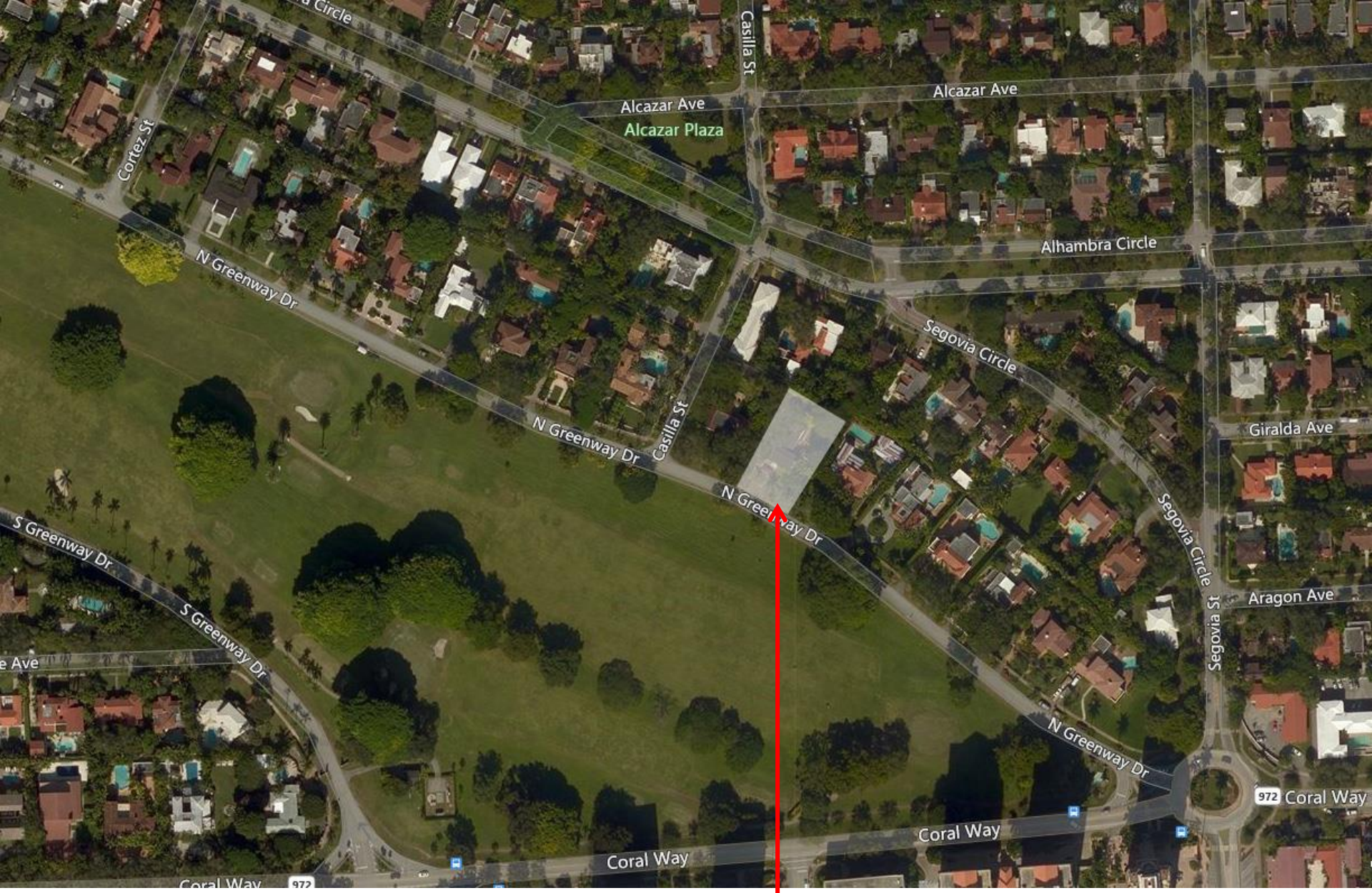
657 NORTH GREENWAY DRIVE
CORAL GABLES, FL

PACHECO-MARTINEZ
& ASSOCIATES LLC.



SUBJECT PROPERTY
657 NORTH GREENWAY DRIVE

PACHECO-MARTINEZ
& ASSOCIATES LLC.

FRONT ELEVATION

SOUTHEAST SIDE ELEVATION

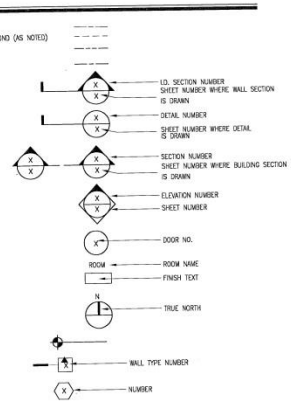
SOUTHEAST SIDE ELEVATION

NORTHWEST SIDE ELEVATION

GENERAL NOTES

1. Contractor shall comply with all applicable local, state and federal building codes. Permit shall be posted on a visible place at all times. All permits, utility and meter connection fees shall be obtained and paid for by the contractor.
2. All work, materials and equipment utilized in this Project shall be installed in strict accordance with the manufacturer's recommendations and specifications.
3. All work for this Project shall conform to standards published by recognized professional and industry organizations.
4. Contractor shall be responsible for visiting the site prior to bidding and familiarizing himself with all existing conditions affecting the work, including but not limited to private and public utilities, on and off site, access roads, and other support facilities.
5. Contractor to remove, relocate or re-route as necessary electrical, water, gas or any other utility lines encountered and shall coordinate this work with all local utility companies.
6. Contractor must notify Architect immediately of any unexpected or unknown conditions, discrepancies in the drawings and contract documents, any errors or omissions on the drawings in the field prior to proceeding with work or shop fabrication.
7. Contractor shall notify Architect for clarification prior to bidding of any discrepancies between architectural, mechanical and electrical drawings. Bid shall be based on the most stringent requirement.
8. Contractor to obtain written approval from Owner and Architect prior to any changes or deviation from Contract Documents.
9. Contractor shall prepare and maintain all construction areas, as well as surrounding areas free of debris or hazardous equipment at all times.
10. Contractor shall be responsible for the repair and/or the replacement of any items damaged during construction or clean-up. Construction personnel shall be confined to the limits of the construction area. All OSHA regulations for construction areas shall be strictly followed.
11. Discrepancies
    A- In discrepancies or conflicts in the contract documents, the more strict requirements will apply.
    B- The contractor shall have all items or details clarified with the architect prior to submitting a bid, otherwise the architect's interpretation shall be final.
    C- On-site verification of all dimensions and conditions shall be the responsibility of the contractor. Any discrepancies shall be reported to the architect at once before proceeding.
    *Drawings are not to be scaled. Dimensions shall be followed.
12. All dimensions are based on nominal sizes of members and are given to the outer face of such members, not to face of finish material unless otherwise noted on drawings.
13. Contractor to submit shop drawings for approval before commencing fabrication and/or installation of all applicable items of construction. All shop drawing dimensions shall be field verified, reviewed and approved by Contractor before submittal. Shop Drawings which are incomplete or lacking sufficient information will be returned without review. Refer to specifications for additional requirements.
14. The Contractor shall be aware that specific fire rated separation within the building's construction are required by code. The use of specific materials and combinations of materials within fire rated assemblies as called for on the drawings and Specifications are for the purpose of achieving those required fire separation. It shall be the Contractor's responsibility to verify that change in material that are requested by or made by the Contractor and/or it's sub-contractors, from those materials drawn or specified, does not in any way affect or lessen the required fire rated construction or assembly.
15. Where CMU is indicated to have a specific hourly fire rating, this shall be taken as the minimum allowed.
16. All wood framing, including plywood, which is concealed within walls or ceilings or used for support of walls or ceilings shall meet code requirements, pressure treated wood shall be used where in contact with concrete or masonry or in contact with the elements (exterior).
17. All piping sleeved through slab. Contractor to fully seal space around pipes with a 2-hour U.L. approved fire resistive "Thermafiber" glass fiber safing insulation as manufactured by U.S. Gypsum Co. complying with ASTM E-119 or approved similar. Penetrations through fire rated walls shall be protected as to maintain the fire rating of said wall.
18. Contractor to submit a minimum of five (5) sets of complete shop drawings or as submittals for approval before commencing fabrication and/or installation of all applicable items of construction. All shop drawing dimensions shall be field verified and reviewed and approved by the Contractor before submittal, and so noted. RE: Review by architect or engineer required by submittal not evaluated and approved by Contractor shall be paid for by the Contractor on hourly rates established in Architects Contract for services for this Project.
19. The underside of all exterior soffits and slabs exposed to weather shall receive a continuous drip strip without exception.
20. All metal flashing, scuppers, etc. to receive paint as recommended by manufacturer, unless otherwise noted on drawings or project manual.
21. Contractor to furnish and install all metal and wood blocking required for wall mounted or braced fixtures, millwork, shelves, bathroom fixtures and accessories or by other items described in Interior Design and Architectural drawings.
22. In addition to wall types shown on plans the Contractor shall refer to the room finish schedule, interior elevations and details for additional information regarding finishes.
23. Contractor shall coordinate with mechanical and electrical contractors the location of all access panels so as to allow for proper equipment accessibility, maintenance and/or operation of the Building Systems. The omission of any or all access panels does not relieve the Contractor of the responsibility from providing and installing such panels or doors.
24. Contractor shall paint all visible surfaces of factory primed or factory paint finished equipment, A/C grills or registers, covers, etc. unless specifically noted otherwise verify and coordinate colors with Interior Designer and Architect.
25. Before installation, the Contractor shall coordinate with the Architect the exact mounting location of all switches, wall receptacles, plugs, thermostats and other wall mounted fixtures.
26. All interior and exterior joints between different materials or finishes shall receive a bead of caulking to match color of adjacent surface. Coordinate colors with Architect.
27. Contractor shall be responsible for removing all debris and construction material from the site (refer to note #9). Contractor shall also be responsible for properly cleaning all areas prior to final acceptance by the Owner including but not limited to windows, storefront, floors carpets, walls, doors, etc.
28. Upon completion of this Project, the Contractor shall give the Owner a complete set of as-built architectural, mechanical, and electrical drawings along with the written Guaranties, operation and maintenance manuals of all equipment and finishes installed. The Contractor shall maintain a current set of as-built drawings. Information shall be recorded by Contractor as construction progresses.
29. All slabs on grade, interior and exterior, to be on 6 mil polyethylene vapor barrier.

SYMBOLS



SCOPE OF WORK

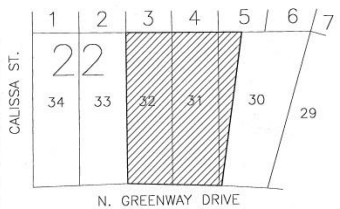
1. NEW WOOD DOOR, TRANSOM AND WOOD SIDE PANELS TO MATCH HISTORIC PHOTOGRAPHS.
2. STUCCO ARCHES AND FRAMING TO BE REMOVED, WOODEN BEAM TO BE RETURNED TO ORIGINAL CONDITION, AND STEEL COLUMNS TO BE COVERED WITH DECORATIVE WOODEN COLUMNS.
3. STUCCO ARCHES AND FRAMING TO BE REMOVED, WOODEN BEAM TO BE RETURNED TO ORIGINAL CONDITION, AND STEEL COLUMNS TO BE COVERED WITH DECORATIVE WOODEN COLUMNS.

