MIAMI-DADE COUNTY HISTORIC PRESERVATION AD-VALOREM TAX EXEMPTION

PART 1 – PRECONSTRUCTION APPLICATION

IN:	STRUCTIONS:	
-	pe or print clearly in bla eded.	ck ink. You may attach additional sheets if more space is
I.	PROPERTY IDENTIFICATION	ON AND LOCATION
	Historic/Site Name:	414 ALHAMBRA CIRCLE, CORAL GABLES, FL 33134
	Property Address:	414 ALHAMBRA CIRCLE, CORAL GABLES, FL 33134
	Folio Number:	03-4108-001-0940
	Legal Description: the Plat thereof, as reco	Lots 8 & 9, Block 6, Coral Gables, Section "B", according to orded in Plat Book 5, at Page 111 of the Public Records of rida
	Please check all that app	ly:
	[x] Designated as [] Individually lis	a local historic landmark or site a contributing structure within a local historic district sted in the National Register of Historic Places ng structure in a National Register District
	Name of Distr	ictALHAMBRA CIRCLE HISTORIC DISTRICT
	Please attach the desi designated.	ignation report and resolution as proof the property is
II.	OWNER INFORMATION:	
	Name(s) of Owner(s):	KATHERINE GILHULY
	Mailing Address:	414 ALHAMBRA CIRCLE, CORAL GABLES, FL 33134
	Phone: <u>305-439-8100</u>	2 nd Phone:
	Email: <u>KateGilhuly@</u> If the property has multi	gmail.com

addresses.

III. CURRENT PHYSICAL DESCRIPTION OF PROPERTY:

A. General Information

Date of Construction: <u>1924-25</u> Architect (if known): <u>Team of Frank Wyatt Woods</u> and John Tracey – good example of Mediterranean Revival style architecture

Alterations: Please provide the date and description of any physical alterations to the property. [Example: Original casement windows were replaced with jalousie windows around 1974.]

All the original casement windows of the residence were replaced with jalousie windows and an "utility" structure (with an undetermined use) was added to the East elevation of the residence in the 1950's or 1960's.

Additions: Please provide date and description of any additions which may have been made. [Example: A rear bedroom and bath were added to the house in 1981.]

Two small additions/protrusions to the rear (South Elevation) of the residence were constructed in 1951 consisting of an orange tile bathroom and a bedroom extension with a jalousie window/wall.

An auxiliary garage structure was substantially altered in 1953. Another garage space was added to the existing auxiliary structure.

B. Exterior Description

ROOT Type: GABLE-END & FL	AT ROOT Material: BARKEL TILE & ASPHALT SHINGL	t
Example: hip, gable, flat, etc	Example: barrel tile, asphalt shingle, etc	
Number of Stories:1	Detached Garage? (Y/N) Y	_
Basic Floor Plan:	SQUARE	
Example: square, "L" shaped	, "U" shaped, rectangular, irregular, etc	
Main Window Type(s):	JALOUSIE	
Example: casement, fixed, si	ngle hung sash, jalousie, awning, etc	
Siding Material(s):	STUCCO	
Example: stucco, wood fram	e, brick	

Briefly describe any distinguishing Exterior Architectural Features:

[Example: the placement of the windows, chimneys, porches, columns, etc]

- TALL ARCHED WINDOW HIGHLIGHTS LIVING ROOM WITH VAULTED PECKY CEILING,
- A DECORATIVE WING WALL CASADES DOWN TO A BUILT-IN PLANTER BOX,
- LINTEL DETAILING AT THE FRONT DOOR ENTRY AND
- PREDOMINATE CHIMNEY
- ACCENT WINDOW SILLS

C. Interior

Please list any distinguishing **Interior Architectural Features** found in the home that are original to the house, by room: [Example: The dining room retains the original decorative crown molding and tile floor. The living room retains the original limestone fireplace.]

- FRONT ENTRY OPENS TO VAULTED PECKY CYPRESS CEILING,
- LIVING ROOM FEATURES VAULTED PECKY CYPRESS CEILING AND CURVED BUILT-IN FIREPLACE MANTEL,
- ROOMS ARE JOINED BY ARCHED OPENINGS AND
- ORIGINAL OAK WOOD FLOORING THROUGH OUT RESIDENCE WITH EXCEPTION OF PLAIN AND PRETTY CUBAN TILE AT THE FRONT ENTRANCE AND FIREPLACE HEARTH.

D. Auxiliary Structures

Please describe the present appearance of any auxiliary structures on the property, such as garages, cabanas, outbuildings, perimeter walls, etc.

ANOTHER CBS CONSTRUCTED GARAGE WAS ADDED TO THE EXISTING STRUCTURE WHICH MAKES IT DIFFICULT TO DISTINGUISH BETWEEN THE TWO. THE GARAGE STRUCTURE IS IN DISREPAIR. 1950-60'S JALOUSIE WINDOWS AND WINDOWS REPLACED IN THE 1990'S CRUMBLING.

IV. DESCRIPTION OF PROPOSED IMPROVEMENTS

All improvements to historic properties will be evaluated for their consistency with the Secretary of Interior Standards for Rehabilitation. The application must include labeled photographs of both the interior and exterior of the property which clearly show the property and its characteristics.

What was the original use of the building? SINGLE FAMIL	Y RESIDENCE
What will the building be used for after improvements?	SAME
What is the estimated start date of construction?	AUGUST 2016
What is the estimated completion date? <u>MAY 2017</u>	
What is the estimated cost of restoration/rehabilitation?	\$800,000

Briefly describe your project, including any proposed additions, upgrades and restorations.

RESTORING THE EXISTING DILAPIDATED HISTORIC RESIDENCE AND CORRECTING ALTERATIONS MADE IN THE 1950-60'S. THE PROPOSED WORK WITHIN THE HISTORIC PORTION CONSISTS PRIMARILY OF INTERIOR RECONFIGURATION AND THE INSTALLATION OF IMPACT-RESISTANT WINDOWS AND DOORS. THE ADDITIONS WILL RETAIN THE EXISTING HISTORIC RESIDENCE. CONSTRUCTION WILL INCLUDE ONE AND TWO-STORY ADDITIONS, COVERED TERRACES, AND BOTH INTERIOR AND EXTERIOR ALTERATIONS. SITE WORK AND IMPROVEMENTS TO THE PROPERTY CONSIST OF A POOL AND POOL DECK, BRICK PAVER CIRCULAR DRIVEWAY.

A. <u>EXTERIOR</u> ARCHITECTURAL FEATURES

The following represents an itemization of work to be accomplished. List each principal architectural feature affected and describe the impact that restoration/rehabilitation will have on it. Label which elevation(s) contains that feature, and include a corresponding photograph for each. Please attach additional sheets if necessary.

FEATURE 1: OVERVIEW OF FRONT

Elevation: NORTH - FRONT

Photo Number: 1
Plan Number:

Describe Work and Impact on Existing Feature:

Remove "popcorn" paint application, repair structure, restore stucco.

FEATURE 2: FRONT DOOR AND LINTEL

Elevation: NORTH - FRONT

Photo Number: 2
Plan Number:

Describe Work and Impact on Existing Feature:

Lintel detailing will be restored and similar detail repeated in the addition. Impact-resistant door with lites will be installed in keeping with historic architecture.

FEATURE 3: ARCH WINDOW **Elevation:** NORTH - FRONT

Photo Number: 3
Plan Number:

Describe Work and Impact on Existing Feature:

Repair and restore accent window sills. Install impact-resistant windows with design in keeping with historic architecture.

FEATURE 4: DECORATIVE "WING WALL" CASCADING DOWN TO BUILT-IN PLANTER BOX

Elevation: NORTH - FRONT

Photo Number: 4
Plan Number:

Describe Work and Impact on Existing Feature:

Repair and restore stucco. Planter will be planted to draw focus to architecture feature.

FEATURE 5: SIDE WINDOW INTO LIVING ROOM

Elevation: EAST - SIDE Photo Number: 5 Plan Number:

Describe Work and Impact on Existing Feature:

Repair and restore stucco. Install impact-resistant windows with design in keeping with historic architecture.

FEATURE 6: BEDROOM WINDOW – OVERVIEW

Elevation: EAST - SIDE Photo Number: 6 Plan Number:

Describe Work and Impact on Existing Feature:

Repair and restore stucco. Install impact-resistant windows with design in keeping with historic architecture. This series of photos is representative of all the windows in this residence.

FEATURE 6: BEDROOM WINDOW - DETAIL

Elevation: EAST - SIDE Photo Number: 7
Plan Number:

Describe Work and Impact on Existing Feature:

Repair and restore stucco. Install impact-resistant windows with design in keeping with historic architecture. This photo illustrates condition of accent window sills.

FEATURE 6: BEDROOM WINDOW - DETAIL

Elevation: EAST - SIDE Photo Number: 8 Plan Number:

Describe Work and Impact on Existing Feature:

Repair and restore stucco. Install impact-resistant windows with design in keeping with historic architecture.

FEATURE 7: BATHROOM WINDOW

Elevation: EAST - SIDE Photo Number: 9 Plan Number:

Describe Work and Impact on Existing Feature:

Repair and restore stucco. Install impact-resistant windows with design in keeping with historic architecture.

FEATURE 8: "UTILITY" STRUCTURE - FOR AN UNIDENTIFIED USE

Elevation: EAST - SIDE Photo Number: 10 Plan Number:

Describe Work and Impact on Existing Feature:

Remove structure added to original residence. Repair and restore stucco.

FEATURE 9: OVERVIEW

Elevation: WEST – SIDE FACING ASPHALT DRIVEWAY

Photo Number: 11
Plan Number:

Describe Work and Impact on Existing Feature:

All jalousie windows and asphalt driveway will be replaced with the addition.

FEATURE 10: GARAGE Elevation: SOUTH Photo Number: 12 Plan Number:

Describe Work and Impact on Existing Feature:

Existing garage will be demolished and replaced with pool and landscaping

FEATURE 10: GARAGE - WINDOW

Elevation: SOUTH Photo Number: 13 Plan Number:

Describe Work and Impact on Existing Feature:

Existing garage will be demolished and replaced with pool and landscaping

FEATURE 11: OVERVIEW WITH TWO ADDITIONS

Elevation: SOUTH - REAR Photo Number: 14 Plan Number:

Describe Work and Impact on Existing Feature:

The two small additions/protrusions added in the 1951 will be removed.

FEATURE 11: SOUTH - BATHROOM

Elevation: SOUTH - REAR **Photo Number:** 15 & 16

Plan Number:

Describe Work and Impact on Existing Feature:

Inside this addition/protrusion is an orange bathroom. This will be removed.

FEATURE 11: SOUTH – JALOUISE BEDROOM EXTENSION

Elevation: SOUTH - REAR **Photo Number:** 17 & 18

Plan Number:

Describe Work and Impact on Existing Feature:

Inside this addition/protrusion is a jalousie bedroom extension. This will be removed and a

Master Bedroom suite will be added.

B. INTERIOR ARCHITECTURAL FEATURES

FEATURE 1: ORIGINAL PECKY CYPRESS CEILING

Room: FRONT ENTRY **Photo Number:** 19

Plan Number:

Describe Work and Impact on Existing Feature:

Plan to repair and restore as original.

FEATURE 1: ORIGINAL PECKY CYPRESS CEILING

Room: LIVING ROOM **Photo Number:** 20

Plan Number:

Describe Work and Impact on Existing Feature:

Plan to repair and restore as original – new additions will feature same ceilings.

FEATURE 2: OAK HARDWOOD FLOORS

Room: ALL ROOMS OF RESIDENCE WITH EXCEPTION OF FOYER AND BATHS.

Photo Number: 21

Plan Number:

Describe Work and Impact on Existing Feature:

Plan to repair and restore as original – new additions will feature same flooring.

FEATURE 3: BUILT-IN FIREPLACE MANTEL & STUCCO WALLS

Room: LIVING ROOM **Photo Number:** 22

Plan Number:

Describe Work and Impact on Existing Feature:

Plan to repair stucco and paint.

OWNER ATTESTATION: I hereby attest that the information provided in this application is, to the best of my knowledge, correct, and that I own the property described above or that I am legally the authority in charge of the property. Further, by submission of this Application, I agree to allow access to the property by representatives of the appropriate official in which the property is located, for the purpose of verification of information provided in this Application. I also understand that, if the requested exemption is granted, I will be required to enter into a Covenant with the municipality and Miami-Dade County in which I must agree to maintain the character of the property and the qualifying improvements for the term of the exemption.

Katherine Gilhuly

Print Name

7-20-16

Date

[Please attach the photographic documentation on subsequent pages. Submit a copy of all photographs on a CD as well, if possible.]



Feature: 1 Elevation: North Front Photo: 1

Feature: 2 Elevation: North Front Photo: 2







Feature 30 Arch Window Elevation: North-Front

Photo: 3

Feature 4: "Wing" Wall Elevation: North- Front Photo: 4

CITY OF CORAL GABLES
HISTORICAL RESULES





Feature 5: Side Window Elevation: East - Side

Photo: 5

Feature 6: Window Overview

Elevation: East-Side

Photo: 6

CITY OF CORAL GABLES
HISTORICAL RESOURCES





Feature C. Bedroon Window Detail

Elevation: East - Side

Photo: 7

2015 JUL 20 AN II: 51

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RECEIVED
RESTORICAL RESOURCES

Feature 6: Bedroom Window

Elevation: East-Side

Photo: 8



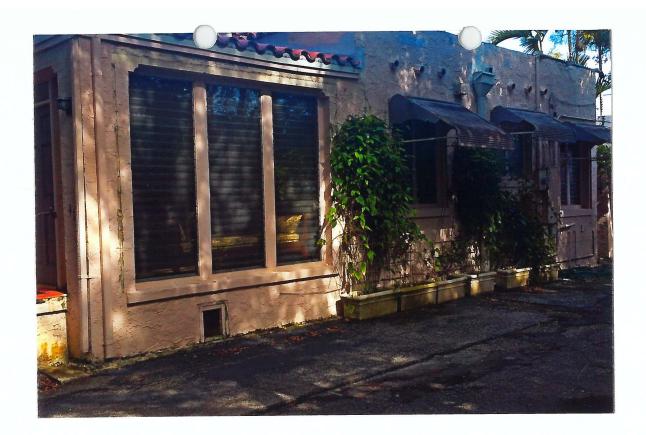


Feature. Bathroon Window Elevation: East - Side Photo: 9

2016 JUL 20 AM II: 5

Feature 8: Utility Structure Elevation: East-Side Photo: 10





Feature 9: Overview

Elevation: West - Side

Photo: 11

RECEIVED RECEIVED CITY OF CORAL GABLES HISTORICAL RESOURCES



Feature 10: Garage Elevation: South Photo: 12



Feature 10: Garage Window

Elevation: South

Photo: 13





Feature 11: Onemnew Two Additions

Elevation: South

Photo: 14

2016 JUL 20 AM II: 51



Feature 11: South - Bathroom

Elevation: South- Rear

Photo 15 : 16





Feature II: South - Jalouise Bedroom Extension Elevation: South - Rear

Photo: 17:18





Feature 2: Oak Hardwood Floors

Room: All

Photo: 21

RECEIVED RECEIVED RECEIVED RESCRIPTION OF CORAL GABLES

Feathbre 3: Fireplace | Montel

Doom: Living Room

Photo: 22





Feature Pecky Cypress

Room: Front Entry

Photo: 19

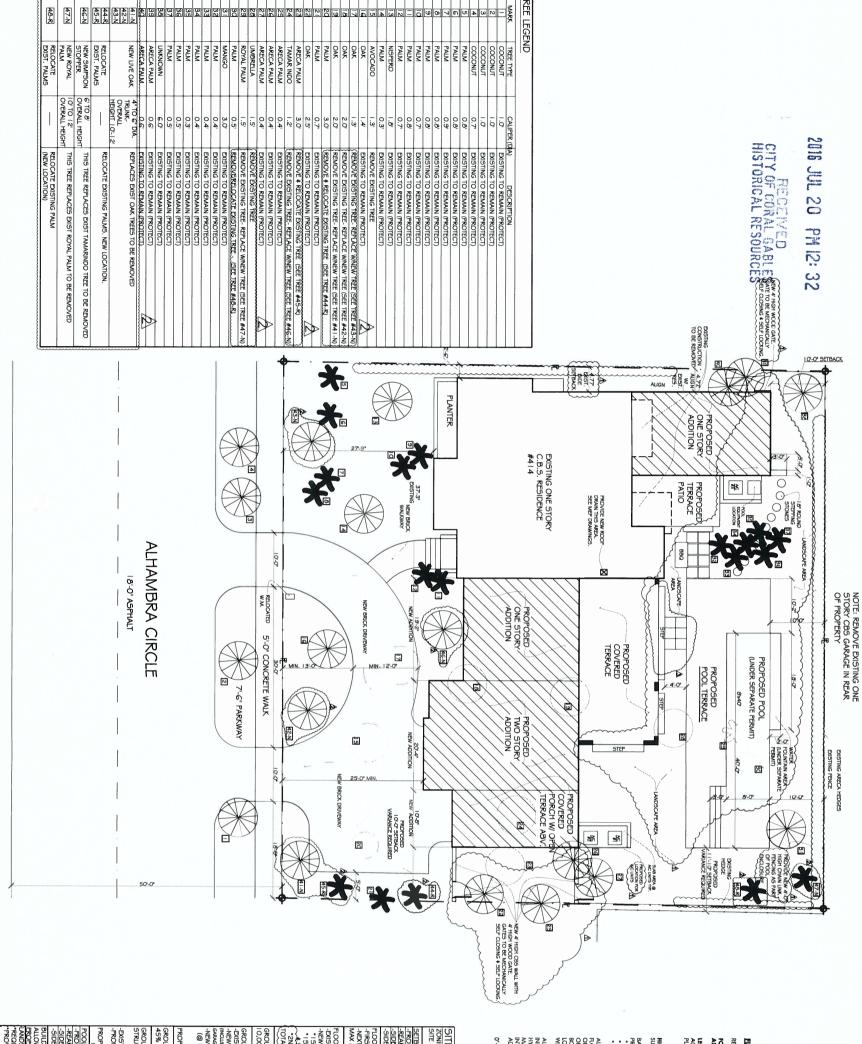
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Feature 1: Pecky Coppress Ceilings

Room: Living Room

Proto: 20





SITE PLAN GENERAL NOTE:
THIS SITE DRAWING IS BASED ON SURVEY PREPARED BY:
SUAREZ SURVEYING AND MAPPING INC. 18-7104, PRIOR
DIMENSIONAL DISCREPANCIES, ERRORS, OMISSIONS OR
CHANGES, IF ANY, ARE NOT THE RESPONSIBILITY OF
RAYMOND JOHN FOWLER ARCHITECT, INC.

LOOD LEGEND: FLOOD ZONE X

RENOVATIONS AND NEW ADDITIONS TO EXISTING RESIDENCE:

©UO#: 0341080010940 NDDRESS: 414 ALHAMBRA CIRCLE, CORAL GABLES, FL

ESCAL DESCRIPTION: LOTS 8 AND 9, BLOCK 6, OF CORAL GABLES SECTION 8, COCORDING 10 THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PG, 111, OF THE UBLIC RECORDS OF MANAPLADE, PL

Highest Crown of Road: 11.50 ngvd. See Certified Survey as Prepared by: Suarez Surveying and Mapping

BASE R CODE REMATION REGUIRED: +8" ABOVE THE CROWN OF ROAD, RECORDED ROOME REMATION.

FROM THE CONTROL OF THE REMATION RESERVED: +13.59" NGVD

ADJACENT GRADE REMATION. IDENTIFIED NGVD

ADJACENT GRADE REMATION NEWT TO BUILDING: EMSTING +11.50" NGVD

ALL ELECTRICAL MECHANICAL AND PLIMBING WILL BE FLACED AT OR ABOVE THE BASE ROOD ELEVATION (B.F.E.). ALL AREAS BELOW B.F.E. SYALL BE PROVIDED WITH A MINIMUM OF TWO [2] OPENINGS HAVING A TOTAL RET AREA OF NO LESS THAN ON HE STULARE INCH OF OPENING FOR DIETRY SQUARE FOOT OF ENCLOSED AREA, SUBJECT TO FLOCODING. THE BOTTOM OF THE OPENINGS WILL BE REGIFTED WORKED OF THE OPENING WILL BE REGIFTED WORKED OF THE DELOCASED AREA, OPENINGS WILL BE REGULARE AND LOCATED ON DIFFERNAT SIDES OF THE ENCLOSED MEEA, DEPONINGS WILL BE REGULARED ON DIFFERNAT SIDES OF THE ENCLOSED MEEA, DEPONINGS WILL BE REGULARED WITH SCREENS OR LOUVERS, FLOCOD RESISTANT MANERALS WILL BE USED BELOW B.F.E.

