


PRELIMINARY BOARD OF ARCHITECTS REVIEW

INTERIOR, EXTERIOR IMPROVEMENTS & ADDITION TO EXISTING RESIDENCE

155 Cocoplum Rd. Coral Gables, Florida 33143

SCOPE OF WORK:		GENERAL NOTES:		SAFETY & DEBRIS PREVENTION NOTES:	
<p>WORK INCLUDES COMPLETE RENOVATION THE EXISTING REAR ACCESSORY BUILDING FOR A NEW, 2-LEVEL ADJOINING MASTER BEDROOM ADDITION, WITH AN EXTENSION ON THE WEST SIDE FOR A 2-CAR GARAGE AT THE GROUND LEVEL.</p> <p>• ROOF REPLACEMENT: REPLACE EXIST ROOF TO MATCH EXIST BY SEPARATE WORK &amp; PERMIT BY OTHERS. REF ROOF PLN SHT A2 FOR MORE INFO.</p> <p>YEAR BUILDING WAS BUILT:.....1927.</p> <p>AREA OF EXISTING "ADJUSTED" BUILDING:.....3,880 SQ.FT.</p> <p>AREA OF EXISTING "ACTUAL" BUILDING:.....4,342 SQ.FT.</p> <p>AREA OF PROPOSED ADDITION:.....1,025 SQ.FT.</p> <p>AREA OF PROPOSED COMPLETED RESIDENCE:.....5,367 SQ.FT.</p> <p>LOT AREA:.....15,000 SQ.FT.</p>		<p>1. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS AND DIMENSIONS. IMMEDIATELY CONTACT THE ARCHITECT IF DISCREPANCIES OCCUR OR ARE FOUND. PARTITION LINES SHALL BE LAID OUT AND DRAWN DIRECTLY ONTO THE EXISTING FLOOR SUBSTRATE OR EXISTING CONCRETE SLAB; ANY DISCREPANCIES FOUND SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT AND OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.</p> <p>2. CONTRACTOR SHALL NOT, UNDER ANY CIRCUMSTANCES, SCALE THE DRAWINGS. DIMENSIONAL CLARIFICATIONS ARE TO BE DIRECTED TO THE ARCHITECT.</p> <p>3. CONTRACTOR SHALL, PRIOR TO CONSTRUCTION, COMPARE ALL RELEVANT DRAWINGS - ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL, REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT. NO INFORMATION OR DETAILS ON THE DRAWINGS OF THIS PROJECT MAY BE USED WITHOUT THE WRITTEN AND EXPRESSED CONSENT OF THE ARCHITECT.</p> <p>4. CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT, AND MATERIALS NECESSARY TO COMPLETE THE WORK AS</p> <p>5. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED AND NECESSARY PERMITS, INSPECTIONS, AND APPROVALS (INCLUDING EQUIPMENT USE PERMITS) AS REQUIRED BY THE LOCAL GOVERNING BODIES HAVING JURISDICTION.</p> <p>6. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIREMENTS AND REGULATIONS PERTAINING TO CBC TITLE 24 CH. 11B AND OSHA ARE FOLLOWED AND INCORPORATED INTO THE WORK EVEN THOUGH THEY MAY NOT BE SPECIFICALLY LISTED OR INDIVIDUALLY AND/OR SEPARATELY IN EITHER THE DRAWINGS OR THE SPECIFICATIONS.</p> <p>7. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE BUILDING, MECHANICAL, ELECTRICAL AND SAFETY LAWS IN PLACE, CURRENT, AND ENFORCED IN THE JURISDICTION (CITY AND STATE) WHERE THE PROJECT IS LOCATED. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ANY VIOLATION(S) OF THE SAME AND SHALL MAKE ALL WORK ACCEPTABLE TO THE LOCAL BUILDING DEPARTMENTS AND AGENCIES HAVING JURISDICTION WITHOUT EXTRA CHARGES.</p> <p>8. ALL CONSTRUCTION AND/OR DEMOLITION DEBRIS IS TO BE REMOVED IMMEDIATELY FROM THE SITE AND DISPOSED OF IN A LEGAL AND SECURE MANNER.</p> <p>9. CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND OVERSEE THAT ALL CUTTING AND/OR PATCHING REQUIRED FOR THE INSTALLATION OF ALL MATERIALS BY ALL TRADES IS PROPERLY EXECUTED AS DESCRIBED WITHIN THE SCOPE OF WORK AS SHOWN ON THE DRAWINGS OR OTHER RELATED / ISSUED DOCUMENTS.</p> <p>12. CONCRETE SLAB ALTERATIONS, REINFORCING, AND FLOOR ELEVATION TRANSITIONS MUST INSURE AND MAINTAIN THE ORIGINAL CONCRETE SLAB SPECIFIED STRENGTH &amp; DIAPHRAGM CHARACTERISTICS.</p> <p>13. SMOKE/HEAT/CARBON MONOXIDE DETECTOR(S) PLAN REQUIRE INTERCONNECTION AND PERMIT APPROVAL.</p> <p>14. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THAT THERE IS ADEQUATE CLEARANCE ABOVE FINISHED CEILING HEIGHT SPECIFIED ON DRAWINGS TO ACCOMMODATE MECHANICAL DUCTWORK, EQUIPMENT, LIGHTING FIXTURES, ETC. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES &amp; AWAIT CLARIFICATION PRIOR TO</p> <p>PROCEEDING WITH WORK.</p> <p>15. ANY WOOD CONSTRUCTION MATERIALS SHALL BE FIRE-RATED.</p> <p>16. ABSOLUTELY NO SUBSTITUTIONS SHALL BE ALLOWED NOR APPROVED UNLESS SPECIFICALLY APPROVED BY THE ARCHITECT IN-WRITING.</p> <p>17. CONTRACTOR SHALL FURNISH THEIR OWN REFUSE CONTAINER AT STORE, TURNOVER TO OWNER FOR OWNER'S USE AND DISPOSAL OF WRAPPINGS, CARDBOARD MATERIALS, TRASH, ETC.</p> <p>18. THE CONTRACTOR MUST PROTECT AND REPAIR ANY DAMAGED FIREPROOFING AND INSULATION.</p> <p>19. PLEASE RECYCLE DEMOLITION AND CONSTRUCTION WASTE.</p> <p>20. CONTRACTOR SHALL COMPLY WITH ALL O.S.H.A. REQUIREMENTS.</p> <p>21. SHOP DRAWINGS: GC MUST NOTIFY ARCHITECT IMMEDIATELY OF ANY UNEXPECTED OR UNKNOWN CONDITIONS ARISEN OUT OF PREPARATION OF SHOP FABRICATIONS. SHOP DWGS MUST BE REVIEWED, APPROVED, VERIFIED &amp; STAMPED AS SUCH BY THE GC PRIOR TO ARCHITECT'S REVIEW.</p> <p>23. GC MUST SUBMIT SHOP DWGS FOR APPROVAL PRIOR TO COMMENCING FABRICATIONS OF APPLICABLE ITEMS FOR CONSTRUCTION. INCOMPLETE SHOP DWGS OR THOSE LACKING SUFFICIENT INFO MAY BE RETURNED "WITHOUT REVIEW".</p> <p>24. ARCHITECT REVIEW OF SHOP DWGS IS FOR CONFORMANCE TO DESIGN INTENT ONLY. REF NOTE THIS SHT FOR MORE INFO.</p>		<p>1. GENERAL: ALL WORK TO BE DONE IN COMPLIANCE WITH BLDG CODES &amp; REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.</p> <p>2. MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR OWNER TO BE MAINTAINED CLEAR &amp; FREE OF ALL OBSTRUCTIONS SUCH AS BUILDING MATERIALS ETC.</p> <p>3. FIRE SAFETY: ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREAS AND/OR IN ANY AREA OF THE BUILDING ARE TO BE STORED IN A LOCKED SECURED AREA. ACCESS TO SUCH AREA TO BE CONTROLLED BY OWNER AND/OR GENERAL CONTRACTOR.</p> <p>4. DUST CONTROL: DEBRIS, DIRT &amp; DUST TO BE KEPT TO A MIN. &amp; CONFINED TO THE IMMEDIATE CONSTRUCTION AREA AND TO BE CLEANED UP &amp; CLEARED FROM BLDG DAILY TO AVOID EXCESSIVE ACCUMULATION.</p> <p>5. NOISE AFTER HOURS: GC TO CONTACT CITY OF CORAL GABLES FOR CONFIRMATION OF WORK HOURS AND OPERATIONAL REQUIREMENTS.</p> <p>6. DEMO OR CONSTRUCTION OPERATIONS WILL NOT INTERRUPT HEATING, WATER OR ELECTRICAL SERVICES TO OWNER UNLESS APPROVED.</p> <p>7. DEMO OR CONSTRUCTION MUST BE CONFINED TO GRND. GC MUST LIMIT DIRT, DUST OR OTHER CREATED TO ALL OTHER AREAS OF HOME.</p> <p>8. DEMO OR CONSTRUCTION MUST NOT BLOCK MEANS OF EGRESS. ALL EXITS SHALL MEET MIN WIDTH &amp; MIN HEADROOM OF +80" AFF.