TEST TAS201 6.1



1
A-202
EAST ELEVATION
SCALE: 1/4" = 1'-0"



MATERIALS LEGEND

PT-1 5/8" EXTERIOR CEMENT PLASTER, SMOOTH FINISH.
EXTERIOR GRADE ACRYLIC LATEX WHITE PAINT OR APPROVED EQUAL.
PT-2 5/8" EXTERIOR CEMENT PLASTER, SMOOTH FINISH.
EXTERIOR GRADE ACRYLIC LATEX BLACK PAINT OR APPROVED EQUAL.
AL-1 LARGE AND SMALL MISSILE IMPACT RESISTANT ALUMINUM SLIDING GLASS
DOOR SYSTEM, [DCA NO.17505.02] OR APPROVED EQUAL.
AL-2 LARGE AND SMALL MISSILE IMPACT RESISTANT ALUMINUM WINDOW WALL
SYSTEM, [DCA NO.19-0516.03] OR APPROVED EQUAL.
AL-3 LARGE AND SMALL MISSILE IMPACT RESISTANT ALUMINUM CASEMENT WINDOW
SYSTEM, [FBC NO.19-0528.06] OR APPROVED EQUAL.

AL-4 LARGE AND SMALL MISSILE IMPACT RESISTANT ALUMINUM DOOR SYSTEM.
[DCA NO.18-0319.00] OR APPROVED EQUAL.
MTL-1 ALUMINUM BREAK METAL CLADDING TO MATCH (AL-1, AL-2, AL-3)
MTL-2 METAL SHUTTERS, POWDER COATED BLUE PAINT FINISH. PROVIDE MOCKUP FOR
ARCHITECT APPROVAL.
MTL-3 STAINLESS STEEL METAL RAILING.
GL-1 LARGE MISSILE IMPACT RESISTANT LAMINATED GLASS UNIT, 1/4" THICK HEAT
STRENGTHENED CLEAR GLASS, CLEAR INTERLAYER (0.09 TO 0.12 AS REQ.), 1/4"
THICK HEAT STRENGTHENED CLEAR GLASS. FOR USE IN AL-1, AL-2 AND AL-3
SYSTEMS UNLESS OTHERWISE NOTED. PROVIDE SAMPLES FOR APPROVAL.
STN-1 SHW OUT 3/4" FLORIDA KEystone.
CT-1 FLAT CONCRETE TILE NOA 18-0509.18 OR APPROVED EQUAL.

NOTES:
1. LAMINATED GLASS INTERLAYER THICKNESS AS REQUIRED BY
DADE-COUNTY IMPACT RATING.
2. O.A.E. FOR APPROVED EQUAL.
3. ALL INTERIOR FINISHES TO BE PROVIDED BY OWNER.
4. RAILINGS-GUARDRAILS, LOUVER SYSTEM, ELEVATOR, POOL, EXTERIOR
DOORS AND WINDOWS ARE UNDER A SEPARATE PERMIT.
RAILINGS-GUARDRAILS SHALL BE TESTED TO COMPLY WITH FBC
1618.4.6.1, ANSI Z97.1, AND IMPACT TEST TAS201 6.1

2
A-202
WEST ELEVATION
SCALE: 1/4" = 1'-0"

ARCHITECTURE LICENSE REGISTRATION NUMBER:
REUBEN RAMOS: AR98369

OWNER / CLIENT
KEVIN & CLAIRE RODRIGUEZ
1108 VALENCIA AVE.
CORAL GABLES, FL. 33134
PHONE:

STRUCTURAL ENGINEER
KHAN & ASSOCIATES
TAIMUR KHAN
7400 SW 50TH TERRACE SUITE 105
MIAMI FLORIDA 33155
PHONE: 305-662-2301

MECHANICAL/ELECTRICAL/PLUMBING
H VIDAL & ASSOCIATES
HENRY VIDAL
241 NW S RIVER DRIVE
MIAMI FL 33128
PHONE: 305-571-1860

LANDSCAPE ARCHITECT
TRAVIS HARRISON

PHONE:

PROFESSIONAL LICENSE

ISSUE NO.	DESCRIPTION	ISSUE DATE
	ARCHITECTURE REVIEW BOARD	07.24.20

KEY PLAN

PROJECT PROJECT NO.: 20_01

VALENCIA RESIDENCE

DRAWING TITLE

SIDE ELEVATIONS

SCALE DRAWING NO.