LEGAL DESCRIPTION

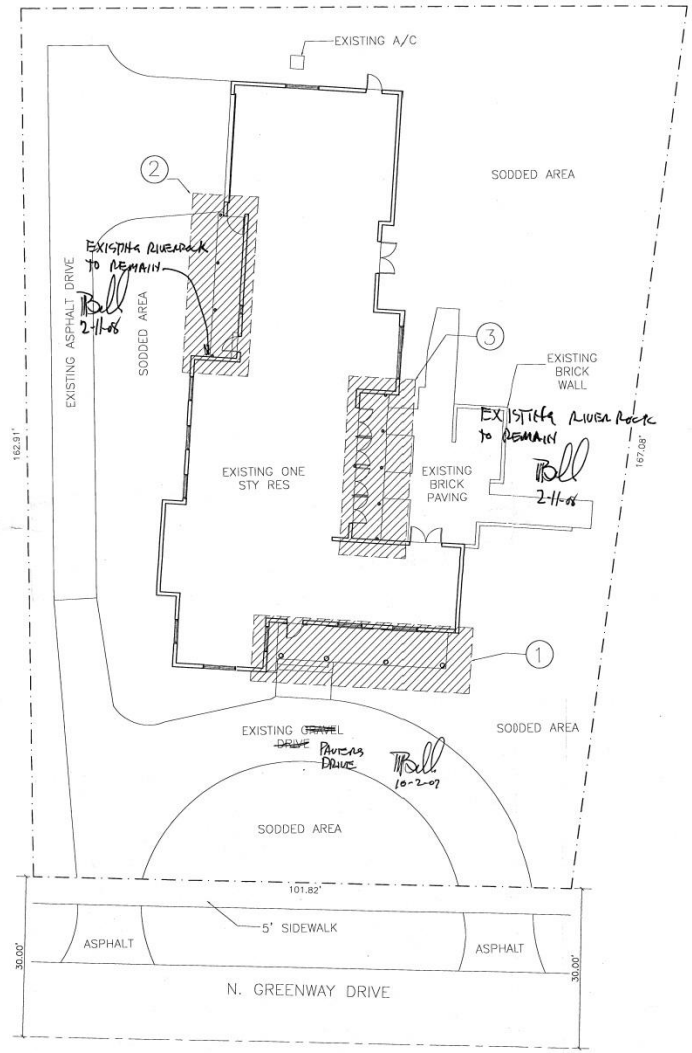
LOTS 31, 32, AND A PORTION OF LOT 30, BLOCK 22, OF "CORAL GABLES SECTION 8", ACCORDING TO THE PLAT BOOK THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 111, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

MATERIAL LEGEND

	CONCRETE MASONRY UNIT (C.M.U.)		BATT INSULATION
	POURED IN PLACE CONCRETE (LARGE SCALE)		RIGID INSULATION
	PRECAST CONC. (LARGE SCALE)		GLASS (LARGE SCALE)
	UNTREATED WOOD		PLASTER, SAND, CEMENT, GROUT CYPSUM BOARD, STUCCO
	P.T. WOOD		POLYSTYRENE



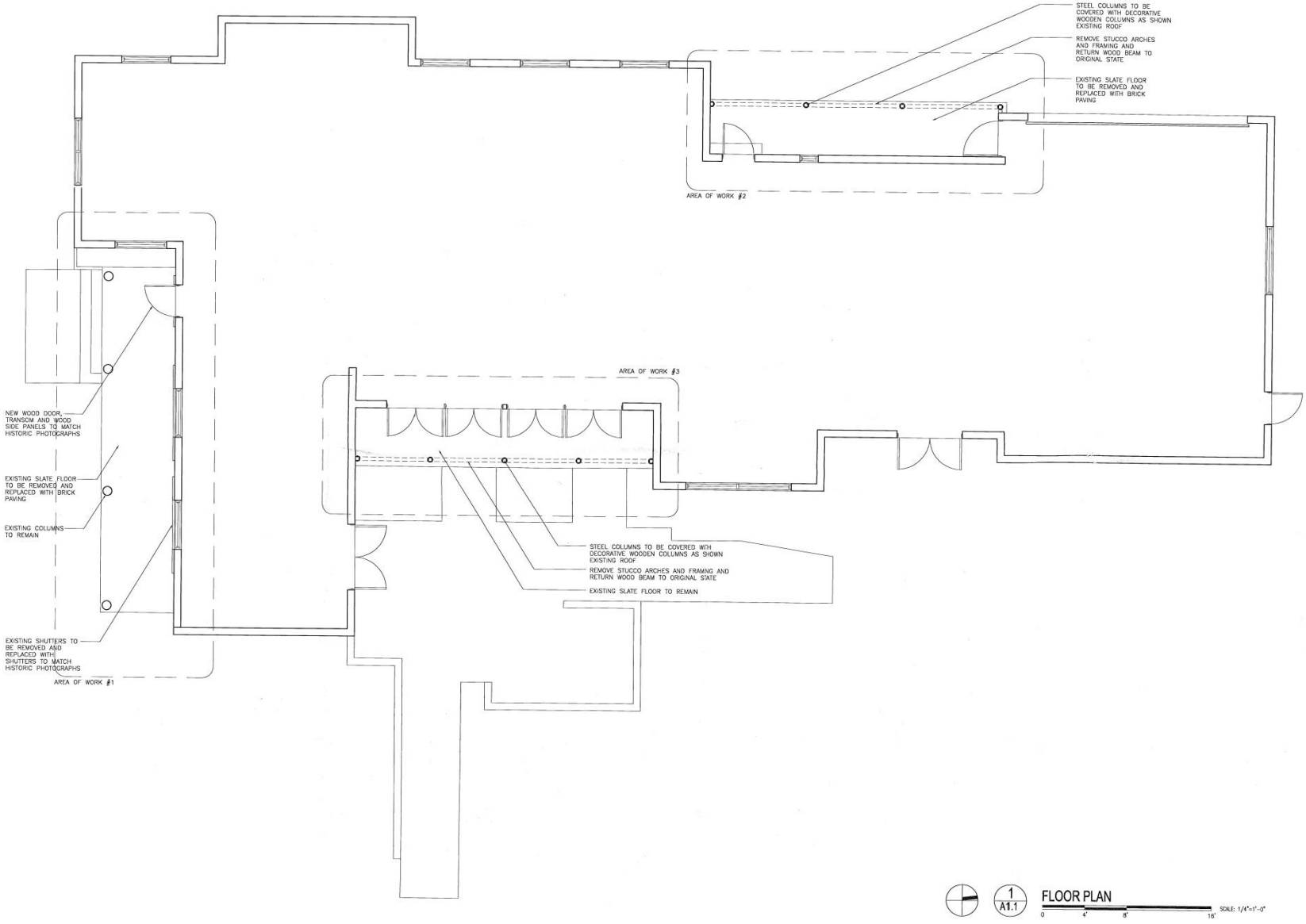
1 A-0 **LOCATION SKETCH** N.T.S.



2 A-0 **SITE PLAN** SCALE: 1/16"=1'-0"

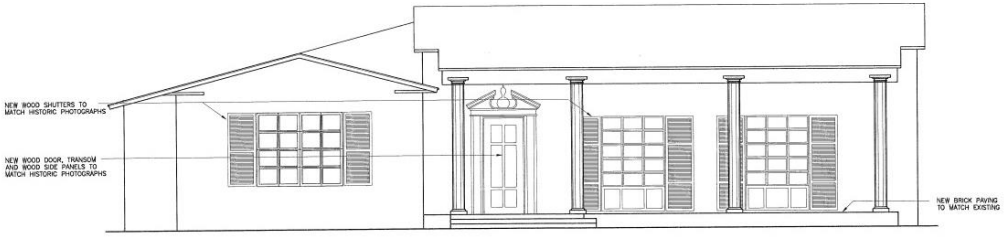
PACHECO-MARTINEZ & ASSOCIATES LLC.

SITE PLAN - MICROFILM



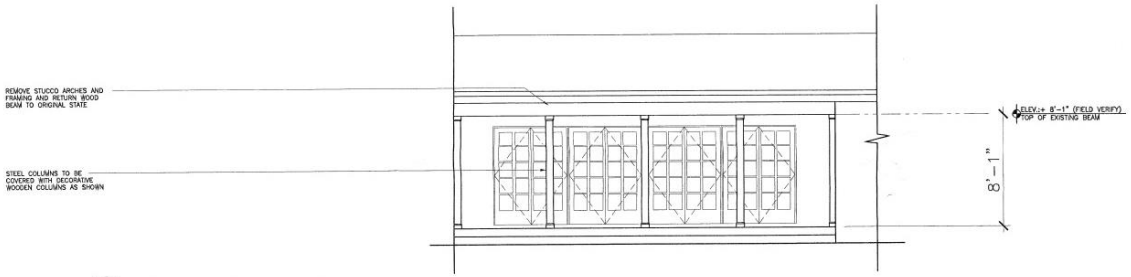
PACHECO-MARTINEZ
& ASSOCIATES LLC.

FLOOR PLAN - MICROFILM



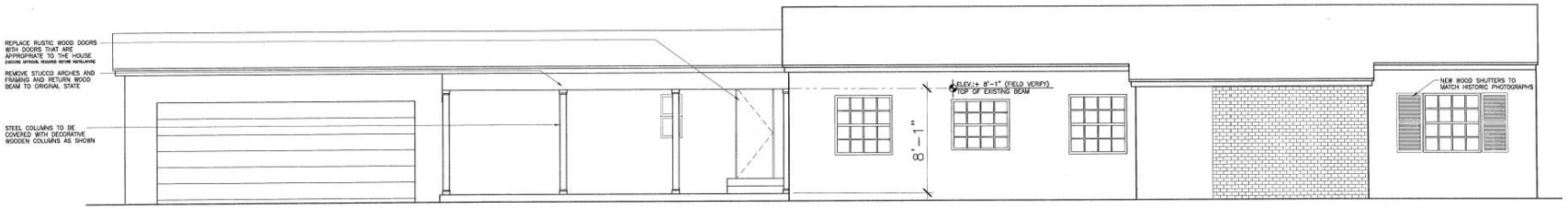
1 A-3 **SOUTH-WEST ELEVATION**

0 4' 8' 16' SCALE: 1/4"=1'-0"



3 A-3 **SOUTH-EAST ELEVATION**

0 4' 8' 16' SCALE: 1/4"=1'-0"



3 A-3 **NORTH-WEST ELEVATION**

0 4' 8' 16' SCALE: 1/4"=1'-0"

PACHECO-MARTINEZ & ASSOCIATES LLC.

ELEVATIONS - MICROFILM

NEIGHBOR TO THE EAST

NEIGHBOR TO THE NORTH

NEIGHBOR TO THE WEST

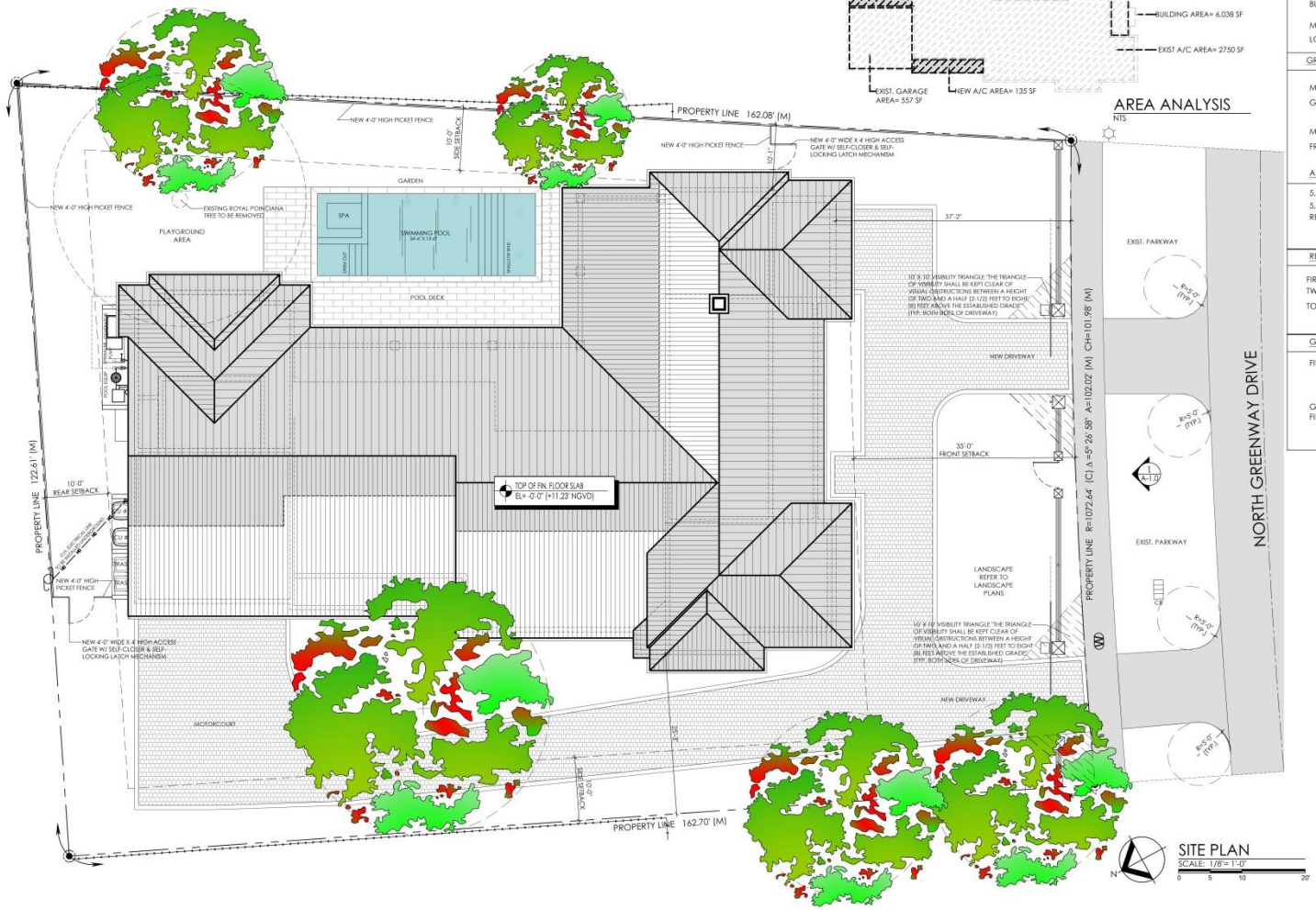
SOUTH VIEW TO GOLF COURSE

PACHECO-MARTINEZ
& ASSOCIATES LLC.

