

## Applicants Proposal

We respectfully request that the board of adjustments approve the installation of a 2<sup>nd</sup> boat lift at 6847 Granada

The code we wish to obtain a variance for is: *Appendix A Division 8. Docks, Wharves Mooring Piles and Watercraft Moorings: Section 5-805. Davits, watercraft lifts and floating watercraft lifts.*

(1) Whereas the code reads in *D.*

“Permitted number of davits, watercraft lift or floating watercraft lift.

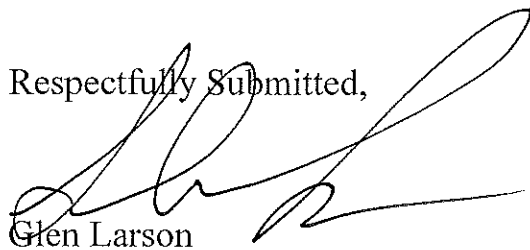
1. One (1) set of davits watercraft lift or floating watercraft lift may be permitted for each single –family dwelling or duplex.”

The proposed homeowner is requesting that a second watercraft lift be allowed.

We would like to request 1 variances

- A. Grant a variance allowing the installation of an elevator lift that exceeds the amount of allowed watercraft lifts at the mentioned property.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read 'Glen Larson', is written over the printed name.

Glen Larson

Dock and Marine Construction Corp.



# Board of Adjustment Application

City of Coral Gables

Development Services Department

Phone# 305.460.5235

## Preamble

Pursuant to the City Charter, and subject to those provisions, a Board of Adjustment is created to provide relief from hardships and errors in the application of the regulations.

## Application review request

The undersigned applicant(s)/agent(s)/property owner(s) request(s) a Board of Adjustment hearing for the following application(s) (please check all that apply):

☐ Appeal

☒ Variance

☐ Other: \_\_\_\_\_

## Property information

Property/project name: Bolduc Residence

Street address of the subject property: 6847 Granada Blvd

Property Legal Description: Lot(s): Coral Gables Riviera

Block(s): 257

Section(s): Part 11

Plat Book(s)/Page(s): PB 46-45

Has there been a Board of Adjustment hearing on the property in the last year? no

Is this request the result of a Notice of Violation? no

Is this request the result of a deviation from an approved set of plans? no

Has the property owner owned the property for at least one (1) year? yes

Current land use classification(s): 0101 Residential - single family - 1 unit

Current zoning classification(s): 0100 Single Family - General

Listing of all folio numbers for subject property:

03-4129-029-0020

## Board of Adjustment Application

### General information

Applicant(s)/Agent(s) Name(s): Dock and Marine Construction / Glen Larson

Telephone#: 305-751-9411 Fax#: \_\_\_\_\_ Email: glarson @ dockandmarine.net

Mailing Address: 752 NE 79th St Miami, FL 33138  
(City) (State) (ZIP Code)

Property Owner(s) Name(s): John Bolduc

Telephone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ Email: \_\_\_\_\_ @ \_\_\_\_\_

Mailing Address: 6847 Granada Blvd Coral Gables, FL  
(City) (State) (ZIP Code)

Property Owner(s) Name(s): \_\_\_\_\_

Telephone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ Email: \_\_\_\_\_ @ \_\_\_\_\_

Mailing Address: \_\_\_\_\_  
(City) (State) (ZIP Code)

Project Architect(s) Name(s): \_\_\_\_\_

Telephone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ Email: \_\_\_\_\_ @ \_\_\_\_\_

Mailing Address: \_\_\_\_\_  
(City) (State) (ZIP Code)

Provide the date(s) and type(s) of application(s) previously filed with the City of Coral Gables and type of reviews, approvals, actions related to this request:

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Application received by: \_\_\_\_\_ Date: \_\_\_\_\_

## Board of Adjustment Application

15. Understand that under Florida Law, all the information submitted as part of the application are public records.
16. Submission of the following:
- Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
  - Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.

Applicant(s)/Agent(s) Signature:

Applicant(s)/Agent(s) Print Name:



Glen Larson

Address:

752 NE 79th St Miami, FL 33138

Telephone: 305-751-9911

Fax:

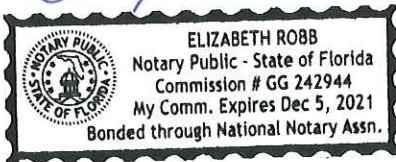
Email: alarson@dockandmarine.net

### NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 19 day of August by Glen Larson

(Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)

☒ Personally Known OR ☐ Produced Identification; Type of Identification Produced \_\_\_\_\_



**Board of Adjustment Application**

Property Owner(s) Signature:

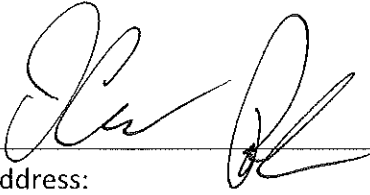
Property Owner(s) Print Name:

Property Owner(s) Signature:

Property Owner(s) Print Name:

Property Owner(s) Signature:

Property Owner(s) Print Name:



JOHN BOLDUC

Address:

6847 Granada Blvd Coral Gables

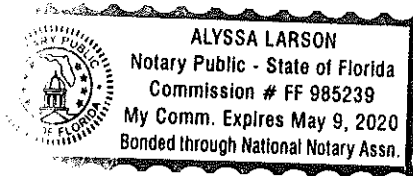
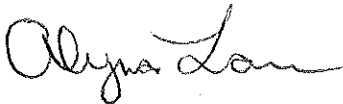
Telephone:

Fax:

Email:

**NOTARIZATION**

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 19 day of August by John Bolduc  
(Signature of Notary Public - State of Florida)

(Print, Type or Stamp Commissioned Name of Notary Public)

☒ Personally Known OR ☐ Produced Identification; Type of Identification Produced \_\_\_\_\_

# Board of Adjustment Application

Architect(s)/Engineer(s) Signature:

Architect(s)/Engineer(s) Print Name:

LEANDRO FERNANDEZ, PE

Address:

756 NE 79 ST, MIAMI, FL 33138

Telephone:

786-390-7493

Fax:

Email:

leaf@leafengineering.net.



ALYSSA LARSON  
Notary Public - State of Florida  
Commission # FF 985239  
My Comm. Expires May 9, 2020  
Bonded through National Notary Assn.

SEAL

## NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 19 day of August by Leandro Fernandez  
(Signature of Notary Public - State of Florida)

*Alyssa Larson*

(Print, Type or Stamp Commissioned Name of Notary Public)

☒ Personally Known OR ☐ Produced Identification; Type of Identification Produced \_\_\_\_\_

## Attachments:

- A. Board of Adjustment supporting information.
- B. Board of Adjustment Calendar.
- C. Board of Adjustment Application Fee Schedule.
- D. Certified Mailing List Service Providers.

**Letter of Intent for:**  
**6847 Granada Blvd**  
**Lift, Floating vessel platform**

We are requesting approval for 1 variance at the residence located at 6847 Granada Blvd That will exceed the maximum number of vessel lifts as currently allowed by the code: *Appendix A Division 8. Docks, Wharves Mooring Piles and Watercraft Moorings: Section 5-805. Davits, watercraft lifts and floating watercraft lifts.*

The proposed project includes: Installation of an 8000 pound capacity watercraft lift

The property currently has an existing dock and 4 piling watercraft lift. The owner had previously installed a Floating boat lift to hold his watercraft which were stolen shortly after the installation this previously installed floating dock has since been removed.

Our hardship is: The owner's hardship is his property is 193 feet in length, falling 7 feet short of the required 200 feet that would allow for a second lift on the property. He is weary of storing skis on a floating lift because of the ease of theft and would like to have the additional security of having them on a lift. He would like the peace of mind of the additional security of a second lift on the property.

This proposed activity is similar to the activities of other residences in the waterway. We have obtained DERM approval, DEP State approval, and ACOE (Army Corps) approval the proposed lift is the minimum necessary to secure these personal watercrafts properly.

The installation of these accessories will in no way creates any form of hazard to navigation. Nor does it violate the harmony of the waterway or interfere with the rights or use of any neighbor or visitor to the waterway, the waterway at this property is 133 feet from bank to bank. The installation of this structure mirrored on the opposing shoreline will allow for over 103 feet of clear passage through the waterway

Respectfully submitted,

Glen Larson  
Dock and Marine Construction Corp.

## Standards for variances

### Section 3-806

A. In order to authorize any variance from the terms of these regulations, the Board of Adjustment or Historic Preservation Board, as the case may be, shall find:

1. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district.

- *Special conditions and circumstances exist which are peculiar to the land, and are not applicable to other lands in the zoning district. Some properties in the adjacent area have ample linear feet to allow for multiple lifts, this property falls 7' short of being allowed a second lift without a variance. While he would be allowed one pair of davits, one vessel lift, and one floating vessel lift, he would like to give up either the set of davits or floating vessel lift to install a second lift..*

2. That the special conditions and circumstances do not result from the actions of the applicant.

- *These conditions are not a result of any actions of the applicant, the interpretation of the code has variations that allow for multiple different methods to raise ones vessel. This owner would like to waive the right of one of the 3 different options so that he may have 2 of the same.*

3. That granting the variance requested will not confer on the applicant any special privilege that is denied by these regulations to other lands, buildings or structures in the same zoning district.

- *The variance will not allow the applicant any privilege that is denied by these regulations to the other lands, buildings or structures in the same zoning district. It is for the purpose of docking a boat, a privilege that is enjoyed by all of his neighbors.*

4. That literal interpretation of the provisions of these regulations would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of these regulations and would work unnecessary and undue hardship on the applicant.

- *The literal interpretation of the provision of these regulations would deprive the applicant of rights commonly enjoyed by other adjacent properties in the same zoning district under the terms of these regulations, and would work unnecessary and undue hardship on the applicant by not allowing him access to the water through his property.*

5. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.

- *Granting the variance is the minimum variance that will make possible the reasonable use of the land, and provide access to the water, similar to what the adjacent properties enjoy.*

6. That granting the variance will not change the use to one that is not permitted in the zoning district or different from other land in the same district.

- *Granting the variance will not change the use to one, or anyone that is not permitted in the zoning district or different from other land in the same district*

7. That the granting of the variance will be in harmony with the general intent and purpose of these regulations, and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

- *The Granting of the variance will be in harmony with the general intent and purpose of these regulations, and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare. It will not protrude into any waterway farther than any structure falling within the line of adjacent shorelines. (see aerial views attached)*

8. That the granting of the variance is appropriate for the continued preservation of an historic landmark or historic landmark district.

- *The granting of this variance is appropriate for the continued preservation of historic landmarks and or districts.*





# OFFICE OF THE PROPERTY APPRAISER

## Summary Report

Generated On : 9/11/2019

Property Information	
Folio:	03-4129-029-0020
Property Address:	6847 GRANADA BLVD Coral Gables, FL 33146-3823
Owner	CITY NATIONAL BANK OF FLORIDA TRS TRUST DEPARTMENT
Mailing Address	25 WEST FLAGLER ST STE 711 MIAMI, FL 33130 USA
PA Primary Zone	0100 SINGLE FAMILY - GENERAL
Primary Land Use	0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
Beds / Baths / Half	1 / 3 / 1
Floors	2
Living Units	1
Actual Area	8,187 Sq.Ft
Living Area	5,474 Sq.Ft
Adjusted Area	6,547 Sq.Ft
Lot Size	35,629 Sq.Ft
Year Built	2015



Assessment Information			
Year	2019	2018	2017
Land Value	\$3,741,758	\$3,741,758	\$3,741,758
Building Value	\$1,047,847	\$1,058,650	\$1,069,452
XF Value	\$74,538	\$75,316	\$76,024
Market Value	\$4,864,143	\$4,875,724	\$4,887,234
Assessed Value	\$4,864,143	\$4,875,724	\$4,513,462

Benefits Information				
Benefit	Type	2019	2018	2017
Non-Homestead Cap	Assessment Reduction			\$373,772
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				

Short Legal Description	
29 54 41 0.91 AC	
CORAL GABLES RIVIERA SEC PART 11	
RESUB OF BLOCK 257 PB 46-45	
AREA DESIGNATED AS MILLER TRACT 1	
LOT SIZE 134.450 X 265	

Taxable Value Information			
	2019	2018	2017
County			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$4,864,143	\$4,875,724	\$4,513,462
School Board			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$4,864,143	\$4,875,724	\$4,887,234
City			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$4,864,143	\$4,875,724	\$4,513,462
Regional			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$4,864,143	\$4,875,724	\$4,513,462

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description
04/23/2012	\$4,000,000	28083-3485	Financial inst or "In Lieu of Foreclosure" stated
09/01/1997	\$0	17785-1230	Sales which are disqualified as a result of examination of the deed

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>

Version:



### LAND TRUST AGREEMENT

THIS LAND TRUST AGREEMENT, dated this 20<sup>th</sup> day of April, 2012, and known as Trust Number 2401-3211-00 (hereinafter the "Trust Agreement"), is to certify that CITY NATIONAL BANK OF FLORIDA, Miami, Florida, a national banking association, organized under the statutes of the United States, and duly authorized to accept and execute trusts within the State of Florida, not individually but as trustee hereunder (hereinafter the "Trustee"), is about to take title of the following described real estate in Miami-Dade County, Florida to wit:

All of MILLER TRACT No. 1, of RESUBDIVISION OF A PORTION OF BLOCK 257 OF CORAL GABLES RIVIERA SECTION PART 11, according to the Plat thereof, as recorded in Plat Book 46, Page 45, of the Public Records of Miami-Dade County, Florida.

and that when it has taken title thereto, or to any other real estate deeded to it as Trustee hereunder, it will hold the same for the uses and purposes and upon the trusts hereinafter set forth (individually or collectively, the "Trust").

IT IS UNDERSTOOD AND AGREED between the parties hereto, and by any person or persons who may become entitled to any interest under this Trust, as follows:

1. That, subject to the power of direction hereinafter provided for, the Trustee hereunder shall have and is hereby granted full power and authority to improve, manage and protect said premises or any part thereof, to contract to sell, to grant options to purchase, to sell on any terms, to take back, foreclose and release mortgages, to convey either with or without consideration, to donate, dedicate, mortgage, pledge or otherwise encumber said property, or any part thereof, from time to time to lease said property, or any part thereof, in possession or reversion, by leases to commence in praesenti or in futuro, and upon any terms and for any period or periods of time, not exceeding in the case of any single demise the term of 99 years, and to renew or extend leases upon any terms and for any period or periods of time and to amend, change or modify leases and the terms and provisions thereof at any time or times hereafter; to contract to make leases and to grant options to lease and options to renew leases and options to purchase the whole or any part of the reversion and to contract respecting the manner of fixing the amount of present and future rentals; to exchange said property or any part thereof, for other real or personal property, to grant easements or charges of any kind; to release, convey or assign any right, title or interest in or to said premises or any part thereof; and to deal with said property and every part thereof in all other ways and for such other considerations as it would be lawful for any person owning the same to deal with the same, whether similar to or different from the ways above specified; at any time or times hereafter.

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2. That, the following named persons (or their successors in interest as hereinafter provided for) shall be the beneficiaries of this Trust and be entitled to the earnings, avails and proceeds of said real estate according to the respective interests set forth opposite their respective names, to-wit:

John Paul Bolduc and Stacy L. Bolduc, his wife, JTWROS

3. That, pursuant to the powers and rights hereinafter set forth and granted to it, said Trustee shall and will hold, convey, lease, mortgage or otherwise deal with the title to said real estate only when authorized to do so on the written direction of the following person or persons, to-wit:

John Paul Bolduc or Stacy L. Bolduc

or, in the alternative, on the written direction of the beneficiary(ies) holding a majority of the beneficial interest of the Trust hereunder, provided, however, that the Trustee shall not be required to enter into any personal obligation or liability in dealing with said real estate nor to make itself personally liable for any damages, costs, expenses, fines or penalties, nor to deal with the said title so long as any money is due to it hereunder. Trustee shall not be required to inquire into the propriety of any such written direction. The above grant of the power of written direction can be modified only upon written notice duly executed by the beneficiary(ies) holding a majority of the beneficial interest of the Trust hereunder and said grant is accepted by the Trustee, at its sole discretion.

4. That, the interest of any such beneficiary(ies) hereunder (or their successors in interest, as hereinafter provided for) shall consist solely of a power of direction to deal with the title to said real estate and to manage and control said real estate as hereinabove provided, and the right to receive the proceeds from rentals, sales, mortgages or other disposition of said real estate, and that such right in the avails of said real estate shall be deemed to be personal property and may be assigned and transferred as such. Subject to the provisions hereof, a beneficial interest may be subdivided by assignment so as to vest in an assignee or assignees an undivided interest in the whole of a previously existing beneficial interest. Upon receipt of an original or a duplicate assignment as aforesaid, the Trustee, after appropriate due diligence, shall endorse its acceptance on a copy thereof and deliver said copy to said assignee, as their certificate of beneficial interest hereunder; subject to the provisions of paragraph 5.

The death of any beneficiary hereunder shall not terminate this Trust Agreement nor in any manner affect the powers of the Trustee hereunder and in event of the death of any such beneficiary during the existence of this Trust Agreement, their right and interest hereunder shall, except as herein otherwise specifically provided, pass as personal property to their executor or administrator, and not as real estate to his or her heirs at law. It is further understood and agreed that no beneficiary now has nor at any time shall have any right, title or interest in or to any

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portion of said real estate as such, either legal or equitable, but only an interest in the earnings, avails and proceeds as aforesaid.

5. That, no assignment of a beneficial interest, other than by operation of law, shall be binding on the Trustee until the original or duplicate original of said assignment of beneficial interest is lodged with the Trustee and its acceptance indicated thereon. Acceptance by Trustee shall be at Trustee's sole discretion. Any person having a power of direction who is not a beneficiary hereunder shall not have the right to assign such power without the written collective consent of all beneficiaries hereunder. No person or beneficiary hereunder shall have the right to contract for or bind the Trustee personally.

6. That, the beneficiary(ies) holding a majority of the beneficial interest of the Trust hereunder shall in their own right have the full management of said real estate and control of the selling, renting and handling thereof, and any beneficiary(ies), or their agent, shall handle the rents thereof and the proceeds of any sales of said property and the Trustee shall not be required to do anything in the management or control of said real estate or in respect to the payment of taxes or assessments or in respect to insurance, litigation or otherwise, except on written direction as hereinabove provided and after payment to it of all monies necessary to carry out said instructions.

7. That, in case the Trustee shall make any advances of money on account of this Trust Agreement or shall be made a party to any litigation on account of holding title to said real estate or in connection with this Trust, or in case the Trustee shall be compelled to pay any sum of money on account of this Trust, whether on account of breach of contract, injury to person or property, improper naming of Trustee as defendant, fines or penalties under any law or for any other reason whatsoever, the beneficiary(ies) hereunder do hereby jointly and severally agree that they will on demand pay to the Trustee, with interest thereon at the rate of 12% per annum, all such disbursements or advances or payments made by the Trustee, together with its expenses, including, but not limited to, reasonable attorney's fees, and that the Trustee shall not be called upon to convey or otherwise deal with said property at any time held hereunder until all of said disbursements, payments, advances and expenses made or incurred by the Trustee shall have been fully paid, together with interest thereon as aforesaid. However, nothing herein contained shall be construed as requiring the Trustee to advance or pay out any money on account of this Trust or to prosecute or defend any legal proceeding involving this Trust or any property or interest thereunder unless it shall be furnished with funds sufficient therefor or be satisfactorily indemnified in respect thereto. As to legal proceedings regarding the Trust, Trustee's only responsibility shall be to provide beneficiary(ies) with prompt notice of the proceedings after Trustee has been served with process, and the beneficiary(ies) are solely responsible for taking any necessary steps to protect the interests of the Trust, including, but not limited to, the retention of counsel to prosecute or defend any such proceedings.

8. That, nothing herein contained shall be construed as imposing any obligation on the Trustee to file any income, profit or other tax reports or schedules, it being expressly understood that the beneficiaries hereunder from time to time will individually make all such reports and pay any and all taxes growing out of their interest under this Trust Agreement.

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9. That, any contracts, obligations or indebtedness incurred or entered into by the Trust in connection with said real estate may be entered into by it in the name of the then beneficiaries hereunder, as their attorney-in-fact, hereby irrevocably appointed for such purpose, or, at the election of the Trustee, in its own name, as Trustee of an express trust, and the Trustee shall have no obligation whatsoever with respect to any such contract, obligation or indebtedness except only so far as the Trust property and funds in the actual possession of the Trustee shall be applicable to the payment and discharge thereof.

10. That, no party dealing with said Trustee or any successor Trustee in relation to said real estate or to whom said real estate or any part thereof shall be conveyed, contracted to be sold, leased or mortgaged by said Trustee, shall be obliged to see to the application of any purchase money, rent or money borrowed or advanced on said real estate, or be obliged to see that the terms of this Trust Agreement have been complied with, or be obliged to inquire into the authority, necessity or expediency of any act of said Trustee or be obliged or privileged to inquire into any of the terms of this Trust Agreement; and every deed, trust deed, mortgage, lease or other instrument executed by said Trustee in relation to said real estate shall be conclusive evidence in favor of every person relying upon or claiming under any such conveyance, lease, mortgage or other instrument: (i) that at the time of the delivery thereof, the Trust created by this Trust Agreement was in full force and effect; (ii) that such conveyance or other instrument was executed in accordance with the trusts, conditions and limitations contained in the Trust Agreement and all amendments hereof, if any, and binding upon all beneficiaries under this Trust Agreement; (iii) that said Trustee was duly authorized and empowered to execute and deliver every such deed, trust deed, lease, mortgage or other instrument; and (iv) if a conveyance has been made to a successor or successors in trust, that such successor or successors in trust have been properly appointed and are fully vested with all the title, estate, rights, powers, authorities, duties and obligations of its, his or their predecessor in trust.

11. This Trust Agreement shall not be placed on record in the county in which the real estate is situated or elsewhere, but if for any reason same is so recorded, such recording shall not be considered as notice of the rights of any person hereunder derogatory to the title or powers of said Trustee.

12. The Trustee may, at any time, resign by sending a notice of its intention to each of the then beneficiary(ies) hereunder at their last known address as contained in Trustee's records. Such resignation shall become effective ten (10) days after the mailing of such notices by the Trustee. In the event of such resignation, a successor or successors may be appointed by the person or persons then entitled hereunder to direct Trustee in the disposition of the Trust property, and the Trustee shall thereupon convey the Trust property to such successor or successors in trust. In the event that no successor in trust is named as above provided within ten (10) days after the mailing of such notices by the Trustee, then the Trustee may convey the Trust property to the beneficiaries in accordance with their respective interests hereunder, or the Trustee may, at its option, file a bill for appropriate relief in any court of competent jurisdiction. The Trustee, notwithstanding such resignation, shall continue to have a first lien on the Trust property for its costs, expenses and attorney's fees and for its reasonable compensation.

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13. Every successor trustee or trustees appointed hereunder shall become fully vested with all the estate, properties, rights, powers, trusts, duties and obligations of its, his or their predecessor.

14. The Trust(s) created by this Trust Agreement shall continue until either: (i) the person(s) with power of direction, under paragraph 3 of this Trust Agreement, notifies the Trustee in writing that this Trust Agreement is terminated; (ii) one day before the longest time this Trust Agreement may lawfully continue in existence under the law of the State of Florida, then in effect; or (iii) the assets of this Trust Agreement are liquidated or distributed or both.

15. Trustee shall receive for its services in accepting this Trust and in taking title hereunder the sum indicated in the Land Trust Schedule of Fees, then in effect, and an annual fee in a like amount each and every year hereafter. Additional services/fees will be billed in accordance with the Land Trust Schedule of Fees, then in effect. The beneficiary(ies) hereunder jointly and severally agree to pay, including, but not limited to, all reasonable attorneys' fees and other costs and expenses Trustee may incur in collecting any fees or other sums that beneficiary(ies) may owe, and it is hereby understood and agreed that all such fees and compensations shall constitute a first lien on the real estate and property held hereunder.

16. The Trustee in its sole discretion may amend or alter the terms and conditions of this Trust Agreement, from time to time, by mailing to the person having power of direction and/or the beneficiary(ies) at the address appearing on the records of Trustee, delivering by authorized method (e.g., regular mail, email, facsimile, etc.) a copy of said alteration or amendment, which shall become effective thirty (30) calendar days later. Person having power of direction and/or the beneficiary(ies) are free to terminate the Trust Agreement if you do not agree with any change. If person having a power of direction and/or the beneficiary(ies) do not object within the thirty (30) calendar days, then all changed/modified terms will apply and they shall apply whether an issue arose in the past or in the future. Any attempted alteration or modification of this Trust Agreement by any person(s) having power of direction and/or the beneficiary(ies) shall not be effective unless and until agreed to in writing by Trustee.

17. Trustee in no case shall be responsible for or be subject to any liabilities to person having a power of direction and/or the beneficiary(ies) other than those imposed by law for its own lack of good faith to exercise ordinary care. The obligation to exercise ordinary care in the handling any request, shall be measured by the standard of reasonableness, the procedures established for the transaction involved, and mere clerical error, inadvertence, or oversight without malice, or an honest mistake of judgment, shall not be or constitute as to any requested transaction, a failure to perform such obligations or to exercise ordinary care and in no case shall be deemed wrongful. Trustee shall not be responsible or liable due to any other entity's (not under our direct control) acts or omissions and Trustee shall not be liable for any failure, delay, omission, interruption or error with respect to Trustee's performance of any of its obligations under this Trust Agreement or under any related matter, if the same results from any cause beyond Trustee's control, including, without limitation, power failures, equipment malfunctions, suspensions of payment by other financial institutions, labor disputes, bank moratoriums, currency restrictions, trading suspensions, acts of God, natural disasters, fire, adverse weather conditions, wars, civil commotions or disturbances, insurrections, acts of terrorism, legal compulsion, negligence of other financial institutions and any other actions or restrictions of any governmental, supervisory

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or monetary authorities or other third parties, or other circumstances beyond Trustee's reasonable control. ANY PERSON(S) HAVING POWER OF DIRECTION AND BENEFICIARY(IES) AGREE THAT TRUSTEE SHALL NOT BE LIABLE FOR INDIRECT, SPECIAL, PUNITIVE, OR CONSEQUENTIAL DAMAGES REGARDLESS OF THE FORM OF ACTION AND EVEN IF TRUSTEE HAS BEEN ADVISED OF THE POSSIBILITY OF SUCH DAMAGES.

In addition, Trustee will not be held liable for enforcing the requirements imposed by the U.S. Department of the Treasury's Office of Foreign Assets Control (OFAC), which may include blocking (freezing) this Trust or restricting access to Trust assets as it conducts required due diligence to insure compliance with OFAC rules and regulations.

18. Written notices sent to Trustee shall not be effective until actual receipt. Written notice given to person with power of direction and/or the beneficiary(ies) shall be effective when mailed to the address shown on Trustee's records. If person with power of direction and/or the beneficiary(ies) provide Trustee with an e-mail address to which Trustee may send electronic communications, then it is agreed that Trustee may send by e-mail any information that it may have sent via regular mail, for example: notices, alerts, changes in terms of the Trust Agreement, etc. Any person(s) with power of direction and/or the beneficiary(ies) agree to notify Trustee in the event they no longer desire to receive content through this delivery procedure and will allow a reasonable amount of time to permit proper delivery to you as requested or by other means.

19. If there is any disagreement or dispute in connection with this Trust Agreement or the subject matter hereof, or in the event of adverse or inconsistent claims or demands upon, or inconsistent instructions to Trustee or if Trustee in good faith is in doubt as to what action to take pursuant to this Trust Agreement, the Trustee may, at its election, refuse to comply with any such claims, demands, or instructions, or refuse to take any other action pursuant to this Trust Agreement until:

- (a) The rights of all persons involved in the dispute have been fully and finally adjudicated by a court of competent jurisdiction or Trustee has resolved any such doubts to its good faith satisfaction; or
- (b) All disputes have been resolved between the parties involved, and Trustee has received written notice thereof satisfactory to it signed by all parties.

Without limiting the generality of the foregoing, Trustee may, at its election, file a bill for appropriate relief in any court of competent jurisdiction in Miami-Dade County, Florida, or commence judicial proceedings for declaratory judgment, and Trustee shall be entitled to recover from the Trust, its reasonable attorneys' fees and costs incurred by it in connection with any such bill or declaratory judgment action. The Trustee shall continue to have a first lien on the Trust property for its costs, expenses and attorney's fees and for its reasonable compensation.

20. This Trust Agreement may be executed in one or more counterparts, each of which will be considered an original, but all of which together will constitute one and the same instrument. The parties agree that an executed facsimile (fax) or electronically transmitted copy of this Trust Agreement (e.g., scanned image) or any agreement entered into with Trustee, relating to this

**RECEIVED**

**APR 03 2014**

DERM Coastal Resources Section  
Natural Resources Regulation & Restoration  
Division (NRRRD)

Trust (in counterparts or otherwise) shall be sufficient to bind the parties to the terms and conditions of this Trust Agreement or specific power of direction so instructed and said copies shall be considered for all purposes as originals.

21. Without giving effect to the principles of comity or conflicts of law thereof, the validity, interpretation, performance and enforcement of this Trust Agreement shall be governed by and interpreted according to federal law and the laws of the State of Florida. If state and federal law are inconsistent, or if the state law is preempted by federal law, federal law governs.

In the event any legal action pursuant to this Trust Agreement is commenced, the parties: (i) agree that any such action shall be commenced only in a court of competent subject-matter jurisdiction in Miami-Dade County, Florida; (ii) consent to venue and personal jurisdiction in such a court; and (iii) waive any defense of lack of venue or personal jurisdiction in any such suit, action, or proceeding. The parties further agree to: (a) process in any such suit, action, or proceeding may be served by mailing a copy thereof by certified mail, return receipt requested, to the other party at the address set forth in the Trustee's account records and for Trustee: City National Bank of Florida, Attn: Legal Department, 25 West Flagler, Miami, FL 33130, and (b) waive any defense of insufficiency of service of such process.

22. Any ambiguity in this Trust Agreement shall not be construed against Trustee and shall be construed equally against each party.

23. No delay or omission on the part of Trustee in the enforcement or exercise of any of its rights in connection with the Trust Agreement or any other right shall operate as a waiver of such rights, nor shall same prejudice Trustee in the later enforcement or exercise of such rights or any other of its rights.

24. Any provision of this Trust Agreement that is unenforceable shall be ineffective to the extent of such provision, without invalidating the remaining provisions of this Trust Agreement. If performance of any of the obligations under this Trust Agreement would result in violation of applicable law, this Trust Agreement shall be deemed amended to the extent necessary to comply therewith.

25. If person having power of direction and/or the beneficiary(ies) faxes or e-mails any scanned document to Trustee properly signed, then person having power of direction and/or the beneficiary(ies) agree that it was their intention that: (i) the fax/scanned signature is an electronic signature under applicable federal and state law; (ii) the fax/scan be an original document; (iii) person having power of direction and/or the beneficiary(ies) intend on conducting business with Trustee by electronic records, electronic contracts, and electronic signatures; and (iv) person having power of direction and/or the beneficiary(ies)'s consent under (iii) to be electronically given under applicable federal and state law.

[Signature page follows.]

