


Remodel and Additions: Brooks Residence

1200 South Greenway Dr. Coral Gables FL, 33134

Project Team

 LOCUS ARCHITECTURE <small>INCORPORATED</small> 500 South Dixie Highway, Suite 307 Coral Gables, Florida 33146 Tel (305) 740-0120 Email: nel@locusarchitecture.net License No. AA0002733	ARCHITECTURE
Matthew and Melissa Brooks 400 Alton Road, #1803, Miami Beach, FL 33139 Tel (919) 451 5011 mpbrooks@bellsouth.net	OWNER

Torre Construction & Development	GENERAL CONTRACTOR
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Rochell Engineering	STRUCTURAL
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Enesu & Associates, Inc	MECHANICAL / ELECTRICAL / PLUMBING
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PRELIMINARY BOA SUBMITTAL: 08-25-2020
PERMIT SUBMITTAL:

A. THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT OF RECORD.

C. THESE DRAWINGS PROVIDE FOR THE LABOR, MATERIAL, EQUIPMENT AND SUPERVISION BY THE CONTRACTOR FOR A COMPLETE LOCK AND KEY JOB WITH THE ITEMS SPECIFICALLY NOTED FURNISHED BY THE CONTRACTOR OR AS AN ALLOWANCE. THE WORK SHALL BE EXECUTED IN A THOROUGH, SUBSTANTIAL AND NEAT MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS.

E. ALL WORK SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE FLORIDA RESIDENTIAL BUILDING CODE 6TH ED (2017) AND ALL AUTHORITIES HAVING JURISDICTION.

F. AIA DOCUMENT A-105 (2017) GENERAL CONDITIONS OF THE CONTRACT IS HEREBY MADE A PART OF THESE DRAWINGS AND SPECIFICATIONS.

G. THE CONTRACTOR SHALL DETERMINE THE SEQUENCE OF CONSTRUCTION ITEMS, AS WELL AS THOSE PROVIDED FOR BY SEPARATE PERMIT. THE CONTRACTOR SHALL ARRANGE FOR INSPECTION AND TESTS AS SPECIFIED OR REQUIRED BY THE BUILDING DEPARTMENT AND SHALL PAY ALL FEES AND COSTS FOR SAME. THE CONTRACTOR SHALL SECURE ALL BUILDING PERMITS AND UPON COMPLETION OF THE PROJECT (PRIOR TO FINAL PAYMENT) DELIVER TO THE OWNER A CERTIFICATE OF OCCUPANCY OR USE FROM THE BUILDING AND ZONING DEPARTMENT.

H. THE BID PRICES SHALL INCLUDE EVERYTHING NECESSARY OR PROPER FOR PERFORMING AND COMPLETING THE WORK REQUIRED AS INDICATED BY THE PLANS AND SPECIFICATIONS, TO PROVIDE FINISHED WORK. ANYTHING OMITTED THEREFROM WHICH IS CLEARLY NECESSARY FOR THE COMPLETION OF THE WORK OR ITS APPURTENANCE SHALL BE CONSIDERED A PORTION OF THE WORK ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS.

I. INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW, AND PUBLIC LIABILITY SHALL BE CARRIED BY THE CONTRACTOR.

J. AFTER THE AWARD OF THE CONTRACT AND PRIOR TO START OF ANY WORK A PRE-WORK CONFERENCE WILL BE HELD BETWEEN THE CONTRACTOR, ARCHITECT, OWNER AND REPRESENTATIVES OF THE CONTRACTOR. THE TIME AND PLACE OF THIS CONFERENCE WILL BE SET BY THE OWNER. THE CONTRACTOR SHALL PREPARE A BRIEF WORK DESCRIPTION OF PROCEDURE TO BE USED IN THE PERFORMANCE OF THE WORK AND PROVIDE A SCHEDULE (BAR CHART) FOR THE PROJECT.

K. BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL BE FAMILIAR WITH THE NATURE AND LOCATION OF THE WORK, THE GENERAL AND LOCAL CONDITIONS INCLUDING THOSE BEARING ON TRANSPORTATION, HANDLING AND STORAGE OF DEBRIS, ACCESS TO THE SITE, AND THE EQUIPMENT AND FACILITIES NEEDED TO PERFORM THE WORK.

L. SCOPE OF WORK: THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, ELECTRICAL, PLUMBING AND HVAC.

M. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SAFE ACCESS TO THE PREMISES AT ALL TIMES

N. ALL MATERIALS AND FINISHES SHALL BE AS SPECIFIED AND/OR AS SELECTED BY THE ARCHITECT, INTERIOR DESIGNER OR OWNER.

O. THE CONTRACTOR SHALL ALLOW THE A/E TEAM A RESPONSE TIME OF 7 WORKING DAYS FOR RFI'S AND 10 WORKING DAYS FOR SHOP-DRAWING REVIEWS.

P. GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS, AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR REPAIRS. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.

Q. AT COMPLETION, THE CONTRACTOR SHALL REMOVE FROM THE PREMISES ALL RUBBISH, IMPLEMENTS, EQUIPMENT, AND SURPLUS MATERIALS, LEAVING THE PROJECT "BROOM CLEAN".

R. THE CONTRACTOR IS TO PROVIDE TO THE OWNER A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES.

S. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT IS, AND SHALL BE, THE CONTRACTOR'S RESPONSIBILITY.

T. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.

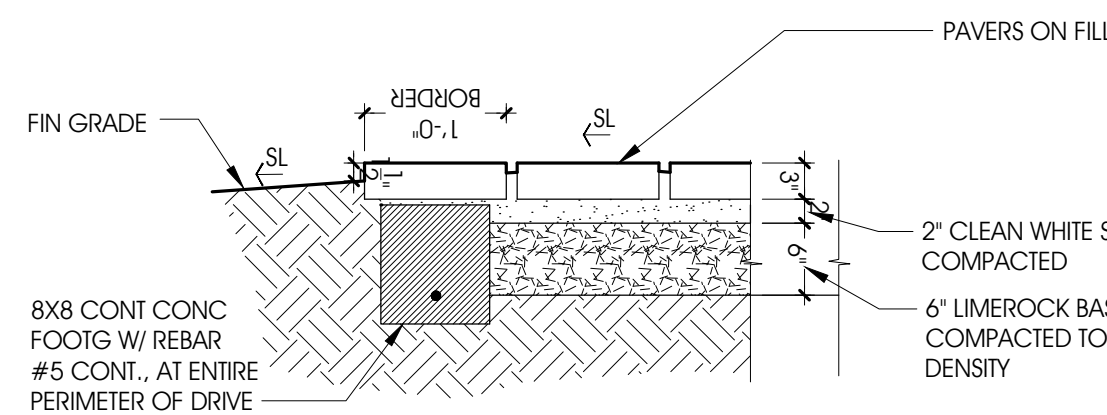
U. PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIALS USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES.

V. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING AT LEAST ONE WEEK PRIOR TO FINAL INSPECTION. THE CONTRACTOR IS TO PROVIDE THE OWNER WITH PARTIAL RELEASE OF LIEN FOR EACH PAYMENT, AND A FINAL RELEASE OF LIEN AT COMPLETION.