ALTERNATIVELY, A CERTIFICATION BY P.E. ON THE PLAN NOTES MODICATION OF THE MODICATION (FINE LYDIX) AND THE ALTOMATIC CEMULATION OF THE HYDIXOSTAIL CLOUD FORCES ON ECTEBOR WALLS, THE SITE WILL BE CRAUDED IN A MANNER TO PREVENT THE FLOCOUNG OF ADJACCHY PROPERTIES, WHERE NECESSARY, INTERCEPTOR SWALES, THE CONSTRUCTED ON SITE WITH NO ENCROACHMENT OVER ADJACCHY PROPERTIES.

0°-0" = +13.59" N.G.V.D.

PROPOSED GROUND AREA COVERAGE: 1001 SETBACES 17-ON EQUIRED 61-07 PROVIDED 1000 REQUIRED 10-00 PROVIDED 10-00 PROVIDE	704 S.F. = 3,299 S.F. PROVIDED RIMARY INCLUDING ACCES REWS - 4,500 S.F. ALLOWED REUCTURE PLUS ACCESS OSED JCTURES = 3,299 S.F. 400 S.F.	OOR AREA (5.F.) PROVIDED—3 OVERAGE ALLOWED 35% OF %= 3,500 5.F. ALLOWED OVERAGE: (PROPOSED PRIMAR NCC 50. FT. = ADDITIONS= ADDITIONS= 1 ADDITIONS=	750 S.F. 150 S.F. 213 S.F. 382 S.F. 382 S.F.	SETBACKS	ZONING DISTRICT: SFR SITE AREA= 10,000 S.F.
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07.26.2015 07.20.2015

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12.07.2015 10.22.2015 09.20.2015

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01.08.2016

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PROPOSED SITE PLAN

SHEET TITLE

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PROPOSED SITE PLAN

GILHULY RESIDENCE 414 ALHAMBRA CIRCLE MIAMI, FLORIDA PROJECT DESCRIPTION:
RENOVATION &
ADDITIONS TO
EXISTING RESIDENCE 04.30.2015 01.13.2015 DESIGN DEVELOPMENT DESIGN DEVELOPMENT DESCRIPTION

RAYMOND JOHN FOWLER -. ARCHITECT, INC. .

815 NORTH HOMESTEAD BOULEVARD, HOMESTEAD, FLORIDA 33030

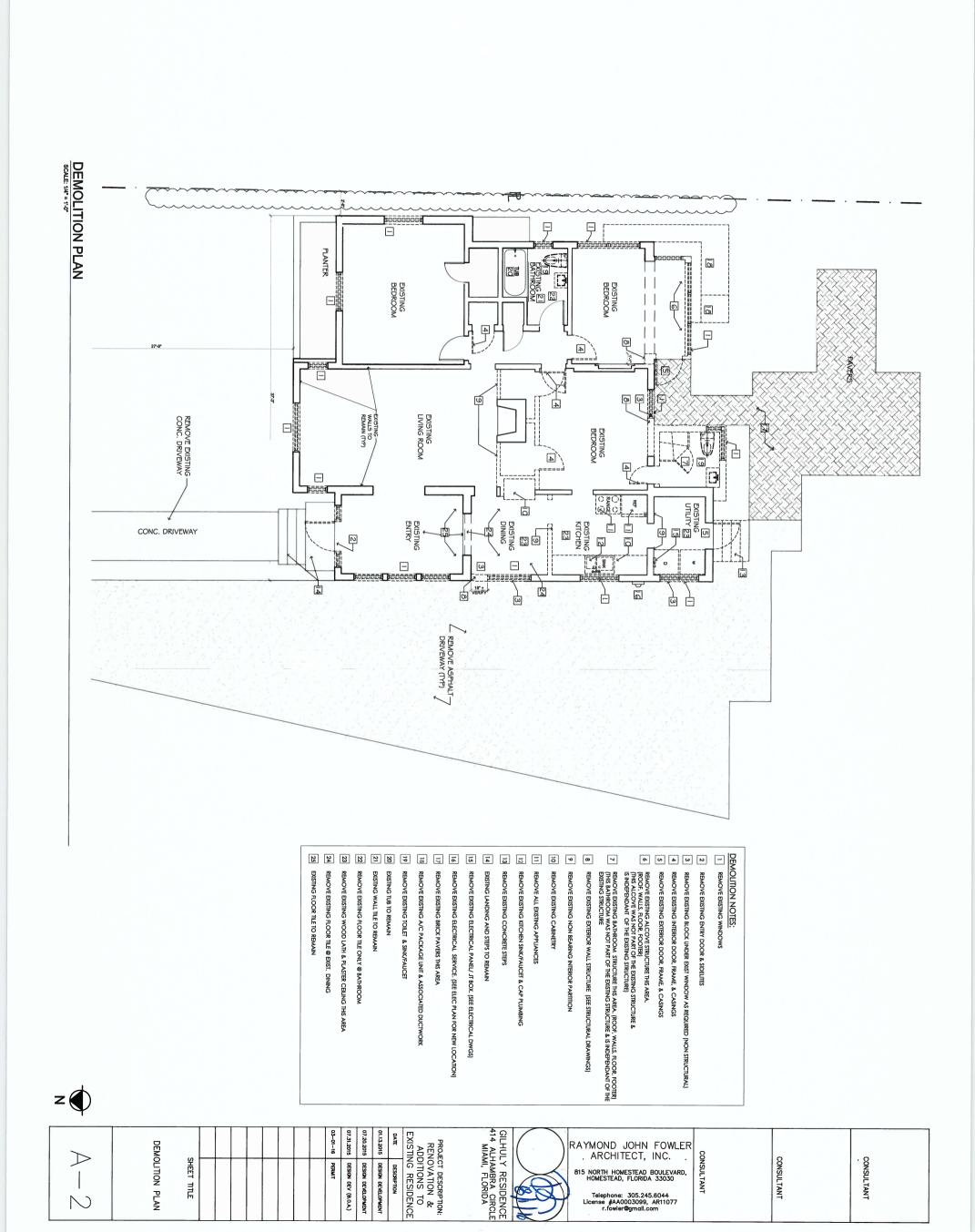
Telephone: 305.245.6044 License #AA0003099, AR11077 r.fowler@gmail.com

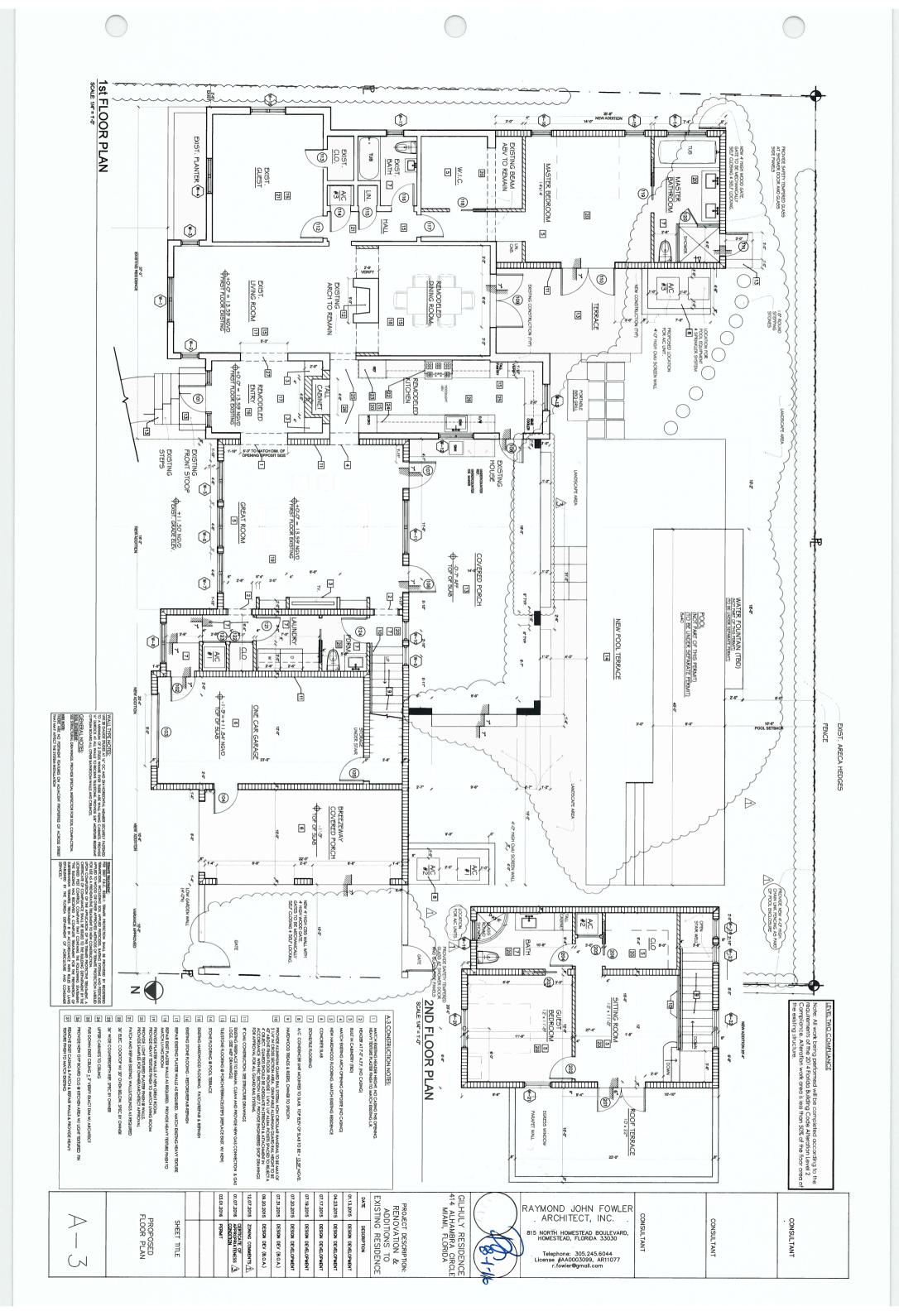
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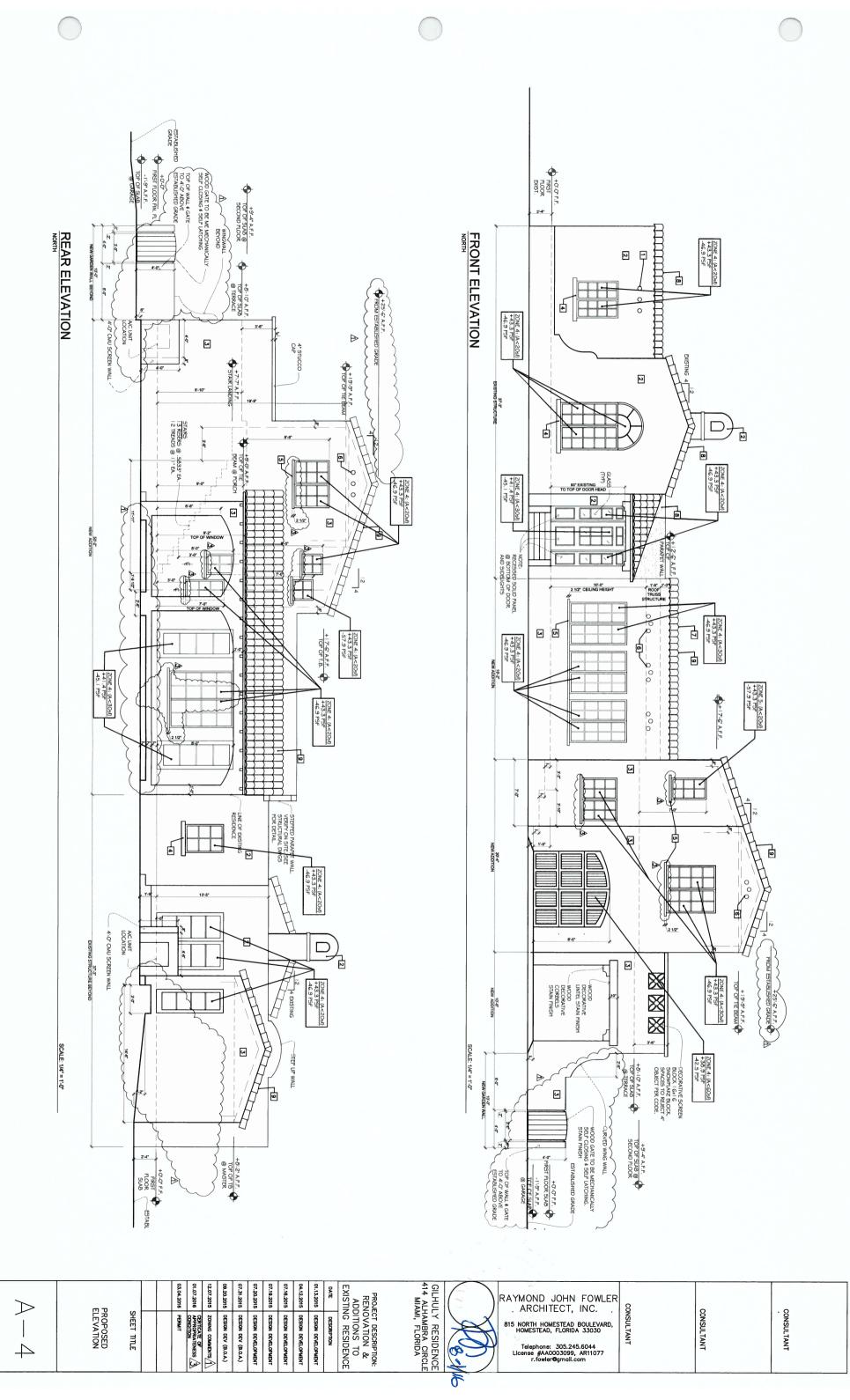
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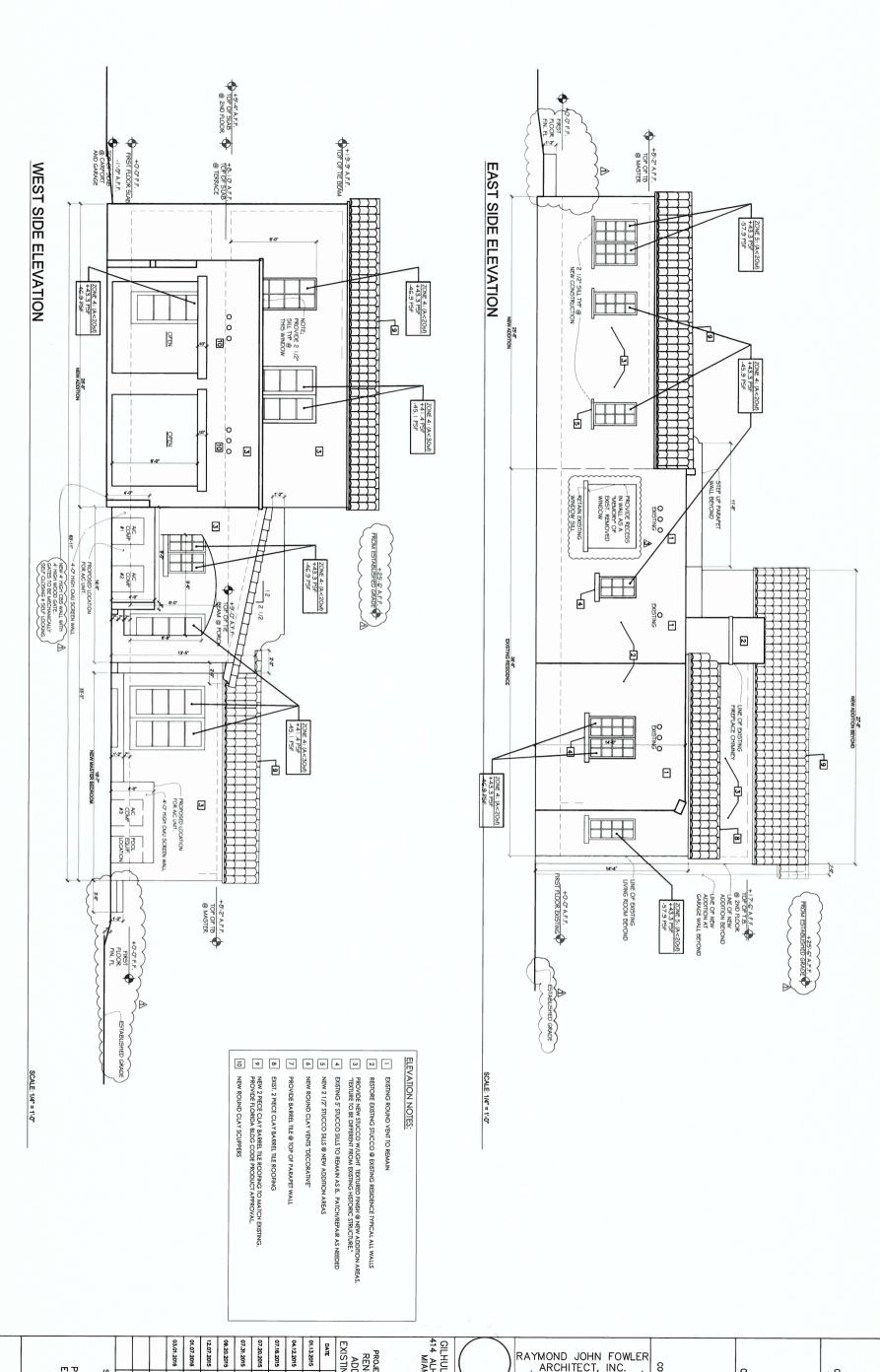
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DESIGN DEVELOPMENT DESCRIPTION

PROJECT DESCRIPTION:
RENOVATION &
ADDITIONS TO
EXISTING RESIDENCE

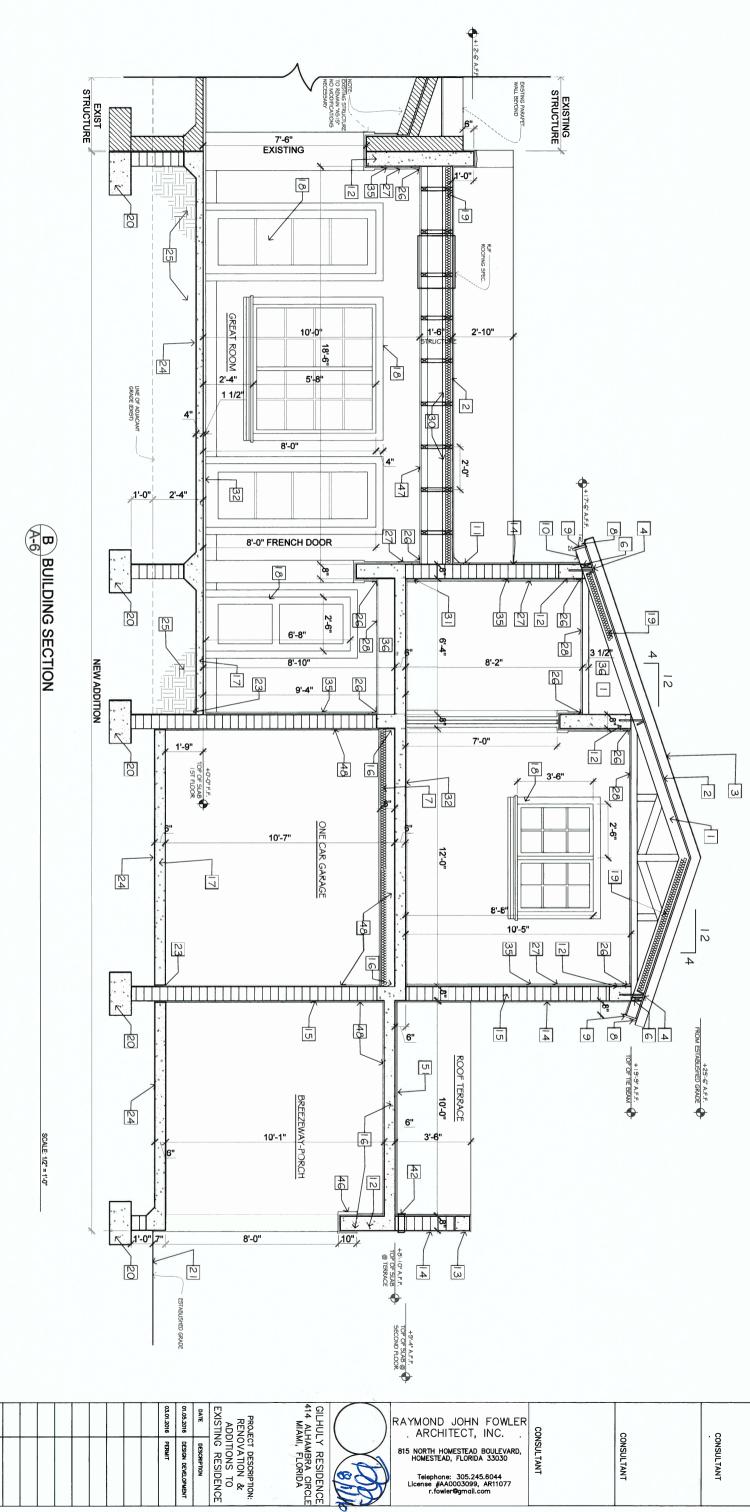
GILHULY RESIDENCE 414 ALHAMBRA CIRCLE MIAMI, FLORIDA