**RECEIVED**

**APR 03 2014**

IN TESTIMONY WHEREOF, said CITY NATIONAL BANK OF FLORIDA, 25 West Flagler Street, Miami, Florida, has caused these present to be signed by its Trust Officer, the day and year first above written.

CITY NATIONAL BANK OF FLORIDA

By: *Douglas H. Hopper*

And on said day the said beneficiaries have signed this Declaration of Trust and Trust Agreement in order to signify their assent to the terms hereof.

*[Signature]*  
John Paul Bolduc

(Seal)

Address: 6857 Granada Boulevard

Coral Gables, FL 33156

*[Signature]*  
Stacy L. Bolduc

(Seal)

Address: 6857 Granada Boulevard

Coral Gables, FL 33156

\_\_\_\_\_  
(Seal)

Address: \_\_\_\_\_

\_\_\_\_\_  
(Seal)

Address: \_\_\_\_\_

\_\_\_\_\_  
(Seal)

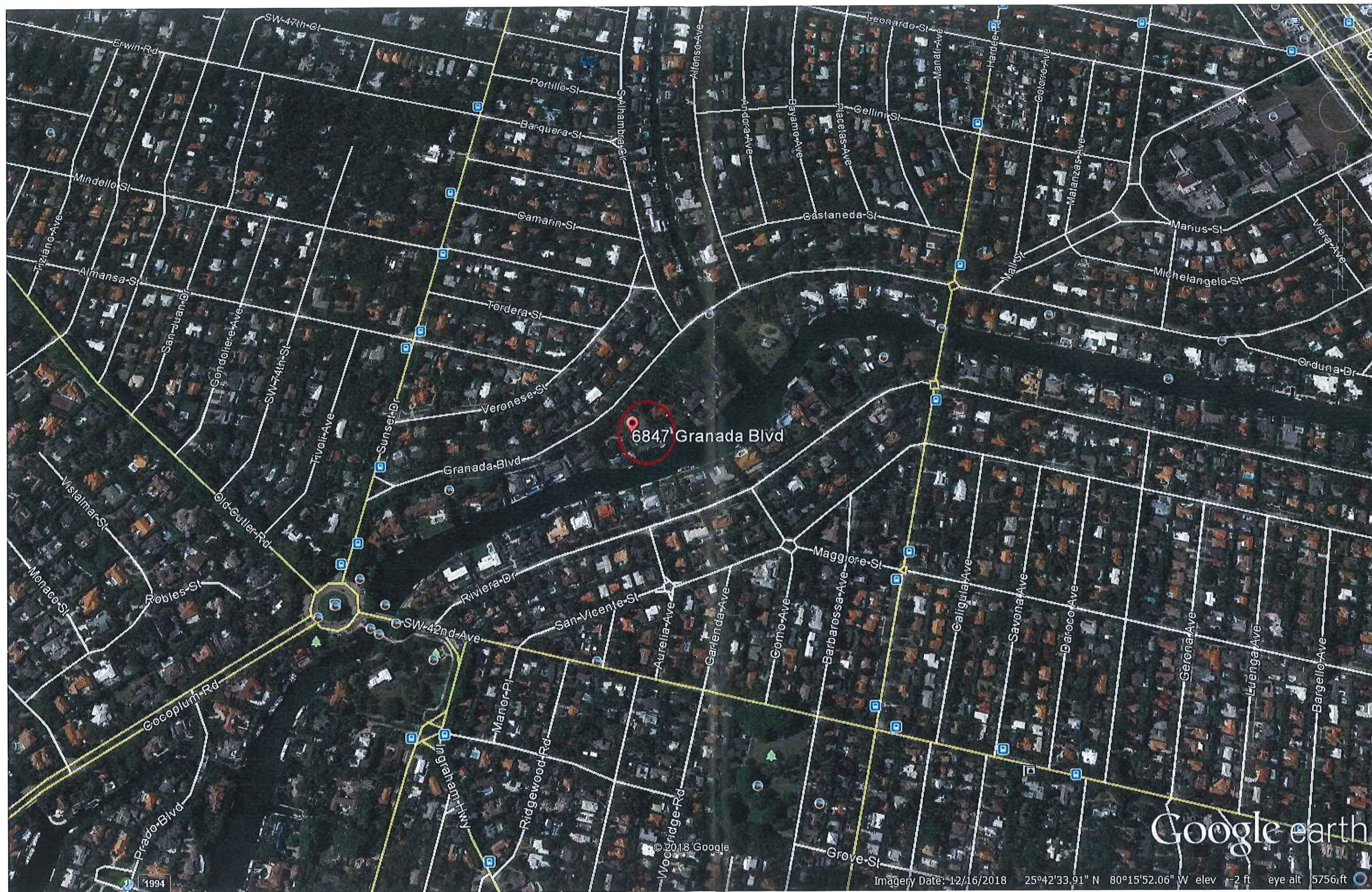
Address: \_\_\_\_\_

**RECEIVED**

APR 03 2014

DERM Coastal Resources Section  
Natural Resources Regulation & Restoration  
Division (NRRRD)





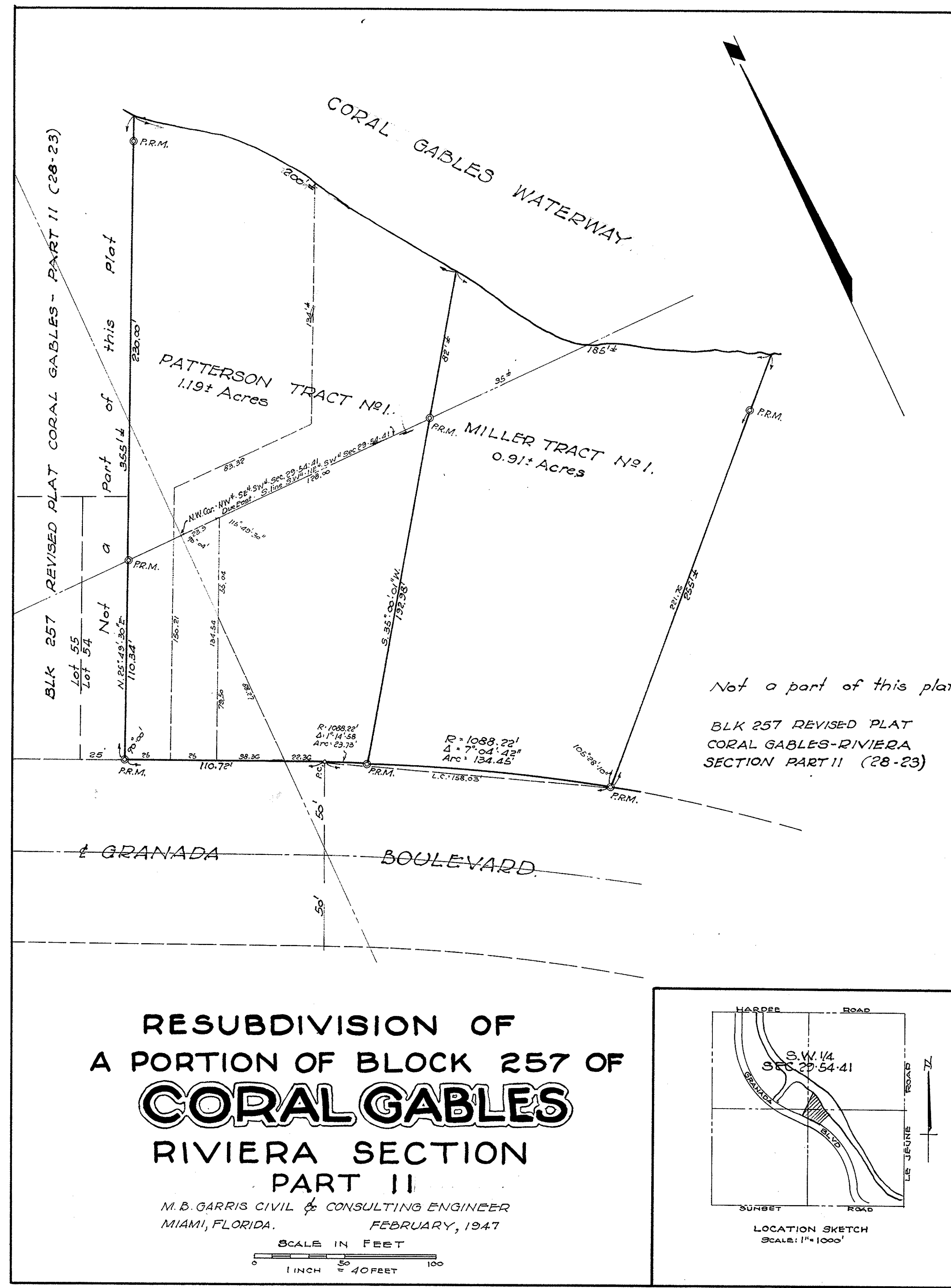
6847 Granada Blvd

Google earth

Imagery Date: 12/16/2018 25°42'33.91" N 80°15'52.06" W elev -2 ft eye alt 5756 ft



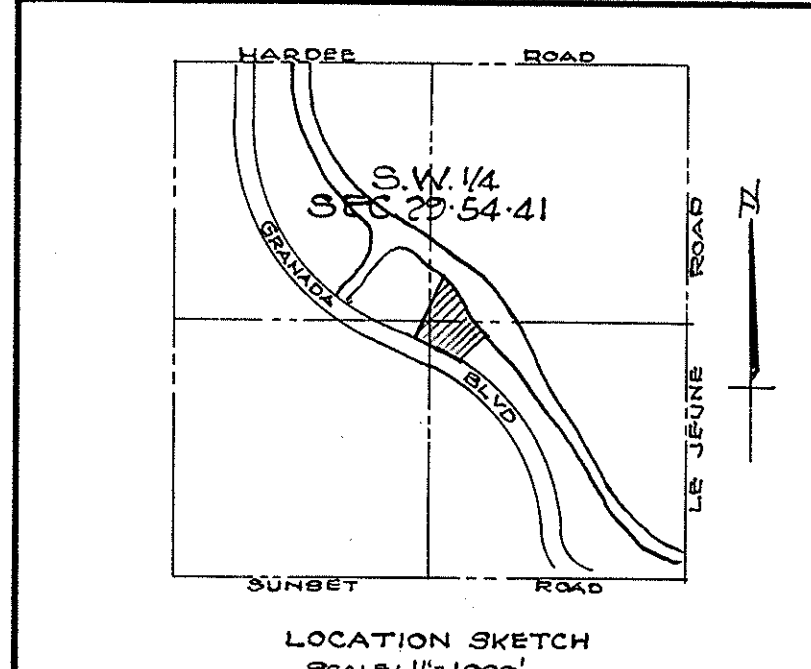
46-75



# RESUBDIVISION OF A PORTION OF BLOCK 257 OF **CORAL GABLES** RIVIERA SECTION PART II

M. B. GARRIS CIVIL & CONSULTING ENGINEER  
MIAMI, FLORIDA. FEBRUARY, 1947

SCALE IN FEET  
1 INCH = 50 FEET



Approved \_\_\_\_\_ City Engineer, Coral Gables, Florida.

This plat was approved and accepted by Resolution No. 2805 passed and adopted by the City Commission of Coral Gables, Florida this 1st day of APRIL A.D. 1947.

Attest \_\_\_\_\_ City Clerk Signed Thomas C. Mayes Mayor.

Approved for record \_\_\_\_\_ County Engineer, Dade County, Florida.

This plat was accepted and approved by the Board of County Commissioners of Dade County, Florida, by resolution adopted this 9th day of September A.D. 1947.

Attest: E. B. Leatherman, Clerk of the Circuit Court Signed \_\_\_\_\_ Chairman of the Board.

by E. B. Leatherman Deputy Clerk.

I HEREBY CERTIFY That the attached plat of "RESUBDIVISION OF A PORTION OF BLOCK 257 OF CORAL GABLES RIVIERA SECTION PART II" is a true and correct plat of such property as was recently surveyed and plotted under my direction. I also certify that permanent reference monuments were set the 1st day of Feb A.D. 1947 in accordance with Section 7, Chapter 10275 (No. 253) Laws of the State of Florida.

\_\_\_\_\_ Reg. Civil Engineer No. 321 - Reg. Land Surveyor No. 43 - State of Florida.

Filed for record this 18th day of September A.D. 1947 at 9:23 A.M. in Book 46 of plate at page 45 of the Public Records of Dade County, Florida. This plat complies with the provisions of Chapter 10275 (No. 253) Laws of the State of Florida.

by E. B. Leatherman, Clerk of the Circuit Court

by E. M. Schay Deputy Clerk.

KNOW ALL MEN BY THESE PRESENTS:-

That George Elliott Patterson and Beatrice Fair Patterson, his wife, owners of the following described property to-wit:-

**PARCEL No. 1:** That part of Lot 53, Block 257, Coral Gables Riviera Section Part II, according to revised plat thereof recorded in Plat Book 28, page 23, of the Public Records of Dade County, Florida, lying within the Northeast Quarter of the Southwest Quarter of Section 29, Township 54 South, Range 41 East, Dade County, Florida, more particularly described as follows to-wit:- Begin at the Southwest corner of Lot 53, Block 257 of the revised plat of Coral Gables Riviera Section Part II according to plat thereof recorded in Plat Book 28 at page 23 of the Public Records of Dade County, Florida; thence North 25 degrees 49 minutes 30 seconds East along the West line of said Lot 53 for a distance of 79.50 feet to a point on the West line of the N.W. 1/4 of the S.E. 1/4 of the S.W. 1/4 of Section 29, Township 54 South, Range 41 East, Dade County, Florida; thence South 0 degrees 04 minutes 00 seconds West along the West line of the N.W. 1/4 of the S.E. 1/4 of the S.W. 1/4 of said Section 29 for a distance of 88.27 feet to the North line of Granada Boulevard and the South line of the aforesaid Lot 53; thence North 64 degrees 10 minutes 30 seconds West along the South line of said Lot 53 for a distance of 58.36 feet to the point of beginning;

**PARCEL No. 2:** Commence at the Southwest corner of Lot 53, Block 257 of the revised plat of Coral Gables Riviera Section Part II according to plat thereof recorded in Plat Book 28 at page 23 of the Public Records of Dade County, Florida, thence North 25 degrees 49 minutes 30 seconds East along the West line of said Lot 53 for a distance of 79.50 feet to the point of beginning of the parcel of land herein described; thence continue North 25 degrees 49 minutes 30 seconds East along the West line of said Lot 53 for a distance of 55.04 feet to a point on the South line of the S.W. 1/4 of the N.E. 1/4 of the S.W. 1/4 of Section 29, Township 54 South, Range 41 East, Dade County, Florida; thence Due East along the South line of the S.W. 1/4 of the N.E. 1/4 of the S.W. 1/4 of said Section 29 for a distance of 128 feet to a point; thence South 35 degrees 00 minutes 00 seconds West for a distance of 132.38 feet to a point on the North line of Granada Boulevard and a point on a circular curve; thence Northwest along the North line of Granada Boulevard and along a circular curve having a radius of 1,088.22 feet through a central angle of 1 degree 14 minutes 58 seconds for an arc distance of 23.73 feet to the end of said curve; thence North 64 degrees 10 minutes 30 seconds West along the North line of Granada Boulevard for a distance of 22.36 feet to a point on the West line of the N.W. 1/4 of the S.E. 1/4 of the S.W. 1/4 of said Section 29 for a distance of 88.27 feet to a point on the West line of the aforesaid Lot 53 and the point of beginning;

**PARCEL No. 3:** Begin at a point on the Southwesterly boundary of Lot 54, Block 257, of Revised Plat of Coral Gables, Riviera Section, Part II, according to plat thereof recorded in Plat Book 28 at page 23 of the Public Records of Dade County, Florida, at a distance of 25 feet from the most southerly corner of the aforesaid Lot 54; thence in a Northwesterly direction along the Southwesterly boundary of said Lot 54 for a distance of 25 feet to a point; thence in a northeasterly direction at right angles to the Southwesterly boundary of said Lot 54 and parallel to the Southeasterly boundary and the prolongation Northeasterly thereof for a distance of 3.55 feet more or less to the Southwesterly shore of the existing yacht basin or waterway; thence in a southeasterly direction meandering the Southwesterly shore line of the aforesaid yacht basin or waterway for a distance of 105 feet more or less to a point, which point is 50 feet Southwesterly from, measured at right angles to the prolongation Northeasterly of the Southwesterly boundary of said Lot 54; thence Southwesterly parallel to the prolongation northeasterly of the southeasterly boundary of said Lot 54 and 50 feet Southwesterly therefrom measured at right angles thereto for a distance of 134 feet more or less to a point which is 25 feet North of the South line of the S.W. 1/4 of the N.E. 1/4 of the S.W. 1/4 of Section 29, Township 54 South, Range 41 East, Dade County, Florida, measured at right angles thereto; thence West parallel to and 25 feet North of the South line of the S.W. 1/4 of the N.E. 1/4 of the S.W. 1/4 of the aforesaid Section 29, for a distance of 83.32 feet to a point on a line which is 25 feet Northwesterly from the southeasterly boundary and the prolongation northeasterly thereof of the aforesaid Lot 54 measured at right angles thereto; thence Southwesterly parallel to the Southeasterly boundary and the prolongation northeasterly thereof of the aforesaid Lot 54 and 25 feet Northwesterly therefrom, measured at right angles thereto for a distance of 150.21 feet to the point of beginning;

**PARCEL No. 4:** Begin at a point on the Southwesterly boundary of Lot 54, Block 257, of the Revised Plat of Coral Gables, Riviera Section, Part II, according to plat thereof recorded in Plat Book 28, page 23, of the Public Records of Dade County, Florida, at a distance of 25 feet Northwesterly from the most southerly corner of the aforesaid Lot 54; thence Southwesterly along the Southwesterly boundary of the aforesaid Lot 54 to the most southerly corner of said Lot 54; thence Northwesterly at right angles to the Southwesterly boundary of said Lot 54 and along the Southwesterly boundary thereof for a distance of 134.54 feet to its intersection with the South line of the S.W. 1/4 of the N.E. 1/4 of the S.W. 1/4 of Section 29, Township 54 South, Range 41 East, Dade County, Florida; thence East along the South line of the S.W. 1/4 of the N.E. 1/4 of the S.W. 1/4 of aforesaid Section 29 for a distance of 216 feet more or less to the Southwesterly shore of an existing yacht basin or waterway; thence in a Northwesterly direction meandering the Southwesterly shore of said yacht basin or waterway for a distance of 170 feet more or less to a point which point is 50 feet Southwesterly from, measured at right angles to the prolongation Northeasterly of the southeasterly boundary of said Lot 54; thence Southwesterly parallel to the prolongation northeasterly of the southeasterly boundary of said Lot 54 and 50 feet Southwesterly therefrom measured at right angles thereto for a distance of 134 feet more or less to a point which is 25 feet North of the South line of the S.W. 1/4 of the N.E. 1/4 of the S.W. 1/4 of the aforesaid Section 29, measured at right angles thereto; thence West parallel to and 25 feet North of the South line of the S.W. 1/4 of the N.E. 1/4 of the S.W. 1/4 of the aforesaid Section 29, measured at right angles thereto; thence North 64 degrees 10 minutes 30 seconds West along the North line of Granada Boulevard for a distance of 22.36 feet to a point on the West line of the N.W. 1/4 of the S.E. 1/4 of the S.W. 1/4 of said Section 29 for a distance of 88.27 feet to a point on the West line of the aforesaid Lot 53 and the point of beginning, EXCEPT:-

Commence at the S.W. Corner of Lot 53, Block 257, of the revised plat of Coral Gables, Riviera Section, Part II, according to plat thereof recorded in Plat Book 28 at page 23 of the Public Records of Dade County, Florida; thence North 25 degrees 49 minutes 30 seconds East along the West line of said Lot 53 for a distance of 134.54 feet to a point on the South line of the S.W. 1/4 of the N.E. 1/4 of the S.W. 1/4 of Section 29, Township 54 South, Range 41 East, Dade County, Florida; thence Due East along the South line of the S.W. 1/4 of the N.E. 1/4 of the S.W. 1/4 of said Section 29 for a distance of 128 feet to the point of beginning of the tract of land herein described; thence North 35 degrees 00 minutes 01 seconds East for a distance of 82 feet more or less to the high water line of Coral Gables Waterway or Yacht Basin; thence in a Southeasterly direction meandering the high water line of Coral Gables Waterway or Yacht Basin for a distance of 81 feet more or less to the intersection of said high water line with the South line of the S.W. 1/4 of the N.E. 1/4 of the S.W. 1/4 of said Section 29; thence Due West along the South line of the S.W. 1/4 of the N.E. 1/4 of the S.W. 1/4 of said Section 29 for a distance of 25 feet more or less to the point of beginning;

AND

Charles F. Miller and Josephine R. Miller, his wife, owners of the following described property to-wit:-

**PARCEL No. 1:** Commence at the most westerly corner of Lot 53, Block 257, Coral Gables, Riviera Section, Part II, according to the revised plat thereof recorded in Plat Book 28 at page 23 of the Public Records of Dade County, Florida; thence in a Northwesterly direction along the arc of the curve forming the Northwesterly boundary of Granada Boulevard 150 feet to the point of beginning; thence from the above established point of beginning run in a northeasterly direction along a line forming an angle of 82 degrees 38 minutes 40 seconds with the chord of the aforesaid arc to the center line of Coral Gables Waterway as same is delineated on the above mentioned plat of record; thence meander the center line of said Coral Gables Waterway in a Northwesterly direction to the point where said center line intersects the North line of the West Half of the S.E. 1/4 of the S.W. 1/4 of Section 29, Township 54 South, Range 41 East; thence West along said North line of W 1/2 of S.E. 1/4 of S.W. 1/4 to the point where said line intersects the Northwesterly line of Lot 53 of the above mentioned Block 257; thence Southwesterly along said Northwesterly line of said Lot 53 to the point of intersection with the West line of said W 1/2 of S.E. 1/4 of S.W. 1/4 of Section 29-54-41; thence Southwesterly along said West line of said W 1/2 of S.E. 1/4 of S.W. 1/4 of Section 29-54-41 to the point of intersection with the Northwesterly boundary of Granada Boulevard; thence Southeasterly along said Northwesterly line of Granada Boulevard to the point of beginning, EXCEPT:-

Commence at the S.W. Corner of Lot 53, Block 257, of the revised plat of Coral Gables, Riviera Section, Part II, according to plat thereof recorded in Plat Book 28 at page 23 of the Public Records of Dade County, Florida; thence North 25 degrees 49 minutes 30 seconds East along the West line of said Lot 53 for a distance of 79.50 feet to the point of beginning of the parcel of land herein described; thence continue North 25 degrees 49 minutes 30 seconds East along the West line of said Lot 53 for a distance of 55.04 feet to a point on the South line of the S.W. 1/4 of the N.E. 1/4 of the S.W. 1/4 of Section 29, Township 54 South, Range 41 East, Dade County, Florida; thence Due East along the South line of the S.W. 1/4 of the N.E. 1/4 of the S.W. 1/4 of said Section 29 for a distance of 128 feet to a point; thence South 35 degrees 00 minutes 01 seconds West for a distance of 132.38 feet to a point on the North line of Granada Boulevard and a point on a circular curve; thence Northwesterly along the North line of Granada Boulevard and along a circular curve having a radius of 1,088.22 feet through a central angle of 1 degree 14 minutes 58 seconds for an arc distance of 23.73 feet to the end of said curve; thence North 64 degrees 10 minutes 30 seconds West along the North line of Granada Boulevard for a distance of 22.36 feet to a point on the West line of the N.W. 1/4 of the S.E. 1/4 of the S.W. 1/4 of said Section 29; thence North 0 degrees 04 minutes 00 seconds East along the West line of the N.W. 1/4 of the S.E. 1/4 of the S.W. 1/4 of said Section 29 for a distance of 88.27 feet to a point on the West line of the aforesaid Lot 53 and the point of beginning;

**PARCEL No. 2:** Commence at the S.W. Corner of Lot 53, Block 257, of the revised plat of Coral Gables, Riviera Section, Part II, according to plat thereof recorded in Plat Book 28 at page 23 of the Public Records of Dade County, Florida; thence North 25 degrees 49 minutes 30 seconds East along the West line of said Lot 53 for a distance of 134.54 feet to a point on the South line of the S.W. 1/4 of the N.E. 1/4 of the S.W. 1/4 of Section 29, Township 54 South, Range 41 East, Dade County, Florida; thence Due East along the South line of the S.W. 1/4 of the N.E. 1/4 of the S.W. 1/4 of said Section 29 for a distance of 128 feet to the point of beginning of the parcel of land herein described; thence North 35 degrees 00 minutes 01 seconds East for a distance of 82 feet more or less to the high water line of Coral Gables Waterway or Yacht Basin; thence in a Southeasterly direction meandering the high water line of Coral Gables Waterway or Yacht Basin for a distance of 81 feet more or less to the intersection of said high water line with the South line of the S.W. 1/4 of the N.E. 1/4 of the S.W. 1/4 of said Section 29; thence Due West along the South line of the S.W. 1/4 of the N.E. 1/4 of the S.W. 1/4 of said Section 29 for a distance of 25 feet more or less to the point of beginning;

The Owners of the above described properties have caused to be made the attached plat of "RESUBDIVISION OF A PORTION OF BLOCK 257 OF CORAL GABLES RIVIERA SECTION PART II" showing the boundaries of their respective properties.

The purpose of this plat is to consolidate the properties of the respective parties hereto into two parcels, designating hereon the properties of George Elliott Patterson and Wife as "Patterson Tract No. 1" and the properties of Charles F. Miller and Josephine R. Miller as "Miller Tract No. 1".

That Granada Boulevard shown on the attached plat, together with all existing and future planting, trees and shrubbery thereon, are hereby dedicated to the perpetual use of the public for proper purposes by the Owners hereof in front of their respective properties, as herein described, reserving however to themselves, their heirs, executors and assigns the reversion or reversions of said Granada Boulevard in front of their respective properties whenever the same is discontinued by law.

The lawful zoning regulations, now in effect or as the same may from time to time be lawfully changed or amended, applicable to the area covered by this plat, will be observed.

IN WITNESS WHEREOF We have hereunto set our hands and seals this 28th day of February, A.D. 1947.

Witnesses:-

As to George Elliott Patterson and Beatrice Fair Patterson

George Elliott Patterson (SEAL)

Beatrice Fair Patterson (SEAL)

As to Charles F. Miller and Josephine R. Miller

Charles F. Miller (SEAL)

Josephine R. Miller (SEAL)

Notary Public State of Florida.

My commission expires March 26, 1949



# SKETCH OF SURVEY

PREPARED BY:

GUNTER GROUP, INC.

LAND SURVEYING - LAND PLANNING

FLORIDA CERTIFICATE OF AUTHORIZATION NO. LB 4507

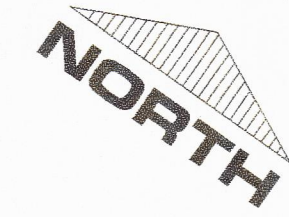
9350 S.W. 22nd TERRACE

MIAMI, FLORIDA 33165

(305) 220-0073

## ABBREVIATIONS:

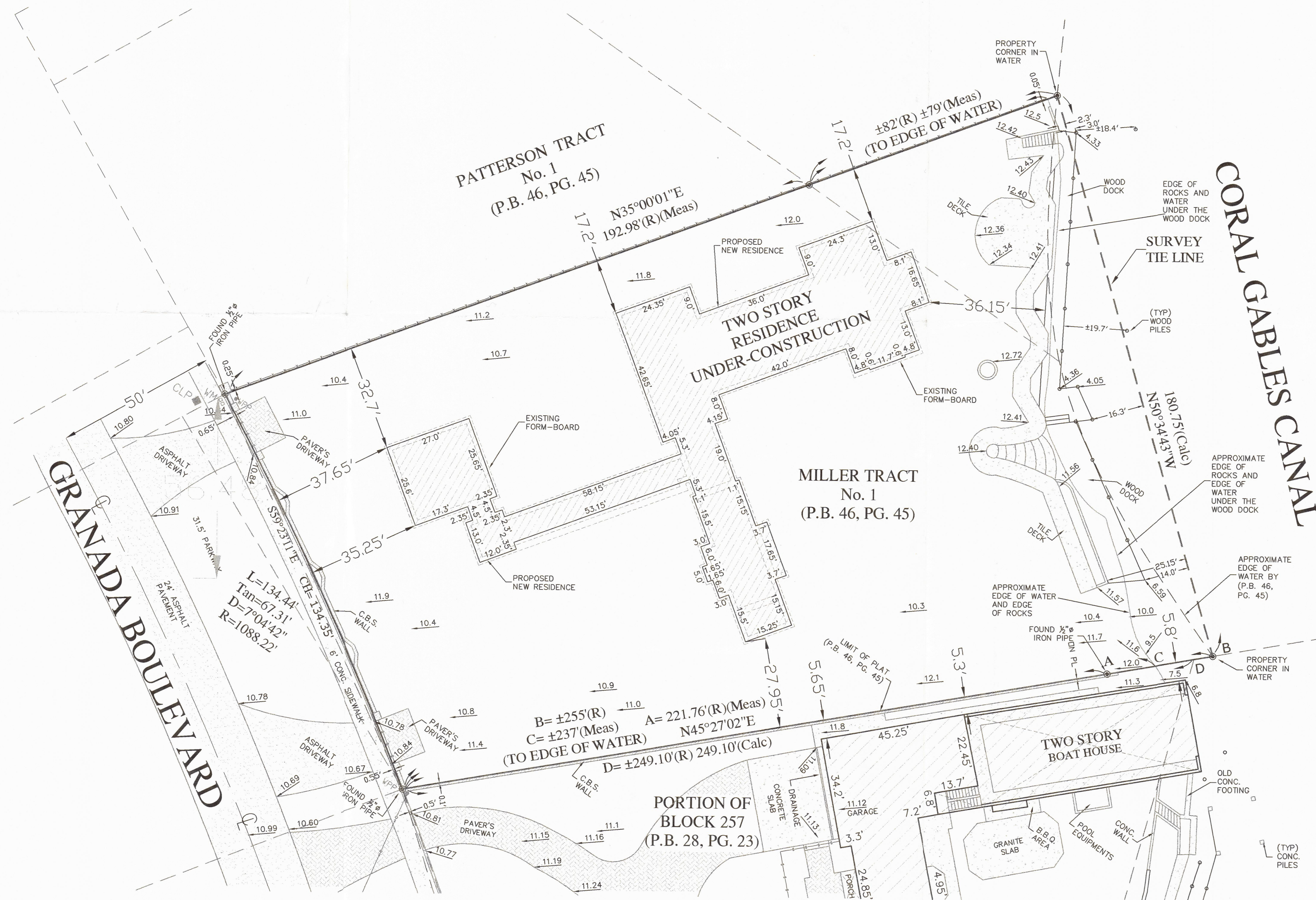
CONC.	CONCRETE
(Meas)	MEASURED
(R)	RECORD
(Calc)	CALCULATED
P.B.	PLAT BOOK
PG.	PAGE
C.B.S.	CONCRETE BLOCK AND STUCCO
P.O.B.	POINT OF BEGINNING
F.F.E.	FINISH FLOOR ELEVATION
O.R.B.	OFFICIAL RECORD BOOK
(TYP)	TYPICAL
L=	ARC LENGTH
Tan=	TANGENT
D=	DELTA
R=	RADIUS



SCALE 1" = 20'

## LEGEND:

- CLP - CONCRETE LIGHT POLE
- WM - WATER METER
- WPP - WOOD POWER POLE
- CL - CENTER LINE
- EXISTING ELEVATION



## PROPERTY ADDRESS:

6847 Granada Boulevard, Coral Gables, Florida 33146.

## LEGAL DESCRIPTION:

All of MILLER TRACT No. 1, of "RESUBDIVISION OF A PORTION OF BLOCK 257 OF CORAL GABLES RIVIERA SECTION PART II", according to the plat thereof as recorded in Plat Book 46 at Page 45 of the Public Records of Miami-Dade County, Florida.