</p> <p>9. REMOVAL OF DEBRIS &amp; WASTE: GC SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS &amp; CONSTRUCTION MATERIAL FROM SITE IN A LAWFUL MANNER.</p> <p>10. UNUSED MATERIALS, PAINT &amp; CLEANING PRODUCTS: SHALL BE SORTED &amp; DISPOSED OF IN A MANNER ALLOWED BY FEDERAL LAW. PROVISIONS SHALL BE MADE TO ALLEVATE THE SPREAD OF DEBRIS, DIRT, DUST TO EXIST AREAS OR ADJACENT PROPERTIES, WHICH SHALL BE KEPT CLEAN AS POSSIBLE AT ALL TIMES.</p> <p>11. STAGING &amp; STORAGE: GC SHALL SEEK APPROVAL FOR ANY STAGING, STORAGE AREAS &amp; ACCESS ROUTES IN OR OUT OF SITE. PLAN MUST BE REVIEWED &amp; APPROVED BY THE OWNER PRIOR TO COMMENCEMENT.</p> <p>12. ENVIRONMENTAL: GC SHALL SUBMIT REQUIRED UTILITY, AIR QUALITY &amp; ENVIRONMENT DOCUMENTATION TO COUNTY AUTHORITIES FOR PERMIT REVIEW &amp; APPROVAL. CONTACT THE COUNTY'S ENVIRONMENTAL AIR SECTION FOR MORE INFO.</p> <p>13. OCCUPATION VS VACANCY: GC SHALL FIELD-SURVEY ALL EXIST AREAS</p> <p>PRIOR TO WORK &amp; VERIFY ALL PERSONS HAVE BEEN VACATED. GC RESPONSIBLE FOR TURNING-OFF WATER, GAS OR OTHER UTILITY EQUIPMENT OR SOURCES PRIOR TO WORK.</p> <p>14. PROTECTION REQUIRED: PEDESTRIANS SHALL BE PROTECTED DURING CONSTRUCTION, ALTERATION, REMODELING, OR DEMOLITION ACTIVITIES. SIGNS SHALL BE PROVIDED TO DIRECT PEDESTRIANS OR TRAFFIC WHEN REQUIRED.</p> <p>15. OBSTRUCTIONS &amp; OPENINGS: WHERE CONSTRUCTION OR OTHER HAZARD IS LOCATED IN OR ADJACENT TO A COMMON AREA OR PUBLIC WAY, SUCH HAZARD SHALL BE INDICATED BY RED TAGS OR SIGNS DURING DAYLIGHT HOURS, &amp; BY RED LANTERNS, FLASHING BEACONS, AT NIGHT.</p>	
APPLICABLE CODES & REGULATIONS: PER FLORIDA BUILDING CODE 6th EDITION, 2017 ADOPTED JANUARY 1st, 2018.		ABBREVIATIONS NOTE: NOT ABBREVIATIONS ALL MAY BE USED ON THE FOLLOWING SHEETS.		SHEET INDEX: NOT ALL SHEETS MAY BE BY CERTIFIED BY THE SAME DESIGN PROFESSIONAL.	
<p>FLORIDA BUILDING CODE: FBC 2017 PLUMBING CODE: FBC 2017 EDITION</p> <p>ELECTRICAL CODE: NEC 2014 MECHANICAL CODE: FBC 2017 EDITION</p> <p>FIRE PROTECTION: FPFC 2017 6th EDITION ENERGY CODE: FBC 2017 EDITION</p> <p>RESIDENTIAL CODE: FBCR 2017</p> <p>CODE CLASSIFICATION:</p> <p>A. OCCUPANCY GROUPS: RESIDENTIAL GROUP R-3, SECTION 310.5</p> <p>B. CONSTRUCTION CLASSIFICATIONS: FBC 403: EXIST BUILDING LEVEL 2 ALTERATION</p> <p>C. COMPLIANCE METHOD: NFPA 101: MODIFICATION 43.2.2.1.3, ADDITIONS 43.8</p> <p>D. BUILDING TYPE: FBC 301.1.2: WORK AREA COMPLIANCE METHOD</p> <p>ALTERATIONS, COMPLYING WITH CHAPTERS 5 THROUGH 13</p> <p>TYPE III-B UNPROTECTED COMBUSTIBLE</p>		<p>AC ACRYLIC EP ELECTRICAL PANEL</p> <p>A/C AIR CONDITIONING EQ EQUAL</p> <p>ACCESS ACCESSORY EXT EXTERIOR</p> <p>ACT ACOUSTIC CEILING TILE FF FINISH FLOOR</p> <p>ADA AMERICANS WITH DISABILITIES ACT F.T. FIRE TREATED</p> <p>ADD. ADDENDUM FIN FINISH</p> <p>AFF ABOVE FINISHED FLOOR FIXT FIXTURE</p> <p>ARCH ARCHITECTURAL / ARCHITECT FLR FLOOR</p> <p>ALUM ALUMINUM FT. FOOT / FEET</p> <p>ASTM AMERICAN SOCIETY FOR GA GAUGE</p> <p>APPROV APPROVED GEN GENERAL</p> <p>BD BOARD GT GLASS</p> <p>BLDG BUILDING CR GRANITE</p> <p>B/O BOTTOM OF CWP GYPSUM WALLBOARD</p> <p>B/H BACK OF HOUSE H.C. HANDICAPPED</p> <p>CL CENTER LINE HWR HARDWARE</p> <p>CLG CEILING HC HEAVY GAUGE</p> <p>CLOS CLOSET HM HOLLOW METAL</p> <p>CLR CLEAR HOR HORIZONTAL</p> <p>CM CENTIMETER HR HOUR</p> <p>CW CONCRETE MASONRY UNIT HT HEIGHT</p> <p>COL COLUMN HYAC HEATING/VENTILATION/</p> <p>CONC CONCRETE AIR-CONDITIONING</p> <p>CONT CONTINUOUS / CONTINUED IBC INTERNATIONAL BUILDING CODE</p> <p>COORD COORDINATE ID INSIDE DIAMETER</p> <p>CTR CENTER INT INTERIOR</p> <p>CT CERAMIC TILE JT JOINT</p> <p>DIA DIAMETER LAM LAMINATED</p> <p>DN DOWN LBS POUNDS</p> <p>DWG DRAWING L.C. LEASE LINE</p> <p>(E) EXISTING M METER</p> <p>ETC ETCETERA MACH MACHINE</p> <p>ELV ELEVATION MAX MAXIMUM</p> <p>ELEC ELECTRICAL MDF MEDIUM DENSITY FIBERBOARD</p> <p>MECH MECHANICAL</p> <p>MEZZ MEZZANINE</p> <p>MFR MANUFACTURER</p> <p>MGR MANAGER</p> <p>MISC MISCELLANEOUS</p> <p>MIN MINIMUM</p> <p>MTD MOUNTED</p> <p>MTL METAL</p> <p>MU MAKE-UP UNIT</p> <p>N NORTH</p> <p>N/A NOT APPLICABLE</p> <p>NC NOT IN CONTRACT</p> <p>NTS NOT TO SCALE</p> <p>OC ON CENTER</p> <p>OD OUTSIDE DIAMETER</p> <p>OPP OPPOSITE</p> <p>PART PARTITION</p> <p>PMU PRIVATE MAKE-UP ROOM</p> <p>PLAM PLASTIC LAMINATE</p> <p>PLYWD PLYWOOD</p> <p>PRE-FAB PRE-FABRICATED</p> <p>PT PAINT</p> <p>PTD PAINTED</p> <p>R RISER</p> <p>RAD RADIUS</p> <p>RCP REFLECTED CEILING PLAN</p> <p>REF REFERENCE / REFERENCE</p> <p>REVD REQUIRED REVISION</p> <p>RM ROOM</p> <p>R.O. ROUGH OPENING</p> <p>RVL REVEAL</p> <p>S SOUTH</p> <p>S.C. SUSPENDED CEILING</p> <p>SCH SCHEDULE</p> <p>SECT SECTION</p> <p>S.F. SQUARE FEET / SQUARE FOOTAGE</p> <p>SHT SHEET</p> <p>SIM SIMILAR</p> <p>SPEC SPECIFICATION</p> <p>SO SQUARE</p> <p>SO FT SQUARE FEET</p> <p>STD STANDARD / STANDARDS</p> <p>STRUCT STRUCTURE / STRUCTURAL</p> <p>STL STEEL</p> <p>STL STL STAINLESS STEEL</p> <p>SUSP SUSPENDED</p> <p>TBD TO BE DETERMINED</p> <p>TEL TELEPHONE</p> <p>TEMP TEMPORARY</p> <p>T&amp;G TONGUE AND GROOVE</p> <p>THK THICK / THICKNESS</p> <p>T/O TOP OF</p> <p>T.O.W. TOP OF WALL</p> <p>TYP TYPICAL</p> <p>UBC UNIFORM BUILDING CODE</p> <p>U.O.N. UNLESS OTHERWISE NOTED</p> <p>UNDER UNDERSIDE</p> <p>U/S UNDERWRITERS LABORATORIES</p> <p>VCT VINYL COMPOSITE TILE</p> <p>VERT VERTICAL</p> <p>VEST VESTIBULE</p> <p>VF VERIFY IN FIELD</p> <p>W WEST</p> <p>WD WOOD</p> <p>WP WALLPAPER</p> <p>W/ WITH</p>		<p>GENERAL CONDITIONS:</p> <p>G1.....COVERSHEET, INDEX &amp; SCOPE OF WORK.</p> <p>SITE PLANS</p> <p>SPD.....EXISTING SITE PLAN</p> <p>SP1.....PROPOSED SITE PLAN.</p> <p>ARCHITECTURAL</p> <p>D1.....DEMOLITION PLAN FIRST LEVEL.</p> <p>D2.....DEMOLITION PLAN FIRST LEVEL.</p> <p>A1.....PROPOSED PLAN &amp; KEYNOTE LEGEND</p> <p>A2.....PROPOSED SECOND LEVEL PLAN &amp; KEYNOTE LEGEND.</p> <p>A2.1.....ROOF PLAN.</p> <p>A3.1.....EAST ELEVATION.</p> <p>A3.2.....NORTH ELEVATION.</p> <p>A3.3.....SOUTH ELEVATION.</p> <p>A3.4.....WEST ELEVATION.</p> <p>A4.....SITE CONTEXT IMAGES.</p>	
LEGAL DESCRIPTION:					
<p>CORAL GABLES BISC BAY SEC 1 PL B, PB 25-50, LOTS 69 &amp; 70 BLK 4, LOT SIZE 50.000 X 150, OR, 16502-2015 0794 1</p> <p>ZONING.....0100 SINGLE FAMILY - GENERAL</p> <p>FOLIO NUMBER.....03-4132-010-0100</p>					
FLOOD ZONE:.....AE +11'					
PROJECT LOCATION: NOT TO SCALE NOTE: THIS PROPERTY IS LOCATED FLOOD ZONE "AE"					
					
