



FRONT ELEVATION



DE SOTO ELEVATION 1



DE SOTO ELEVATION 2



DE SOTO BLVD ELEVATION 3



GRANADA BLVD ELEVATION



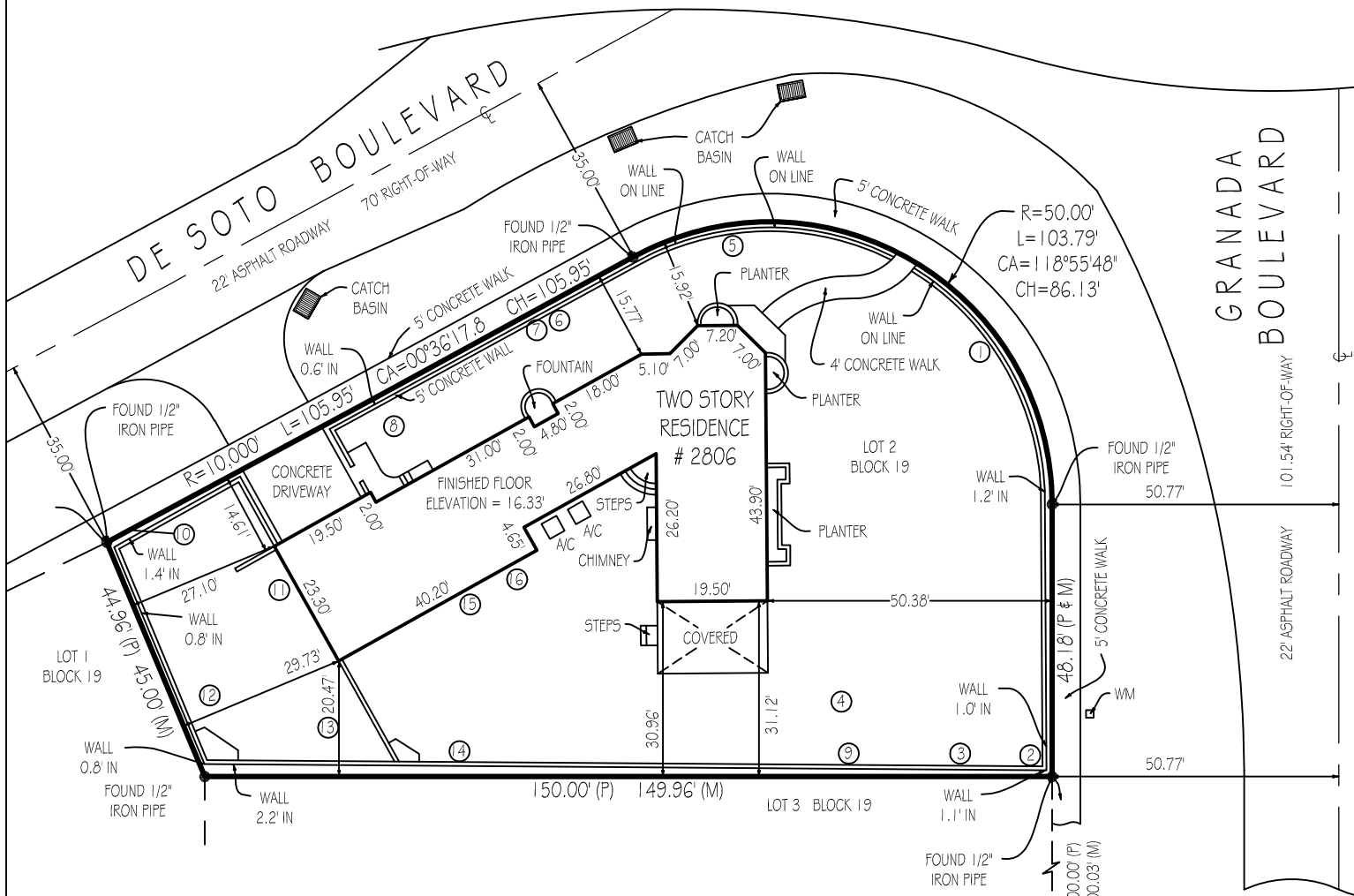
REAR YARD ELEVATION



PORCH ELEVATION



SCALE: 1"=30'



TREE NUMBER 8
TREE LOCATION CENTER OR LINE
TREE LEGEND

TREE NUMBER	TREE TYPE	TREE SIZE	TREE NUMBER	TREE TYPE	TREE SIZE
1.	OAK	24"	9.	OAK	21"
2.	OAK	7"	10.	PALM	10"
3.	OAK	26"	11.	AVACODO	24"
4.	PINE	24"	12.	MANGO	24"
5.	PALM	24"	13.	MANGO	18"
6.	OAK	18"	14.	OAK	13"
7.	OAK	7"	15.	OAK	15"
8.	PALM CLUSTER	50"	16.	OAK	15"

FOR CONSTRUCTION PURPOSES

BENCHMARK: MIAMI-DADE COUNTY BENCHMARK # P-510

ELEVATION = 11.78' N.G.V.D. 1929

Adverse Conditions - Please note the following:

- NO WELL OR SEPTIC SYSTEM LOCATED AT TIME OF SURVEY

PLEASE NOTE:

SUBJECT PROPERTY IS SERVICED BY PUBLIC UTILITIES.

THIS SURVEY IS APPROVED FOR CONSTRUCTION BY LANDTEC SURVEYING.

Landtec Surveying offers services throughout the State of Florida. Please refer to our website at www.LandtecSurvey.com for up to date information about our locations and coverage area.

This survey has been issued by the following Landtec Surveying office:

600 Fairway Drive - Ste. 101

Deerfield Beach, FL. 33441

Office: (561) 367-3587 Fax: (561) 465-3145

www.LandtecSurvey.com

Invoice Number : 73257-SE

Drawn By : B. ZAB

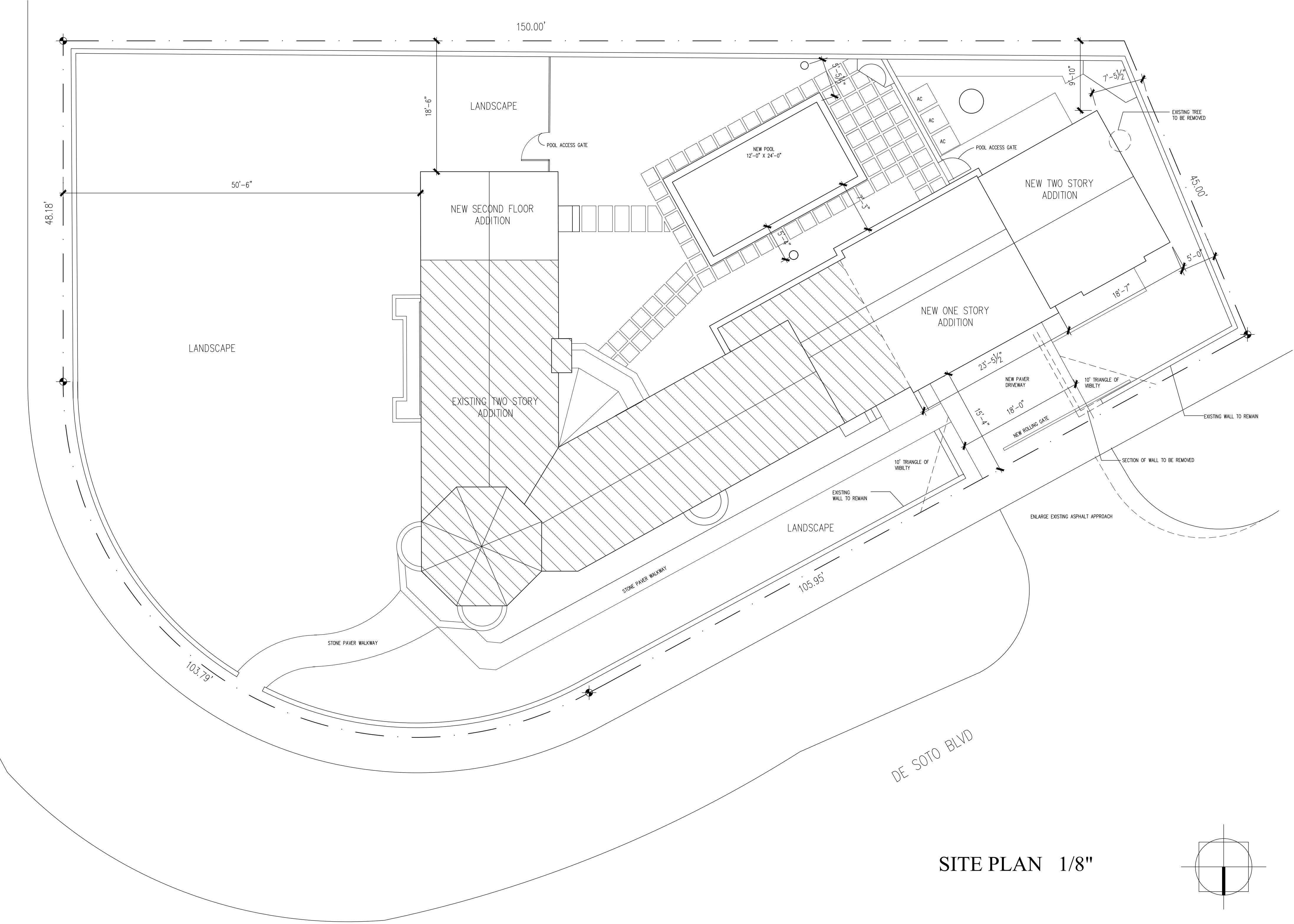
Date of Field Work : 04/21/2016

Revision :

Revision :

Revision :

LANDTEC
SURVEYING
Proudly Serving Florida's Land Title & Real Estate Industries
... measurably better!