## FOR:

JOHN PAUL BOLDUC AND STACY L. BOLDUC.

## SURVEYOR'S NOTES:

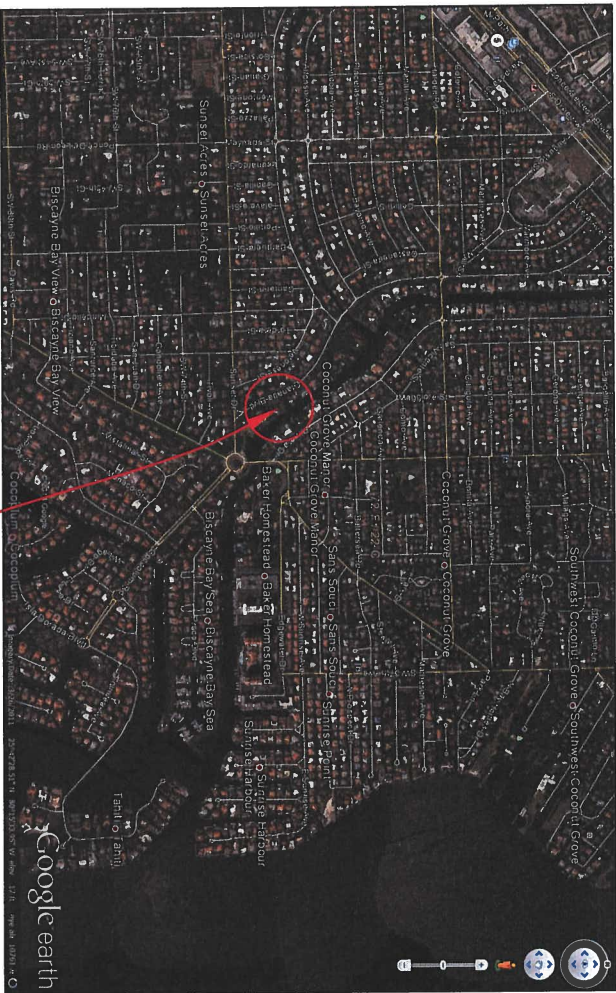
- 1) This survey was conducted for the purpose of a "Boundary Survey" only and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other entity.
- 2) The accuracy obtained by measurements and calculations on this survey, meets and exceeds the Minimum Technical Standards requirements for a Suburban area (1 foot in 7,500 feet) as specified in Chapter 5J-17, Florida Administrative Code.
- 3) Bearings shown hereon are based on an assumed meridian of S59°23'11"E along the chord of the front boundary arc.
- 4) The North arrow direction shown herein is based on an assumed Meridian.
- 5) In some cases graphic representation have exaggerated to more clearly illustrate a particular area where dimensions shall have preference over graphic location.
- 6) Legal description was provided by the client and is subject to any dedications, limitations, restrictions reservations or easements of record.
- 7) Examination of the Abstract of Title will have to be made to determine recorded instruments, if any affecting the property; search of Public Records not performed by this office.
- 8) No effort was made by this office to locate any underground utilities and/or structures within or abutting the subject property.
- 9) This survey has been prepared for the exclusive use of the entities named hereon only and the certifications hereon do not extend to any unnamed parties.
- 10) Elevations shown referred to N.G.V. Datum 1929, City of Coral Gables benchmark No. "197", elevation 11.65 feet.
- 11) According to the National Flood Insurance Program the subject property falls in Community No. 120639, Panel No. 0459, Suffix "L", Date of FIRM 09-11-2009, Flood Zone "X".
- 12) Contact the appropriate authorities prior to any design work on the hereon-described parcel for Building and Zoning information.
- 13) Professional Land Surveyor and Mapper in responsible charge: Rolando Ortiz LS 4312, State of Florida.
- 14) This survey is not valid without the signature and the raised seal of a Florida Licensed Land Surveyor and Mapper.

I hereby certify to John Paul Bolduc and Stacy L. Bolduc, that the Sketch of Boundary Survey of the described property is true and correct to the best of my knowledge and belief, as recently surveyed and platted under my direction; also that meets the Minimum Technical Standards set in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.

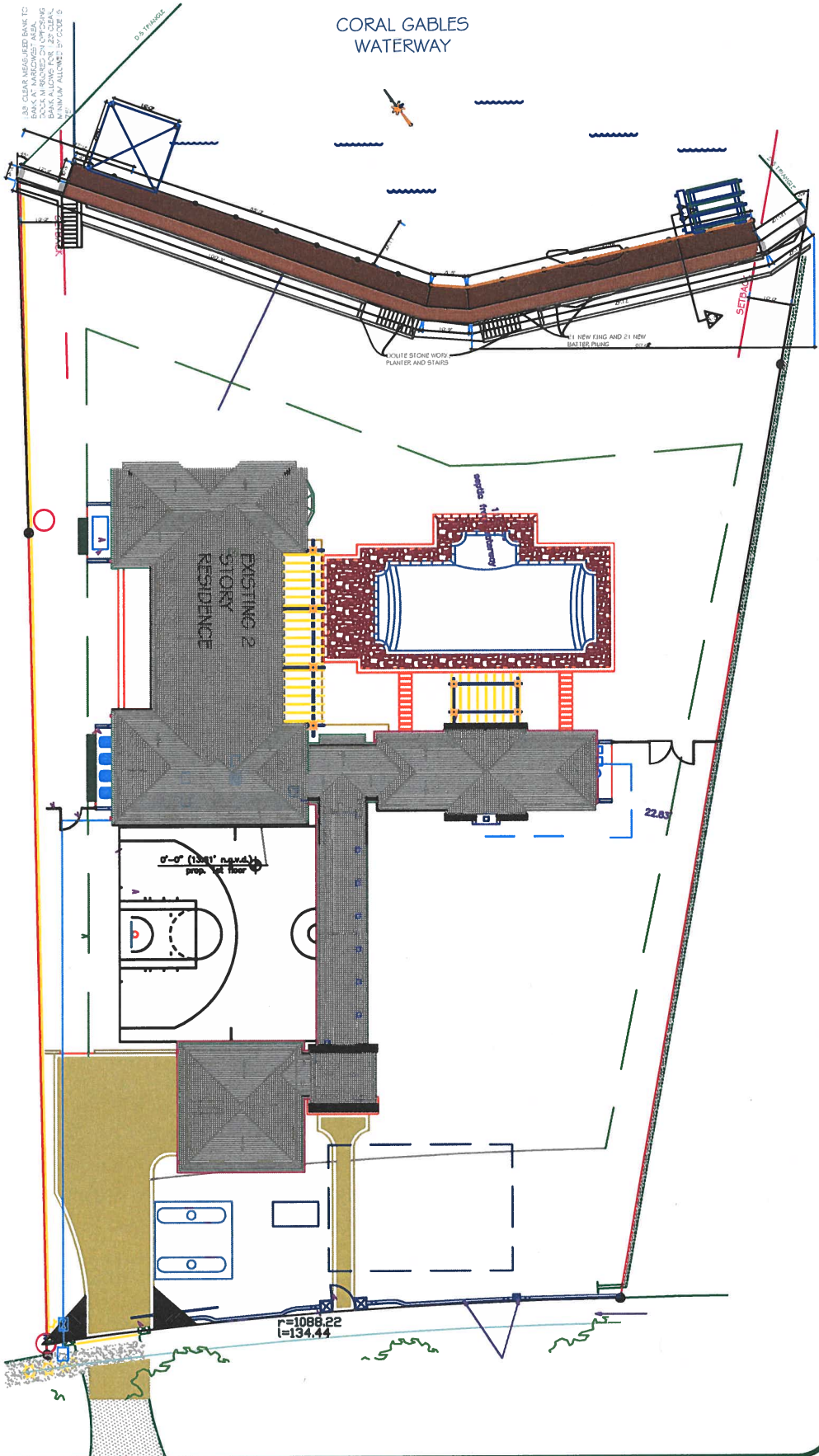
Up-Date to show form-board: 12-11-2013  
Revised Survey: 09-23-2013  
Date: 09-14-2013  
Job No.: 13-29339-A  
Sketch No. 26736-A

By: Rolando Ortiz LS 4312  
Professional Land Surveyor  
& Mapper, State of Florida.





## JOBSITE



### GENERAL NOTES

GENERAL ELEVATIONS SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929. ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH WORK.

### DESIGN:

IN ACCORDANCE WITH APPLICABLE BUILDING CODE : FLORIDA BUILDING CODE 2017, ASCE 7-10, CURRENT EDITIONS.

### SCOPE:

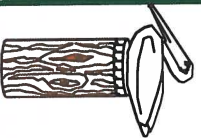
NEW 8000 POUND JET SKI LIFT ELEVATOR LIFT BY QUALITY LIFTS PROJECT NUMBER 170901

### LIFT PILING:

1. LIFT TO CONCRETE PILING PER DETAIL ON PAGE 4.
2. PILES SHALL BE CUT OFF AT ELEVATIONS SHOWN ON THE PLANS & SECTIONS
3. CONCRETE JET SKI LIFT PILING TO BE DRIVEN TO 22 B.L.S AS PER GEOTECH REPORT, TO A MINIMUM SAFE BEARING CAPACITY OF 25 TONS
4. PILE DRIVING OPERATIONS SHALL BE OBSERVED BY A SPECIAL INSPECTOR, INCLUDING TEST PILES IF REQUIRED.
5. PILING SHALL BE DRIVEN TO REQUIRED CAPACITY, MINIMUM PENETRATION OF 12 INTO FIRM MATERIAL BELOW SILT LAYER OR 6'-0" MIN. INTO ROCK, OR REFUSAL

## DOCK AND MARINE

LEANDRO FERNANDEZ  
LEAF ENGINEERING  
C.A. 29777  
(786)390-7493  
leaf@engineering.net  
756 NE 79TH STREET  
MIAMI, FL 33138



CONSTRUCTION, CORP.  
752 NE 79TH STREET  
MIAMI, FL 33138  
305-751-9911  
F: 305-751-4825  
glarson@dockandmarine.net  
www.dockandmarine.net

BOLDUC RESIDENCE:  
JET SKI LIFT  
AT  
6847 GRANADA BLVD.  
CORAL GABLES, FL

LOCATION MAP  
AND NOTES

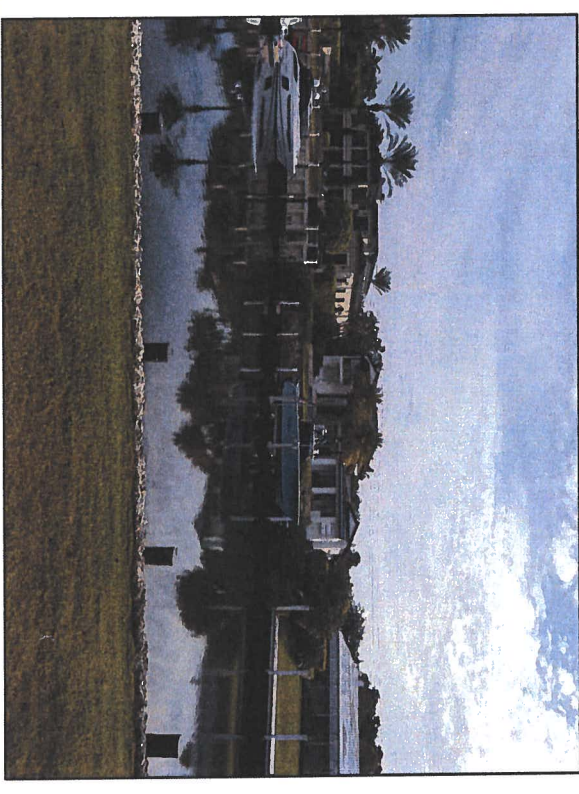
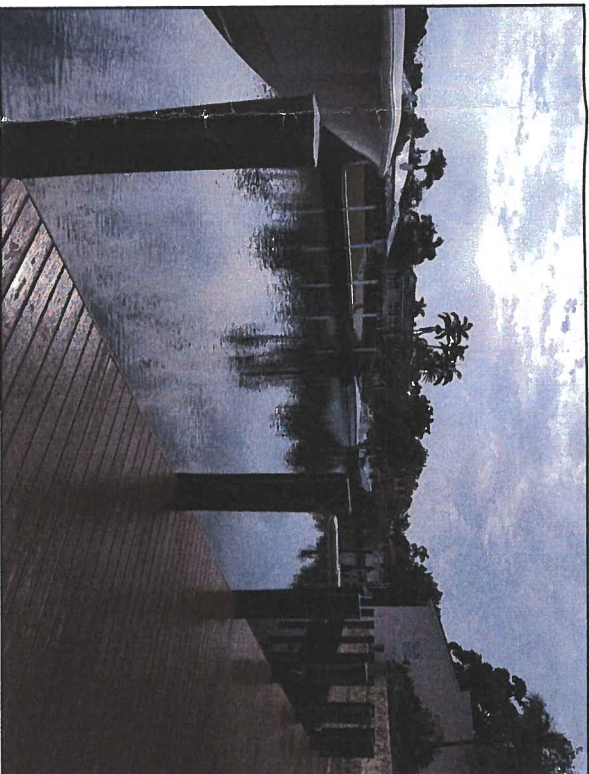
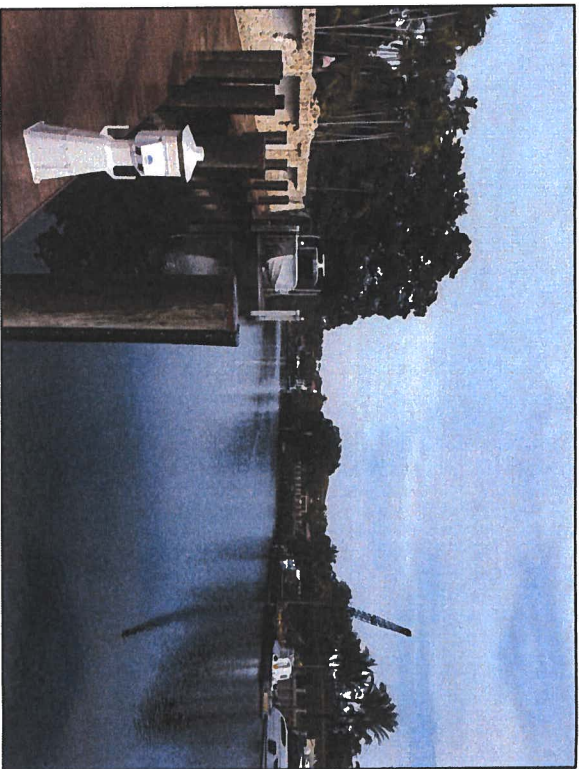
DATE: 03/22/18  
REVISIONS:  
1. \_\_\_\_\_  
2. \_\_\_\_\_

DWG#: 18-010  
DRAWN BY: GL

PAGE  
1 of 4

LEANDRO FERNANDEZ  
LICENSE #71519





CORAL GABLES  
WATERWAY

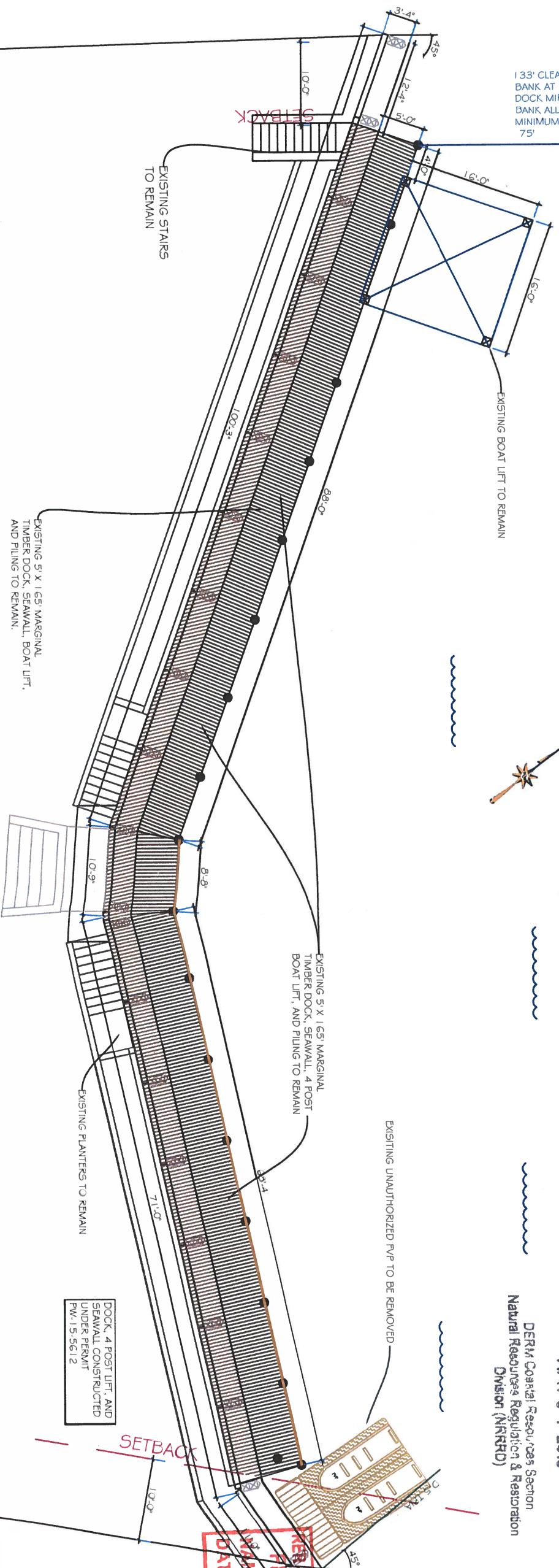
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APR 04 2018

DERM Coastal Resources Section  
Natural Resources Regulation & Restoration  
Division (NRRRD)

RECEIVED  
APR 02 2018

DERM Coastal Resources Regulation & Restoration  
Division (NRRRD)

133' CLEAR MEASURED BANK TO  
BANK AT NARROWEST AREA.  
DOCK MIRRORED ON OPPOSING  
BANK ALLOWS FOR 123' CLEAR.  
MINIMUM ALLOWED BY CODE IS  
75'



DERM NATURAL RESOURCES DIVISION  
PRELIMINARY APPROVAL  
NAME LEANDRO FERNANDEZ  
DATE 4/19/18

LEANDRO FERNANDEZ  
LEAF ENGINEERING  
C.A. 29777  
(786)390-7493  
leaf@engineering.net

756 NE 79TH STREET  
MIAMI, FL 33138

DOCK AND MARINE

CONSTRUCTION, CORP.

752 NE 79TH STREET

MIAMI, FL 33138

305-751-9911

F: 305-751-4825

glarson@dockandmarine.net

www.dockandmarine.net

BOLDUC RESIDENCE:

JET SKI LIFT

AT

6847 GRANADA BLVD.

CORAL GABLES, FL

PAGE TITLE:

EXISTING

CONDITIONS

DATE: 03/22/18

REVISIONS:

1. \_\_\_\_\_

2. \_\_\_\_\_

DWG#: 18-010

DRAWN BY: GL

PAGE

2 of 4





133' CLEAR MEASURED BANK TO BANK AT NARROWEST AREA.  
DOCK MIRRORED ON OPPOSING BANK ALLOWS FOR 123' CLEAR.  
MINIMUM ALLOWED BY CODE IS 75'

EXISTING BOAT LIFT TO REMAIN

## CORAL GABLES WATERWAY

133' CLEAR MEASURED BANK TO BANK AT NARROWEST AREA. DOCK AND LIFT MIRRORED ON OPPOSING BANK ALLOWS FOR 103' CLEAR. MINIMUM ALLOWED BY CODE IS 75'

2X8' MECHANICAL ACCESS PLATFORM CENTERED ON LIFT

PROPOSED NEW IMMQUALITY 8000 POUND ELEVATOR LIFT PROJECT 170901

2 PROPOSED NEW 12 X 12 PRESTRESSED PILES

EXISTING 5' X 165' MARGINAL TIMBER DOCK, SEAWALL, 4 POST BOAT LIFT, AND PILING TO REMAIN

EXISTING PLANTERS TO REMAIN

EXISTING 5' X 165' MARGINAL TIMBER DOCK, SEAWALL, BOAT LIFT, AND PILING TO REMAIN.

EXISTING STAIRS TO REMAIN

SETBACK

SETBACK

DOCK, 4 POST LIFT, AND SEAWALL CONSTRUCTED UNDER PERMIT PW-15-5612

EXISTING STEPS TO REMAIN

## DOCK AND MARINE

BOLDUC RESIDENCE:

JET SKI LIFT

AT

6847 GRANADA BLVD.

CORAL GABLES, FL

PAGE TITLE:

PROPOSED LAYOUT

DATE: 03/22/18

REVISIONS:

1. \_\_\_\_\_

2. \_\_\_\_\_

DWG#: 18-010

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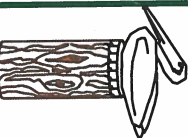
PAGE

3 of 4

LEANDRO FERNANDEZ  
LICENSE #71519

LEANDRO FERNANDEZ  
LEAF ENGINEERING  
C.A. 29777  
(786)390-7493

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756 NE 79TH STREET  
MIAMI, FL 33138



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F: 305-751-4825

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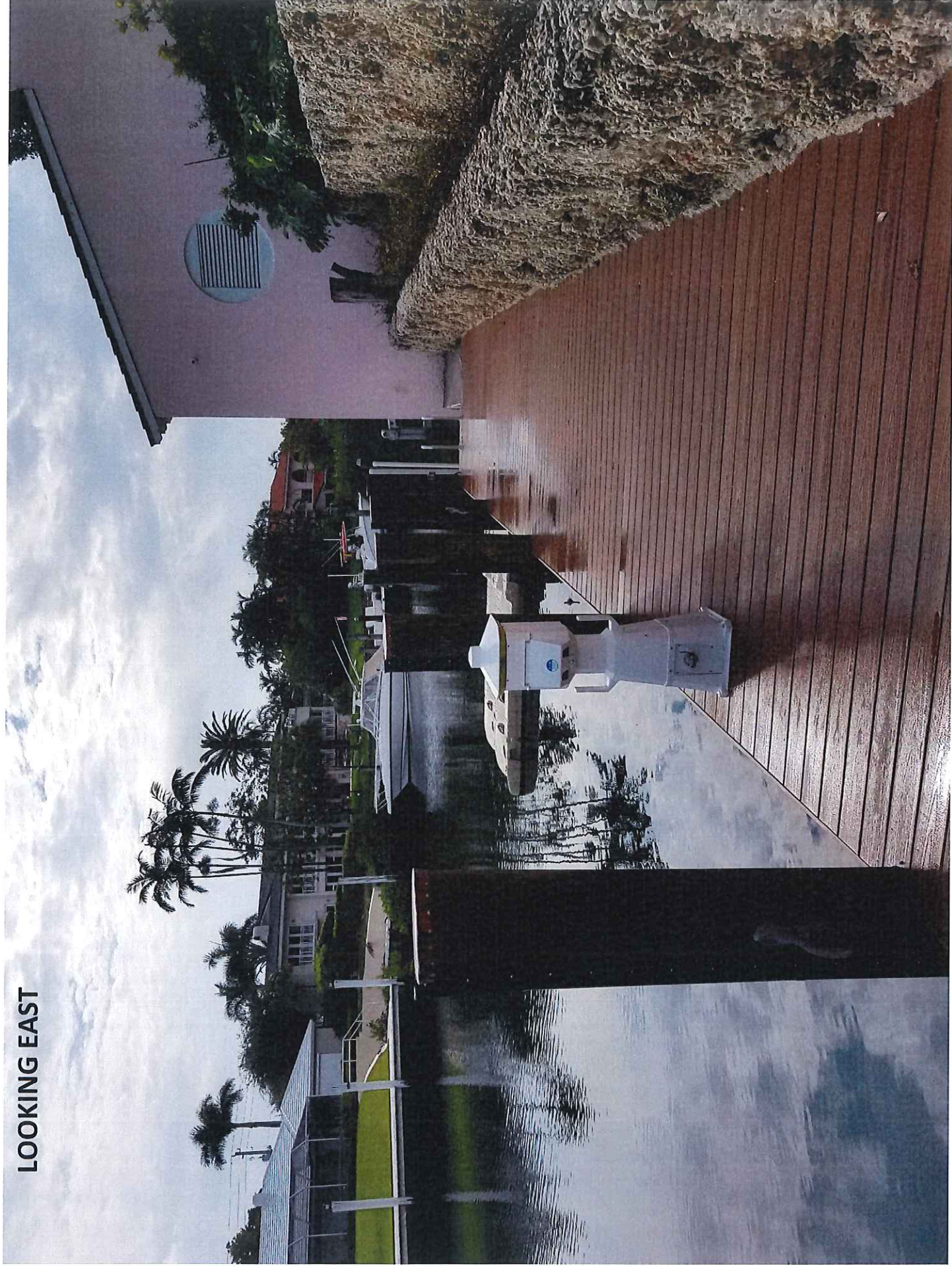


LOOKING WEST

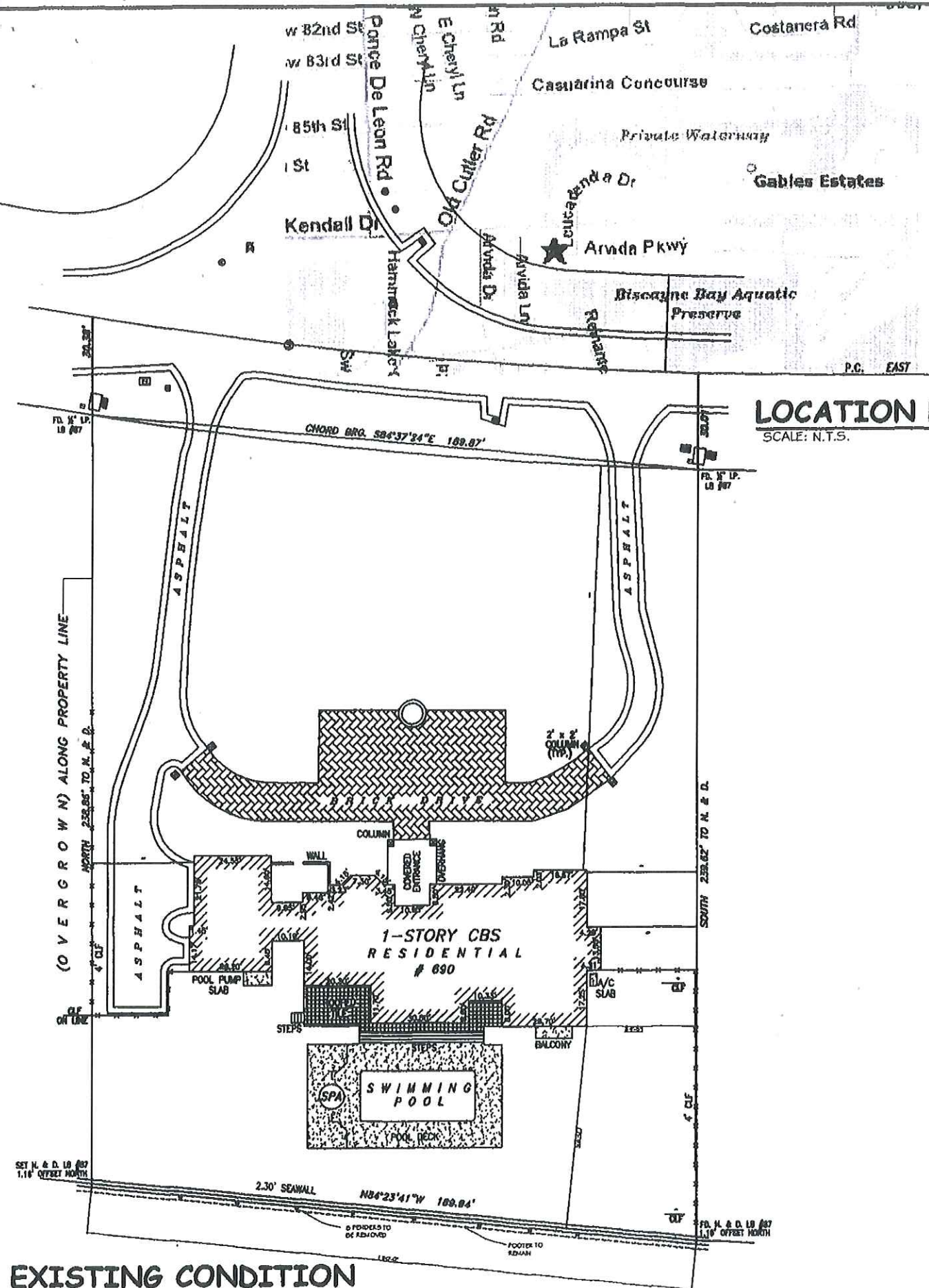




LOOKING EAST







**LOCATION PLAN**  
SCALE: N.T.S.

**EXISTING CONDITION**  
SCALE: N.T.S.

## GENERAL NOTES

### CONCRETE AND REINFORCING STEEL

1. ALL CONCRETE (EXCEPT PRECAST PILES) SHALL ATTAIN A MIN. COMPRESSIVE STRENGTH OF 5000 P.S.I. AT THE END OF 28 DAYS. FOUR (4) CONCRETE CYLINDERS SHALL BE TAKEN FOR EACH 50 CUBIC YARDS OR FRACTION THEREOF AND SHALL BE TESTED AT 3, 7 & 28 DAYS. SLUMP SHALL NOT EXCEED 4" ( $\pm 1$ ).
2. ALL REINFORCEMENT SHALL BE 60,000 P.S.I. MINIMUM YIELD NEW BILLET STEEL IN ACCORDANCE WITH ASTM A615 GRADE 60. ALL BAR LAPS SHALL BE A MINIMUM OF 36 BAR DIAMETERS. PLACING OF REINFORCEMENT SHALL CONFORM TO THE LATEST ACI CODE AND MANUAL OF STANDARD PRACTICE.
3. ALL CONCRETE SHALL BE PLACED WITHIN 90 MINUTES FROM BATCH TIME, AND VIBRATED AS REQUIRED BY THE ACI MANUAL OF CONCRETE PRACTICE. TEMPERATURE OF CONCRETE AT TIME OF PLACEMENT SHALL BE BETWEEN 75° AND 100° F.
4. ALL CONCRETE DECK SURFACES SHALL HAVE A LIGHT BROOM FINISH.
5. ALL EXPOSED CONCRETE EDGES SHALL BE CHAMFERED 3/4", OR AS SHOWN ON THE PLANS.