NEIGHBOR TO THE EAST

NEIGHBOR TO THE WEST

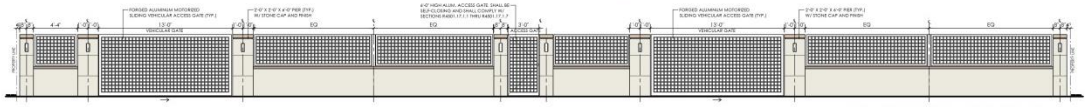
NEIGHBOR TO WEST
1020 SOUTH GREENWAY DRIVE



AREA COMPUTATIONS FOR CORAL GABLES

SFR -SINGLE FAMILY RESIDENTIAL

LOT COVERAGE:		
LOT AREA =	18,316	SQ. FT.
MAXIMUM BUILDING COVERAGE ALLOWED (35%)=	6,411	SQ. FT.
BUILDING COVERAGE PROVIDED=	6,095	SQ. FT.
MAXIMUM LOT COVERAGE ALLOWED (45%)=	8,243	SQ. FT.
LOT COVERAGE PROVIDED=	8,239	SQ. FT.
GREEN AREA CALCULATIONS :		
MINIMUM GREEN AREA ALLOWED (40%)=	7,327	SQ. FT.
GREEN AREA PROVIDED=	7,343	SQ. FT.
MINIMUM FRONT YARD GREEN AREA ALLOWED (20% OF 40%)=	1,466	SQ. FT.
FRONT YARD GREEN AREA PROVIDED=	1,871	SQ. FT.
ALLOWED F.A.R.:		
5,000 SQ. FT. @ 48%	2,400	SQ. FT.
5,000 SQ. FT. @ 35%	1,750	SQ. FT.
REMAINING 8,316 SQ. FT. @ 30%	2,494	SQ. FT.
BASE F.A.R. ALLOWED=	6,644	SQ. FT.
RESIDENCE SQUARE FOOTAGE: FOR CORAL GABLES		
FIRST FLOOR A/C:	4,009	SQ. FT.
TWO CAR GARAGE:	557	SQ. FT.
TOTAL F.A.R. AREA PROVIDED	4,566	SQ. FT.
GROSS SQUARE FOOTAGE:		
FIRST FLOOR A/C:	4,009	SQ. FT.
TOTAL A/C AREA PROVIDED=	4,009	SQ. FT.
GARAGE AREA:	557	SQ. FT.
FIRST FLOOR COVERED TERRACE & ENTRY:	1,529	SQ. FT.
TOTAL GROSS AREA=	6,095	SQ. FT.



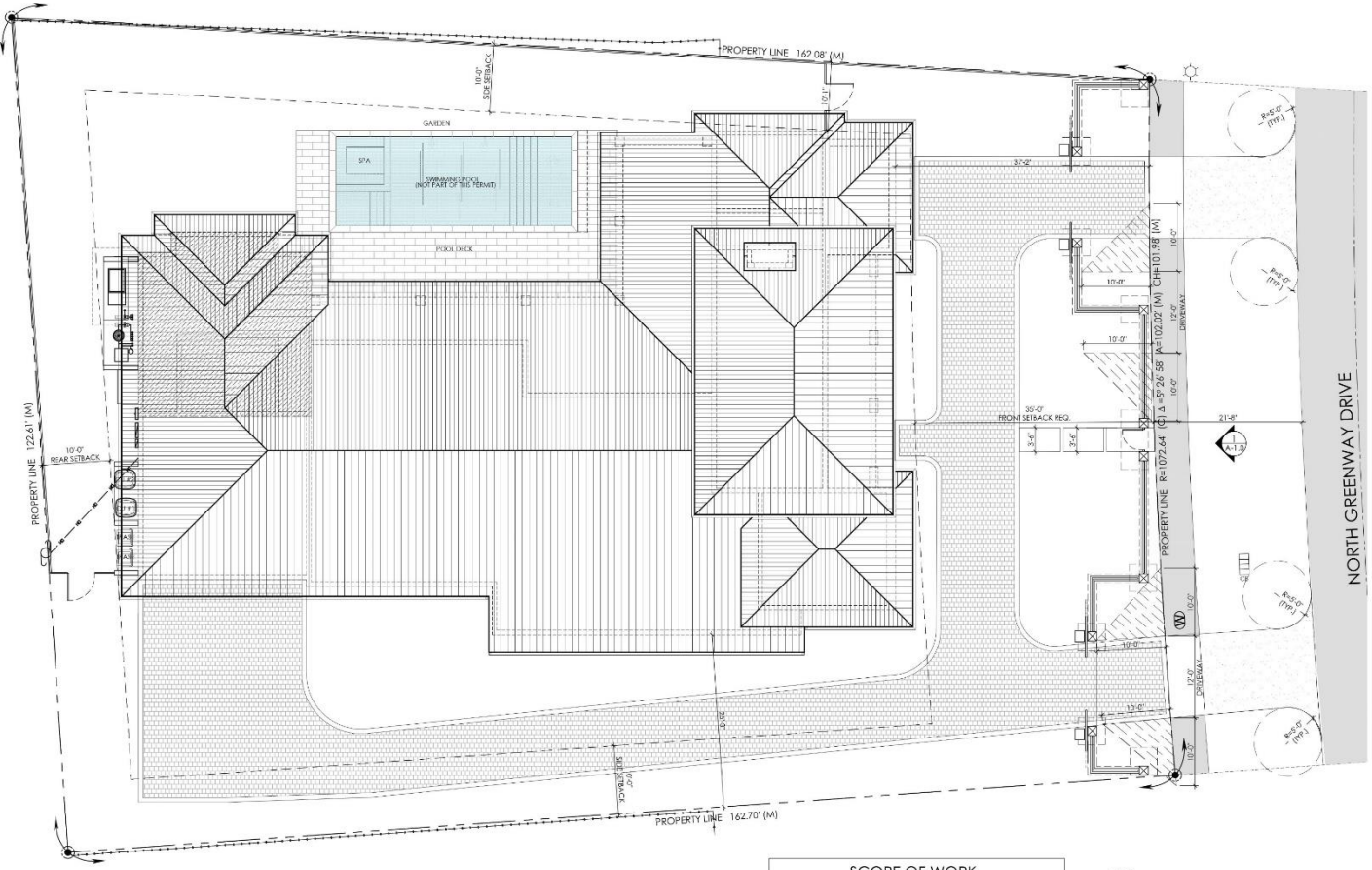
1 FRONT PRIVACY FENCE
SCALE: 3/16" = 1'-0"

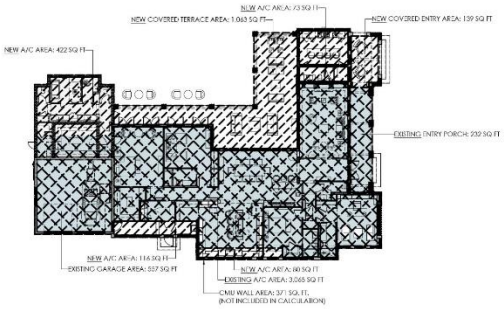
SCOPE OF WORK

- INTERIOR AND EXTERIOR REMODELING TO INCLUDE ADDITIONS TO EXISTING ONE STORY SINGLE FAMILY RESIDENCE.
- EXISTING ROYAL POINCIANA TREE TO BE REMOVED
- NEW FRONT PRIVACY FENCE AND WALL W/ VEHICULAR GATE
- NEW SWIMMING POOL

PACHECO-MARTINEZ & ASSOCIATES LLC.

APPROVED SITE PLAN





AREA COMPUTATIONS FOR CORAL GABLES

SFR -SINGLE FAMILY RESIDENTIAL

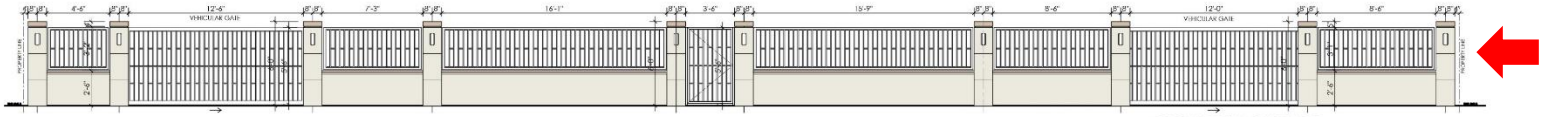
LOT COVERAGE		
LOT AREA =	18,316	SQ. FT.
MAXIMUM BUILDING COVERAGE ALLOWED (35%)=	6,411	SQ. FT.
BUILDING COVERAGE PROVIDED=	6,138	SQ. FT.
MAXIMUM LOT COVERAGE ALLOWED (45%)=	8,242	SQ. FT.
LOT COVERAGE PROVIDED=	6,586	SQ. FT.
GREEN AREA CALCULATIONS		
MINIMUM GREEN AREA ALLOWED (40%)=	7,326	SQ. FT.
GREEN AREA PROVIDED=	7,359	SQ. FT.
MINIMUM FRONT YARD GREEN AREA ALLOWED (20% OF 40%)=	1,466	SQ. FT.
FRONT YARD GREEN AREA PROVIDED=	2,210	SQ. FT.
ALLOWED F.A.R.		
5,000 SQ. FT. @ 48%	2,400	SQ. FT.
5,000 SQ. FT. @ 35%	1,750	SQ. FT.
REMAINING 8,316 SQ. FT. @ 30%	2,494	SQ. FT.
BASE F.A.R. ALLOWED=	6,644	SQ. FT.
RESIDENCE SQUARE FOOTAGE FOR CORAL GABLES		
A/C AREA:	3,760	SQ. FT.
EXISTING TWO CAR GARAGE AREA :	557	SQ. FT.
TOTAL F.A.R. AREA PROVIDED	4,217	SQ. FT.
NOTE FAR TABULATION PROVIDED PER ZONING CODE, ARTICLE 4, DIVISION 1, SINGLE FAMILY DISTRICT ITEMS (9) AND (10).		
GROSS SQUARE FOOTAGE:		
EXISTING A/C AREA:	3,065	SQ. FT.
NEW A/C AREA:	638	SQ. FT.
TOTAL A/C AREA PROVIDED=	3,703	SQ. FT.
EXISTING GARAGE AREA:	557	SQ. FT.
TOTAL COVERED TERRACE & ENTRY PORCH:	1,488	SQ. FT.
TOTAL GROSS AREA=	5,748	SQ. FT.

