

1200 S Greenway Dr

Special Certificate of Appropriateness
Additions and Remodeling's
September 29, 2020



View of side: East



View of rear: South



View of side: West



View of front: East side



View of front



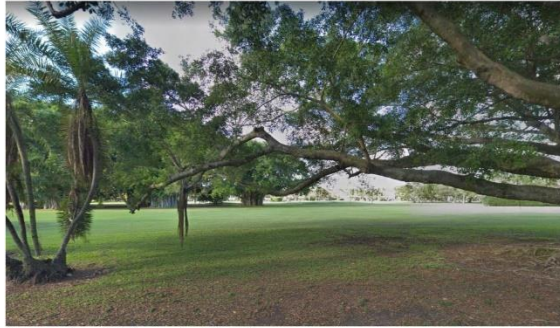
View of front: West (Wing to be demolished)

BOA Preliminary Submittal: House Photo's

Property: 1200 S Greenway Dr
Coral Gables, FL 33134



1200 S GREENWAY DRIVE



Across street: Granada Golf Course



Neighbor Rear: 1203 Andalusia



Neighbor rear: 1145 Andalusia



Adjacent neighbor East side: 1142 S Greenway



View of front: 1200 S Greenway



Adjacent neighbor West side: 1212 S Greenway

BOA Preliminary Submittal: Context Photo's

Property: 1200 S Greenway Dr
Coral Gables, FL 33134

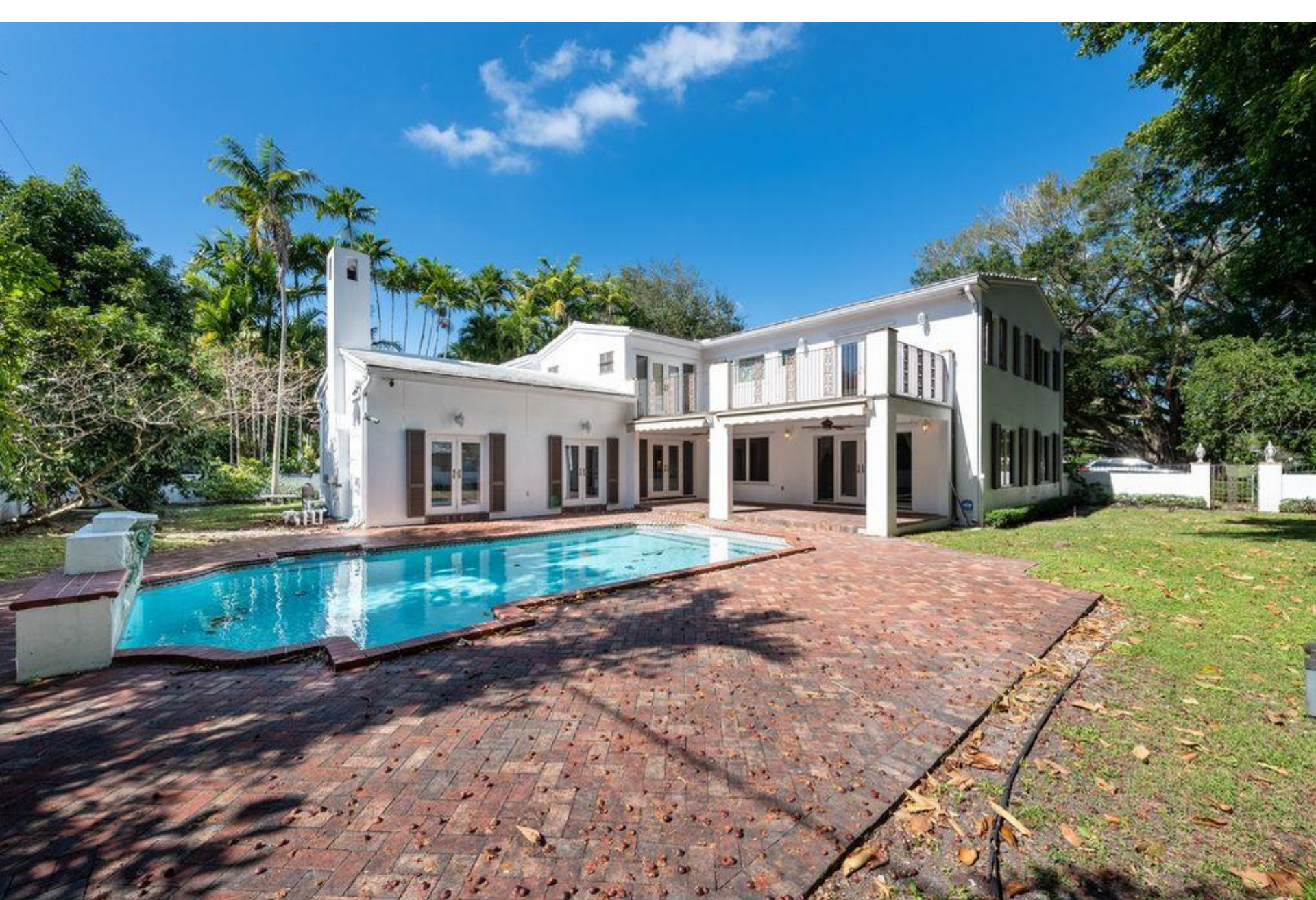


1200 S GREENWAY DRIVE



1200 S GREENWAY DRIVE

EXISTING | FRONT S GREENWAY DR



GENERAL NOTES

A. THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT OF RECORD.

B. THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUBCONTRACTORS. THE OWNER MAY ELECT TO CONTRACT DIRECTLY WITH A SUBCONTRACTOR FOR ANY PART OF THE WORK.

C. THESE DRAWINGS PROVIDE FOR THE LABOR, MATERIAL, EQUIPMENT AND SUPERVISION BY THE CONTRACTOR FOR A COMPLETE LOCK AND KEY JOB WITH THE ITEMS SPECIFICALLY NOTED FURNISHED BY THE CONTRACTOR OR AS AN ALLOWANCE. THE WORK SHALL BE EXECUTED IN A THOROUGH, SUBSTANTIAL AND NEAT MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REMEDIATION.

D. IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNUSUAL, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT OF RECORD IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.

E. ALL WORK SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE FLORIDA RESIDENTIAL BUILDING CODE (BR 10-1011) AND ALL APPLICABLE BUILDING JURISDICTION.

F. AN DOCUMENT A-105 (2017) GENERAL CONDITIONS OF THE CONTRACT IS HEREBY MADE A PART OF THESE DRAWINGS AND SPECIFICATIONS.

G. THE CONTRACTOR SHALL DETERMINE THE SEQUENCE OF CONSTRUCTION ITEMS, AS WELL AS THOSE PROVIDED FOR BY BANNER PLAN. THE CONTRACTOR SHALL ARRANGE FOR INSPECTION AND TESTS AS SPECIFIED OR REQUIRED BY THE BUILDING DEPARTMENT AND SHALL PAY ALL FEES AND COSTS FOR SAME. THE CONTRACTOR SHALL SECURE ALL BUILDING PERMITS AND OBTAIN COMPLETION OF THE PROJECT PRIOR TO FINAL PAYMENT DELIVER TO THE OWNER A CERTIFICATE OF OCCUPANCY OR USE FROM THE BUILDING AND ZONING DEPARTMENT.

H. THE BID PRICES SHALL INCLUDE EVERYTHING NECESSARY OR PROPER FOR PERFORMING AND COMPLETING THE WORK REQUIRED AS INDICATED BY THE PLANS AND SPECIFICATIONS, TO PROVIDE FINISHED WORK. MATERIALS CONTROLLED THROUGHOUT THE PROJECT NECESSARY FOR THE COMPLETION OF THE WORK OR ITS IMPROVEMENTS SHALL BE CONSIDERED A PORTION OF THE WORK ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS.