<p>project information:</p> <p>date: 3-13-2020</p> <p>project number: 18-85R</p> <p>sheet title: coversheet, index, scope of work.</p> <p>sheet number: G1</p> <p>file: 18-85r-2020-3-13.dwg</p>					

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G1  
file:  
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# FLOOD PREVENTION DETAIL NOTES:

PROPOSED BERMS SHOULD BE CONSTRUCTED OF SUITABLE FILL MATERIAL, NO MUCK OR OPEN GRADED SILICA, COMPACTED TO 92% DENSITY, AND SLOPED OR STABILIZED IN AN APPROVED METHOD TO PREVENT EROSION.

PROPOSED SWALES SHALL BE CONSTRUCTED AS TO NOT INTERFERE WITH ENVIRONMENTAL RESOURCE EFFORTS, I.E. ANY TRANSPLANTING WOULD OCCUR, WITH EACH SPECIMEN WITH ITS OWN CRITICAL ROOT ZONES (CRZ) AND TREE PROTECTION ZONES (TPZ) AHEAD OF SWALE CONSTRUCTION. THIS WORK, AND THE GRADE AROUND THESE SPECIMENS BE SUPERVISED BY A CERTIFIED ARBORIST.

PROVIDE 1/2"RAD FINISH EDGE OF SIDEWALK WITH EDGING TOOL.

TYP. #3 NOSE BAR:

CONT. 1-1/2"X1" FORMED REVEAL

CONT. 10X12" THIN EDGE. PROVIDE CONT. #5 BAR. LAY MESH 30" BACK INTO SLAB.

PATIO JOINT SCHEDULE			
Type	width	depth	time
D	3/4"	1-1/2"	within 96hrs
E	3/4"	1-1/2"	within 12hrs
			30'

COMPACTED SUBGRADE AT SIDEWALKS:  
Compact fill areas, including cut areas under the sidewalk that have been excavated more than 6" below min. of sidewalk, to min. 95% of AASHTO T99 density. The area to be compacted is defined as that area directly under the sidewalk & 1' beyond each side of the sidewalk when right-of-way allows.

FINISH TO BE APPROVED BY BOA. STOOPISTAIRS MUST COMPLY FBC R311 & R440.3. TREADS SHALL BE CLAD IN MATCHING PORCELAIN TILE MATERIAL & NOT VARY IN WIDTH MORE THAN 5/8". THROUGHOUT RISE, GRASPABLE HANDRAIL OR GUARD NOT REQUIRED.

TYP. 6" CONC SIDEWALK WITH 6x6 W1.4XW1.4 ENSURE SLIP-RESISTANT SURFACE PER FBC B1003.4. ENSURE MAX 1:45 CROSS-SLOPE. WATER TRAVEL AWAY FROM STRUCTURE.

WELL-COMPACTED CLEAN PERMIE-CONTROLLED FILL

EXTERIOR

INTERIOR

REF. PLAN

2% MAX SLOPE

11" MIN

11" MIN

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ENSURE MIN. 12" LAYER OF EXIST 1-1/2" - 3" AASHTO #1 OPEN-GRADED STONE, NO FINES.

CONCRETE PAVES: SLIP-RESISTANCE PER FBC B1003.4 & LEVEL-2 PER CPAA STANDARDS. Dynamic Coefficient of Friction (DCOF) range of 0.35-0.45 wet conditions per ANSI B101.3.

PROVIDE AASHTO #57 AGGREGATE M43 25.0mm- 4.75mm 1" (No.4) PER TABLE 703.4, UPTO 6" CHOKER COURSE SUBSTRATA.

PROVIDE AASHTO #8 AGGREGATE M43 9.5mm- 2.5mm 1/4-3/8" (No.6) PER TABLE 703.4, 8" MIN. SELECTED PAVES & UPTO 2" LAYER BELOW.

MINIMAL GAP, TYP.

OPTIONAL CURBING

EXIST GRADE

4" MIN-5" MAX

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OPTIONAL CONC CURB WITH OPENINGS AT ALL SIDES TO PROMOTE PERCOLATION. REF. SITE DIMENSIONS & AREAS.

WHERE REPAIR IS NECESSARY FROM FOUR NEW 300gals PUMP-MIX CONC PAVERS, provide 6x6 W1.4XW1.4 WINK. Slop shall be Finished SMOOTH OR per owner selection.

OPTIONAL CURBING

EXIST GRADE

4" MIN-5" MAX

12"

12"

12"

12"

12"

12"

12"

12"

12"

12"

12"

12"

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12"

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12"

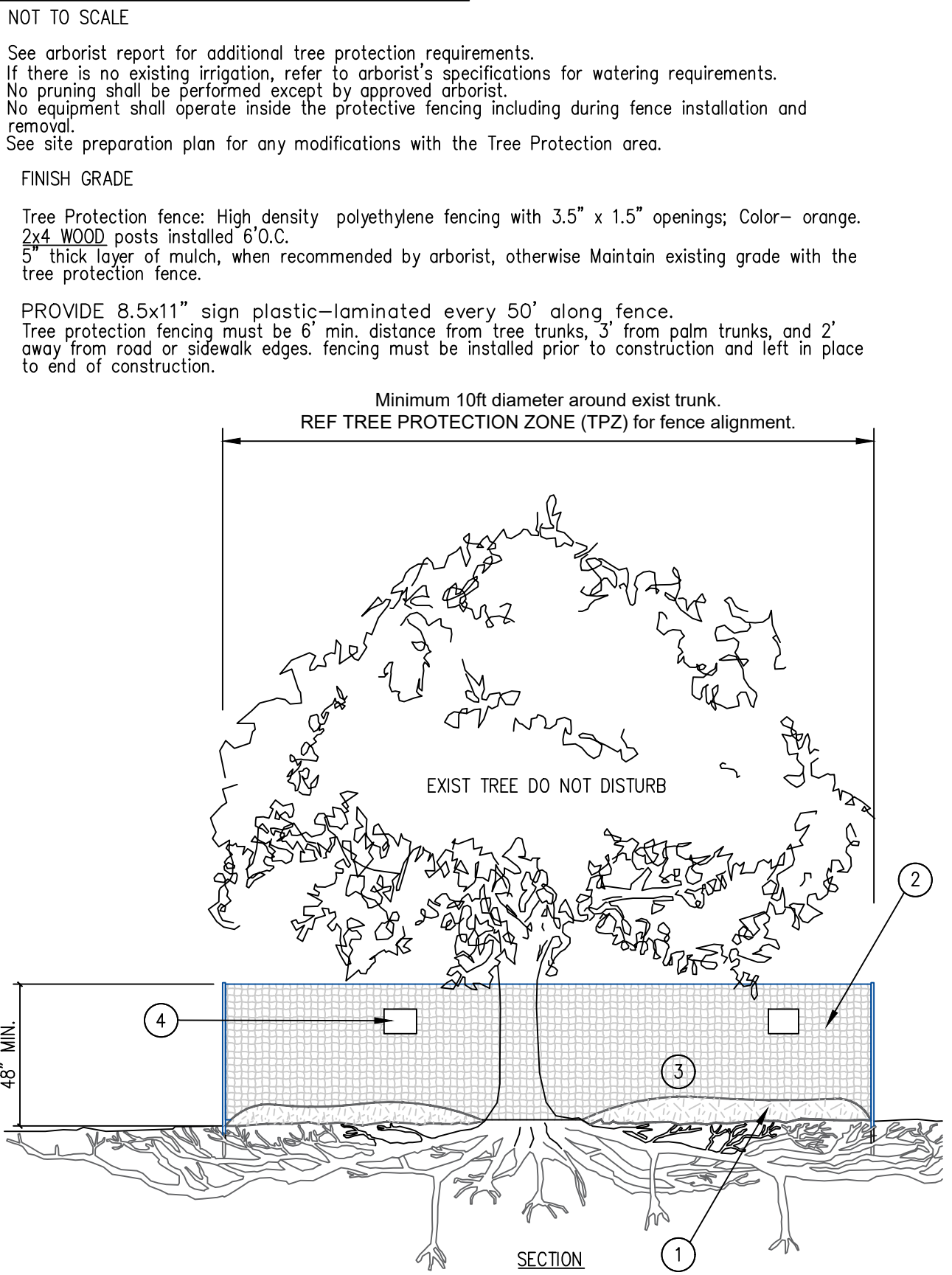
12"

