



DEVELOPMENT REVIEW COMMITTEE

701 – 711 VALENCIA AVENUE NEW RESIDENTIAL APARTMENT PROJECT

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Level
2
Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134

Email: planning@coralgables.com

Phone: 305.460.5211

Preamble

The Development Review Committee (DRC) is an administrative and technical committee which reviews policy and technical issues raised by a development project. The DRC is intended to streamline and coordinate the review of the development process by identifying, addressing, providing input, advice and comments regarding all applicable provisions and regulations. The review of the projects and comments on development proposals by the DRC shall not be construed to be an approval of any project presented to the Committee.

Application review request

The undersigned applicant(s)/agent(s)/property owner(s) request(s) Level Two (2) Development Review Committee consideration and review for the following application(s) (please check all that apply):

- ☒ Permitted use new construction, additions, and alterations to buildings and/or structures (Board of Architects review only).
☐ Change in use or occupancy.
☐ Other: _____

Property information

Street address of the subject property: 701-711 Valencia Avenue, Coral Gables, FL 33134

Property/project name: 701 Valencia

Current land use classification(s): Residential Multi-Family High Density

Current zoning classification(s): MFSA

Proposed land use classification(s) (if applicable): N/A

Proposed zoning classification(s) (if applicable): N/A

Last use/current use of the property/building(s): Apartment Building

Proposed use(s) of the property/building(s): Multi-Family

Size of property (square feet/acres): 16,903 SQ FT

Total non-residential (i.e, commercial, office, etc.) floor area (total square feet/FAR): 45,348 SQ FT

Total number of residential units per acre and total number of units: 40 Units/ Acre Total 25

Estimated cost of the existing/proposed building/project: \$7,500,000



Level
2
Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134
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Application(s) and date(s) of all previous City of Coral Gables submittals and type of actions related to existing/proposed building/project:

Project Legal Description: Lot(s): 23,24,25,26,27 & 28

Block(s): 10

Section(s): Coral Gables Biltmore Section - Plat book 20, Page 28 Public records of Miami-Dade County, FL

Listing of all folio numbers for subject property:

03-4117-059-0010; 03-4117-008-1780; 03-4117-008-1790

General information

Applicant(s)/Agent(s) Name(s): Luis Arevalo

Telephone Contact No.: (786) 433-4771 Fax No.: (786) 433-4778 Email: Larevalo @ ta-builders.com

Mailing Address: 1390 South Dixie Highway, Suite #1105, Coral Gables, FL 33146

(City)

(State)

(ZIP Code)

Property Owner(s) Name(s): Biltmore Development, LLC

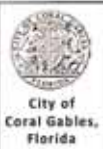
Telephone Contact No.: (786) 433-4771 Fax No.: (786) 433-4778 Email: Larevalo @ ta-builders.com

Mailing Address: 1390 South Dixie Highway, Suite #1105, Coral Gables, FL 33146

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Development Review Committee Application

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Email: planning@coralgables.com Phone: 305.460.5211

Application requirements and supporting information

Application submittal dates and meeting dates. Applications for the DRC shall be submitted in no later the first Friday of each month to be scheduled for the same monthly DRC meeting. DRC meetings are held the last Friday of each month, 9:30 a.m. City Commission Chambers, City Hall, 405 Biltmore Way, Coral Gables, Florida 33134. Applicants and/or agent shall be required to attend the meeting to present the application request and respond to City Staff questions. All applications shall be complete at time of submittal.

Preapplication Conference Requirements. A Pre-application Conference is required with the Planning and Zoning Division in advance of application submittal to determine the information necessary to be filed with the application(s). The City reserves the right to request additional information as necessary. City staff to check/confirm if all below information is provided at time of application submittal.

Application submittal (order of documents). The order of the documents for the application submittal shall be as follows (required documents will be determined at pre-application meeting):

- ☒ Table of Contents with page numbers identifying all below documents.
- ☒ DRC Application.
- ☒ Statement of use and/or cover letter.
- ☒ Aerial.
- ☒ Photographs of property, adjacent uses and/or streetscape.
- ☒ Property survey and legal description.
- ☒ Zoning chart and supporting information.
- ☒ Site Plan.
- ☒ Landscape plan and vegetation assessment.
- ☒ Tree survey and relocation plan.
- ☒ Architectural/building elevations.
- ☒ Building floor plans.
- ☒ Art in Public Places plan and/or statement.
- ☒ Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- ☒ Historical Significance letter.
- ☒ Name and contact information for property owner, applicant, architect, attorney, etc.
- ☐ City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- ☒ Warranty Deed.
- ☒ Application fee of \$100.00 dollars in check form, payable to the City of Coral Gables. Submit copy of check.
- ☐ Other: _____

Posting of the property. The City will post the subject property with a sign in accordance with the requirements of the Zoning Code indicating the DRC meeting date and location. The sign will be installed ten (10) days prior to the meeting and shall not be removed until after the meeting has been held, at which time it is the applicant's responsibility to remove the sign.