I. INSURANCE - WORKMEN'S COMPENSATION, AS REQUIRED BY LAW, AND PUBLIC LIABILITY SHALL BE CARRIED BY THE CONTRACTOR.

J. AFTER THE AWARD OF THE CONTRACT AND PRIOR TO START OF ANY WORK A PRE-WORK CONFERENCE WILL BE HELD BETWEEN THE CONTRACTOR, ARCHITECT, OWNER AND REPRESENTATIVES OF THE CONTRACTOR. THE TIME AND PLACE OF THIS CONFERENCE WILL BE SET BY THE OWNER. THE CONTRACTOR SHALL PREPARE A BRIEF WORK DESCRIPTION OF PROCEDURES TO BE USED IN THE PERFORMANCE OF THE WORK AND PROVIDE A SCHEDULE (BAR CHART) FOR THE PROJECT.

K. BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL BE FAMILIAR WITH THE NATURE AND LOCATION OF THE WORK, THE GENERAL AND LOCAL CONDITIONS INCLUDING THOSE BEARING ON TRANSPORTATION, WAREHOUSES AND STORAGE OF DEBRIS, ACCESS TO THE SITE, AND THE EQUIPMENT AND FACILITIES NEEDED TO PERFORM THE WORK.

L. SCOPE OF WORK: THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION AND ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, ELECTRICAL, PLUMBING AND HVAC.

M. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SAFE ACCESS TO THE PREMISES AT ALL TIMES.

N. ALL MATERIALS AND FINISHES SHALL BE AS SPECIFIED AND/OR AS SELECTED BY THE ARCHITECT, INTERIOR DESIGNER OR OWNER.

O. THE CONTRACTOR SHALL ALLOW THE AIR TRAM A RESPONSE TIME OF 7 WORKING DAYS FOR RFS AND 10 WORKING DAYS FOR SHOP DRAWING REVIEWS.

P. GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT CHARGE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR MATERIALS. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.

Q. AT COMPLETION, THE CONTRACTOR SHALL REMOVE FROM THE PREMISES ALL RUBBISH, IMPLEMENTS, EQUIPMENT, AND SUPPLIES MATERIALS, LEAVING THE PROJECT "BROOM CLEAN".

R. THE CONTRACTOR IS TO PROVIDE TO THE OWNER A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES.

S. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY: SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT, AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

