

ORDERED BY:



MARKOWITZ
RINGEL
TRUSTY +
HARTOG
ATTORNEYS AT LAW



PROPERTY ADDRESS: 805 MAJORCA AVENUE CORAL GABLES, FLORIDA 33134

SURVEY NUMBER: FL1510.1189

FIELD WORK DATE: 10/13/2015

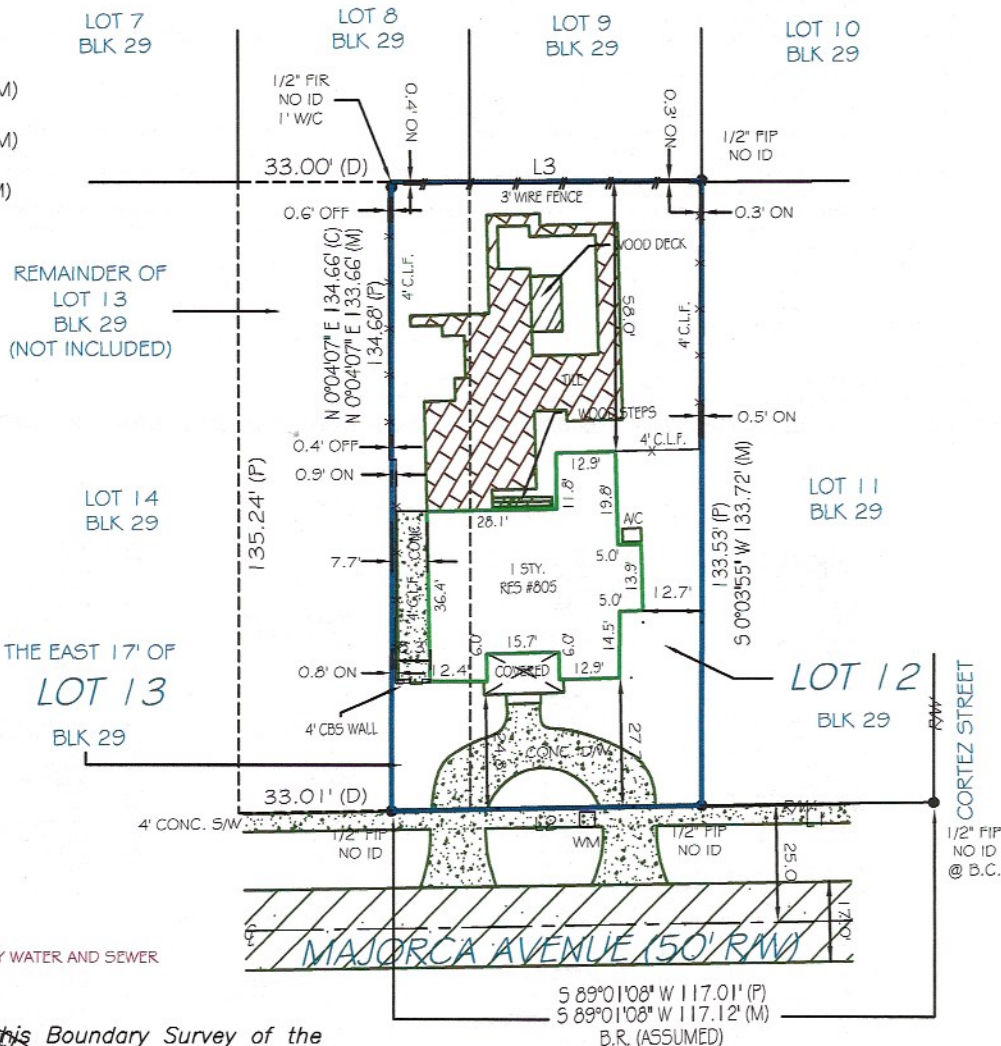
REVISION DATE(S): (REV.0 10/14/2015)

FL1510.1189

BOUNDARY SURVEY
MIAMI-DADE COUNTY

TABLE:

- L1 50.01' (P)
S 89°07'18" W 50.10' (M)
L2 67.01' (D)
S 88°56'31" W 67.03' (M)
L3 67.00' (D)
N 89°44'51" E 67.01' (M)

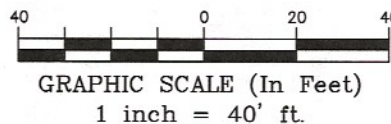


NOTES:

LOT APPEARS TO BE SERVICED BY CITY WATER AND SEWER
FENCE OWNERSHIP NOT DETERMINED

I hereby certify that this Boundary Survey of the hereon described property has been made under my direction, and to the best of my knowledge and belief, it is a true and accurate representation of a survey that meets the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17 of the Florida Administrative Code.

RONALD W. WALLING
State of Florida Professional Surveyor and Mapper
License No. 6473



Use of This Survey for Purposes other than Intended, Without Written Verification, will be at the User's Sole Risk and Without Liability to the Surveyor.
Nothing hereon shall be Construed to Give ANY Rights or Benefits to Anyone Other than those Certified.

FLOOD INFORMATION:

BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN THE CITY OF CORAL GABLES, COMMUNITY NUMBER 120639, DATED 09/11/09.

CLIENT NUMBER: 15-1023R

DATE: 10/14/2015

BUYER: CLAYTON B. ODOR AND WENDY P. LONG, H/W

SELLER: ORESTES AND AILEEN LLORENTE

CERTIFIED TO: CLAYTON B. ODOR AND WENDY P. LONG, H/W; MARKOWITZ, RINGEL, TRUSTY & HARTOG, P.A.; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY; PHH HOME LOANS, LLC DBA SUNBELT LENDING SERVICES; ITS SUCCESSORS AND/OR ASSIGNS; AS THEIR INTERESTS MAY APPEAR

POINTS OF INTEREST
NONE VISIBLE



Thomas Ringel Special Thanks
305.670.5000 / tringel@mrthlaw.com
Two Datan Center, Suite 1800
9130 S. Dadeland Blvd. Miami, FL 33156



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LEGAL DESCRIPTION:

LOT 12 AND THE EAST 17 FEET OF LOT 13, BLOCK 29, CORAL GABLES SECTION B, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGE 111, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

JOB SPECIFIC SURVEYOR NOTES:

THE ASSUMED BEARING REFERENCE OF SOUTH 89 DEGREES 01 MINUTES 08 SECONDS WEST IS BASED ON THE NORTHERLY RIGHT-OF-WAY LINE OF MAJORCA AVENUE, LOCATED WITHIN CORAL GABLES SECTION B, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 111, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

GENERAL SURVEYOR NOTES:

1. The Legal Description used to perform this survey was supplied by others. This survey does not determine or imply ownership.
2. This survey only shows improvements found above ground. Underground footings, utilities and encroachments are not located on this survey map.
3. If there is a septic tank, or drain field shown on this survey, the location is approximate as the location was either shown to Exacta by a third party or it was estimated by metal detection, probing rods, and visual above ground inspection only. No excavation was performed in order to determine the exact and accurate location.
4. This survey is exclusively for the use of the parties to whom it is certified.
5. Additions or deletions to this survey map and report by other than the signing party or parties is prohibited without written consent of the signing party or parties.
6. Dimensions are in feet and decimals thereof.
7. Due to varying construction standards, house dimensions are approximate.
8. Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain such data was performed at www.fema.gov.
9. All corners marked as set are at a minimum a 1/2" diameter, 18" iron rebar with a cap stamped LB#7337.
10. If you are reading this survey in an electronic format, the information contained on this document is only valid if this document is electronically signed as specified in Chapter SJ-17.062 (3) of the Florida Administrative Code and Florida Statute 472.025. The Electronic Signature File related to this document is prominently displayed on the invoice for this survey which is sent under separate cover. Manually signed and sealed logs of all survey signature files are kept in the office of the performing surveyor. If this document is in paper format, it is not valid without the signature and original raised seal of a Florida Licensed Surveyor.
11. Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.
12. The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the center of the field location, and may not represent the actual shape or size of the feature.
13. Points of Interest (POI's) are selected above-ground improvements which may be in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. There may be additional POI's which are not shown, not called-out as POI's, or which are otherwise unknown to the surveyor. These POI's may not represent all items of interest to the viewer.
14. Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
15. The information contained on this survey has been performed exclusively, and is the sole responsibility, of Exacta Surveyors. Additional logo or references to third party firms are for informational purposes only.
16. Pursuant to F.S. 558.0035, an individual employee or agent may not be held individually liable for negligence.
17. House measurements should not be used for new construction or planning. Measurements should be verified prior to such activity.