SCOPE OF WORK

- REMODELED ONE STORY RESIDENCE W/ NEW SWIMMING POOL
- NEW FRONT PRIVACY FENCE AND WALL W/ VEHICULAR ACCESS GATES

N

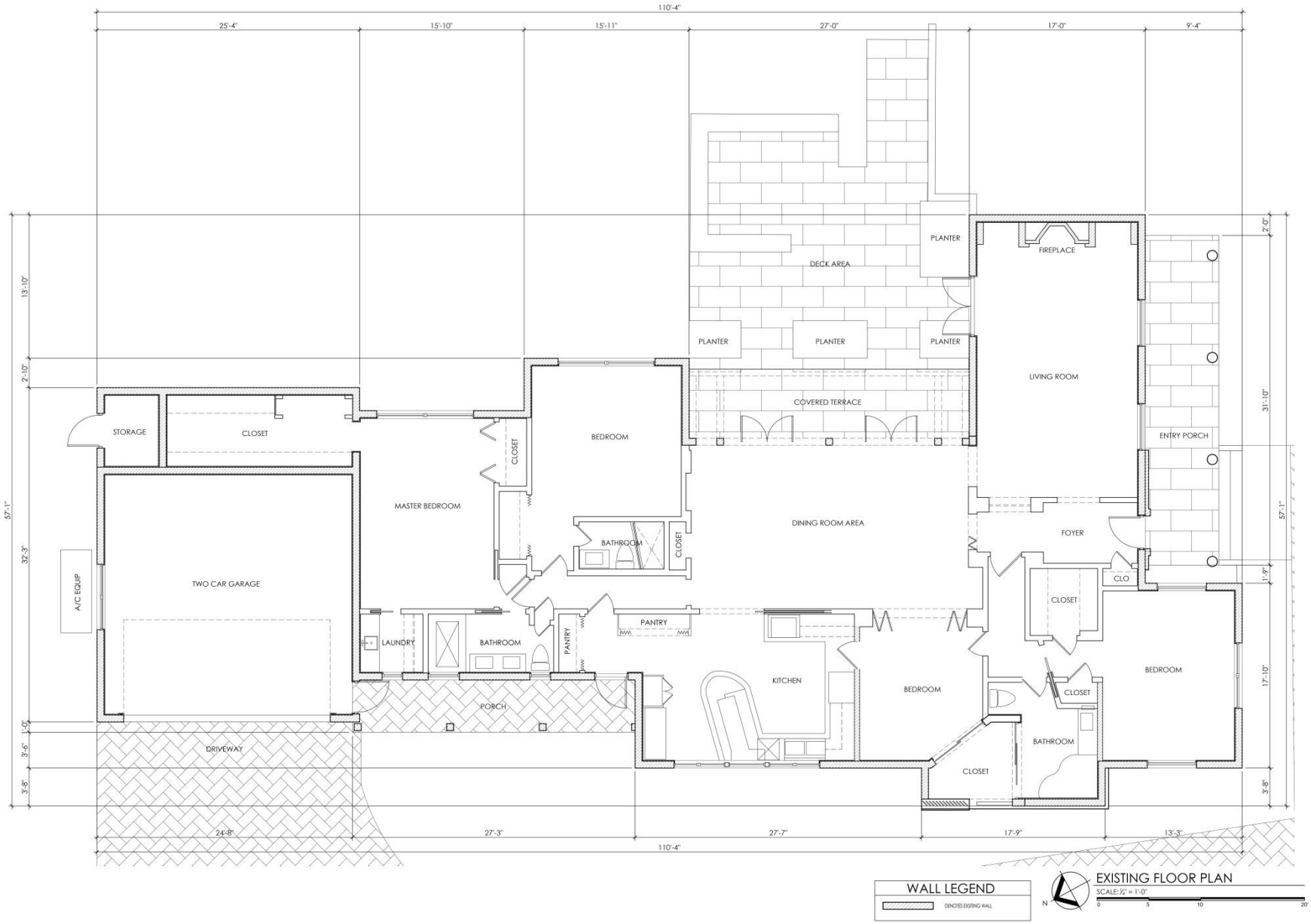
SITE PLAN
SCALE: 1/8" = 1'-0"



1 FRONT PRIVACY FENCE
SCALE: 1/8" = 1'-0"

PACHECO-MARTINEZ & ASSOCIATES LLC.

PROPOSED SITE PLAN



PACHECO-MARTINEZ
& ASSOCIATES LLC.

EXISTING FLOOR

GENERAL DEMOLITION NOTES

1. THE GENERAL CONTRACTOR (G.C.) IS RESPONSIBLE TO CARRY OUT THE DEMOLITION PROCESS IN FULL COMPLIANCE WITH THE FLORIDA EXISTING BUILDING CODE (F.E.B.C.) IN ALL ASPECTS.

2. G.C. IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.

3. G.C. IS RESPONSIBLE FOR THE STORAGE AND DISPOSAL OF DEBRIS CAUSED BY ANY DEMOLITION REQUIRED BY THIS JOB.

4. G.C. IS RESPONSIBLE FOR PROVIDING BARRICADES TO COMPLY ANY PEDESTRIAN TRAFFIC IN THE AREA OF CONSTRUCTION.

5. IN THE EVENT THAT ANY DISCREPANCIES ARE FOUND DURING THE DEMOLITION STAGE, THE G.C. IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT / ENGINEER PRIOR TO PROCEEDING WITH THE WORK.

6. ALL ELECTRICAL OUTLETS, FIXTURES, SWITCHES, ETC. BEING REMOVED SHALL HAVE ALL WIRES PULLED BACK ALL THE WAY TO THE POINT OF ORIGIN.

7. ALL ABANDONED PLUMBING PIPES BELOW SLAB AND INSIDE WALLS SHALL BE CAPPED OFF.

8. G.C. IS RESPONSIBLE FOR NOTIFYING THE GAS COMPANY OF ANY GAS LINES OR FUEL STORAGE TANKS FOUND IN THE PATH OF CONSTRUCTION PRIOR TO REMOVAL.

9. G.C. SHALL KEEP THE JOB SITE CLEAN AND CLEAR OF ANY DEBRIS THAT MAY OCCUR DUE TO THE SCOPE OF WORK.

10. G.C. IS RESPONSIBLE FOR PATCHING UP ANY AREAS DAMAGED DUE TO THE DEMOLITION OR CONSTRUCTION OF THIS PROJECT.

11. G.C. SHALL DISCONNECT ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK.

12. CONTRACTOR SHALL PROVIDE BRACING AS REQUIRED AT NEW MASONRY WALL OPENINGS WHILE POSTPARING NON STRUCTURAL SUPPORTS.

13. DO NOT DEMOLISH CAST WALL OR INTERIOR PARTITION THAT APPEARS TO BE STRUCTURAL, FLOOR SUPPORTING WITHOUT CONSULTING A LICENSED ENGINEER.

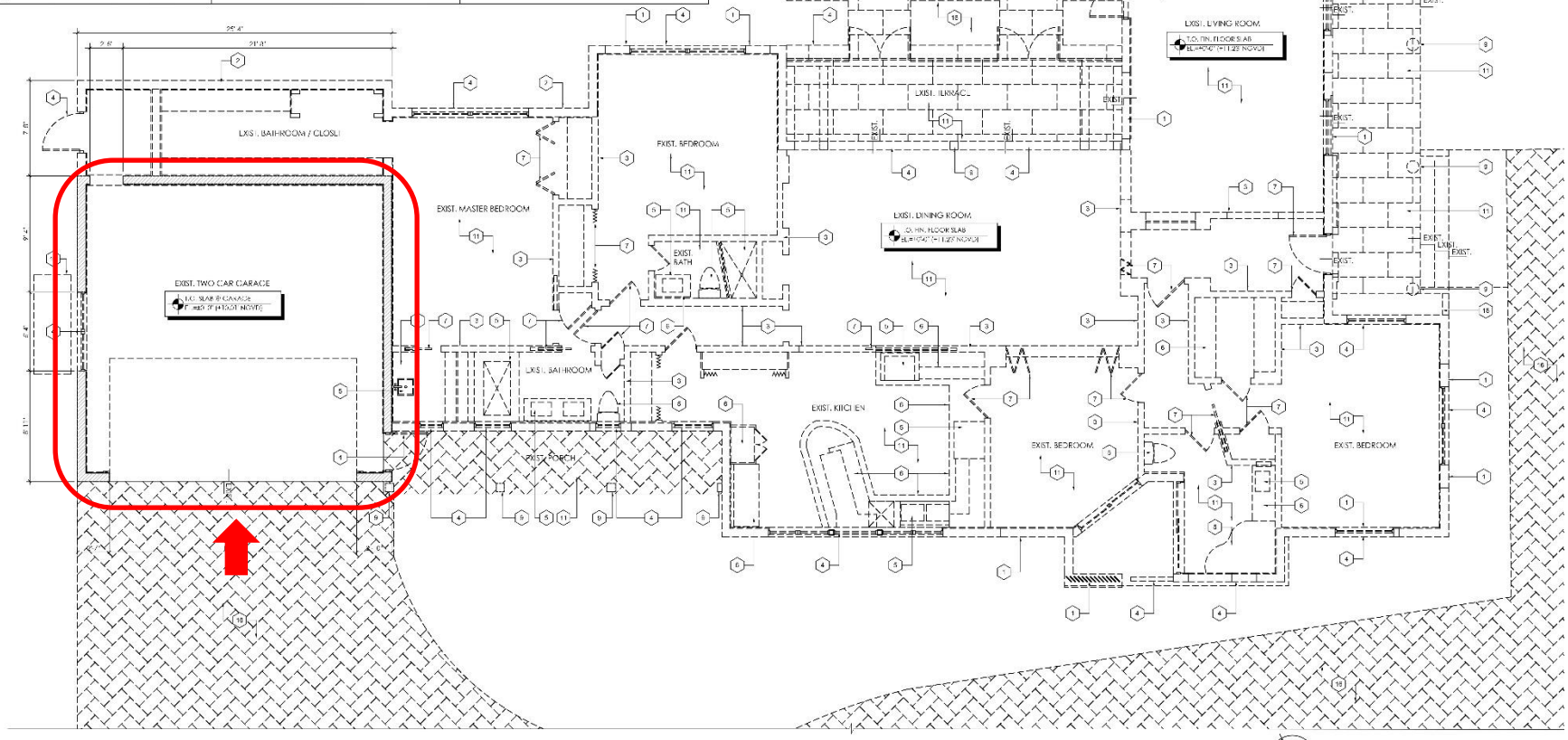
14. ALL DIMENSIONS INDICATED SHALL BE FIELD VERIFIED PRIOR TO THE COMMENCEMENT OF ANY WORK.

DEMOLITION KEY NOTES

1. REMOVE CMU WALL TO ALLOW NEW WINDOW OR DOOR OPENING FOLLOWING STRUCTURAL DOCUMENTS INSTRUCTIONS. SHORE THE EXISTING BEAM AS REQUIRED. ADJUST THE OPENING SIZE AND LOCATION AS NECESSARY PER NEW FLOOR PLAN, DOOR SCHEDULE, AND PER COORDINATION W/ DOOR MANUFACTURER. LEAVE THE OPENING READY TO RECEIVE THE NEW WORK.
2. REMOVE EXISTING CMU WALL TO ALLOW CONNECT THE NEW ADDITION W/ REMAINING EXISTING CONSTRUCTION FOLLOWING STRUCTURAL DOCUMENTS INSTRUCTIONS. SHORE THE EXISTING BEAM AS REQUIRED.
3. REMOVE NON BEARING PARTITION.
4. REMOVE EXISTING INTERIOR DOOR, WINDOW AND FRAME COMPLETE W/ ALL FASTENERS, ANCHORS, AND HARDWARE. ADJUST THE OPENING SIZE AND LOCATION AS NECESSARY PER NEW FLOOR PLAN, WINDOW SCHEDULE, AND PER COORDINATION W/ WINDOW MANUFACTURER. LEAVE THE OPENING READY TO RECEIVE THE NEW WORK.
5. REMOVE ALL PLUMBING & ELECTRICAL FIXTURES. LEAVE SURFACES READY TO RECEIVE THE NEW WORK. CAP OFF PLUMBING & ELECTRICAL AS REQUIRED.
6. REMOVE EXISTING CABINETS.
7. REMOVE EXISTING INTERIOR DOORS AND FRAME.
8. OVERHEAD BEARING A/C TO BE REMOVED. COMBINATION TO COORDINATE NEW A/C DUCTS WORK W/ EXISTING DUCTS. REFER TO MECHANICAL DRAWINGS.
9. REMOVE EXISTING CONCRETE COVERING STRUCTURAL COLUMNS INSTRUCTIONS. SHORE THE EXISTING BEAM AS REQUIRED.
10. EXISTING A/C COMPRESSORS TO BE RELOCATED.
11. REMOVED EXISTING FLOORING MATERIAL.
12. EXISTING ELECTRICAL PANEL TO BE RELOCATED. SEE ELECTRICAL DRAWINGS.
13. EXISTING A/C TO BE REMOVED. COMBINATION TO COORDINATE NEW A/C DUCTS WORK W/ EXISTING DUCTS. REFER TO MECHANICAL DRAWINGS.
14. EXISTING LOW WALL TO BE DEMOLISHED.
15. EXISTING PLANTER TO BE REMOVED.
16. EXISTING DRIVEWAY AND DRIVEWAY MATERIAL TO BE REMOVED.