12"



TREE #	COMMON NAME	TRUNK Ø (' +/-)	HEIGHT +/-	CANOPY +/-	DISPOSITION
①	PINE TREE	1.5'	80'	10'	REMAIN
②	PINE TREE	2'	90'	15'	REMAIN
③	PINE TREE	2'	90'	15'	REMAIN
④	ROYAL PALM TREE	2'	65'	15'	REMAIN
⑤	TREE	0.4'	20'	10'	REMAIN
⑥	ROYAL PALM TREE	1.8'	50'	15'	REMAIN
⑦	PINE TREE	1'	50'	15'	REMAIN
⑧	OAK TREE	5'	50'	70'	REMAIN
⑨	PINE TREE	2'	70'	15'	REMAIN
⑩	PINE TREE	2'	70'	15'	REMAIN
⑪	PINE TREE	2'	70'	15'	REMAIN
⑫	PINE TREE	2'	70'	15'	REMAIN
⑬	ROYAL PALM TREE	1.8'	50'	15'	REMAIN
⑭	ROYAL PALM TREE	1.8'	50'	15'	REMAIN
⑮	ROYAL PALM TREE	1.8'	50'	15'	REMAIN
⑯	PINE TREE	2.0'	90'	20'	REMAIN
⑰	PINE TREE	1.8'	90'	20'	REMAIN
⑱	PINE TREE	1.8'	90'	15'	REMAIN
⑲	ROYAL PALM TREE	1.5'	60'	15'	REMAIN
⑳	TREE	4'	40'	40'	REMOVE
㉑	ROYAL PALM TREE	1.8'	50'	15'	REMAIN
㉒	PALM TREE	0.6'	30'	10'	REMAIN

TREE PROTECTION FENCE:



TREE PROTECTION FENCING MUST BE 2X4 WOOD POSTS, BURIED, WRAPPED IN ORANGE PLASTIC FENCING, 4" HEIGHT, 6" MIN. DISTANCE FROM TREE TRUNKS, 3' FROM PALM TRUNKS, AND 2' AWAY FROM ROAD OR SIDEWALK EDGES. FENCING MUST BE INSTALLED PRIOR TO CONSTRUCTION AND LEFT IN PLACE TO END OF CONSTRUCTION.

KNOW WHAT'S BELOW. CALL BEFORE YOU DIG: 811  
An 811 representative will take info about your project & notify appropriate utility companies to mark buried lines.

KEYNOTE LEGEND:

- HATCHED AREA REPRESENTS EXISTING SINGLE-FAMILY RESIDENCE/ FLOOR AREA COVERAGE. REF LEGEND THIS SHT FOR EXISTING & PROPOSED AREAS. REF SHT A1 FOR MORE INFO.
- LINE REPRESENTS NEW POOL BARRIER PER FBC R4501.17.1. REF DETAIL & NOTES THIS SHT. CAREFULLY REMOVE COPING IN PREPARATION FOR NEW SURFACE.
- APPROX LOCATION OF EXIST 1"U.G. WATER SUPPLY LINE TO HOUSE.
- APPROX LOCATION OF EXIST 4"U.G. SANITARY TO MUNICIPAL SEWER.
- APPROX LOCATION OF EXIST WATER METER, COORDINATE ACCOUNT WITH MUNICIPAL AUTHORITY PRIOR TO COMMENCEMENT OF WORK.
- EXIST O.H. SERVICE CONDUCTORS FROM FP&L POLE TO NEW METER; COORDINATE WITH FP&L PRIOR TO COMMENCEMENT OF WORK. REF ELEC DWGS FOR MORE INFO.
- EXIST PERIMETER FENCE TO REMAIN, DO NOT DISTURB.
- EXIST PUBLIC ROADWAY, DO NOT DISTURB, ENCRANCH OR OBSTRUCT.
- EXIST DRIVEWAY APPROACH, ALREADY CONSTRUCTED PER CITY OF MIAMI DETAIL MISC 35--85--22. NO WORK OUTSIDE THE PROPERTY LINE AS PART OF THIS WORK OR PERMIT. NO IMPROVEMENTS TO SIDEWALK, DRIVEWAY OR S. MIAMI AVENUE REQ'D. REF SCOPE OF WORK UPPER-LEFT OF SHT G1.
- REMOVE EXISTING DRIVEWAY, SIDEWALKS & PORCHES TO 6" BELOW A.G.E.
- REMOVE EXISTING SLAB-ON-GRADE & NON-COMPLIANCE HVAC EQUIPMENT.
- PROVIDE TREE PROTECTION BARRIER, PER DETAIL THIS SHT.

POOL BARRIER NOTES:

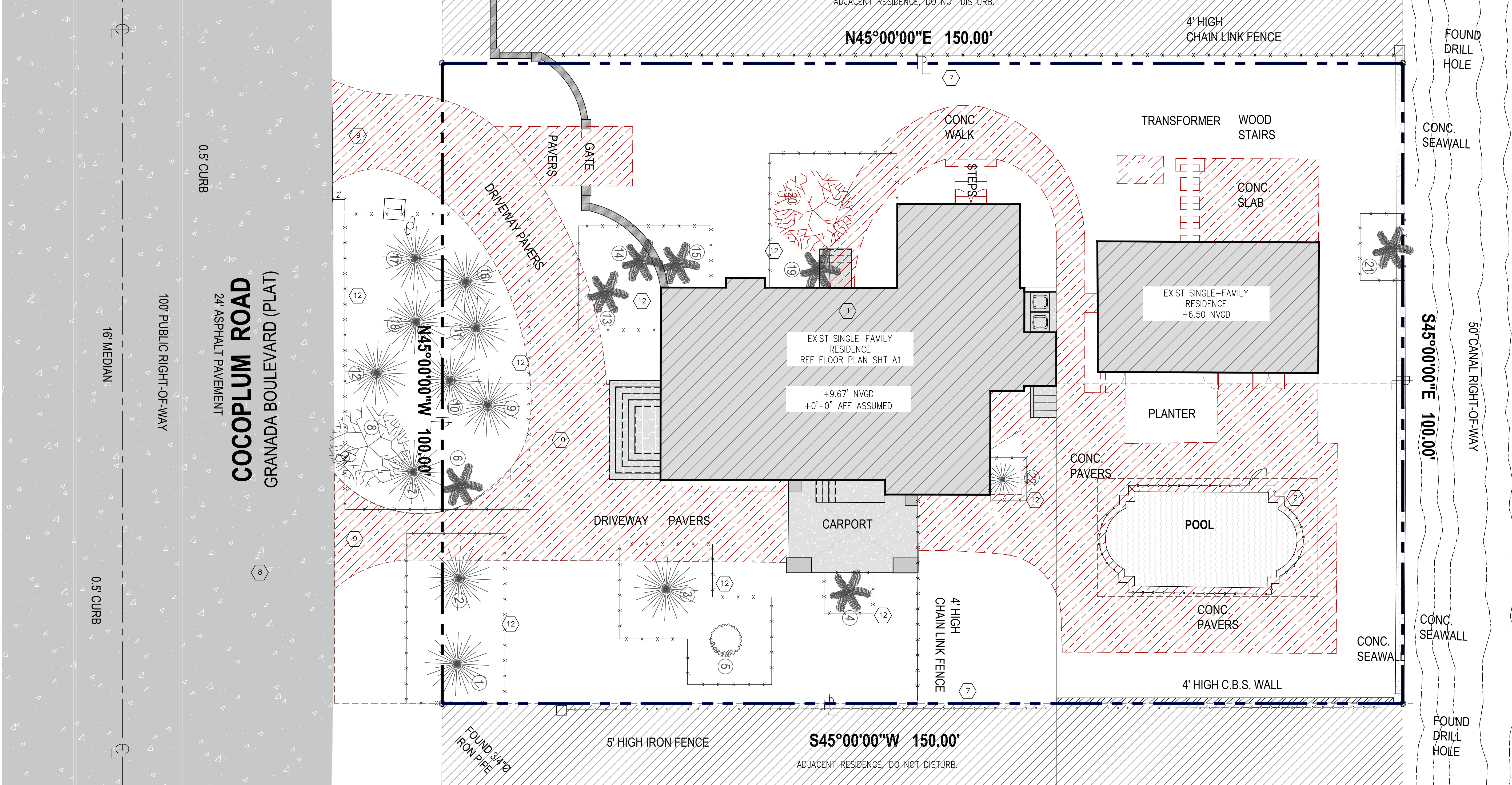
BARRIERS WHEN USED FOR OUTDOOR POOLS, MUST COMPLY FBC R4501.17. REF FBC R4501.17.1.1 through R4501.17.1.14 for all requirements.