### PRECAST CONCRETE PILING

1. PRECAST CONCRETE DOCK PILES SHALL BE 12" x 12" PILES W/5000 P.S.I. MIN. CONCRETE & 4-7/16" 270 K.S.I. ASTM A416 LOW-LAX STRANDS W/ 2 1/2" MIN. CONCRETE COVER TO TIES, DRIVEN TO A MINIMUM BEARING CAPACITY OF 15 TONS WITH 12" MIN. PENETRATION INTO FIRM MATERIAL BELOW SILT LAYER.
2. PILES SHALL BE CUT OFF ATR ELEVATIONS SHOWN ON THE PLANS & SECTIONS.

### STEEL

1. ALL BOLTS SHALL BE TYPE 316 STAINLESS STEEL.

### MISCELLANEOUS

1. FASTENERS EMBEDDED INTO DOCK STRUCTURE SHALL BE ANCHORED WITH TWO PARTY EPOXY ADHESIVE ("RAWL" CHEM-FAST CARTRIDGE SYSTEM OR EQUAL). ANCHOR HOLES SHALL BE DRILLED TO 1/8" GREATER THAN THE SPECIFIED FASTENER. HOLES SHALL BE DRILLED TO MINIMUM DEPTH SHOWN ON THE PLANS, AND SHALL BE THOROUGHLY CLEANED OUT AND DRY PRIOR TO INJECTION OF EPOXY.

### GENERAL

ELEVATIONS SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.  
ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD.  
IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ENGINEER BEFORE PROCEEDING WITH WORK.

IT IS THE INTENT OF THESE PLANS AND THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH LOCAL, STATE AND FEDERAL ENVIRONMENTAL PERMITS ISSUED FOR THIS PROJECT IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE AND GOVERN HIMSELF BY ALL PROVISIONS OF THESE PERMITS.

### DESIGN LOADS

1. DOCK LL. 60 PSF
2. DOCK DL. 10 PSF

### WOOD

1. PRIMARY WOOD FRAMING MEMBERS SHALL BE NO. 2 PRESSURE-TREATED SOUTHERN PINE OR BETTER. (FB= 1050 PSI MINIMUM).
2. ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD.
3. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH WORK.
4. IT IS THE INTENT OF THESE PLANS AND THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH LOCAL, STATE AND FEDERAL ENVIRONMENTAL PERMITS ISSUED FOR THIS PROJECT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE AND GOVERN HIMSELF BY ALL PROVISIONS OF THESE PERMITS.
5. APPLICABLE BUILDING CODE: FLORIDA BUILDING CODE, 2001 EDITION.
6. ALL HARDWARE TO BE HOT DIPPED GALVANIZED

### WOOD PILING

1. WOOD DOCK PILES SHALL BE 12" DIAM. PILES WITH 15 TONS MIN. BEARING CAPACITY DRIVEN TO A MINIMUM BEARING CAPACITY OF 15 TONS WITH 12" MIN. PENETRATION INTO FIRM MATERIAL BELOW SILT LAYER.

**DERM COASTAL SECTION  
PRELIMINARY APPROVAL**  
NAME H. H. H.  
DATE 6/13/05

305-668-0292 (o)  
305-668-4430 (f)  
305-219-9530 (m)  
305-345-9228 (m)  
7800 Red Road, Suite 218  
Miami, Florida 33143  
calvo\_26@bellsouth.net  
coastalenviro@aol.com

**Coastal Development Consultants, Inc.**  
engineers, planners & developers  
improving the coastal environment

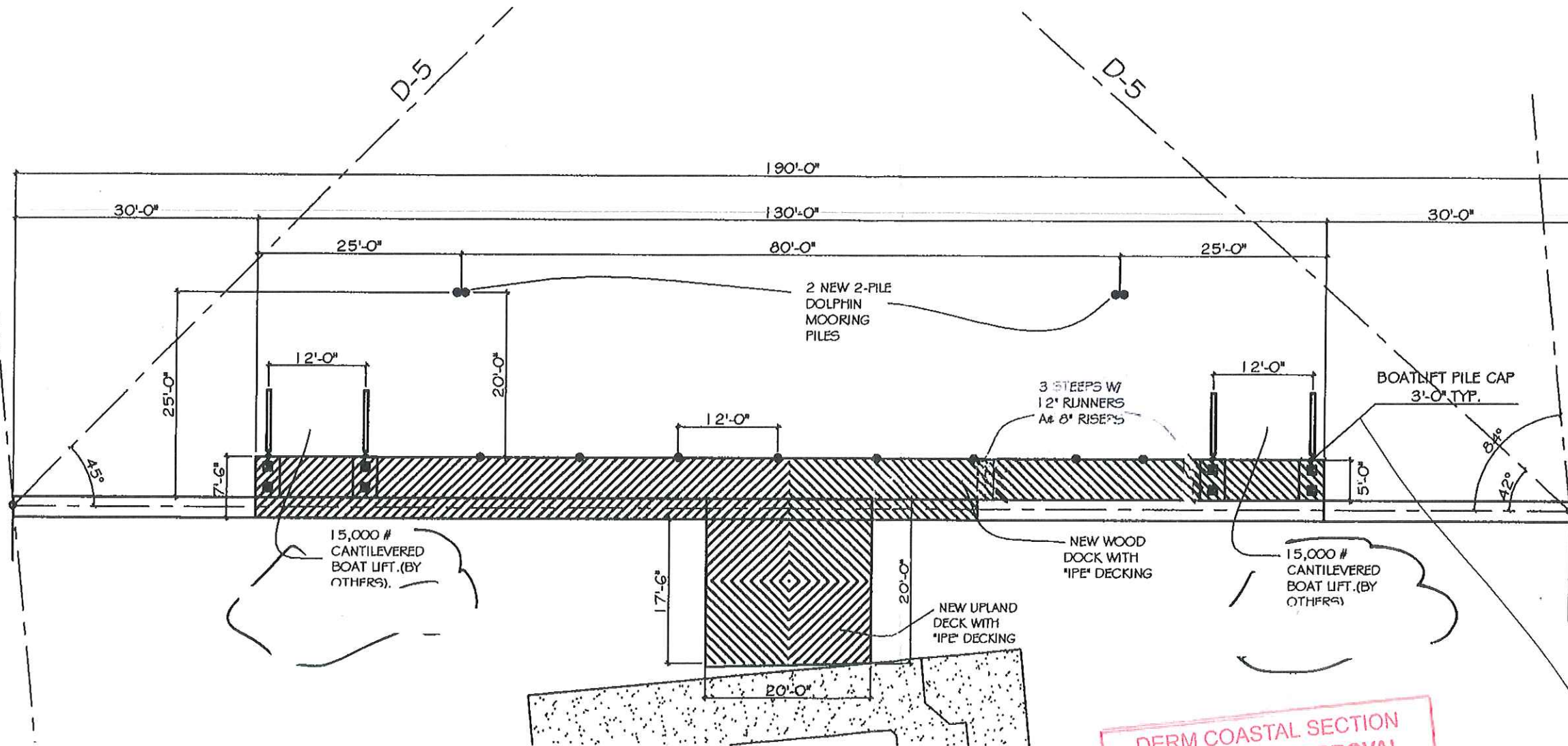
**KELLY'S RES**  
640 ARVIDA PARKWAY  
CORAL GABLES, FLORIDA  
title: **PROPOSED DOCK, MOORING PILES,  
DECK & BOATLIFTS**

date 02/16/05  
issued \_\_\_\_\_  
drawn JMC  
checked D.K.S.  
project no. 05-05  
revisions: \_\_\_\_\_

sheet no.  
**S-1**  
1 of 4

05/20/05  
Denis Kl Solano  
P.E. 56902  
S.I. 2046  
C.O.A. 00009095





**PROPOSED DOCK PLAN**  
SCALE: 1/16" = 1'-0"

DERM COASTAL SECTION  
PRELIMINARY APPROVAL  
NAME Manuel  
DATE 6/3/05

05/31/05

Denis K. Solano  
P.E. 56902  
S.I. 2046  
C.O.A. 00009095

**Solver Structural Partnership, Inc.**  
7500 NW 25 St., Suite 212 Phone (305) 501-3341  
Miami, Florida 33122 Fax (305) 901-3467  
E-Mail: solverstpd@cs.com  
DESIGN - INSPECTION - INVESTIGATION - REPORTS

305-688-0292 (o)  
305-688-4630 (f)  
305-218-8630 (m)  
305-349-6226 (m)  
7800 Red Road, Suite 218  
Miami, Florida 33143  
calvo\_29@bellsouth.net  
coastalenviro@aol.com

**Coastal Development Consultants, Inc.**  
• marine engineering, planning & development  
• design-build construction management  
• design-build construction management

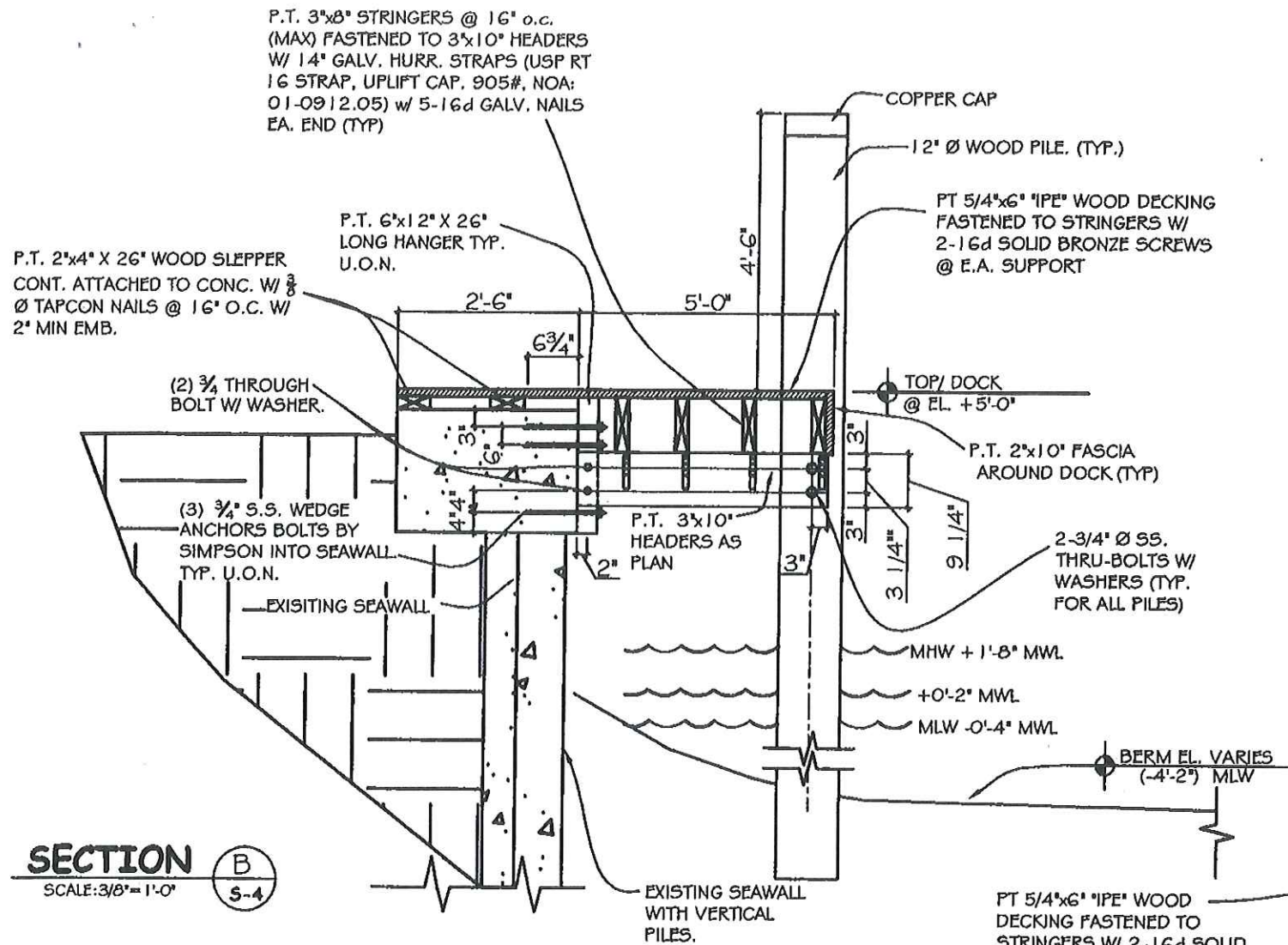
Job name: **KELLY'S RES**  
640 ARVIDA PARKWAY,  
CORAL GABLES, FLORIDA.  
title: **PROPOSED DOCK, MOORING PILES,  
DECK & BOATLIFTS**

date: 02/16/05  
issued: \_\_\_\_\_  
drawn: JMC  
checked: D.K.S.  
project no: 05-05  
revisions: \_\_\_\_\_

sheet no.  
**S-2**  
2 of 4



**SECTION B**  
SCALE: 3/8" = 1'-0"



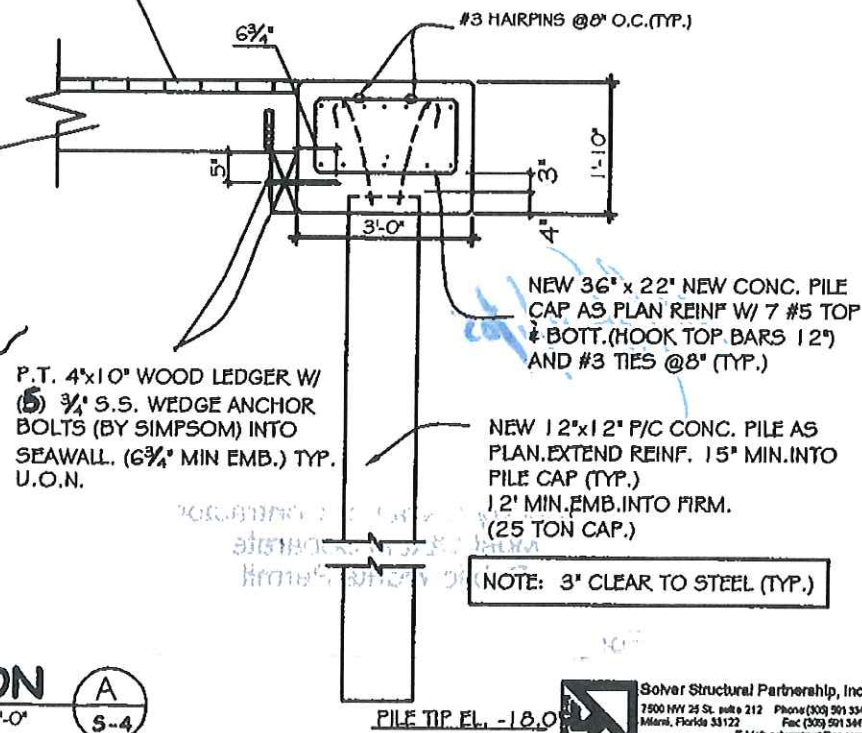
**DERM COASTAL SECTION  
PRELIMINARY APPROVAL**  
NAME Chris  
DATE 6/3/05

**SECTION A**  
SCALE: 3/8" = 1'-0"

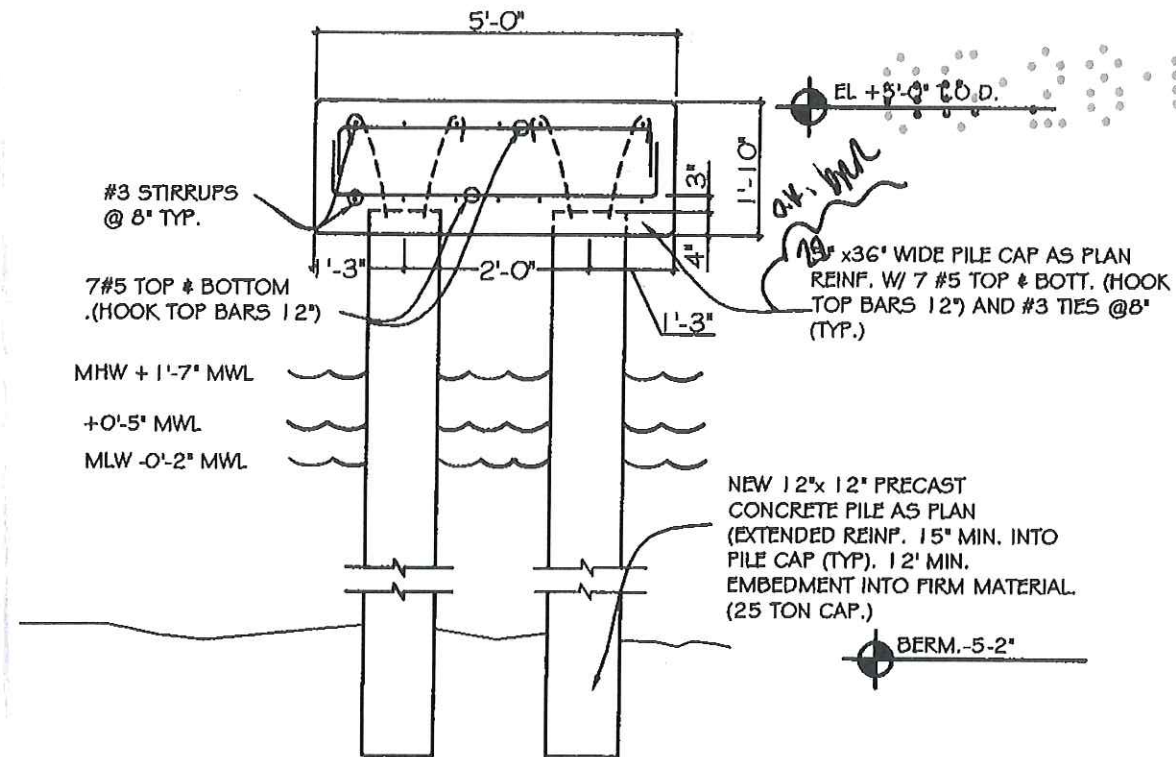
P.T. 3x8 STRINGERS @ 16" o.c. (MAX) FASTENED TO 3x10 HEADERS W/ 1/4" GALV. HURR. STRAPS (USP RT 16 STRAP, UPLIFT CAP. 905#, NOA: 01-0912.05) w/ 5-16d GALV. NAILS EA. END (TYP.)

P.T. 4x10 WOOD LEDGER W/ 5-3/4" S.S. WEDGE ANCHOR BOLTS (BY SIMPSON) INTO SEAWALL. (6 3/4" MIN EMB.) TYP. U.O.N.

P.T. 5/4x6" IPE WOOD DECKING FASTENED TO STRINGERS W/ 2-16d SOLID BRONZE SCREWS @ E.A. SUPPORT



**SECTION D**  
SCALE: 3/8" = 1'-0"



205-688-0227 (o)  
205-688-4430 (f)  
205-219-0030 (m)  
205-345-0228 (m)  
7800 Red Road, Suite 218  
Miami, Florida 33143  
calvo\_28@bellatlantic.net  
coastalenviro@aol.com

**Coastal Development Consultants, Inc.**  
marine engineering, permitting & development  
photo-copying, publishing, printing, reproduction  
grouping, training, and other related services

job name: **KELLY'S RES**  
**640 ARVIDA PARKWAY.**  
**CORAL GABLES, FLORIDA.**  
title: **PROPOSED DOCK, MOORING PILES, DECK & BOATLIFT**

date: 02/16/05  
issued: \_\_\_\_\_  
drawn: JMC  
checked: D.K.S.  
project no.: 05-05  
revisions: \_\_\_\_\_

Denis K. Solano  
P.E. 56902  
S.L. 2046  
C.O.A. 00009095

sheet no.  
**S-4**  
4 of 4

**Solver Structural Partnership, Inc.**  
7500 HWY 24 St. Suite 212 Phone (305) 591-3341  
Miami, Florida 33122 Fax (305) 591-3417  
E-Mail: solverstruc@aol.com  
DESIGN - INSPECTION - INVESTIGATION - REPORTS



B.O.A. # C/29565  
Applic. # 05067178

Job DOCK, MOORING PILES, DECK & BOATLIFT  
Description:

SITE SET

PERMIT NO.		
ADDRESS: <u>640 ARVIDA PKWY</u>		
CITY OF CORAL GABLES BUILDING / ZONING DEPARTMENT		
SECTION	BY	DATE
HISTORICAL		
BOARD OF ARCH.	<u>RAH</u>	<u>6/30/05</u>
BOARD OF ARCH.	<u>RAH</u>	<u>6/30/05</u>
ZONING	<u>DB</u>	<u>07/20/05</u> <u>Hist 55</u>
ELECTRICAL		
MECHANICAL		
PLUMBING		
STRUCTURAL	<u>OM</u>	<u>07/20/05</u>
FIRE		
FEMA		
PUBLIC WORKS	<u>UH</u>	<u>10/19/05</u>
BUILDING OFFICIAL	<u>UH</u>	<u>11/1/05</u>

1. Subject to compliance with all Federal, State, County and City rules and regulations. City assumes no liability for accuracy of or results from these plans.

2. The owner or contractor must be available on building site during construction.

Property Owner or Contractor  
Must Obtain Separate  
Public Works Permit

For DOCK & BOAT LIFTS

CORAL GABLES

GABLES ESTATES ARCHITECTURAL BOARD  
ARCHITECTURAL DESIGN APPROVAL  
DATE 6/21/05  
THE GABLES ESTATES ARCHITECTURAL BOARD DOES NOT HAVE THE AUTHORITY TO APPROVE VARIANCE REQUIRED BY THE CITY OF CORAL GABLES. VAP LANCES REQUIRE APPROVAL OFF THE BOARD OF GOVERNORS FOR GABLES ESTATE.

COBA



REVISION ATTACHED

32274

Emergency Contact Name Larros (Permit number to printed)  
Bond: 72354  
Emergency Contact Number 790-251-7303 Cell Number Beeper

CITY OF CORAL GABLES, FLORIDA  
DEPARTMENT OF PUBLIC WORKS  
PERMIT FOR CONSTRUCTION AND EXCAVATION  
IN THE RIGHTS OF WAY

INCLUDING: STREETS, PARKS, ALLEYS, EASEMENTS AND WATERWAYS

Date of Issue 11/30 2005  
Expiration Date 12/30 2005  
Telephone 592-5300

Permission is hereby granted to Nicholas Kelly  
Address \_\_\_\_\_

Contractor License No. \_\_\_\_\_ Expires \_\_\_\_\_  
For DOCK & BOAT LIFTS  
at LOYO ARVIA PKWY

PROVIDED

1. Contractor must post permit at job site.
2. Must provide space for inspector's approval, rejection, or comments.
3. The work herein described and permitted is to be completed no later than the above expiration date.
4. All excavation, back filling, replacement of streets, parkways, etc. shall conform to the standard specifications of the Public Works Department or as otherwise directed by the Public Works Director. The applicant is held responsible for providing and maintaining in accordance with the latest edition of the MUTCD lights, danger signals, signs and other necessary precautions for preventing accidents or injuries to persons or properties in or about the work being permitted until streets, parkways, etc. are restored. The applicant shall be responsible for verifying the locations of all underground structures and utilities.
5. Underground installations allowed by the permit in the public right-of-way are subject to removal at owners' expense within 30 days upon written notice from the City of Coral Gables. Changes or alterations on the work approved under this permit shall not be made without written approval from the Public Works Director.
6. The applicant agrees to reimburse the City of Coral Gables within ten days of receipt of invoice for all costs, which may occur through this permit.
7. The applicant must be registered with the City of Coral Gables as a right-of-way contractor.
8. The applicant shall mark his proposed excavation with white paint, flags or buoys prior to calling for utility locations.
9. Acrylic paint may be used on asphalt earth and vegetation chalk paint must be used on all other surfaces. Applicant's responsible for damaged caused by the use of incorrect paint types.
10. No more than 1,000 feet of trench or boring may be done at any one time, unless approved in advance. Restoration must be completed within 20 days of completion of installation of the work.
11. The applicant shall not begin work until all materials, tools, labor and supervision necessary to complete the work are on site.
12. Contractor shall protect all drainage structures from the intrusion of foreign material. If foreign material is allowed to enter a drainage structure, the contractor shall be responsible for all costs associated with the clean up.
13. Applicant shall not be issued a permit for new work until all outstanding issues of previous permits, including restoration, have been resolved.
14. All restoration work shall be guaranteed for 36 months from acceptance of restoration.

RECEIPT is hereby acknowledged of the sum of \$ 320.00 Dollars  
001-329-820

I agree to the terms of the foregoing Permit and undertake to fully comply therewith. I certify that I am authorized to sign this permit in behalf of the applicant.

OK 11-07  
PRE-DOOR OK 9/10/07  
P.E. 6-3-07  
Signed \_\_\_\_\_  
Public Works Director  
City of Coral Gables  
OK R. Alberto  
DELSPAD  
FINAL 5-22-07

CONTRACTOR MUST NOTIFY SUNSHINE STATE ONE  
1-800-432-4770



# City of Coral Gables

## ONLINE SERVICES

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PW-08-04-0653

Applied	Approved	Issued	Final	Expires
04/10/2008	11/03/2008	11/03/2008	11/14/2012	04/03/2010

Type **COASTAL PERMIT**Status **final**

Permit Description

Permit Address **1100 ALFONSO AVE CORAL GABLES FL 33146-3210****NEW DOCK AND BOATLIFT DOCK AND  
MARINE PAID FOR BOND**Applicant **DOCK & MARINE CONSTRUCTION I** Owner **N**Owner **ROSENDO PALACIOS & W MARIA % PR**

Viewing

Permit

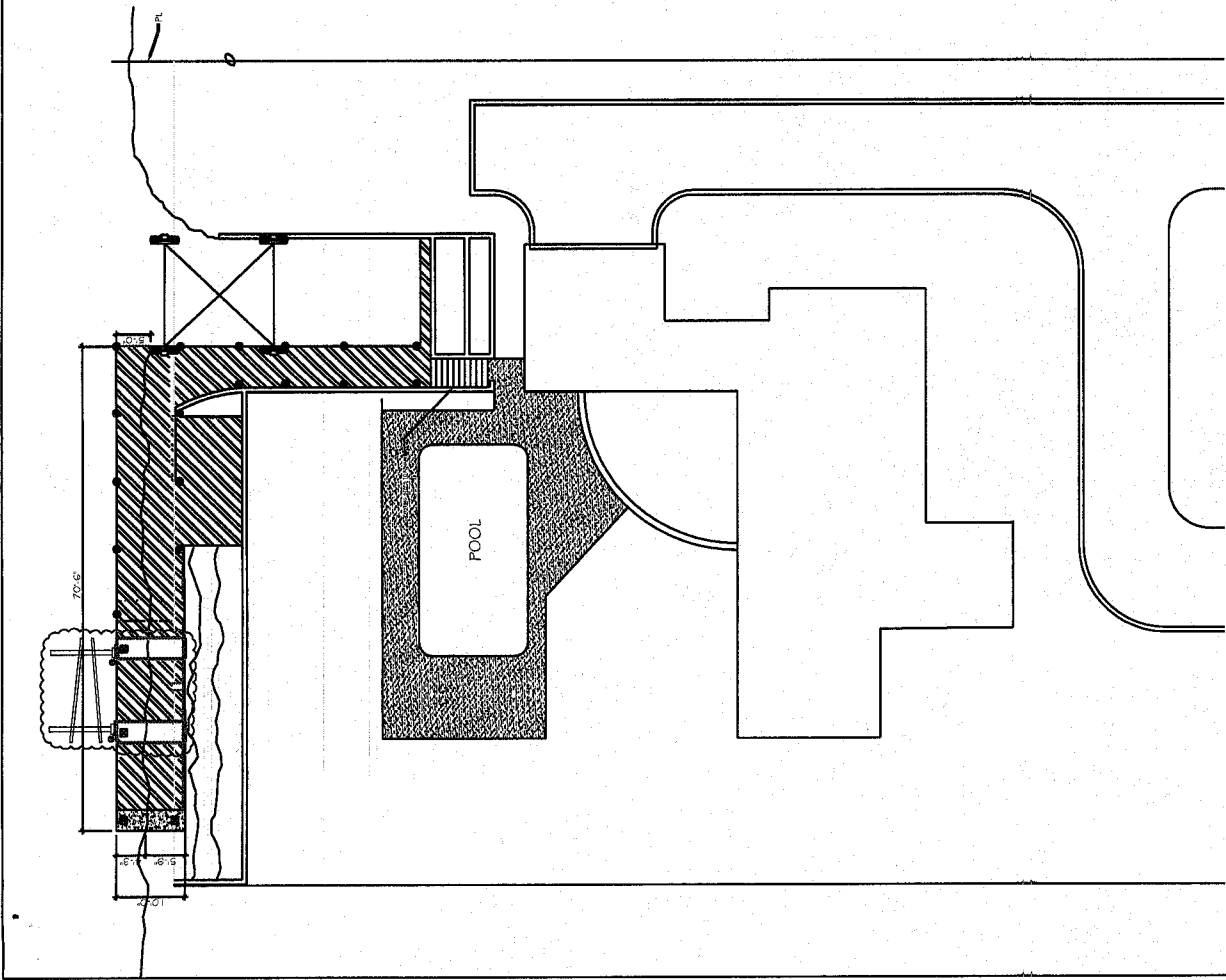
&lt;-- Select the information you would like to view.

Sub Permit #	Type	Address	Status
<a href="#">AB-07-12-0151</a>	BOA COMPLETE (LESS THAN \$75,000)	1100 ALFONSO AVE CORAL GABLES FL 33146-3210	final
<a href="#">EL-10-01-2601</a>	ELEC COMMERCIAL / RESIDENTIAL WORK	1100 ALFONSO AVE CORAL GABLES FL 33146-3210	final
<a href="#">RV-09-07-1771</a>	REVISION TO PERMIT	1100 ALFONSO AVE CORAL GABLES FL 33146-3210	final

### Details

LOCATION **SIGNED OUT**DATE OF LAST ROUTING **10/27/2008**ESTIMATED COST - BOA **20000**# OF PAGES OF  
DOCUMENTATION & **17**

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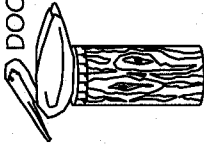


REVISIONS:

1. RELOCATION OF ONE ADDITIONAL LIFT FOUNDATION PILE CAP
2. ADDITION OF 10,000 POUND GOLDEN ELEVATOR LIFT

NOTE: THERE ARE NO STRUCTURAL CHANGES FROM ORIGINAL PERMITTED SET EXCEPT THE REMOVAL OF THE RAISED PORTION OF THE PILING CAP

SOLVER STRUCTURAL PARTNERSHIP, INC  
LICENSE #56902  
(305)-592-9396  
FAX (305)-592-9347  
7500 N.W. 25TH STREET  
SUITE 205  
MIAMI, FL 33122



DOCK AND MARINE CONSTRUCTION, INC  
752 NE 79TH STREET  
MIAMI, FL 33138  
305-751-9911  
F: 305-751-4825

GENERAL NOTES

STEEL  
1. ALL BOLTS SHALL BE TYPE 316 STAINLESS STEEL.