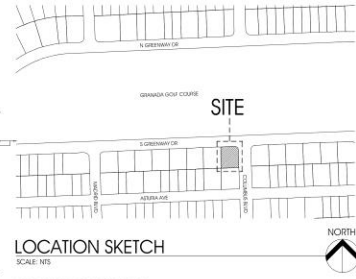
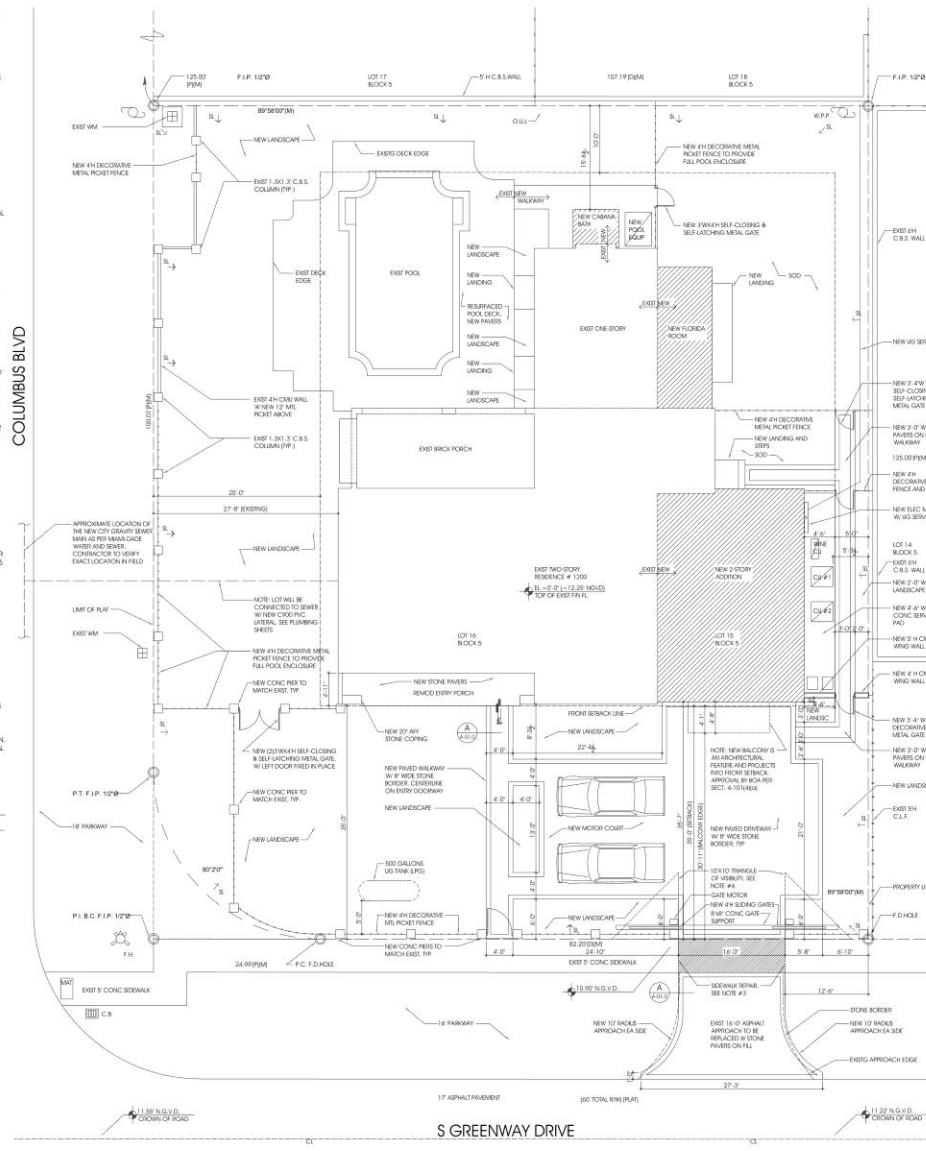
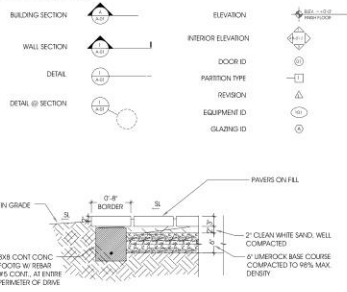
T. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

U. PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THAT OF HIS SUBCONTRACTORS FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIALS USED IN CONNECTION WITH THE WORK AND FOR THE ACTS OF HIS EMPLOYEES.

V. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING AT LEAST ONE WEEK PRIOR TO FINAL INSPECTION. THE CONTRACTOR IS TO PROVIDE THE OWNER WITH PARTIAL RELEASE OF LIEN FOR EACH PAYMENT, AND A FINAL RELEASE OF LIEN AT COMPLETION.

W. FINAL DISBURSEMENT TO THE CONTRACTOR SHALL NOT BE MADE UNTIL THE OWNER'S PAYMENT HAS BEEN SATISFIED.

SYMBOLS KEY



LEGAL DESCRIPTION
LOTS 15 AND 16, BLOCK 5, CORAL GABLES SECTION 1, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 13, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA

SCOPE OF WORK
THE WORK SHALL DEMOLITION OF THE EXISTING GARAGE, THE REDEMOLITION OF ALL EXISTING SPACES, INCLUDING LANEWAY AND DRIVEWAY, NEW WORK INCLUDES: SEE IMPROVEMENTS: LANDSCAPE, POOL DECK, AND LANDSCAPE, NEW 2 STORY ADDITION, GARAGE AND REDEMOLITION, NEW FLORIDA ROOM, AND A CANAL BATH.