Barriers top shall be 48-inches minimum when measured above grade, on the side of the barrier which faces away from pool (maximum vert clear btm grade & btm of barrier shall be 2-inches) per FBC R4501.17.1.1.

Barriers may not have any gaps, openings, indentations, protrusions, or structural components that could allow a young child to crawl under, squeeze through, or climb over the barrier as herein described below per FBC R4501.17.1.2. One end of a removable child barrier shall not be removable without the aid of tools. Openings in any barrier shall not allow passage of a 4-inch-diameter sphere.

Barriers composed of horizontal & vertical members (distance btm tops of horizontal members is less than 45-inches); horizontal members shall be located on the swimming pool side of the fence per FBC R4501.17.1.4. Spacing btm vertical members shall not exceed 1-3/4 inches in width. Where there are decorative cutouts within vertical members, spacing within cutouts shall not exceed 1-3/4 inches width.

Access gates, when provided, shall be self-closing and shall comply with FBC R4501.17.1.1 through R4501.17.1.7 & shall be equipped with a self-latching locking device located on the pool side of the gate. Where the device release is located no less than 54-inches from the bottom of the gate, the device release mechanism may be located on either side of the gate and so placed that it cannot be reached by a young child over the top or through any opening or gap from the outside. Gates that provide access to the swimming pool must open outward away from the pool. The gates and barrier shall have no opening greater than 1/2-inch within 18-inches of release mechanism.



1 EXISTING SITE PLAN  
SCALE: 1/8" = 1'-0"

**WHAA**  
ARCHITECTURE MIAMI  
No. AA2600353

Architect of record:  
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seal

drawing by:  
y. barrera

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project information:  
**Cocoplum Residence**  
155 Cocoplum Rd  
Coral Gables, Florida 33143

property owners information:  
**Jonas Nilsson**  
155 Cocoplum Rd  
Coral Gables, Florida 33143

project history:



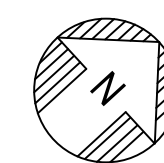
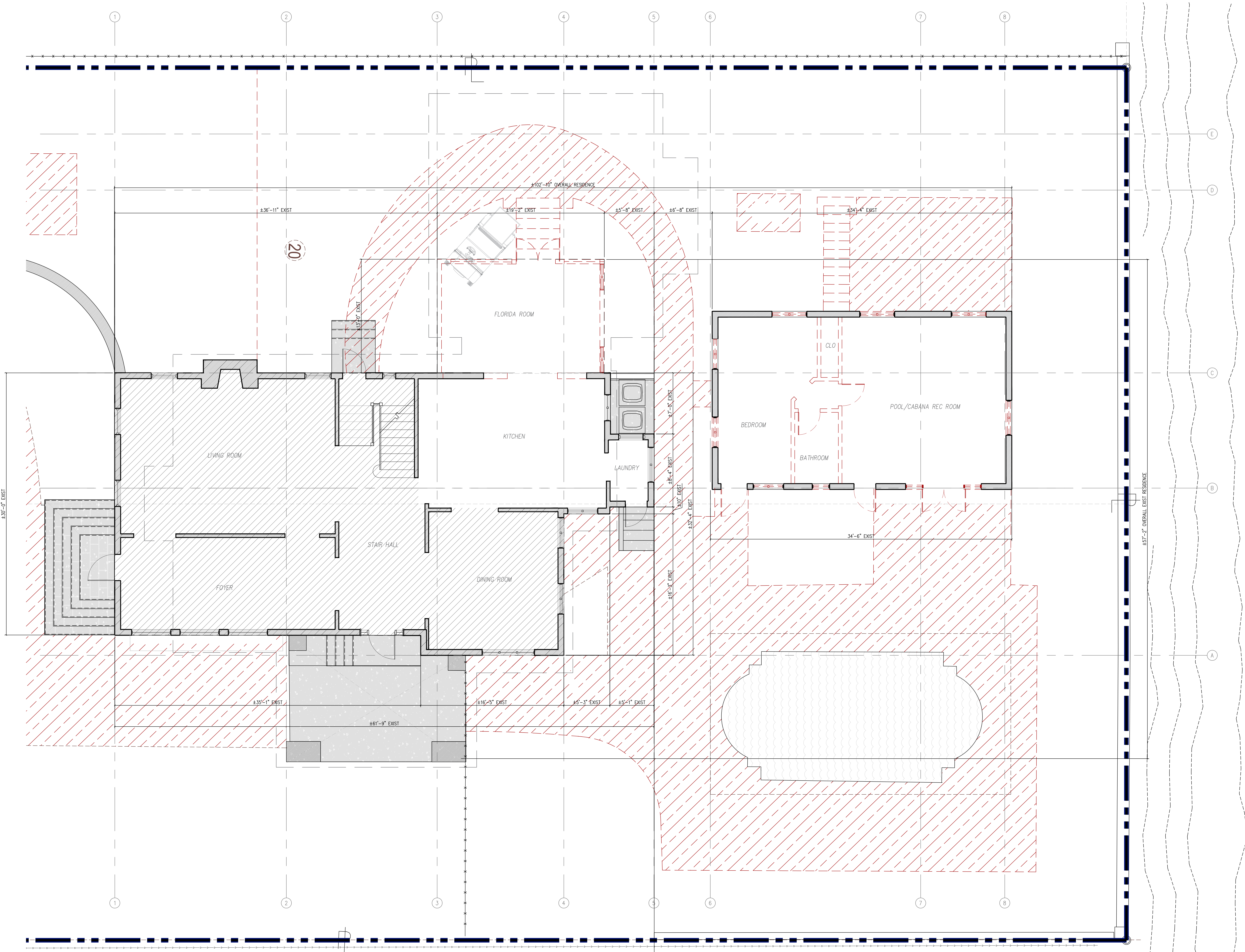
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date: 3-13-2020  
project number: 18-85R

sheet title:  
existing site plan.

sheet number:  
**SP-D**

file:  
18-85R-2020-3-13.dwg





**1** DEMOILITION PLAN FIRST LEVEL  
SCALE: 1/4" = 1'-0"

**WHAA**  
ARCHITECTURE MM  
No. AA2600353

Architect of record:  
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Coral Gables, Florida 33143

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155 Cocoplum Rd  
Coral Gables, Florida 33143

project history:



project information:  
date: 3-13-2020  
project number: 18-85R

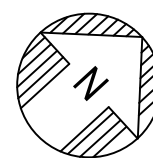
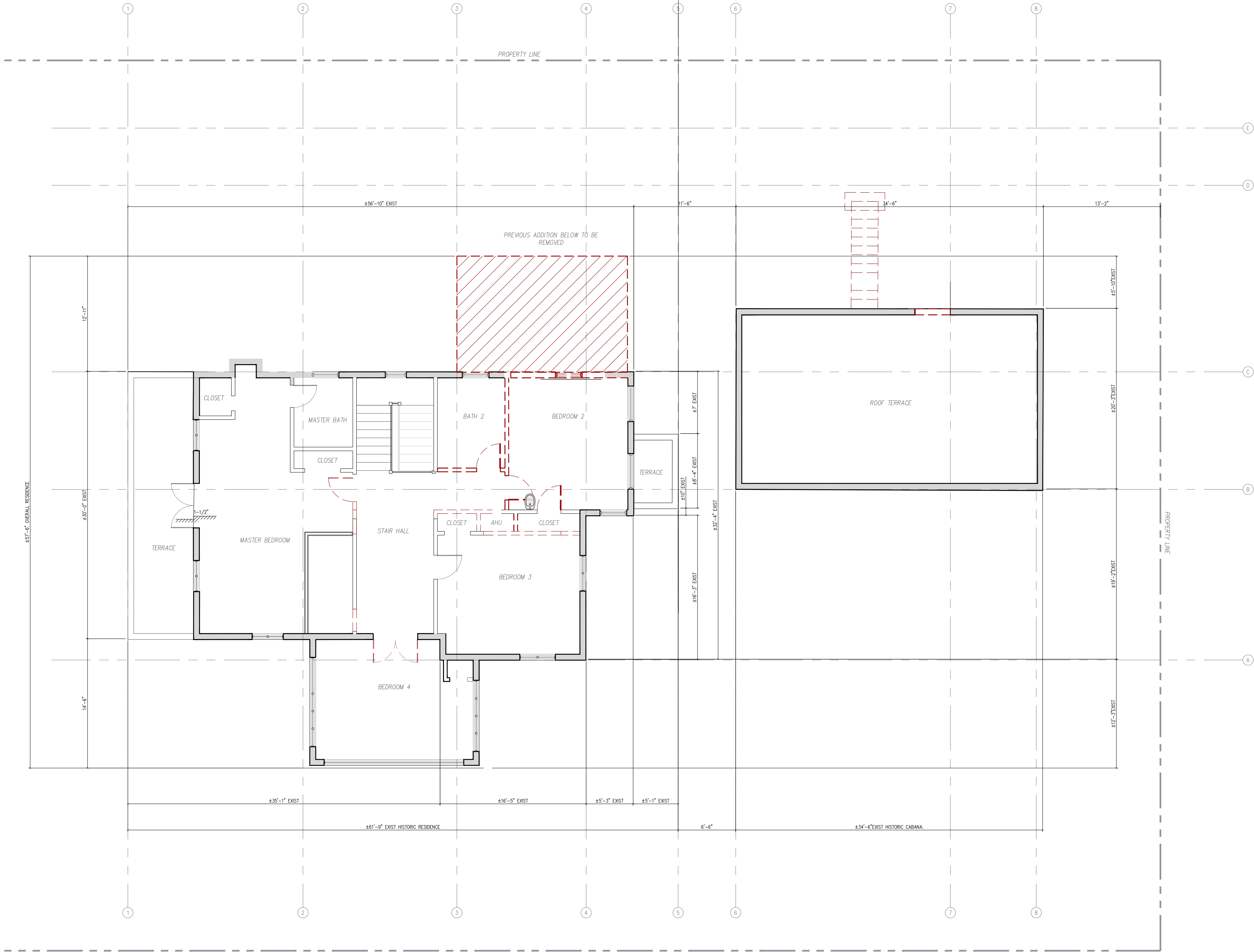
sheet title:  
demolition plan first level.