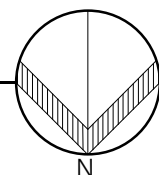
W. FINAL DISBURSEMENT TO THE CONTRACTOR SHALL NOT BE MADE UNTIL THE OWNER'S PUNCH-LIST HAS BEEN SATISFIED.

BUILDING SECTION		ELEVATION	
WALL SECTION		INTERIOR ELEVATION	
DETAIL		DOOR ID	
DETAIL @ SECTION		PARTITION TYPE	
		REVISION	
		EQUIPMENT ID	
		GLAZING ID	

SCALE: 3/4"=1'-0"



SCALE: 1/8"=1'-0"



SCALE: NTS

LOTS 15 AND 16, BLOCK 5, CORAL GABLES SECTION 'E', ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 13, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

THE WORK ENTAILS DEMOLITION OF THE 1-STORY GARAGE, THE REMODELING OF ALL INTERIOR SPACES, INCLUDING LIFE SAFETY MEP UPGRADES. NEW WORK INCLUDES SITE IMPROVEMENTS (DRIVEWAY, POOL DECK, AND LANDSCAPE), NEW 2-STORY ADDITION (GARAGE AND BEDROOMS), NEW FLORIDA ROOM, AND A CABANA BATH.

ZONED:	SFR
FLOOD ZONE:	X
LOT SIZE	13,399 SF
CODE:	FBC 2017, RESIDENTIAL 6TH EDITION
FOLIO:	03-4107-016-0700

AREA BREAKDOWNS: SEE SHEET A-01.1

	REQUIRED/ALLOWED	PROPOSED
FRONT-NORTH: S GREENWAY	35'-0" (SITE SPECIFIC, SECT A-42)	35'-0" (EXISTING)
SIDE-WEST: INTERIOR	5'-0" MIN	9'-7" (PROPOSED)
SIDE-EAST: STREET	15'-0"	27'-8" (EXISTING)
REAR-SOUTH	10'-0"	15'-6" (PROPOSED)

#	DESCRIPTION	Ø	HEIGHT	CANOPY
1	BOTTLE PALM	15"	10'	11'
2	BOTTLE PALM (RELOCATED)	15"	10'	11'
3	OAK	18"	40'	35'
4	OAK	13"	30'	28'
5	MOCK ORANGE (RELOCATED)	10"	7'	11'
6	PALM CLUSTER (RELOCATED)	8"	3'	9'
7	PALM CLUSTER (RELOCATED)	8"	3'	9'
8	PALM	11"	33'	11'
9	AVOCADO	11"	29'	18'
10	STRANGLER FIG	228"	60'	50'
11	STRANGLER FIG	228"	60'	50'
12	STRANGLER FIG	228"	60'	50'

1. ALL RAINWATER MUST BE RETAINED ON PROPERTY.
2. LANDSCAPING WILL COMPLY WITH THE CITY OF CORAL GABLES LANDSCAPE REQUIREMENT ORD. 98-13 CHAPTER LANDSCAPING NOT ALLOWED TO GROW WITHIN TRIANGLE OF VISIBILITY BETWEEN A HEIGHT OF 30" AND 8'.
3. NEW 6 INCHES REINFORCED CORAL GABLES BEIGE CONCRETE SIDEWALK REPLACEMENT AT NEW APPROACH
4. FILL SHALL NOT BE BROUGHT ONTO SITE.

5. SOIL TERMITE CONTROL: THE ENTIRE SOIL AREA TO BE COVERED BY FOOTINGS, SLABS, PORCHES, ETC... SHALL BE TREATED WITH FUMISAL OR EQUAL FOR TERMITES IN ACCORDANCE WITH SPECIFICATIONS. PROVIDE OWNER WITH PRINTED GUARANTEE AGAINST SUBTERRANEAN TERMITES FOR 5 YEARS, AND OTHER TERMITES FOR 2 YEARS, FROM COMPLETION.

6. THE TRIANGLE OF VISIBILITY SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A 1/2 FEET AND EIGHT (8) FEET ABOVE THE ESTABLISHED GRADE

CODE:
FBC RESIDENTIAL 2017 6TH EDITION

[illegible]

PROJECT

Remodel and Addition to Brooks Residence

1200 S GREENWAY DR
Coral Gables, FL 33134

DRAWING

Proposed Site Plan and Zoning Information

SEAL	SCALE 1/8" = 1'-0"
Nelson de Leon AR 13937	DRAWN BM
	REVIEWED NDL
	PROJ. NO. 293
SHEET NO.	

A-01.0



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CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	OWNER REVIEW	08-14-2020
	PRELIMINARY BOA SUBM	08-25-2020

PROJECT

Remodel and Addition to
Brooks Residence

1200 S GREENWAY DR
Coral Gables, FL 33134

DRAWING

Existing and Demolition
First Floor Plan

SEAL	SCALE 1/4" = 1'-0"
	DRAWN BM
	REVIEWED NDL
Nelson de Leon AR 13937	PROJ. NO. 293
SHEET NO.	

A-02.0

DEMOLITION PLAN LEGEND

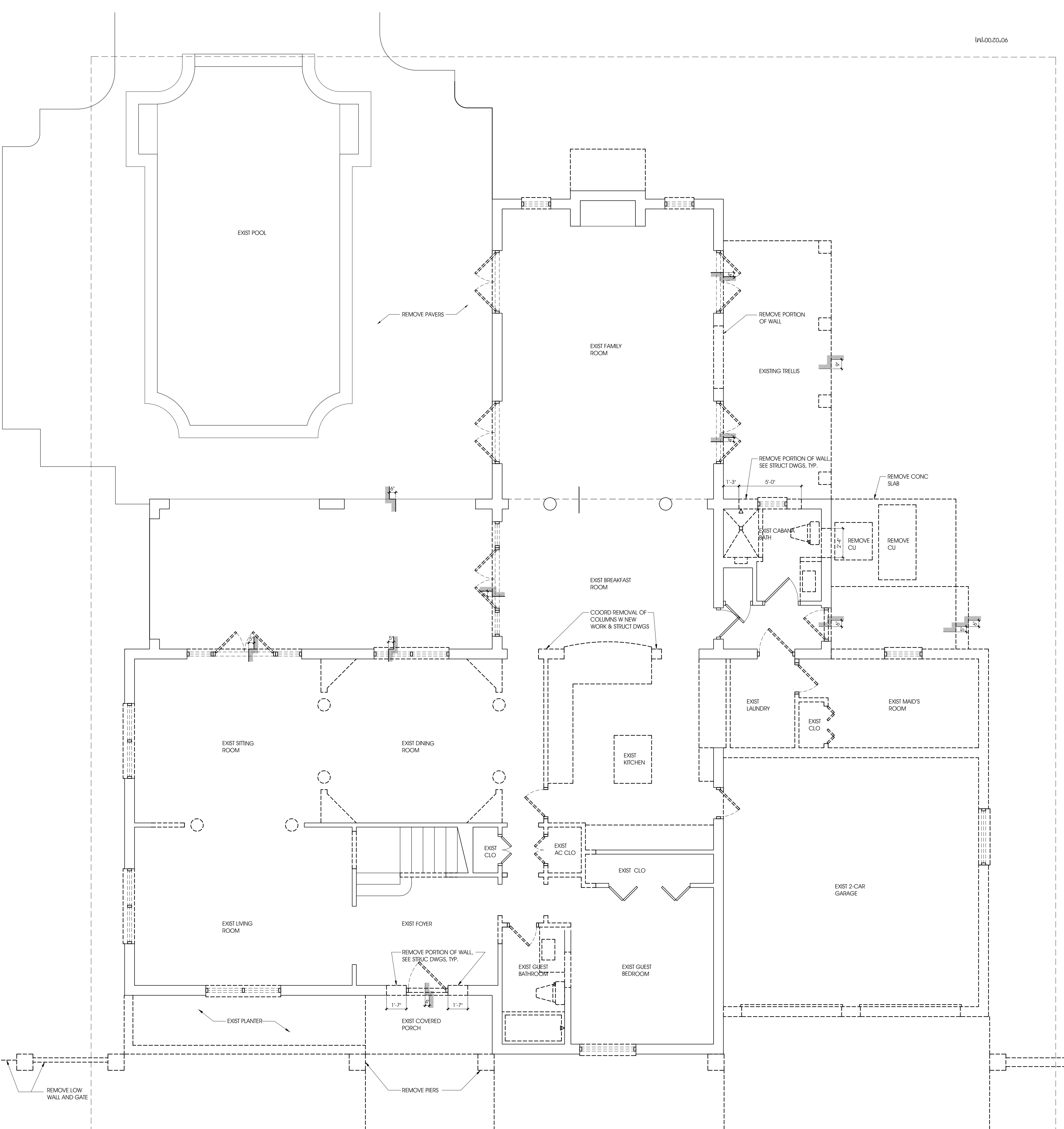
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED. CONTRACTOR TO COORDINATE W/ ARCHITECTURAL AND STRUCTURAL DRAWINGS BEFORE REMOVING ANY STRUCTURAL WALLS.
	EXISTING DOOR AND FRAME TO REMAIN
	EXISTING DOOR AND FRAME TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED

ELECTRICAL DEMOLITION NOTES

- CONTRACTOR IS TO VERIFY WITH OWNER AND IDENTIFY ALL EXISTING PIPES, CONDUITS, ETC. TO REMAIN PRIOR TO DEMOLITION. MARK ALL PIPES, CONDUITS, ETC. NOT TO BE DEMOLISHED WITH RED PAINT. INFORM ALL SUB-CONTRACTORS.
- UNLESS OTHERWISE NOTED AS EXISTING TO REMAIN OR TO BE RELOCATED, ALL LIGHTING FIXTURES, RECEPTACLES, SWITCHES, SPECIAL OUTLETS, TELEPHONE CABLES, TV CABLES, MISCELLANEOUS SYSTEM WIRING, POWER CONDUCTORS, CONDUITS, ELECTRICAL BOXES, RACEWAYS AND OTHER ELECTRICAL SYSTEM COMPONENTS LOCATED IN THE AREAS SHOWN AS BEING DEMOLISHED OR NOT USED AFTER WORK IS COMPLETED, SHALL BE REMOVED. CONDUITS RUN IN SLAB SHALL BE CUT FLUSH, PLUGGED AND ABANDONED AFTER CONDUCTORS ARE REMOVED. NO WIRING SHALL BE LEFT ABANDONED AFTER WORK IS COMPLETED.
- SEE ELECTRICAL SHEETS FOR DETAILS.

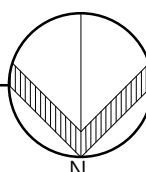
PLUMBING DEMOLITION NOTES

- CONTRACTOR SHALL VERIFY WITH OWNER PRIOR TO DEMOLISHING ALL EXISTING SINKS AND WC TO BE REMOVED OR RELOCATED.
- UNLESS OTHERWISE NOTED AS EXISTING TO REMAIN OR TO BE RELOCATED, ALL PLUMBING FIXTURES LOCATED IN THE AREAS SHOWN AS BEING DEMOLISHED OR NOT USED AFTER WORK IS COMPLETED, SHALL BE REMOVED. LINES RUN IN SLAB SHALL BE CUT FLUSH, PLUGGED AND ABANDONED AFTER FIXTURES ARE REMOVED.
- SEE PLUMBING SHEETS FOR DETAILS.



EXISTING AND DEMOLITION FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



DEMOLITION PLAN LEGEND

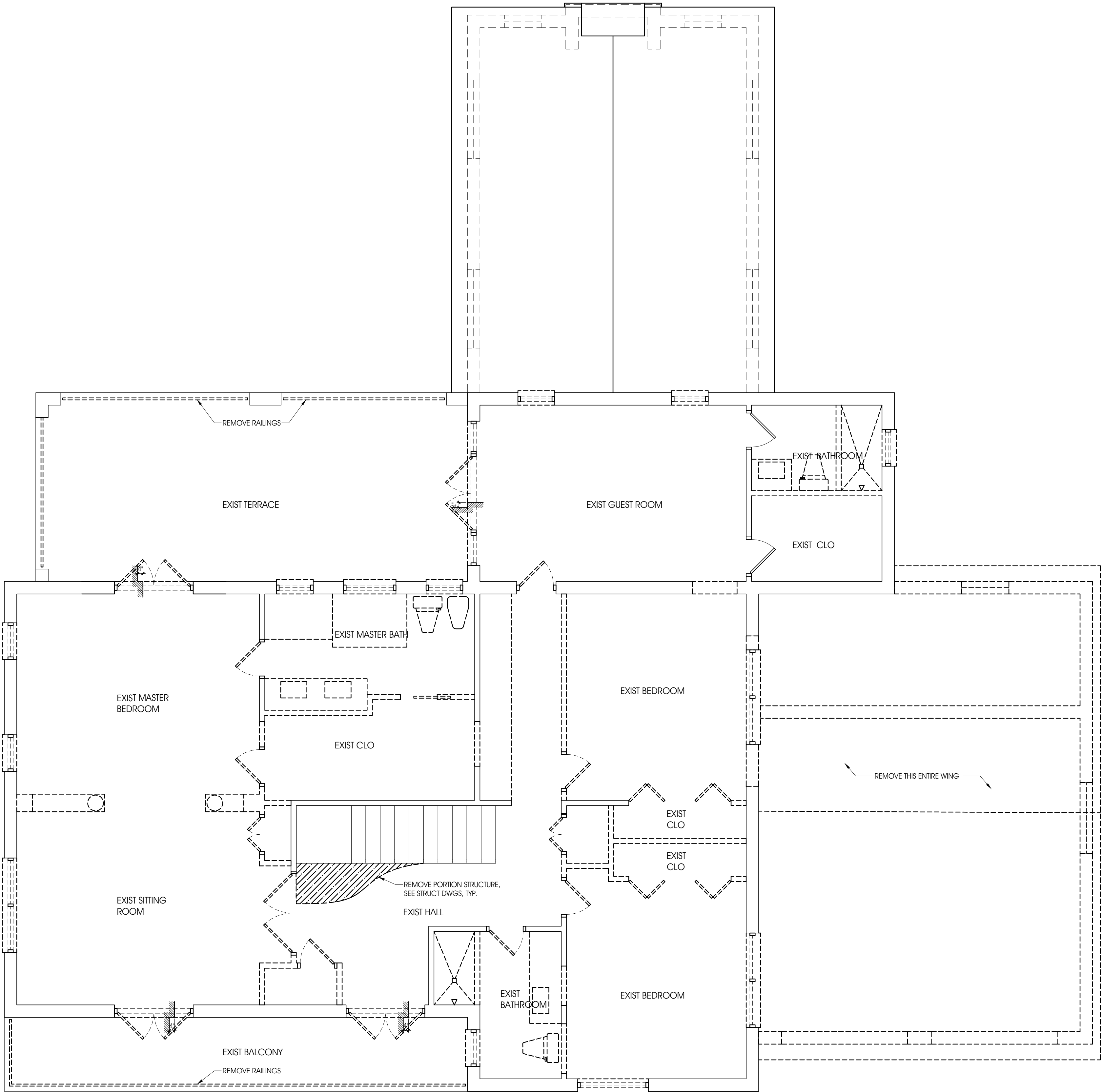
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED. CONTRACTOR TO COORDINATE W/ ARCHITECTURAL AND STRUCTURAL DRAWINGS BEFORE REMOVING ANY STRUCTURAL WALLS.
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE REMOVED