LEGEND:

SURVEYOR'S LEGEND

LINE TYPES: (UNLESS OTHERWISE NOTED)

BOUNDARY LINE

STRUCTURE

CENTERLINE

CHAIN-LINK OR WIRE FENCE

EASEMENT

EDGE OF WATER

IRON FENCE

OVERHEAD LINES

SURVEY TIE LINE

WALL OR PARTY WALL

WOOD FENCE

VINYL FENCE

SURFACE TYPES: (UNLESS OTHERWISE NOTED)

ASPHALT

CONCRETE

WATER

WOOD

SYMBOLS: (UNLESS OTHERWISE NOTED)

BENCH MARK

CENTERLINE

COMMON OWNERSHIP

CONTROL POINT

CONCRETE MONUMENT

CATCH BASIN

ELEVATION

FIRE HYDRANT

FND OR SET MONUMENT

GUYWIRE OR ANCHOR

MANHOLE

TREE

UTILITY OR LIGHT POLE

WELL

A/C AIR CONDITIONING
B.R. BEARING REFERENCE
B.C. BLOCK CORNER
B.C.F. BACKFLOW PREVENTOR
B.L. BLOCK
B.L.D. BUILDING
B.M. BENCHMARK
B.R.L. BUILDING RESTRICTION LINE
B.S.M. BASEMENT
B.W. BAYBOX WINDOW
C.B. CALCULATED
C. CURVE
C.A.T.V. CABLE TV RISER
C.B. CONCRETE BLOCK
C.H.M. CHIMNEY
C.L.F. CHAIN LINK FENCE
C.O. CLEAN OUT
C.O.C. CONCRETE
C.O.R. CORNER
C.S.W. CONCRETE SIDEWALK
C.V.G. CONCRETE VALLEY GUTTER
C.L. CENTER LINE
C.P. COVERED PORCH
C.S. CONCRETE SLAB
(D) DEED
D.F. DRAIN FIELD
D.W. DRIVEWAY
ELEV. ELEVATION
ENCL. ENCLOSURE
ENT. ENTRANCE
E.M. ELECTRIC METER
E.O.P. EDGE OF PAVEMENT
E.O.W. EDGE OF WATER
EUB. ELECTRIC UTILITY BOX
(F) FIELD
F.C.M. FOUND CONCRETE MONUMENT
F.D.H. FOUND DRILL HOLE
F.F. FINISHED FLOOR
F.I.P. FOUND IRON PIPE
F.I.P.C. FOUND IRON PIPE + CAP
F.I.R. FOUND IRON ROD
F.I.R.C. FOUND IRON ROD + CAP
F.N. FOUND NAIL
F.N.D. FOUND NAIL + DISC
F.P.K.N. FOUND PARKER-KALON NAIL
F.P.K.N.D. FOUND PARKER-KALON NAIL + DISC
F.R.S.P.K. FOUND RAILROAD SPIKE
G.A.R. GARAGE
G.M. GAS METER