ZONING LEGEND

LOT AREA
BASED ON MEASURED SURVEY 12,575 SQ.FT

SETBACKS:	REQ.	PROVIDED
FRONT	50'	50'-6"
SIDES COMBINED 20% OF LOT WIDTH	20' (5' MIN)	24'-1" MIN 8'-8"
SIDE STREET	15'	15'-4"
REAR	10'	5'-0" REQUEST TO BOA TO APPROVE

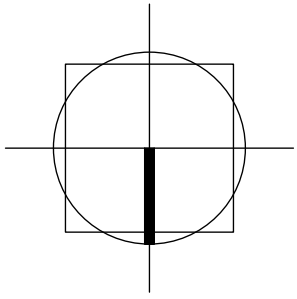
FAR % ALLOWED :

EXISTING:	3,562 SQ.FT
PROPOSED ADDITION:	1,358 SQ.FT
TOTAL	4,920 SQ.FT
ALLOWED:	4,923 SQ.FT

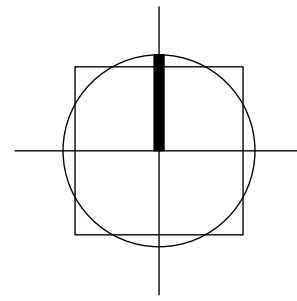
LEGAL DESCRIPTION

LOT 2, BLOCK 19, REVISED PLAT OF CORAL GABLES COUNTRY CLUB SECTION PART 1, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8 AT PAGE 108 OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.

SITE PLAN 1/8"



LOCATION MAP



DO NOT SCALE OFF THIS DRAWING. USE FIGURED DIMENSIONS ONLY OR CONSULT CALLUM GIBB ARCHITECT P.A. ALL DIMENSIONS TO BE CHECKED ON SITE BY THE CONTRACTOR. CALLUM GIBB ARCHITECT P.A. TO BE INFORMED OF ANY VARIATIONS THAT MAY OCCUR BEFORE COMMENCEMENT OF WORK. ALL SHOP DRAWING TO BE SENT TO CALLUM GIBB ARCHITECT P.A. FOR COMMENT PRIOR TO MANUFACTURE AND INSTALLATION. DRAWINGS TO BE READ IN CONJUNCTION WITH ALL LATEST DESIGN INFORMATION AS WELL AS ALL M.E.P. AND STRUCTURAL ENGINEERING DRAWINGS AND INFORMATION.

DRAWING NOTES

DRAWINGS REVISIONS

IRAHEETA RESIDENCE
2806 GRANADA BLVD
CORAL GABLES FLORIDA

PROJECT NO : 14 : 105

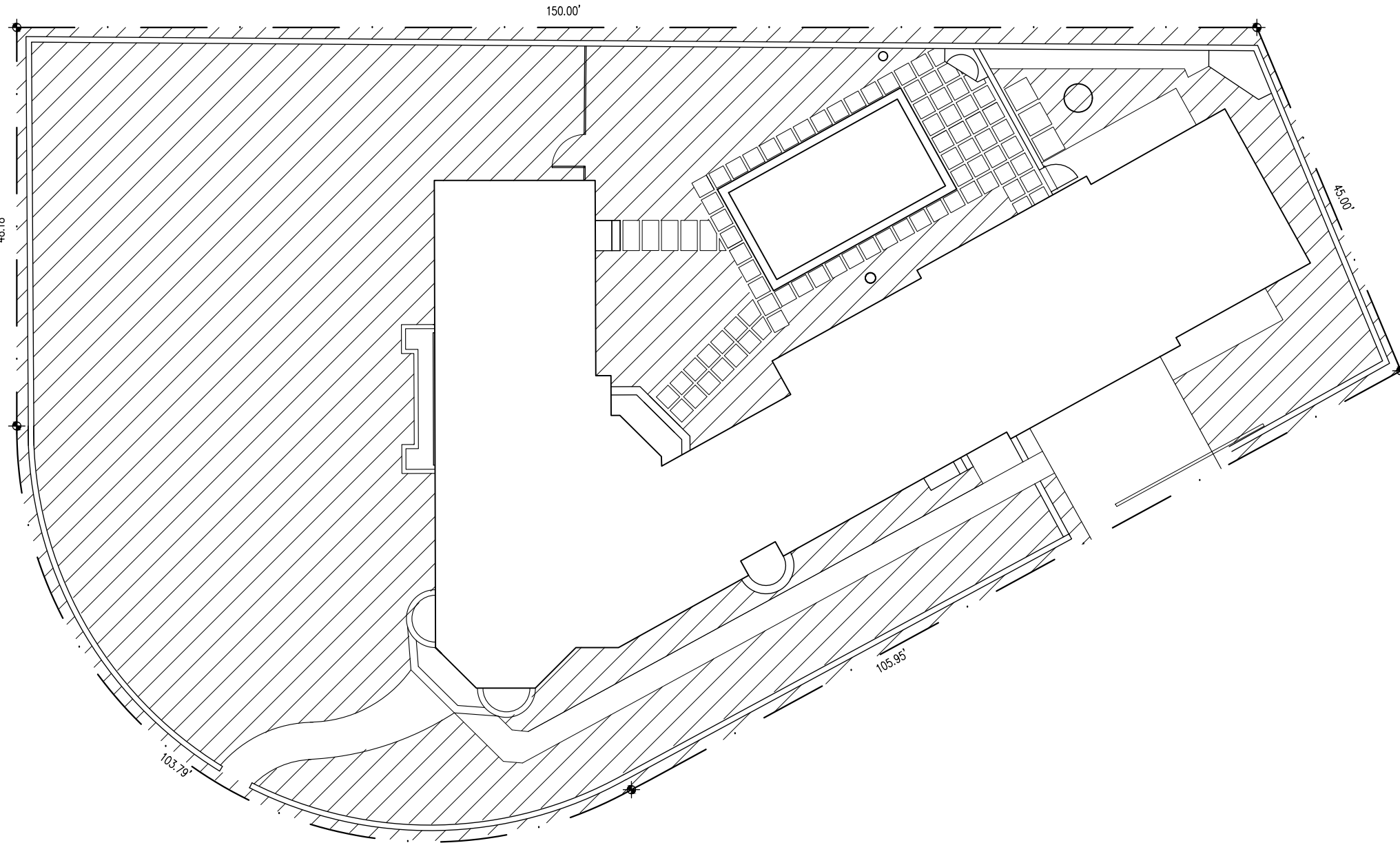
SITE PLAN

SCALE: 1/8"

A.1.1

DATE : NOVEMBER 2020

CALLUM GIBB ARCHITECT P.A
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ZONING DATA

ADDRESS: 2806 GRANADA BLVD
FOLIO: 03-4118-003-2190

LEGAL DESCRIPTION
LOT 2, BLOCK 19, REVISED PLAT OF CORAL GABLES COUNTRY CLUB SECTION PART 1, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8 AT PAGE 108 OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.