RAYMOND JOHN FOWLER . ARCHITECT, INC. . 815 NORTH HOMESTEAD BOULEVARD, HOMESTEAD, FLORIDA 33030 Telephone: 305.245.6044 License #AA0003099, AR11077 r.fowler@gmail.com

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PROPOSED SECTIONS

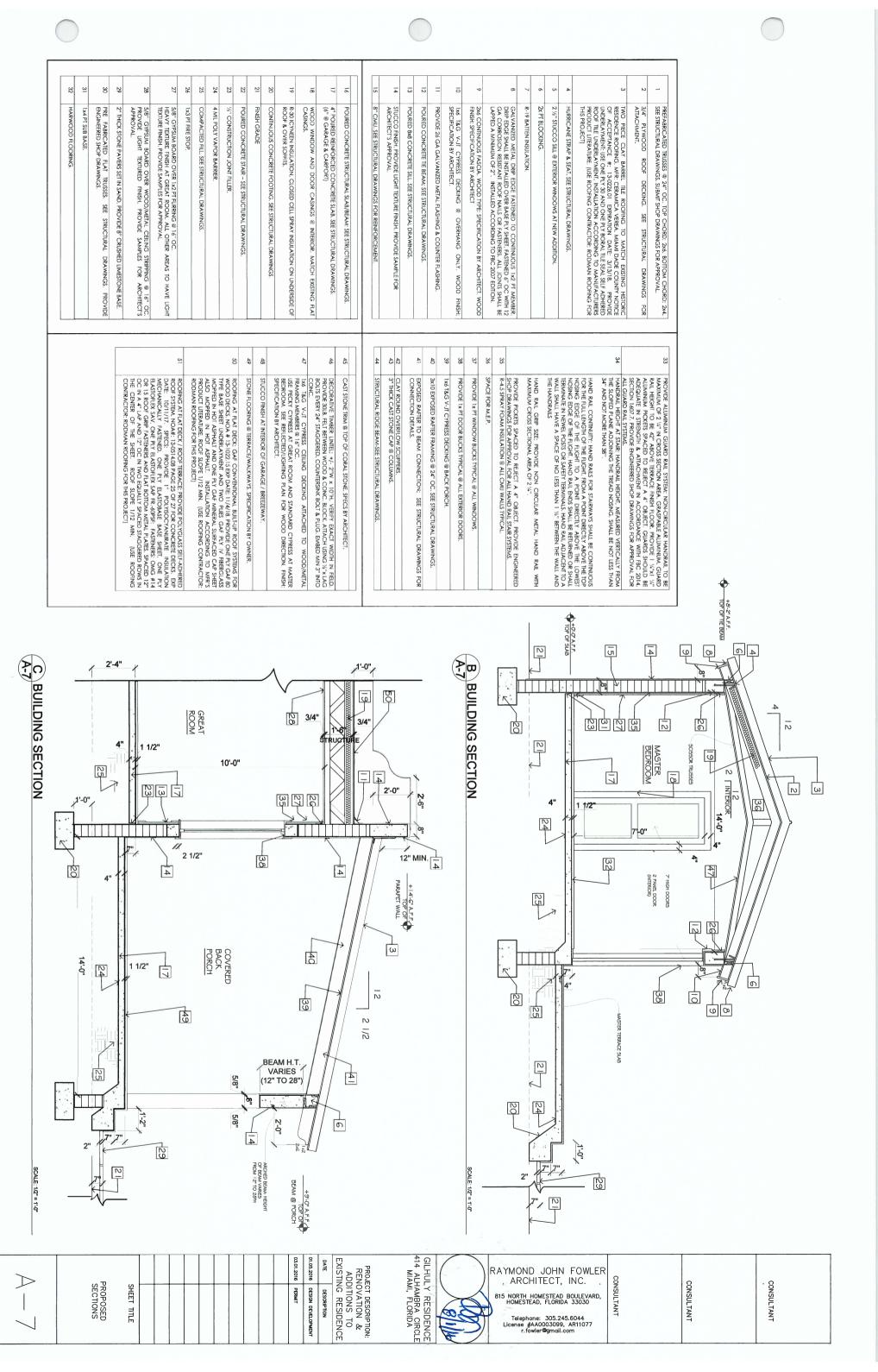
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Telephone: 305,245,6044 License #AA0003099, AR11077 r.fowler@gmail.com

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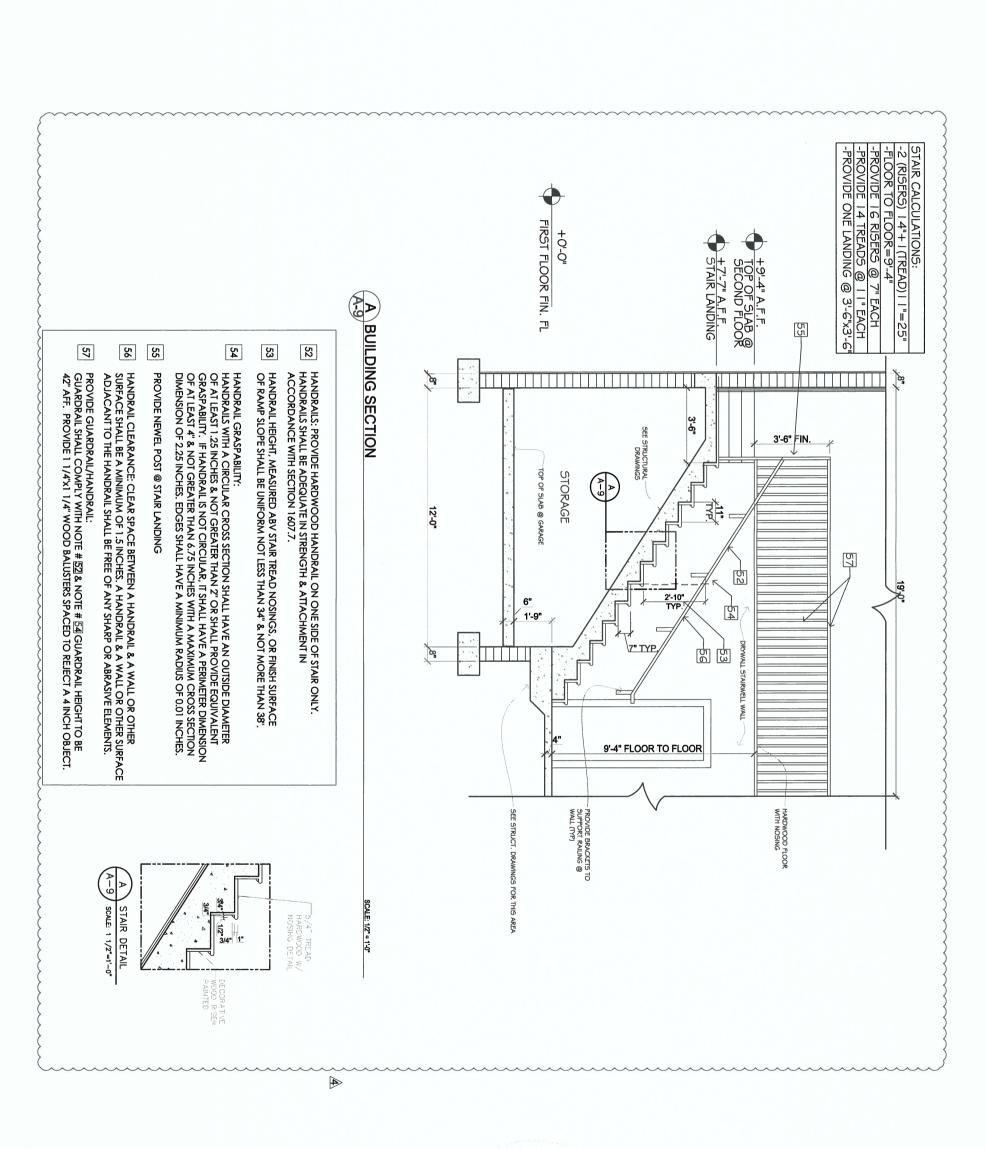
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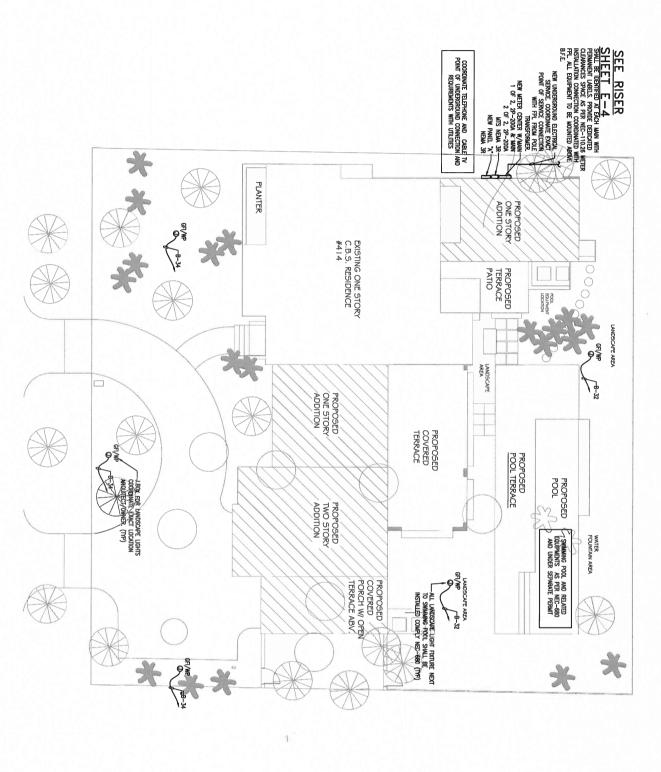
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		WOOD	WOOD	WOOD	WOOD	WOOD	ALUM / WHITE	WOOD		WOOD	WOOD	FRAMELESS	WOOD	WOOD	WOOD		***************************************			ALUM / WHITE	ALUM / WHILE	ALUM / WHITE	ALUM / WHITE	ALUM / WHITE	ALUM / WHITE	ALUM / WHITE	ALUM / WHITE	STEEL / FAUX	ацим / white	ALUM / WHITE		Frame Material and Finish	
		WOOD		WOOD	WOOD			WOOD	WOOD	WOOD	WOOD	GLS	WOOD	WOOD	WOOD					ALUM	ALUM			ALUM	ALUM	ALL		STEEL/FAUX WOOD	ALUM	ALUM		Door Malerial	
		\$		Z	Z >		M			NA	X	×	NA A	N _A	X		3			ALUM	ALUM					ALUM	ALUM	NA	ALUM	ALUM		DOOR SCHEDULE Treshold Material	
	VERT MULL	WOOD TWO PANEL POCKET DOOR TO MATCH EXISTING DOORS	WOOD LOUVER DOOR, TWO PANEL	WOOD TWO PANEL DOOR TO MATCH EXISTING DOORS	WOOD TWO PANEL POCKET DOOR TO MATCH EXISTING DOORS	WOOD TWO PANEL DOOR TO MATCH EXISTING DOORS	FRENCH DOOR. SEE ELEV.	WOOD TWO PANEL DOOR TO MATCH EXISTING DOORS	WOOD LOUVER DOOR. TWO PANEL	DOOR, TWO	WOOD TWO PANEL DOOR TO MATCH EXISTING DOORS	FRAMLESS GLASS SHOWER DOOR WITH SIDE PANELS	WOOD TWO PANEL POCKET DOOR TO MATCH EXISTING DOORS	WOOD TWO PANEL POCKET DOOR TO MATCH EXISTING DOORS	WOOD TWO PANEL DOOR TO MATCH EXISTING DOORS		T T T T T T T T T T T T T T T T T T T	WOOD LOUVER DOOR, TWO		GLASS COATING. SEE ELEV.	FRENCH DOOR.	SEE ELEV.	SEE ELEV.	FRENCH DOOR. SEE ELEV.	FRENCH DOOR. SEE ELEV.	SOLID CORE WITH METAL FACE. 20 MIN FIRE RATED DOOR.	SOUD CORE WITH METAL FACE.	GARAGE DOOR WITH FAUX WOOD DESIGN. SEE FRONT ELEVATION	SOLID CORE WITH METAL FACE. 20 MIN FIRE RATED DOOR.	FRONT ELEV. ENTRY DOOR, SEE FRONT ELEV.	entry door, see	ULE Unit Type	
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GENERAL DOOR NOTES				_			80										+	+			8	88	8	8_	80					90 98		Approved Pressures Negative Positive	
						1	80 (45.1) PSF													(46.9) PSF	80 (45.1) PSF				5.1) PSF	Z >		(42.5) PSF	Z.	90 (45.1) PSF 90 (46.9) PSF		es Sile Specific Pressures five Negative Positive	
							41.4 PSF		0.7.											43.3 PSF	41.4 PSF	43.3 PSF	41.4 PSF	41.4 PSF	4 PSF	×		38.9 PSF /	Ž	41.4 PSF 0		ic Pressures	
	AT ENTRY DOOR		VERIFY EXACT DOOR SIZE REQUIRED WITH A/C CONTRACTOR.						VERIFY EXACT DOOR SIZE REQUIRED WITH A/C CONTRACTOR.			PROVIDE TEMPERED SAFETY					COMPACION	VERIFY EXACT DOOR SIZE REQUIRED WITH A/C								UNDER STAIR DOOR.		MFR:	PROVIDE SELF CLOSING HINGES	DOOR. MFR: CGI ESTATE ENTRY ENTRY SIDELITE	MFR: CGI ESTATE ENTRY	lemarks	

A - 8	SHEET TITLE	PROJECT DESCRIPTION: RENOVATION & ADDITIONS TO EXISTING RESIDENCE DATE DESCRIPTION OXOLZOIS PERMIT	RAYMOND JOHN FOWLER ARCHITECT, INC. 815 NORTH HOMESTEAD BOULEVARD, HOMESTEAD, FLORIDA 33030 Telephone: 305.245.6044 License #AA0003099, AR11077 r.fowler@gmail.com	CONSULTANT
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CONSULTANT

CONSUL



ELECTRICAL SITE PLAN
SCALE: 1/8" = 1'-0"

z

ALHAMBRA CIRCLE 18'-0" ASPHALT

> ONNER SHALL COORDINATED WITH POOL CONTRACTOR FOR ALL NECESSARY COMPROL. SMITCHES, STAFTER, SHUT-OFFS, DISCONNECTS ALL CORDS AND PLUISS DEALED NECESSARY AND EXTRA CONDUITS FOR CONTROL WIRES. ALL ELECTRICAL WORK SHALL COMPLY WITH ARTICLE 680 OF THE NATIONAL ELECTRICAL CODE (PROVIDE GFI TYPE BREAKERS) ALL METAL POOL FITTING SHALL BE BONDED AND CONNECTIONS AS PER NEC-880.26 AND NEC-250 FOR EQUIPOTENTIAL BONDING CHURCH POTENTIAL HROUGH A SUPFACE TO ELIMINATE VOLTAGE GRADIENTS IN THE POOL AREA. For receptacles installation requirements (Nec-680.22) in This areas coordinate as direct by owner and pool contractor for exact location. ALL CONDUCTOR IN EXTERIOR LOCATED JUNCTION /PULL BOXES EXPOSED TO THE WEATHER USING AN APPROVED METHOD AS PER AMNUFACTURER.

POOL CONTRACTOR TO PROVIDE PUSH BUTTON TO SHUT DOWN POWER POOL TO COMPLY WITH NEC--880 AND MANUFACTURERS RECOMMENDATION COORDINATE WITH GWINER PROVIDE MAIN BELINERS WITH A SHUNT TIRP DEVICE INTERFACED WITH EQUIPMENT COORDINATE BREAKER SIZE.

POOL-ELECTRICAL NOTES

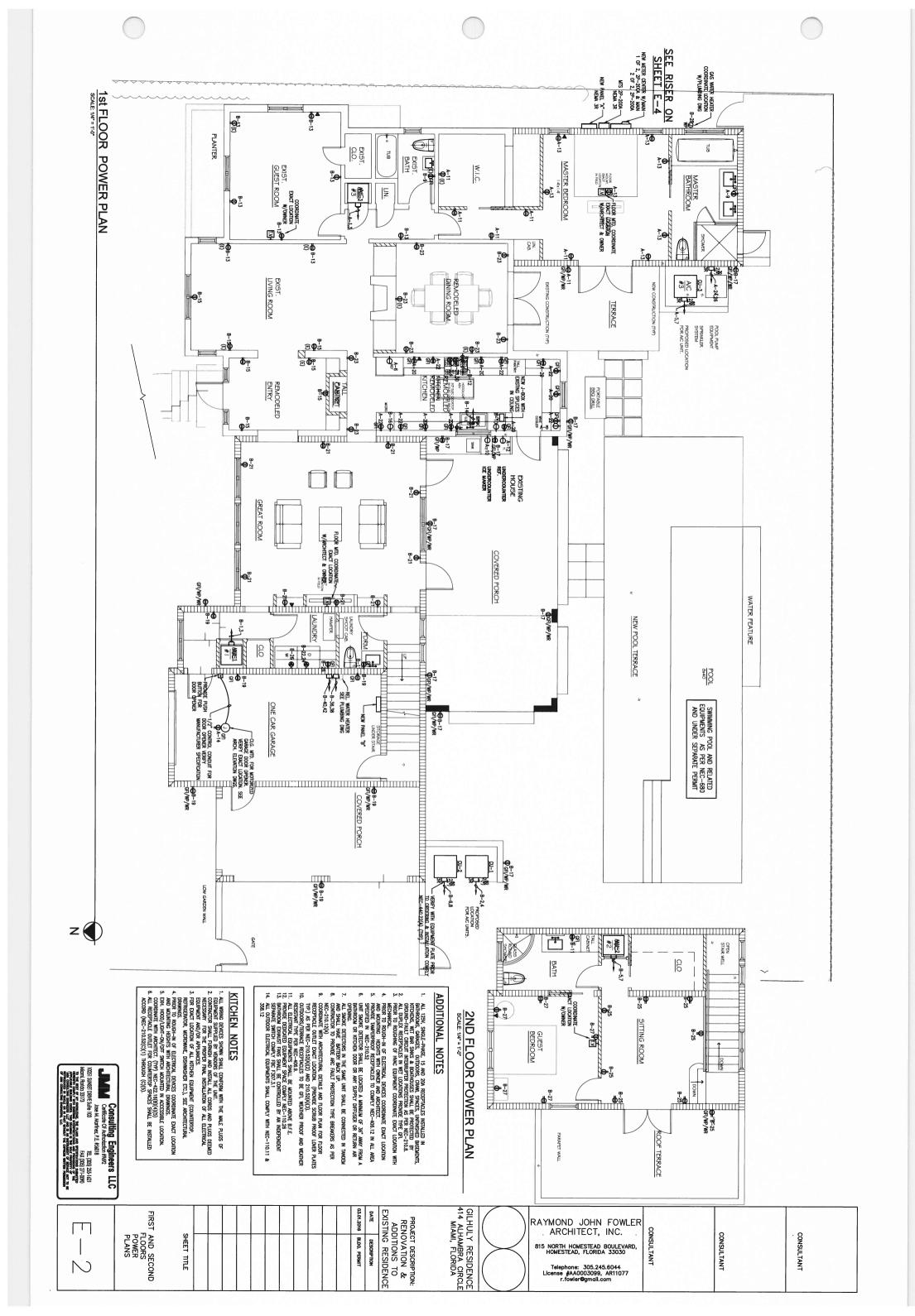
AL LUMINURES INSTALLED AROUND POOL AREAS SHALL COMPLY WITH NEC-580 AND FLORIDA BUILDING CODE & SHALL BE U.L. APPROVED LABEL refer to pool drawings and pool consultant for exact location and detail controlled via contactor. Necessary and extra conduits for control wires. Verify with equipment plate prior to ordering and installation. ELECTRICAL CONTRACTOR SHALL COORDINATED WITH POOL CONTRACTOR FOR ALL NECESSARY CONTROL SWITCHES, STARTER, SHUT-OFFS, DISCONNECTS ALL CORDS AND PLUGS DEEMED.