I.D. IDENTIFICATION
ILL. ILLEGIBLE
INST. INSTRUMENT
INT. INTERSECTION
L. LENGTH
L.B. LICENSE # - BUSINESS
L.S. LICENSE # - SURVEYOR
(M) MEASURED
M.B. MAP BOOK
M.E.S. MITERED END SECTION
M.F. METAL FENCE
N.R. NON RADIAL
N.T.S. NOT TO SCALE
O.C.S. ON CONCRETE SLAB
O.G. ON GROUND
OFF. OUTSIDE OF SUBJECT PARCEL
OH. OVERHANG
OHL. OVERHEAD LINES
ON. INSIDE OF SUBJECT PARCEL
O.R.B. OFFICIAL RECORD BOOK
O.R.V. OFFICIAL RECORD VOLUME
OIA. OVERALL
OIS. OFFSET
(P) PLAT
P.B. PLAT BOOK
P.C. POINT OF CURVATURE
P.C.C. POINT OF COMPOUND CURVATURE
P.C.P. PERMANENT CONTROL POINT
P.E. POOL EQUIPMENT
P.G. PAGE
P.I. POINT OF INTERSECTION
P.L.S. PROFESSIONAL LAND SURVEYOR
PLT. PLANTER
P.O.B. POINT OF BEGINNING
P.O.C. POINT OF COMMENCEMENT
P.P. PINCHED PIPE
P.R.C. POINT OF REVERSE CURVATURE
P.R.M. PERMANENT REFERENCE MONUMENT
P.S.M. PROFESSIONAL SURVEYOR
AND MAPPER
P.T. POINT OF TANGENCY
R. RADIUS OF RADIAL
(R) RECORD
RGE. RANGE
RES. RESIDENCE
R.W. RIGHT OF WAY
(S) SURVEY
S.B.L. SETBACK LINE
S.C.L. SURVEY CLOSURE LINE
SCR. SCREEN

SEC. SECTION
SEP. SEPTIC TANK
SEW. SEWER
SGD. SET GLUE DISC
SIRC. SET IRON ROD + CAP
SNAD. SET NAIL + DISC
SQ.FT. SQUARE FEET
STY. STORY
S.T.L. SURVEY TIE LINE
SV. SEWER VALVE
SW. SIDEWALK
S.W. SEAWALL
TBM. TEMPORARY BENCHMARK
TEL. TELEPHONE FACILITIES
T.O.B. TOP OF BANK
TWP. TOWNSHIP
TX. TRANSFORMER
TYP. TYPICAL
U.R. UTILITY RISER
WIC. WITNESS CORNER
WIF. WATER FILTER
W.F. WOODEN FENCE
WM. WATER METER/VALVE BOX
WW. WATER VALVE
V.F. VINYL FENCE

A.E. ACCESS EASEMENT
A.N.E. ANCHOR EASEMENT
C.M.E. CANAL MAINTENANCE ESMT.
C.U.E. COUNTY UTILITY ESMT.
D.E. DRAINAGE EASEMENT
D.U.E. DRAINAGE AND UTILITY ESMT.
ESMT. EASEMENT
I.E.E. IRRIGATION ESMT.
I.R.E. IRRIGATION EASEMENT
L.A.E. LIMITED ACCESS ESMT.
L.B.E. LANDSCAPE EASEMENT
L.E. LANDSCAPE ESMT.
L.M.E. LAKE OR LANDSCAPE MAINTENANCE EASEMENT
M.E. MAINTENANCE EASEMENT
P.U.E. PUBLIC UTILITY EASEMENT
R.O.E. ROOF OVERHANG ESMT.
S.W.E. SIDEWALK EASEMENT
S.W.M.E. STORM WATER MANAGEMENT ESMT.
T.U.E. TECHNOLOGICAL UTILITY ESMT.
U.E. UTILITY EASEMENT

ELECTRONIC SIGNATURE:

In complete accordance with Florida Statute 472.025 and Pursuant to the Electronic Signature Act of 1996 or Florida Statute TITLE XXXIX, Chapter 668, if this document was received electronically via PDF, then it has been lawfully Electronically Signed. Therefore, this survey PDF, if authentic, is completely official and insurable. In order to validate the "Electronic Signature" of PDF surveys sent via www.surveystars.com, you must use a hash calculator. A free hash calculator is available for download at:

www.softpedia.com/get/System/File-Management/Hash-Calculator-Kirill.shtml

In order to validate the Electronic Signature of any survey PDF sent via www.surveystars.com:

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2. Save the Survey PDF onto your computer from www.surveystars.com or from the email sent from www.surveystars.com.
3. Click the square Browse button in the upper right hand corner of the Hash Calculator to find and select the saved Survey PDF document, and click the COMPUTE button in the lower right hand corner of the Hash Calculator.
4. Compare the 40 digit string of characters in the SHA-1 line to the 40 digit SHA-1 characters for the survey in the job file in www.surveystars.com which is also printed on the invoice for that survey.
5. If the 40 digit string of SHA-1 characters are exactly the same on the invoice (or in the survey file at www.surveystars.com) as they are in the Hash Calculator, then this PDF is authentic. If the 40 digit string of characters does not match exactly, then this PDF has been tampered with and it is not authentic.

PRINTING INSTRUCTIONS:

1. While viewing the survey in Adobe Reader, select the "Print" button under the "File" tab.
2. Select a printer with legal sized paper.
3. Under "Print Range", click select the "All" toggle.
4. Under the "Page Handling" section, select the number of copies that you would like to print.
5. Under the "Page Scaling" selection drop down menu, select "None."
6. Uncheck the "Auto Rotate and Center" checkbox.
7. Check the "Choose Paper size by PDF" checkbox.
8. Click OK to print.

TO PRINT IN BLACK + WHITE:

1. In the main print screen, choose "Properties".
2. Choose "Quality" from the options.
3. Change from "Auto Color" or "Full Color" to "Gray Scale".

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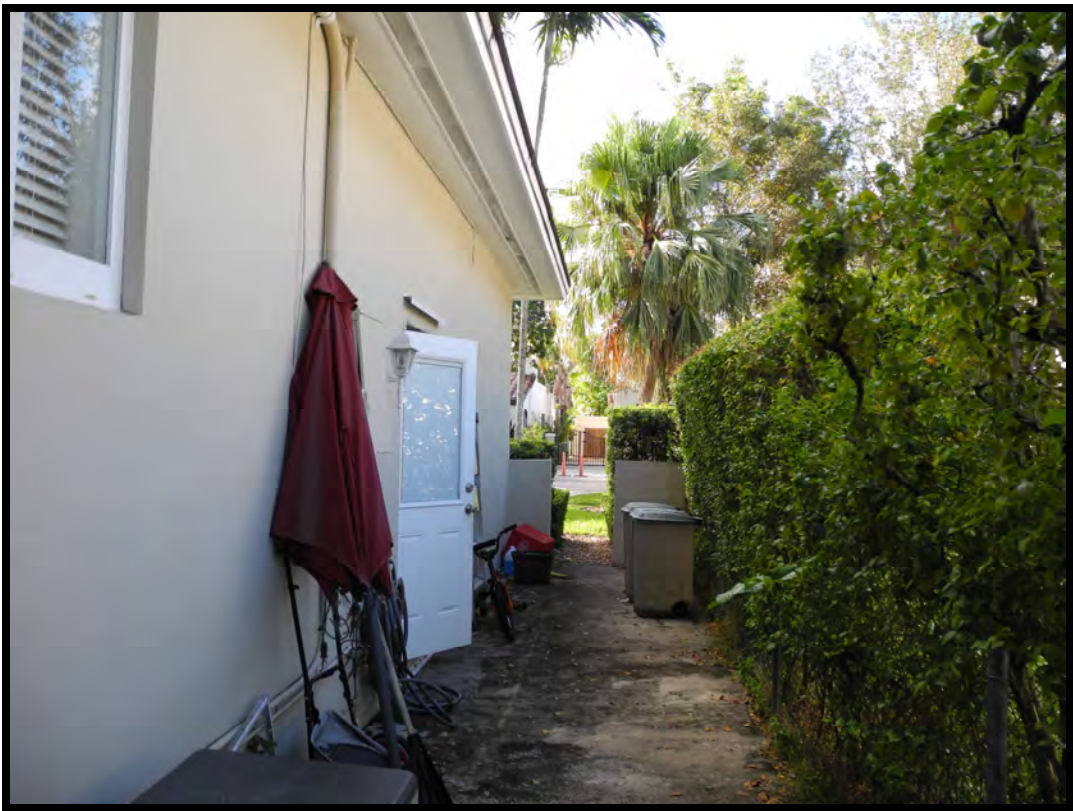
Odor Residence