Level

2

Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134

Email: planning@coralgables.com

Phone: 305.460.5211

Application submittal requirements

1. Hard copies. Three (3) hard copies of the entire application shall be submitted including all the items identified in the pre-application conference. Plans and drawings shall be in 11" x 17" format.
2. Electronic copy. One (1) PDF of the entire application shall be submitted including all items provided within the hard copies. The documents provided in the electronic copy shall be the same size (11" x 17" maximum for plans and drawings) and in the same order as the hard copy submittal. The total file size shall not exceed 30 MB.

Applicant/agent/property owner/architect affirmation and consent

(I) (We) affirm and certify to all of the following:

1. Submission of the following:
 - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
 - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.
5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. The subject property will be posted by the City in accordance with Zoning Code requirements. The sign shall be installed by the City ten (10) days prior to the meeting and shall not be removed until after the meeting, at which time it is the applicant's responsibility to remove the sign.
9. The application will not be heard unless the Applicant and/or agent is present at the DRC meeting.



Level

2

Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134

Email: planning@coralgables.com

Phone: 305.460.5211

Applicant(s)/Agent(s) Signature:

Applicant(s)/Agent(s) Print Name:

Luis Arevalo

Address: 1390 South Dixie Highway, Suite #1105
Coral Gables, FL 33146

Telephone: (786) 433-4771

Fax: (786) 433-4778

Email: Larevalo@ta-builders.com

NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 30 day of May ²⁰¹⁹ by Luis Arevalo
(Signature of Notary Public - State of Florida)

AMANDA MIGUEL

MY COMMISSION # GG005265

EXPIRES June 23, 2020

(407) 388-0153

FloridaNotaryService.com

(Print, Type or Stamp Commissioned Name of Notary Public)

☒ Personally Known OR ☐ Produced Identification; Type of Identification Produced _____



Level
2
Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134
Email: planning@coralgables.com Phone: 305.460.5211

Property Owner(s) Signature:

Property Owner(s) Print Name:

Biltmore Development, LLC (Luis Arevalo)

Property Owner(s) Signature:

Property Owner(s) Print Name:

Property Owner(s) Signature:

Property Owner(s) Print Name:

Address: 1390 South Dixie Highway, Suite #1105
Coral Gables, FL 33146

Telephone: (786) 433-4771

Fax: (786) 433-4778

Email: Larevalo@ta-builders.com

NOTARIZATION

STATE OF FLORIDA/COUNTY OF


The foregoing instrument was acknowledged before me this 30 day of May 2019 by Luis Arevalo
(Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)

☒ Personally Known OR ☐ Produced Identification; Type of Identification Produced _____

	Level	Development Review Committee Application	
	2	427 Biltmore Way, 2 nd Floor, Coral Gables, Florida 33134	
City of Coral Gables Florida	Review	planning@coralgables.com	305.460.5211

Architect(s) Signature: 	Architect(s) Print Name: MARSHALL BELLIN
Address: 285 SEVILLA AVE, CORAL GABLES, FL. 33134	
Telephone: 305-447-1927	Fax: 305-443-5986
Email: MARSHALL@BPFARCHITECTS.COM	
 NOTARIZATION	
STATE OF FLORIDA/COUNTY OF The foregoing instrument was acknowledged before me this <u>29</u> day of <u>May</u> 2019 by <u>Luis Arevalo</u> (Signature of Notary Public - State of Florida)	
 	
(Print, Type or Stamp Commissioned Name of Notary Public) <input checked="" type="checkbox"/> Personally Known OR <input type="checkbox"/> Produced Identification; Type of Identification Produced _____	



May 31, 2019

Development Review Committee
City of Coral Gables
427 Biltmore Way, 2nd Floor
Coral Gables, Florida 33134

Re: Development Review Committee Application / Level 2
Statement of Use for:

Valencia Avenue Apartments
701-711 Valencia Avenue
Coral Gables, Florida 33134

Dear Members of the Development Review Committee:

On behalf of Biltmore Development LLC, Owners of the above referenced project, please accept this letter as our request for your review of the proposed design and construction of a new residential apartment project located at the 701-711 Valencia Avenue, Coral Gables Florida.

The site is currently zoned under the MSFA classification, it is labeled residential Multi-Family High Density.

The proposed development project consists of 25 residential units, all with two bedrooms. The new residential project as proposed will comply with all of the required parking provided on site; meeting all of the required zoning setbacks; height limitations (as defined per City of Coral Gables Resolution No. 2019-84); landscape open area requirements; and FAR limitations (as defined per City of Coral Gables Resolution No. 2019-84).