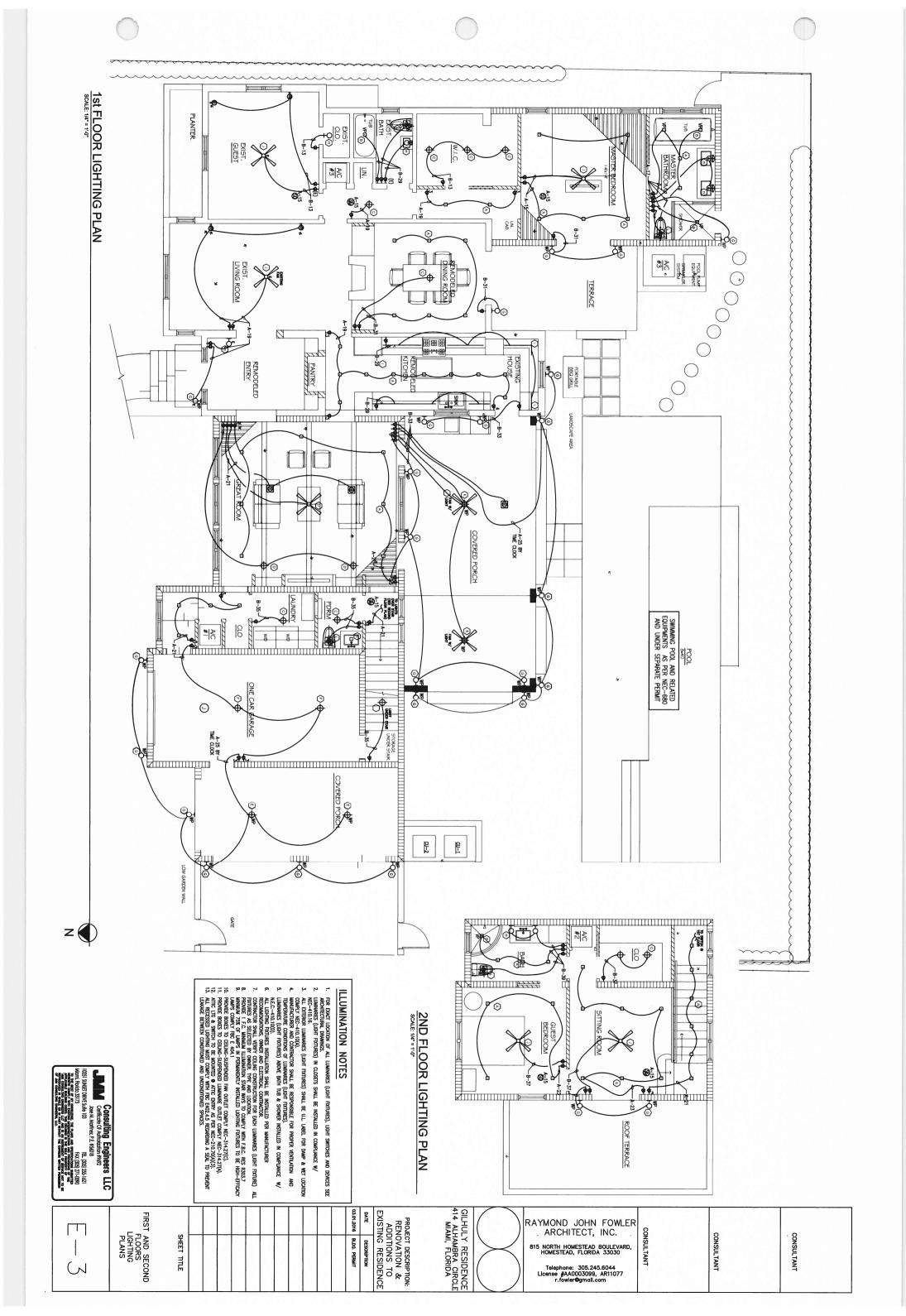
ALL LANDSCAPE LIGHTING NEC-411. ELECTRICAL WORK SMALL COMPLY WITH MATIONAL ELECTRICAL CODE 2014 5 THE BOTTON AND OTHER APPLICABLE CODES AND STANDARDS.
ALL WINNIG SMALL BE COLOR CODED AS PER NEC. COLOR CODING SMALL BE MAINTAINED THROUGHOUT THE LANDSCAPE PLAN. INSTALLATION SHALL COMPLY WITH

all ughting fixtures installation and controls shall be installed per owner and manufacture recommendations. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER VENTILATION AND TEMPERATURE CONDITIONS OF LUMINAIRES (LIGHT FIXTURES). ALL BRANCH CIRCUITS SHALL BE SIZED IN ACCORDANCE WITH N.E.C-210 REGARDLESS OF SIZES SHOWN. COORDINATE EXACT LOCATION OF LANDSCAPE LIGHTS WITH OWNER & LANDSCAPE CONTRACTOR. LANDSCAPE ILLUMINATION NOTES

Consulting Engineers LLC Certificate Of Authorization 19972
Lose M. Aufritz, F.E. #50/18
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	SHEET TITLE ELECTRICAL SITE PLAN	CONSULTANT CONSUL





NOTES (NOT ALL NOTES ARE APPLICABLE)

ALL WORK SHALL BE IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE 2011, FLORIDA BUILDING CODE 2014 5TA EDITION AND OTHER APPLICABLE CODES AN

SHORT CHROLIT BATING: SUPPLACE
SHORT CHROLIT BATING: 22K AC
LICATION: EXTERIOR
TYPE: SIBLENS
LIAND COND. WRIE: TRIP POLE
11032 1 1/4" 6 60 2,

POLE

DESCRIPTION

AHU#3 HACR TYPE BREAKER.

CKT No.

CKT No.

DESCRIPTION

POLE

REFRIGERATOR
WINE COOLER
ICE MAKER

NEW PANEL

Ä

NEWA 3R

- PROVIDE ALL A/C CONTROL AS REQUIRED BY A/C DRAWINGS OR MANUFACTURER

- TERRACE RECEPTACLES TO BE GFI AND WEATHER PROOF.

 COORDINATE LOCATION OF ALL DISCONNECT SWITCHES WITH OTHER TRADES TO ALLOW
- CIRCUITS WIRING REQUIRED TO BE AS FOLLOWS: 120V-2 WIRE (L-N); 120/240V WIRE (LL-N); 240Y-2 WIRE (LL). WHEN EQUIPMENT GROUND IS REQUIRED

BATHROOM CRICUIT
GRAL LIGHT (MASTER REC) (
GRAL LIGHT (TAS/SD) (
GRAL LIGHT (TS)
1 GRAL LIGHT (TS)

SMALL APPLIANCES
SMALL APPLIANCES
SPRINKLER PUMP

POOL PUMP PROV (NEC-680)(3)

A/C CONTRACTOR TO KEEP N.E.C. REQUIRED CLEARANCE COORDINATE LOCATION OF AIR CONDITIONER (INDOOR UNIT) DISCONNECT SWITCH ALL WIRING TO BE COPPER.

- AND RECEPTACLE BRANCH CIRCUITS WHICH ARE **₫14** MINIMUM WIRE SIZE SHALL BE ∯12 WITH THE EXCEPTION OF 15A GENERAL LTG.
- CONDUIT IN UNFINISHED AREAS SHALL BE EXPOSED. FUSES SHALL BE DUAL ELEMENT, TIME DELAY TYPE. CONDUIT IN FINISHED AREAS SHALL BE CONCEALED.
- INSTALL NYLON PULL STRING IN ALL EMPTY CONDUITS FOR
- 14. ALL MATERNAS SHALL BE UL. APPRONED.

 15. WORKAWASHIP SHALL BE TO BEST COMMETCHAL PRACTICE.

 16. PROVIDE ALL FINAL CONNECTIONS TO ALL EQUIPMENT AND APPLIANCES.

 17. RECESSED LIGHT FATURES OVER BIATHOUGH OR SHOWER SHALL BE CONFLETELY DICLOSED. AND VAPOR PROOF SUITABLE FOR WET LOCATIONS.

 18. RISERS ARE DIAGRAMMATICAL ONLY. THEY DO NOT SHOW EVERY BEND REQUIRED.
- ALL LUMINARIES SHALL BE PROPERLY SUPPORTED IN ACCORDANCE WITH THE CELLING SYSTEM MANUFACTURER RECOMMENDATIONS AND LOCAL CODE
- ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE A FUNCTIONING SYSTEM. DRAWING IS A GUIDE FOR THE INSTALLATION OF ELECTRICAL SERVICE. THE
- 21. A/C EQUIPMENT WIRNE, BREAKER AND FLUES SIZES ARE BASED ON A/C EQUIPMENT SPECIFIED. ON CONTRACT DRAWNINGS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL WIRING, BREAKER AND FLUESE SIZES IN ACCORDANCE WITH A/C EQUIPMENT WARPLANE REQUIREMENTS IF DIFFERENT FROM THAT SPECIFIED ON DRAWNINGS, AS WELL AS ANY FEEDER CHANGES BEING AFFECTED BY THIS CHANGE. CONTRACTOR SHALL AWARE ABOVE ENDERHOOD CHANGES AT NO EXTRA COST.

 22. CONTRACTOR SHALL COORDINATE ALL HIS WORK WITH OTHER TRAVES IN ORDER TO FIRMISH AND INSTALL ALL CONTROLL WIRING AND PACEMENTS, ALL POWER CONTROL CIRCUITS WIRING AND PACEMENTS AS SHOWN ON THE AIR CONDITIONING DRAWNINGS. OR SPECIFICATIONS. IF AIR CONDITIONING DRAWINGS REFER TO MANUFACTURER'S
- WRING DAGGNAS, THE CONTRACTOR SHALL VERIFY WITH SUD MANUFACTURER ALL REQUIREMENTS AND INCLIDE ALL RELATED WORK IN HIS CONTRACT.

 23. ALL DEVICES, PANELS, OUTLETS, SWITCHES, ETC. TO BE MOUNTED ABOVE FLOOD
- 24. ALL 15 AND 20 AMP, 120 VOLT RECEPTACIES OUTLETS MUST BE LISTED TAMPER RESISTANT PER NEC 2011 (406.12)
 25. ALL OUTDOOR ELECTRICAL INSTALLATIONS SHALL COMPLY NEC-110.11, 110.28 &
- APPLICATION IN THE HOME AFCI NEC-210.12 DIRELING UNITS; ALL 120V SINGLE-PINSE: 15 AND 20 AIM'S BRANCH CRIGHTS SUPPLYING CONDETS INSTALLED IN DIRECTION UNIT SHALL BE PROTECTED BY ARC-FAULT CORCUM INTERRUPIER COMBINION-TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH.

SPEED DATA (ETHERNET)

PORT ID. (TYP.) STANDARD RJ45

DATA

¥ 0

PORT WALL PLATE/JACK CONFIGURATION

TYPICAL TV OUTLET

TYPICAL VOICE /DATA OUTLET

<u>-</u>

DEVICE ID.

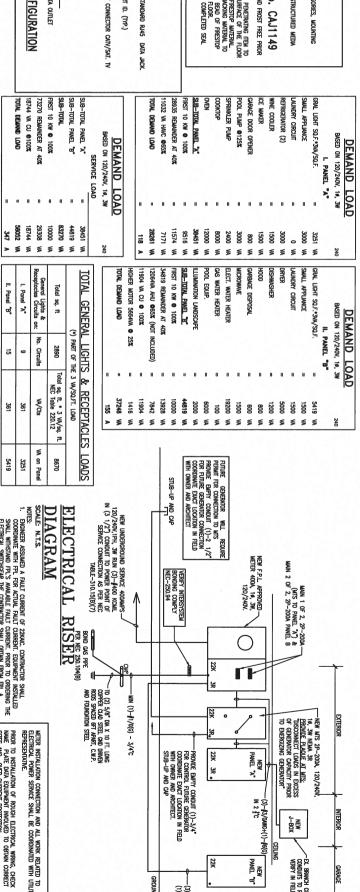
FAMILY ROOM DINING ROOM LIVING ROOM DENS BEDROOMS CLOSETS RECREATION ROOM LIBRARIES BREAKFAST ROOM SUN ROOMS PARLORS ROOM HALLWAY. ETC SHOW HERE FOR REFERENCE ONLY KITCHEN LAUNDRY ROOM BATHROOM GARAGE OUTDOOR UNFINISHED BASEMENT

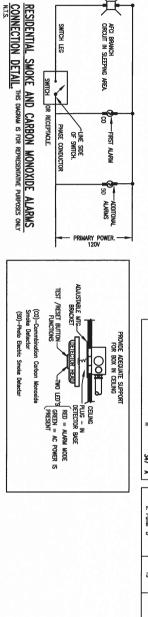
AN D SITE 1 — PREZNATION: ALL SURFACES MUST BE CLEM, SOUND, DRY AND FROST FREE PROOR TO APPLICATION OF MINDRUK. SITE 2 — BACKING, MINETERN, PACK MINDRUK WOOL TIGHTLY AROUND THE FENETRATING ITEM TO SITE 10-1 BACKING MINETERN, AND RECESS IT BELLOW THE TOP SURFACE OF THE FLOOR (OR BOTH SURFACES OF A WILL JOY ALOUR PROPER SPACE FOR THE FRESTOP MINETERN, SITE 3 — FRESTOP SELMIT, APPLY THE FRESTOP OF MINETAL TO THE DEPTH SOWNEY. THE PREST TO DESIGN, APPLY A 172" BEQUINE THE PREST OF MINETER APPLY A 172" BEQUINED THE STOP SELMIT MOUND ITS DREAMFRENCE MINETER IT CONTACTS THE WILL OR FLOOR WILL PRESTOR SELMIT MOUNDSTURBED FOR 46 HOURS. INSTALLATION INSTRUCTIONS FOR UL No. CAJ1149 NOTES: (8) 白色質 Ф BECTRICAL WORK SHALL COMPLY WITH EIA-TIA. PRIOR TO AMY WORK COORDINATE WITH EIACH PROVIDER FOR ACCESSORIES, MOUNTING HEIGHT, EIC. RECURED FRE MATING OF ALL WALLS. GEERS TO FLOOR PLAN FOR FOAK COUNTRIES AND LOCATIONS OF STRUCTURED MEDIA OUTLETS, VERRY WITH OWNER PRIOR TO COMMENCEMENT OF WORK. S Electrical Symbols Legend: RJ45 Photoelectric Smoke detector (110 v. with bettep back-up, interconne and sounding base) Photoelectric Smoke Detector & Carbon Manazide Detector Combination (120v) Combination (120v) W.Battery Three/Four-way switch 20A Single receptacle outlet 20A (Tamper resistant) Duplex receptacle outlet w/USB part. Duplex receptacle outlet 15A over counter. (Small appliances & bathrooms to be 20A) (Tamper resistant) Ceiling fan Cable outlet (Use those that apply) Single pale switch 20A Dryer receptacle Receptacle 240v,1¢ idicates weatherproof device or plate ndicates ground-fault interrupter Tamper resistant) ephone outlet uprex receptacle outlet-split wire 15A amper resistant) weather resistant device above finished floor or grade

TOTAL CONNECTED

LOAD:

ANALYSIS





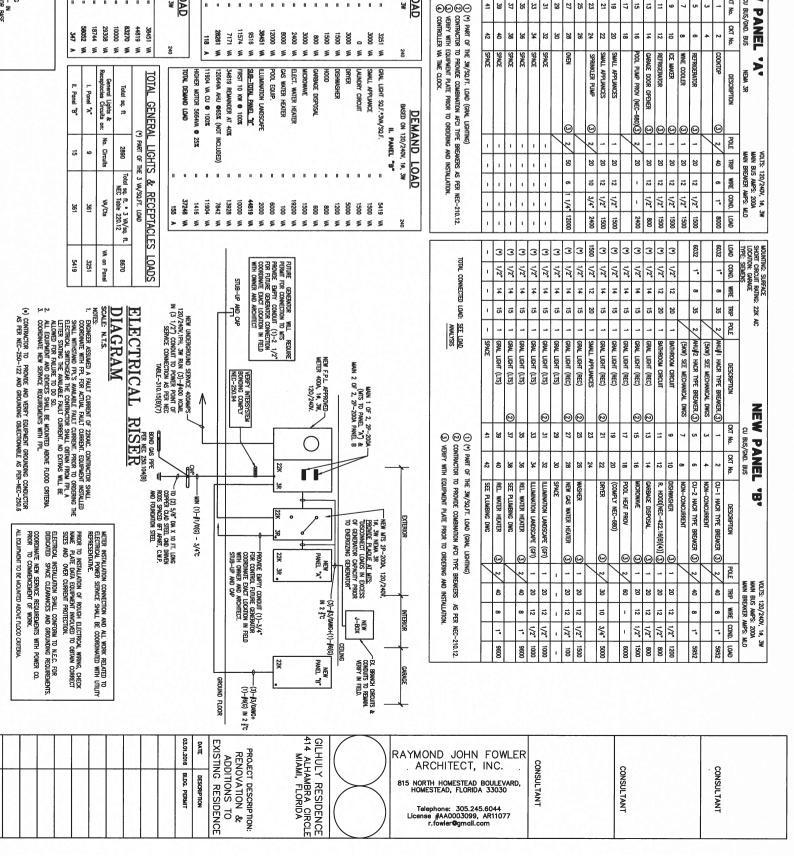
1. DO NOT CONNECT TO GFI CIRCUITS.
2. OPERATION OF A SWITCH (OTHER THAN A CIRCUIT BREWER) OR A
2. OPERATION OF A SWITCH (OTHER THAN A CIRCUIT BREWER) OF FRAMARY
(MAN) POWER SANCE MARKES POWERED BY AFCL-PROTECTED CIRCUITS
SMALL HAVE A ESCONDAYE POWER SOURCE LEFF A 72, CHAPPER 11,
INTERCONNECT ALL SHOKE DETECTORS OR CARBON MONODOE IN SICK A
WAY THAT THE OPERATION OF ANY SHOKE DETECTOR OR CARBON
MONODIE WILL ACTIVATE ALL DETECTOR SOUNDING ALARM IN DWELLING
UNI.
4. EACH DETECTOR SHALL BE LOCATED A MINIMUM OF 35° AMMY FROM A
5. COLUMNATION SHOKE DETECTOR—CAMBON MONODIE SHALL BE LOCATED A
MONDAM OF 10"-0" OF EACH DOOR ROBING LISTED FOR SLEPHIG
MONDAM OF 10"-0" OF EACH DOOR ROBING HILL—BURNING HATER OR
PROPOSES, ISSUED AND HAMRG A FOSSIL FULL—BURNING HATER OR
APPLIANCE, A FIRE PLACE, AN ATTACHED MARKES SHALL BE MONTORED
IN ACCORDANCE WITH NEPA 72 AND NEC-780.