MISCELLANEOUS

1. FASTENERS EMBEDDED INTO CONCRETE STRUCTURE SHALL BE ANCHORED WITH TWO PARTY EPOXY ADHESIVE (FAM-1 CHEM-FAST CARTRIDGE SYSTEM OR EQUAL). ANCHOR HOLES SHALL BE DRILLED TO 1/8" GREATER THAN THE SPECIFIED FASTENER. HOLES SHALL BE DRILLED TO MINIMUM DEPTH SHOWN ON THE PLANS, AND SHALL BE THOROUGHLY CLEANED OUT AND DRY PRIOR TO INJECTION OF EPOXY.

GENERAL  
ELEVATIONS SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.

ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ENGINEER BEFORE PROCEEDING WITH WORK.

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APPLICABLE BUILDING CODE: FLORIDA BUILDING CODE, 2004 EDITION.

DESIGN LOADS

1. DOCK LL, 60 PSF
2. DOCK DL, 10 PSF

WOOD

1. PRIMARY WOOD FRAMING MEMBERS SHALL BE NO. 2 PRESSURE TREATED SOUTHERN PINE OR BETTER, (FB=1050 PSI MINIMUM).
2. ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD.
3. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH WORK.
4. IT IS THE INTENT OF THESE PLANS AND THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH LOCAL, STATE AND FEDERAL ENVIRONMENTAL PERMITS ISSUED FOR THIS PROJECT IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE AND GOVERN HIMSELF BY ALL PROVISIONS OF THESE PERMITS.
5. ALL HARDWARE TO BE HOT DIPED GALVANIZED

WOOD PILING

1. WOOD DOCK PILES SHALL BE 12" DIAM. PILES WITH 1/5 TONS MIN. BEARING CAPACITY DRIVEN TO A MINIMUM BEARING CAPACITY OF 1/5 TONS WITH 1/2" MIN. PENETRATION INTO FIRM MATERIAL BELOW SILT LAYER.

CONCRETE AND REINFORCING STEEL

1. ALL CONCRETE (EXCEPT PRECAST PILES) SHALL ATTAIN A MIN. COMPRESSIVE STRENGTH OF 5000 P.S.I. AT THE END OF 28 DAYS. FOUR (4) CONCRETE CYLINDERS SHALL BE TAKEN FOR EACH 50 CUBIC YARDS OR FRACTION THEREOF AND SHALL BE TESTED AT 3, 7 & 28 DAYS. SLUMP SHALL NOT EXCEED 4" (±1").
2. ALL REINFORCEMENT SHALL BE 60,000 P.S.I. MINIMUM YIELD NEW BILLET STEEL IN ACCORDANCE WITH ASTM A615 GRADE 60. ALL BAR LAPS SHALL BE A MINIMUM OF 36 BAR DIAMETERS. PLACING OF REINFORCEMENT SHALL CONFORM TO THE LATEST ACI CODE AND MANUAL OF STANDARD PRACTICE.
3. ALL CONCRETE SHALL BE PLACED WITHIN 90 MINUTES FROM BATCH TIME, AND VIBRATED AS REQUIRED BY THE ACI MANUAL OF CONCRETE PRACTICE. TEMPERATURE OF CONCRETE AT TIME OF PLACEMENT SHALL BE BETWEEN 75° AND 100° F.
4. ALL CONCRETE DECK SURFACES SHALL HAVE A LIGHT BROOM FINISH.
5. ALL EXPOSED CONCRETE EDGES SHALL BE CHAMFERED 3/4", OR AS SHOWN ON THE PLANS.

PRECAST CONCRETE PILING

1. PRECAST CONCRETE DOCK PILES SHALL BE 12" x 12" PILES W/5000 P.S.I. MIN. CONCRETE & 4-7/16" 270 K.S.I. ASTM A416 LOW-ALX STRANDS W/ 2 1/2" MIN. CONCRETE COVER TO TIES, DRIVEN TO A MINIMUM BEARING CAPACITY OF 25 TONS WITH 1/2" MIN. PENETRATION INTO FIRM MATERIAL BELOW SILT LAYER.
2. PILES SHALL BE CUT OFF ATR ELEVATIONS SHOWN ON THE PLANS & SECTIONS.

STEEL

1. ALL BOLTS SHALL BE TYPE 316 STAINLESS STEEL.

FOR:  
NEW DOCK  
AND LIFT  
PALACIOS RESIDENCE  
1100 ALFONSO AVE  
CORAL GABLES, FL

PAGE TITLE:  
SURVEY  
LOCATION MAP  
& NOTES

S-1

ORIGINAL DRAWN: 08/02/07

REVISIONS:

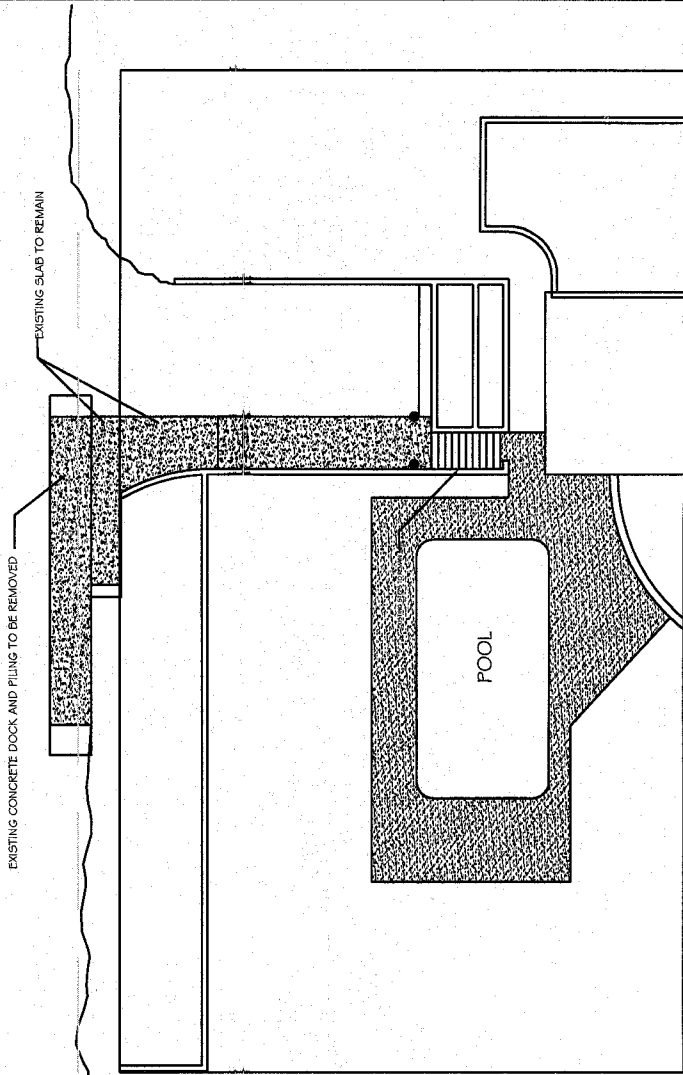
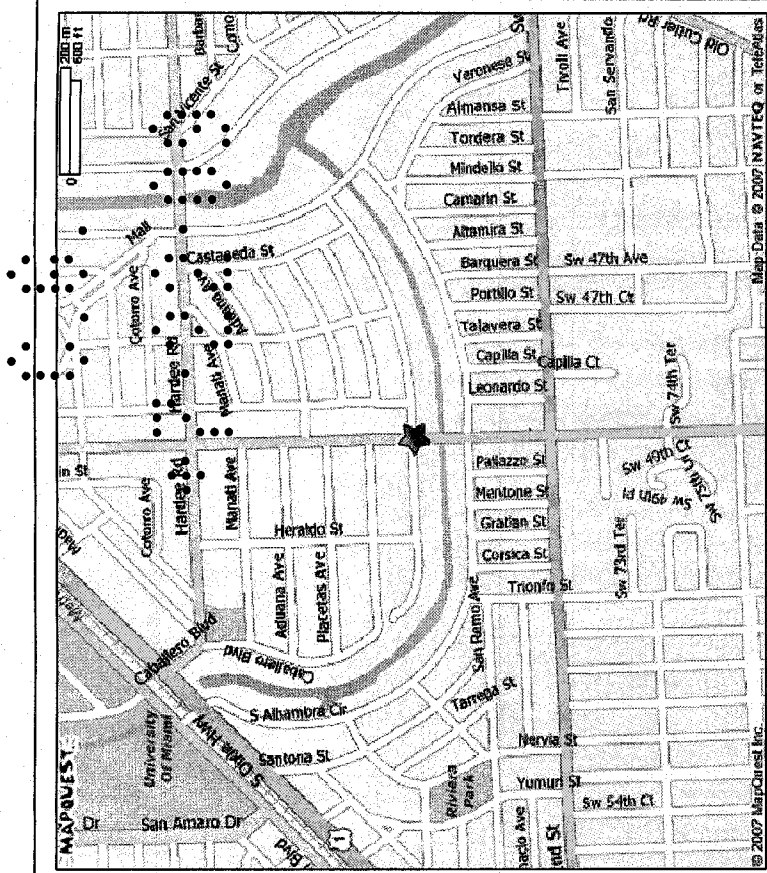
1. 6/9/2009  
2. 7/21/2009

DWG#:

DRAWN BY: ARL

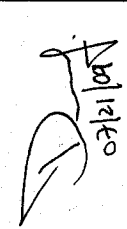
DENIS K. SOLANO  
P.E. LIC., #56902

PAGE #: 1 OF 9



EXISTING CONDITIONS

07/21/09  
A. Solano



SCALE:  $3/32 = 1''$

LEGEND:

WF-20      20" X 16" X CONT. REINF. W/  
2#5 CONT. & # 3 @ 40"  
TRANSV. REINF.

OVER WATER = 365'

<p>SOLVER STRUCTURAL PARTNERSHIP, INC LICENSE #56902 (305)-592-9396 FAX (305)-592-9347 7500 N.W. 25TH STREET SUITE 205 MIAMI, FL 33122</p>	<p>DOCK AND MARINE CONSTRUCTION, INC 752 NE 79TH STREET MIAMI, FL 33138 305-751-9911 F: 305-751-4825</p>	<p>FOR: NEW DOCK AND LIFT PALACIOS RESIDENCE 1100 ALFONSO AVE CORAL GABLES, FL</p>	<p>PAGE TITLE: LOWER DOCK PLAN  S-2</p>	<p>ORIGINAL DRAWN: 03/02/07  REVISIONS: 1. 6/9/2009 2. 7/21/2009</p>	<p>DWG#:  DRAWN BY: ARL</p>	<p>DENIS K. SOLANO P.E. LIC., #56902 PAGE #: 2 OF 9</p>
--	--	--	---	--	-------------------------------------	---



EXISTING POOL PATIO  
DECK TO REMAIN.

EXISTING SOIL  
TO BE REMOVED.

NEW 5/4" X 6" IPE DECKING  
ATTACHED W/ 2-3/12" 5.5  
SCREWS @ E.A. SUPPORT.  
10'-0"

TWO 3/4" WEDGE ANCHORS (BY  
SIMPSON) MIN EMBEDMENT  
6". MIN EDGE DISTANCE 3.5"

3" X 10" PT WOOD STRINGERS @ 16" o.c. (MAX)  
FASTENED TO 3" X 10" HEADER WITH 1 1/4" GALV. HURR.  
STRAPS (USP RT 1/6 STRAP, UPLIFT CAP. 905#,  
NOA: 01-09112.05) W/T 5-1/6d GALV. NAILS EA. END (TYP)  
(NOTCH AROUND LIFT AS NECESSARY)

TOP DOCK  
@ EL. +5'-3" N.G.V.D.  
ABOVE MML

3/4" @ 12" O.C. 55.  
WEDGE ANCHOR BOLTS.  
(4" EMB.)

3X8 PT WOOD LEDGER

20" X 16" X CONT. CONC.  
FOOTING REINF. W/ 2 #5 CONT.  
#3 @ 40" O.C.

MHW (NGVD) @ 1.75  
MLW (NGVD) @ -1.75

EXISTING CORAL ROCK.  
TO REMAIN.

NEW 12" X 12" PRECAST CONCRETE PILE AS PLAN  
(EXTENDED REINF. 15" MIN. INTO PILE CAP (TYP)).  
12" MIN. EMBEDMENT INTO FIRM MATERIAL.  
(25 TON CAP.)

MINIMUM KEY  
INTO ROCK

PROPOSED 10,000  
POUND GOLDEN LIFT

RECEIVED

JUN 18 2009

DERM  
ENVIRONMENTAL RESOURCES  
REGULATION DIVISION

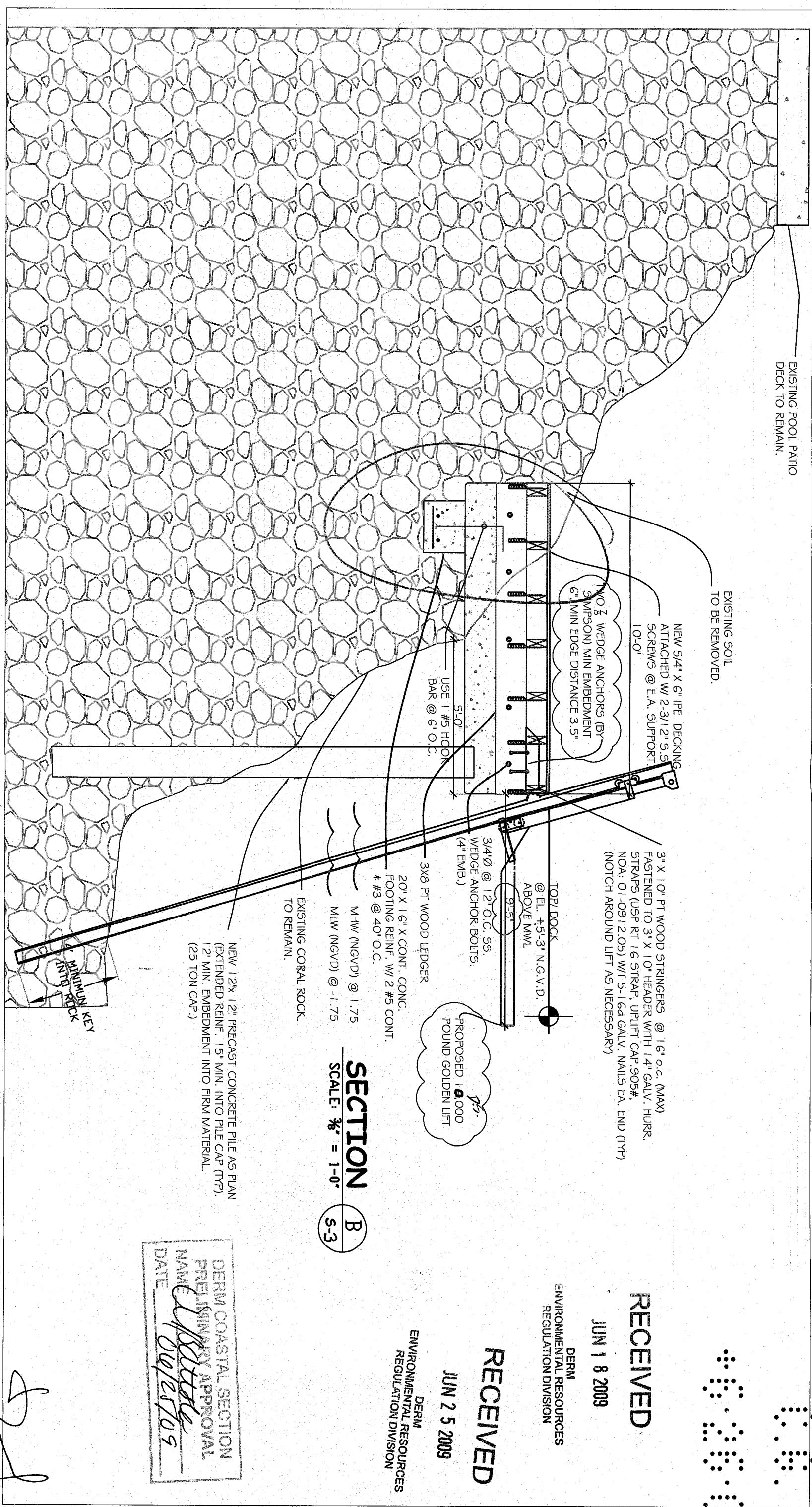
RECEIVED

JUN 25 2009

DERM  
ENVIRONMENTAL RESOURCES  
REGULATION DIVISION

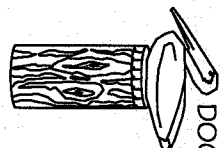
SECTION B  
SCALE: 3/8" = 1'-0"

DERM COASTAL SECTION  
PRELIMINARY APPROVAL  
NAME *E. Battista*  
DATE *06/25/09*



SOLVER STRUCTURAL PARTNERSHIP, INC

LICENSE #56902  
(305)-592-9396  
FAX (305)-592-9347  
7500 N.W. 25TH STREET  
SUITE 205  
MIAMI, FL 33122



DOCK AND MARINE CONSTRUCTION, INC

752 NE 79TH STREET  
MIAMI, FL 33138  
305-751-9911  
F: 305-751-4825

NEW DOCK  
AND  
LIFT

PALACIOS RESIDENCE  
1100 ALFONSO AVE  
CORAL GABLES, FL

PAGE TITLE:

REVISIONS  
SECTION  
5-3

ORIGINAL DRAWN: 05/25/07

REVISIONS:

1. 6/09/0  
2. \_\_\_\_\_

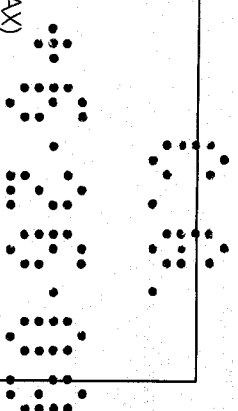
DWG#:

DRAWN BY: ARL

06/09/09

DENIS K. SOLANO  
P.E., LIC., #56902

PAGE NO. 3 OF 9



3" X 10" PT WOOD STRINGERS @ 16" o.c. (MAX)  
FASTENED TO 3" X 10" HEADER WITH 1/4" GALV. HURR.  
STRAPS (USP RT 1/6 STRAP, UPLIFT CAP.905#,  
NOA: 01-0912.05) W/ 5-1/6d GALV. NAILS EA. END (TYP)

NEW 5/4" X 6" IPE DECKING  
ATTACHED W/ 2-3/12" S.S.  
SCREWS @ E.A. SUPPORT.

REMOVED  
RAISED PORTION  
OF CAP

1#5 ADDITIONAL BAR.

TOP/ DOCK  
@ EL. +5'-3" N.G.V.D.  
ABOVE MWL

RECEIVED

JUN 2 5 2009

DERM  
ENVIRONMENTAL RESOURCES  
REGULATION DIVISION

3 X 8 PT WOOD  
LEDGERS. ATTACHED W/  
3" Ø @ 12" O.C. S.S. WEDGE ANCHOR  
BOLTS. (4" EMB.) (TYP.)

NEW 36" x 22" NEW CONC.  
PILE CAP AS PLAN REINF W/ 7 #6 TOP  
& BOTT.(HOOK TOP BARS 12")  
AND #3 TIES @ 6" (TYP.)

NEW 36" x 22" NEW CONC.  
PILE CAP AS PLAN REINF W/ 7 #6 TOP  
& BOTT.(HOOK TOP BARS 12")  
AND #3 TIES @ 6" (TYP.)

RECEIVED

JUN 1 8 2009

DERM  
ENVIRONMENTAL RESOURCES  
REGULATION DIVISION

NEW 12" x 12" PRECAST CONCRETE PILE  
AS PLAN (EXTENDED REINF. 15" MIN. INTO  
PILE CAP (TYP). 12' MIN. EMBEDMENT  
INTO FIRM MATERIAL.  
(25 TON CAP.)

4X12 PT WOOD  
HEADERS AS PLAN.

(2) -7/8" SS. THRU-BOLTS  
WITH WASHERS  
(TYP) FOR ALL PILES

NO CENTER PILING OR  
SITE PLAN. SHOWN FOR  
CONNECTION ONLY

6/12/09

NEW 12" Ø WOOD PILE. (TYP.)  
DRIVEN TO 15 TON CAP.  
(12' MIN INTO FIRM MATERIAL.)

NEW 12" x 12" PRECAST CONCRETE PILE AS PLAN  
(EXTENDED REINF. 15" MIN. INTO PILE CAP (TYP).  
12' MIN. EMBEDMENT INTO FIRM MATERIAL.  
(25 TON CAP.)

SECTION

C

SCALE: 3/8" = 1'-0"

S-5

DERM COASTAL SECTION  
PRELIMINARY APPROVAL  
NAME: *[Signature]*  
DATE: *06/12/09*

SOLVER STRUCTURAL PARTNERSHIP, INC

LICENSE #56902

(305)-592-9396

FAX (305)-592-9347

7500 N.W. 25TH STREET

SUITE 205

MIAMI, FL 33122

DOCK AND MARINE CONSTRUCTION, INC

752 NE 79TH STREET

MIAMI, FL 33138

305-751-9911

F: 305-751-4825

FOR: PAGE TITLE:

NEW DOCK

AND LIFT

PALACIOS RESIDENCE

1100 ALFONSO AVE

CORAL GABLES, FL

ORIGINAL DRAWN: 08/02/07

REVISIONS:

1. *6/11/2009*

2. \_\_\_\_\_

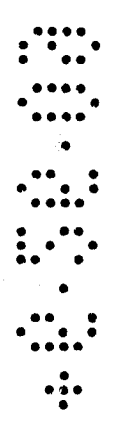
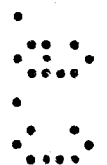
DWG#:

DRAWN BY: ARL

*06/09/09*

DENIS K. SOLANO  
P.E. LIC. #56902

PAGE #: 6 OF 9



B.O.A. #

AB 07 12 0151

Applic. #

RV09071771

Job

Description:

REV TO PERMIT

# OFFICE SET

APPROVAL OF THIS SET OF PLANS DOES NOT CONSTITUTE APPROVAL OF ANY STRUCTURE OR CONDITION NOT IN ACCORDANCE WITH CODE

Pursuant to the Florida Administrative Code Chapter 62-441, certain plan fees are required to use professional seal and signature. (BMP)

City of Coral Gables Building & Zoning Department		
Permit #: PW 08040653		
Address: 1100 ALFONSO AVE		
Section	By	Date
HISTORICAL		
BOARD OF ASSOCI		
BOARD OF ALPH	cam	30 JUN 09
CONCURREN		
ZONING		
PLUMBING		
MECHANICAL		
ELECTRICAL		
HANDICAP		
PERM		
BUILDING	ldf	7/6/09
STRUCTURAL	dmr	08/25/09
FIRE		
PUBLIC WORKS		
OWNER BUILDER		

cam 30 JUN 09 cam 27 JUL 09  
7-29-09 - R 7-7-09

ldf 7/6/09  
dmr 08/25/09  
8/27/09 2:11 PM  
Obtained from P. W. W. S.

Subject to other laws with all Federal, State, County and City rules and regulations. City assumes no responsibility for any delay or results from these plans. THIS COPY OF PLANS IS NOT BE AVAILABLE FOR OTHER USES. NO AMENDMENT WILL NOT BE MADE.







# CORAL GABLES WATERWAY

RECEIVED  
JAN 13 2017

DERM Coastal Resources Section  
Natural Resources Regulatory & Restoration  
Coral Gables, FL

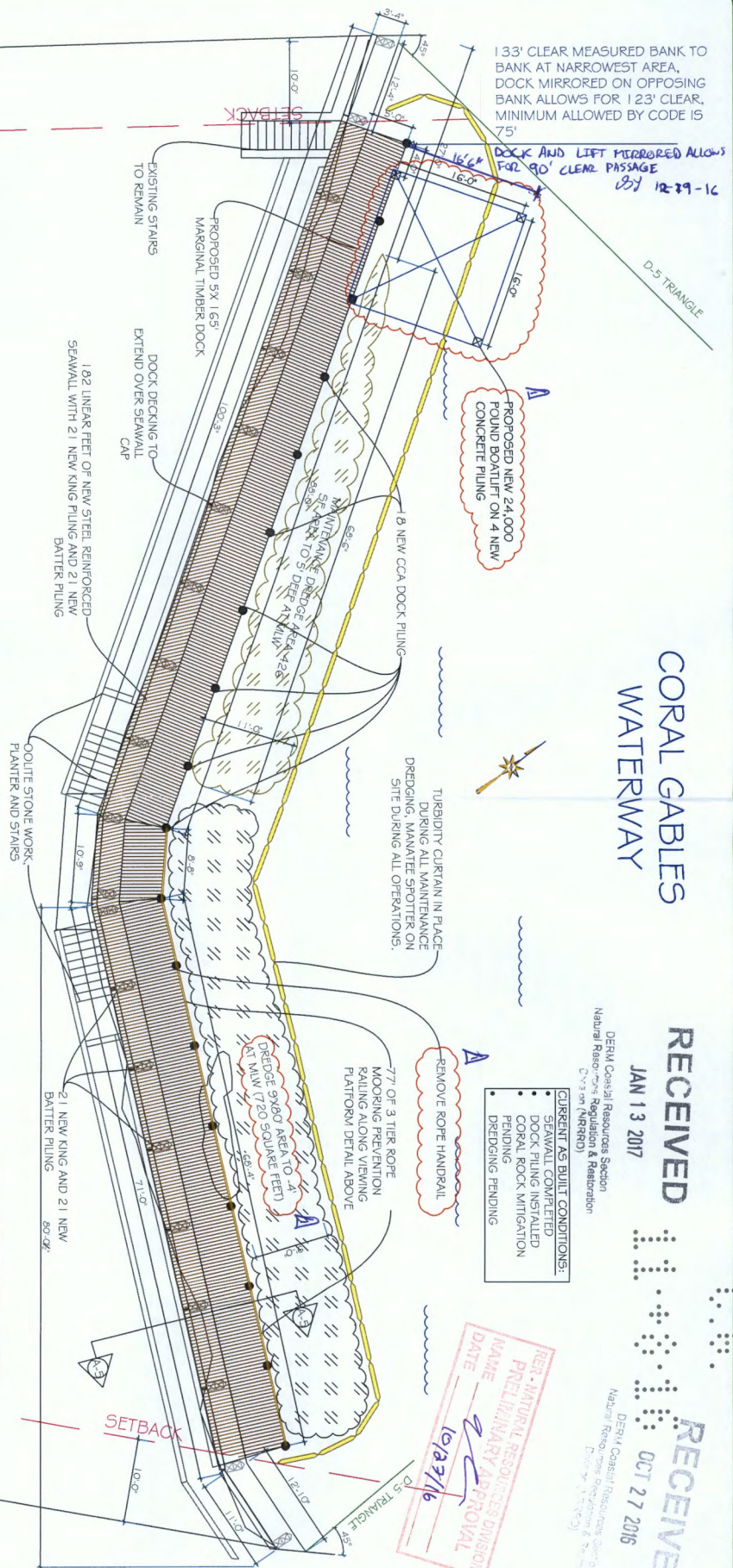


RECEIVED  
OCT 27 2016

DERM Coastal Resources Section  
Natural Resources Regulatory & Restoration  
Coral Gables, FL

- CURRENT AS BUILT CONDITIONS:
- SEAWALL COMPLETED
  - DOCK PILING INSTALLED
  - CORAL ROCK MITIGATION
  - PENDING
  - DREDGING PENDING

DERM - NATURAL RESOURCES DIVISION  
PRELIMINARY APPROVAL  
NAME: Michael J. Peralta  
DATE: 10/27/16



DERM - NATURAL RESOURCES DIVISION  
FINAL APPROVAL  
NAME: Michael J. Peralta  
DATE: 11/31/17

LEANDRO FERNANDEZ  
LEAF ENGINEERING  
C.A. 29777  
(786)390-7493  
leaf@leafengineering.net  
85 N.W. 86TH STREET  
MIAMI, FL 33150

DOCK AND MARINE  
CONSTRUCTION, CORP.  
752 NE 79TH STREET  
MIAMI, FL 33138  
F: 305-751-9911  
glason@dockandmarine.net  
www.dockandmarine.net

BOLDUC RESIDENCE:  
NEW SEAWALL AND DOCK  
AT  
6647 GRANADA BLVD.  
CORAL GABLES, FL

PAGE TITLE:  
PROPOSED LAYOUT

DATE: 9/21/16  
REVISIONS:  
1. 10-23-16  
2. \_\_\_\_\_

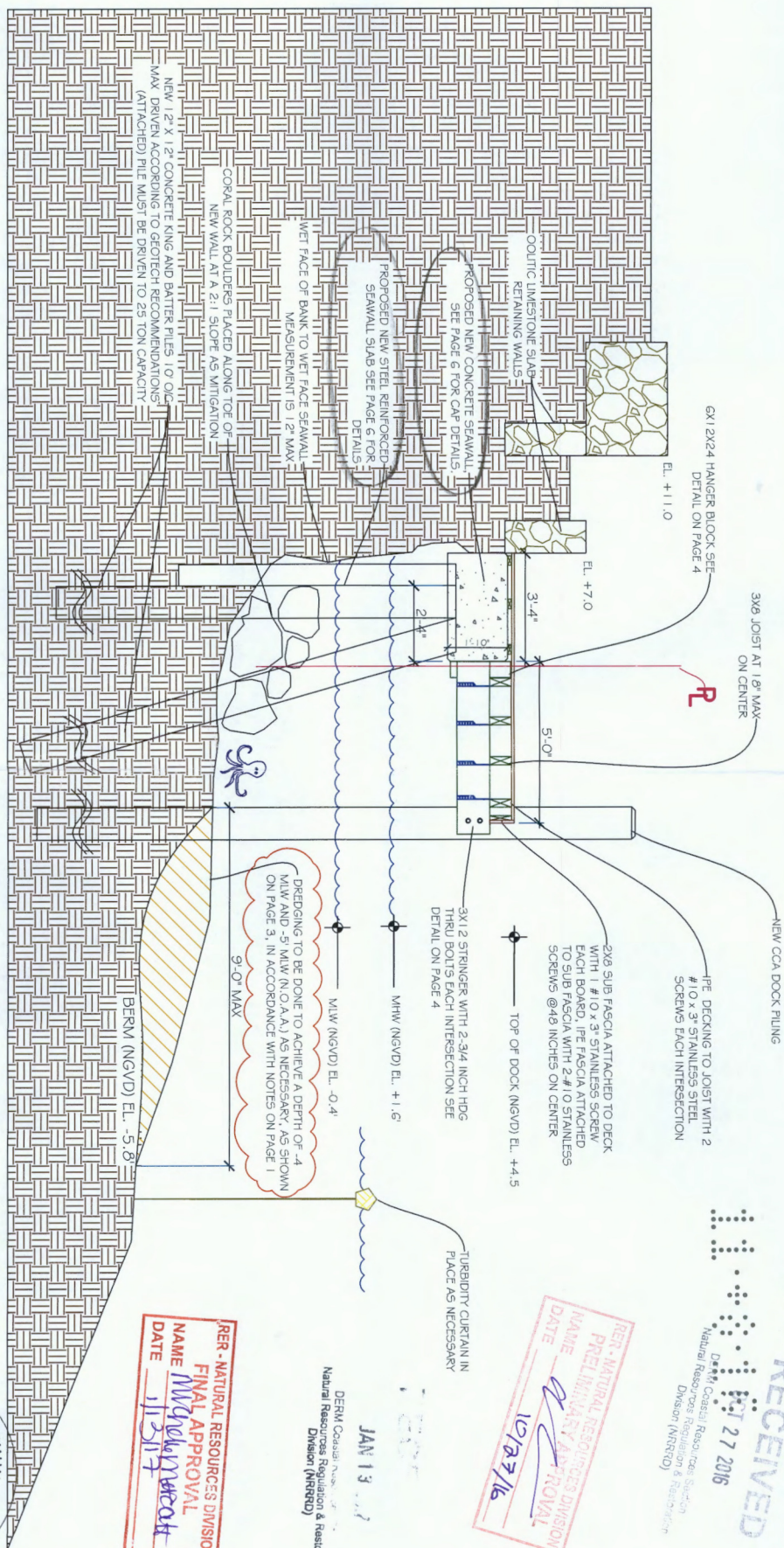
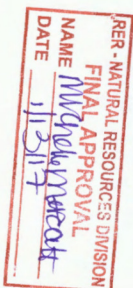
DWG#: 15-101  
DRAWN BY: GL  
PAGE 3 of 6







JAN 13 2016  
DEPT. Coastal Resources  
Natural Resources Regulation & Restoration  
Division (NRRD)



LEANDRO FERNANDEZ  
LEAF ENGINEERING  
C.A. 29777  
(786)390-7493  
leaf@leafengineering.net  
85 N.W. 86TH STREET  
MIAMI, FL 33150

DOCK AND MARINE  
CONSTRUCTION, CORP.  
752 NE 79TH STREET  
MIAMI, FL 33136  
F: 305-751-9911  
glanson@dockandmarine.net  
www.dockandmarine.net

BOLDUC RESIDENCE:  
NEW SEAWALL AND DOCK  
AT  
6847 GRANADA BLVD.  
CORAL GABLES, FL

PAGE TITLE:  
DOCK SECTION

DATE: 9/21/16  
REVISIONS:  
10-23-16

DWG#: 15-101  
DRAWN BY: GL  
PAGE 5 of 6





EXISTING HANDRAIL TO REMAIN

LIFT ON 4 NEW PRE-STRESSED CONCRETE PILING

MODIFICATION TO ADD LIFT TO PERMIT. DOCK AND SEAWALL IS UNDER PERMIT PW-15-5612

Best Management Practices (BMP) for construction and erosion control. BMPs shall be used to prevent sediment from entering the waterway. BMPs shall be installed and maintained throughout the construction process. BMPs shall be inspected and approved by the Florida Department of Environmental Protection (FDEP) before construction begins.