ALTERATION LEVEL: LEVEL 2

ZONING INFORMATION

REQUIRED/ALLOWED	EXISTING/PROPOSED
LOT SIZE: 13,399 SF	4.184 SF (EXISTING), 5.142 SF (PROPOSED)
CODE: FBC 2017, RESIDENTIAL 6TH EDITION	
FOOT: 125.00 (FPM)	3.454 SF (PROPOSED)
REQUIRED/ALLOWED	3.861 SF (PROPOSED)
LOT COVERAGE 35%: 4,684 SF (EXISTING), 5,142 SF (PROPOSED)	
LOT COVERAGE 45%: 6,035 SF (PROPOSED)	
MIN. FLOOR ELEVATION: 15.149 SF, 14.911 SF (10.00 SF), 15.149 SF (10.00 SF)	12.00' MIN. (10.00' ELEVATION), 1.35' MIN. (10.00' ELEVATION)
HEIGHT ALLOWED: 25.0' MAX. FROM FINISH FLOOR	17.0' TOP OF 10' @ 2ND FLOOR FROM FINISH FLOOR
LANDSCAPE AREA REQUIRED: 3,399 SF, MIN. 40% LOT	6.144 SF
FRONT YARD REQUIRED: 11.847 SF, MIN. 20% OF TOTAL FRONT YARD	2.167 SF

REQUIRED/ALLOWED	PROPOSED
FRONT-NORTH: S GREENWAY	35'-0" (EASTING), 35'-0" (WESTING)
SIDE-WEST: INTERIOR	10'-0" (EASTING), 10'-0" (WESTING)
SIDE-EAST: STREET	27'-0" (EASTING), 27'-0" (WESTING)
REAR-SOUTH	10'-0" (EASTING), 10'-0" (WESTING)

NOTES

- ALL BANNERMAN MUST BE RETAINED ON PROPERTY.
- LANDSCAPING WILL COMPLY WITH THE CITY OF CORAL GABLES LANDSCAPE REQUIREMENT 00-18-13 CHAPTER 18A. LANDSCAPING NOT ALLOWED TO GROW WITHIN TRAIL OF VISIBILITY BETWEEN A HEIGHT OF 30' AND 8'.
- NEW A RICHES REINFORCED CORAL GABLES BRIDGE CONCRETE SIDEWALK REPLACEMENT AT NEW APPROACH AREA.
- FILL SHALL NOT BE BROUGHT UNTO SITE.
- SOIL REMOTE CONTROL: THE ENTIRE SOIL AREA TO BE COVERED BY FOOTINGS, SLABS, PORCHES, ETC., SHALL BE TREATED WITH HUMUS OR EQUAL FOR TERMS IN ACCORDANCE WITH SPECIFICATIONS. PROVIDE OWNER WITH A PRINTED GUARANTEE AGAINST SUBTERRANEAN TERMITES FOR 5 YEARS, AND OTHER TERMITES FOR 2 YEARS, FROM DATE OF COMPLETION.
- THE TRAIL OF VISIBILITY SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A HALF (2 1/2) FEET AND EIGHT (8) FEET ABOVE THE ESTABLISHED GRADE.

CODE:
FBC RESIDENTIAL 2017 6TH EDITION

LOCUS ARCHITECTURE INCORPORATED
500 South Dixie Highway, Suite 307
Coral Gables, Florida 33146
Tel: (305) 442-1231
Fax: (305) 442-1232
Email: info@locusarch.com

Remodel and Addition to Brooks Residence
1200 S GREENWAY DR
Coral Gables, FL 33134

DRAWING
Proposed Site Plan and Zoning Information

SCALE
1/8" = 1'-0"

DATE
09-29-20

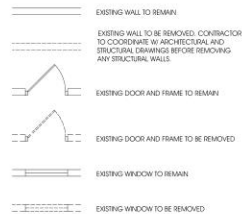
REVISION
N/A

PROJ. NO.
293

SHEET NO.
A-01.0

COA SET 09-29-20
1200 S GREENWAY DRIVE

PROPOSED SITE PLAN



3. CONTRACTOR IS TO VERIFY WITH OWNER AND IDENTIFY ALL EXISTING PIPES, CONDUITS, ETC. TO REMAIN PRIOR TO DEMOLITION. MARK ALL PIPES, CONDUITS, ETC. NOT TO BE DEMOLISHED WITH RED PENT. INFORM ALL SUB CONTRACTORS.