805 Majorca Avenue

Coral Gables, FL 33146















Odor Residence – Neighborhood Context

805 Majorca Avenue





811 Majorca Ave – Neighbor to the West



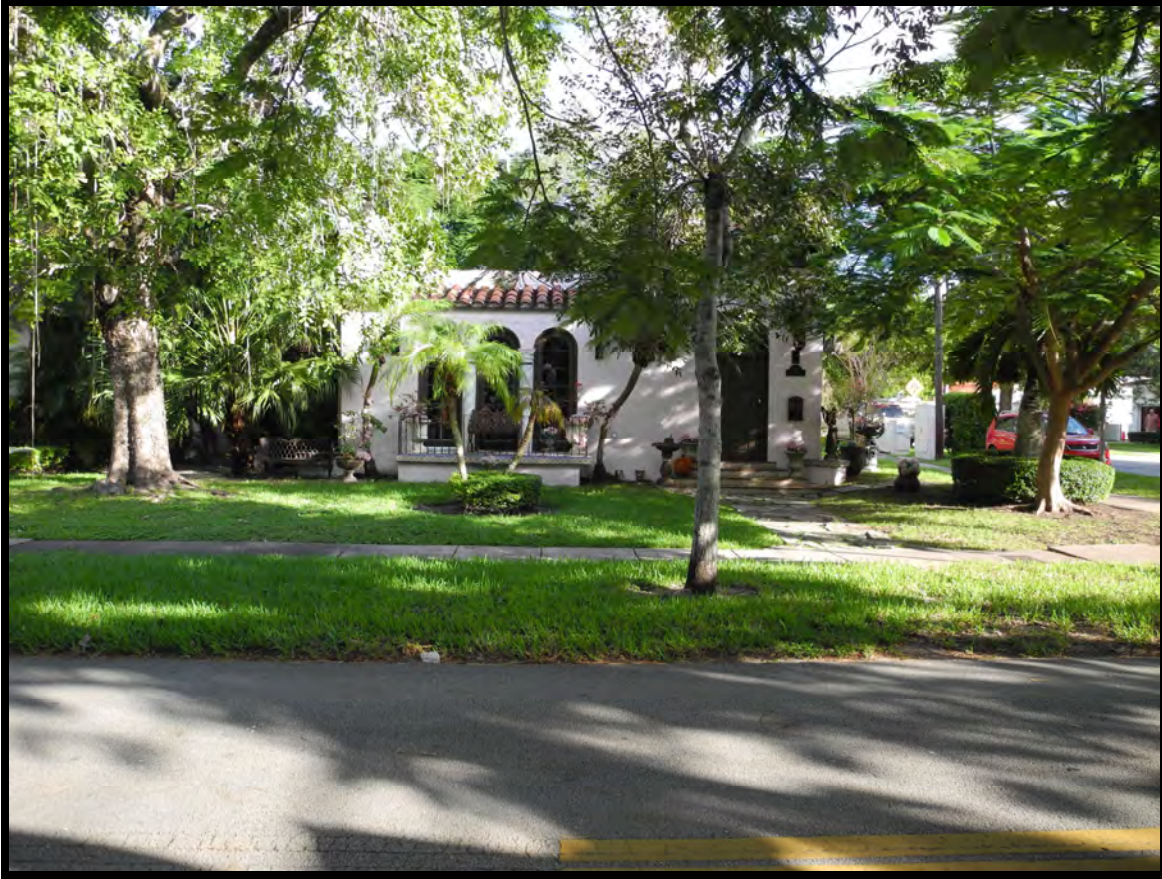
808 Majorca Ave – Neighbor to the South West across the street



804 Majorca Avenue – Neighbor to the South across the street



800 Majorca Avenue – Neighbor to the South East across the street



801 Majorca Avenue – Neighbor to the East