A-202

ARCHITECTURE LICENSE REGISTRATION NUMBER:
RUBEN RAMOS: AR98369

OWNER / CLIENT
KEVIN & CLAIRE RODRIGUEZ
1108 VALENCIA AVE.
CORAL GABLES, FL. 33134
PHONE:

STRUCTURAL ENGINEER
KHAN & ASSOCIATES
TAIMUR KHAN
7400 SW 50TH TERRACE SUITE 105
MIAMI FLORIDA 33155
PHONE: 305-662-2301

MECHANICAL/ELECTRICAL/PLUMBING
H VIDAL & ASSOCIATES
HENRY VIDAL
241 NW S RIVER DRIVE
MIAMI FL. 33128
PHONE: 305-571-1860

LANDSCAPE ARCHITECT
TRAVIS HARRISON

PHONE:

PROFESSIONAL LICENSE

ISSUE NO.	DESCRIPTION	ISSUE DATE
	ARCHITECTURE REVIEW BOARD	07.24.20

KEY PLAN

PROJECT PROJECT NO.: 20_01

VALENCIA RESIDENCE

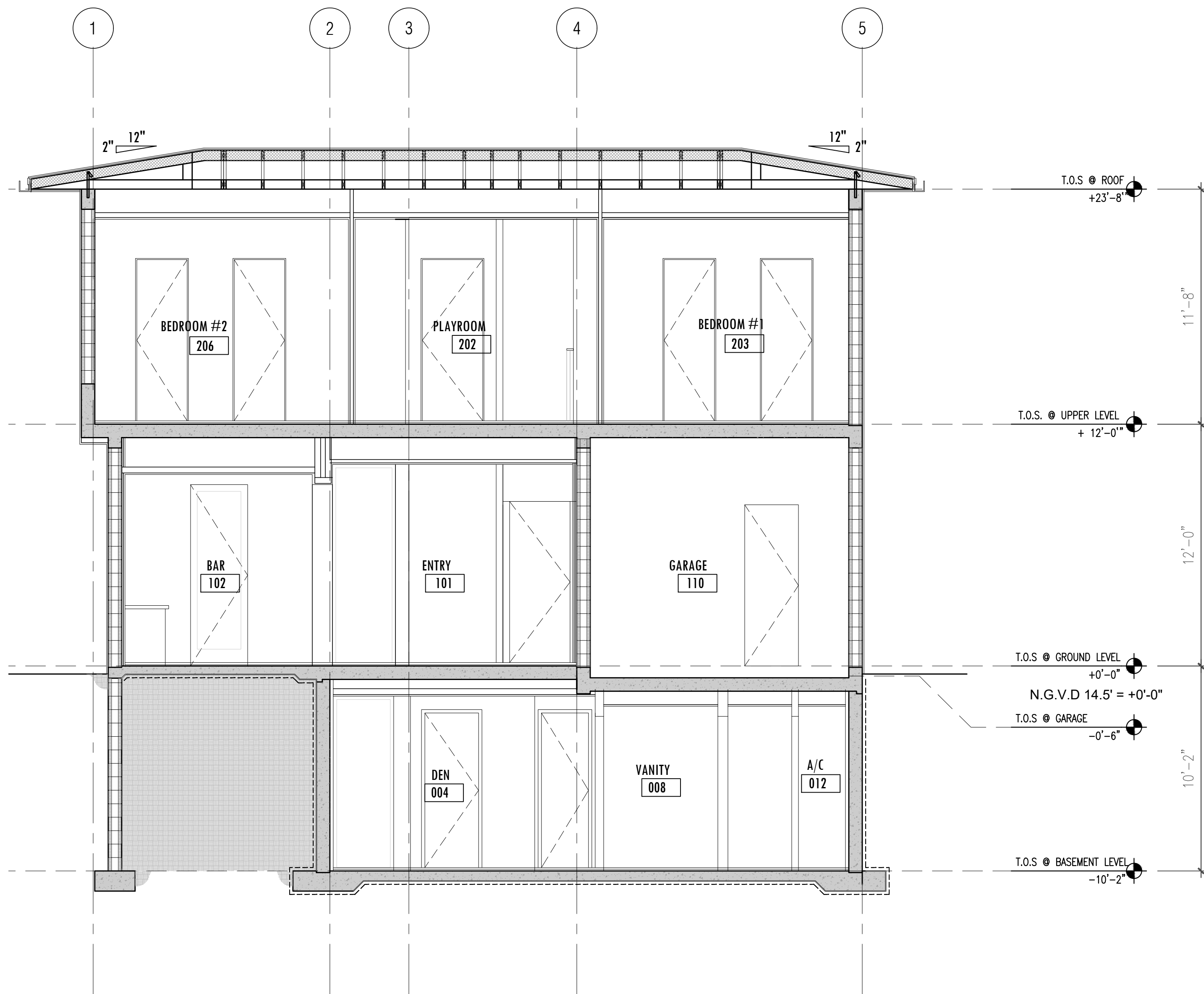
DRAWING TITLE

SECTIONS

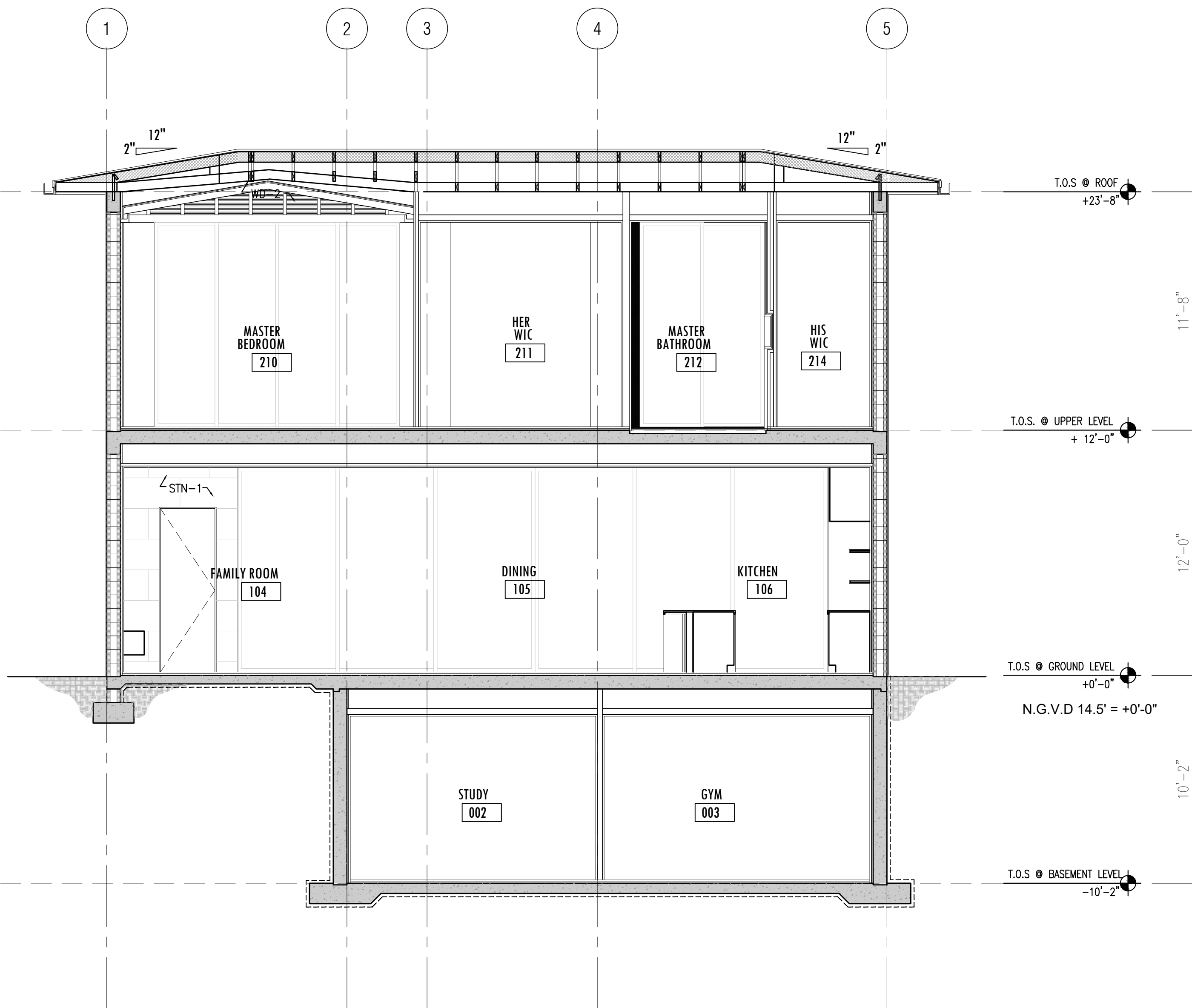
SCALE

DRAWING NO.