DEMOLITION LEGEND

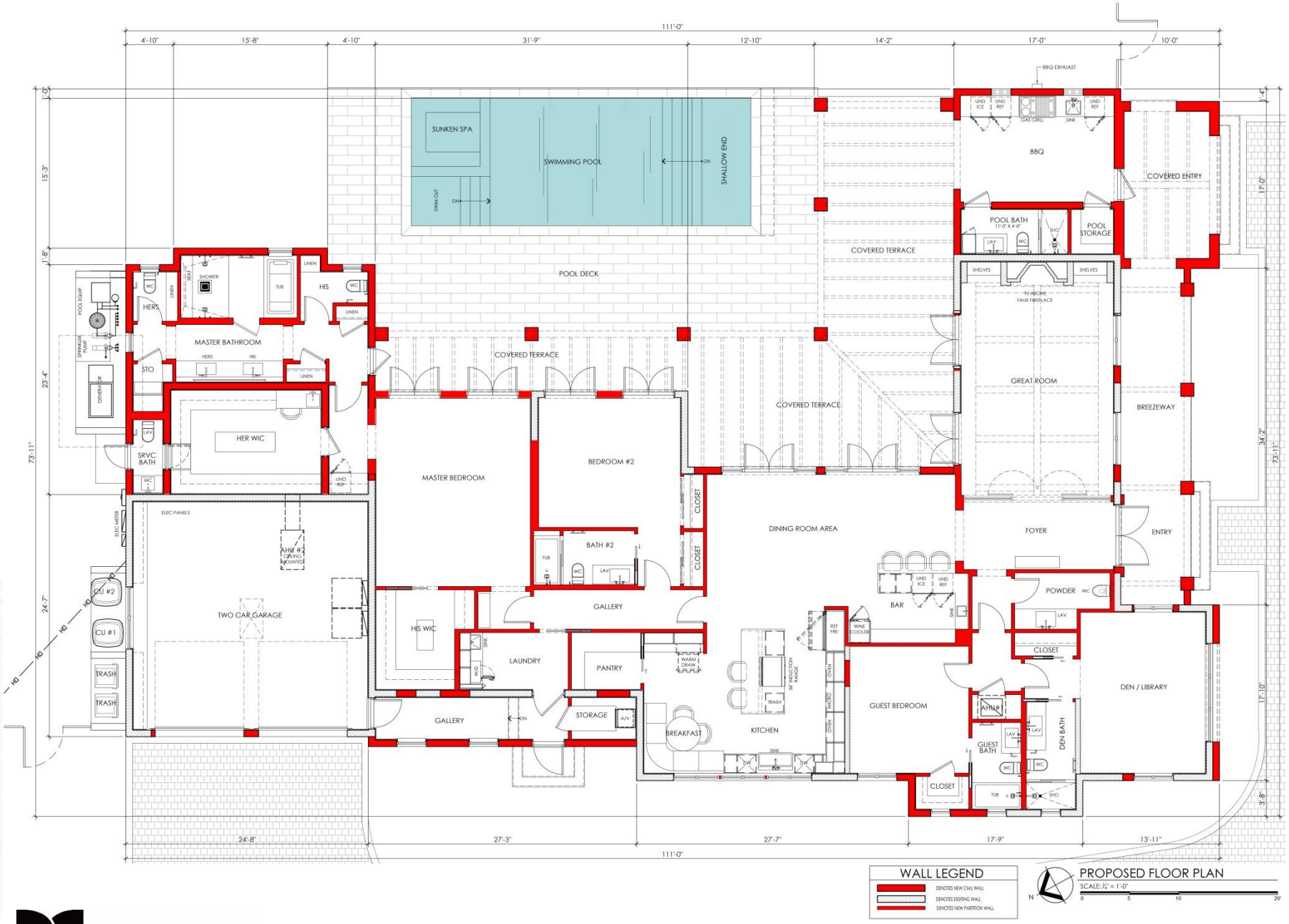
- DENOTES EXISTING CMU WALL TO BE REMOVED
- DENOTES EXISTING CMU WALL TO BE DEMOLISHED
- DENOTES EXISTING PARTITION TO BE DEMOLISHED
- DENOTES EXISTING WINDOW TO BE DEMOLISHED
- DENOTES EXISTING DOOR TO BE DEMOLISHED



DEMOLITION PLAN

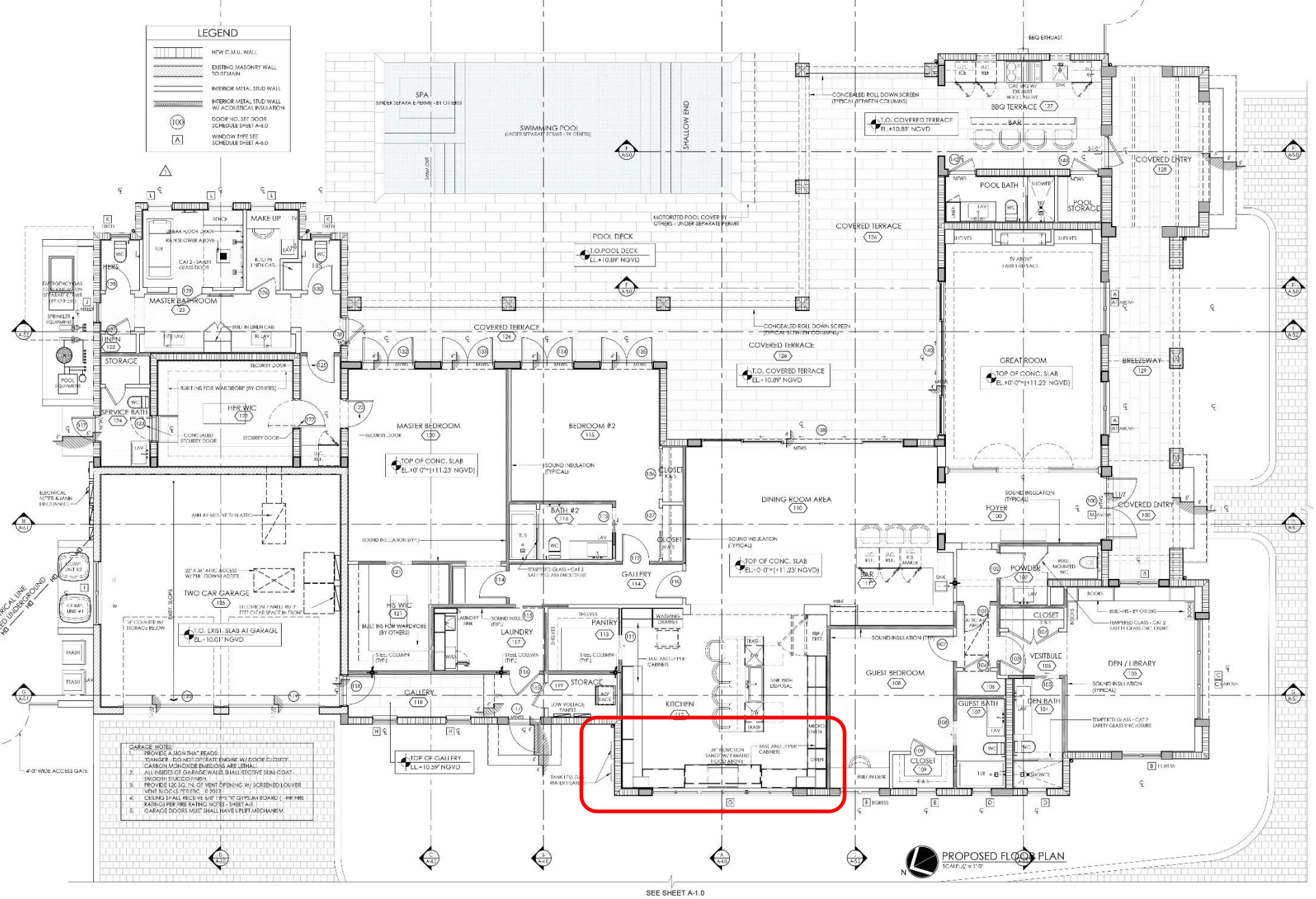
PACHECO-MARTINEZ & ASSOCIATES LLC.

DEMOLITION PLAN - APPROVED



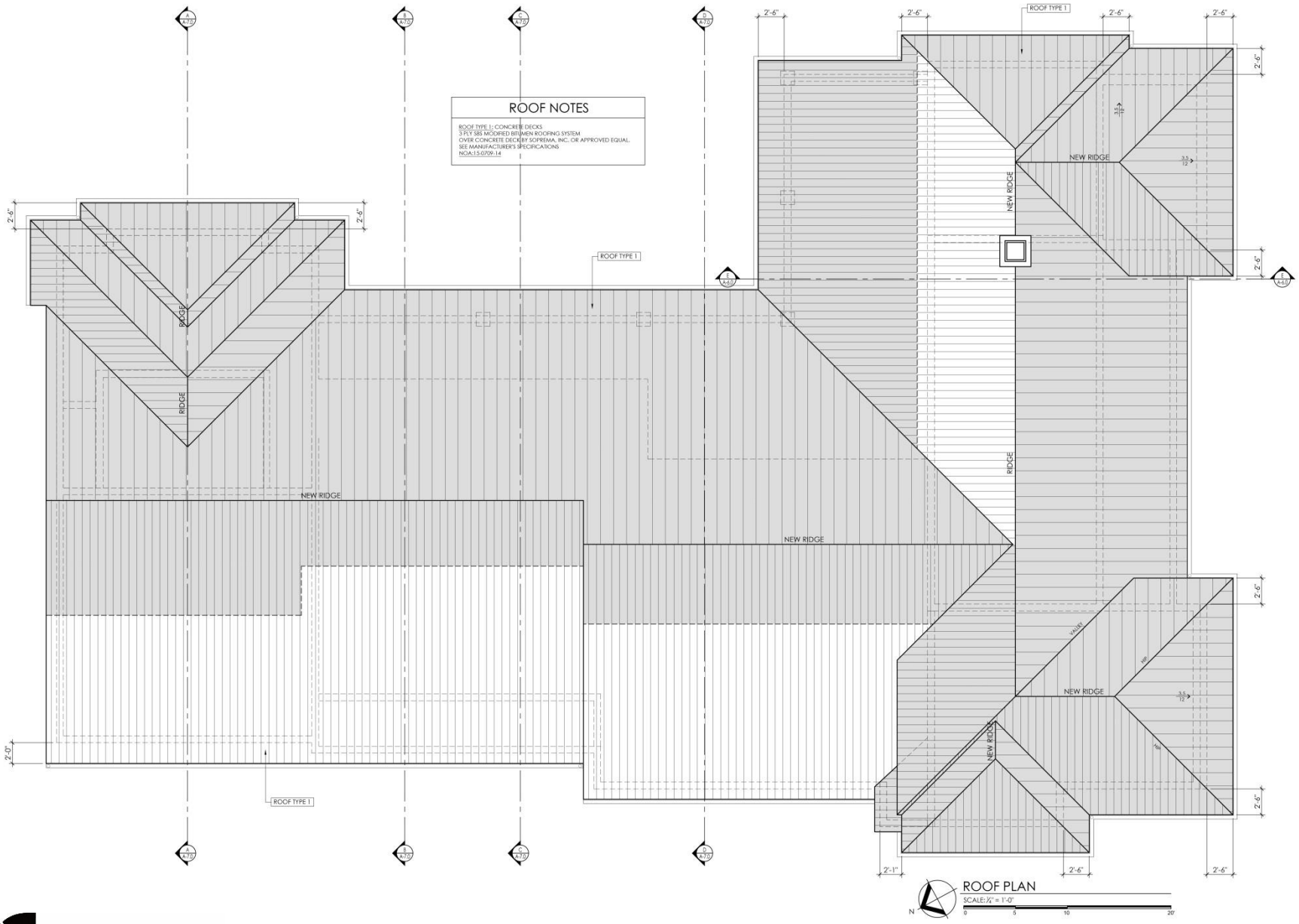
PACHECO-MARTINEZ
& ASSOCIATES LLC.