SCOPE OF WORK
ADDITIONS TO EXISTING RESIDENCE

LOT AREA 12,575 SQ.FT
BASED MEASURED SURVEY

SETBACKS
FRONT 50'-0" REQUIRED REAR 10'-0" REQUIRED
50'-6" PROVIDED 5'-0" PROVIDED BOA RECOMMENDATION REQUESTED

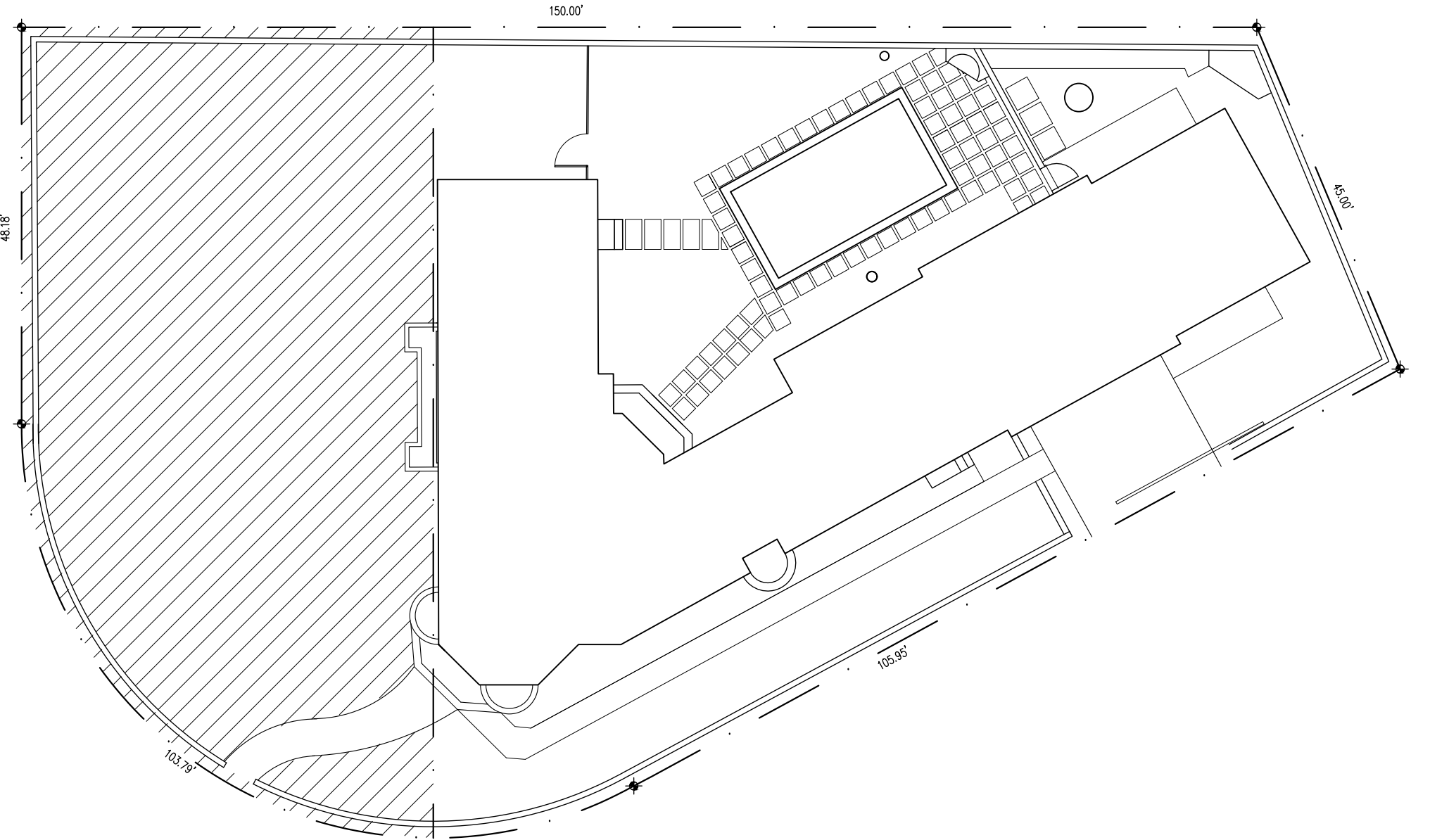
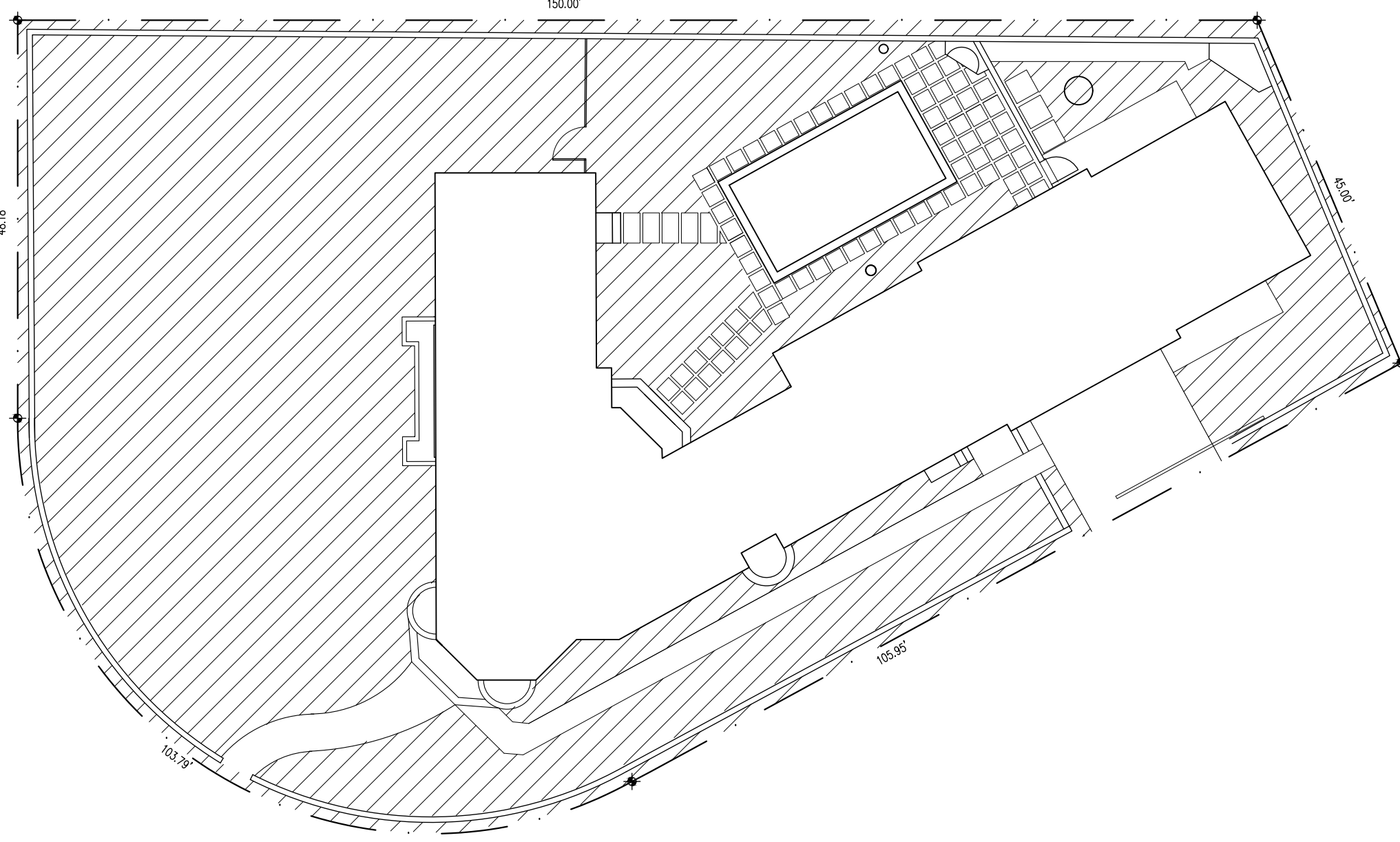
INTERIOR SIDE
20% OF LOT WITH 5'-0" MIN. 20'-0" COMBINED REQUIRED
24'-1" COMBINED PROVIDED 8'-8" MIN

GREEN AREA

40% MINIMUM LANDSCAPE REQUIREMENT
12,575 X 40% = 5,030 S.F.

GREEN AREA PROPOSED

56% = 7,140 S.F.



FRONT YARD GREEN AREA

20% MINIMUM LANDSCAPE REQUIREMENT

5,030 S.F. X 20% = 1,006 S.F.

GREEN AREA PROPOSED

4,069 S.F.