TOP OF LIFT PILING NOT TO EXCEED 14' ABOVE HIGH WATER AS PER CODE

MECHANICAL REFLECTORS ON ALL EXTERIORS OF LIFT AS PER CODE

TURBIDITY CURTAIN IN PLACE AS NECESSARY

4 NEW CONCRETE LIFT PILING, DRIVEN TO 25 TONS MIN BEARING CAPACITY

DERM Coastal Resources Section  
Division (NRRD)

JAN 13 2017

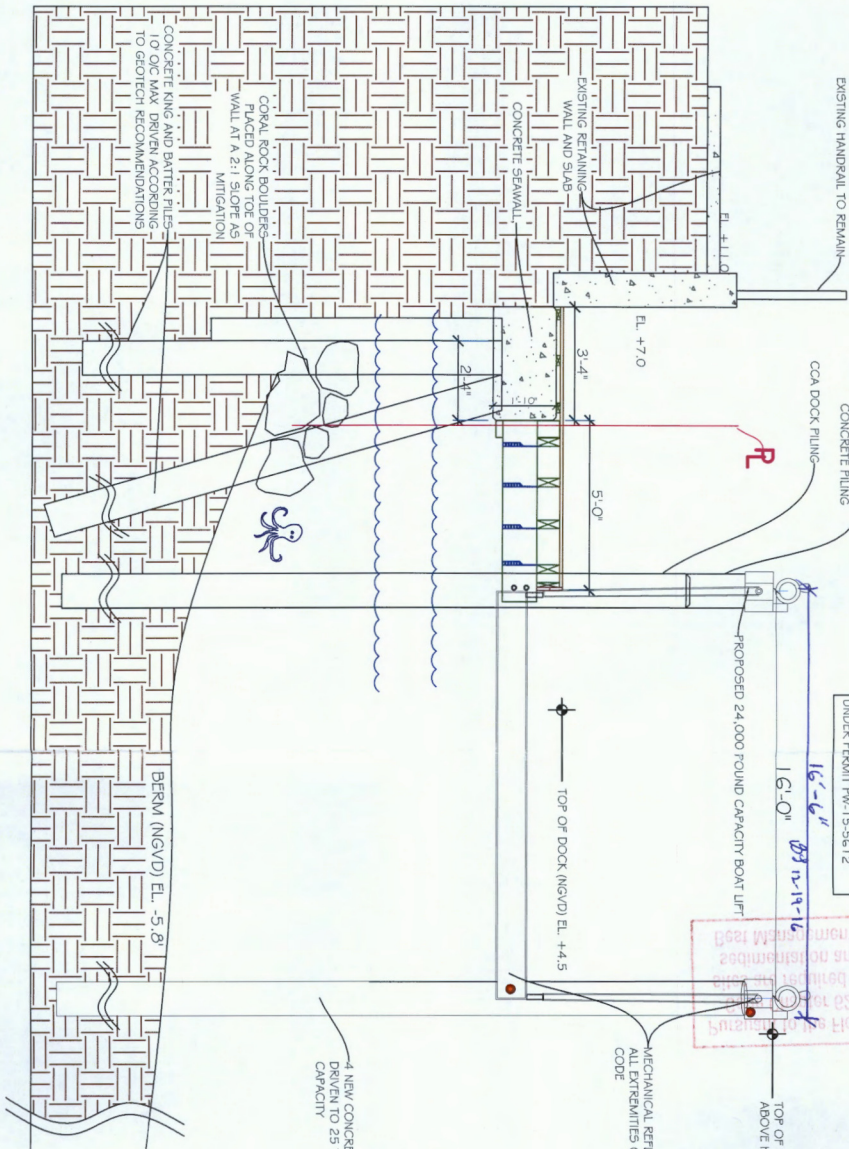
RECEIVED

DERM - NATURAL RESOURCES DIVISION  
FINAL APPROVAL  
NAME: *Ilwycyelle Maccart*  
DATE: *1/13/17*

DERM - NATURAL RESOURCES DIVISION  
PRELIMINARY APPROVAL  
NAME: *Ilwycyelle Maccart*  
DATE: *10/27/16*

DERM Coastal Resources Section  
Natural Resources Regulation & Restoration  
Division (NRRD)

RECEIVED  
OCT 27 2016



CONCRETE KING AND BATTER PILES TO BE PLACED ALONG TOP OF WALL AT A 2:1 SLOPE AS MITIGATION

CORAL ROCK BOLDUC PILES PLACED ALONG TOP OF WALL AT A 2:1 SLOPE AS MITIGATION

LEANDRO FERNANDEZ  
LEAF ENGINEERING  
C.A. 29777  
(786)390-7493  
leaf@leafengineering.net  
85 N.W. 86TH STREET  
MIAMI, FL 33150

DOCK AND MARINE  
CONSTRUCTION, CORP.  
752 NE 79TH STREET  
MIAMI, FL 33136  
F: 305-751-9911  
F: 305-751-4825  
glarson@dockandmarine.net  
www.dockandmarine.net

BOLDUC RESIDENCE:  
NEW SEAWALL AND DOCK  
AT  
6047 GRANADA BLVD.  
CORAL GABLES, FL

PAGE TITLE:  
LIFT SECTION

DATE: 9/21/16  
REVISIONS:  
*10-23-16*  
2.

DWG#: 15-101  
DRAWN BY: GL  
PAGE  
5 of 6





City of Coral Gables  
Development Services  
AB-15-04-5378  
6847 GRANADA BLVD



FINAL

Folio #: 03-4129-029-0020

Permit Description: \*RESIDENTIAL\*  
REVISION TO PERMIT PER PER  
DATE: 11/09/2016 NEW SEA WALL AND  
DOCK \$39500

Section	By	Date
<input type="checkbox"/> BOARD OF ARCH.		
<input type="checkbox"/> BOARD OF ARCH.		
<input type="checkbox"/> MED BONUS		
<input type="checkbox"/> MED BONUS		
<input checked="" type="checkbox"/> ADMIN APPROVAL	Dem B. New 16	

The Board of Architects is responsible for determining whether development applications satisfy the Design Review Standards set out in Article 5, Division 6 of the City of Coral Gables Zoning Code

Pursuant to the Florida Administrative Code Chapter 62-All construction sites are required to use appropriate sedimentation and erosion control Best Management Practices (BMP).

Pursuant to the Florida Administrative Code Chapter 62-All construction sites are required to use appropriate sedimentation and erosion control Best Management Practices (BMP)

Section	By	Date
BUILDING	W. J. H. H.	12/19/16
CONCURRENCY		
ELECTRICAL		
FEMA		
FIRE		
HANDICAP		
HISTORICAL		
MECHANICAL		
PLUMBING		
PUBLIC SERVICE		
PUBLIC WORKS		
STRUCTURAL		
ZONING		
OWNER BUILDER		

Subject to compliance with all Federal, State, County, and City rules and regulations. City assumes no responsibility for accuracy of results from these plans.

THIS COPY OF PLANS MUST BE AVAILABLE ON BUILDING SITE OR AN INSPECTION WILL NOT BE MADE.

APPROVAL OF THIS SET OF PLANS DOES NOT CONSTITUTE APPROVAL OF ANY STRUCTURE OR CONDITION NOT IN COMPLIANCE WITH ANY APPLICABLE CODES.

ALL AFFECTED CONSTRUCTION AREAS ARE REQUIRED TO INSTALL TREE PROTECTION MEASURES PURSUANT TO SEC. 82-32 OF THE CITY CODE OF CORAL GABLES. ALL REMOVAL AND RELOCATION OF TREES ON SITE AND ON PUBLIC PROPERTY REQUIRE A TREE PERMIT FROM THE PUBLIC SERVICES DEPARTMENT PURSUANT TO SEC. 82-31 OF

Master Permit # PW-15-04-561

City of Coral Gables  
Development Services



RV-16-11-7012  
6847 GRANADA BLVD #

Folio #: 03-4129-029-0020  
Permit Description: REVISION TO INCLUDE BOAT LIFT & DREDGING

EL  
ME  
PL

Special Inspector required for the following:  
☐ Special Inspector for PILING  
☐ Special Inspector for REINFORCED MASONRY  
☐ Special Inspector for

Note: Only the marked boxes apply.

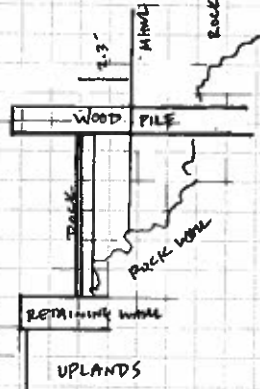
CLL-2014-0106 - BOLDUC - 6847 GRANADA BLVD, CORAL GABLES

04/29/2014 11:15 AM A. ALONSO, M. SINKOFF  
NOT IN WATER ESSENTIAL

# RESOURCES:

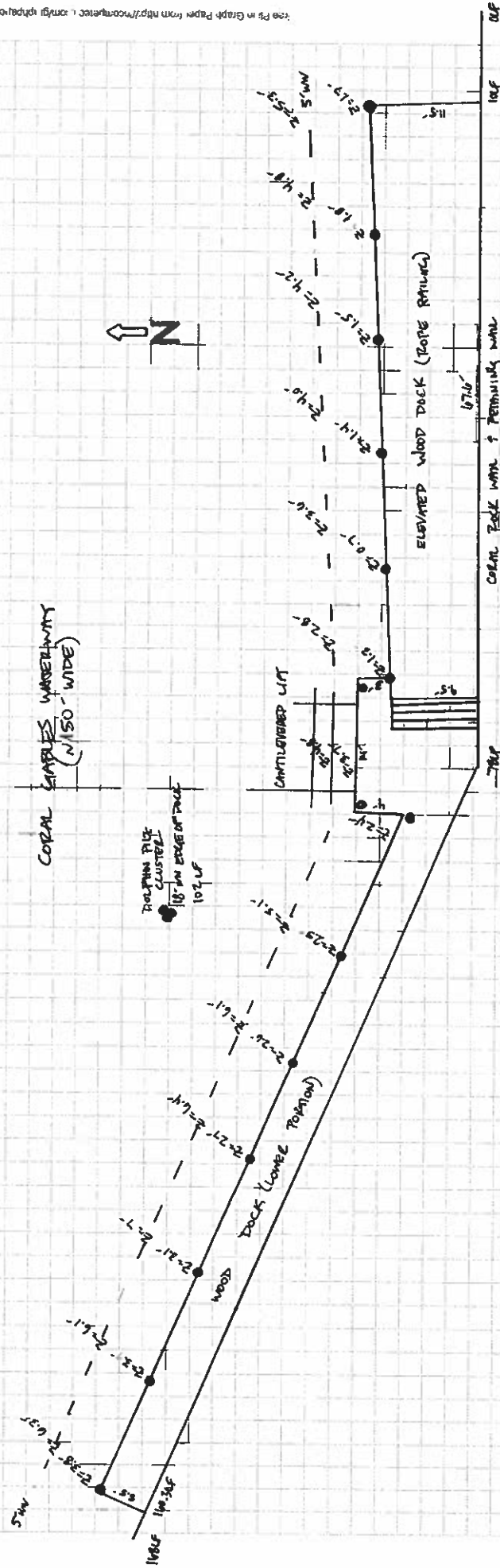
- Isopomoides (FLAT-TREE OYSTERS)
- Mugil curema (WHITE MULLET)

## SEAWALL CROSS SECTION:



## LEGEND:

- UP - LINE OF FEET
- W - LINE OF WATER LINE
- Z - WATER CH
- AL DEPTHS ADJUSTED 2.0' TO MEAN LOW WATER



6847 GRANADA BLVD.

NTS

1-May-2014

Miami Dade County, Florida  
Department of Permitting, Environment and Regulatory Affairs

CLI BIOLOGICAL ASSESSMENT

File ID: 2014-0430-0851-4009 Record Type: N SRC: OTP-CLI-20140106  
Facility ID: 2014-0404-0921-3538 Name: BOLDUC, JOHN  
Contact ID: 2014-0404-0918-1413 Name: JOHN BOLDUC  
Location ID: 1994-0816-1912-1823 6847 GRANADA BLVD  
Work Group Number: CLIBIO-20111166 Requested Date: 04/03/2014

GENERAL INFORMATION

Access To Site: Y [Yes, No]  
No Access Letter Date: -  
Inspection Conducted: Y [Yes, No]  
Inspection Date: 04/29/2014 11:15AM  
Project Manager: ALONSA  
Additional Personnel: M. SINNOTT  
Assessment Conducted In Water: N [Yes/No/Does Not Apply]  
Water Clarify: F [Good/Fair/Poor]  
Bottom Type: ROCKY  
Tidal Stage: MID [HIGH, MID, LOW]  
Water Depth Adjustment: 2.0  
Site Within Johnson's Critical Habitat: N [Yes/No/Does Not Apply]  
Site Within Essential Manatee Habitat: Y [Yes/No/Does Not Apply]  
Number of Existing Slips: 2  
Square Footage of Existing Dock: 0  
Square Footage of Proposed Dock: 0  
Number of Created Boat Slips: 0  
Existing Structures: ROCK WALL, DOCK, BOATLIFT AND DOLPHIN PILES

SEAGRASS

Seagrass Present at Site: D [Yes/No/Does Not Apply]  
Overall Density of Seagrass: SEE SKETCH  
Halophila Johnsonii: D [Yes/No/Does Not Apply]  
Halophila Decipiens: D [Yes/No/Does Not Apply]

Work Group Number: CLIBIO-20111166



Halophila Englemannii:  
Halodule Wrightii:  
Thalassia Testudinum:  
Syringodium Filiforme:

D [Yes/No/Does Not Apply]  
D [Yes/No/Does Not Apply]  
D [Yes/No/Does Not Apply]  
D [Yes/No/Does Not Apply]

#### MANGROVE

Mangrove Present:  
Average Height:  
Rhizophora Mangle (Red Mangrove):  
Avicennia Germinans (Black Mangrove):  
Laguncularia Racemosa (White Mangrove):  
Conocarpus Erectus (Green Buttonwood):

N [Yes/No/Does Not Apply]  
SEE SKETCH  
N [Yes/No/Does Not Apply]  
N [Yes/No/Does Not Apply]  
N [Yes/No/Does Not Apply]  
N [Yes/No/Does Not Apply]

#### OTHER SOURCES

Corals:  
Algae:  
Sponge:

D [Yes/No/Does Not Apply]  
D [Yes/No/Does Not Apply]  
D [Yes/No/Does Not Apply]

#### WORK OTHER SOURCES

Type of Work:  
Additional Type of Work:  
Dock:  
Seawall:  
Boatlift:  
Floating Vessek Platform:  
Davit:  
Mooring Piles:  
Mangrove Alteration:  
Mangrove Trimming:  
Filling Dredging of Tidal Waters:  
Filling Dredging of Wetlands:  
Seawall Cap and Batter Piles:  
Pillings:  
Other:  
Describe Other:  
Unauthorized Structures Present:  
Type Of UA Structures:  
Anticipated Impacts:

NEWC  
REPA  
Y [Yes/No/Does Not Apply]  
Y [Yes/No/Does Not Apply]  
N [Yes/No/Does Not Apply]  
N [Yes/No/Does Not Apply]  
N [Yes/No/Does Not Apply]  
N [Yes/No/Does Not Apply]  
N [Yes/No/Does Not Apply]  
N [Yes/No/Does Not Apply]  
N [Yes/No/Does Not Apply]  
N [Yes/No/Does Not Apply]  
N [Yes/No/Does Not Apply]  
N [Yes/No/Does Not Apply]  
N [Yes/No/Does Not Apply]  
Y [Yes/No/Does Not Apply]  
N [Yes/No/Does Not Apply]  
N [Yes/No/Does Not Apply]  
Y [Yes/No/Does Not Apply]  
N [Yes/No/Does Not Apply]  
N [Yes/No/Does Not Apply]

IMMEDIATE IMPACTS TO WATER QUALITY FROM INSTALLATION NO ADDITIONAL LONG TER

Recommendations:

Bio Assessment Fee:  
Bio Assessment Letter Issued:  
Bio Assessment Letter Date:

M IMPACTS ANTICIPATED

MITIGATE FOR OVERSIZE DOCK. RECCOMEND VIEWING PLATFORM IN SHALLOW AREA/

- [Yes/No/Does Not Apply]  
-  
-

## INCIDENT DATA

**PROPERTY**



# INCIDENT/INVESTIGATION REPORT

Coral Gables Police Department

Case # 17-005853

Status Codes L = Lost S = Stolen R = Recovered D = Damaged Z = Seized B = Burned C = Counterfeit / Forged F = Found						
UCR	Status	Quantity	Type Measure	Suspected Type	Up to 3 types of activity	
D R U G S						
Assisting Officers						

Suspect Hate / Bias Motivated: None (No Bias)

## INCIDENT/INVESTIGATION REPORT

Narr. (cont.) DCA: 17-005853

Coral Gables Police Department

### NARRATIVE

On Saturday, 08/19/2017, I responded to 6857 Granada Boulevard in reference to two stolen Jet Skis. Upon arrival, contact was made with Mr. Bolduc, Victim, who advised that at 07:07 hrs on this date, two white males were observed on video surveillance, on an unknown Jet Ski driving southbound in the Gables Waterway behind Mr. Bolduc's residence. As the unknown males arrive at the rear of Mr. Bolduc's residence, the males are observed exiting off the original Jet Ski they arrived on, tying one of Mr. Bolduc's brand new Jet Ski's to the original Jet Ski they arrived on, and one of the two males leaves the scene, back north with one of the two brand new Jet Ski's being towed by the original Jet Ski they arrived on.

The second male, somehow starts the second brand new Jet Ski Mr. Bolduc owns, and also flee's the scene back northbound in the waterway. Both of the brand new Jet Ski's were sitting untied and unlocked to a floating dock. Mr. Bolduc has video surveillance of the incident, but could not download it at the time of the report, but will have it available soon. Coral Gables Teletype Operator Dean (#9614) entered the Jet Ski's into FCIC/MCIC as stolen.

Note: Mr. Bolduc had both sets of keys to the Jet Ski's inside his house during the incident. The brand new Jet Ski's were purchased two weeks ago.

# Incident Report Related Vehicle List

Coral Gables Police Department

CCA: 17-005853

1	VehYr/Make/Model 2017 YAMA, Jet Ski		Style		Color BLU/WHI		Lic/Lis /Decal		Vin YAMA2454D717		
	IBR Status Stolen		Date 08/19/2017		Location 6857 GRANADA BLVD, CORAL GABLES FL						
	Condition EXCELLENT		Value \$12,000.00		Offense Code 0690		Jurisdiction Locally		State # B116859310		
	NIC # B690231560		Name (Last, First, Middle) Bolduc, John Paul		Also Known As		Home Address 6857 GRANADA BLVD CORAL GABLES, FL 33146 305-934-7879				
	Business Address										
	DOB.		Age 52		Race W		Sex M		Hgt 600		Wgt 190
Scars, Marks, Tattoos, or other distinguishing features											

Notes

2	VehYr/Make/Model 2017 YAMA, Jet Ski		Style		Color BLU/WHI		Lic/Lis /Decal		Vin YAMA0310E717		
	IBR Status Stolen		Date 08/19/2017		Location 6857 GRANADA BLVD, CORAL GABLES FL						
	Condition EXCELLENT		Value \$12,000.00		Offense Code 0690		Jurisdiction Locally		State # B116859314		
	NIC # B570227043		Name (Last, First, Middle) Bolduc, John Paul		Also Known As		Home Address 6857 GRANADA BLVD CORAL GABLES, FL 33146 305-934-7879				
	Business Address										
	DOB.		Age 52		Race W		Sex M		Hgt 600		Wgt 190
Scars, Marks, Tattoos, or other distinguishing features											

Notes



# Incident Report Related Property List

Coral Gables Police Department

OCA: 17-005853

<b>1</b> Property Description <b>FL DECAL 10443358</b>				Make		Model		Caliber	
Color	Serial No.		Value <b>\$50.00</b>		Qty <b>1.000</b>		Unit	Jurisdiction <b>Locally</b>	
Status <b>Stolen</b>	Date <b>08/19/2017</b>	NIC #		State #		Local #		OAN	
Name (Last, First, Middle) <b>Bolduc, John Paul</b>				DOB <b>09/21/1964</b>		Age <b>52</b>		Race <b>W</b>	Sex <b>M</b>

Notes

<b>3</b> Property Description <b>FL DECAL 10443573</b>				Make		Model		Caliber	
Color	Serial No.		Value <b>\$50.00</b>		Qty <b>1.000</b>		Unit	Jurisdiction <b>Locally</b>	
Status <b>Stolen</b>	Date <b>08/19/2017</b>	NIC #		State #		Local #		OAN	
Name (Last, First, Middle) <b>Bolduc, John Paul</b>				DOB <b>09/21/1964</b>		Age <b>52</b>		Race <b>W</b>	Sex <b>M</b>

Notes

<b>3</b> Property Description <b>FL TAG FL3670RK</b>				Make		Model		Caliber	
Color	Serial No.		Value <b>\$150.00</b>		Qty <b>1.000</b>		Unit	Jurisdiction <b>Locally</b>	
Status <b>Stolen</b>	Date <b>08/19/2017</b>	NIC #		State #		Local #		OAN	
Name (Last, First, Middle) <b>Bolduc, John Paul</b>				DOB <b>09/21/1964</b>		Age <b>52</b>		Race <b>W</b>	Sex <b>M</b>

Notes

<b>4</b> Property Description <b>FL TAG FL3666RK</b>				Make		Model		Caliber	
Color	Serial No.		Value <b>\$150.00</b>		Qty <b>1.000</b>		Unit	Jurisdiction <b>Locally</b>	
Status <b>Stolen</b>	Date <b>08/19/2017</b>	NIC #		State #		Local #		OAN	
Name (Last, First, Middle) <b>Bolduc, John Paul</b>				DOB <b>09/21/1964</b>		Age <b>52</b>		Race <b>W</b>	Sex <b>M</b>

Notes





**CITY OF CORAL GABLES  
LOBBYIST ANNUAL REGISTRATION APPLICATION  
FOR EACH PRINCIPAL REPRESENTED**

REGISTRATION #: \_\_\_\_\_

**HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?**

**CITY OFFICIALS:** Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager(s), Deputy/Assistant City Attorney(s), Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors Board, Committee Members, or any other City Official or staff.

**FOR THIS PURPOSE:** To encourage the approval, disapproval, adoption, repeal, passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of the City Commission, any Board, Committee or City Official.

**IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST:**

Print Your Name and Email Address: Glen Larson / glarson@dockandmarine.net  
LOBBYIST EMAIL ADDRESS

Print Your Business Name, if applicable: Dock and Marine Construction

Business Telephone Number: 305-751-9944

Business Address 752 NE 79th St Miami, FL 33138  
ADDRESS CITY, STATE ZIP CODE

Federal ID#: 61-1704697

State the extent of any business or professional relationship you have with any current member of the City Commission.

**PRINCIPAL REPRESENTED:**

NAME John Bolduc COMPANY NAME, IF APPLICABLE \_\_\_\_\_

BUSINESS ADDRESS 6847 Granada Coral Gables, FL TELEPHONE NO.: \_\_\_\_\_

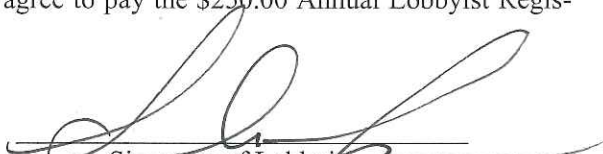
**ANNUAL REPORT:** On October 1st of each year, you are required to submit to the City Clerk a signed statement under oath listing all lobbying expenditures in excess of \$25.00 for the preceding calendar year. A statement is not required to be filed if there were no expenditures.

**LOBBYIST ISSUE APPLICATION:** Prior to lobbying for a specific issue, you are required to fill out a Lobbyist Issue Application form with the Office of the City Clerk; stating under oath, your name, business address, the name of each principal who employed you to lobby, and the specific issue on which you wish to lobby.

**NOTICE OF WITHDRAWAL:** If you discontinue representing a particular client, a notice of withdrawal is required to be filed with the City Clerk.

**ANNUAL LOBBYIST REGISTRATION FEE:** This Registration must be on file in the Office of the City Clerk prior to The filing of an Issue Application to lobby on a specific issue, and payment of a \$250.00 Lobbyist Registration Fee is required.

I Glen Larson hereby swear or affirm under penalty of perjury that I have read the provisions of the City of Coral Gables Ordinance 2006-11, governing Lobbying and that all of the facts contained in this Registration Application are true and that I agree to pay the \$250.00 Annual Lobbyist Registration Fee.

  
Signature of Lobbyist

STATE OF FLORIDA     )  
                                      )  
COUNTY OF MIAMI-     )  
DADE

BEFORE ME personally appeared Glen Larson to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said instrument for the purposes therein expressed.

WITNESS my Hand and Official Seal this 21<sup>st</sup> of Aug. 2019.

☒ Personally Known

☐ Produced ID

 Sharon Colman Schmidt  
Notary Public  
State of Florida  
NOTARY PUBLIC  
STATE OF FLORIDA  
Comm# GG233128  
Expires 6/28/2022

\$250.00 Fee Paid \_\_\_\_\_ Received By \_\_\_\_\_ Date: \_\_\_\_\_

Fee Waived for Not-for-Profit Organizations (documentary proof attached.) \_\_\_\_\_ FL. ID#: \_\_\_\_\_

**For Office Use Only**

Data Entry Date: \_\_\_\_\_, 20\_\_\_\_.

Entered By: \_\_\_\_\_





May 21, 2019

City of Coral Gables  
Building & Zoning  
427 Biltmore Way 3<sup>rd</sup> Floor  
Coral Gables, FL 33134

**RE: Property Owners List within 1,000 feet of:**

**LEGAL DESCRIPTION:**

Patterson Tract I, "CORAL GABLES RIVIERA SECTION, PART II RESUBDISION OF BLOCK 257", according to the Plat thereof, as recorded in Plat Book 46, at Page 45 of the Public Records of Miami-Dade County, Florida.

**LOCATION:** 6847 Granada Blvd., Coral Gables FL 33146

**FOLIO:** 03-4129-029-0020

**PREPARED FOR:** DOCK & MARINE CONSTRUCTION

**ORDER:** 190518

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**TOTAL NO. OF LABELS WITHOUT REPETITION: 195**

This is to certify that the attached ownership list, map and mailing matrix is a complete and accurate representation of the real estate property and property owners within the City of Coral Gables and 1,500 feet of the subject property listed above. This reflects the most current records on the file in Miami-Dade County Tax Assessor's Office.

Sincerely,

**THE ZONING SPECIALISTS GROUP, INC.**

  
**Jose F. Lopez, P.S.M. #3086**

7729 NW 146th Street • Miami Lakes, FL 33016  
Phone: 305 828-1210  
[www.thezoningspecialistsgroup.com](http://www.thezoningspecialistsgroup.com)

## OWNERS LIST

THE FOLLOWING ARE PROPERTY OWNERS WITHIN THE CITY OF CORAL GABLES AND WITHIN A 1,000-FOOT RADIUS OF THE FOLLOWING LEGALLY DESCRIBED PROPERTY:

### LEGAL DESCRIPTION:

Patterson Tract I, "CORAL GABLES RIVIERA SECTION, PART II RESUBDISION OF BLOCK 257", according to the Plat thereof, as recorded in Plat Book 46, at Page 45 of the Public Records of Miami-Dade County, Florida.