SWITCH LEG

PANEL SCHEDULE, RISER DIAGRAM, LEGEND & NOTES

NOTES

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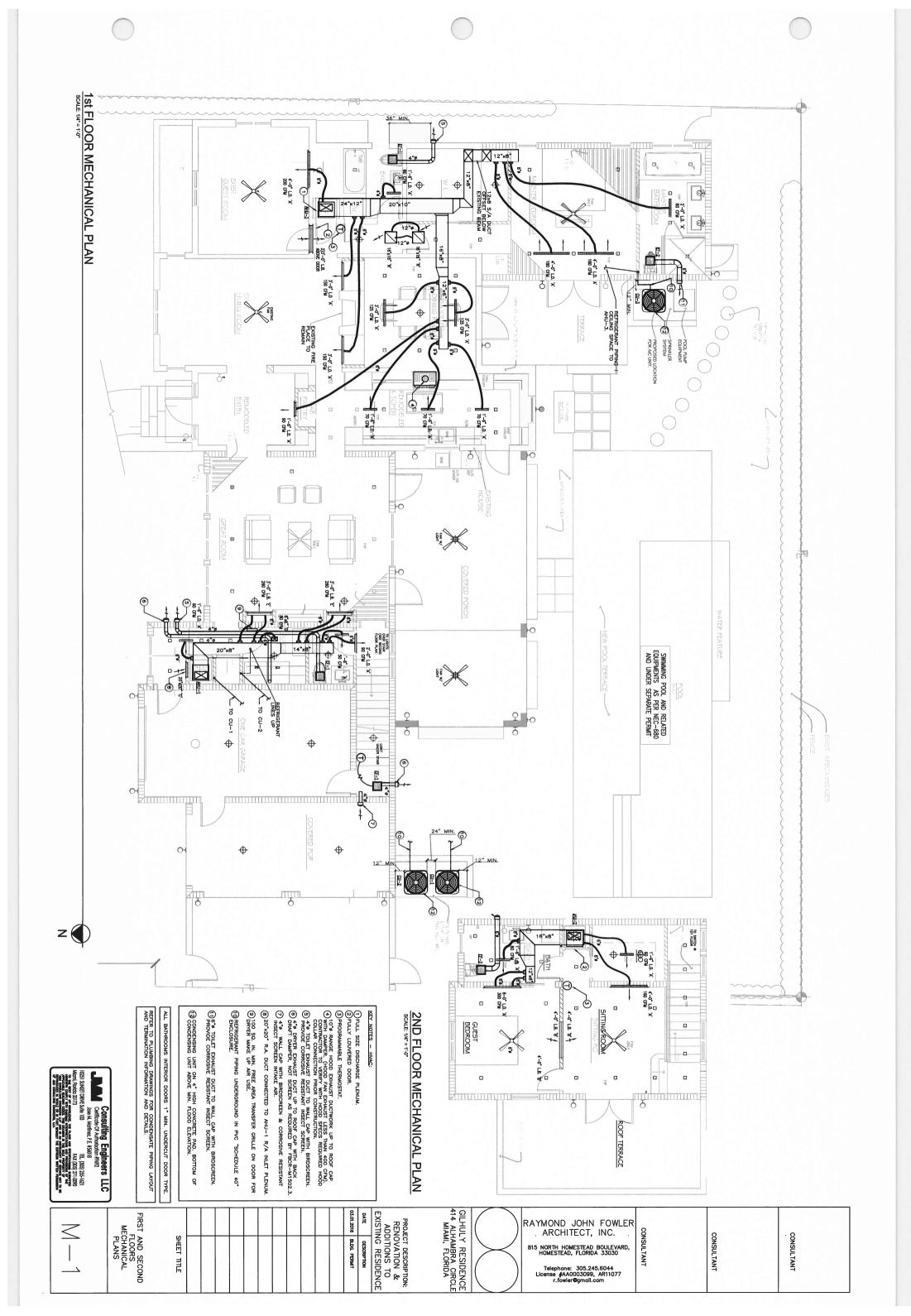




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PANEL SCHEDULE, RISER DIAGRAM, LEGEND & NOTES

SHEET TITLE



HVAC GENERAL NOTES

SPLIT A/C EQUIPMENT SCHEDULE

MILITARISES/NAME

AND-3

VENTILATION FAN SCHEDULE

ARE GREENLY DAGRAMANTC. THEY DO NOT SHOW T-SET, EBOMS OR OTHER TITINGS WHICH MAY BE THE INSTALLATION IN THE SPACE ALLOCATED, OR TION WITH OTHER TRADES.

BALWICHG CONTRACTOR SHALL ADJUST AND BALWICZ AIR DISTRIBU-NA DRACES IN ACCORDANCE WITH CLAWITIES SHOWN ON PLANS FOR GLUAR HAAC OPENATION AND FOR RECAIRED BUILDING PRESSURGATION "AIREANSTIS.

ERITY ALL SPACE CONDITIONS & DIMBUSIONS AT JOB SITE PRIOR TO BRECATION OF DUCTWORK AND INSTALLATION OF BOUPFAIDNT AND TOESGORIES.

MACHOR MILION ON DEMANDS OR SECTION THE COMPEDION OF WORK ON SHOPED BY THE WORK ON SHOPED BY THE WORK OF SHOPED BY THE SHAPE OF SHOPED BY THE SHAPE SHAPE OF SHAPE OF THE SHAPE OF SHAP SHALL DO HIS OWN CUTTING AND REMOVAL OF ALL HIS IN ALL LOCATIONS WHERE REQUIRED EXCEPT WHERE YAN ON THE DRAWNINGS AND/OR AS SPECIFIED AND/OR D WITH TEMAITS.

1. PROMDE ALL AR HANDLING UNITS WITH A 7 DAYS, PROCRAMMABLE THERMOSINE WITH COPION AS PER MANAGEMENTS RECOMMENDED WITH DECOURABLY.

2. PROMODE ALL AR HANDLING UNITS WITH BUILD IN DECOURABLY.

3. ALL COMEDISANG WATS CHARRESTS AND COLLS SHALL BE PROVISED WITH BUILD CONTING.

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N HOOD BOWLST DUCTWORK SHALL RE OF MINMUM 16 GAUGE 255 STEEL ALL CREAVALLY WEDED CONSTRUCTION) TIGHT EXTERNALLY WEDED). E ON CHOING BY INTERN HEIGHT NAMENN FAMILE

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ED AR CONDITIONING SUPPLY AND RETURN DUCTWORK

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19-17. DUCTWORK SHALL BE FABRICATED IN ACCORDINGE

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AND THE CORECULAS SHALLINGS, REP, AND SHALLED MA.

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ALL EQUIPAENT AND MATERIALS SHALL BE GLARANTEED FOR THE PERIOD OF CHE YEAR, PERIOD OF GLARANTEE SHALL COMMENCE UPON RECEIF OF CERTIFICATE OF OCCUPANCY.

MIT A COMPLETE "AS-BUILT RECORD SET IN REPRODUCIBLE PAPER LYDISA TO ACCHTEC/TENGHEER FOR REVIEW PRICK TO FINAL 1941 REQUISITION.

MANCE AR SYSTEM TO DELVER SPECIFIED AR QUANTITIES AT LOCH CUTLET WITHIN 10% LISING ALB.C. PROCEDURES AND ESTS. SUBMIT ARE BAUNCE TEST RESULTS FOR REVIEW PRIOR D FINAL INSPECTION AND ACCEPTANCE.

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SUBJETI SHOP DRAWINGS OF ALL MATERIALS, DUCTWORK, AND EXITABIT VIX REVIEW PRIOR INSTILLATION ANDICK PARBECTION.

IPTLY AND RETURN AIR DIFFUSERS SHALL BE OF EXTRUDED .
RYDED ALLMINUM CONSTRUCTION OR AS SPECIFED.

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AND MAJANCE CONTRACTOR.

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CONDENSING UNIT MOUNTING DETAIL

FLEXIBLE DUCT TAKEOFF DETAIL

THE CU SHALL BE ATTACHED TO THE CONCRETE SLAD WITH AN ANCINE BOUT WITH A MICE SOOT OPERAL POUND WITH THE UNIT TROUGH THE CONCRETE SLAD TO CONCLY WITH CONFIDER OF SECTION SC-3 MANUAL DAMES CODE GROWNINGS.

-SUCTION LINE W/ 1/2"
ARMAFLEX INSULATION
& VAPOR BARRIER

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W/O INSULATION

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. CONCRUED OR HOM REMOVABLE JOINTS SHALL HOT DE HISTALLED BELOW THE SIAB.

IN CSCH. 40 SELTING SHALL BY 2" LARGER THAN THE FIFTE HISLIATION ENCASED.

HANNIG AN ANGLE HO GERETER THAN 45 DEGREES WITH THE BUCKSED RETRIGERANT

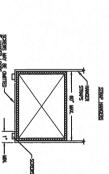
PITHIG REMOVABLE FOR RETLACEMENT.

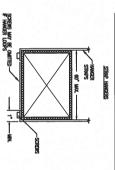
TYPICAL REFRIGERANT LINE CONDUIT DETAIL PACK VOIDS WIARMAPLEX & COAT WI SILICONE SEALANT FOR TIGHT CLOSURE SOFT TUBING

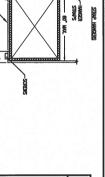
FIBERGLASS DUCT HANGER DETAIL NOTE: HANGER SPACING OFT., STRUP: 1" X 22 GA.

SHEET METAL DUCT HANGER DETAIL

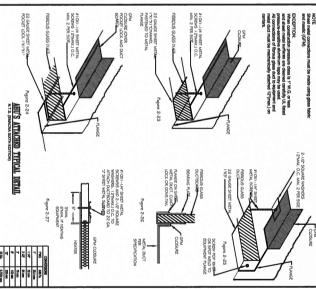
NOTE: HANGER SPACING SFT. , STRAP: 1-1/4" X 22 GA.







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SHAND SMILL MINTH	HORIZONTAL FIRE DAMPER	45° BRANCH DUCT TAKE-OFF	TURNING VANE	TRANSITION	DUCT SMOKE DETECTOR	THERMOSTAT	HVAC SYMBOL LEGEND	
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	DOSTING RETURN	DOSTING SUPPLY	FLEXIBLE DUCT	DUCT TURN UP	DUCT TURN DOWN	ROOF MID. BH. FAN		



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ORDINATED WIT	VICES SHALL 1 WITH OPPO: COUSTICAL C	NTITY, LOCATI		CT-481 (4" WIDE)	FL-20 (1"SLOT)	MODEL NUMBER	RIBUTION								-4
HARCHITECT.	BE OF EXTRU SED BLADE D IR PLASTER (ON AIR THRO				L	SCHED			\$	1		×	r y	K)
	ALL AIR DISTRIBUTION DEVICES SHALL BE OF EXTRUDED ALUMINUM CONSTRUCTION, FURNISH WITH OPPOSED BLADE DAMPERS AND CONCEALED MOUNTING FRAME FOR ACQUISTICAL OR PLASTER CEILING INSTALLATION.	ITES: REFER TO PLAN FOR QUANTITY, LOCATION AIR THROW PATTERN AND SIZES.		LINEAR BAR (TRANSFER AIR)	SIA LINEAR BAR DIFF.	REMARKS	ULE			VALVE	FIRE DAMPER	NEW RETURN	NEW SUPPLY	EXISTING RETURN	EXISTING SUPPLY
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TYPICAL REFRIGERANT PIPING DIAGRAN	MELL SHARE CHARGE	
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	SOME REMATED SOME REMATED SOME REMATED ADJUSTING ADJUSTING REMATED TYPICAL CEILING TYPE EXHAUST FAN DETAIL N.T.S.	

. TEMPERATURE CONTROL SHALL BE A PROGRAMMABLE ROOM THERW HEATING-COOLING WITH STAGES AS REQUIRED.

SUBJUT SHOP DRAWING OF ALL MATERIALS AND EQUIPAENT FOR PPROVAL PRIOR TO FABRICATION.

VIBRATION ISOLATION: ALL EQUIPAIDIT AS PER MANUFACTURER ECOMMENDATIONS TO ELIMINATE ANY EQUIPAIDIT NOISE FROM BEING

ALL INSULATION PRODUCTS AND ACCESORIES SHALL HAVE A FLAME SPREAD VATING OF 25 OR LESS AND A SMOKE DEVELOPED RATING OF 50 OR JESS IN ACCORDINACE WITH ASTIM EBA.

B. CONTRACTOR SHALL GURRANTER ALL MATERIALS AND WORKMANSHIP PRIER FROM DIETICITS FOR A PERIOD OF NOT LESS THAN A 1 YOR FROM DATE OF ACCEPTANCE.

ALL COMPRESOR MOTORS ON NEW EQUIPMENT FURNISHED UNDER THIS COMPRESOR HAVE A MIN. 5 YEARS PRODUCT GUARANTEE FROM DATE OF START-UP.

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Lose M. Authorization Press
TEL (283) 271-0299
Lose M. Engineer and Authorization Press
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MECHANICAL NOTES, SCHEDULES & DETAILS

SHEET TITLE

PROJECT DESCRIPTION:
RENOVATION &
ADDITIONS TO
EXISTING RESIDENCE BLDG. PERMIT

GILHULY RESIDENCE 414 ALHAMBRA CIRCLE MIAMI, FLORIDA

ARCHITECT, INC. 815 NORTH HOMESTEAD BOULEVARD, HOMESTEAD, FLORIDA 33030

RAYMOND JOHN FOWLER

TYPICAL N.T.S.

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MOUNTING DETAIL

TO SHUT OFF UNIT

Telephone: 305.245.6044 License #AA0003099, AR11077 r.fowler@gmail.com

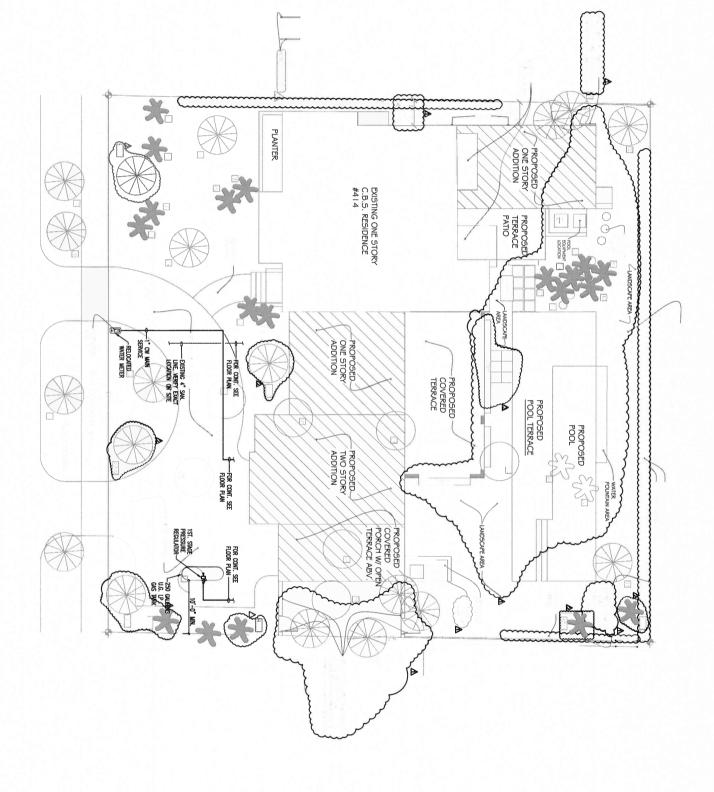
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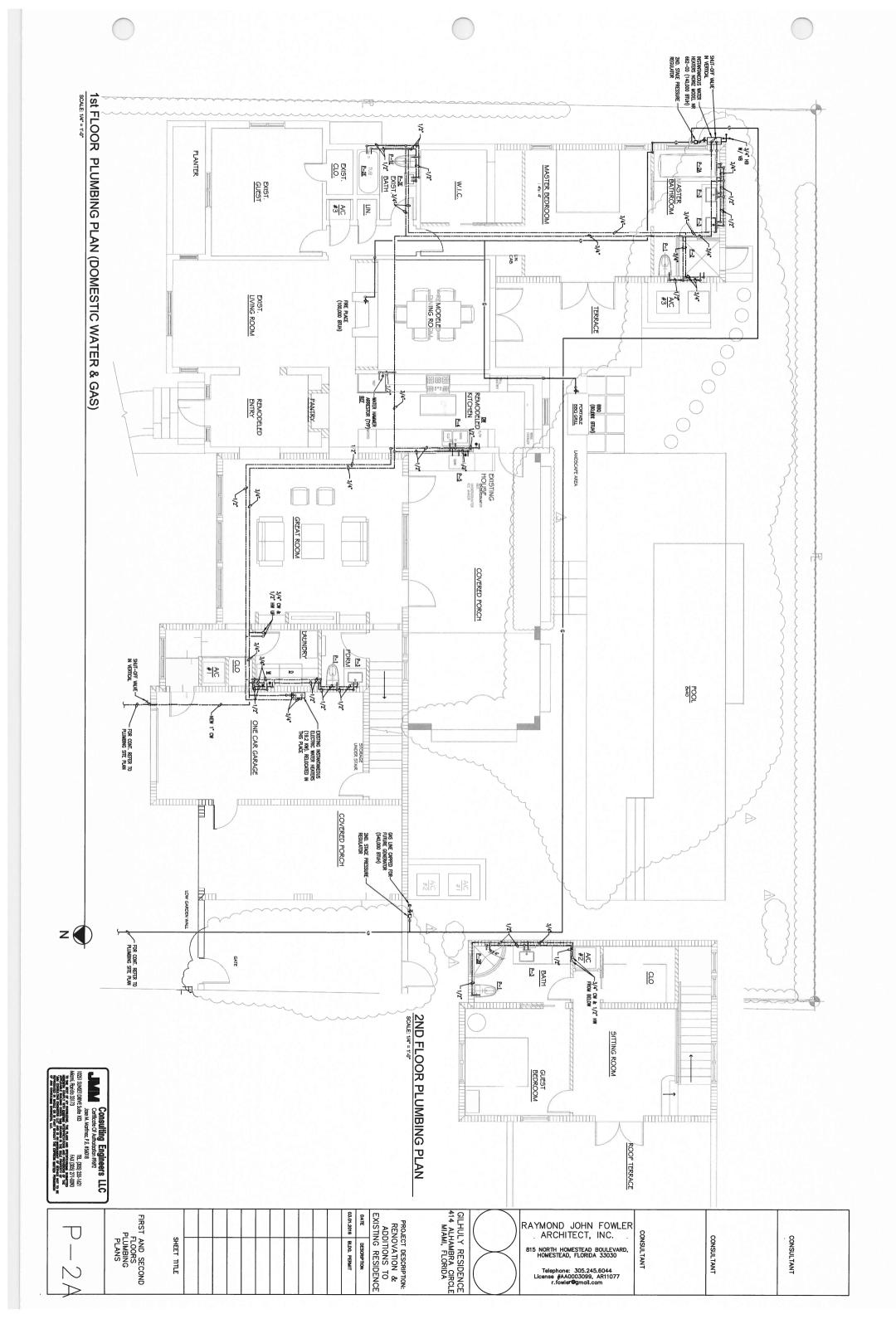
ALHAMBRA CIRCLE