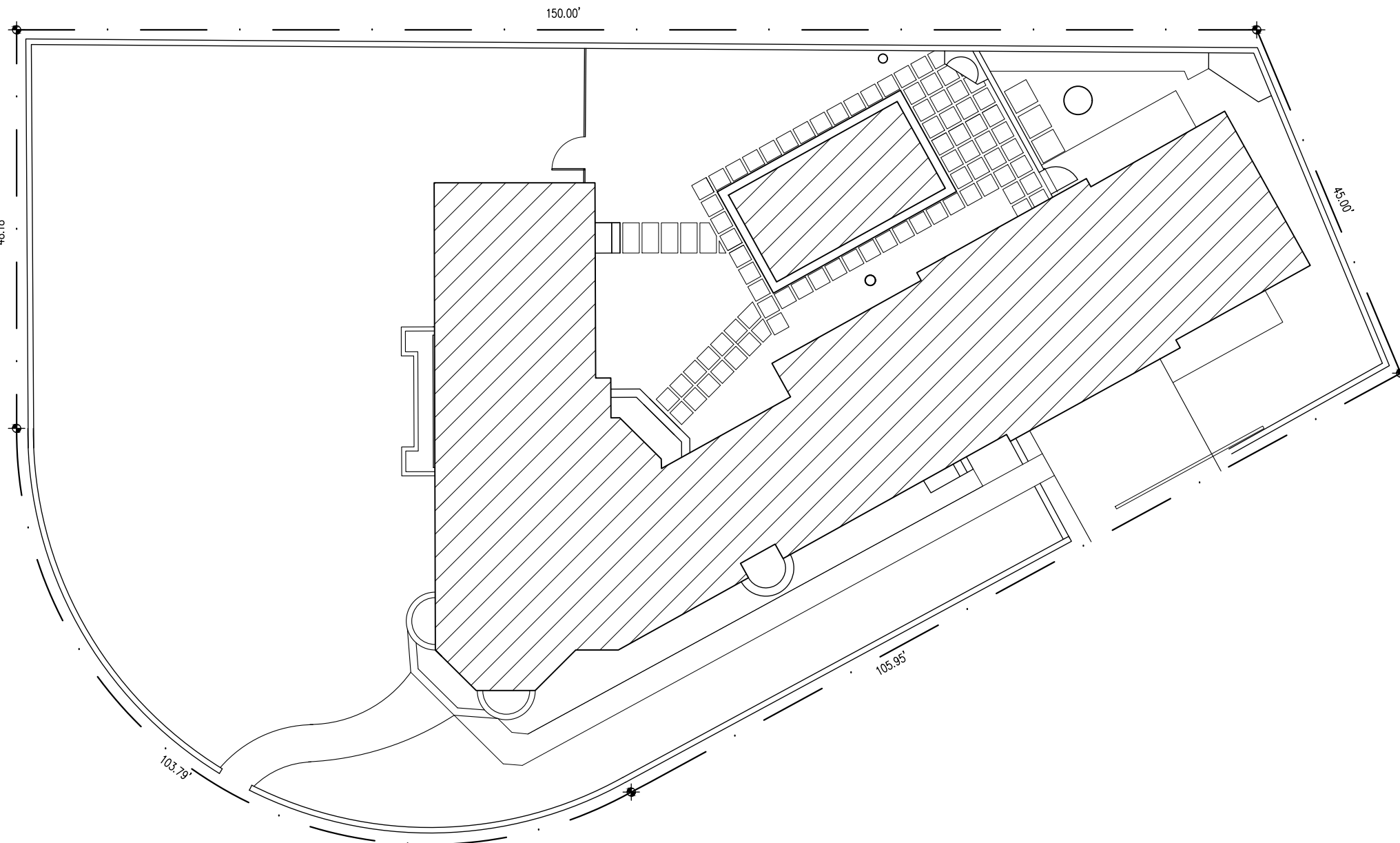
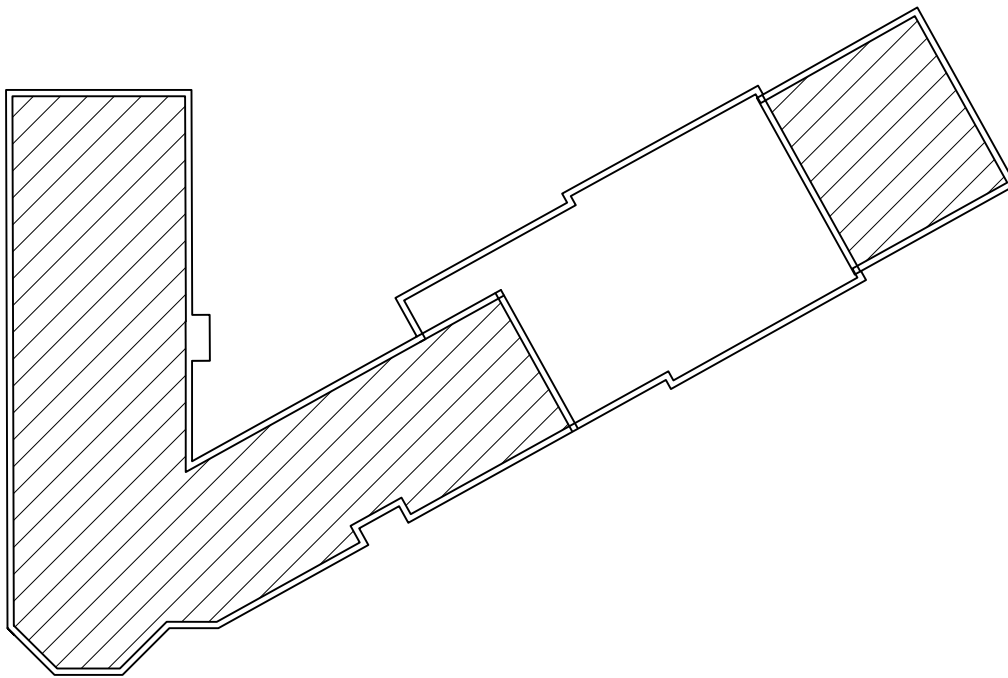
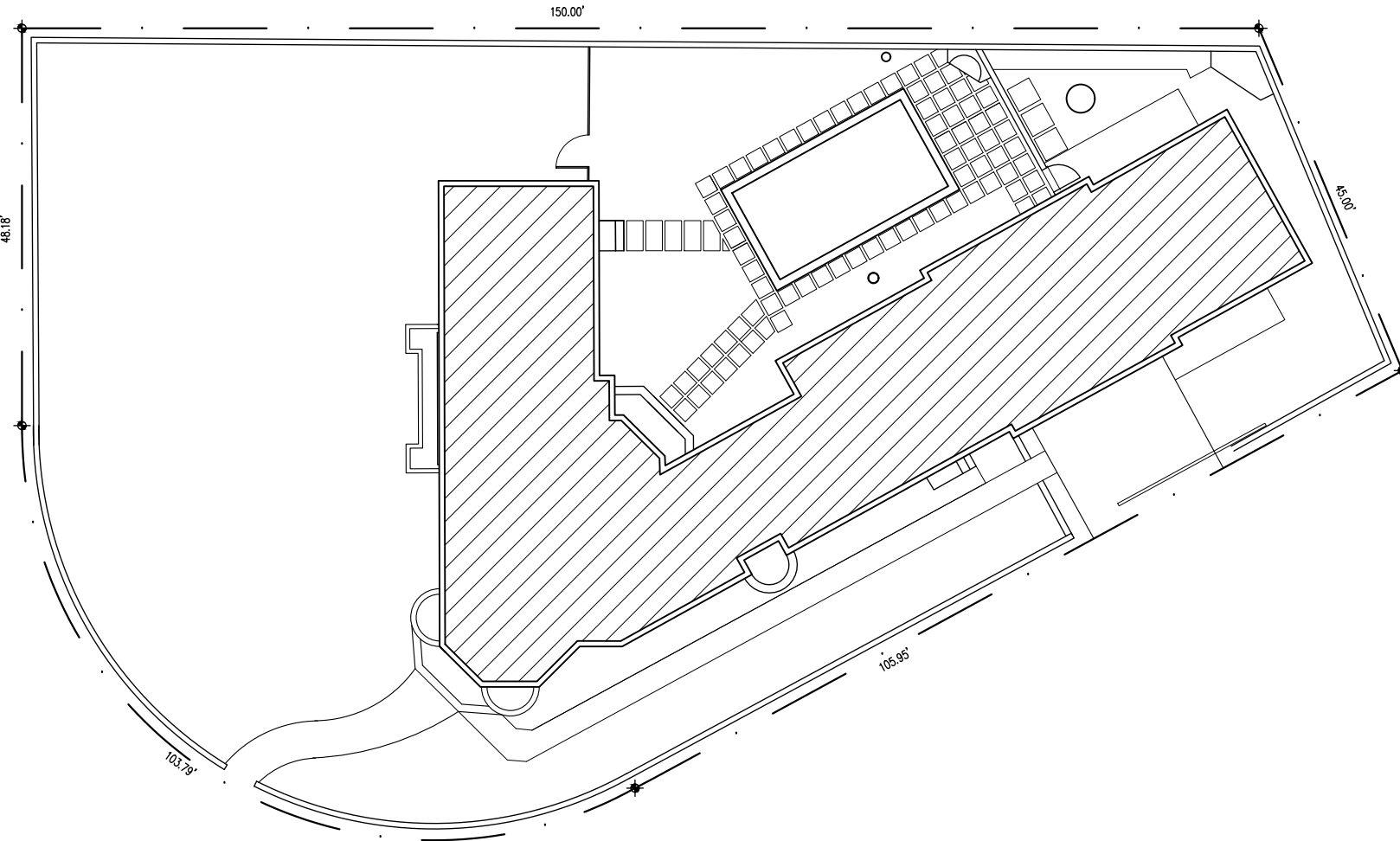
FAR

5,000 X 48% = 2,400
5,000 X 35% = 1,750
2,575 X 30% = 773
MAXIMUM ALLOWED = 4,923

TOTAL PROVIDED FIRST FLOOR = 2,883 S.F.

TOTAL PROVIDED SECOND FLOOR = 2,037 S.F.

TOTAL PROVIDED = 4,920 S.F.



LOT COVERAGE

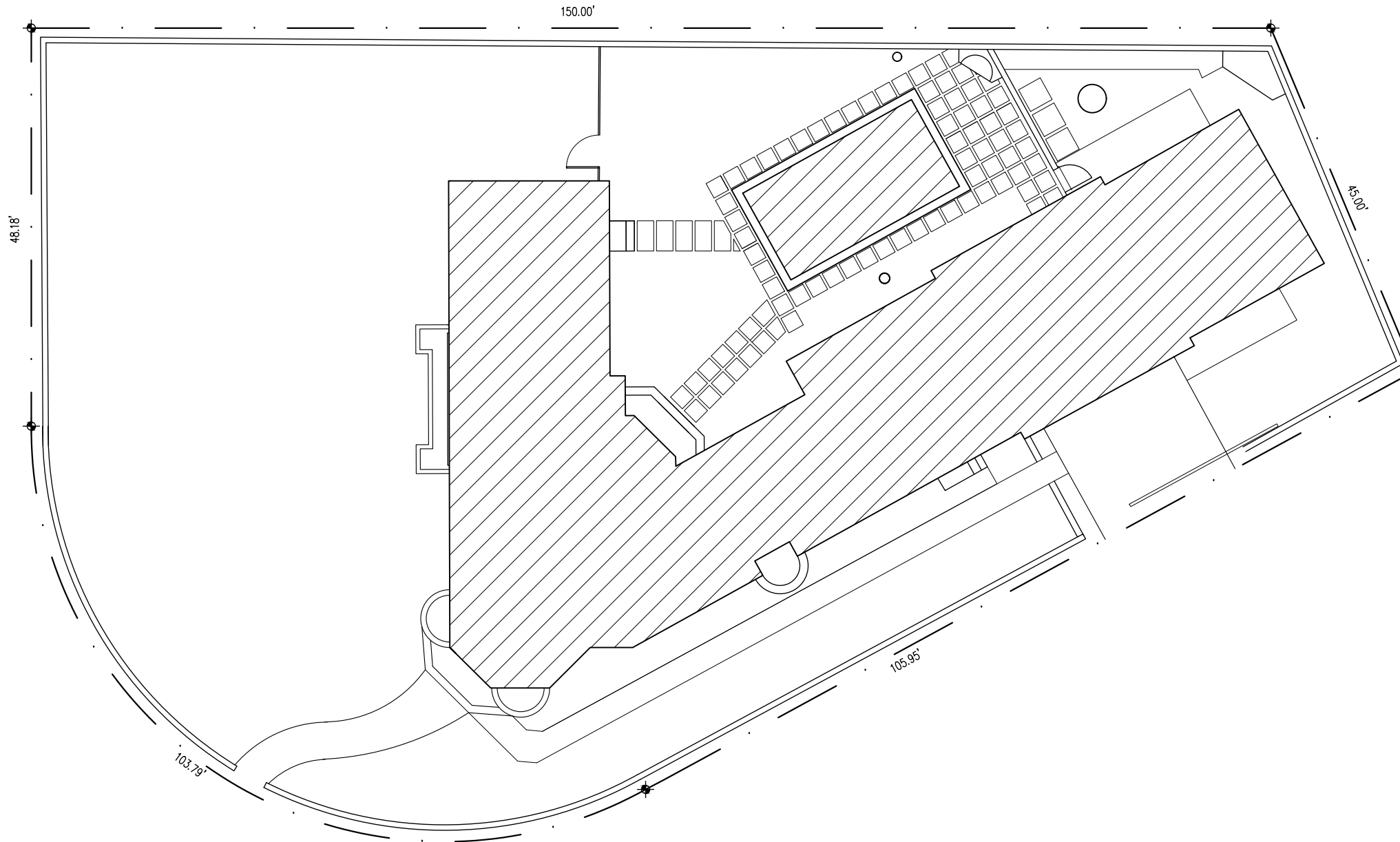
35% GROUND COVERAGE
12,575 X 35% 4,401 S.F.