**LOCATION:** 6847 Granada Blvd., Coral Gables FL 33146

**FOLIO:** 03-4129-029-0020

**PREPARED FOR:** DOCK & MARINE CONSTRUCTION

**ORDER:** 190518

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C Gables Riviera Sec II Rev Pl Lots 1 & 2 & Lots 32-33 & 34 Blk 235 PB 28-23 Property address: 6800 Veronese St Folio number: 0341290280010	Thomas E Lauria 5132 Fisher Island Dr Miami Beach, FL 33109-0238
29 54 41 Coral Gables Riviera Sec 11 Rev Pl PB 28-23 Lots 3 & 4 Blk 235 Property address: 6810 Tordera St Folio number: 0341290280011	Hortensia M Trias 6810 Tordera St Coral Gables, FL 33146-3840
C Gables Riviera Sec 11 Rev Pl PB 28-23 Lots 5 & 6 Blk 235 Property address: 6820 Tordera St Folio number: 0341290280020	Jay M Spieler & W Lucie M B 6820 Tordera St Coral Gables, FL 33146-3840
C Gables Riviera Sec 11 Rev Pl PB 28-23 Lots 7 & 8 & 9 Blk 235 Property address: 6902 Tordera St Folio number: 0341290280030	Ricotec Enterprises LLC 8400 NW 25th St Ste 104 Miami, FL 33122-1530
29 54 41 Coral Gables Riviera Sec 11 Rev Pl PB 28-23 Lots 10 & 11 Blk 235 Property address: 6910 Tordera St Folio number: 0341290280040	Rafael J De La Sierra Trs 6910 Tordera St Coral Gables, FL 33146-3842
29 54 41 PB 28-23 Coral Gables Riviera Sec 11 Rev Pl Lot 12 & 13 Blk 235 Property address: 6922 Tordera St Folio number: 0341290280050	Enrique Pochat 6922 Tordera St Coral Gables, FL 33146-3842
C Gables Riviera Sec 11 Rev Pl PB 28-23 Lots 14 & 15 Blk 235 Property address: 6930 Tordera St Folio number: 0341290280060	Antonio E Rios & W Margarita Rios 6930 Tordera St Coral Gables, FL 33146-3842
29 54 41 Coral Gables Riviera Sec 11 Rev Pl PB 28-23 Lots 22 & 23 Blk 235  Property address: 6929 Mindello St Folio number: 0341290280090	Mauro Hernandez Le Josefina Alvarez Le Rem Mauro Luis Hernandez 6929 Mindello St Coral Gables, FL 33146-3829



29 54 41 Coral Gables Riviera Sec 11 Rev Pl PB 28-23 Lots 24 & 25 Blk 235 Property address: 6909 Mindello St Folio number: 0341290280100	Jeffrey S Bartel Catherine Bartel 6909 Mindello St Coral Gables, FL 33146-3829
C Gables Riviera Sec 11 Rev Pl PB 28-23 Lots 26 To 28 Inc Blk 235 Property address: 6901 Mindello St Folio number: 0341290280110	Ralph E Desens & W Eugenia Alvarez 6901 Mindello St Coral Gables, FL 33146-3829
29 54 41 Coral Gables Riviera Sec 11 Rev Pl PB 28-23 Lots 29 & 30 Blk 235  Property address: 6825 Mindello St Folio number: 0341290280120	Roberta Solomon Tr Harry M Solomon (Ben) 6825 Mindello St Coral Gables, FL 33146-3827
C Gables Riviera Sec 11 Rev Pl PB 28-23 Lots 31 & 32A Blk 235 Property address: 6815 Mindello St Folio number: 0341290280130	Edward Solano 6815 Mindello St Coral Gables, FL 33146-3827
29 54 41 PB 28-23 C Gables Riviera Sec 11 Rev Pl Lots 1-2 & 3 Less S6ftBlk 236 Property address: 6800 Almansa St Folio number: 0341290280150	Darrell Payne & W Deborah 6800 Almansa St Coral Gables, FL 33146-3808
C Gables Riviera Sec 11 Rev Pl Lots 4 & 5 & S6ft Lot 3 Blk 236 PB 28-23  Property address: 6822 Almansa St Folio number: 0341290280160	Heidi Gorrin Co Trs Alvaro Gorrin Co Trs Daniel Gorrin Co Trs 6822 Almansa St Coral Gables, FL 33146-3808
C Gables Riviera Sec 11 Rev Pl PB 28-23 Lots 6 & 7 Blk 236 Property address: 6912 Almansa St Folio number: 0341290280170	Carol Ann Kelly Anthony 6912 Almansa St Coral Gables, FL 33146-3810
C Gables Riviera Sec 11 Rev Pl PB 28-23 Lots 8 & 9 Blk 236 Property address: Folio number: 0341290280180	Confidential  ,
Coral Gables Riviera Sec 11 Rev Pl PB 28-23 Lot 10 & N1/2 Of Lot 11 Blk236 Property address: 6920 Almansa St Folio number: 0341290280190	Everett C Stonebraker Anne M Grealy 6920 Almansa St Coral Gables, FL 33146-3810
PB 28-23 Coral Gables Riviera Sec 11 Rev Lot 12 & S1/2 Of Lot 11 Blk 236 Property address: 6930 Almansa St Folio number: 0341290280191	Coral 39 LLC 7200 Los Pinos Blvd Coral Gables, FL 33143-6447
C Gables Riviera Sec 11 Rev Pl PB 28-23 Lots 13 Thru 18 Blk 236 Property address: 601 Sunset Dr Folio number: 0341290280200	Global Rental E And P LLC 3785 NW 82nd Ave Ste 203 Miami, FL 33166-6630
29 54 41 PB 28-23 C Gables Riviera Sec 11 Rev Pl Lots 19 To 21 Inc Blk 236 Property address: 6925 Tordera St Folio number: 0341290280201	Francois Morel Rosana Cubeddu 6925 Tordera St Coral Gables, FL 33146-3841

C Gables Riviera Sec 11 Rev PI PB 28-23 Lots 22 & 23 Blk 236 Property address: 6915 Tordera St Folio number: 0341290280210	Beth C Weitzner 6915 Tordera St Coral Gables, FL 33146-3841
C Gables Riviera Sec 11 Rev PI PB 28-23 Lots 24 & 25 Blk 236 Property address: 6909 Tordera St Folio number: 0341290280220	Martha N Dare 6909 Tordera St Coral Gables, FL 33146-3841
C Gables Riviera Sec 11 Rev PI PB 28-23 Lots 26 & 27 Blk 236 Property address: Folio number: 0341290280230	George Whiting Frances Whiting 8500 SW 84th Ave Miami, FL 33143-6910
C Gables Riviera Sec 11 Rev PI PB 28-23 Lots 28 & 29 Blk 236 Property address: 6815 Tordera St Folio number: 0341290280240	Rene Altamirano Badillo Maria C 6815 Tordera St Coral Gables, FL 33146-3839
29 54 41 Coral Gables Riviera Sec 11 Rev PI PB 28-23 Lots 30 & 31 Blk 236 Property address: 6830 Veronese St Folio number: 0341290280250	Chwan Ruey Lee & W Nora Lingling 6830 Veronese St Coral Gables, FL 33146-3848
C Gables Riviera Sec 11 Rev PI PB 28-23 Lot 1 Less N10ft Blk 237 Property address: 6900 Veronese St Folio number: 0341290280260	Gustavo Ortiz & W Fabiana Sanchez 6900 Veronese St Coral Gables, FL 33146-3846
29 54 41 Coral Gables Riviera Sec 11 Rev PI PB 28-23 Lot 2 Blk 237 Property address: 6904 Veronese St Folio number: 0341290280270	Alexis G Denis Roland Fernandez 6904 Veronese St Coral Gables, FL 33146-3846
29 54 41 Coral Gables Riviera Sec 11 Rev PI PB 28-23 Lot 3 Blk 237 Property address: 6908 Veronese St Folio number: 0341290280280	Jorge L Mendez & W Beatriz Calero 6910 Veronese St Coral Gables, FL 33146-3846
C Gables Riviera Sec 11 Rev PI PB 28-23 Lots 4 & 5 Blk 237 Property address: 6910 Veronese St Folio number: 0341290280290	Jorge L Menendez Beatriz Menendez 6910 Veronese St Coral Gables, FL 33146-3846
C Gables Riviera Sec 11 Rev PI PB 28-23 Lots 6 & 7 Blk 237 Property address: 6920 Veronese St Folio number: 0341290280300	Eibi Aizenstat & W Tami 6920 Veronese St Coral Gables, FL 33146-3846
C Gables Riviera Sec 11 Rev PI Lot 8 Less W50ft & All Lots 9 To 11 Inc Blk 237 PB 28-23 Property address: 533 Sunset Dr Folio number: 0341290280320	Ovidio J Viera & W Dulce M 533 Sunset Dr Coral Gables, FL 33143-6353
C Gables Riviera Sec 11 Rev PI PB 28-23 Lot 12 & E1/2 Of Lot 13 Blk 237 Property address: 545 Sunset Dr Folio number: 0341290280330	Roberto F Garcia 545 Sunset Dr Coral Gables, FL 33143-6353



C Gables Riviera Sec 11 Rev Pl W1/2 Of Lot 13 & All Lot 14 Blk 237 PB 28-23 Property address: 6945 Almansa St Folio number: 0341290280350	Manuel R Garcia Tunon Helin T Garcia Tunon 6945 Almansa St Coral Gables, FL 33146-3809
C Gables Riviera Sec 11 Rev Pl PB 28-23 Lot 15 & W50ft Of Lot 8 Blk 237 Property address: 6935 Almansa St Folio number: 0341290280360	Horacio Medal Ordonez Clementina Gay Segura 6935 Almansa St Coral Gables, FL 33146-3809
C Gables Riviera Sec 11 Rev Pl PB 28-23 Lots 16 & 17 Blk 237 Property address: 6925 Almansa St Folio number: 0341290280370	Luis I Fernandez Rocha Lisette Fernandez Rocha 6925 Almansa St Coral Gables, FL 33146-3809
C Gables Riviera Sec 11 Rev Pl PB 28-23 Lots 18 & 19 Blk 237 Property address: 6915 Almansa St Folio number: 0341290280380	Patricia S Davis 6915 Almansa St Coral Gables, FL 33146-3809
C Gables Riviera Sec 11 Rev Pl PB 28-23 Lots 20 & 21 Blk 237 Property address: 6905 Almansa St Folio number: 0341290280390	Thomas Curtis Woods & W A Sarah 6905 Almansa St Coral Gables, FL 33146-3809
29 54 41 Coral Gables Riviera Sec 11 Rev Pl PB 28-23 Lot 22 & S40ft Of Lot 23 Blk 237 Property address: 6901 Almansa St Folio number: 0341290280400	Gilda P Salazar Jorge E Salazar 6901 Almansa St Coral Gables, FL 33146-3809
29 54 41 PB 28-23 Cor Gables Riviera Sec 11 Rev Pl N10ft Lots 1 & 23 & All Lot 24 Blk 237 Property address: 6825 Almansa St Folio number: 0341290280410	Edward A Cabassa Barbara A Cabassa 6825 Almansa St Coral Gables, FL 33146-3807
Coral Gables Riviera Sec 11 Rev Pl PB 28-23 Lots 1 & 2 & 3 Blk 239 Property address: 6800 Granada Blvd Folio number: 0341290280430	Gilbert A Haddad & W Jacqueline G 6800 Granada Blvd Coral Gables, FL 33146-3824
29 54 41 Coral Gables Riviera Sec 11 Rev Pl PB 28-23 Lots 4 & 5 Blk 239 Property address: 6810 Granada Blvd Folio number: 0341290280440	Alexander A Mendez & W Maria M Mendez 8499 SW 114th St Miami, FL 33156-4330
C Gables Riviera Sec 11 Rev Pl PB 28-23 Lots 6 & 7 Blk 239 Property address: 6820 Granada Blvd Folio number: 0341290280450	Carmen N Valarezo 6820 Granada Blvd Coral Gables, FL 33146-3824
PB 28-23 C Gables Riviera Sec 11 Rev Pl Lots 8 & 9 Blk 239 Property address: 6840 Granada Blvd Folio number: 0341290280460	Peter M Rothenberg & W Evelyn 6840 Granada Blvd Coral Gables, FL 33146-3824

29 54 41 PB 28-23 C Gables Riviera Sec 11 Rev Pl Lots 10 & 11 Blk 239  
Property address: 6850 Granada Blvd  
Folio number: 0341290280480

George A Forns & W Angela R Sandoval  
6850 Granada Blvd  
Coral Gables, FL 33146-3824

C Gables Riviera Sec 11 Rev Pl PB 28-23 Lot 12 Blk 239  
Property address: 6858 Granada Blvd  
Folio number: 0341290280500

Mark W Edwards  
6858 Granada Blvd  
Coral Gables, FL 33146-3824

C Gables Riviera Sec 11 Rev Pl PB 28-23 Lot 13 Blk 239  
Property address: 6862 Granada Blvd  
Folio number: 0341290280510

Linda R Zwibel  
6862 Granada Blvd  
Coral Gables, FL 33146-3824

C Gables Riviera Sec 11 Rev Pl PB 28-23 Lots 14 & 15 Blk 239  
Property address: 6870 Granada Blvd  
Folio number: 0341290280520

Clare Eleanor Woodman  
6870 Granada Blvd  
Coral Gables, FL 33146-3824

29 54 41 PB 28-23 Cor Gables Riviera Sec 11 Rev Pl Lots 16-17 &  
Lots 44-45 Blk 239  
Property address: 6880 Granada Blvd  
Folio number: 0341290280540

R Harvey Sasso & W Jan A  
6880 Granada Blvd  
Coral Gables, FL 33146-3824

C Gables Riviera Sec 11 Rev Pl PB 28-23 Lots 18 & 19 Blk 239  
Property address: 6900 Granada Blvd  
Folio number: 0341290280560

Thomas Neal Vivianne A Wicker  
6900 Granada Blvd  
Coral Gables, FL 33146-3826

29 54 41 PB 28-23 Coral Gables Riviera Sec 11 Rev Pl Blk 239 Lots 20 & 21  
& Beg NE Cor Lot 22 S Alg E/L 25Ftsw 83 Deg For 125.81Ft To Pt On W/L  
N39.34Ft E125ft To POB  
Property address: 6910 Granada Blvd  
Folio number: 0341290280570

Manuel Reyes & W Elizabeth C Reyes  
6910 Granada Blvd  
Coral Gables, FL 33146-3826

29 54 41 PB 28-23 C Gables Riviera Sec 11 Rev Pl Lot 22 Less Beg NE Cor  
Lot 22 S Alg E/L 25Ft SW 83 Deg For 125.81Ft To Pt On W/L N39.34Ft E125ft  
To POB & All Lots 23 & 24 & N1/2 Of Lot 25 Blk 239  
Property address: 6930 Granada Blvd  
Folio number: 0341290280590

Ricardo J Vadia Alejandra Ayo Vadia  
6930 Granada Blvd  
Coral Gables, FL 33146-3826

Coral Gables Riviera Sec 11 PB 28-23 S25ft Of Lot 25 & All Lots 29 & 30  
Blk 239

Property address: 6940 Granada Blvd  
Folio number: 0341290280620

Smilka Melgoza Trs  
Smilka Melgoza Declaration Of Tr  
6940 Granada Blvd  
Coral Gables, FL 33146-3826

29 54 41 C Gab Riviera Sec 11 PB 28-23 Lots 33 & 34 Less Beg NW Cor  
Lot34 Ne100ft Se15.25ft Sw100.37ft Nw7.46ft To POB Blk 239  
Property address: 6945 Veronese St  
Folio number: 0341290280670

Susan G Dunn  
6945 Veronese St  
Coral Gables, FL 33146-3845



C Gab Riviera Sec 11 PB 28-23 Lot 35 & Beg NW Cor Lot 34 Ne100 Ft Se15.25Ft Sw100.37Ft Nw7.46Ft To POB Blk 239 Property address: 6935 Veronese St Folio number: 0341290280680	Faustino Gonzalez Jr & W Luisa 6935 Veronese St Coral Gables, FL 33146-3845
29 54 41 PB 28-23 Coral Gables Riviera Sec 11 Lots 36 & 37 Blk 239 Property address: 6925 Veronese St Folio number: 0341290280700	Maximo J Diaz & W Isabel M 6925 Veronese St Coral Gables, FL 33146-3845
Coral Gables Riviera Sec 11 PB 28-23 Lots 38 & 39 Blk 239 Property address: 6915 Veronese St Folio number: 0341290280710	Jose J Armas Ada G Armas 225 Arvida Pkwy Miami, FL 33156-2314
C Gables Riviera Sec 11 PB 28-23 Lots 40 & 41 Blk 239 Property address: 6909 Veronese St Folio number: 0341290280720	Francisco Rodriguez Carolina Macias 6909 Veronese St Coral Gables, FL 33146-3845
Coral Gables Riviera Sec 11 PB 28-23 Lot 42 Blk 239 Property address: Folio number: 0341290280730	Vivianne A Wicker 6900 Granada Blvd Coral Gables, FL 33146-3826
Coral Gables Riviera Sec 11 PB 28-23 Lot 43 Blk 239 Property address: Folio number: 0341290280740	Vivianne A Wicker 6900 Granada Blvd Coral Gables, FL 33146-3826
Coral Gables Riviera Sec 11 PB 28-23 Lot 46 Blk 239 Property address: 6881 Veronese St Folio number: 0341290280770	Carlos Javier Novoa Calderon 6881 Veronese St Coral Gables, FL 33146-3843
Coral Gables Riviera Sec 11 PB 28-23 Lot 47 Blk 239 Property address: 6877 Veronese St Folio number: 0341290280780	Andres Fernandez Ferrer & W Silvia 6877 Veronese St Coral Gables, FL 33146-3843
Coral Gables Riviera Sec 11 PB 28-23 Lot 48 Blk 239 Property address: 6865 Veronese St Folio number: 0341290280790	Sunil Agrawal Neha K Madhogaria 6865 Veronese St Coral Gables, FL 33146-3843
Coral Gables Riviera Sec 11 PB 28-23 Lot 49 Blk 239 Property address: 6855 Veronese St Folio number: 0341290280800	Oscar Echegaray Rosaura Echegaray 6855 Veronese St Coral Gables, FL 33146-3843
Coral Gables Riviera Sec 11 PB 28-23 Lots 50 & 51 Blk 239 Property address: 6845 Veronese St Folio number: 0341290280810	Bobato LLC C/O Steven E Varela PI 605 Lincoln Rd Ste 400 Miami Beach, FL 33139-2902
29 54 41 PB 28-23 Coral Gables Riviera Sec 11 Lots 52 & 53 Blk 239 Property address: 6841 Veronese St Folio number: 0341290280830	Norman A Moscovitz & W Jane W 6841 Veronese St Coral Gables, FL 33146-3843

29 54 41 PB 28-23 Coral Gables Riviera Sec 11 Lots 54 & 55 Blk 239 Property address: 6833 Veronese St Folio number: 0341290280840	Maurice Habif Ava Habif 6833 Veronese St Coral Gables, FL 33146-3843
PB 28-23 Coral Gables Riviera Sec 11 Lots 59 & 60 Blk 239 Property address: 6829 Veronese St Folio number: 0341290280850	Enrique A Conde Anette M Conde 6829 Veronese St Coral Gables, FL 33146-3843
PB 28-23 Coral Gables Riviera Sec 11 Lots 61 & 62 Blk 239 Property address: 6825 Veronese St Folio number: 0341290280851	Jose Adolfo Green Trs 6825 Veronese St Coral Gables, FL 33146-3843
Coral Gables Riviera Sec 11 PB 28-23 Lots 63 & 64 Blk 239 Property address: 702 Alhambra Cir S Folio number: 0341290280860	Mark D Brown & W Josefina R 702 S Alhambra Cir Coral Gables, FL 33146-3802
Coral Gables Riviera Sec 11 PB 28-23 Lot 4 & Nw1/2 Lot 5 And Pt Of Undug W/W Lyg Adj Thereto Blk 257 1 Property address: 6218 Riviera Dr Folio number: 0341290280890	R Stuart Huff 6218 Riviera Dr Coral Gables, FL 33146-3521
Coral Gables Riviera Sec 11 PB 28-23 Lot 6 & Se1/2 Lot 5 & All Lot 7 And Pt Of Undug W/W Lyg Adj Thereto Blk 257 Property address: 6300 Riviera Dr Folio number: 0341290280900	Souheil Skaf & W Jacqueline 6300 Riviera Dr Coral Gables, FL 33146-3523
Coral Gables Riviera Sec 11 PB 28-23 Lots 8 Thru 11 & Pt Of Undug W/W LyG Adj Thereto Blk 257 Property address: 6312 Riviera Dr Folio number: 0341290280920	Rene A Garcia 6312 Riviera Dr Coral Gables, FL 33146-3523
C Gables Riviera Sec 11 PB 28-23 Lots 12 & 13 Blk 257 Property address: 6340 Riviera Dr Folio number: 0341290280930	Rolando Silva & W Irene 6340 Riviera Dr Coral Gables, FL 33146-3523
C Gables Riviera Sec 11 PB 28-23 Lots 14 & 15 Blk 257  Property address: 6400 Riviera Dr Folio number: 0341290280931	Antonio C Pinera Trs Pinera 2018 Joint Revocable Tr Silvia E Pinera Trs 6400 Riviera Dr Coral Gables, FL 33146-3525
29 54 41 PB 28-23 Coral Gables Riviera Sec 11 Lots 16 & 17 & Rip Rts Blk257 Property address: 6410 Riviera Dr Folio number: 0341290280940	Fernando Espinosa Elizabeth Espinosa 6410 Riviera Dr Coral Gables, FL 33146-3525
Coral Gables Riviera Sec 11 PB 28-23 Lots 18 & 19 Rip Rts Blk 257 Property address: 6500 Riviera Dr Folio number: 0341290280960	Riviera Trust Inigo Domenech 6500 Riviera Dr Coral Gables, FL 33146-3527



Coral Gables Riviera Sec Pt 11 Lot 20 & Pt Lot 21 PB 28-23 Beg NEly Cor  
Lot 21 Sely32.86Ft Swly159ft M/L NWly Alg W/W 33.5Ft Nely159ft To  
POB & Rip Rts Blk 257  
Property address: 6510 Riviera Dr  
Folio number: 0341290280970

Jose J Moreiras & W Anamarie G  
6510 Riviera Dr  
Coral Gables, FL 33146-3527

Coral Gables Riviera Sec Pt 11 PB 28-23 Lot 21 Less Beg NEly Cor Sely32.86Ft  
Swly159ft M/L NWly33.5Ft Nely159ft To POB & NWly30ft Aurelia Avenue  
Lyg SEly & Adj & Rip Rts Blk 257

Leonor R Cacicedo Trs  
Leonor R Cacicedo Revoc Lvg Tr  
6520 Riviera Dr  
Coral Gables, FL 33146-3527

29 54 41 C Gables Riv Sec 11 PB 28-23 Sely1/2 Of Aurela Ave Lyg Bet Lots21  
& 22 & Lot 22 & NWly10ft Lot 23 Blk 257  
Property address: 6600 Riviera Dr  
Folio number: 0341290280990

Jorge L Benitez & W Mary D  
6600 Riviera Dr  
Coral Gables, FL 33146-3529

29 54 41 C Gables Riv Sec 11 PB 28-23 Lot 23 Less NWly10ft & Lot 24 Less  
Sely25ft Blk 257 & Port Of Undug W/W Adj  
Property address: 6636 Riviera Dr  
Folio number: 0341290280991

Evelyn Azel  
6636 Riviera Dr  
Coral Gables, FL 33146-3529

29 54 41 C Gables Riviera Sec 11 PB 28-23 Sely25ft Lot 24 & All Lot 25 &  
Lot 26 Less Se45ft Blk 257

Property address: 6670 Riviera Dr  
Folio number: 0341290281000

Robert W Rust  
C/O Register & Company Pa  
1430 S Dixie Hwy Ste 315  
Coral Gables, FL 33146-3174

29 54 41 C Gables Riviera Sec 11 PB 28-23 Lot 27 & Se45ft Lot 26 &  
Abutting Unexcavated Land To C/L Of Canal Blk 257  
Property address: 6700 Riviera Dr  
Folio number: 0341290281010

Aida Lazzarin  
6700 Riviera Dr  
Coral Gables, FL 33146-3531

Coral Gables Riviera Sec 11 PB 28-23 Lots 28-29 & 30 Blk 257  
Property address: 6800 Riviera Dr  
Folio number: 0341290281020

Ignacio J Quirch Aurelia T Quirch  
6800 Riviera Dr  
Coral Gables, FL 33146-3533

Coral Gables Riviera Sec 11 Lots 31 & 32 PB 28-23 Blk 257  
Property address: 6810 Riviera Dr  
Folio number: 0341290281030

Toby Lerner Ansin  
6810 Riviera Dr  
Coral Gables, FL 33146-3533

29 54 41 PB 28-23 Coral Gables Riviera Sec 11 NWly150ft Lots 33 & 34 &  
Park Adj Same Blk 257

Property address: 6820 Riviera Dr  
Folio number: 0341290281060

Pedro Negron Mendez  
Claudia De Antoniis Polidori  
6820 Riviera Dr  
Coral Gables, FL 33146-3533

C Gables Riviera Sec 11 PB 28-23 Beg At A Pt At Most Nly Cor Lot 35 Blk257  
SWly At An/A Of 36 Deg 45Ft With The Wly/L Of Sd Lot 35 139.09Ft ToA Pt  
On The Nly/L Granada Blvd Located A Dis Of 4.9Ft NWly Of SWly Cor LOT 36  
Blk 257 NWly Alg Nly/L Of Granada Blvd A Dist Arc Of 261.33Ft LocaTed 40.72Ft  
NW Of SEly Cor Lot 40 Blk 257 Nely231.9Ft To A Pt On Sly OrSWly Bk C G  
Waterway Run In A General SEly Dir Meandering Sly Or SWly BkOf Sd  
Waterway 204Ft M/L To A Pt Located NEly Of POB Swly106.38 Ft M/LTo  
POB Together With Rip Rts To C/L Of C G Waterway

Property address: 6945 Granada Blvd  
Folio number: 0341290281070

6945 Granada LLC  
C/O Dominic De La Rosa Cpa  
267 Minorca Ave  
Coral Gables, FL 33134-4442

C Gables Riviera Sec 11 PB 28 23 NWly 35Ft Lot 40 All Lots 41 To 43 & S1/2  
Lot 44 & Area Marked Pk Adj Same & Rip Rts To C/L C Gab W/Way Blk 257

Property address: 6915 Granada Blvd  
Folio number: 0341290281080

6915 Granada Land Trust John W  
Chidsey Elizabeth R Chidsey  
6915 Granada Blvd  
Coral Gables, FL 33146-3825

C Gables Riv Sec 11 Rev PB 28-23 Lots 45 & 46 & Rip Rts To C/L Of C G  
WaTerway Also Beg At Most Sly Cor Lot 44 Run NWly Alg A Cir Curve Said  
CurVe Being The Ely Bdry Line Of Granada Blvd For 34.14Ft To POB Of Land &  
Sub Area Herein Desc Th Alg Sd Curve 40.86Ft To Most Wly Cor Lot 44 NEly  
Alg Nly Bdry Lot 44 & The Prol Ely Thereof 215Ft To C/L Of C G WaterwayIn  
A SEly Dir Alg Sd C/L Of Waterway 44.19Ft Th SWly Dir 220Ft To POB ALso  
All Land Lying Bet The Ely Lot/L Lot 44 & C G Wwy PB 28-23

Property address: 6901 Granada Blvd  
Folio number: 0341290281100

Moshe I Meidar Margalit Meidar  
6901 Granada Blvd  
Coral Gables, FL 33146-3825

29 54 41 C Gables Riv Sec 11 PB 28-23 Lots 47 & 48 & Submerged Land Lyg  
Ely & NEly Of Same To C/L Of C G R/Way Blk 257

Property address: 6875 Granada Blvd  
Folio number: 0341290281110

Mauro Nannini & W Claudine  
6875 Granada Blvd  
Coral Gables, FL 33146-3823

Coral Gables Riviera Sec 11 PB 28-23 Lots 49 & 50 Blk 257

Property address: 6867 Granada Blvd  
Folio number: 0341290281120

George M Wilson & Jane Wilson Trs  
6867 Granada Blvd  
Coral Gables, FL 33146-3823

C G Riviera Sec 11 PB 28-23 Beg At A Pt Of X Of Arc Forming NWly Side  
LoT 50 Etc Blk 257 Per Db 3022-260

Property address: 6857 Granada Blvd  
Folio number: 0341290281130

John Paul Bolduc & W Stacy L B  
6857 Granada Blvd  
Coral Gables, FL 33146-3823

C Gables Riviera Sec 11 PB 28-23 Lot 65 & Lot 64 Blk 257 & Tr Of Land LyG  
Bet Ely Lot Lines & C Gables Waterway Per Or 9097 1602

Property address: 6507 Granada Blvd  
Folio number: 0341290281140

George R Johnnides (Trust)  
George R & Sharon Johnnides Trs  
6507 Granada Blvd  
Coral Gables, FL 33146-3428



<p>Coral Gables Riviera Section 11 Rev PB 28-23 Lots 5 &amp; 6 Blk 258  Property address: 6212 San Vicente St  Folio number: 0341290281210</p>	<p>Stephen I Yaeger  6212 San Vicente St  Coral Gables, FL 33146-3535</p>
<p>Coral Gables Riviera Section 11 Rev PB 28-23 Lots 7-8 &amp; N20.76Ft  Lot 9 Blk 258  Property address: 6304 San Vicente St  Folio number: 0341290281220</p>	<p>Robert Weinberg &amp; W Mary C  6304 San Vicente St  Coral Gables, FL 33146-3537</p>
<p>29 54 41 C Gables Riviera Sec 11 PB 28-23 Lot 10 &amp; N25.86Ft Lot 11 &amp;  S 29.24Ft Lot 9 Blk 258  Property address: 6310 San Vicente St  Folio number: 0341290281230</p>	<p>Umran Demirors &amp; W Mei Ling  6310 San Vicente St  Coral Gables, FL 33146-3537</p>
<p>Coral Gables Riviera Section 11 Rev PB 28-23 S24ft Lot 11 Lot 12 &amp; N31ft  Lot 13 Blk 258  Property address: 6320 San Vicente St  Folio number: 0341290281240</p>	<p>Myriam C Ribenboim  6320 San Vicente St  Coral Gables, FL 33146-3537</p>
<p>C Gab Riviera Sec 11 Rev PB 28-2 Lot 14 &amp; Sely18.78Ft Lot 13 &amp; Lot 15 LeSs  Triangular Portion Having Apex On San Vincente &amp; Base 13.71Ft On SlyLine  Blk 258  Property address: 6328 San Vicente St  Folio number: 0341290281250</p>	<p>Andres Rivero  6328 San Vicente St  Coral Gables, FL 33146-3537</p>
<p>C Gab Riviera Sec 11 Rev PB 28-23 Lot 16 &amp; Triangular Port Lot 15 Having  Apex On San Vincente &amp; Base 13.71Ft On Sly Line &amp; All Lot 17 Blk 258  Property address: 6340 San Vicente St  Folio number: 0341290281260</p>	<p>Carlos E Jimenez &amp; W Erika Hughes  6340 San Vicente St  Coral Gables, FL 33146-3537</p>
<p>Coral Gables Riviera Section 11 Rev PB 28-23 Lots 18 &amp; 19 Blk 258  Property address: 6345 Riviera Dr  Folio number: 0341290281270</p>	<p>6345 Riviera LLC  395 Alhambra Cir Ste 301  Coral Gables, FL 33134-5083</p>
<p>Coral Gables Riviera Section 11 Rev PB 28-23 Lots 20 &amp; 21 Blk 258   Property address: 6335 Riviera Dr  Folio number: 0341290281280</p>	<p>Margarita Hernandez  &amp; Teresita Hernandez Jtrs  6335 Riviera Dr  Coral Gables, FL 33146-3522</p>
<p>29 54 41 Coral Gables Riviera Section 11 Rev PB 28-23 Lots 22 &amp; 23 Blk 258  Property address: 6325 Riviera Dr  Folio number: 0341290281290</p>	<p>Brian S Dervishi &amp; W Aileen M  6325 Riviera Dr  Coral Gables, FL 33146-3522</p>
<p>Coral Gables Riviera Section 11 Rev PB 28-23 Lots 24 &amp; 25 Blk 258   Property address: 6319 Riviera Dr  Folio number: 0341290281310</p>	<p>Elena De Socarraz Trs  Elena De Socarraz Revoc Liv Tr  6319 Riviera Dr  Coral Gables, FL 33146-3522</p>
<p>29 54 41 Coral Gables Riviera Section 11 Rev PB 28-23 Lots 26 To 28 IncBlk 258  Property address: 6311 Riviera Dr  Folio number: 0341290281320</p>	<p>Francisco J Leon &amp; W Maria A  6311 Riviera Dr  Coral Gables, FL 33146-3522</p>