A-301



1 SECTION A
A-201 SCALE: 1/4" = 1'-0"



2 SECTION B
A-201 SCALE: 1/4" = 1'-0"

ARCHITECTURE LICENSE REGISTRATION NUMBER:
REUBEN RAMOS: AR98369

OWNER / CLIENT
KEVIN & CLAIRE RODRIGUEZ
1108 VALENCIA AVE.
CORAL GABLES, FL. 33134
PHONE:

STRUCTURAL ENGINEER
KHAN & ASSOCIATES
TAIMUR KHAN
7400 SW 50TH TERRACE SUITE 105
MIAMI FLORIDA 33155
PHONE: 305-662-2301

MECHANICAL/ELECTRICAL/PLUMBING
H VIDAL & ASSOCIATES
HENRY VIDAL
241 NW S RIVER DRIVE
MIAMI FL 33128
PHONE: 305-571-1860

LANDSCAPE ARCHITECT
TRAVIS HARRISON

PHONE:

PROFESSIONAL LICENSE

ISSUE NO.	DESCRIPTION	ISSUE DATE
DD SET		05.26.20

KEY PLAN

PROJECT PROJECT NO.: 20_01

VALENCIA RESIDENCE

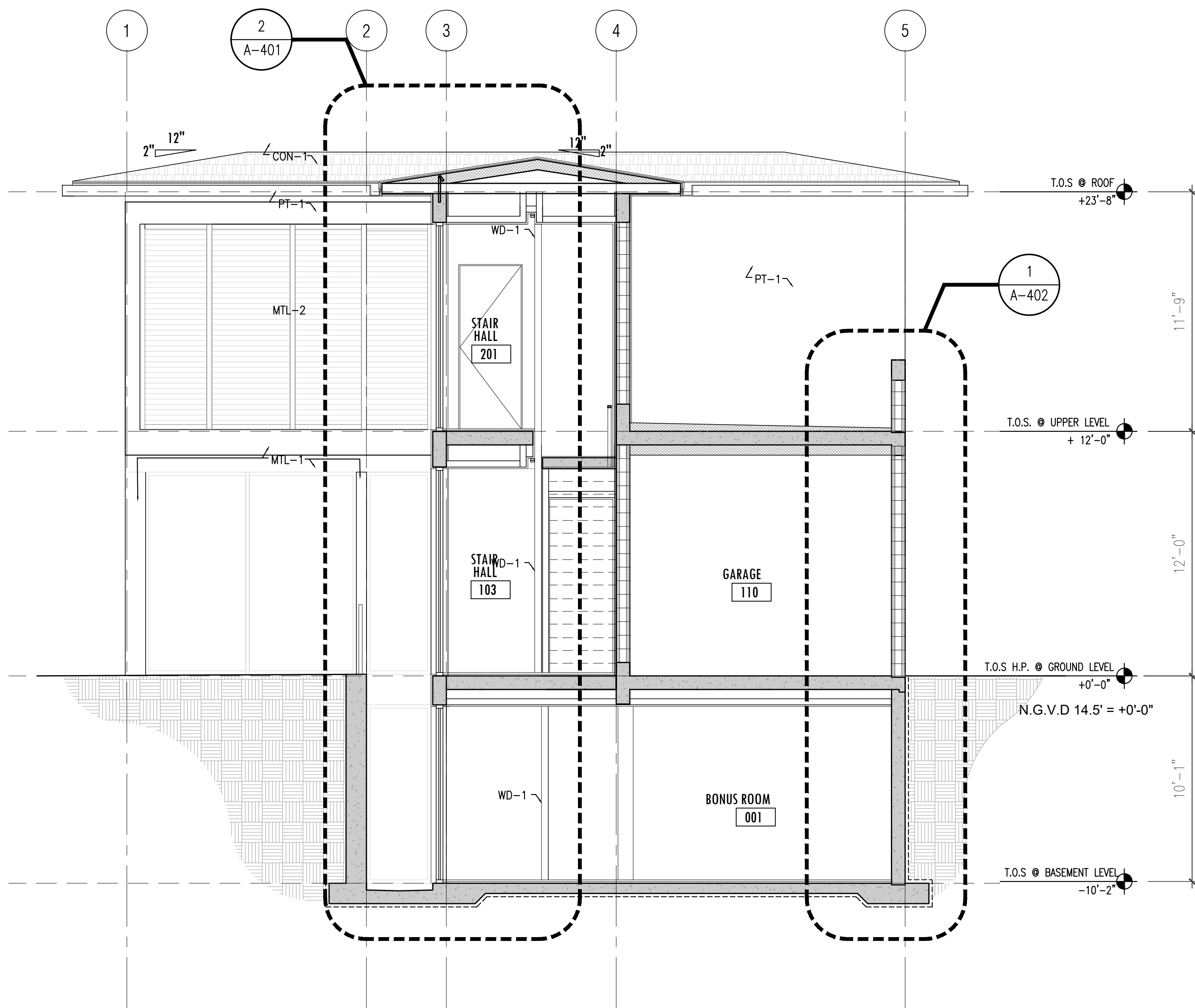
DRAWING TITLE

SECTIONS

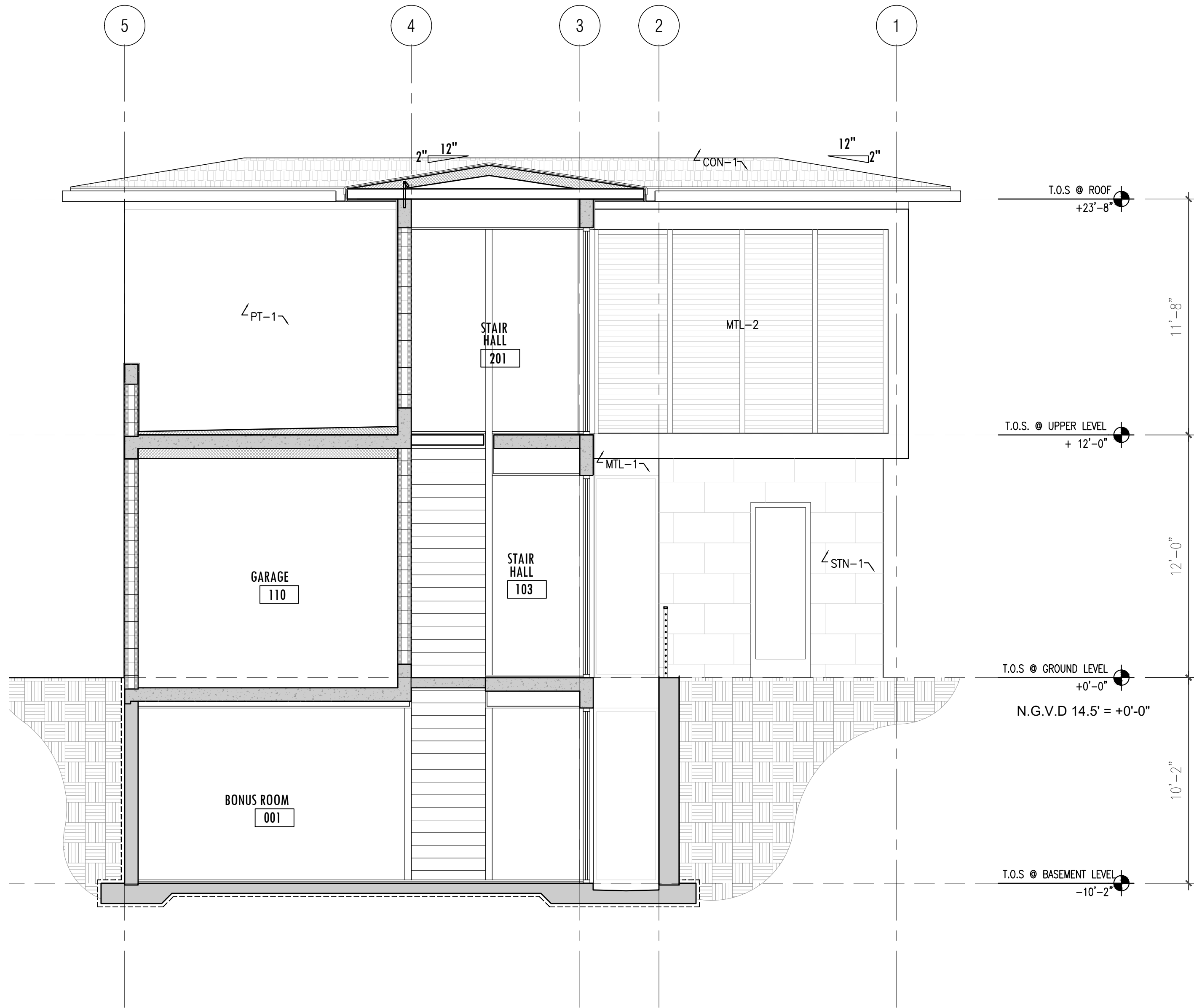
SCALE

DRAWING NO.

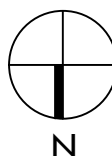
A-302



1 SECTION C
A-202 SCALE: 1/4" = 1'-0"



2 SECTION D
A-202 SCALE: 1/4" = 1'-0"



ARCHITECTURE LICENSE REGISTRATION NUMBER:
REUBEN RAMOS: AR98369

OWNER / CLIENT
KEVIN & CLAIRE RODRIGUEZ
1108 VALENCIA AVE.
CORAL GABLES, FL. 33134
PHONE:

STRUCTURAL ENGINEER
KHAN & ASSOCIATES
TAIMUR KHAN
7400 SW 50TH TERRACE SUITE 105
MIAMI FLORIDA 33155
PHONE: 305-662-2301

MECHANICAL/ELECTRICAL/PLUMBING
H VIDAL & ASSOCIATES
HENRY VIDAL
241 NW S RIVER DRIVE
MIAMI FL. 33128
PHONE: 305-571-1860

LANDSCAPE ARCHITECT
TRAVIS HARRISON

PHONE:

PROFESSIONAL LICENSE

ISSUE NO.	DESCRIPTION	ISSUE DATE
DD SET		05.26.20

KEY PLAN

PROJECT PROJECT NO.: 20_01

VALENCIA RESIDENCE

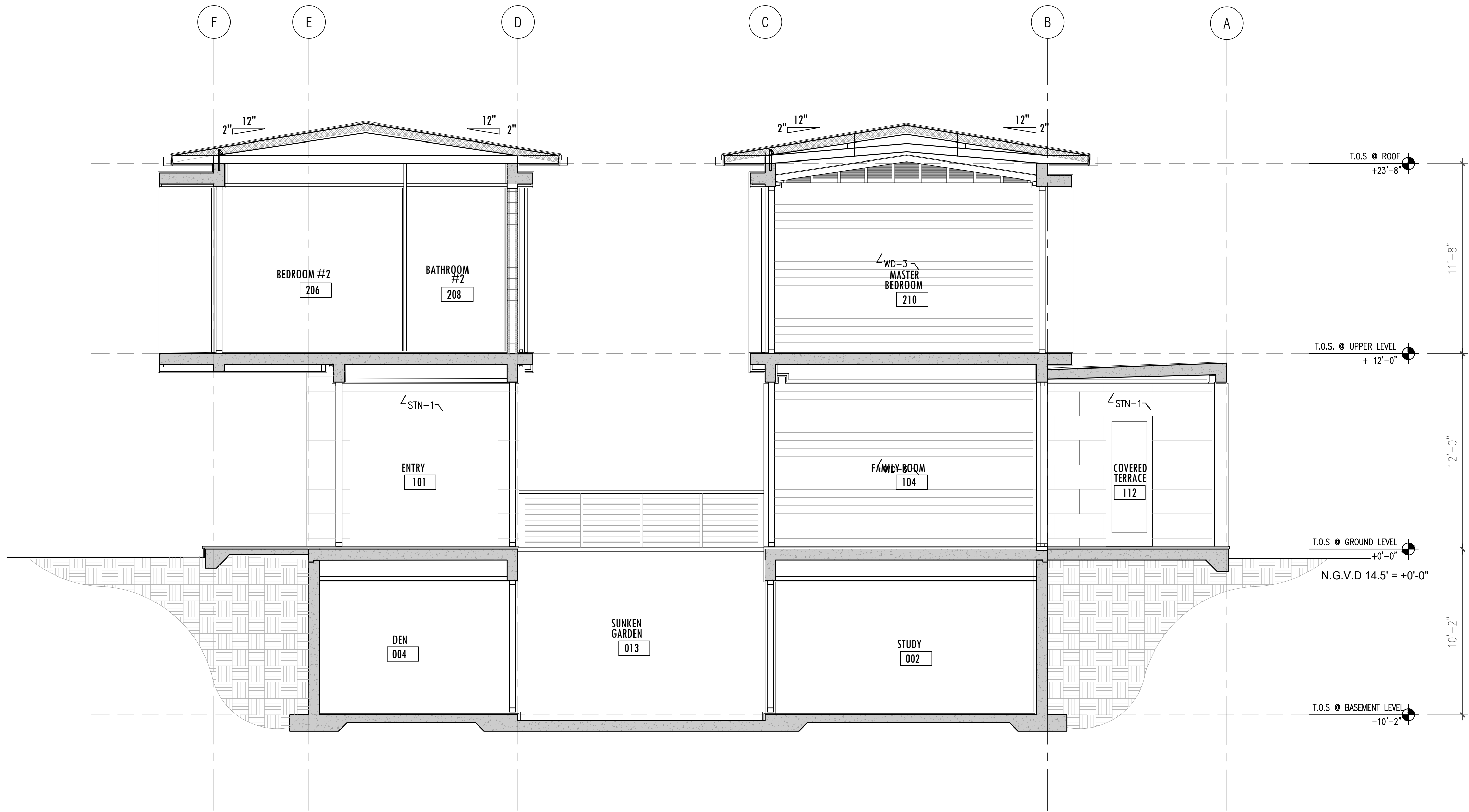
DRAWING TITLE

SECTIONS

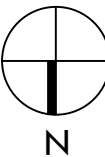
SCALE

DRAWING NO.

A-303



1 SECTION E
A-303 SCALE: 1/4" = 1'-0"



PROJECT CLIENT(S) | OWNER(S):
MR. & MRS. RODRIGUEZ

PROJECT ARCHITECT(S) | ENGINEER(S):

PROFESSIONAL SEAL(S):

[illegible]

CONFIDENTIALITY NOTICE:
The drawing and information contained within is property of COASTAL OPERATIONS LANDSCAPE ARCHITECTURE LLC and is intended only for the parties identified above or of governmental position(s). This plan may not be reproduced without written permission from the Project Manager or Representative of this project.

Sheet No:

LP-100

1. ALL TREE RELOCATION AND REPLACEMENT SHALL BE DONE IN ACCORDANCE WITH STANDARD FORESTRY PRACTICES AND PROCEDURES AND ALL SUCH PLANTINGS SHALL BE MAINTAINED AND ATTENDED TO PROMOTE SUCCESSFUL ESTABLISHMENT THEREOF.
2. DURING CONSTRUCTION, ALL REASONABLE STEPS SHALL BE TAKEN TO PREVENT THE DAMAGE OF VEGETATION DESIGNATED FOR PRESERVATION. VEGETATION DESTROYED OR DAMAGED MUST BE REPLACED BY VEGETATION OF EQUAL OR BETTER ENVIRONMENTAL VALUE OR AS SPECIFIED BY THE CITY IN WHICH THE PROJECT IS LOCATED.
3. NO EXCESS SOIL, ADDITIONAL FILL, EQUIPMENT, LIQUIDS OR CONSTRUCTION DEBRIS SHALL BE PLACED WITHIN THE DRIP LINE OF ANY VEGETATION THAT IS BEING PRESERVED IN ITS PRESENT LOCATION, OR RELOCATED MATERIAL. ADDITIONALLY, NO SOIL SHALL BE REMOVED FROM THE DRIP LINE OF ANY OF SAID TREES.
4. PROTECTIVE BARRIERS SHALL BE ERECTED FOR ALL EXISTING TREES TO REMAIN IN PLACE, AS SHOWN IN THE DETAILS. THE PROTECTIVE BARRIERS SHALL BE INSTALLED AND MAINTAINED FOR THE PERIOD OF TIME BEGINNING WITH THE COMMENCEMENT OF ANY LAND CLEARING OR BUILDING OPERATIONS, AND ENDING WITH THE COMPLETION OF THE PERMITTED CLEARING OR BUILDING CONSTRUCTION WORK ON THE SITE.
5. AN ON SITE REPRESENTATIVE MUST BE PRESENT AND RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL VEGETATION PROTECTIVE BARRIERS. THE REPRESENTATIVE SHALL BE RESPONSIBLE FOR SUPERVISING THE REMOVAL OF ALL EXISTING VEGETATION PERMITTED TO BE REMOVED. THE REPRESENTATIVE SHALL BE ON SITE AT ALL TIMES DURING THE VEGETATION AND CLEARING OPERATIONS.
6. NO WORK SHALL COMMENCE WITHOUT RECEIVING ALL OF THE APPROPRIATE TREE PROTECTION, TREE REMOVAL AND TREE RELOCATION PERMITS.
7. FOR TREES TO BE REMOVED, ALL CUTTINGS, LEAVES, BRANCHES ETC, MUST BE PROMPTLY REMOVED FROM THE SITE. ALL STUMPS SHALL BE REMOVED BY UTILIZING A STUMP GRINDER OR REMOVING THE STUMP USING APPROPRIATE HYDRAULIC EQUIPMENT.