APPROVED FLOOR PLAN



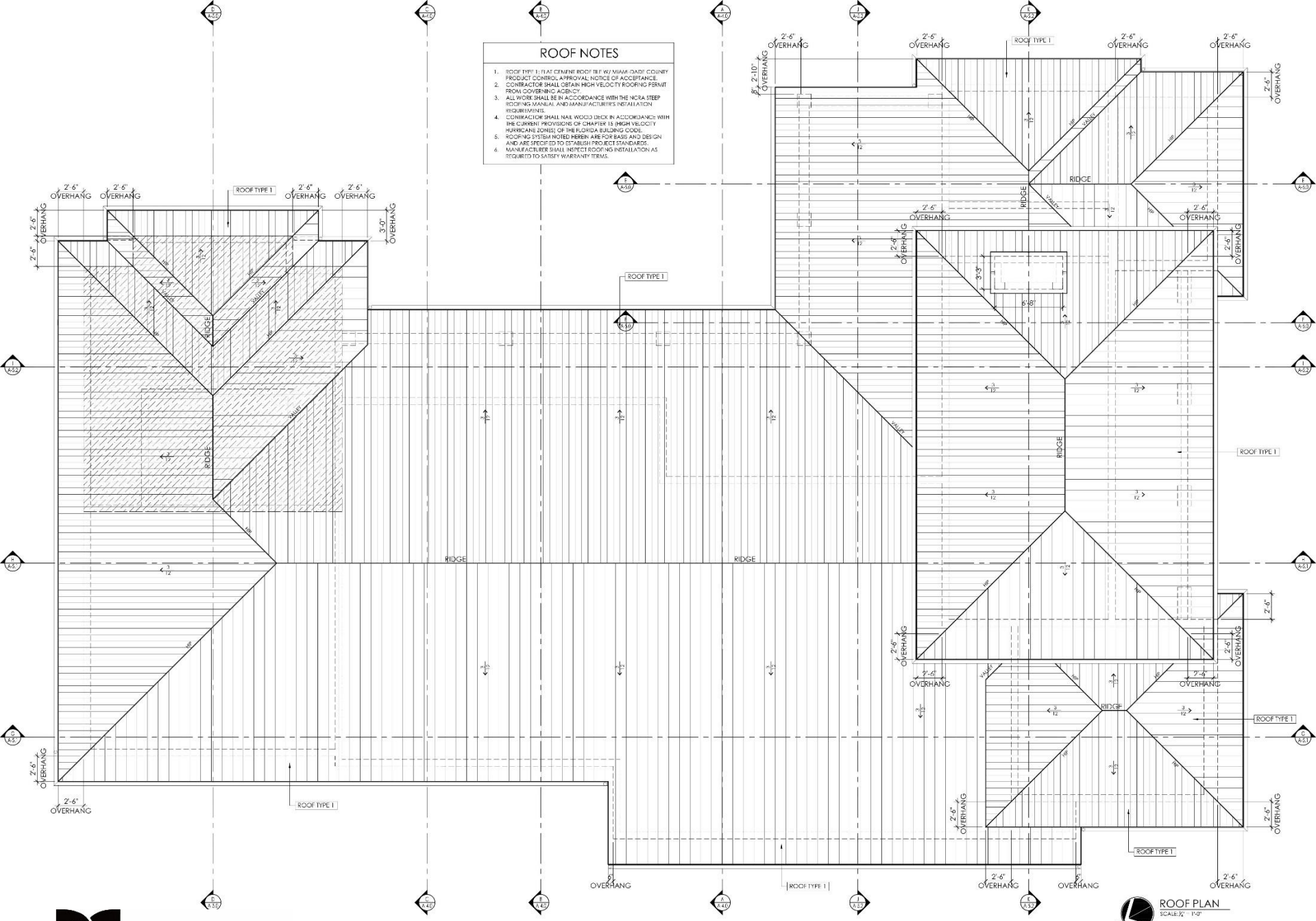
PACHECO-MARTINEZ & ASSOCIATES LLC.

PROPOSED FLOOR PLAN



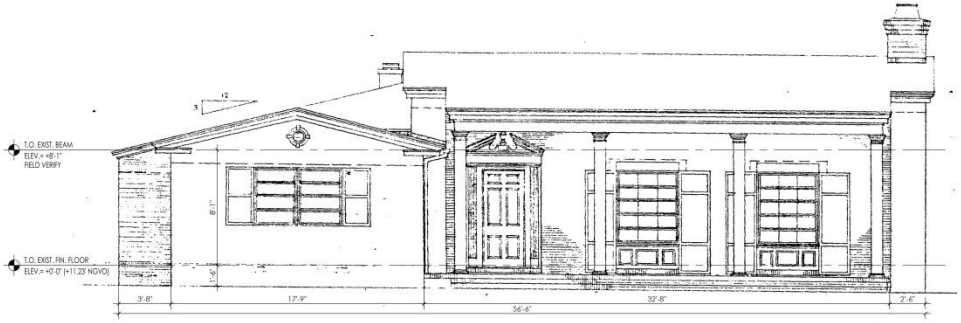
PACHECO-MARTINEZ
& ASSOCIATES LLC.

APPROVED ROOF PLAN

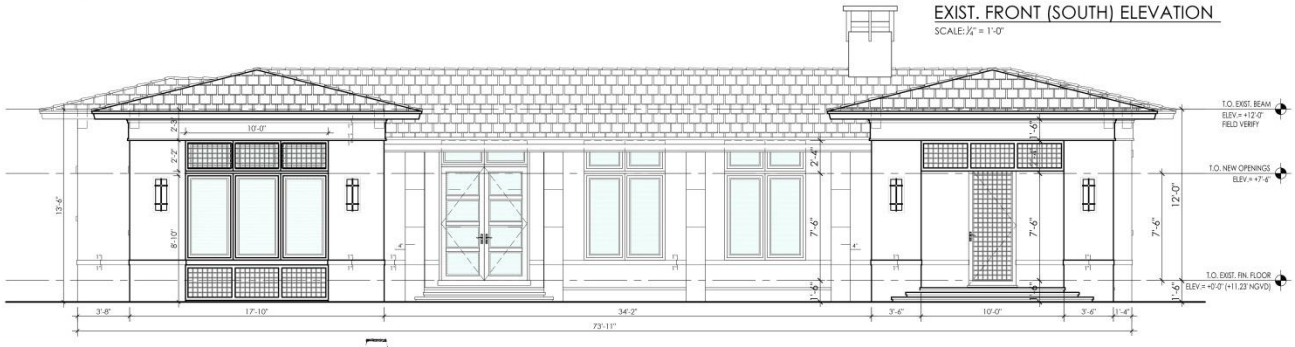


PACHECO-MARTINEZ
& ASSOCIATES LLC.

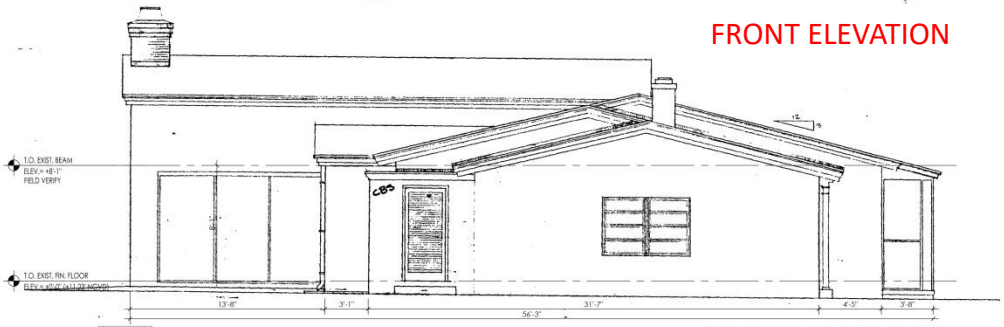
PROPOSED ROOF PLAN



EXIST. FRONT (SOUTH) ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION



EXIST. REAR (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"

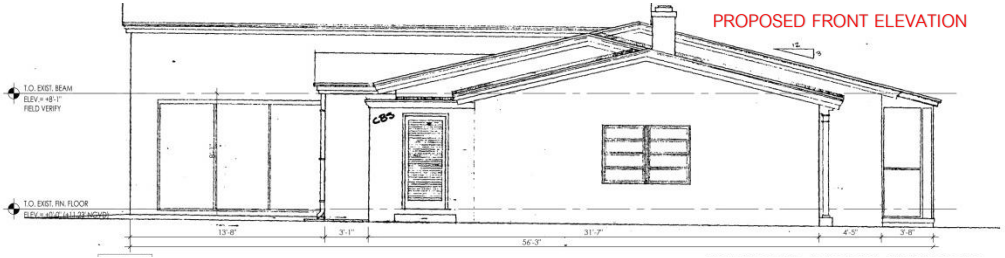
REAR ELEVATION

PACHECO-MARTINEZ
& ASSOCIATES LLC.

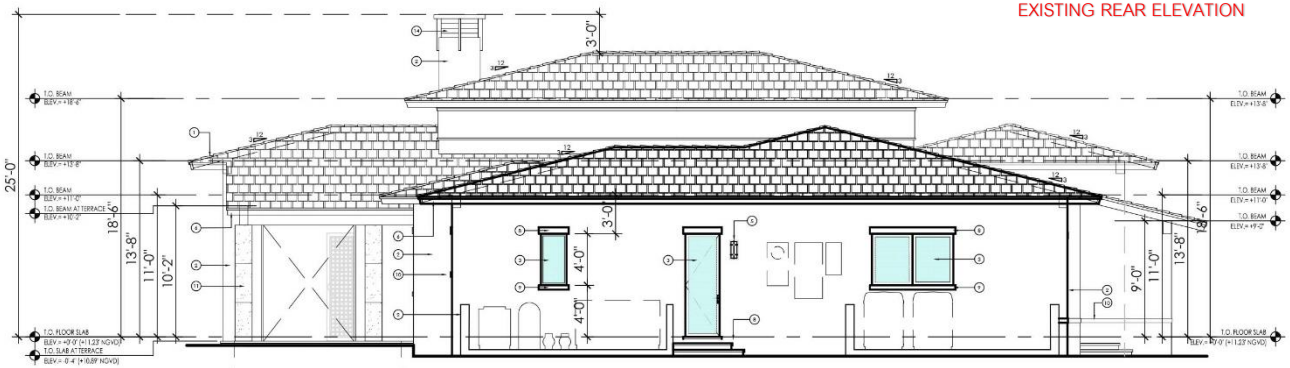
APPROVED ELEVTIONS

EXISTING FRONT ELEVATION

PROPOSED FRONT ELEVATION



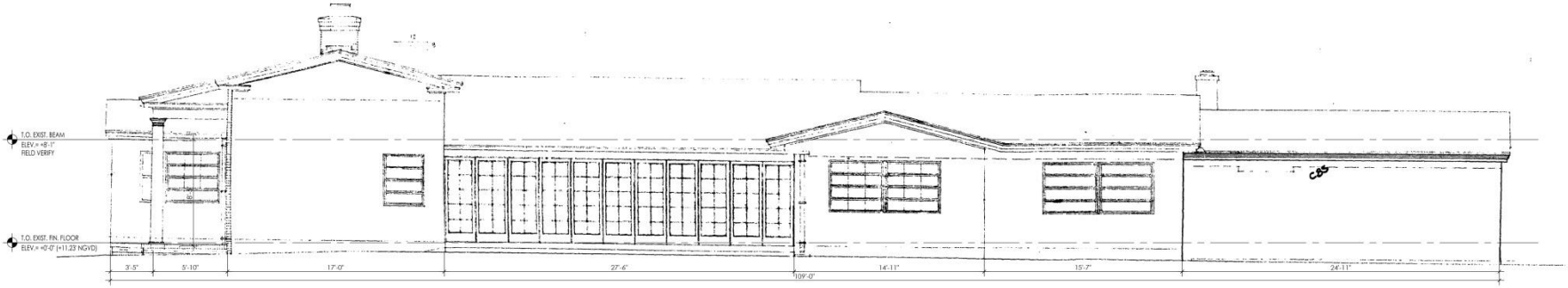
EXISTING REAR ELEVATION



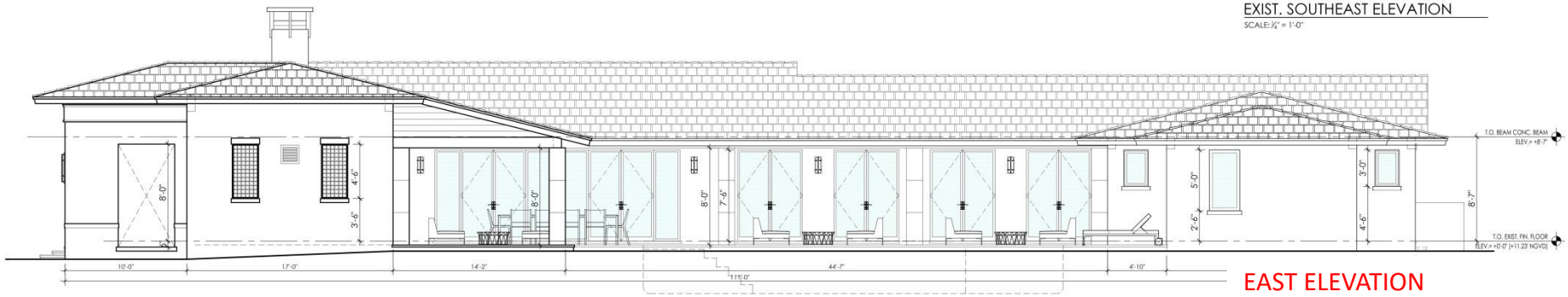
PROPOSED REAR ELEVATION

PACHECO
& ASSOCIATES LLC.