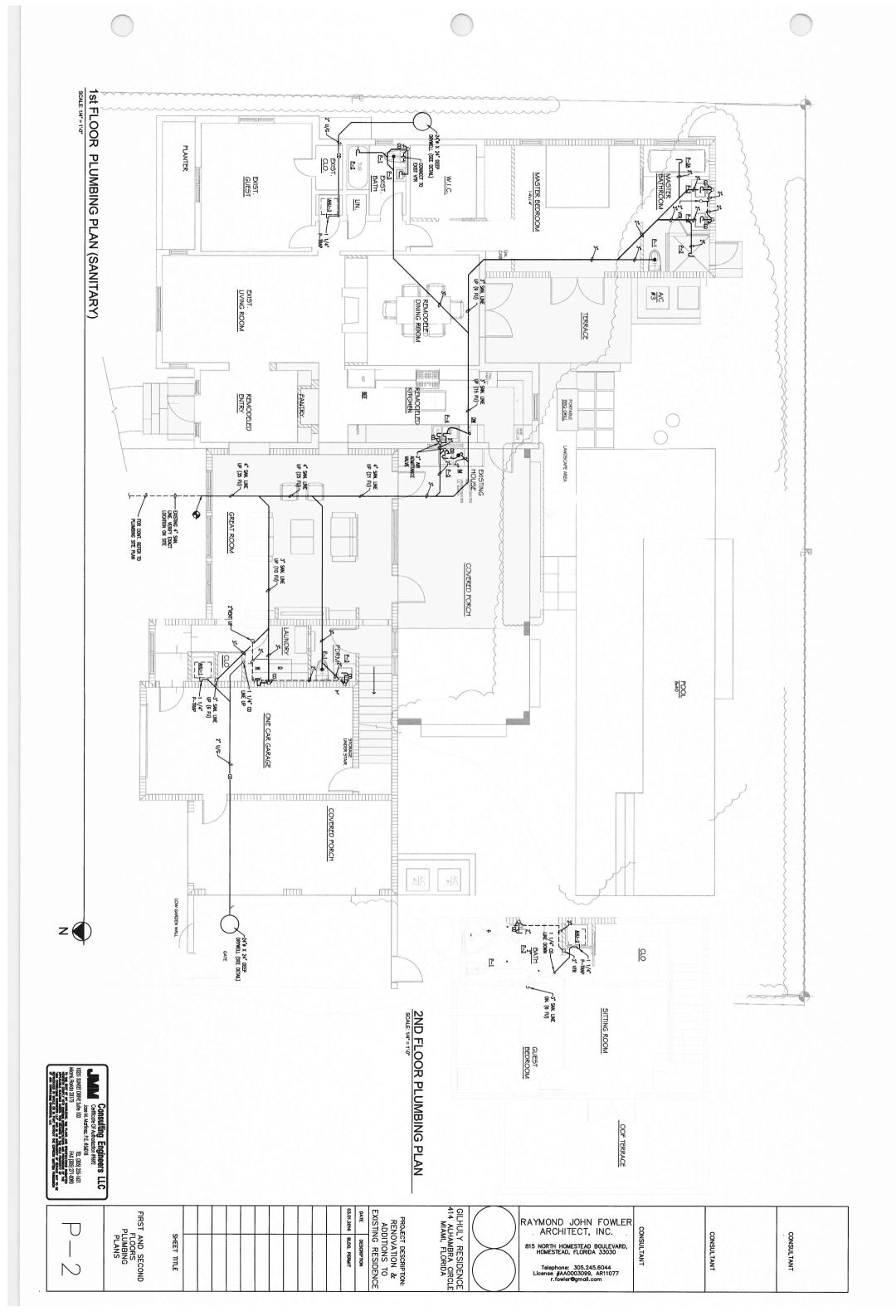


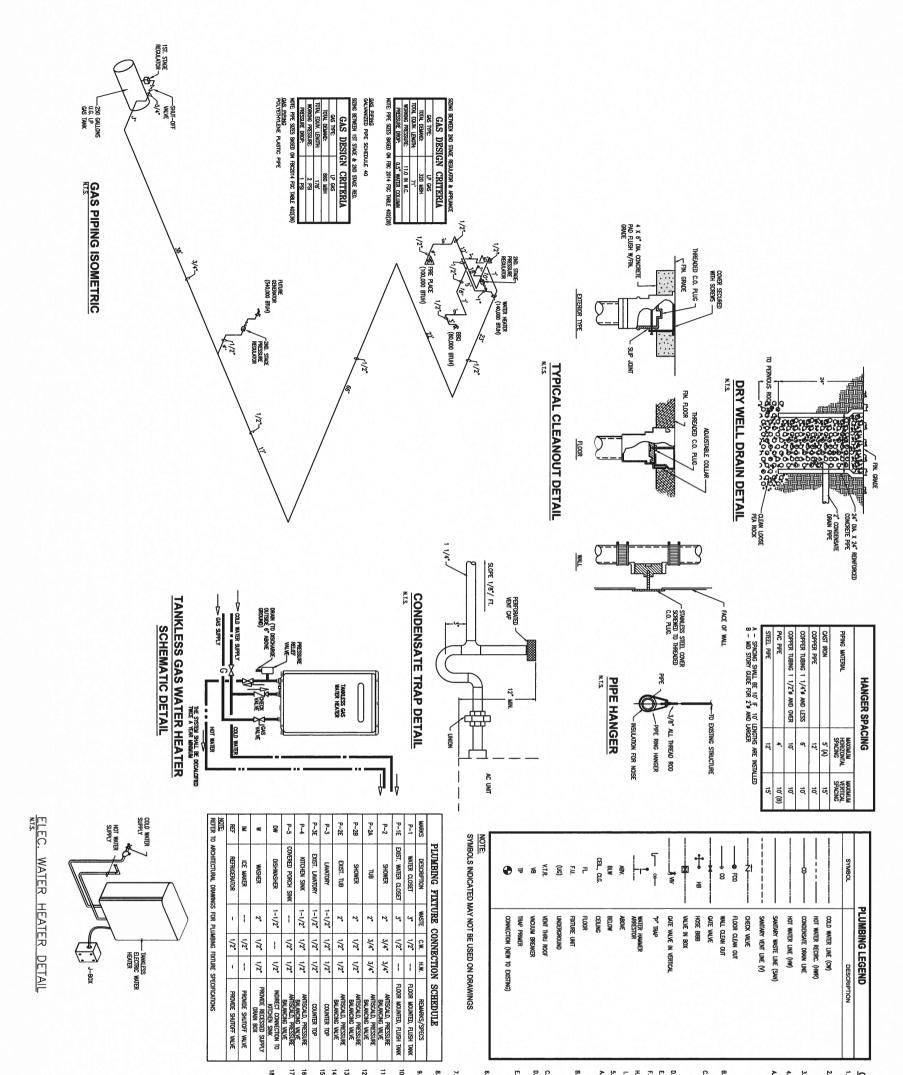


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OFFSET PIPING AS REQUIRED TO CLEAR BUILDING STRUCTURE, DUCTWORK, ETC. AS SHOWN ON DRAWINGS AND AS REQUIRED BY FIELD CONDITIONS.

GENERAL NOTES:

- 1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, STATE AND LOCAL ORDINANCES.
- BUILDING I LARGER 1, APPROVED drawage system to be sloped at 1/8" per ft. Min. fall for 3" pipe and /4" per ft. Slope for 2" pipe size and smaller devations shall be) by architect/dygnierer.

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- Provide Clean outs every 75 ft. and at base of every wastestack. All close—outs to be flush mounted.
- SHALL BE ALL NEW AND AS FOLLOWS:
- DRAINAGE
 DRAINAGE
 PVC DRAIN
 ASTM D-2
 ABOVE GRA
 PRENE GAS
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CONSULTANT

- Condensate drain piping: Copper tipe "n" astim B—88 inside the building and pic schedule 40 above roof and underground. Provide 3/4* arma-lex pipe insulation to all conddisate drain piping. Water Piping: Copper Type "L" Astm 8—88 above ground and copper Type "K" astm 8—88 underground.
- GAS PIPING: BLACK STEEL SCHEDULE 40 ASTM-53

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- RLOR CLEM OUTS. JOSMA SERIES 58750 WITH ACCESS COVER OR EQUAL WALLES. 125 PS NIBOO SCOTT, STOCKHMA OR EQUAL HOSE 81885: CHICAGO 837 OR EQUAL WITH WACHIMA BREWER.
- THE FOLLOWING TEST:

WATER PIPING SHALL BE SUBJECTED TO HYDROSTATIC PRESSURE TEST OF 100 PSIG FOR A PERIOD OF TIME SUFFICIENT TO EXAMINE ENTIRE SYSTEM BUT NOT LESS THAN ONE HOUR.

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- CORRECT ALL DEFECTS DISCLOSED BY ABOVE TESTS. e system: before installation of any drains, the end of the Siall be capped & all lines filled with water to highest - Alumed to Stand until inspection is mode and water levels constant.
- COMPLETE SYSTEM FIXTURE & EQUIPMENT SHALL BE GIVEN AN IN SERVICE TEST AFTER COMPLETION OF THE INSTALLATION.
- E ALL WATER LINES WITH A MIXTURE OF (2) POUNDS OF CHLORINATED EACH 1000 gai, OF WATER (50 PPM OF AMALABLE CHLORINE), RETAIN IN PIPES FOR 24 HOURS AND FLUSH THOROUGHLY WITH POTABLE WATER PLACING IN SERVICE.
- CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF EXISTING UTILITIES AND POINTS OF CONNECTION BEFORE COMMEDICING ANY WORK. SHOP DRAWINGS TO ENGINEER FOR APPROVAL OF ALL EQUIPMENT, S AND LAYOUTS PRIOR INSTALLATION. g Contractor Syall furnish a Written Guarantee That all plumbing that are trow deeted for Materias of Materias and Workmanship for a Perdo year frow Duete frow Casermace, and that it will, at this expense, and the will at the spense of the during Guarantee Period and Replace all work which becomes defective during Guarantee Period CONTRACTOR SHALL PAY ALL FEES, INSPECTION AND CONNECTION REQUIRED.

GILHULY RESIDENCE 414 ALHAMBRA CIRCLE MIAMI, FLORIDA

- 3 CONTRACTOR SHALL VERIFY ALL SPACE CONDITIONS AND DIMENSIONS SITE PRIOR TO FABRICATION AND INSTALLATION OF MATERIALS AND EQUIPME CONTRACTOR SHALL FURNISH AND INSTALL A/C CONDENSATE DRAIN. SEE A/C PLANS FOR LOCATION OF UNITS AND DRAINS.
- ate work with other trades.

 And install fixtures as specified in schedule, this drawing.
- HROOM GROUP SHALL BE PROVIDE WITH AIR CHAMBERS OR SHOCK SHUTOFF VALVE FOR EACH FIXTURE, JUST BEFORE CONNECTING TO FIXTURE.
- DISSIMILAR METALS ARE TO BE JONED, A DIELECTRIC FITTING PROVIDED TO CONNECT BOTH TYPES OF PIPES.
- PIPE INSU IOT WATER LINES & 1/2" RECIRCULATING HOT WATER LINES SHALL BE WITH 1" FIRE RETARDANT ARMAFLEX INSULATION WITH A MAXIMUM OF MALE SPREAD AND SMOKEDEVELOPED RESPECTIVELY. Ondensate lines shall be insulated with 3/4" fire retardant insulation with a maximum of 25/50 flame spread and smoke) respectively.

PROJECT DESCRIPTION: RENOVATION & ADDITIONS TO EXISTING RESIDENCE DATE DESCRIPTION OXOT.2016 BLDG. PERMIT							מעלי	7		DYT.	
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PLUMBING NOTES, LEGEND, DETAILS AND ISOMETRIC	SHEET TITLE						BLDG. PERMIT	DESCRIPTION	PROJECT DESCRIPTION: RENOVATION & ADDITIONS TO ADDITION RESIDENCE

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- The Governing Code for this project is the Florida Buiding Code, Fifth Edition (2014). This Code prescribes which Edition of each referenced standard applies to this project.
- To the best of our knowledge, the Structural drawings and specifications comply the applicable requirements of the Governing Building Code.
- Construction is to comply with the requirements of the Governing Building Code and all other applicable Federal, State, and local Codes, Standards, Regulations and Laws.
- The Structural documents are to be used in conjunction with the Architectural documents. Use these notes in conjunction with the project specifications. If a conflict exist, notify the Architect.
- Dodie lobeled "Typical" apply to all situations that are the zame or similar to these specifically referenced, whether or not they one keyed in at each location, Questions regarding the applicability of typical defails shall be resolved by the Architect.
- Openings shown on Structural drawings are only pictorial. See the Architectural and M.E.P. drawings for the size and location of openings in the structure.
- Contractors who discover discrepancies, omissions or variations in the contract focuments during blotting shall immediately notify the Architect. The Architect will resolve the condition and issue a written clarification.
- The General Contractor shall coordinate all contract documents with field conditions and dimensions and project shap prioring prior to construction. Do not scale drowings; use only printed dimensions. Report any discrepance in writing to the Architect prior to proceeding with work. Do not change size or location of Structural members without written instructions from the Structural Engineer of record.
- The Structure is designed to be structurally sound when completed. Prior to completion, the Contractor is responsible for stability and temporary bracing, including, but not limited to, masonry walls. Wherever the Contractor is ursure of these requirements, the Contractor shall retain a Florida Licensed Engineer to design and inspect the temporary bracing and stability of the Structure. The confractor shall protest adjacent property, his own work and the public from harm. The contrator is soably responsible for construction means and methods, and jobalte safety including all OSHA requirements.
- DESIGN SUPERIMPOSED LOADS:

Elevated Floor Stairs DESIGN WIND LOADS:

20 PSF 26 PSF 40 PSF 60 PSF LIVE LOAD 20 PSF 0 PSF 20 PSF 20 PSF DEAD LOAD

xposure Jean Roof Height boverning Code tasic Wind Speed tlsk Category building Enclosure birectionality Factor

\SCE 7-10 \ult= 175 MPH/Vasd= 136 KPH

- Submit specific components, such as Submit similar floors together. DRAWINGS AND OTHER SUBMITTALS: footings, etc., in a single package.
- on first submitted, clearly flag and cloud all differences from the contract documents On resubmitted, flag and cloud all changes and additions to previous submittal; only clouded tems will be reviewed. Submitted for special structural, load—carrying items that are required by codes or standards to resist forces must be prepared by, or under the direct supervision of, a delegated engineer as follows:

	SHOP DRA	SHOP DRAWING SUBMITTAL REQUIREMENTS	EMENTS	
COMPONENT	DRAWINGS/ MATERIAL SHEETS	PRODUCT APPROVALS (FLORIDA/MIAMI DADE)	SIGNED & SEALED DRAWINGS	SIGNED & SEALED CALCULATIONS
REINFORCEMENT				
MASONRY				
CONCRETE MIXES				
ACCESSORIES				
POST-TENSION				E
SHORING/RE-SHORING				
PRECAST LINTELS		x or	×	×
PREFAB. WD. TRUSSES			×	×
RAILINGS			×	×
DOORS/WINDOWS/LOUVERS		×	×	×
PREFABRICATED ITEMS EXPOSED TO WIND		X OR	×	×
MECH. EQUIP. UNITS				
MECH. CURBS/STANDS				

- A delegated Engineer is defined as a Fioridal licensed Engineer who specificises in and underfolkes the design of structural components or structural systems included in a specific submittal prepares for this project and is an employee or officer of, or consultant to, the confraction or fatherdor responsible for the submittel. The delegated Engineer shall sign, seal and date the submittel, including calculations and drawings.
- The trade contractor is responsible for confirming and correlating dimensions at the job sites, for tolerances, clearances, quantities, fabrication processes and techniques of construction, coordination of the work with other trades and full compliance with the contract documents.
- The general contractor/construction manager shall review and approve submittals and shall stip and date each drawing prior to submitting to the Architect. This approval is to confirm that the submittal is complete, comples with the submittal requirements and is coordinated with field dimensions, other trades, erection sequencing and
- The structural Engineer reviews submittals to confirm that the submittal is in general conformance with the design concept presented in the contract documents. Quantities and dimensions are not checked. Notations on submittals do not authorize changes to the contract sum. Checking of the submittal by the Structural Engineer shall not relieve the contractor of responsibility for deviations from the contract documents and from errors or omissions in the submittal.
- In addition to the above, the structural Engineer's review of delegated Engineer submitted is limited to entitying that the specified structural submitted has been trained, as a structural submitted has been trained, signed and scaled out the specified Engineer and first his delegation trained in the submitted structural criteria. The structural criteria is a submitted to the country of the submitted criteria submitted in the submitted criteria. The submitted is submitted in the submitted criteria submitted in the submitted criteria submitted in the submitted considerations and compliance with the applicable codes and standards.

- Comply with ACI 301 and 318.
- Provide Structural Concrete with a minimum ultimate Compressive Design Strength 4,000 psi in 28 days.
- Use normal weight concrete for all Structural Members. u.o.n.
- Provide ASTM A-615 Grade 60 reinforcing steel. Reinforcing shall be accurred places, rigidly supported and firmly filed in place, with appropriate bor supports and specers. Lap belton steel over supports and top steel of midspan (u.c.n.). Hook discontinuous ends of all top bars and all bars in walls, u.c.n. Provide cover over reinforcing as follows:

bottom top sides 3"" 2" 1" ave Grade 1 1/2" 1 1/2" 1" ave Grade 2" 1" 2" ave Grade 3.4" 3.4" 1"
sides 3" 1 1/2" 1 1/2" 2"

Development Length and Lap Splice Lengths shall be as follows: 1 1/2"

*	#3	REBAR	TENSION DEVELOPM	
29	22	TOP BARS	DEVELOPMENT FOR BARS (IN	٠,
22	17	OTHER BARS	PMENT RS (IN)	
_	_	æ		
#	‡ 3	REBAR	LAP SF	
#4 37	₽ 3 28	REBAR TOP	LAP SPLICE LE FOR BARS (
#4 37 29			FOR BARS (IN)	

§5 47 36 **§**56 43

#7 63 48 #7 81 63

#8 72 55 #8 93 72

[**C = 3,000 PSi, cover ≥ Db, spacing ≥ 2Db for beams & columns, spacing ≥ 3Db for others bars.

Top bars are horizontal bars with more than 12 inches of concrete cast below bars.)

- specified, provide piain, cold-drawn electrically-welded wire reinforcement rming to ASTM A-185. Supply in flat sheets only. Lap splice two cross wire
- in addition to specified reinforcing, provide 5 tons of reinforcing bors to be detailed. flobricated, delivered to site and placed as directed by the Architect/Engineer to account for unforesseable conditions.
- Utilities shall not penetrate beams or columns but may pass through slabs and walls individually, u.o.n. For openings 24" long or less, cut reinforcing and replace alongside opening with splice bors of equivalent area with 48 bor dia lap. Prepare and submit shop drawings for openings longer than 24". For rectangular openings 12" long or longer, add 1#5 x 6" mid depth diagonal at all 4 corners.
- Where reinforcing steel congestion permits, conduit and pipes up to 1° diameter may be embedded in concrete per ACI 318, section 6.3. Space of 3 diameters oc. Pipes between outer layers of reinforcing if conduits are significantly congested, additional reinforcing perpendicular to piping may be required. Requests to embed larger pipes shall be accompanied by a detailed description and be submitted to the Architect for evaluation.
- Provide construction joints in occordance with ACI 318, section 6.4. Provide keyways and adequate dowest. Submit drawings showing location of construction joints and direction of pour for review.

Provide 3/4" chamfer for all exposed corners.

Provide reinforcing steel placer with a set of Structural Drawings for field reference inspect reinforcing steel placing from Structural Drawings.

ALLOW FOUNDATIONS:

- fooling sizes and reinforcing are based on an assumed allowable soil bearing capacity of 2,000 paf. All foolings shall bear on compacted fili, natural soil or rock prepared per the geotechnical report.
- Subgrade preparation shall be field controlled and tested by a licensed soils Engineer in accordance with the geolechnical report. At completion, that Engineer shall prepare and submit to the owner, Architect, controlled confusional professor a signed and september of the professor and the professor
- Center all footings under their respective columns or walls, u.o.n.

ABS ON GRADE:

- Refer to geotechnical report for subgrade preparation more than slab. 12" below bottom
- Above subgrade, use fill containing not more than 10% passing #200 sieve and maximum 1 inch diameter. Compact to 93% of maximum dry density as determined by modified practor ASTM D-1537. Each layer of fill shall not exceed 6" loose thickness. Compact prior to placement of the next layer.
- FIII placement and compaction shall be monitored and accepted by the testing agency. Take a min. of one field density test (ASTM D-1556 or D-2922) for each 2,500 square feet of each layer. The testing agency shall randomly select test locations.
- For interior slabs place 10 mil polyethylene sheeting between soil and bottom of slab Do not use any sheeting below exterior concrete slabs.
- Place concrete in long-strip construction method. Provide crack or feet maximum to limit areas between joints to 225 sq. ft. in all grade. Locate to conform to box spacing whenever possible, add at re-entrant corners which tend to invite cracks.
- In sidewalks and walkways, locate isolation joints at 20 ft. o.c. maximum score and tool between isolation joints in equal bays of 5 ft. or less.
- the Architectural drawings for slab on grade depressions and other requirements

STRUCTURAL NOTES

- Construct meaniny in accordance with ACI 530/ASCE 5, "Building Code Requireme for Masonry Structures"; and ACI 530.1/ASCE 6, "Specifications for Masonry Structures".
- Use 50% saild, nominal 8"-8"x15", concrete masony units conforming to ASTM 230. block net area comproselve strength shall be 1,1550 pai. Lay ye units in running bond. Sawcut units which are not in multiples of 8". Units shall be at least 8" long Bond corners by lopping ends 6" in successive vertical courses. Design of walls is based on a firm of 1,500 pai.
- Use type S
- Use tine grout conforming to ASTM C476, with a minimum compressive strength of 2,500 pat in 28 days. Aggregate to conform to ASTM C404 for fine grout, with atamp of 8 to 10°. Grout all measury containing reinforcing, All cells of 4 hour rated walls, and where indicated on the drawings. Allow morter to cure 24 hours prior to grouting. Provide cleanout pennings at the base of cells containing reinforcing steel to clean the cell and to the wertical bor to the dowel, in high-lift grouting, Use 4-0° (max.) lifts, with 1/2 hour to 1 hour between lifts. Vibrate each lift and reconsolidate the previous lift.
- At bond/tie beam corners and intersections, place 1 $\#5 \times 5^{\circ}-0^{\circ}$ T & B corner bar, with 30° legs each way, at the exterior face.

- 12. Use pressure-treated wood for wood in contact with masonry.

EXPANSION ANCHORS:

- Confirm the absence of reinforcing steel by drilling a 1/4" diameter pilot hole for each anchor. Do not cut reinforcing steel without approval of the Structural Engineer.
- Threaded rods are A-36 galvanized steel, u.o.n.

WOOD CONSTRUCTION:

- All wood in contact with concrete or masonry shall be pressure treated.

CONCRETE MASONRY:

- The structure is supported by bearing walls, u.o.n. Erect masonry prior to casting concrete columns within bearing walls or casting beams and slabs supported by bearing walls.
- long
- te type S mortar in accordance with ASTM C270 except use type M mortar below date. Head and bed joints shall be 3/8" for the thickness of the face shell, bet are to be fully mortared in all courses of plers, columns and plasters; in the arring course; and where an adjacent cell is to be grouted. Remove mortar virusions extending 1/2" or more into cells to be grouted.
- Use standard (9 gauge) horizontal joint reinforcing in every other course. Joint reinforcing and anchors in exterior walls shall conform to ASTM A133 class 82, with a coating thickness of 1.50 ay1st; conform to ASTM A641 in Interior walls. Overlap discontinuous ends 6°. Use prefabricated corners and tess. Use truss type, except use ladder type in walls with vertical reinforcing. Extend joint reinforcing a minimum of 4" into the columns.
- Use ASTM A-615 grade 60 reinforcing steel. Reinforce woils where indicated on the drawings and at oil intersetions, each side of openings and at the ends of walls. Use bar spacers at 10 ft. o.c. where grout pour height exceeds 10 ft.
- Reinforced masonry wall construction shall be inspected by an Engineer or Architect in accordance with ACI 530.1/ASCE 6.
- Where anchor bolts, wedge anchors or anchors set in epoxy are set in a masonry wall, fill cells with grout for bolted course, one course above and two courses below.
- Provide lintels or headers with min. 8" bearing over all masonry openings.