<p>Coral Gables Riviera Section 11 Rev PB 28-23 Lots 29 &amp; 30 Blk 258  Property address: 6301 Riviera Dr  Folio number: 0341290281330</p>	<p>Rive Drive LLC  6301 Riviera Dr  Coral Gables, FL 33146-3522</p>
<p>C Gables Riviera Sec 11 PB 28-23 Lots 1 &amp; 2 Blk 261  Property address: 6301 Maggiore St  Folio number: 0341290281610</p>	<p>Mark Riedmiller Maria D Riedmiller  6301 Maggiore St  Coral Gables, FL 33146-3516</p>
<p>Coral Gables Riviera Section 11 Rev PB 28-23 Lots 3 &amp; 4 &amp; W11.25Ft  Of Lot 5 Blk 261  Property address: 440 Barbarossa Ave  Folio number: 0341290281630</p>	<p>Carlos Bolivar Jr &amp; W Clarimil V  440 Barbarossa Ave  Coral Gables, FL 33146-3504</p>
<p>Coral Gables Riviera Section 11 Rev PB 28-23 Lots 22 To 24 Inc Blk 261  Property address: 431 Como Ave  Folio number: 0341290281720</p>	<p>Linda Hale Leta  19505 Ridgeland Dr  Miami, FL 33157-8862</p>
<p>29 54 41 C Gables Riviera Sec 11 PB 28-23 Lots 25 &amp; 26 Blk 261    Property address: 445 Como Ave  Folio number: 0341290281740</p>	<p>John W &amp; Maria L Cooper Trustees  Maria De Lourdes Cooper (Ben)  445 Como Ave  Coral Gables, FL 33146-3507</p>
<p>29 54 41 PB 28-23 Coral Gables Riviera Sec 11 Rev Lots 27 &amp; 28 Blk 261  Property address: 6311 Maggiore St  Folio number: 0341290281760</p>	<p>Eunice D Sala Suarez  6311 Maggiore St  Coral Gables, FL 33146-3516</p>
<p>Coral Gables Riviera Section 11 Rev PB 28-23 Lots 1 To 4 Inc Blk 262  Property address: 6331 San Vicente St  Folio number: 0341290281780</p>	<p>Antonio Navarro &amp; W Lorraine  6331 San Vincente St  Coral Gables, FL 33146-3536</p>
<p>Coral Gables Riviera Section 11 Rev PB 28-23 Lots 1 &amp; 2 &amp; 23 Blk 263  Property address: 450 Como Ave  Folio number: 0341290281790</p>	<p>450 Como LLC  11900 Biscayne Blvd Ste 289  Miami, FL 33181-2756</p>
<p>Coral Gables Riviera Section 11 Rev PB 28-23 Lots 3 &amp; 4 Blk 263    Property address: 432 Como Ave  Folio number: 0341290281800</p>	<p>Alexandre M De Cerqueira  Cesar Katherine Prado Palbuquerque  432 Como Ave  Coral Gables, FL 33146-3508</p>
<p>Coral Gables Riviera Section 11 Rev PB 28-23 Lots 5 &amp; 6 Blk 263    Property address: 420 Como Ave  Folio number: 0341290281810</p>	<p>Diocese Of St Moron Usa  Fransis M Zayek Trs  420 Como Ave  Coral Gables, FL 33146-3508</p>
<p>29 54 41 PB 28-23 Coral Gables Riviera Sec 11 Lot 7 &amp; W1/2 Lot 8 Blk 263  Property address: 416 Como Ave  Folio number: 0341290281820</p>	<p>416 Como Re LLC  175 SW 7th St Ste 2112  Miami, FL 33130-2962</p>



Coral Gables Riviera Section 11 Rev PB 28-23 Lots 16 & 17 Blk 263 Property address: 415 Garlenda Ave Folio number: 0341290281910	Terry K Cook Trs Terry K Cook Revocable Tr Stephen C Yevich Trs 5 River Rd Newfields, NH 03856-8327
PB 28-23 Coral Gables Riviera Sec 11 Rev Lot 18 & E1/3 Of Lot 19 Blk 263 Property address: 421 Garlenda Ave Folio number: 0341290281920	Richard W Hudson & W Suzanna Hudson 421 Garlenda Ave Coral Gables, FL 33146-3557
PB 28-23 Coral Gables Riviera Sec 11 Rev W2/3 Of Lot 19 & E2/3 Of Lot 20 Blk 263 Property address: 427 Garlenda Ave Folio number: 0341290281930	Francisco Martinez Carla Ortiz Martinez 5365 Oak Ln Coral Gables, FL 33156-3438
PB 28-23 Coral Gables Riviera Sec 11 Rev Lot 21 & W1/3 Of Lot 20 Blk 263 Property address: 431 Garlenda Ave Folio number: 0341290281940	Marcello Pigozzo & W Leilla & Marco Pigozzo 431 Garlenda Ave Coral Gables, FL 33146-3557
Coral Gables Riviera Section 11 Rev PB 28-23 Lot 22 Blk 263 Property address: 435 Garlenda Ave Folio number: 0341290281960	Antonio Bacallao & Manuel Fernandez Jtrs 435 Garlenda Ave Coral Gables, FL 33146-3557
Coral Gables Riviera Section 11 Rev PB 28-23 Lots 1 Thru 3 Blk 264 Property address: 6400 San Vicente St Folio number: 0341290281970	Xavier Garijo Kristin Von Hoerde Garijo 6400 San Vicente St Coral Gables, FL 33146-3539
29 54 41 Coral Gables Riviera Section 11 Rev PB 28-23 Lot 4-5-6 Blk 264 Property address: 6500 San Vicente St Folio number: 0341290281980	Richard Kernish & W Liana 6500 San Vicente St Coral Gables, FL 33146-3541
Coral Gables Riviera Section 11 Rev PB 28-23 Lots 7 & 8 Blk 264 Property address: 6510 San Vicente St Folio number: 0341290281990	Marlin Holland Ebbert Trs Marlin Holland Ebbert Revoc Tr 6510 San Vicente St Coral Gables, FL 33146-3541
Coral Gables Riviera Section 11 Rev PB 28-23 Lots 9 & 10 Blk 264 Property address: 6520 San Vicente St Folio number: 0341290282000	Arthur R Cohen 6520 San Vicente St Coral Gables, FL 33146-3541
29 54 41 Coral Gables Riviera Section 11 Rev PB 28-23 Lots 11 & 12 Blk 264 Property address: 6511 Riviera Dr Folio number: 0341290282010	Ismael Roque Velasco Family Limited Partnership 1150 NW 72nd Ave Ph Miami, FL 33126-1920
Coral Gables Riviera Section 11 Rev PB 28-23 Lots 13 To 15 Inc Blk 264 Property address: 6509 Riviera Dr Folio number: 0341290282030	Mark S Rockwood Jennifer L Rockwood 6509 Riviera Dr Coral Gables, FL 33146-3526

<p>Coral Gables Riviera Section 11 Rev PB 28-23 Lots 16 Thru 18 Less Nw1/2 Lot 18 Blk 264</p> <p>Property address: 6411 Riviera Dr Folio number: 0341290282040</p>	<p>Pedro Carlos Cerda Elena Fernandez De Alarcon 6411 Riviera Dr Coral Gables, FL 33146-3524</p>
<p>Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lots 19 &amp; 20 &amp; Nw1/2 Lot 18 Blk 264</p> <p>Property address: 6401 Riviera Dr Folio number: 0341290282050</p>	<p>Carlos M Machado Maria M Machado 6401 Riviera Dr Coral Gables, FL 33146-3524</p>
<p>PB 28-23 Coral Gables Riviera Sec 11 Rev Plat Lot 1 Less SE 18Ft &amp; All Lot 2 Blk 265</p> <p>Property address: 6505 San Vicente St Folio number: 0341290282060</p>	<p>Alan Byles &amp; W Margarita C 6505 San Vicente St Coral Gables, FL 33146-3540</p>
<p>PB 28-23 Coral Gables Riviera Sec 11 Rev Plat Lot 3 Blk 265</p> <p>Property address: 434 Garlenda Ave Folio number: 0341290282061</p>	<p>Donald J Williams 434 Garlenda Ave Coral Gables, FL 33146-3509</p>
<p>Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lots 4 To 6 Inc Blk 265</p> <p>Property address: 416 Garlenda Ave Folio number: 0341290282070</p>	<p>Holger Pietzsch Sonia Lane 416 Garlenda Ave Coral Gables, FL 33146-3509</p>
<p>C Gab Riv Sec Pt 11 Rev Plat Lot 7 &amp; W15ft Of Lots 8 &amp; 9 Blk 265 PB 28-23</p> <p>Property address: 408 Garlenda Ave Folio number: 0341290282080</p>	<p>IVette A Arango 408 Garlenda Ave Coral Gables, FL 33146-3509</p>
<p>Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lots 10 &amp; 11 Blk 265</p> <p>Property address: 401 Aurelia Ave Folio number: 0341290282110</p>	<p>Marta Fuentes Anna C Fuentes 401 Aurelia Ave Coral Gables, FL 33146-3501</p>
<p>29 54 41 Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lot 12 &amp; Lot13 Blk 265</p> <p>Property address: 411 Aurelia Ave Folio number: 0341290282130</p>	<p>Alberto S Diaz &amp; W Estrella I 411 Aurelia Ave Coral Gables, FL 33146-3501</p>
<p>29 54 41 Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lots 14 &amp; 15Blk 265</p> <p>Property address: 421 Aurelia Ave Folio number: 0341290282140</p>	<p>Guido D Rumbos Daniela Nicolicchia Angelico 421 Aurelia Ave Coral Gables, FL 33146-3501</p>
<p>PB 28-23 Coral Gables Riviera Sec 11 Rev Plat Lot 16 Blk 265</p> <p>Property address: 431 Aurelia Ave Folio number: 0341290282150</p>	<p>Andres Murai 200 Solano Prado Coral Gables, FL 33156-2352</p>
<p>PB 28-23 Coral Gables Riviera Sec 11 Rev Plat Lot 17 &amp; Se18ft Of Lot 1 BLK 265</p> <p>Property address: 6515 San Vicente St Folio number: 0341290282151</p>	<p>Manuel Fraga Jr &amp; Joaquin Mendez 6515 San Vicente St Coral Gables, FL 33146-3540</p>



<p>Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lots 1 &amp; 2 Blk 266  Property address: 6601 San Vicente St  Folio number: 0341290282160</p>	<p>Agnes Rush Bowles  6601 San Vicente St  Coral Gables, FL 33146-3542</p>
<p>Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lots 3 &amp; 4 Blk 266  Property address: 408 Aurelia Ave  Folio number: 0341290282170</p>	<p>Cristina Fernandes  408 Aurelia Ave  Coral Gables, FL 33146-3502</p>
<p>Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lots 5 &amp; 6 Blk 266  Property address: 400 Aurelia Ave  Folio number: 0341290282180</p>	<p>Oscar Minoso &amp; W Juana M Rendon  400 Aurelia Ave  Coral Gables, FL 33146-3502</p>
<p>Coral Gables Riviera Sec Part II Rev Plat PB 28-23 Lot 7 Less E54.5Ft Blk 266  Property address:  Folio number: 0341290282200</p>	<p>Andres Martin Duany &amp; W Elizabeth  6612 S Le Jeune Rd  Coral Gables, FL 33146-3552</p>
<p>Coral Gables Riviera Sec Part II Rev Plat PB 28-23 E54.5Ft Of Lot 7 Blk 266  Property address:  Folio number: 0341290282201</p>	<p>Andres M Duany &amp; W Elizabeth  6612 S Le Jeune Rd  Coral Gables, FL 33146-3552</p>
<p>29 54 41 Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lot 8 Blk 266  Property address: 6612 Le Jeune Rd  Folio number: 0341290282210</p>	<p>Andres M Duany &amp; W Elizabeth  6612 S Le Jeune Rd  Coral Gables, FL 33146-3552</p>
<p>29 54 41 Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lot 9 Blk 266  Property address:  Folio number: 0341290282220</p>	<p>Andres Martin Duany &amp; W Elizabeth  6612 S Le Jeune Rd  Coral Gables, FL 33146-3552</p>
<p>29 54 41 C Gab Riv Sec II PB 28-23 Port Of Lots 10 &amp; 11 Desc Beg At X Of Nly/L  Of Lot 10 &amp; Ely/L Of Lot 11 E24.11Ft Th S100ft To Pt W76.64Ft To Pc Th  Nwly17.04Ft Th Nely123.25Ft To Ely/L Of Lot 11 Th Sely15.51Ft To POB  Blk 266  Property address: 421 Maya Ave  Folio number: 0341290282230</p>	<p>Paul Visser &amp; W Maria  421 Maya Ave  Coral Gables, FL 33146-3518</p>
<p>C Gab Riv Sec 11 PB 28-23 Lots 10 &amp; 11 Less That Port Lyg E Of Line That  Beg 15.51Ftnly Of SE Cor Lot 11 &amp; Extends SWly 123.25Ft To A Pt On SWly  Line Lot 10 Blk 266  Property address: 6611 San Vicente St  Folio number: 0341290282240</p>	<p>Atoda03 LLC  6611 San Vicente St  Coral Gables, FL 33146-3542</p>
<p>29 54 41 Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lot 1 Blk 267  Property address: 6705 San Vicente St  Folio number: 0341290282250</p>	<p>Carlos H Gamboa  3169 Via Agitare Way  Miami, FL 33133</p>
<p>Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lot 2 Blk 267  Property address: 6700 Le Jeune Rd  Folio number: 0341290282260</p>	<p>Jas K Beckham  6700 S Le Jeune Rd  Coral Gables, FL 33146-3553</p>

<p>Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lot 3 Blk 267  Property address: 6704 Le Jeune Rd  Folio number: 0341290282270</p>	<p>Amos L Miller &amp; W Sharon R L  6704 S Le Jeune Rd  Coral Gables, FL 33146-3553</p>
<p>Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lot 4 Blk 267</p> <p>Property address: 6710 Le Jeune Rd  Folio number: 0341290282280</p>	<p>John Michael Pennekamp Trs  Tom Pennekamp Jr Trs  6710 S Le Jeune Rd  Coral Gables, FL 33146-3553</p>
<p>29 54 41 Coral Gables Riv Sec Pt 11 Rev Plat PB 28-23 Lot 1 &amp;  Nw10ft Lot2 Blk 268  Property address: 6600 San Vicente St  Folio number: 0341290282290</p>	<p>Bradley R Stark  6600 San Vicente St  Coral Gables, FL 33146-3543</p>
<p>Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lot 2 Less Nw10ft &amp;  NW20ft Lot 3 Blk 268  Property address: 6604 San Vicente St  Folio number: 0341290282300</p>	<p>Toni L Diaz  6604 San Vicente St  Coral Gables, FL 33146-3543</p>
<p>Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lot 3 Less Nw20ft &amp;  NW30ft Lot 4 Blk 268  Property address: 6606 San Vicente St  Folio number: 0341290282310</p>	<p>San Vicente LLC  2631 Ponce De Leon Blvd  Coral Gables, FL 33134-6002</p>
<p>29 54 41 PB 28-23 Coral Gables Riviera Sec Part 11 Rev Plat Lot 4 Less  NW30ft &amp; Nw40ft Lot 5 Blk 268  Property address: 6612 San Vicente St  Folio number: 0341290282320</p>	<p>Charles Juarbe Elba L Bermudez Aponte  6612 San Vicente St  Coral Gables, FL 33146-3543</p>
<p>Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lot 5 Less Nw40ft &amp;  AlI Lot 6 Blk 268  Property address: 6618 San Vicente St  Folio number: 0341290282330</p>	<p>Eduardo Kondracki Claudia Townsend  6618 San Vicente St  Coral Gables, FL 33146-3543</p>
<p>Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lots 7 &amp; 8 Blk 268  Property address: 6708 San Vicente St  Folio number: 0341290282350</p>	<p>Octavio Maniglia Katerina Bucciarelli  6708 San Vicente St  Coral Gables, FL 33146-3545</p>
<p>Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lots 9-10-11 Blk 268  Property address: 6716 San Vicente St  Folio number: 0341290282360</p>	<p>Maria J Molina  6716 San Vicente St  Coral Gables, FL 33146-3545</p>
<p>Coral Gables Riviera Sec Part li Rev Plat PB 28-23 Lots 12 &amp; 13 Blk 268  Property address: 6800 San Vicente St  Folio number: 0341290282370</p>	<p>6800 San Vicente LLC  10220 SW 60th Ave  Miami, FL 33156-4149</p>
<p>C Gab Riviers Sec 11 Rev PB 28-23 Lot 14 &amp; NWly 1/2 Lot 15 Blk 268  Property address: 6808 San Vicente St  Folio number: 0341290282380</p>	<p>John R Anzivino Kimberly S Anzivino  7321 SW 47th Ct  Miami, FL 33143-6110</p>



<p>C Gab Riviera Sec 11 Rev PB 28-23 Se1/2 Lot 15 &amp; That Port Lot 16 Lyg N Of A Straight Line Drawn At R/A From E Line Of Lot 16 To Point Of IntersEct Of W Line Of Lot 16 &amp; S Line Lot 19 Blk 268 Property address: 6812 San Vicente St Folio number: 0341290282390</p>	<p>Darryl W Parmenter 6812 San Vicente St Coral Gables, FL 33146-3547</p>
<p>Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lots 19 &amp; 20 &amp; S1/2 OF Lot 21 Blk 268</p> <p>Property address: 6817 Riviera Dr Folio number: 0341290282410</p>	<p>Cosme Anibal Gomez Rossy A Pellerano Gomez 6817 Riviera Dr Coral Gables, FL 33146-3532</p>
<p>Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lots 23 &amp; 24 Blk 268 Property address: 6805 Riviera Dr Folio number: 0341290282411</p>	<p>Jesus Sanchez Emmerich 6805 Riviera Dr Coral Gables, FL 33146-3532</p>
<p>C Gab Riviera Sec 11 Rev PB 28-23 Lot 22 &amp; NWly 1/2 Lot 21 Blk 268</p> <p>Property address: 6811 Riviera Dr Folio number: 0341290282412</p>	<p>Helen S Hinds Le Trs Rem Helen S Hinds Revocable Trust 6811 Riviera Dr Coral Gables, FL 33146-3532</p>
<p>29 54 41 Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lots 25 &amp; 26Blk 268</p> <p>Property address: 6721 Riviera Dr Folio number: 0341290282420</p>	<p>James Leano Trs Leano Leal Revocable Family Tr Jennifer D Leal Trs 6721 Riviera Dr Coral Gables, FL 33146-3530</p>
<p>Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lots 27 &amp; 28 Blk 268</p> <p>Property address: 6701 Riviera Dr Folio number: 0341290282430</p>	<p>Guillermo Diaz Rousselot Maria Lourdes Diaz Rousselot 6701 Riviera Dr Coral Gables, FL 33146-3530</p>
<p>29 54 41 C Gab Rivieria Sec Pt 11 PB 28-23 Lot 29 &amp; Beg On S/L Lot 30 33Ft nwly Of Most Sly Cor Nely135.89Ft Sely31.73Ft Swly136.41Ft Nwly33ft To POB Blk 268 Property address: 6675 Riviera Dr Folio number: 0341290282440</p>	<p>Manuel Barroso 6675 Riviera Dr Coral Gables, FL 33146-3528</p>
<p>29 54 41 Coral Gables Riviera Aec Part 11 Rev Plat PB 28-23 Lot 30 LessBeg At Most Sly Cor Lot 30 Nwly33ft Nely135.89Ft SEly 31.73Ft Swly136.41Ft To POB &amp; All Lot 31 &amp; Lot 32 Less Nwly38ft Blk 268 Property address: 6633 Riviera Dr Folio number: 0341290282441</p>	<p>Maria M De Ona 6633 Riviera Dr Coral Gables, FL 33146-3528</p>
<p>29 54 41 Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Nwly38ft OF Lot 32 &amp; All Lot 33 Blk 268</p> <p>Property address: 6611 Riviera Dr Folio number: 0341290282450</p>	<p>Hector Medero &amp; W Liliana Granados De Medero 354 SW 24th Rd Miami, FL 33129-1947</p>

Coral Gables Riviera Sec Part 11 Rev Plat PB 28-23 Lots 34 & 35 Blk 268  
Property address: 6601 Riviera Dr  
Folio number: 0341290282470

Federico L Lacour Nicola J Totman  
239 Devon Rd  
Tenafly, NJ 07670-3125

29 54 41 1.19 Ac Coral Gables Riviera Sec Part 11 Resub Of Block 257  
PB46-45 Area Designated As Patterson Tr 1

Property address: 6835 Granada Blvd  
Folio number: 0341290290010

Ricardo & Lina Eichenwald (Trust)  
Ricardo & Lina Eichenwald (Ben)  
6835 Granada Blvd  
Coral Gables, FL 33146-3823

29 54 41 0.91 Ac Coral Gables Riviera Sec Part 11 Resub Of Block 257  
PB46-45 Area Designated As Miller Tract 1

Property address: 6847 Granada Blvd  
Folio number: 0341290290020

City National Bank Of Florida Trs  
Trust Department  
25 W Flagler St Ste 711  
Miami, FL 33130-1718

29 54 41 1.17 Ac Cartee Homestead PB 43-30 Tr 1 Less Beg At X Of N/L Tr1  
& W/L C Gab W/W W Alg N/L 203.93Ft Th By Curve To Left 40.26Ft Th SEly  
Alg E R/W/L Granada Blvd 125.44Ft Th Ely133.33Ft Nely100ft To A Pt 111.51Ft  
s Of N/L Th NEly 98.90Ft Th Nely6.17Ft To W Bank C Gab W/Wy Th NW &  
SW & NW & NE Meander W/L C Gab W/Wy 210Ft M/L To POB & Less  
Beg At A PtOn Ely R/W/L Of Granada Blvd 188Ft M/L NWly Of Most Sly  
Cor Tr 1 Th NEly141Ft M/L Sely143ft M/L To NWly Bank Of Miami  
Waterway Th Meand SWly OnNWly/L Miami W/W 214.5Ft M/L To POB

Kevin G Moure Trs  
6616 Granada Blvd  
Coral Gables, FL 33146

Property address: 6619 Granada Blvd  
Folio number: 0341290310010

29 54 41 .81 Ac M/L Cartee Homestead PB 43-30 Port Tr 1 Desc Beg At X Of  
N/L Tr 1 & W/L C Gab W/Wy W Alg N/L 203.93Ft Th By Curve To Left 40.26FT  
Th SEly Alg E R/W/L Granada Blvd 125.44Ft Th Ely133.33Ft Nely100ft To  
Pt 111.51Fts Of N/L Nely105.07Ft Th NW SW NW & NE Meand W/L C Gab

Arturo F Mosquera & W Liza C  
6595 Granada Blvd  
Coral Gables, FL 33146-3428

Property address: 6595 Granada Blvd  
Folio number: 0341290310011

29 54 41 .62 Ac Cartee Homestead PB 43-30 Beg At A Pt On Ely R/W/L Of  
GrAnada Blvd 188Ft M/L NWly Of Most Sly Cor Tr 1 Th Nely141ft M/L  
Sely143ft M/L To NWly Bank Of Mia Waterway Th Meand SWly On NWly/L  
Miami W/W 214.15Ft M/L To POB

Kevin G Moure  
6619 Granada Blvd  
Coral Gables, FL 33146-3430

Property address:  
Folio number: 0341290310012

PB 28-35 Coral Gables Riviera Sec Pt 12 Lots 1 & 2 & N15ft Of Lot 3 Blk227  
Property address: 1020 Alhambra Cir S  
Folio number: 0341290320010

Pablo Castellon Patricia Castellon  
1020 S Alhambra Cir  
Coral Gables, FL 33146-3733



C G Riviera Sec Pt 12 PB 28-35 Beg SE Cor Lot 3 Blk 233 W94ft N159.72Ft Nely64.38Ft Sely48.87Ft S To POB Property address: 730 Alhambra Cir S Folio number: 0341290320800	Xiao Hua Li & W 730 S Alhambra Cir Coral Gables, FL 33146-3849
29 30 54 41 PB 28-35 Coral Gables Riviera Sec 12 Lots 4 & 5 Blk 233  Property address: 6816 Camarin St Folio number: 0341290320820	Carlos C Gomez Estefan & W Holly Elizabeth Gomez Estefan 6816 Camarin St Miami, FL 33146-3820
Coral Gables Riviera Sec 12 Lots 1 To 3 Inc & Lots 34 To 36 Inc Blk 234 PB 28-35  Property address: 700 Alhambra Cir S Folio number: 0341290321000	Bradley D Hornbacher Coral Lopez Castro 700 S Alhambra Cir Coral Gables, FL 33146-3802
Coral Gables Riviera Sec 12 PB 28-35 Lots 4 & 5 Blk 234 Property address: 6810 Mindello St Folio number: 0341290321010	Gustavo Forero & W Mercedes 6810 Mindello St Coral Gables, FL 33146-3828
29-30 54 41 PB 28-35 Coral Gables Riviera Sec 12 Lots 6 & 7 Blk 234 Property address: 6822 Mindello St Folio number: 0341290321020	Myriam C Mazzeo 6822 Mindello St Coral Gables, FL 33146-3828
Coral Gables Riviera Sec 12 Lots 8 & 9 & N1/2 Of Lot 10 Blk 234 PB 28-35 Property address: 6832 Mindello St Folio number: 0341290321030	Rachel C Hadley Malueg 6832 Mindello St Coral Gables, FL 33146-3828
29-30 54 41 PB 28-35 Coral Gables Riviera Sec 12 S1/2 Lot 10 & All Lot 11 Blk 234 Property address: 6904 Mindello St Folio number: 0341290321040	Peter S Baumberger 6904 Mindello St Coral Gables, FL 33146-3830
Coral Gables Riviera Sec 12 PB 28-35 Lots 12 & 13 Blk 234  Property address: 6914 Mindello St Folio number: 0341290321050	Carlos Silva & W Maria Cecilia Ariza Pabon 1345 NW 98th Ct Bldg A # 1 Miami, FL 33172-2779
Coral Gables Riviera Sec 12 PB 28-35 Lots 26 & 27 Blk 234 Property address: 6901 Camarin St Folio number: 0341290321150	Warren W Quillian II & W Sallie C 6901 Camarin St Miami, FL 33146-3821
Coral Gables Riviera Sec 12 PB 28-35 Lot 28 & S1/2 Of Lot 29 Blk 234 Property address: 6845 Camarin St Folio number: 0341290321160	Dennis R Odell & Rosa Battle 6845 Camarin St Miami, FL 33146-3819
Coral Gables Riviera Sec 12 PB 28-35 N1/2 Of Lot 29 & Lot 30 Blk 234 Property address: 6835 Camarin St Folio number: 0341290321170	Shirley Herris 6835 Camarin St Miami, FL 33146-3819

Coral Gables Riviera Sec 12 PB 28-35 Lots 31 To 33 Inc Blk 234  
Property address: 6821 Camarin St  
Folio number: 0341290321190

Sherry A Stanley  
6821 Camarin St  
Miami, FL 33146-3819

Coral Gables Riviera Sec 12 PB 28-35 All Blk 240  
Property address:  
Folio number: 0341290321200

City Of Coral Gables  
405 Biltmore Way  
Coral Gables, FL 33134-5717

29-30 54 41 C G Riviera Sec Pt 12 PB 28-35 Lot 25 & E15ft Lot 24 Blk 241  
& That Pt Of W W Adj To Said Lots 23 24 & 25  
Property address: 832 Alfonso Ave  
Folio number: 0341290321350

Volito Inc  
1001 Brickell Bay Dr Ste 2110  
Miami, FL 33131-4940

29-30 54 41 PB 28-35 Coral Gables Riviera Sec 12 Lot 26 & Wly35ft Of  
Lot27 & Rip Rts To C/L Of Canal Blk 241  
Property address: 822 Alfonso Ave  
Folio number: 0341290321360

Alan K Petrine & W Susan D  
822 Alfonso Ave  
Coral Gables, FL 33146-3401

29-30 54 41 PB 28-35 Coral Gables Riviera Sec 12 Ely40ft Lot 27 & Lot 28  
& Rip Rts To C/L Of Canal Blk 241  
Property address: 812 Alfonso Ave  
Folio number: 0341290321361

Manuel J Iraola Maria A Iraola  
812 Alfonso Ave  
Coral Gables, FL 33146-3401

C G Riviera Sec Pt 12 PB 28-35 Lot 30 & Strip Of Land Lying Bet Lot & WW  
& All Of Lot 29 Blk 241  
Property address: 6700 Granada Blvd  
Folio number: 0341290321370

Lord M Toussaint  
6700 Granada Blvd  
Coral Gables, FL 33146-3433

C G Riviera Sec Pt 12 PB 28-35 Lots 31 & 32 Blk 241  
Property address: 6750 Granada Blvd  
Folio number: 0341290321380

Reinaldo Fernandez  
& Beatriz Fernandez  
6750 Granada Blvd  
Coral Gables, FL 33146-3433

Coral Gables Riviera Sec 12 PB 28-35 Lots 33 & 34 Blk 241  
Property address: 701 Alhambra Cir S  
Folio number: 0341290321400

Scott Sime & W Belinda Sime  
PO Box 140762  
Coral Gables, FL 33114-0762

Coral Gables Riviera Sec 12 PB 28-35 Lot 35 Blk 241  
Property address:  
Folio number: 0341290321420

Alexander Stancioff Lissette Stancioff  
727 S Alhambra Cir  
Coral Gables, FL 33146-3801

PB 28-35 Coral Gables Riviera Sec 12 Lots 36 Thru 38 Blk 241  
Property address: 727 Alhambra Cir S  
Folio number: 0341290321440

Anthony R Abraham  
727 S Alhambra Cir  
Coral Gables, FL 33146-3801

Coral Gables Riviera Sec 12 PB 28-35 Lot 19-20-21 Blk 256  
Property address: 6608 Granada Blvd  
Folio number: 0341290323240

Jorge L Diaz & W Ana M  
6608 Granada Blvd  
Coral Gables, FL 33146-3431



Coral Gables Riviera Sec 12 PB 28-35 Lots 22 & 23 Blk 256  
Property address: 6611 Castaneda St  
Folio number: 0341290323250

Mario L Angulo & W Ana  
6611 Castaneda St  
Coral Gables, FL 33146-3415

Cartee Homestead li PB 170-088 T-23476 Lot 1 Blk 1  
Property address: 6801 Granada Blvd  
Folio number: 0341290730010

6801 Granada Holdings LLC  
2100 Ponce De Leon Blvd Ste 700  
Coral Gables, FL 33134-5239

Cartee Homestead li PB 170-088 T-23476 Lot 2 Blk 1  
  
Property address: 6819 Granada Blvd  
Folio number: 0341290730020

6819 Trustee Services LLC Trs  
Trust 6819 Granada  
515 E Las Olas Blvd Ste 850  
Fort Lauderdale, FL 33301-2277