sheet number:

**D1**

file:  
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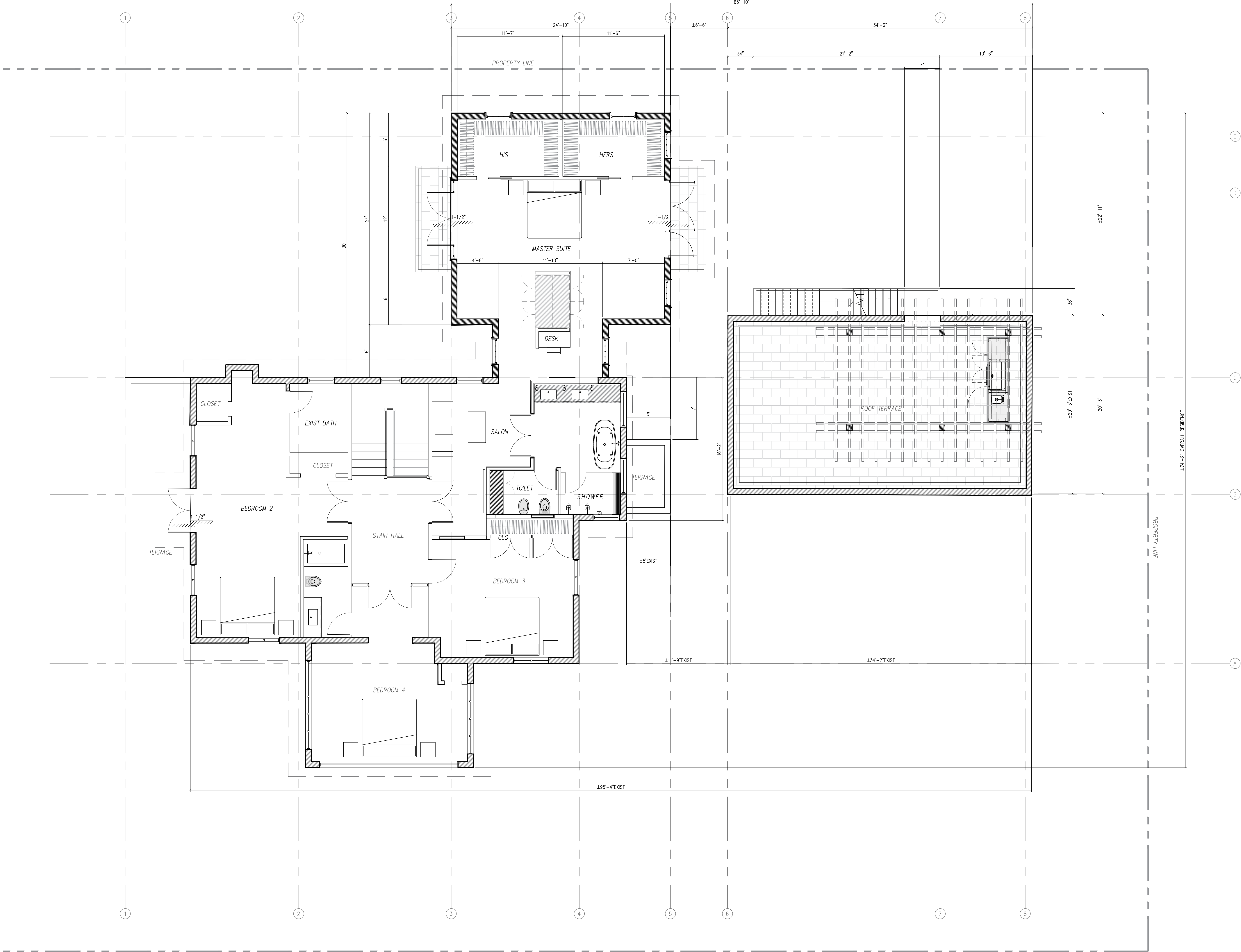
**1** DEMOLITION PLAN SECOND LEVEL  
SCALE: 1/4" = 1'-0"

<b>WHAA</b> ARCHITECTURE MAMI No. AA2600353 2920 Ponce de Leon Blvd Coral Gables, Florida 33134-6811 (305) 770-8100 info@whaamiami.com	
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drawing by: y. barrera	
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project information: <b>Cocoplum Residence</b> 155 Cocoplum Rd Coral Gables, Florida 33143 property owners information: <b>Jonas Nilsson</b> 155 Cocoplum Rd Coral Gables, Florida 33143	
project history: ▲ ▲ ▲ ▲	
project information: date: 3-13-2020 project number: 18-85R	
sheet title: demolition plan second level.	
sheet number: <b>D2</b> file: 18-85R-2020-3-13.dwg	



1st LEVEL PLAN  
SCALE: 1/4" = 1'-0"





1 2nd LEVEL PLAN  
SCALE: 1/4" = 1'-0"

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property owners information:  
**Jonas Nilsson**  
155 Cocoplum Rd  
Coral Gables, Florida 33143

project history:  
▲  
▲  
▲  
▲

project information:  
date: 3-13-2020  
project number: 18-85R

sheet title:  
2nd level proposed  
plan & keynote  
legend.

sheet number:  
**A2**  
file:  
18-85r-2020-3-13.dwg





**WHA**  
**ARCHITECTURE MIAMI**  
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owners information:  
**Jonas Nilsson**  
155 Cocoplum Rd  
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project history:

project information:  
date: 3-13-2020  
project number: 18-85R

roof plan

sheet number:

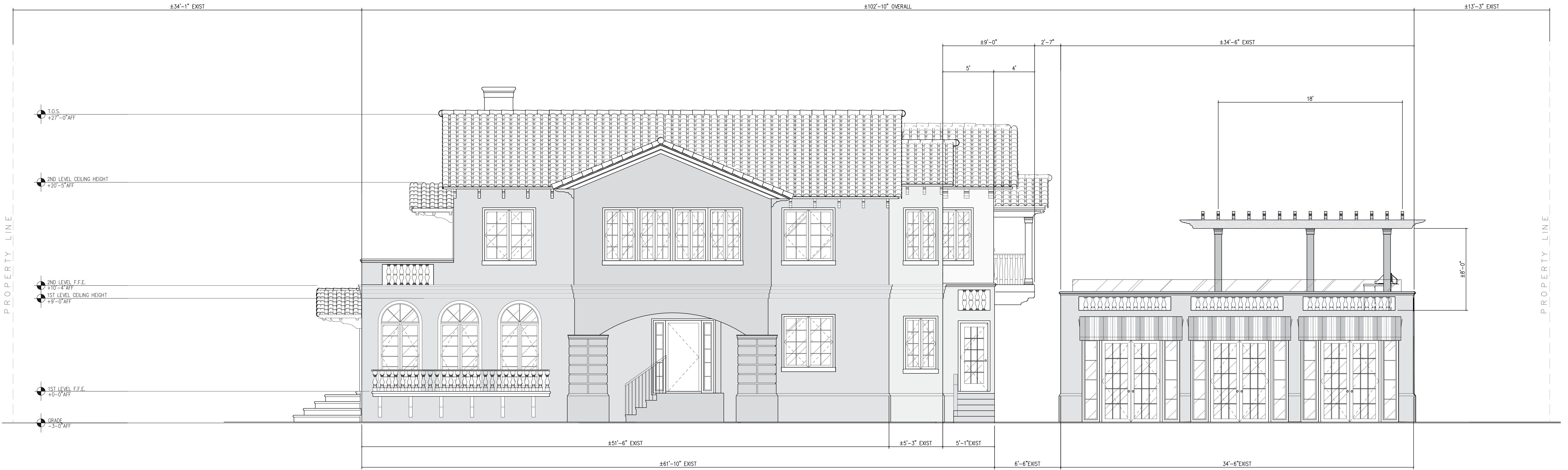
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1 EXIST EAST ELEVATION  
SCALE: 1/4" = 1'-0"