ELECTRICAL DEMOLITION NOTES

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2. UNLESS OTHERWISE NOTED AS EXISTING TO REMAIN OR TO BE RELOCATED, ALL LIGHTING FIXTURES, RECEPTACLES, SWITCHES, SPECIAL OUTLETS, TELEPHONE CABLES, TV CABLES, MISCELLANEOUS SYSTEM WIRING, POWER CONDUCTORS, CONDUITS, ELECTRICAL BOXES, RACEWAYS AND OTHER ELECTRICAL SYSTEM COMPONENTS LOCATED IN THE AREAS SHOWN AS BEING DEMOLISHED OR NOT USED AFTER WORK IS COMPLETED, SHALL BE REMOVED. CONDUITS RUN IN SLAB SHALL BE CUT FLUSH, PLUGGED AND ABANDONED AFTER CONDUCTORS ARE REMOVED. NO WIRING SHALL BE LEFT ABANDONED AFTER WORK IS COMPLETED.
3. SEE ELECTRICAL SHEETS FOR DETAILS.

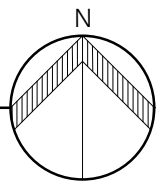
PLUMBING DEMOLITION NOTES

1. CONTRACTOR SHALL VERIFY WITH OWNER PRIOR TO DEMOLISHING ALL EXISTING SINKS AND WC TO BE REMOVED OR RELOCATED.
2. UNLESS OTHERWISE NOTED AS EXISTING TO REMAIN OR TO BE RELOCATED, ALL PLUMBING FIXTURES LOCATED IN THE AREAS SHOWN AS BEING DEMOLISHED OR NOT USED AFTER WORK IS COMPLETED, SHALL BE REMOVED. LINES RUN IN SLAB SHALL BE CUT FLUSH, PLUGGED AND ABANDONED AFTER FIXTURES ARE REMOVED.
3. SEE PLUMBING SHEETS FOR DETAILS.



EXISTING AND DEMOLITION SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



NOTES



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PROJECT

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Coral Gables, FL 33134

DRAWING

Existing and Demolition
Second Floor Plan

SEAL

Nelson de Leon
AR 13937

SHEET NO.

SCALE
1/4" = 1'-0"

DRAWN
BM

REVIEWED
NDL

PROJ. NO.
293

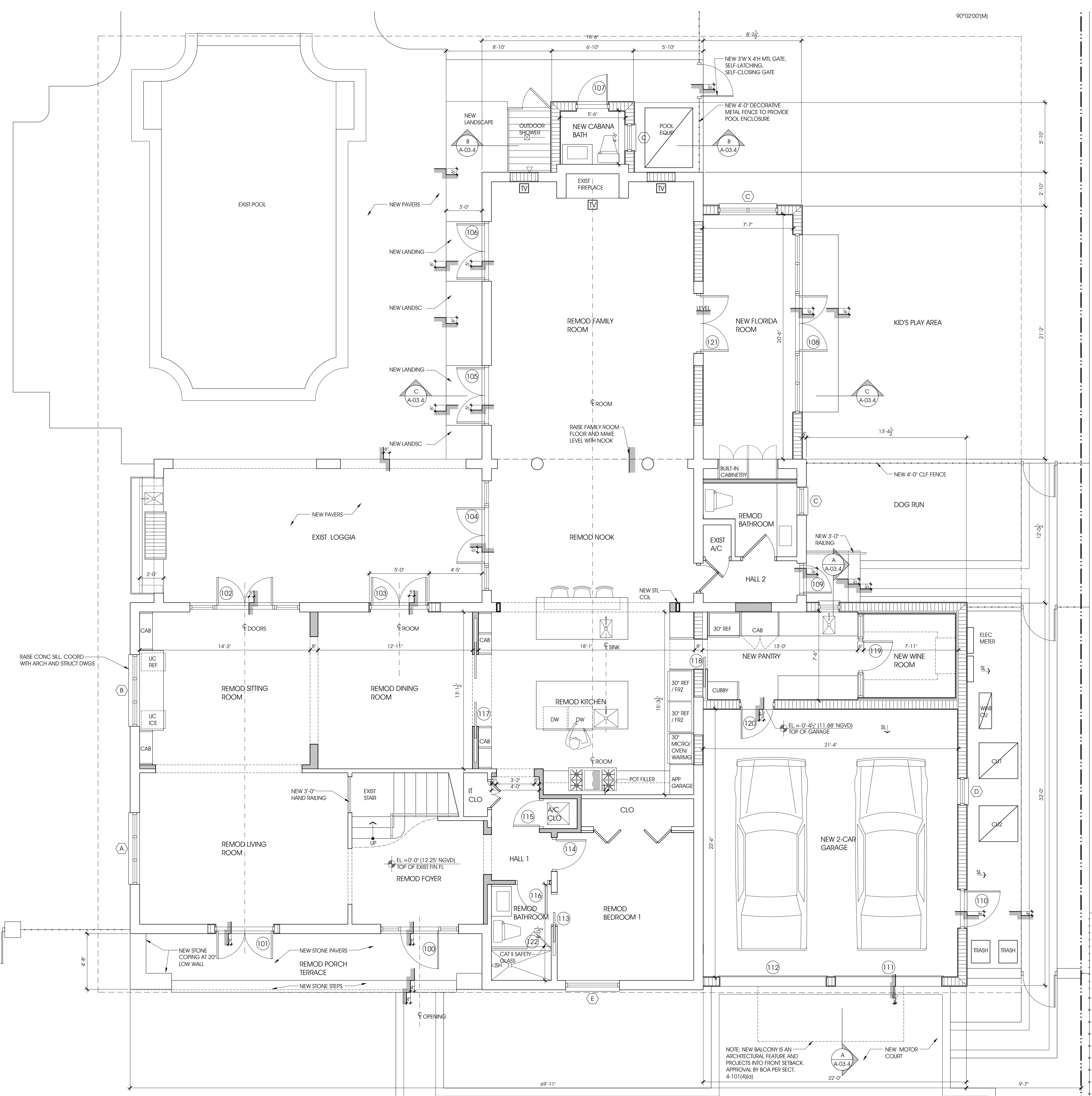
A-02.1

LEGEND

	EXISTING WALL TO REMAIN		NEW GLASS WINDOW
	NEW FULL-HEIGHT WALL OR IN-FILL EXISTING WALL/OPENING		NEW DOOR AND FRAME
	NEW FULL-HEIGHT WALL OR IN-FILL EXISTING WALL/OPENING WITH SOUND INSULATION		NEW CMU WALL