4. UNLESS OTHERWISE NOTED AS EXISTING TO REMAIN OR TO BE RELOCATED, ALL LIGHTING FIXTURES, RECEPTACLES, SWITCHES, SPECIAL OUTLETS, TELEPHONE CABLES, TV CABLES, CABLES, AND ALL OTHER ELECTRICAL AND MECHANICAL CONDUIT, ELECTRICAL BOXES, RACEWAYS AND OTHER ELECTRICAL SYSTEM COMPONENTS (LOCATED IN THE AREAS SHOWN AS BEING DEMOLISHED OR NOT USED AFTER WORK IS COMPLETED, SHALL BE REMOVED. CONDUITS RUN IN/ON SLAB SHALL BE CUT FLUSH, PLUGGED AND ABANDONED AFTER ALL CONDUITS ARE REMOVED. NO WIRING SHALL BE LEFT ABANDONED AFTER WORK IS COMPLETED.

5. SEE ELECTRICAL SHEETS FOR DETAILS.

1. CONTRACTOR SHALL VERIFY WITH OWNER PRIOR TO DEMOLISHING ALL EXISTING SINKS AND WC TO BE REMOVED OR RELOCATED.
2. UNLESS OTHERWISE NOTED AS BEING TO REMAIN OR TO BE RELOCATED, ALL PLUMBING FIXTURES LOCATED IN THE AREAS SHOWN AS BEING DEMOLISHED OR NOT USED AFTER WORK IS COMPLETED, SHALL BE REMOVED. UNITS RUN IN SLAB SHALL BE CUT FLUSH, PLUGGED AND ABANDONED AFTER FIXTURES ARE REMOVED.
3. SEE PLUMBING SHEETS FOR DETAILS.



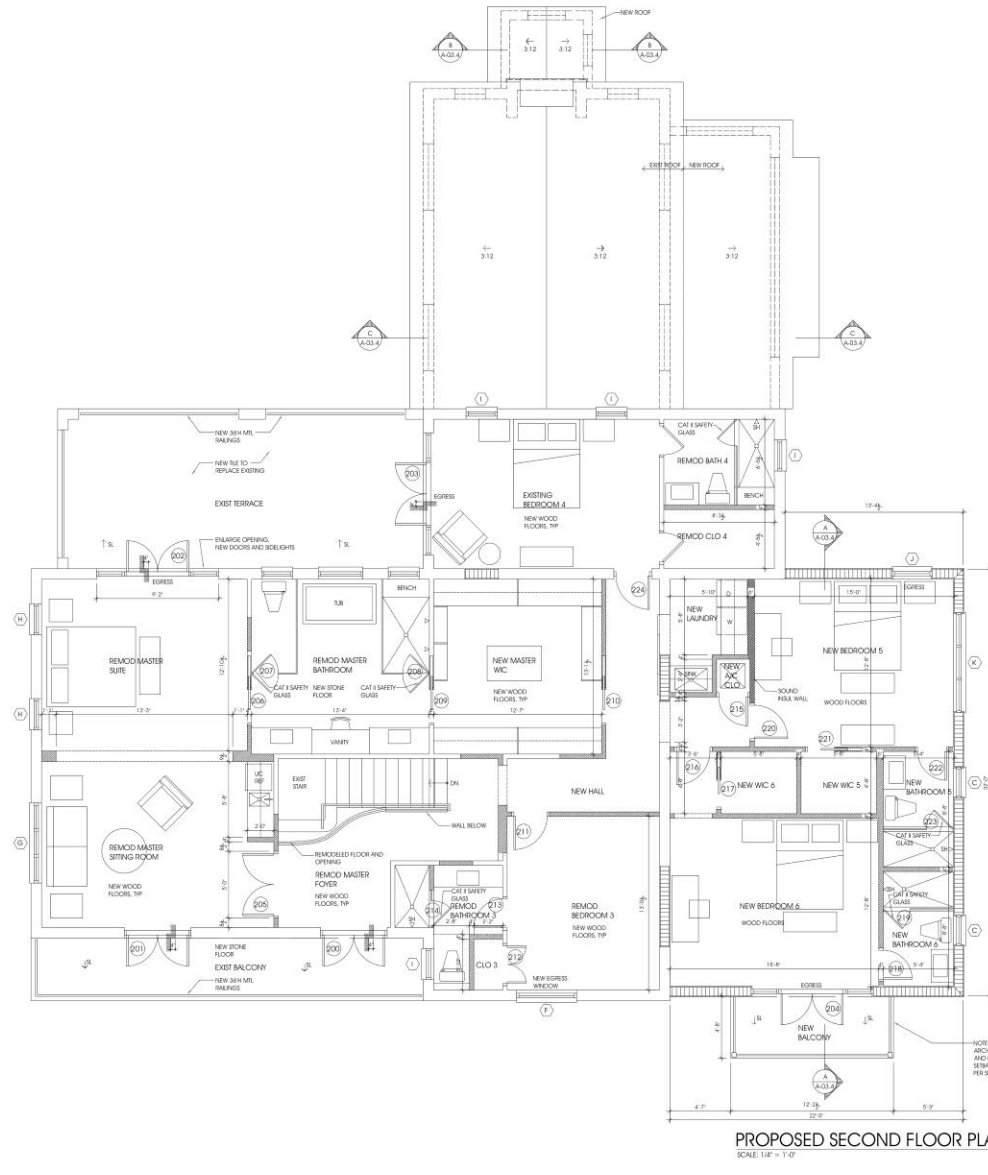
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LEGEND