2 PROP EAST ELEVATION  
SCALE: 1/4" = 1'-0"

WHAA

ARCHITECTURE MIAMI

NC. A42600553

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Coral Gables, Florida 33143  
property owners information:  
Jonas Nilsson  
155 Cocoplum Rd  
Coral Gables, Florida 33143

project history:  
▲  
▲  
▲  
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project information:  
date: 3-13-2020  
project number: 18-85R

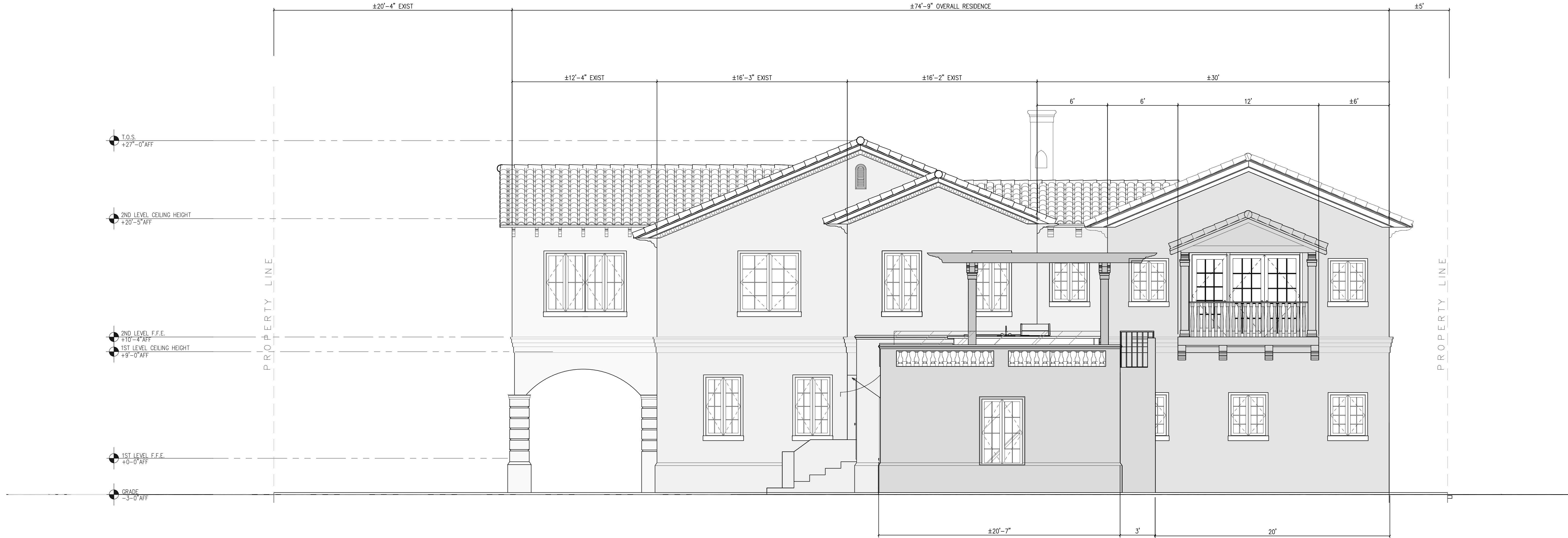
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sheet number:  
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1 EXIST NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 PROP NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

**WHAA**  
ARCHITECTURE MAMI

Architect of record:  
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project information:

property owners information:  
**Jonas Nilsson**  
155 Cocoplum Rd  
Coral Gables, Florida 33143

project history:

▲  
▲  
▲  
▲

project information:

date: 3-13-2020  
project number: 18-85R

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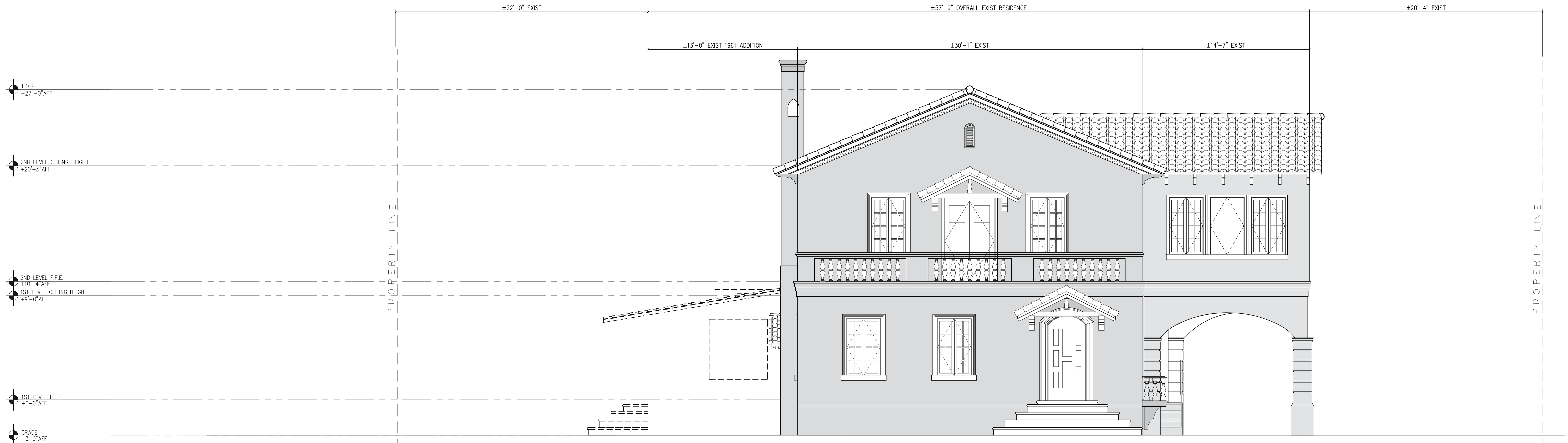
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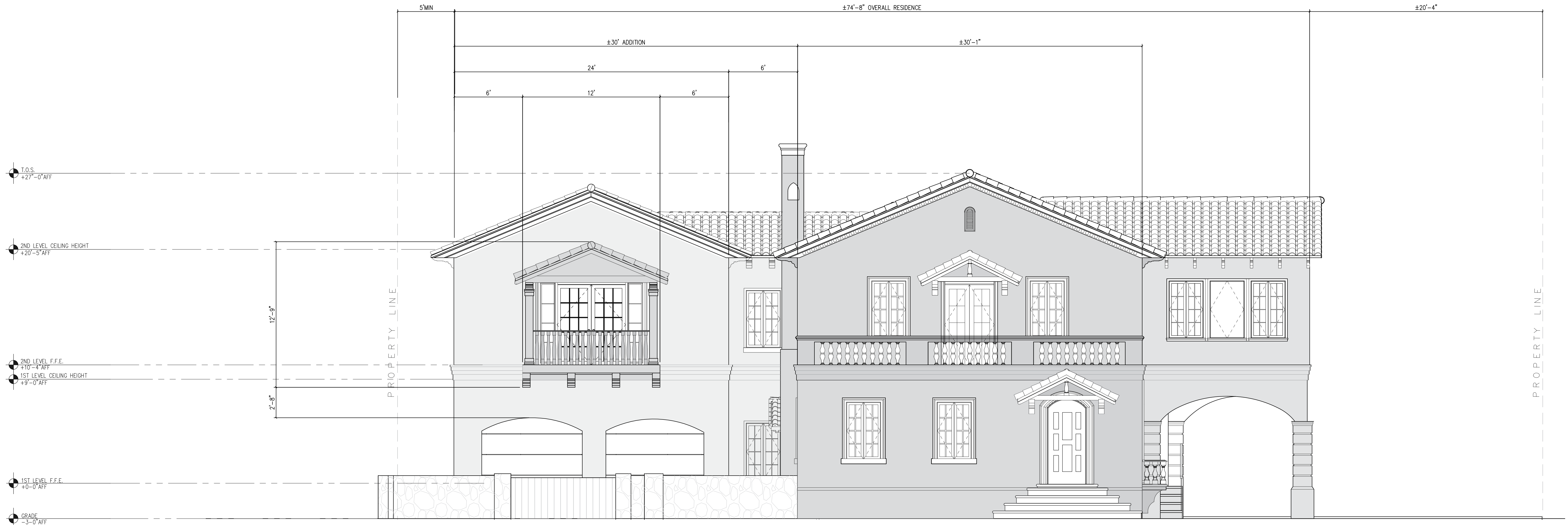
**A3.2**

file:  
18-85r-2020-3-13.dwg





1 EXIST SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 PROP SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