NOTES:

- CONTRACTOR TO PAINT ALL NEW INTERIOR WALLS, CEILINGS, & EXTERIOR WALLS. COORDINATE COLORS WITH OWNERS.
- CONTRACTOR TO VERIFY EXACT LOCATION OF TOILET ROOM, AND KITCHEN ACCESSORIES WITH OWNER. PROVIDE P.T. WOOD BLOCKING AT ALL CABINETRY AND BATHROOM ACCESSORIES.
- FIRE BLOCKING SHALL BE PROVIDED IN WALLS EVERY 8', AT OPENING, AT FLOOR JOISTS AROUND DOOR POCKETS AS PER FBC R440 D.7
- WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273.
- AIR EXHAUST AND INTAKE OPENINGS WHICH TERMINATE AT OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS, OR GRILLES WITH OPENINGS BETWEEN 1/4" AND 1/2".
- COORD. FLOORING, APPLIANCES, CABINETRY, HARDWARE, PLUMBING, AND LIGHTING FIXTURES WITH OWNER SELECTIONS.



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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Remodel and Addition to
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Coral Gables, FL 33134

DRAWING

Proposed
First Floor Plan

SEAL

DRAWN

REVIEWED

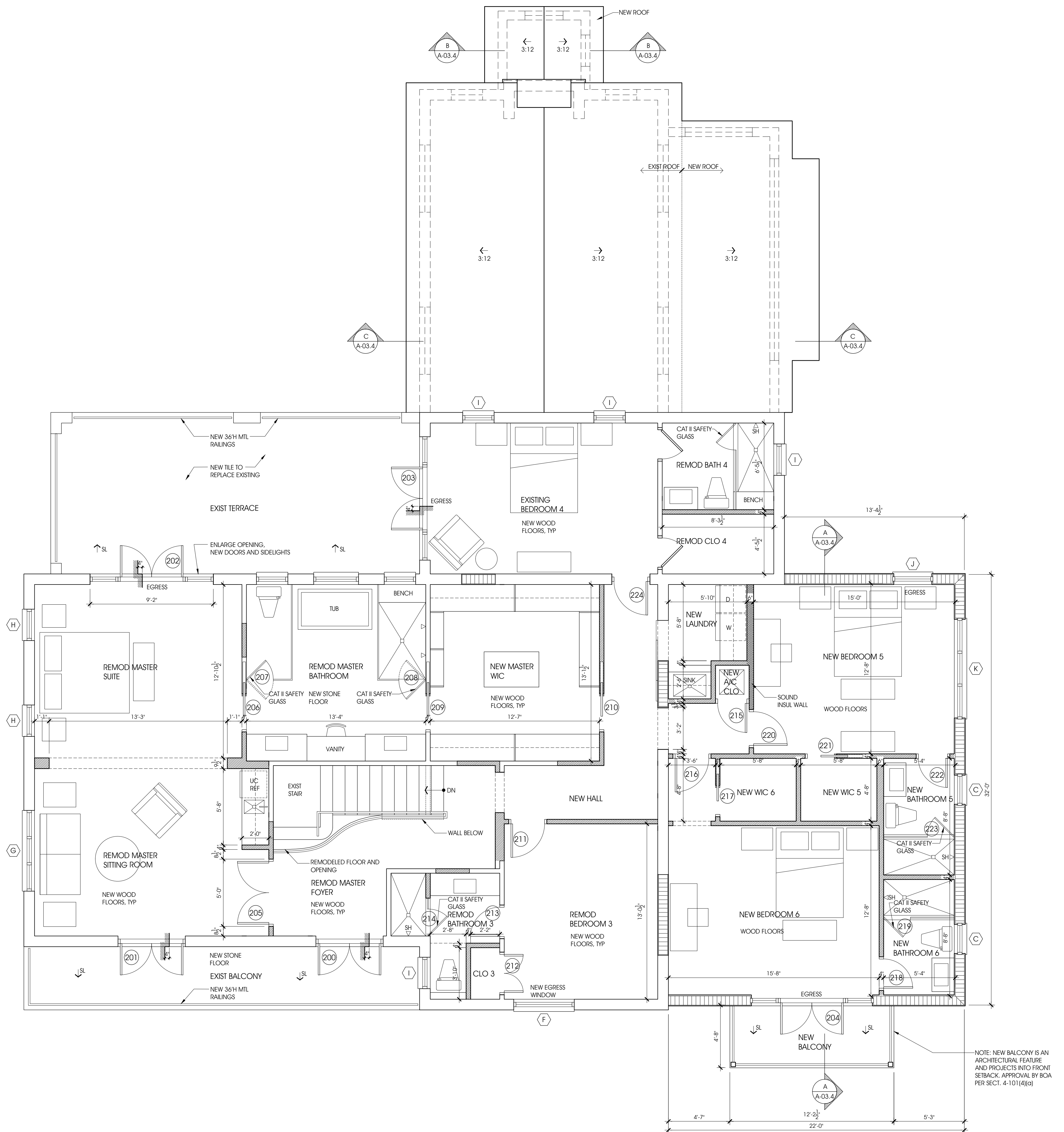
NDL

Nelson de Leon
AR 13937

SHEET NO.

A-02.2

SCALE
1/4" = 1'-0"
BM
PROJ. NO.
293



LEGEND

	EXISTING WALL TO REMAIN		NEW GLASS WINDOW
	NEW FULL-HEIGHT WALL OR IN-FILL EXISTING WALL/OPENING		NEW DOOR AND FRAME
	NEW FULL-HEIGHT WALL OR IN-FILL EXISTING WALL/OPENING WITH SOUND INSULATION		NEW CMU WALL

NOTES:

- CONTRACTOR TO PAINT ALL NEW INTERIOR WALLS, CEILINGS, & EXTERIOR WALLS. COORDINATE COLORS WITH OWNERS.
- CONTRACTOR TO VERIFY EXACT LOCATION OF TOILET ROOM, AND KITCHEN ACCESSORIES WITH OWNER. PROVIDE P.T. WOOD BLOCKING AT ALL CABINETS AND BATHROOM ACCESSORIES.
- FIRE BLOCKING SHALL BE PROVIDED IN WALLS EVERY 8', AT OPENING, AT FLOOR JOISTS AROUND DOOR POCKETS AS PER FBC 1440.0.7
- WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273.
- AIR EXHAUST AND INTAKE OPENINGS WHICH TERMINATE AT OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS, OR GRILLES WITH OPENINGS BETWEEN 1/4" AND 1/2".
- COORD. FLOORING, APPLIANCES, CABINETS, HARDWARE, PLUMBING, AND LIGHTING FIXTURES WITH OWNER SELECTIONS.

NOTES



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DRAWING

Proposed Second Floor Plan

SEAL

Nelson de Leon
AR 13937

SHEET NO.