MAIN HOUSE = 3,116 S.F.
TOTAL = 3,116 S.F. 25%

LOT COVERAGE

45% GROUND COVERAGE
12,575 X 45% 5,659 S.F.

MAIN HOUSE = 3,116 S.F.
POOL = 280 S.F.
TOTAL PROPOSED = 3,396 S.F. = 27%



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DRAWINGS REVISIONS

IRAHETA RESIDENCE

2806 GRANADA BLVD
CORAL GABLES FLORIDA

PROJECT NO : 14 : 105

ZONING DATA

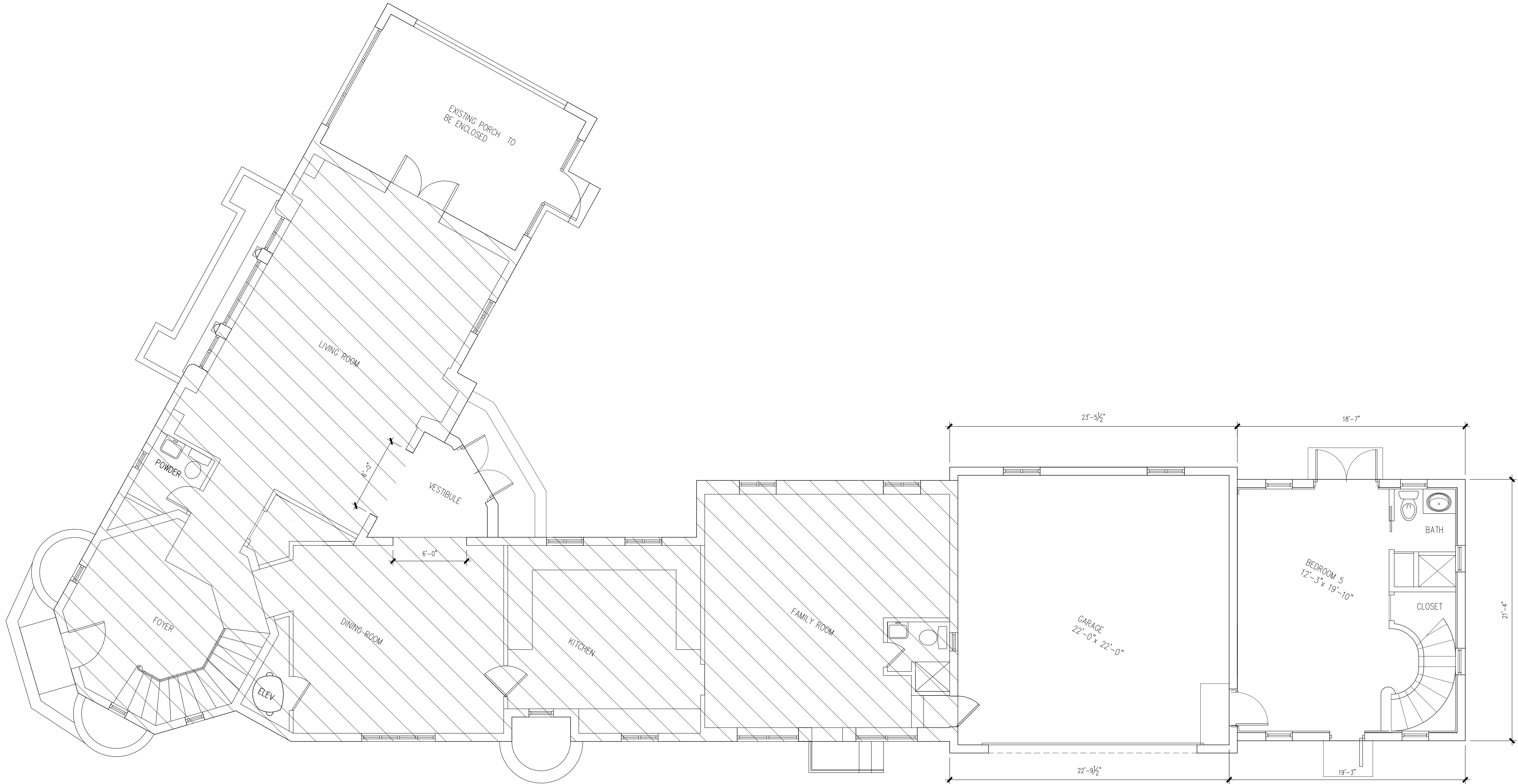
SCALE:

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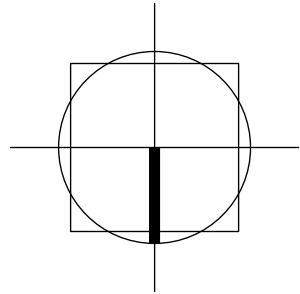
DATE : NOVEMBER 2020

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TEL : 305.445.7083 AR : 16751 callumgibbarchitects.com



GROUND FLOOR PLAN 1/4"



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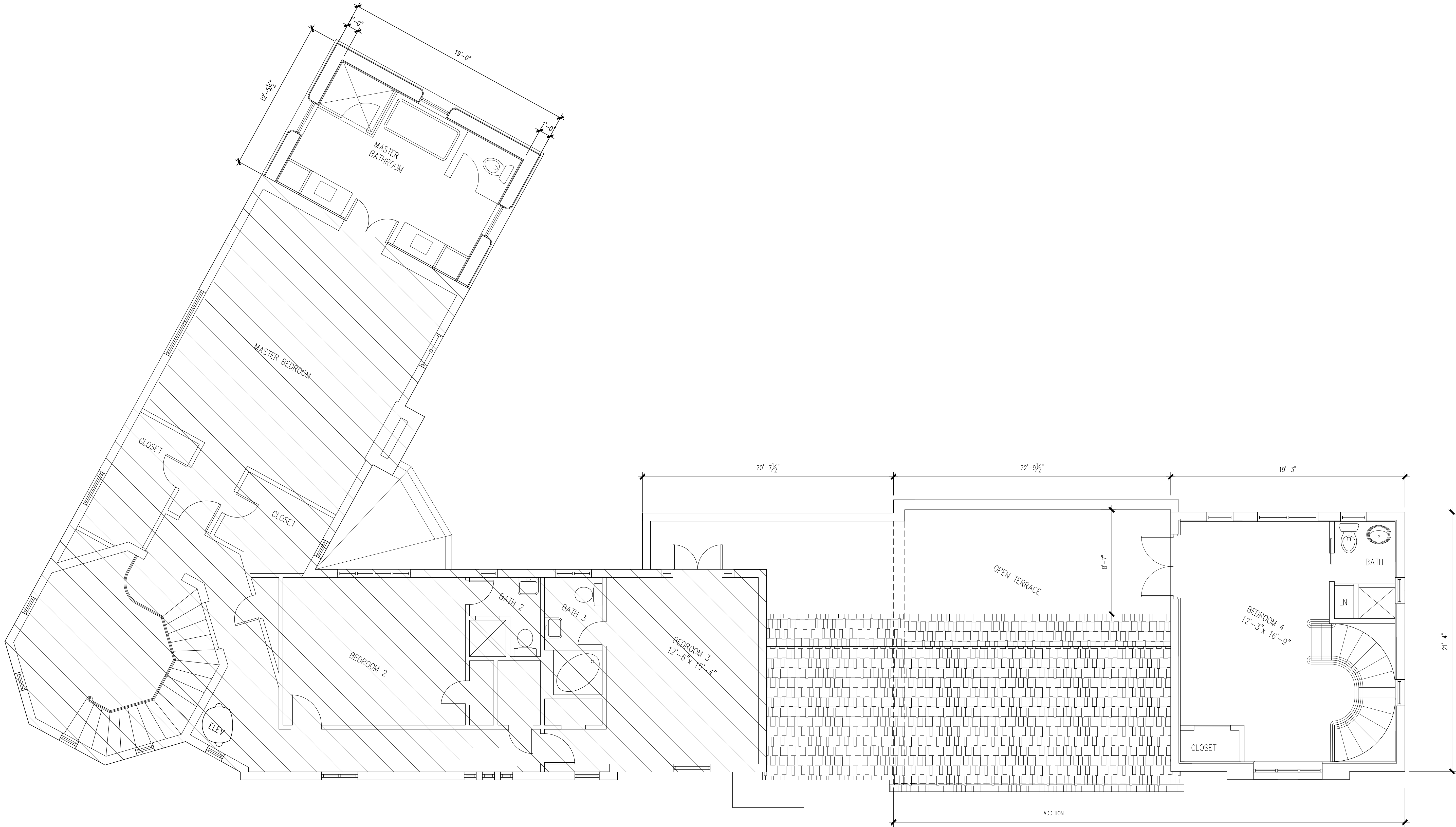
GROUND FLOOR PLAN

SCALE: 1/4"