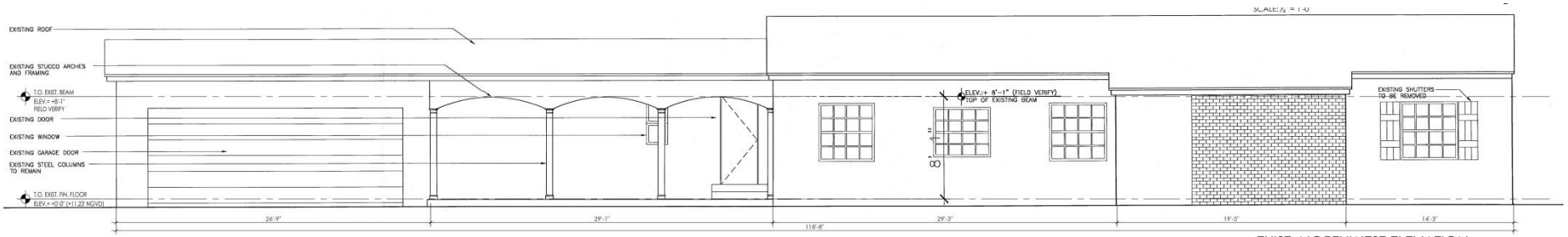
PROPOSED ELEVATIONS



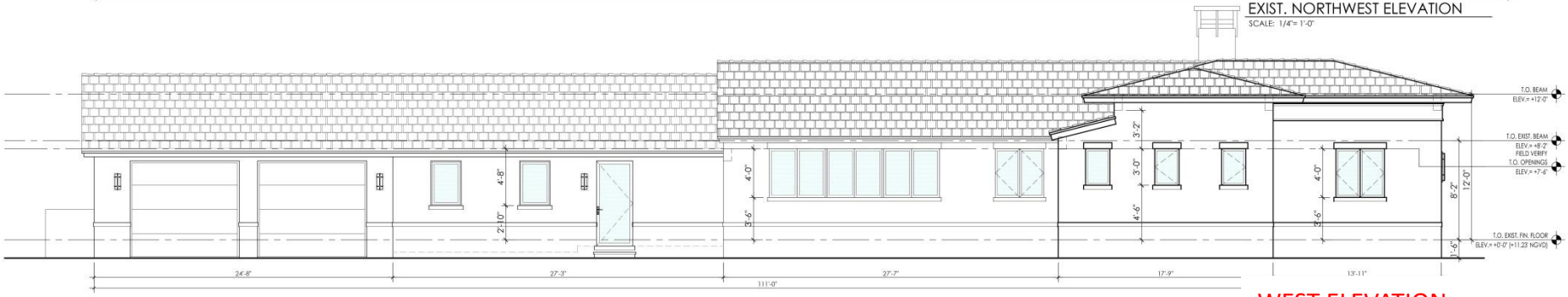
EXIST. SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION



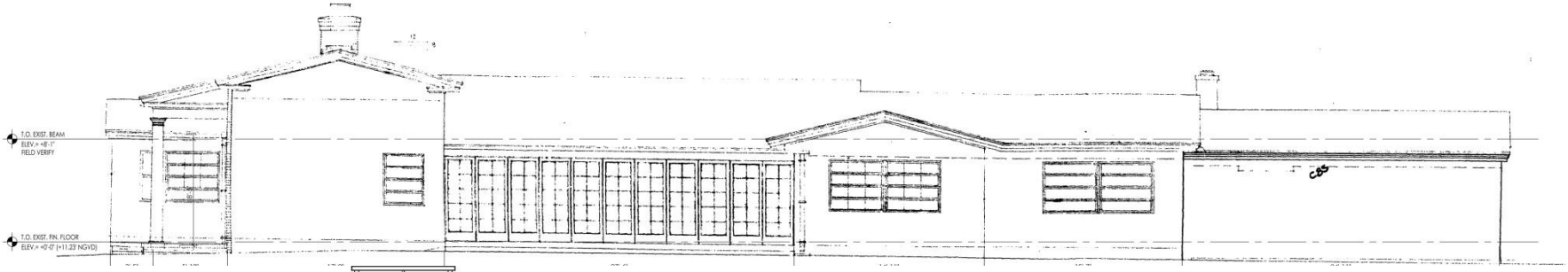
EXIST. NORTHWEST ELEVATION
SCALE: 1/4"= 1'-0"



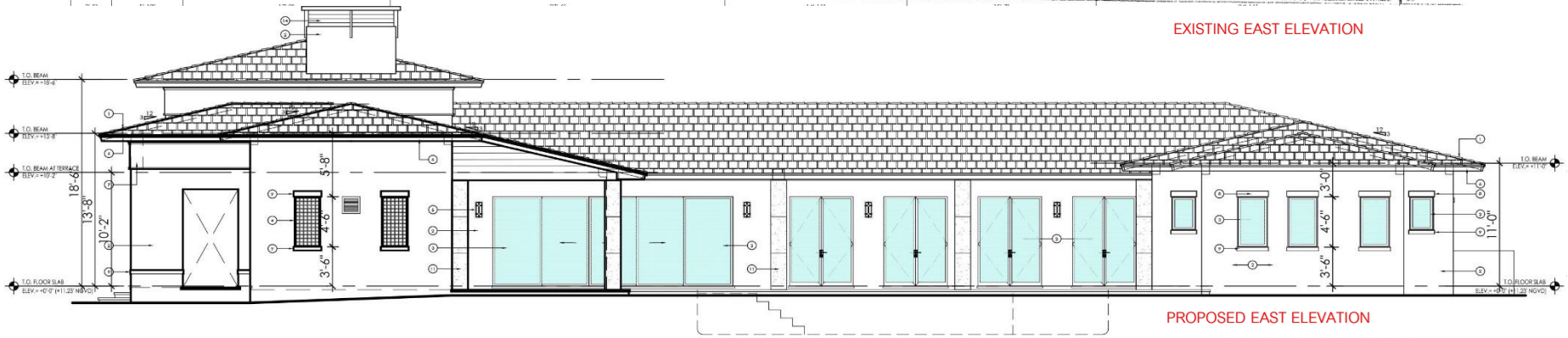
WEST ELEVATION

PACHECO-MARTINEZ
& ASSOCIATES LLC.

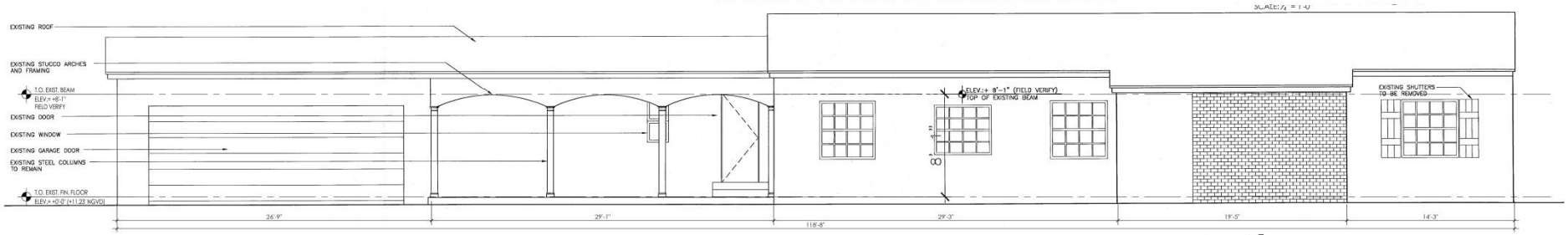
APPROVED ELEVATIONS



EXISTING EAST ELEVATION



PROPOSED EAST ELEVATION

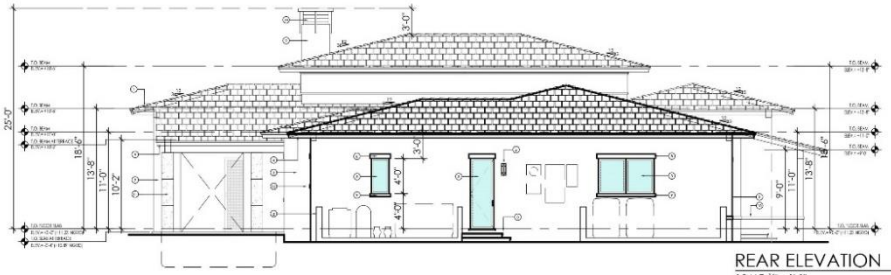


EXISTING WEST ELEVATION

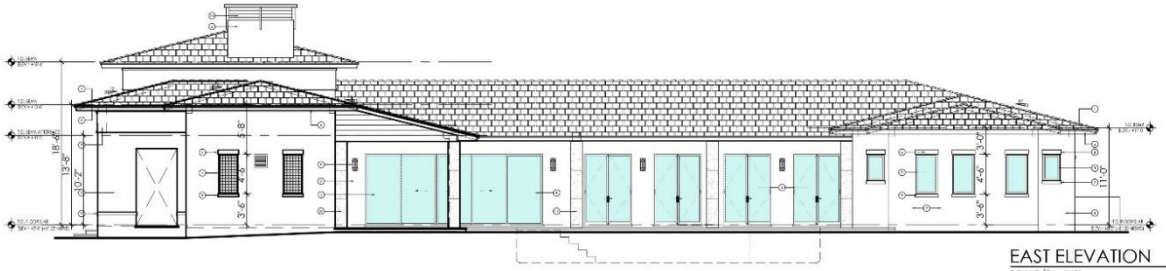
PROPOSED WEST ELEVATION

PROPOSED ELEVATIONS

FRONT ELEVATION
SCALE: 1/8" = 1'-0"



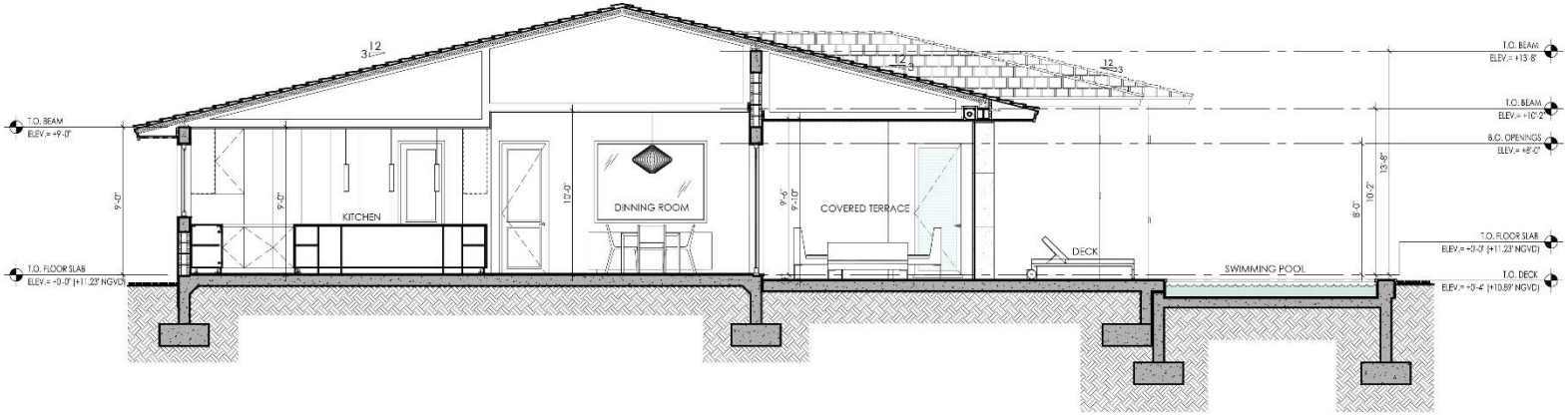
REAR ELEVATION
SCALE: 1/8" = 1'-0"