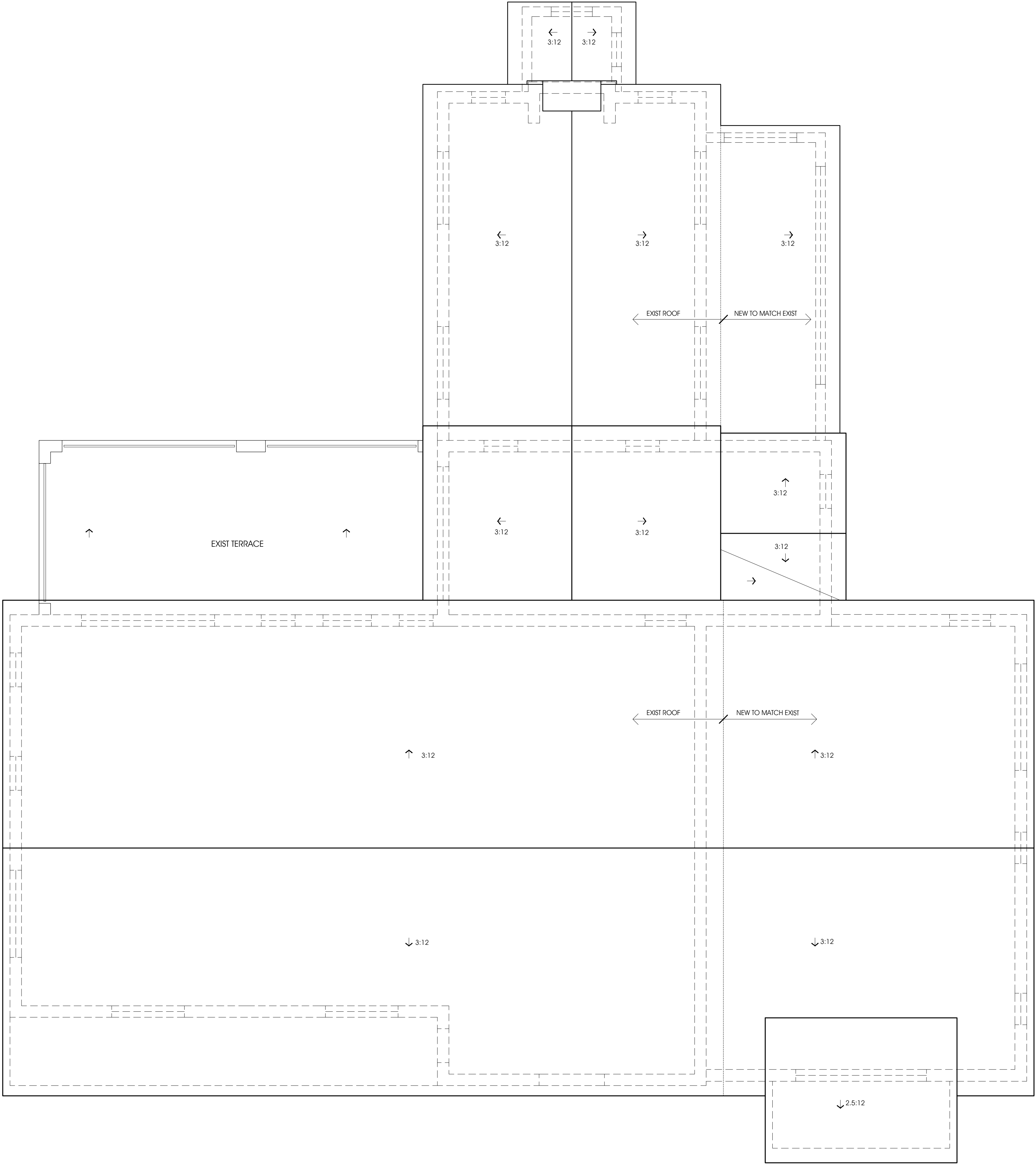
SCALE
1/4" = 1'-0"

DRAWN
BM

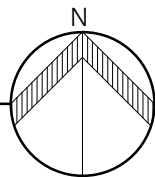
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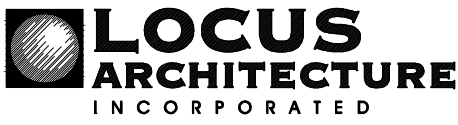
A-02.3



PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



NOTES



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PROJECT

Remodel and Addition to
Brooks Residence

1200 S GREENWAY DR
Coral Gables, FL 33134

DRAWING

Proposed Roof Plan

SEAL

DRAWN

BM

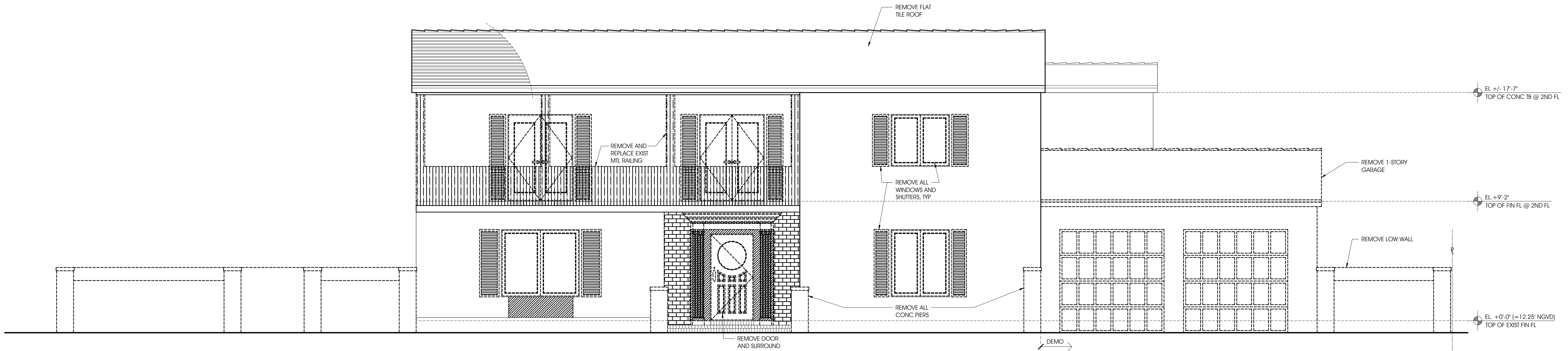
REVIEWED

NDL

Nelson de Leon
AR 13937

SHEET NO.

A-02.4



DEMOLITION EXTERIOR ELEVATION: NORTH
SCALE: 1/4"=1'-0"



PROPOSED EXTERIOR ELEVATION: NORTH
SCALE: 1/4"=1'-0"