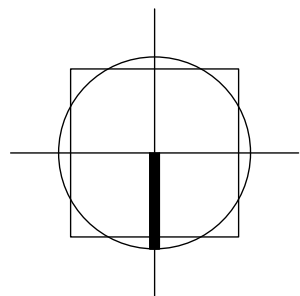
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SECOND FLOOR PLAN 1/4"



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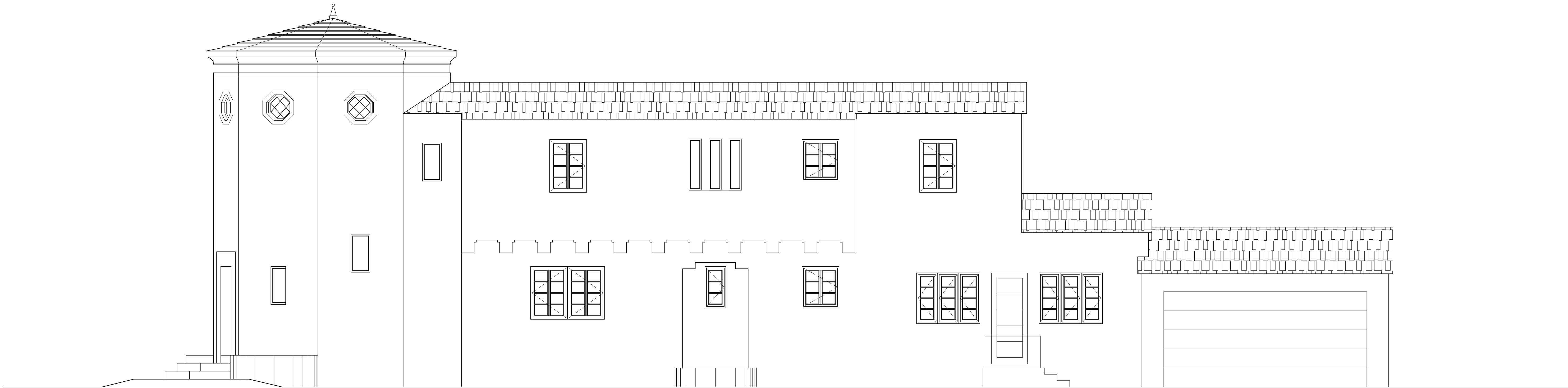
SECOND FLOOR PLAN

SCALE: 1/4"

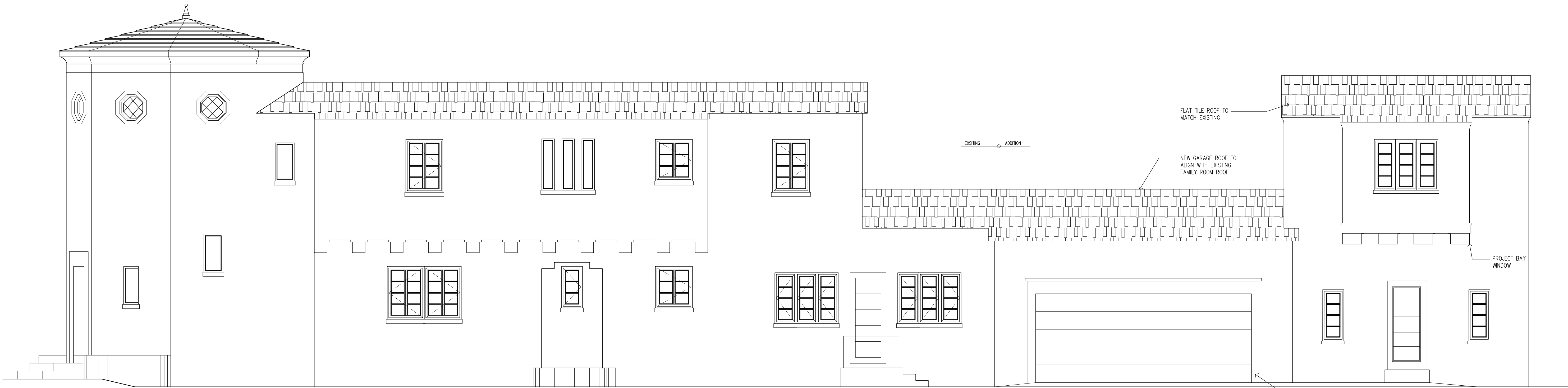
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EXISTING NORTH ELEVATION 1/4"



PROPOSED NORTH ELEVATION 1/4"

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ELEVATIONS

SCALE: 1/4"

A .3.1

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DRAWING NOTES



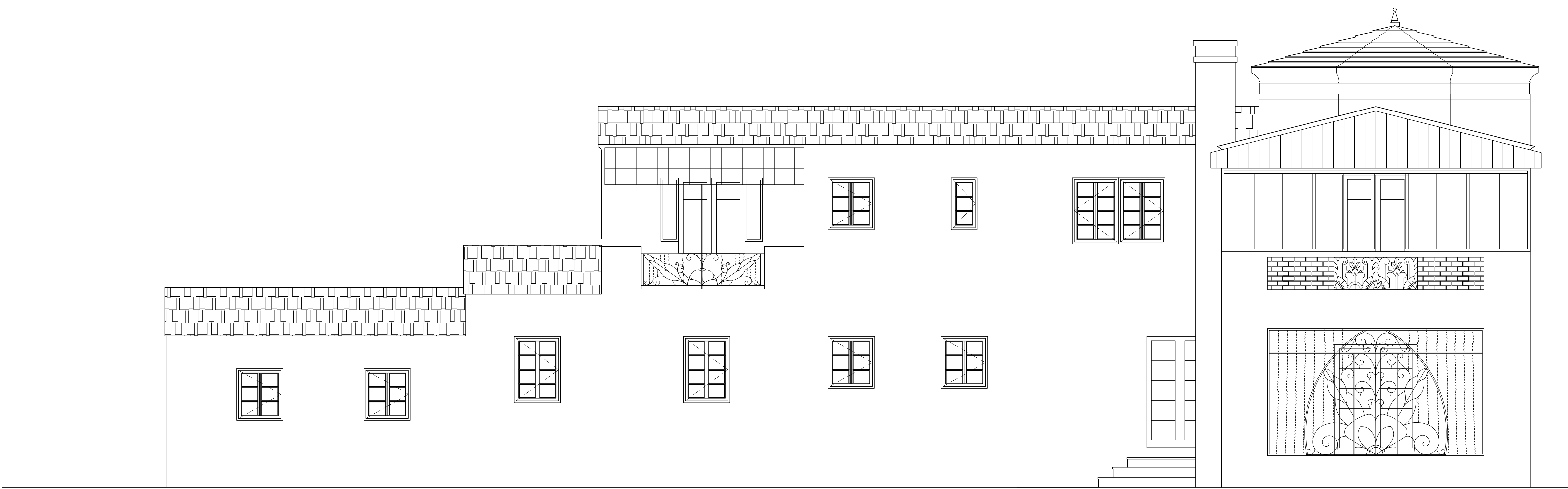
DRAWINGS REVISIONS

PROJECT NO : 14 : 105

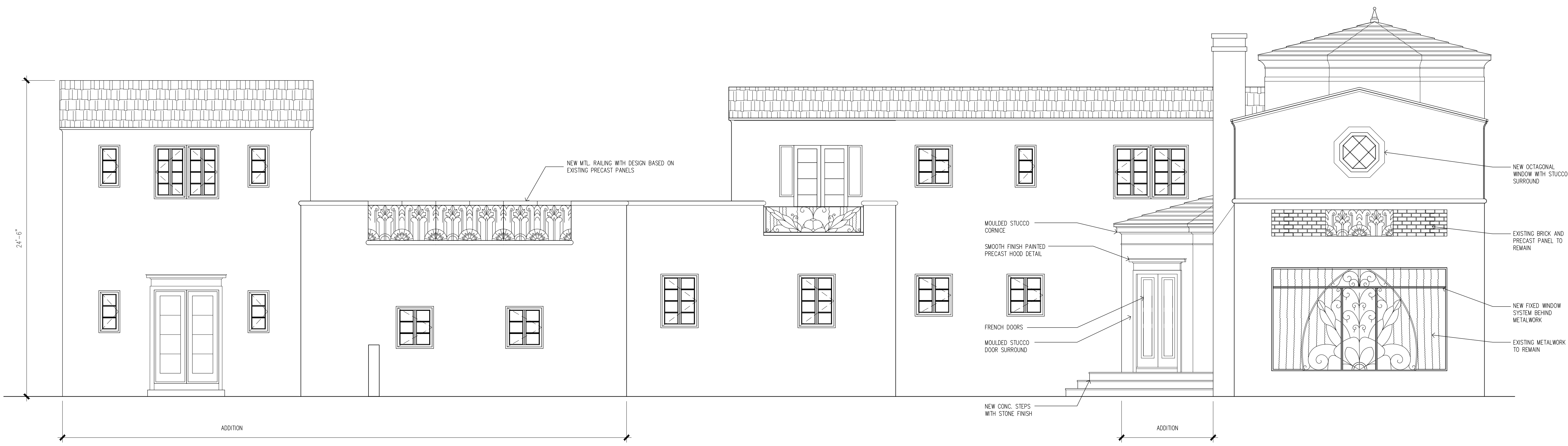
SCALE: 1/4"

DATE : NOVEMBER 2020

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TEL: 305.445.7083 AR: 16751



EXISTING SOUTH ELEVATION 1/4"



PROPOSED SOUTH ELEVATION 1/4"

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CORAL GABLES FLORIDA

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ELEVATIONS

SCALE: 1/4"