- Use wedge-type expansion anchors such as the Hill Krilk Bolt 3, ITW Ramset Red Head Turboit Wedge-All or accepted equivalent. Follow manufacturer's specifications for use and installation.
- Provide anchor embedment, spacing and edge distance as shown on the drawings. Confirm the absence of reinforcing steel by drilling a 1/4" diameter pilot hale for each anchor. Do not cut reinforcing steel without approval of the Structural Engineer.
- CHEMICAL ADHESIVE FOR ANCHORING REINFORCING BARS, THREADED BARS AND ANCHOR BOLTS:
- Use an epoxy, acrylic or polyester resin adhesive system such as the Hilli Hit HY200, ITW Ramset/Red Head Epon A7 or C6 Injection system, Fowers Rawl Power-Fast System, Simpson Strong-Tle A1 or E1, Alliad Fastener Alled Gold A-1000, or accepted equivalent. Follow manufacturer's specifications for use and installation.
- Refer to manufacturer's installation instructions for appropriate drill size. Thoroughly clean hole including removal of dust prior to filling with epoxy.
- Provide anchor embedment, spacing and edge distance as shown on the drawings.

- All wood construction and connections shall conform to AITC "American Institute of Timber Construction" manual, and the "National Design Specification for Wood Construction", 2005 edition, and Florida Building Code, chapter 23.
- All bolts and bolted connections shall conform to ASTM A307. Use washers between wood and all bolt heads and nuts.
- All metal wood connectors shall be galvanized and shall be manufactured by Simpson Strong Tie Co., or approved equivalent.

STRUCTURAL STEEL:

- Fabricate and design, fabrica and all OSHA erect structural steel in conformance with AISC "Specification for the tition and erection of structural steel for buildings", with commentary requirements.
- a. Rolled M, Structural steel shapes shall be fabricated from the following materials:
- C and MC shapes and Angles: ASTM A36, Fy=36 ksi.
- b. Plates and bars: ASTM A36, Fy=36 ksl.
- c. Cold-formed hollow structural sections (HSS):
- 2. Square 1. Round and rectangular sections: ASTM A500, grade B, Fy=46 ksi. ections: ASTM A500, grade C, Fy=46 ksi.

9700 S. Dixie Highway, Suite 880 Miami, Florida 33156 Tel.: 786.347.5250 Email: info@unitedeng.pro Certificate of Authorization No. 29691

UNITED Project No.: 1810-01

Engineering, Inc. UNITED

- Use A-307 botts for all erection bolts and bolts less than 3/4" diameter, u.o.n. Anchor rods shall be ASTM 17554 grade 55 with supplementary requirement \$1, hooked. or anchor rods shall be A449, type 1, threaded with nuts and washers each end. All shop and field welding shall conform to the ANS D1.1 structural welding code by the Annarican Welding Scalety, Use E70 series welding activades, u.o.n. where necessary, remove galvanizing or primer prior to welding.
- Setting base an bond-reducing nd bearing plates: clean concrete and masonry bearing surface of materials and clean bottom of base and bearing plate.
- Set base or bearing plate on wedges or other adjusting devices.
- Tighten anchor rods after structural steel frame has been plumbed. Do not remove wedges or shims but, if protruding, cut off flush with edge of base or bearing plate prior to packing with grout.
- Pack or pour non-shrink grout solidly between bearing surface and base or bearing plate. Ensure that no voids remain. Finish exposed surfaces, protect grout and allow to cure.
- For proprietary grout materials, comply with manufacturer's instructions.

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- Base plates must be grouted a minimum of 72 hours prior to placing concrete slabs on supporting steel structure.
- Cut, drill, or punch lenlarged to admit boburning or using drif Do not splice structural steel members except where indicated on the drawings. nch holes perpendicular to metal surfaces. Ream holes that must it bolts as permitted by architect. Do not enlarge unfair holes by drift pins.
- See Architectura Structural drawi l and Mechanical drawings for miscellaneous steel not shown on the ngs.
- Refer to the Architectural drawings for painting and fireproofing of structural steel. Provide a minimum of one shop coat of paint for exposed structural steel U.N.O. Steel exposed to the atmasphere or elements shall receive a second shop coat of paint or be field painted in addition to the initial shop coat with lead, graphite or exphalt paint or other approved coaling compatible with the shop coat. Do not paint steel surfaces in contact with freproofing or embadded in concrete. Steel elements the surfaces in contact with freproofing or embadded in concrete. Steel elements the steel surfaces in contact with reproofing or embadded in concrete. Steel elements the steel surfaces in contact with a steel surfaces and field painting.

PRE-ENGINEERED WOOD TRUSSES:

- Design and fabri "National Design edition (2014), a Wood Truss Cons cate all timber in confor Specification for Wood Cond the TPI-1 "National Condition". ormance with division 6 specifications, the Construction" and Florida building code, Fifth Design Standard for Metal Plate Connected
- all spacing and to support the truss system do shop drawings of Engineer. with rule 61015-31.003 of the Florida Administrative Code, the truss er, a delegated Engineer, shall design the truss system. The truss er shall submit shap drawings and acticulations for review to lear for the assemblage of profabricated, engineered wood trusses and tagether with all bracing, connections and other structural elements and a location criteria (truss placement plan), that, in combination, function a dead, live and wind loads applicable to the roof truss system. The does not include walls, or any other structural support systems. These and calculations shall be signed and sealed by the truss system.
- In accordance v design Engineer, system, but doe system, but doe shop (piece) dr such that each to each triss of drawings and c with rule SIG15-31.003 of the Florida Administrative Code, the truss , a delegated Engineer, shall design the Individual trusses of the truss as not design the truss system. The truss design Engineer shall submit varings and calculations for each different truss of the truss system truss will function to support the dead, the ond what looks applicable and truss girder that logisthar comprise the truss system. These shop accludions shall be signed and saided by the truss design Engineer.
- The truss system Engineer and the truss design Engineer shall each be responsible for their own work. However, they may be the same individual providing two separate services.
- The loads, layou are the minimu Engineer. uts and connections provided on the structural construction documents ums to be followed by the truss system Engineer and the truss design
- Use stress—rated members with a than 1,400,000 i finber for all wood structural members. Do not use wood structural bending stress less than 1,200 pai or a modulus of elasticity less psi when used at 19% maximum moisture content.
- Pressure treatment of all structural lumber shall be in accordance with AIPA structural C2, latest estitious with substance preservative in accordance with attracted C2, latest estition, all lumber to be killin-dried after freatment to moisture content not to exceed 19% owner only basis, per standard C2. All lumber of "X-4" in, (nominal size) and larger in dimension to be treated to the sall and fresh water retention and penetration requirements of standard C2. All umber lass than water retention and penetration requirements of standard C2. All umber as the content of t

26 psf LL top o 20 psf DL top o 10 psf DL botto 200 lb concentr Wind pressure b

loads for roof trusses:

- CD for wind shall not exceed 1.33 for wood members. No stress increase allowed metal plates.
- The design and commentary and continuous latera engineer, but spethick nominal luri exection of wood trusses, including bracing, shall conform to the recommendations of the truss pitel institute, in addition to bracing of top and bottom chards (designed by the truss system acced not more than 10°o.c.) Provide diagonal bracing (minimum 2° mber) as follows:

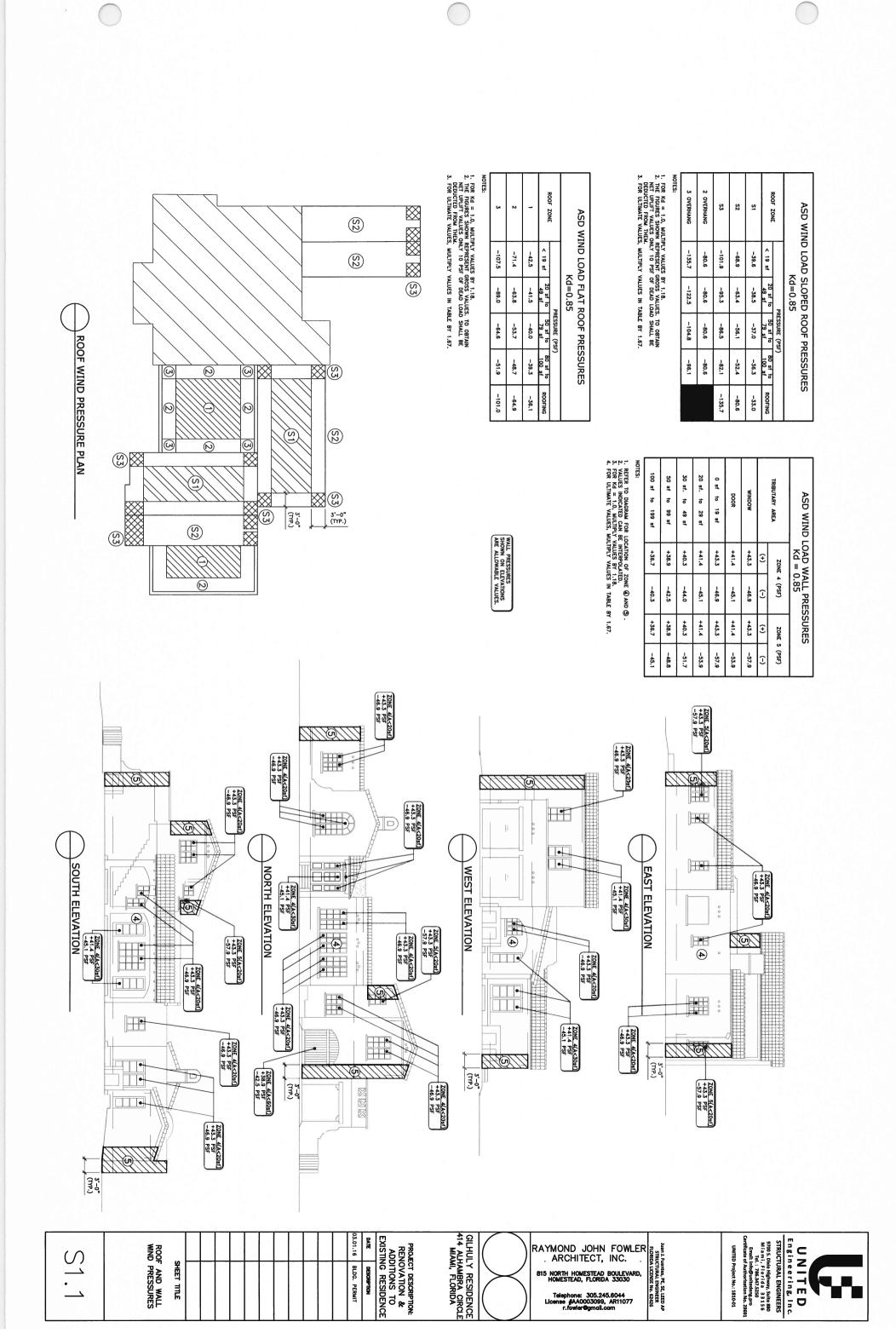
GENERAL NOTES

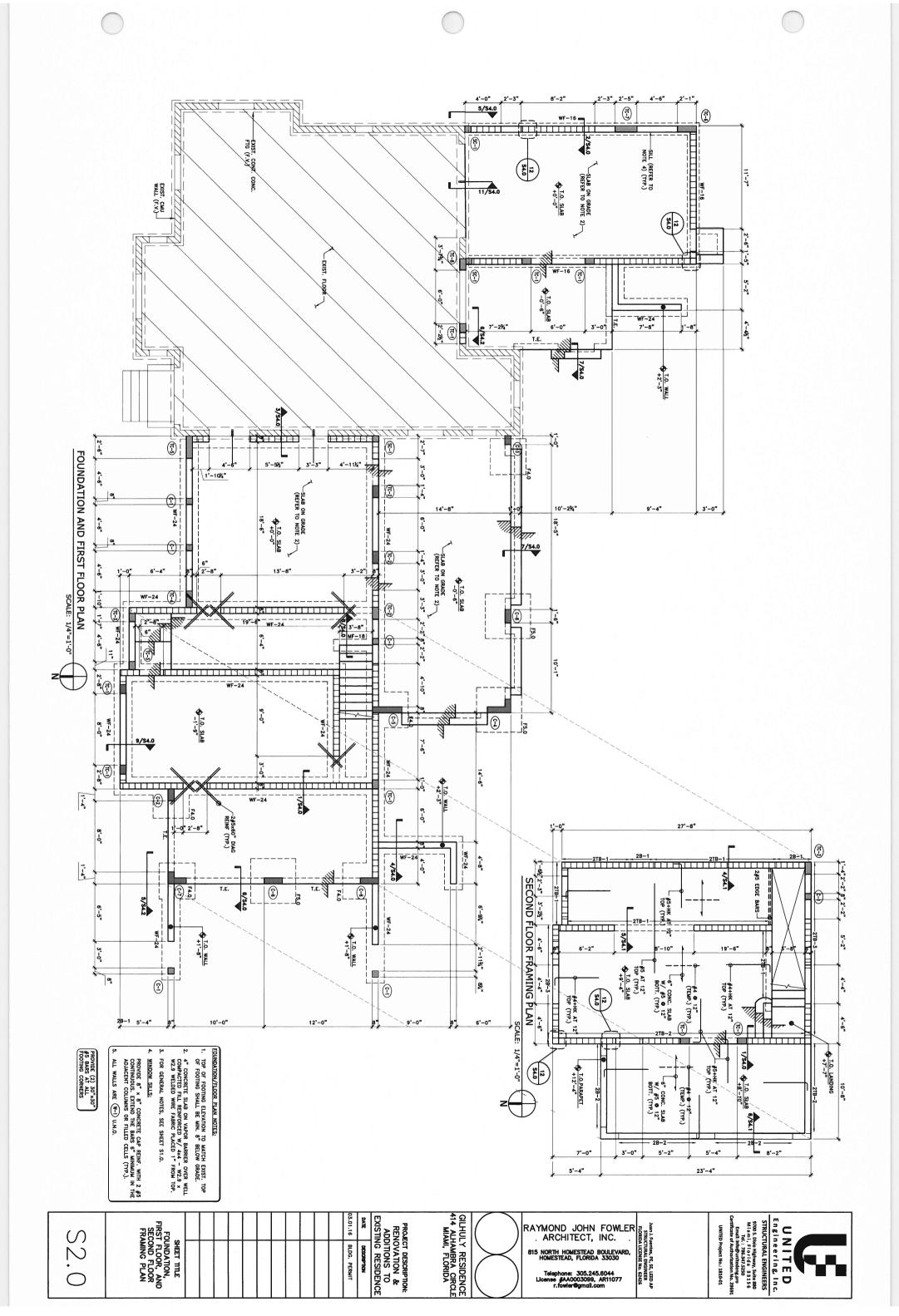
- in the plane of angles, repeat a the top chord: locate between lateral bracing, set at 45 degree it maximum 20' intervals.
- In the plane o member requir between sets a diagonal. the wab mambers (perpendicular to the trusses); of each web gooding but not more than 16 intervals, spacing dragonals shall not exceed 20' or twice the horizontal run of the
- the bottom chord: place between continuous lateral bracing at $45\,$ each end of building.

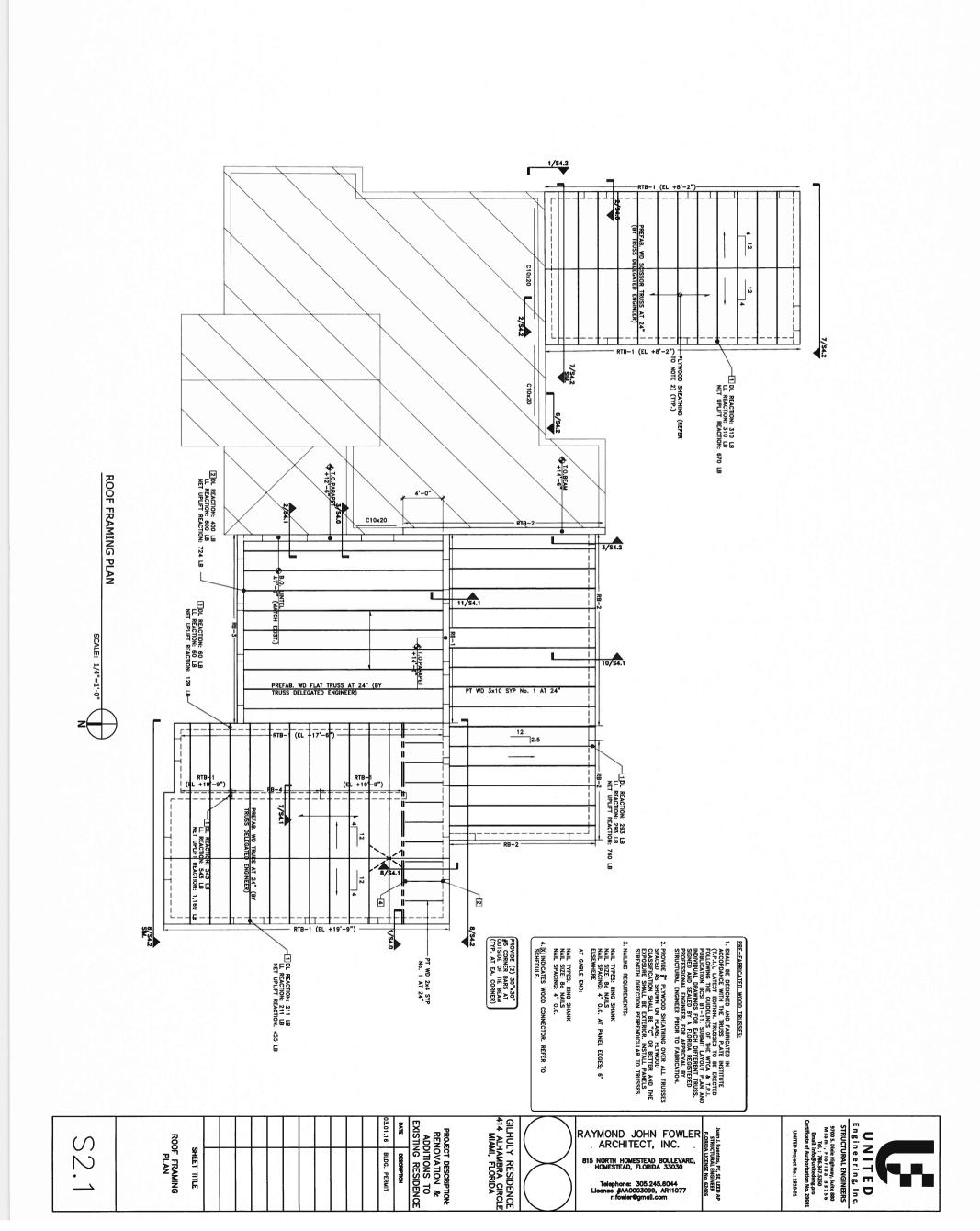
PROJECT DESCRIPTION:
RENOVATION &
ADDITIONS TO
EXISTING RESIDENCE 03.01.16 GILHULY RESIDENCE 414 ALHAMBRA CIRCLE MIAMI, FLORIDA DESCRIPTION SHEET IITE BLDG. PERMIT

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HOOK VERTICAL REINFORCING INTO CONCRETE TIE BEAM REMARKS MARK u 2 **-**HGAM10 LUS24 HGA10 META12 CONNECTOR ATTAMAC ('87) ASAUTTE ('87) ASAUTT 11473.6 10446.8 11473.9 1,165 1,420 370 850 WOOD CONNECTOR SCHEDULE 670 1,005 695 340 1,105 795 780 (4) \$\frac{1}{2}\text{*x}\frac{1}{2}\text{*} SDS SCREWS (OR EQUIV.) INTO IEDGER (4) \$\frac{1}{2}\text{*x}\frac{1}{2}\text{*} SDS SCREWS (OR EQUIV.) INTO IEDGER (4) \$\frac{1}{2}\text{*x}\frac{1}{2}\text{*} TITEN SCREWS (OR EQUIV.) INTO CONC. (4) \$\frac{1}{2}\text{*x}\frac{1}{2}\text{*} SDS SCREWS (OR EQUIV.) INTO TRUSS (4) \$\frac{1}{2}\text{*x}\frac{1}{2}\text{*} SDS SCREWS (OR EQUIV.) INTO TRUSS GIRDER (4) 10d MAILS INTO TRUSS GIRDER (7) 10dx12" NAILS INTO TRUSS NAIL SIZE & QUANTITY

(MARK

1,500 a,

\$5 AT 32"

THICKNESS

VERTICAL REINFORCING
IN GROUTED CELL

HORIZONTAL REINFORCING No. 9 LADDER TYPE • 16" O.C.