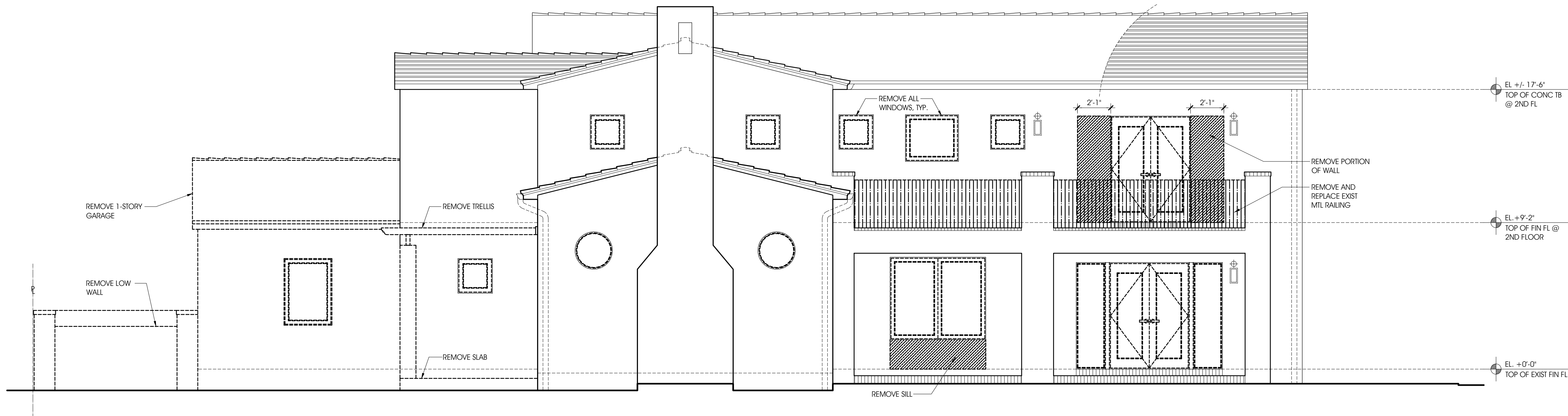
NOTES

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PROJECT	
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1200 S GREENWAY DR Coral Gables, FL 33134	
DRAWING	
Existing and Proposed Exterior Elevations: North	
SEAL	SCALE 1/4" = 1'-0"
	DRAWN BM
	REVIEWED NDL
Nelson de Leon AR 13937	PROJ. NO. 293
SHEET NO.	

A-05.0



DEMOLITION EXTERIOR ELEVATION: SOUTH
SCALE: 1/8" = 1'-0"



PROPOSED EXTERIOR ELEVATION: SOUTH
SCALE: 1/8" = 1'-0"

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	PRELIMINARY BOA SUBM	08-25-2020

PROJECT

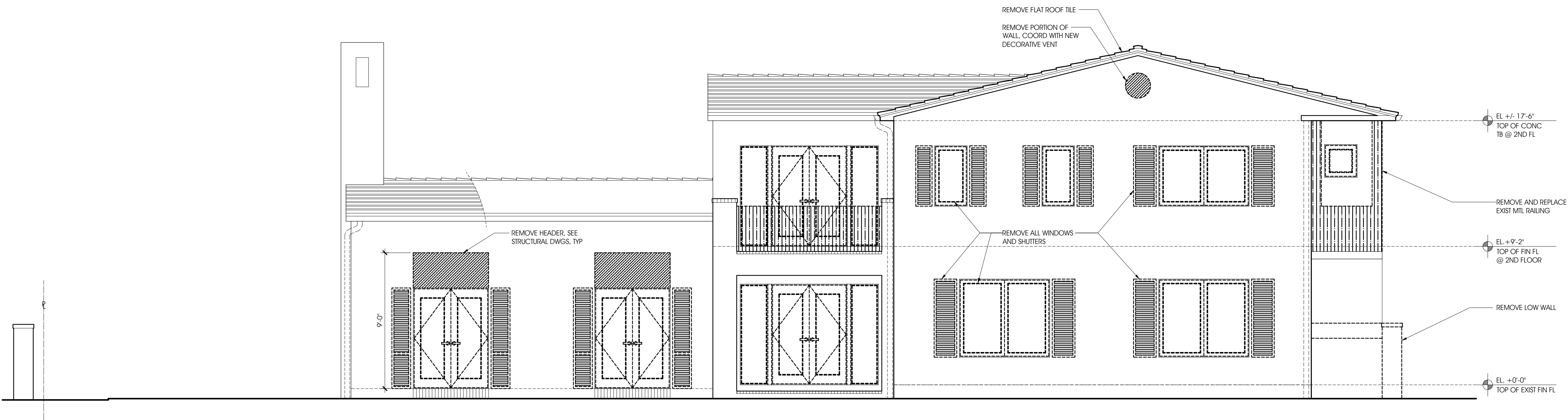
Remodel and Addition to
Brooks Residence

1200 S GREENWAY DR
Coral Gables, FL 33134

DRAWING

Existing and Proposed
Exterior Elevations: South

SEAL	SCALE 1/4" = 1'-0"
	DRAWN BM
	REVIEWED NDL
Nelson de Leon AR 13937	PROJ. NO. 293
SHEET NO.	



DEMOLITION EXTERIOR ELEVATION: EAST
SCALE: 1/8"=1'-0"



PROPOSED EXTERIOR ELEVATION: EAST
SCALE: 1/8"=1'-0"

NOTES



500 South Dixie Highway, Suite 307
Coral Gables, Florida 33146
Tel (305) 740-0120
Fax (305) 740-0520
License No. AA0002733

CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	OWNER REVIEW	08-14-2020
	PRELIMINARY BOA SUBM	08-25-2020

PROJECT

Remodel and Addition to
Brooks Residence

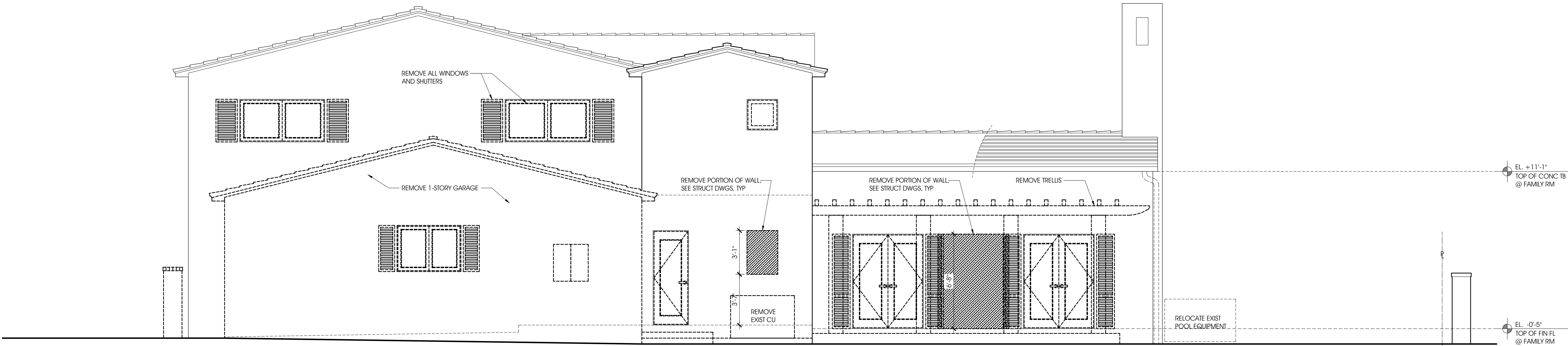
1200 S GREENWAY DR
Coral Gables, FL 33134

DRAWING

Existing and Proposed
Exterior Elevations: East

SEAL	SCALE
	1/4" = 1'-0"
	DRAWN BM
	REVIEWED NDL
Nelson de Leon AR 13937	PROJ. NO. 293
SHEET NO.	