A.3.3

DATE : NOVEMBER 2020

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CORAL GABLES FLORIDA

PROJECT NO : 14 : 105

ELEVATIONS

SCALE: 1/4"

A .3.4

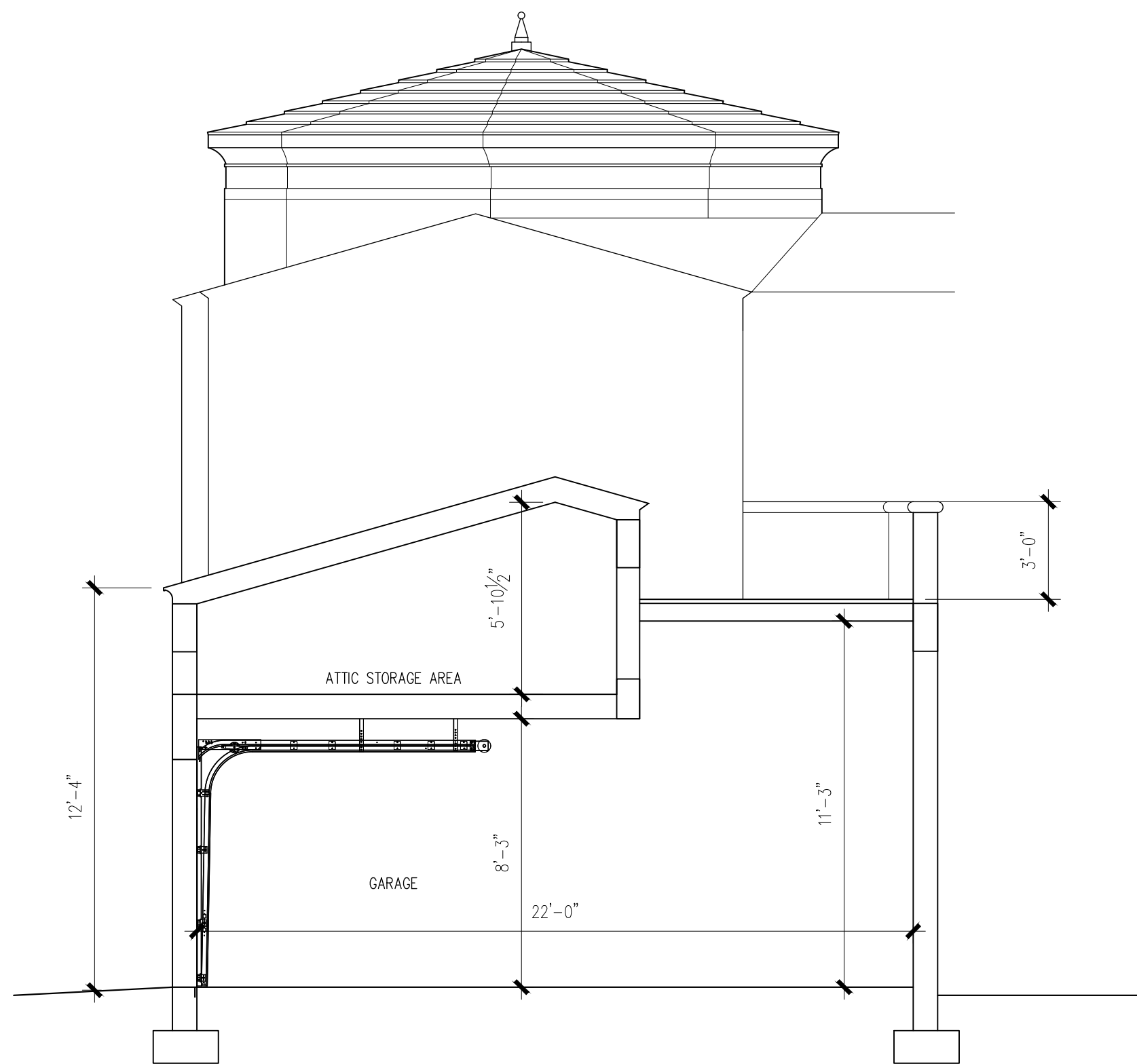
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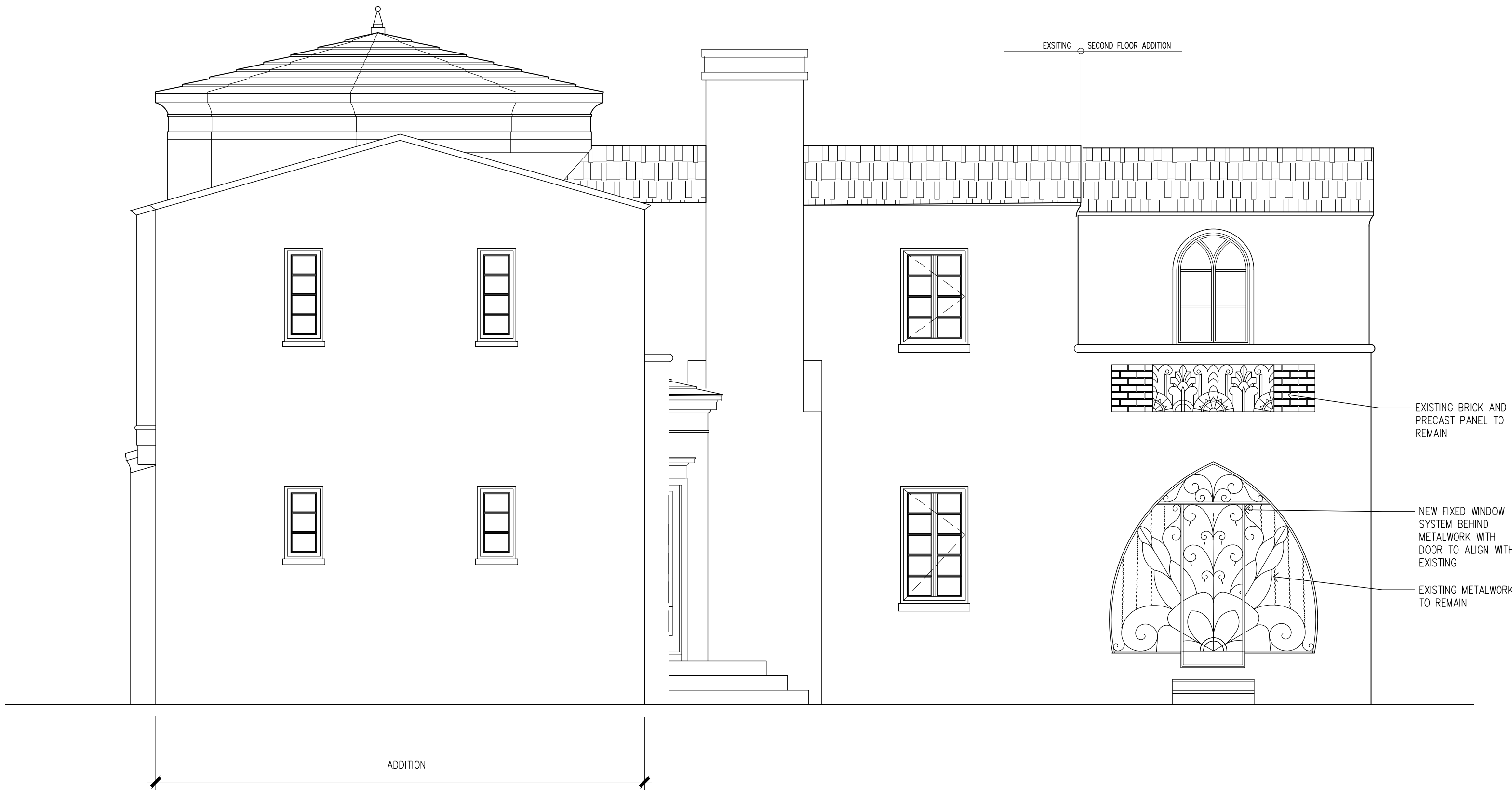
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EXISTING WEST ELEVATION 1/4"



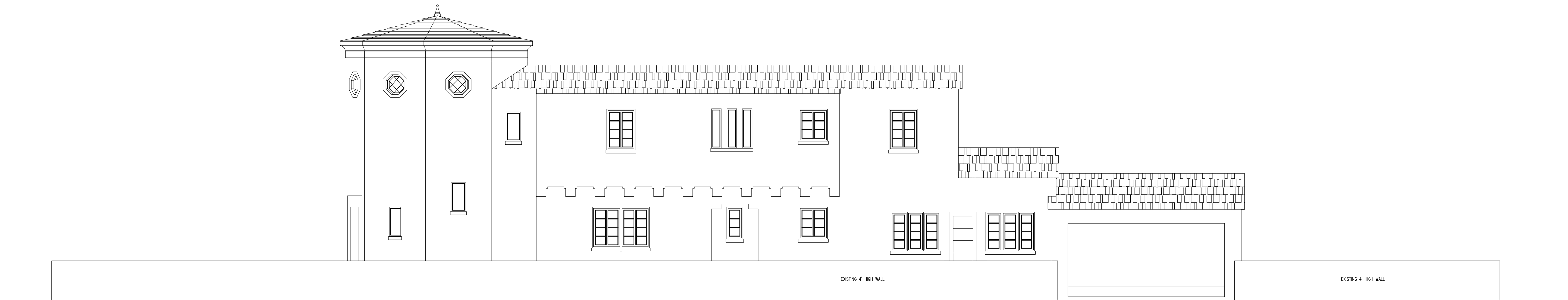
PROPOSED GARAGE SECTION 1/4"