8. TREES TO BE RELOCATED SHALL UNDERGO THE FOLLOWING PRIOR TO RELOCATION:
 - A. THE TREE SHALL BE STRUCTURALLY CROWN PRUNED IN ACCORDANCE WITH ACCEPTED ARBORIST STANDARDS IN PREPARATION FOR TREE RELOCATION.
 - B. AFTER A PERIOD OF 60 DAYS AFTER CROWN PRUNING, 1/2 OF THE ROOT BALL (1/2 OF THE CIRCUMFERENCE) SHALL BE ROOT PRUNED IN ACCORDANCE WITH ACCEPTED ARBORIST STANDARDS. THE DISTANCE OF THE ROOT PRUNING EXCAVATION AREA SHALL BE AN APPROPRIATE DISTANCE FROM THE TRUNK AS DESIGNATED IN ACCEPTED ARBORISTS STANDARDS.
 - C. AFTER A SECOND PERIOD OF 60 DAYS, THE REMAINING 1/2 OF THE ROOT BALL SHALL BE ROOT PRUNED AS DESIGNATED ABOVE.
 - D. AFTER A THIRD PERIOD OF 60 DAYS, THE TREE SHALL THEN BE RELOCATED IN ACCORDANCE WITH ACCEPTED ARBORIST PRACTICES TO ITS FINAL LOCATION.
 - E. THE TREES WILL BE READY FOR RELOCATION AFTER A TOTAL PERIOD OF 180 DAYS AND ORDERLY SATISFACTION OF THE STEPS NOTED ABOVE.
 - F. IN THE EVENT THESE GUIDELINES DIFFER FROM LISTED ACCEPTED ARBORIST STANDARDS, THE ARBORISTS STANDARDS SHALL PREVAIL.
9. RELOCATED TREE SHALL BE PROPERLY IRRIGATED TO ASSURE THEIR SURVIVAL BOTH PRIOR TO RELOCATION (DURING ROOT PRUNING PROCESS) AND AFTER RELOCATION. ONCE THE TREE HAS BEEN RELOCATED, PROPER IRRIGATION SHALL INCLUDE BOTH BUBBLERS OVER THE ROOT ZONE, AND MIST HEADS IN THE CROWN THAT ADEQUATELY RINSE THE ENTIRE CROWN OF THE TREE (SEE DETAILS).

EXISTING TREE INVENTORY & DISPOSITION CHART -05.18.2020								
STATUS	REFERENCE #	SCIENTIFIC NAME	COMMON NAME	DBH	HEIGHT	CANOPY	CONDITION	TP2
REMAIN	1	BUCIDA BUCERAS	BLACK OLIVE	40"	35'	40'	GOOD	SEE TREE PROTECTION FENCE ON SHEET LP-100
REMOVE	2	SVAGRUS ROMANZOFFIANA	QUEEN PALM	7"	18'	12'	MODERATE	N/A
REMOVE	3	STRELITZIA NICOLAI	WHITE BIRD OF PARADISE	10"	22'	16'	MODERATE	N/A