	EXISTING WALL TO REMAIN		NEW GLASS WINDOW
	NEW FULL-HEIGHT WALL OR IN-FILL EXISTING WALL/OPENING		NEW DOOR AND FRAME
	NEW FULL-HEIGHT WALL OR IN-FILL EXISTING WALL/OPENING WITH SOUND INSULATION		NEW CMU WALL

NOTES:

- CONTRACTOR TO PAINT ALL NEW INTERIOR WALLS, CEILINGS, & EXTERIOR WALLS. COORDINATE COLORS WITH OWNER.
- CONTRACTOR TO VERIFY EXACT LOCATION OF TOILET ROOM, AND KITCHEN ACCESSORIES WITH OWNER. PROVIDE P-1 WOOD BLOCKING AT ALL CABINETS AND BATHROOM ACCESSORIES.
- FIRE BLOCKING SHALL BE PROVIDED IN WALLS EVERY 4" AT OPENING, AT FLOOR, JOISTS AROUND DOOR POCKETS AS PER IBC R404.2.7
- WALL AND CEILING TRIMMER SHALL HAVE A FLAME SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM E 84 OR UL 273.
- AIR EXHAUST AND INTAKE OPENINGS WHICH TERMINATE AT OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS, OR GRILLS WITH OPENINGS BETWEEN 1/4" AND 1/2".
- COORD. FLOORING, APPLIANCES, CABINETRY, HARDWARE, PLUMBING, AND LIGHTING FIXTURES WITH OWNER SELECTION.



NOTES



CONSULTANTS

NO.	REVISION/SUBMISSION	DATE
1	OWNER REVIEW	08-14-2020
2	PRELIMINARY BOA SUBM	08-25-2020
3	HEBICORAL COA SUBM	09-29-2020

PROJECT

Remodel and Addition to
Brooks Residence

1200 S GREENWAY DR
Coral Gables, FL 33134

DRAWING

Proposed Second Floor Plan

SAL	SCALE
1/4" = 1'-0"	1/4" = 1'-0"
DM	DM
REVISED	REVISED
NOL	NOL
Historic de Labor	PROJ. NO.
AR 13937	293
SHEET NO.	