MASONRY WALL SCHEDULE

<u>(?</u>)

8×12 8×16

45 4#6

445 4#6 445

#3 AT 8"

#3 AT 8"

(<u>?</u>)

(<u>?</u>)

8 8

45

#3 AT 8"

(F)

<u>(1)</u>

8×8

9#6

#3 AT 8"

*REFER TO SKETCH

WF-24 WF-16 MARK

24"xCONT.x12" 18"xCONT.x12"

#4 AT 24"

2#5 345 2#5

MONOLITHIC FOOTING

16"xCONT.x12"

WxLxD Size

REMARKS

ALL FOOTING SCHEDULE

(j)

8x24 8x39

6#6

#3 AT 8" #3 AT 8"

846

<u>(1</u>

8×*

9#5 6#6 846 9#6

#3 AT 8"

REFER TO SKETCH

446

4#6 945

#3 AT 8"

(<u>?</u>)

(F)

8x30 8x22 8x11 8x16 8x12

#3 AT 12"

(<u>r</u> (<u>r</u>)

8x15

6#5 8#5 845 8#5 6#5 45 6#5

6#5 8#5 845 8#5 6#5 45 6∦5 45

\$3 AT 12" #3 AT 12" #3 AT 12" #3 AT 12" ₫3 AT 12"

8x29 8x25 (F) (<u>r</u> (<u>1</u>)

8×8 SIZE

2#5

245

45

#3 AT 12"

₫3 AT 12"

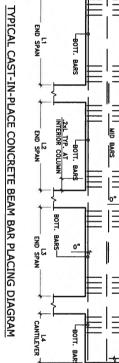
DOWELS

VERTICAL

TIES

REMARKS

					l	-							ŀ	Ì		
		28-3	28-2	2B-1		RB-4	RB-3	RB-2	RB-1	218-3	218-2	2TB-1	RTB-2	RTB-1		MARK
		+9'-4"	+8"-10"	+9'-4"		+19'-9"	+12'-6"	+9'-0"	+13'-2"	+11'-2"	+9'-4"	+9'-4"	+14'-6"	*VARIES	TOP OF BEAM	ELEV.
		8x*	8x31	8x28		8x39	8x54	8x*	8x62	8x24	8x16	8x12	8x*	8x12	"b × d"	SIZE
3		245	2#5	2#5		2#5	2#6	2#5	2#6	2#7	2#5	2#5	2#5	2#5	BOT. CONT.	
		245	2#5	2#5		2#5	2#6	2#5	2#6	2#7	2#5	2#5	2#5	2#5	TOP CONT.	REINFORCING
		8 BEE NOTE	SEE NOTE	-		SEE NOTE	SEE NOTE		SEE NOTE	∯7 EA FACE	-	-	SEE NOTE	_	MID CONT.	
		#3	₽ 3	# 3		‡ 3	‡ 3	\$ 3	# 3	‡ 3	₽ 3	₽ 3	 ‡ 3	# 3	SIZE	
		AT 16"	AT 12"	AT 12"	=	AT 16"	AT 16"	AT 5"	AT 16"	AT 3"	AT 12"	AT 12"	AT 16"	AT 12"	SPACING	STIRRUPS
		*ARCH BEAM. DEPTH VARIES FROM ±37" TO 49". VERIFY DEPTH W/ GARAGE DOOR.						*ARCH BEAM. DEPTH VARIES FROM 12" TO 28"					*COORD. DEPTH W/ ARCH. DWGS. 33" MAX.	*REFER TO PLAN	NEMPARA.	SARANAS

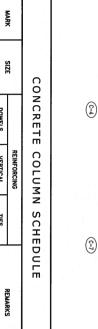


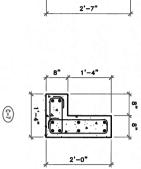
FOR 30" AND DEEPER BEAMS, PROVIDE THE FOLLOWING INTERMEDIATE HORIZONTAL REINFORCING EVENLY SPACED BETWEEN THE INNERMOST LAYER OF TOP AND BOTTOM REINFORCING, OR TOP OF PRECAST SOFFIT. PROVIDE 36 BAR DIAMETER LAP AT SUPPORTS AND HOOK DISCONTINUOUS ENDS.

| INTERMEDIATE HORIZONTAL REINFORCING | 30°%4<38° | 38°%4<60° | 60°%4<72° | 72° AND GREATER | 5#5 | 5#6 | #7912° O.C.

PLACE FIRST STIRRUP 2" FROM FACE OF SUPPORT. SPACE BALANCE OF TIES AS SCHEDULED. SPACES DESIGNATES NUMBER OF SPACES, NOT QUANTITY OF TIES. IN PRECAST SOFFIT BEASS SPECIFIED SHELAR OCCURS AT DISTANCE "OF FROM FACE OF SUPPORT, PLACE FIRST TIE 2" FROM END OF SOFFIT, NEXT 4 TIES AT 6" O.C. (MAX.) AND BALANCE SPACED AT D/2 (MAX.)

BEAM SCHEDULE





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	\ \\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\		0,	
END SPAN	BOTT. BARS			TOP BARS
END SPAN	BOTT. BARS -2xL TYP. AT INTERIOR COLUMN		MID BARS_	_TOP BARS
END SPAN	BOTT. BARS	*		TOP BARS
CANTILEVER	BOTT. BARS		•	5 2" CL

	1005	10.5	REINFO	REINFORCING SCHEDULE	בר ה	
MARK	WxLxD	ВОТТОМ	TOM	11	TOP	REMARKS
		L.W.	S.W.	LW.	S.W.	
F4.0	4'-0"x4'-0"x12"	5∦5	5#5	-	-	
F5.0	5'-0"x5'-0"x12"	6#5	6#5	-	1	

5 . W

Ø							03.01.16	DATE	PROJEC RENO ADDI EXISTINO
Ĕ	SHEET IIILE						BLDG. PERMIT	DESCRIPTION	ECT DESCRIPTION: IOVATION & DITIONS TO NG RESIDENCE

RAYMOND JOHN FOWLER ARCHITECT, INC.

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ALIGN BARS IN ALL LAYERS VERTICALLY AND SEPARATE MULTIPLE LAYERS OF #7 BARS AND LARGER WITH #8 SPACER BARS AT 48" O.C. BUNDLE #5 AND #6 BARS VERTICALLY. EXTEND ALL HOOKED BARS TO FACE OF SUPPORT. WHERE NECESSARY, STAGGER ENDS OF HOOKS 2 INCHES. FOR BARS SPECIFIED AS "COMMUDUS", EXTEND BARS TO THE END OF THE BEAM FRAME AND HOOK, U.O.N. WHERE NECESSARY, SPLICE TOP BARS AT MIDSPAN AND BOTTOM BARS AT SUPPORTS, WITH A 48 BAR DIAMETER LAF.

REBAR

GILHULY RESIDENCE 414 ALHAMBRA CIRCLE MIAMI, FLORIDA

UNITED Project No.: 1810-01

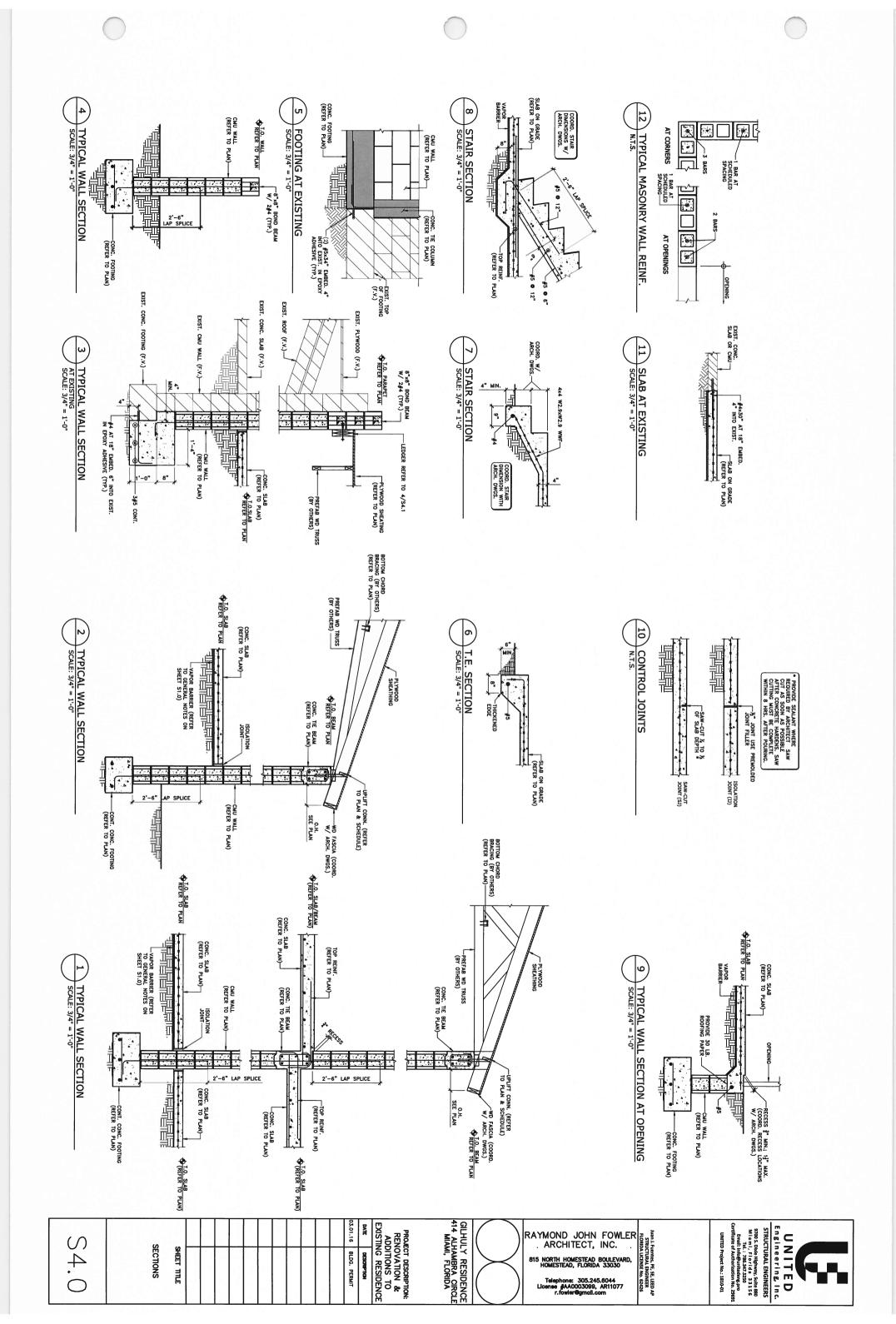
BAR SIZE

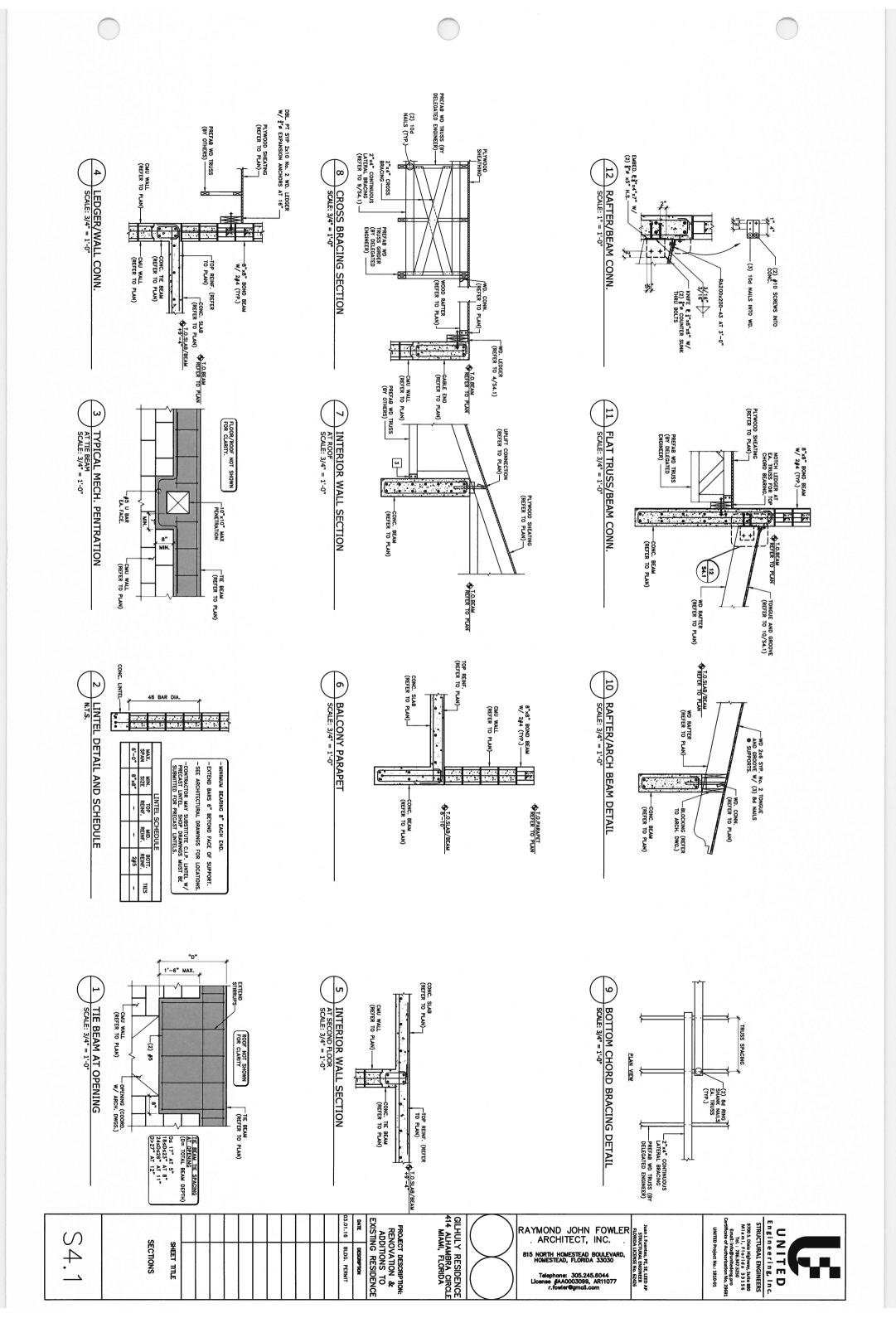
AM SCHEDULE NOTES #9

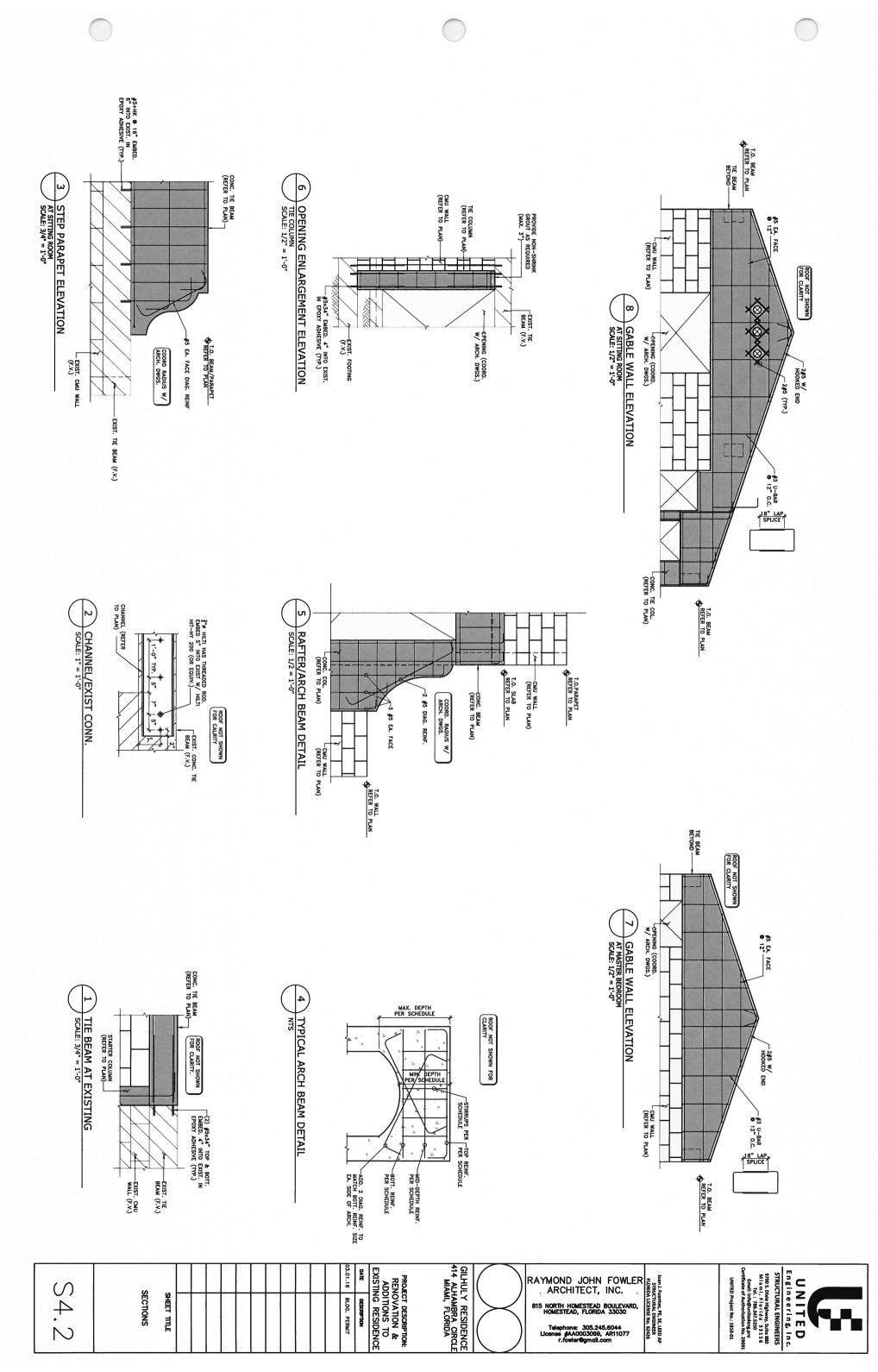
#5 #6 #7 #8 #9

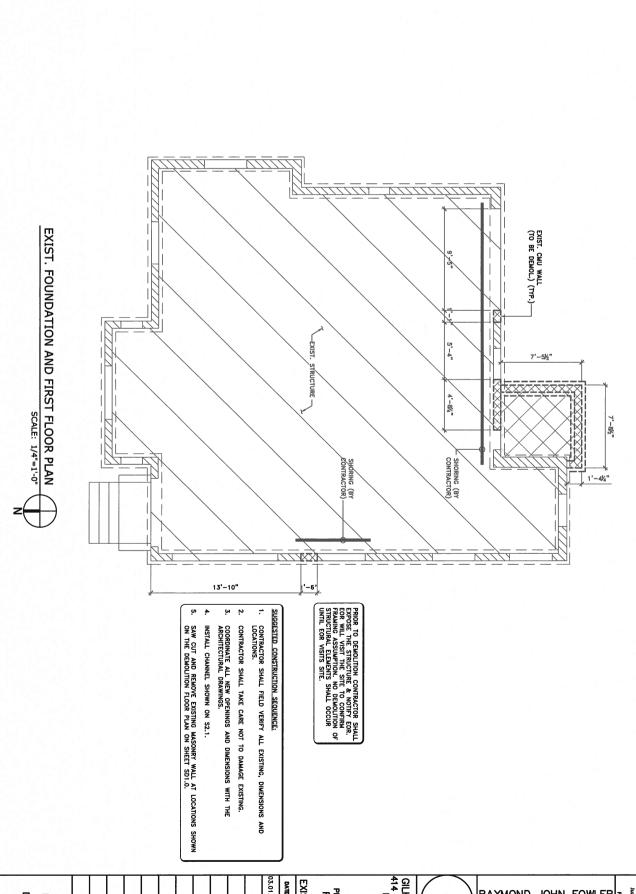
3'-0" 3'-0" 3'-6" 4'-0" 4'-6"

Engineering, Inc.
STRUCTURAL ENGINEERS
9700.5. Dobe Highway, Suite 880
Miam, J. Firld 13 3156
Email: Info@mideng.pro
Conflicate of Authorization No. 28691









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PROJECT DESCRIPTION:
RENOVATION &
ADDITIONS TO
EXISTING RESIDENCE
DATE DESCRIPTION
03.01.16 BLDG. PERMIT FOUNDATION & FIRST FLOOR DEMOLTION PLAN SHEET TITLE

GILHULY RESIDENCE 414 ALHAMBRA CIRCLE MIAMI, FLORIDA

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UNITED Project No.: 1810-01