A-03.2



DEMOLITION EXTERIOR ELEVATION: WEST
SCALE: 1/8"=1'-0"



DEMOLITION EXTERIOR ELEVATION: WEST
SCALE: 1/8"=1'-0"

LOCUS
ARCHITECTURE
INCORPORATED
500 South Dixie Highway, Suite 307
Coral Gables, Florida 33146
Tel: (305) 740-0120
Fax: (305) 740-0520
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CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
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PROJECT

Remodel and Addition to
Brooks Residence

1200 S GREENWAY DR
Coral Gables, FL 33134

DRAWING

Existing and Proposed
Exterior Elevations: West

SEAL	SCALE 1/4" = 1'-0"
	DRAWN BM
	REVIEWED NDL
Nelson de Leon AR 13937	PROJ. NO. 293

SHEET NO.

A-03.1



Across street: Granada Golf Course



Neighbor Rear: 1203 Andalusia



Neighbor rear: 1145 Andalusia



Adjacent neighbor East side: 1142 S Greenway



View of front: 1200 S Greenway



Adjacent neighbor West side: 1212 S Greenway

BOA Preliminary Submittal: Context Photo's
 Property: 1200 S Greenway Dr
 Coral Gables, FL 33134

August 18, 2018





View of side: East



View of rear: South



View of side: West



View of front: East side



View of front



View of front: West (Wing to be demolished)

BOA Preliminary Submittal: House Photo's
 Property: 1200 S Greenway Dr
 Coral Gables, FL 33134

August 18, 2018



"THIS SURVEY DECLARATION IS MADE ON THE FIELD DATE INDICATED, TO THE OWNER(S) LISTED. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."

TREE CHART

#	DESCRIPTION	Ø	HEIGHT	CANOPY
1	BOTTLE PALM	15"	10'	11'
2	BOTTLE PALM	15"	10'	11'
3	OAK	18"	40'	35'
4	OAK	13"	30'	28'
5	MOCK ORANGE	10"	7'	11'
6	PALM (CLUSTER)	8"	3'	9'
7	PALM (CLUSTER)	8"	3'	9'
8	PALM	11"	33'	11'
9	AVOCADO	11"	29'	18'
10	STRANGLER FIG	228"	60'	50'
11	STRANGLER FIG	228"	60'	50'
12	STRANGLER FIG	228"	60'	50'

$L=39.26'$
 $R=25.00'$
 $\Delta=89^{\circ}58'00''$
 $CH.=35.35'$
 $(P)(M)$

This property described as:

Lots 15 and 16, Block 5,
CORAL GABLES SECTION "E", according to the
Plat thereof as recorded in Plat Book 8, Page 13, of
the Public Records of Miami-Dade County, Florida.

Certified to:

Matthew P Brooks and Melissa S. Brooks
Weisburd, Eisen & Possenti, P.A.
First American Title Insurance Company

NOTES:

- No visible Encroachments in these Lot
- No platted Easement in these Lots.

Elevation shown refer to N.G.V.D. 1929
BM #37 (C. Gables), Elev.= 11.33FT.

Address:

1200 S Greenway Drive, Coral Gables, FL 33134

Bearing, if any, shown based on N/A (reference) N/A

REVISIONS:

08/20/20 SPOT ELEVATION - TREES ADDED

FLOOD ZONE	COMM. No.	PANEL No.	SUFFIX:	Not valid unless signature and the original raised seal of Florida licensed Surveyor and Mapper.
X	120639	0294	L	
F.I.R.M.DATE	F.I.R.M.INDEX	BASE ELEV.		
09 / 11 / 09	09 / 11 / 09	+ N/A	N.G.V.D.	Mapper.

TOPOGRAPHIC SURVEY.
I HEREBY CERTIFY: that this survey meets the
standards of practice as set forth by the
FLORIDA BOARD OF PROFESSIONAL SURVEYORS
AND MAPPERS in chapter SU-17 Florida Administrative
Code, pursuant to Section 472.027 Florida Statutes.

RENE AIGUESVIVES 03/23/20
PROFESSIONAL SURVEYOR AND
MAPPER No. 4327. State of Florida.

Alvarez, Aiguesvives and Associates, Inc.

Surveyors, Mappers and Land Planners
9789 Sunset Drive, Miami, FL 33173
Phone 305.220.2424 Fax 305.552.8181
L.B. No. 6867 / E-mail: aaasurvey@aol.com

Field Date 03/18/20 Scale: 1"=20' Drawn by: D.G. Drwg. No. 20-21891

NOTE:

- a) All clearances and/or encroachments shown hereon are of the apparent physical use, fence legal ownership not determined.
b) The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.
c) Code restrictions and title search not reflected in this survey
d) Underground utilities, improvements, footings and encroachments, if any not located.
e) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or damage and does not create liability on the part of the firm or employee thereof, for any damage that occurs from reliance on said information.
f) Lands depicted hereon were surveyed per legal description provided by client and no claims as to ownership or matters of title are made or implied.

- g) All roads shown hereon are public unless otherwise noted.
h) No identification cap found on property corners unless otherwise noted.
i) Distance along boundary are record and measured unless otherwise noted.
j) The graphic portions of this document are intended to be displayed at the graphic/name scales as depicted. Said scale may be altered in reproductions and as such, should be considered when obtaining scaled data.
k) Accuracy: The expected use of land as classified in the minimum technical standards (5J17-FAC), is "Suburban". The Minimum relative distance accuracy for the type of boundary survey is 1 foot in 7,500 feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
l) Contact the appropriate authorities prior to any design work or excavation on the herein described parcel for building, zoning information and utilities location.

A	= Arc
ASPH	= Asphalt
BM	= Bench Mark
BRG	= Bearing
CATV	= Catch basin
CB	= Catch basin
CBS	= Concrete Block Structure
CH	= Chord
Chatta	= Chattahoochee
CL	= Center Line
CLF	= Chain Link Fence
CL	= Clear
CONC	= Concrete
D	= Delta
Ø	= Diameter
DH	= Drill Hole
DME	= Drainage & Maintenance Easement
E.B.	= Electric Box
Enc.	= Encroachment
F.F.	= Finish Floor
F.H.	= Fire Hydrant
F.I.R.	= Found Iron Rebar
FPL	= Florida Power & Light
F.I.P.	= Found Iron Pipe
FD.	= Found
L.P.	= Light Pole
M	= Measured
M.F.	= Metal Fence
M.H.	= Manhole
M	= Monument
M.N.	= Monument Line
N/A	= Not Applicable
N/D	= Nail & Disc
N/S	= Not to Scale
O/S	= Offset
O.U.L.	= Overhead Utility Lines
OH	= Overhang
P	= Plat
PB	= Plat Book
PC	= Point of Curvature
P.C.C.	= Point of Compound Curvature
PCP	= Permanent Control Point
PG	= Page
P.I.	= Point of Intersection
PL	= Property Line
PL	= Planter
P.O.B.	= Point of Beginning
P.O.C.	= Point of Commencement
P.P.	= Power Pole
P.R.M.	= Permanent Reference Monument
P.R.C.	= Point of Reverse Curvature
PT	= Point of Tangency
R	= Radius
R/R	= Railroad
PSM	= Professional Surveyor Mapper
R/W	= Right-of-Way
SWK	= Sidewalk
Sec.	= Section
(TVP)	= Typical
T	= Tangent
U.E.	= Utility Easement
W.F.	= Wood Fence
W.M.	= Water Meter
W.V.	= Water Valve
X	= Denotes Spot Elevations Taken