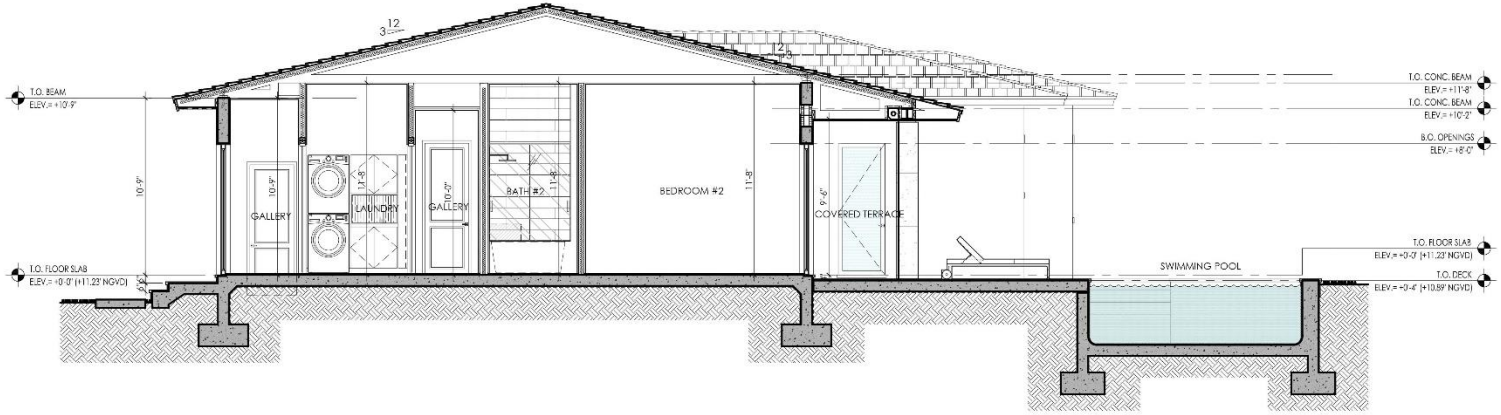
EAST ELEVATION
SCALE: 1/8" = 1'-0"

WEST ELEVATION
SCALE: 1/8" = 1'-0"

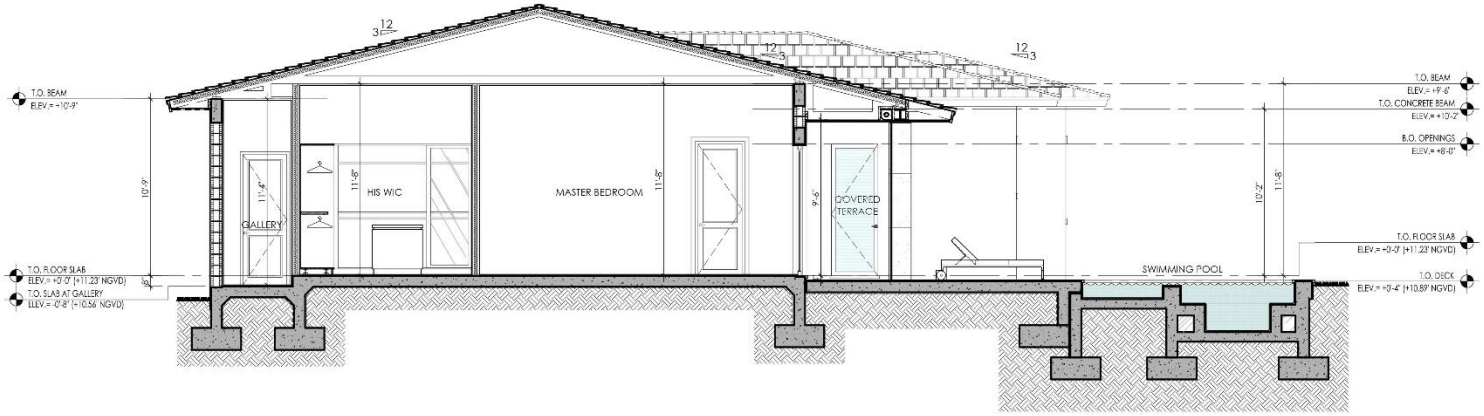
PACHECO-MARTINEZ
& ASSOCIATES LLC.



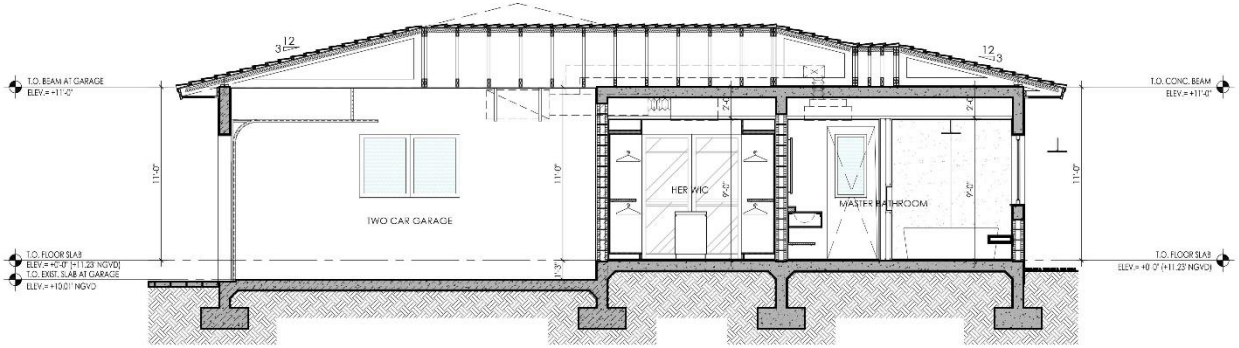
CROSS SECTION A
SCALE: 1/4" = 1'-0"



CROSS SECTION B
SCALE: 1/4" = 1'-0"

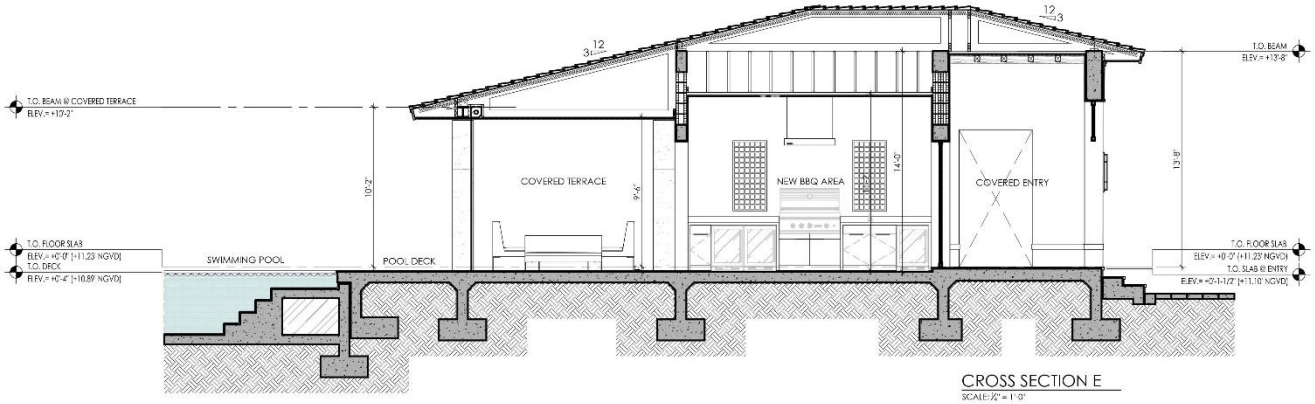


CROSS SECTION C
SCALE: 1/4" = 1'-0"



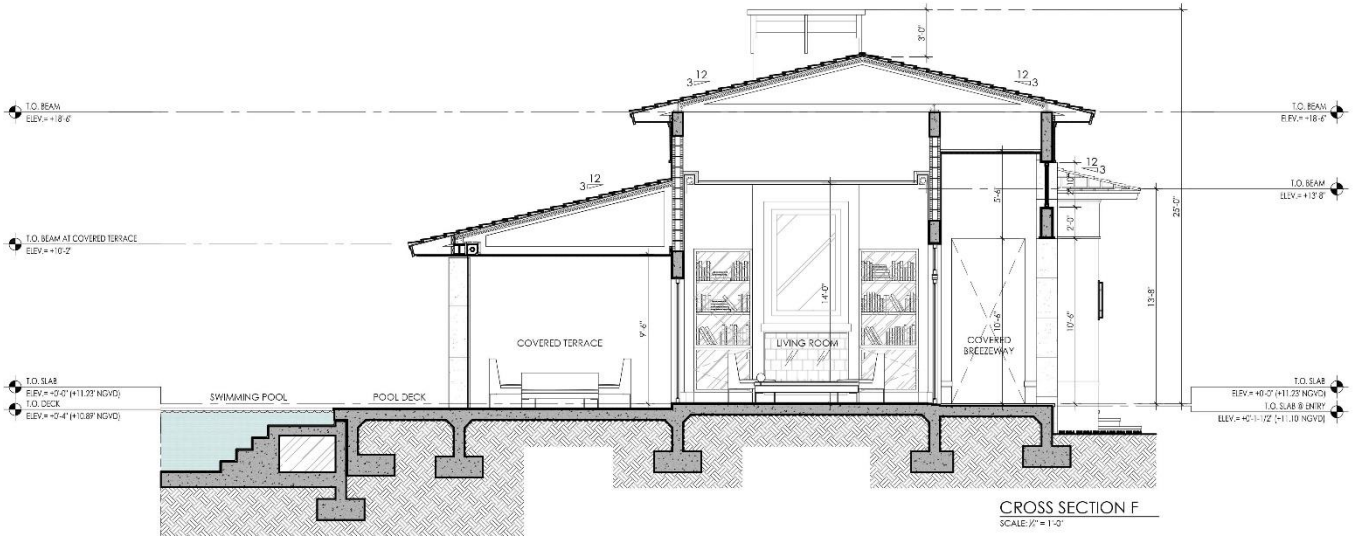
CROSS SECTION D

SCALE: 1/4" = 1'-0"



CROSS SECTION E

SCALE: 1/4" = 1'-0"



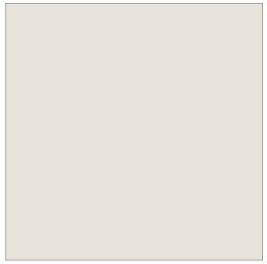
CROSS SECTION F

SCALE: 1/4" = 1'-0"

FRONT PRIVACY WALL

SCALE: 1/4" = 1'-0"

PROPOSED FRONT PRIVACY FENCE



1 PAINT - MAIN BODY COLOR

SHERWIN WILLIAMS: PEARLY WHITE SW 7009

2 FLAT CEMENT ROOF TILE

CROWN ROOF TILES: AWSCB311 WINDSOR SLATE CHARCOAL BLACK BLEND

3 DRIVEWAY PAVERS

COLOR: GRAY

4 GARAGE DOORS

COLOR: DARK BRONZE

5 DECORATIVE LOUVERS

FORGED ALUMINUM DARK BRONZE

6 WINDOW AND DOOR FRAMES

ALUMINUM DARK BRONZE

7 EXTERIOR LIGHTING FIXTURES

ALUMINUM DARK BRONZE

8 POOL DECK AND DECK PAVERS

SLIP-RESISTANT NATURAL STONE FINISH

9 FRONT PORCH FLOORING

NATURAL STONE "IBIZA"

10 EXTERIOR STONE CLADDING, MOULDING, SILLS

NATURAL STONE

11 FRONT ENTRY DOOR

ALUMINUM DARK BRONZE

12 COVERED TERRACES

SLIP-RESISTANT NATURAL STONE FINISH
ALUMINUM DOORS AND WOOD FINISHED CEILINGS

PACHECO-MARTINEZ
& ASSOCIATES LLC.

APPROVED FRONT ELEVATION

APPROVED NORTHEAST / REAR ELEVATION

PROPSED FRONT ELEVATION

APPROVED NORTHEAST / REAR ELEVATION

PACHECO-MARTINEZ
& ASSOCIATES LLC.