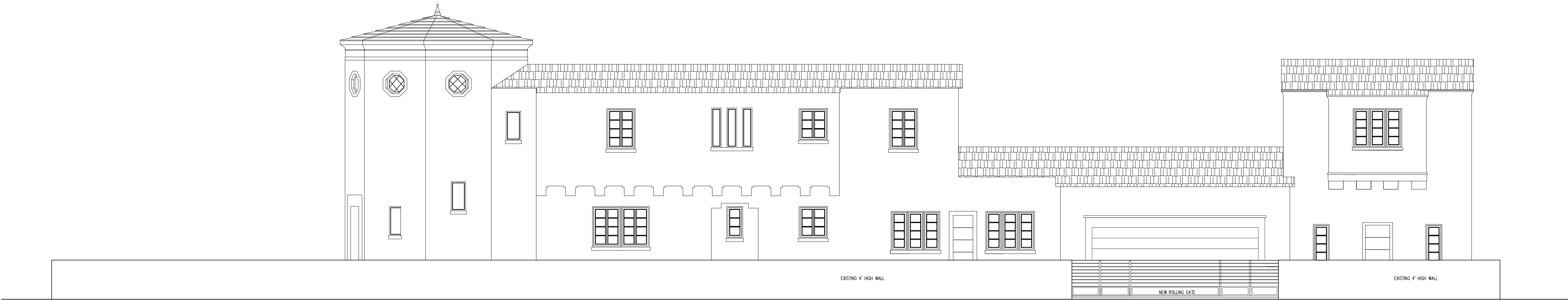
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DRAWING NOTES



EXISTING NORTH WALL ELEVATION 3/16"



PROPOSED NORTH WALL ELEVATION 3/16"

DRAWINGS REVISIONS

IRAHETA RESIDENCE
2806 GRANADA BLVD
CORAL GALES FLORIDA

PROJECT NO : 14 : 105

ELEVATIONS

DATE : ~~SEPTEMBER~~ NOVEMBER 2020

A .3.5

DATE : NOVEMBER 2020

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CORAL GABLES FLORIDA

PROJECT NO : 14 : 105

SECTIONS

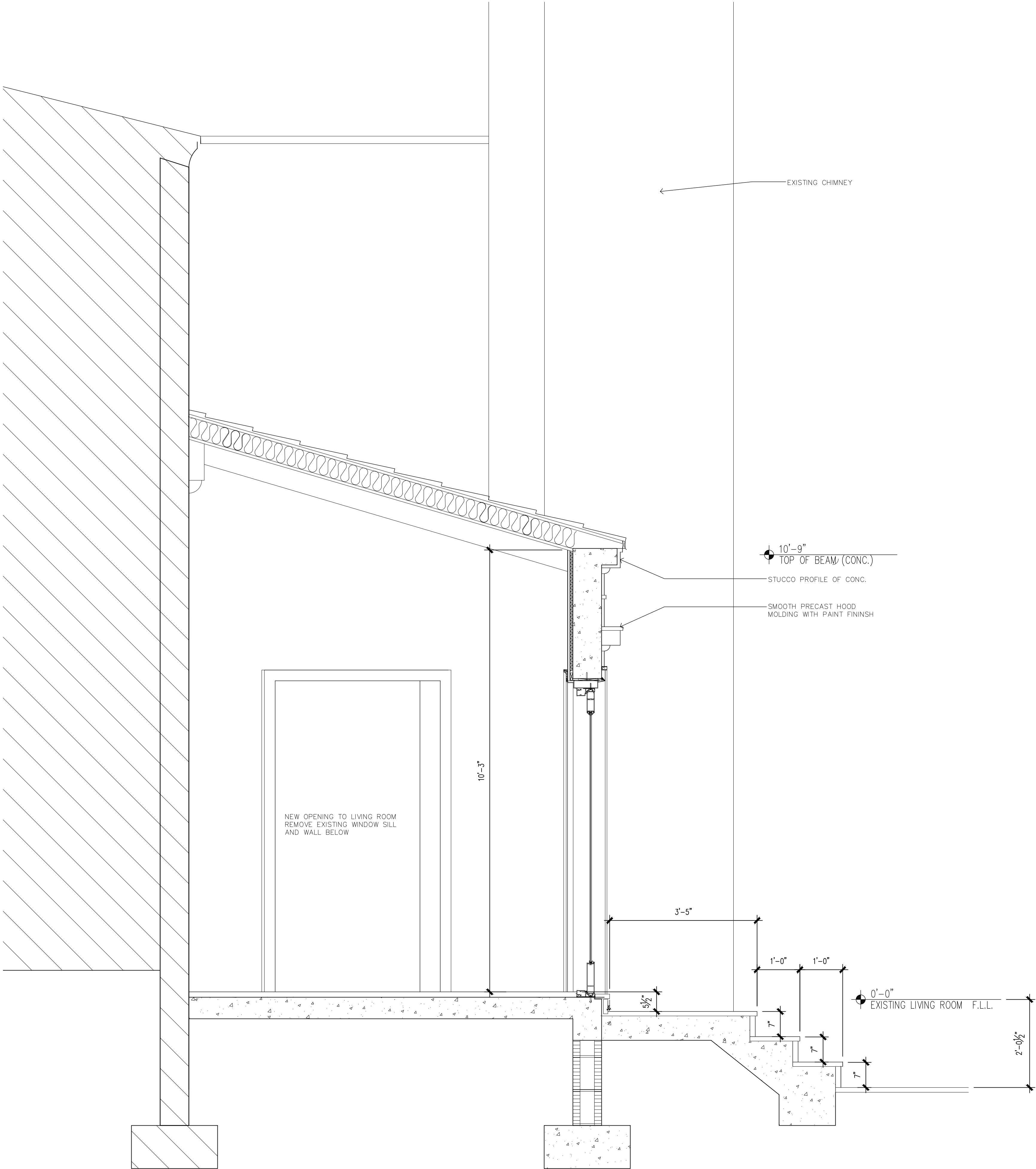
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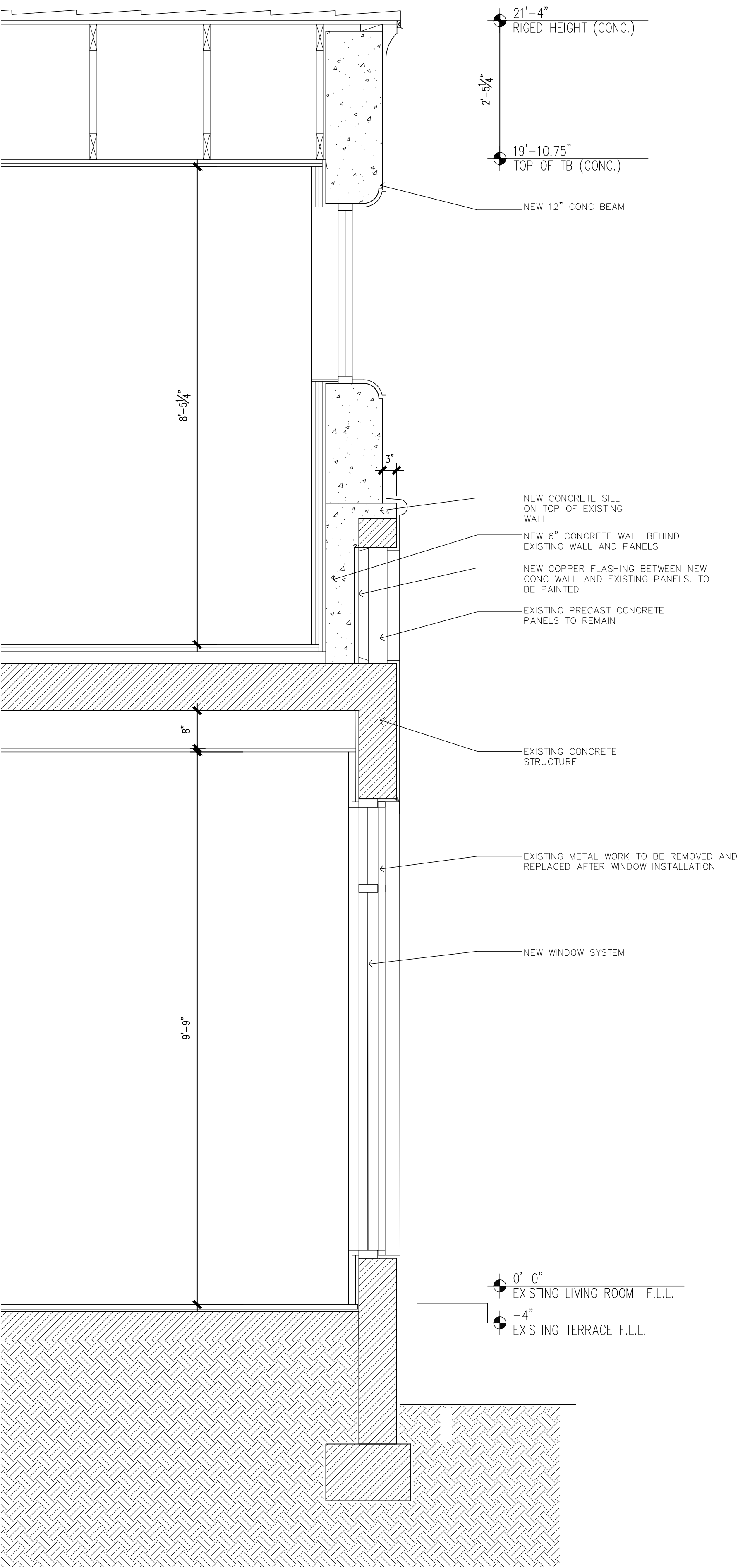
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SECTION THROUGH VESTIBULE 3/4"



SECTION THROUGH MASTER BATH 3/4"