A-02.3

COA SET 09-29-20
1200 S GREENWAY DRIVE

PROPOSED SECOND FLOOR PLAN



NOTES

LOCUS
ARCHITECTURE
INCORPORATED

500 South Dixie Highway, Suite 307
Coral Gables, Florida 33146
Tel (305) 740-0120
Fax (305) 740-0820
License No. AA0002733

CONSULTANT(S)

[illegible]

PROJECT

Remodel and Addition to
Brooks Residence

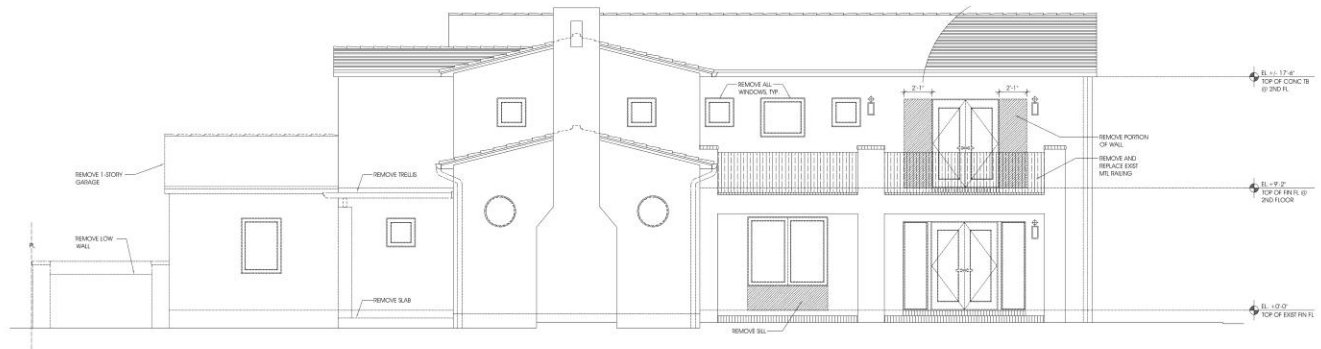
1200 S GREENWAY DR
Coral Gables, FL 33134

DRAWING

Existing and Proposed
Exterior Elevations: North

SCALE	SCALE 1/4" = 1'-0"
DATE	DATE
BY	BY
REVIEWED	REVIEWED
NO.	NO.
Nelson de Leon AR 13937	PROJ. NO. 293
SHEET NO.	

A-03.0



DEMOLITION EXTERIOR ELEVATION: SOUTH
SCALE: 1/8" = 1'-0"



PROPOSED EXTERIOR ELEVATION: SOUTH
SCALE: 1/8" = 1'-0"

NOTES	
LOCUS ARCHITECTURE INCORPORATED 500 South Greenway Drive, Suite 307 Coral Gables, Florida 33146 Tel: (305) 442-0121 Fax: (305) 442-0120 Locus@LA.com	
CONTRACT:	
NO.	REVISION/SUBMISSION
DATE	08-14-2020
OWNER REVIEW	08-14-2020
PRELIMINARY BOA SUBM	08-25-2020
HISTORICAL COA SUBM	09-29-2020
PROJECT	
Remodel and Addition to Brooks Residence 1200 S GREENWAY DR Coral Gables, FL 33134	
DRAWING	
Existing and Proposed Exterior Elevations: South	
SCALE	SCALE: 1/8" = 1'-0"
DATE	08-14-2020
DRAWN	BM
REVIEWED	NOL
DATE	08-14-2020
PROJ. NO.	293
SHEET NO.	A-03.1



PROPOSED EXTERIOR ELEVATION: SOUTH

 LOCUS ARCHITECTURE INCORPORATED			
500 South Ocala Highway, Suite 307 Coral Gables, Florida 33146 Tel: (305) 449-0120 Fax: (305) 449-0520 Local tel No.: M0002733 CONSULTING:			
NO.	REVISION/DISCUSSION:	DATE	
	COWNER REVIEW	08-14-2020	
	PRELIMINARY ICA SUBM	08-25-2020	
	HISTORICAL COA SUBM	09-29-2020	
PROJECT			
Remodel and Addition to Brooks Residence			
1200 S GREENWAY DR Coral Gables, FL 33134			
DRAWINGS			
Existing and Proposed Interior Elevations - South			
SAL	SCALE: 1/4" = 1'-0" DRAWN: BM REVIEWED: NDJ		
<i>Nelson de Leon</i> AB 13937	PROJ NO: 293		
SHEET NO:			
A-03.1			





PROPOSED EXTERIOR ELEVATION: WEST