**WHAA**  
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seal

drawing by:  
y. barrera

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project information:  
**Cocoplum Residence**  
155 Cocoplum Rd  
Coral Gables, Florida 33143  
property owners information:  
**Jonas Nilsson**  
155 Cocoplum Rd  
Coral Gables, Florida 33143

project history:  
▲  
▲  
▲  
project information:  
date: 3-13-2020  
project number: 18-85R

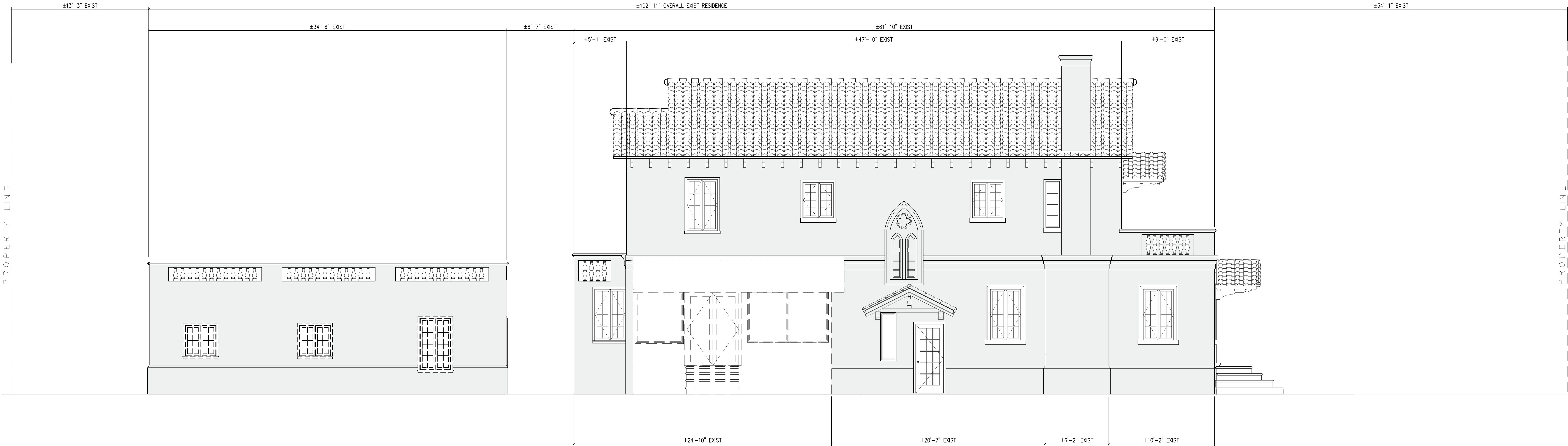
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sheet number:

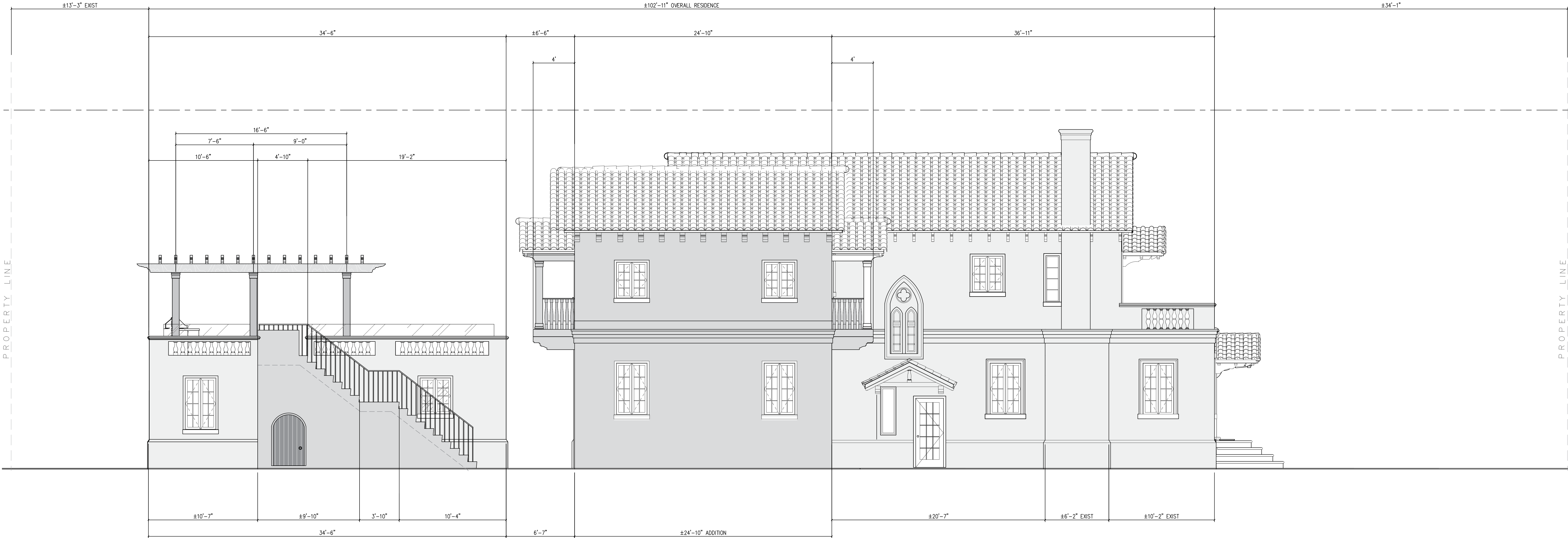
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file:  
18-85R-2020-3-13.dwg





1 EXIST WEST ELEVATION  
SCALE: 1/4" = 1'-0"



2 PROP WEST ELEVATION  
SCALE: 1/4" = 1'-0"

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project information:  
**Cocoplum Residence**  
155 Cocoplum Rd  
Coral Gables, Florida 33143  
property owners information:  
**Jonas Nilsson**  
155 Cocoplum Rd  
Coral Gables, Florida 33143

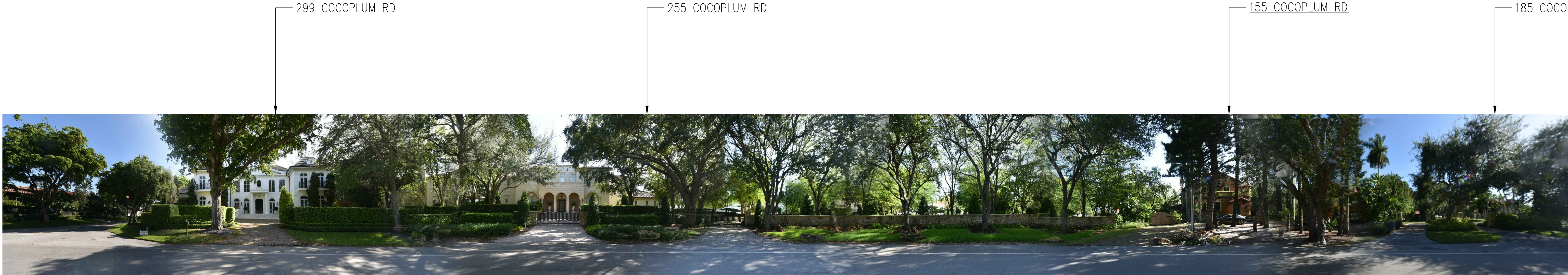
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project information:  
date: 3-13-2020  
project number: 18-85R

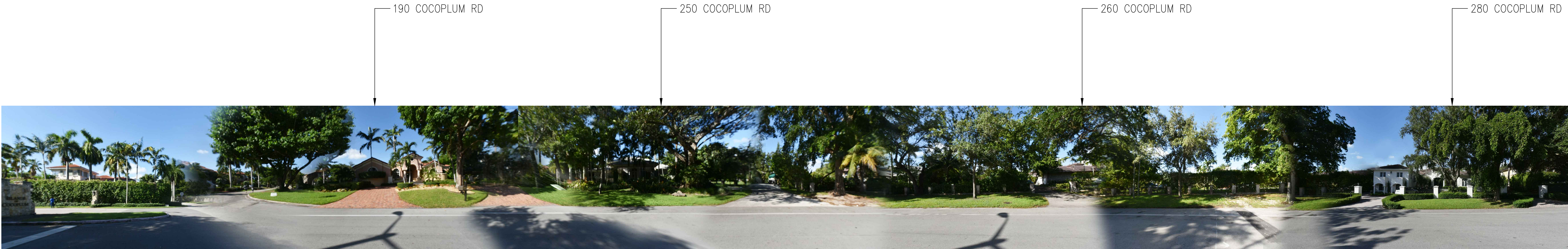
sheet title:  
west elevations.

sheet number:  
**A3.4**  
file:  
18-85R-2020-3-13.dwg





1 COCOPLUM ROAD  
SCALE: N.T.S.



2 COCOPLUM ROAD  
SCALE: N.T.S.

WHAA

ARCHITECTURE MAMI

NC. A24600365

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Project Information:  
Cocoplum Residence  
155 Cocoplum Rd  
Coral Gables, Florida 33143  
property owners information:  
Jonas Nilsson  
155 Cocoplum Rd  
Coral Gables, Florida 33143

project history:  
△  
△  
△  
△

project information:  
date: 3-13-2020  
project number: 18-85R

sheet title:  
context images

sheet number:  
A4  
file:  
18-85r-2020-3-13.dwg