Please contact us if you have any question or require additional information,

Sincerely,

Marshall Bellin
Architect, AR-0005564

Glenn H. Pratt, A.I.A.
Architect, AR-0009608

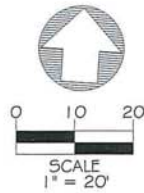
David Fuentes
Architect, AR-97043

285 Sevilla Avenue, Coral Gables, Florida 33134

w w w . b p f a r c h i t e c t s . c o m 3 0 5 - 4 4 7 - 1 9 2 7 O f f i c e / 3 0 5 - 4 4 3 - 5 9 8 6 F a x
Marshall Bellin marshall@bpfarchitects.com - Glenn Pratt glenn@bpfarchitects.com - David Fuentes david@bpfarchitects.com

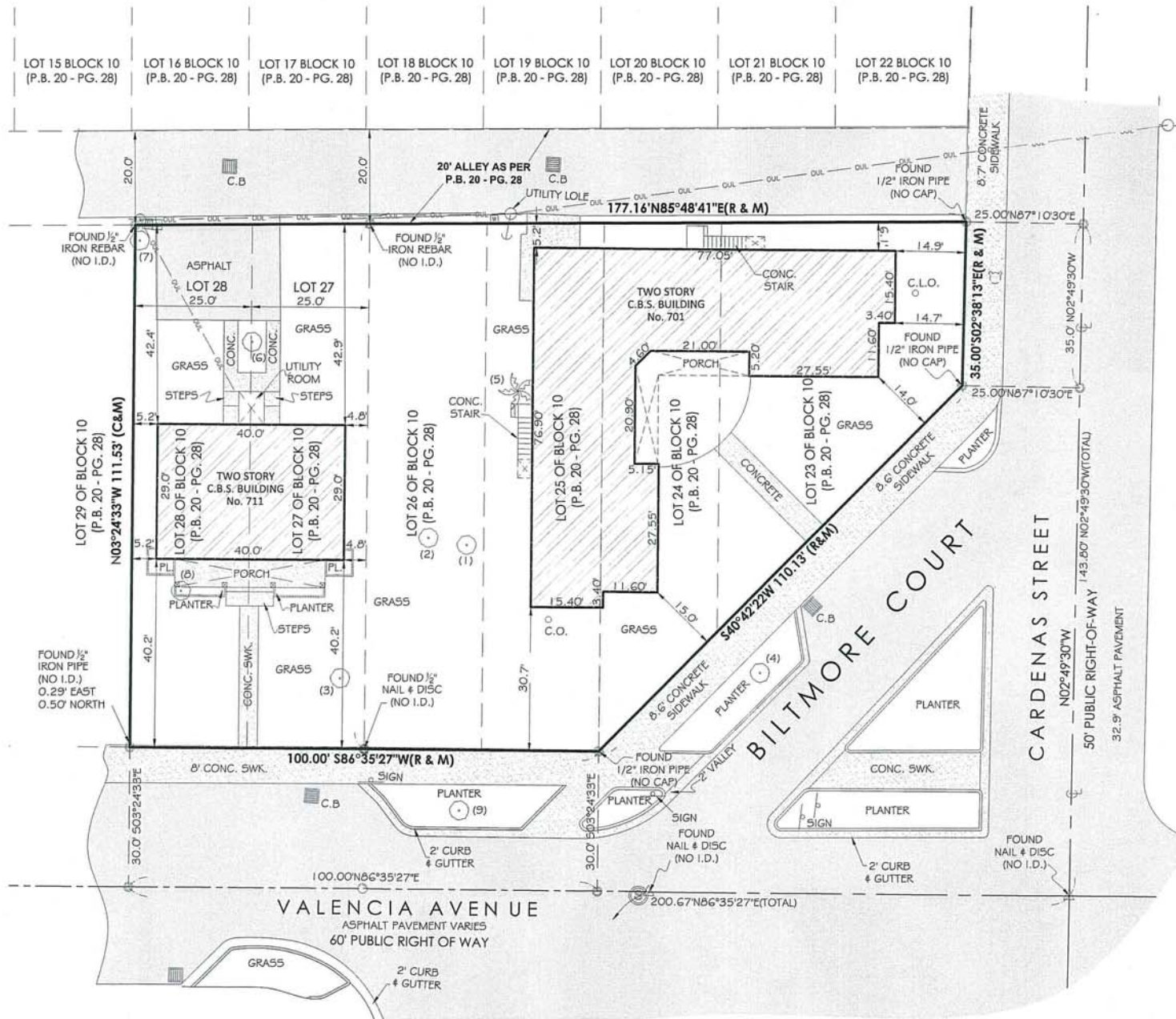


MAP OF BOUNDARY SURVEY

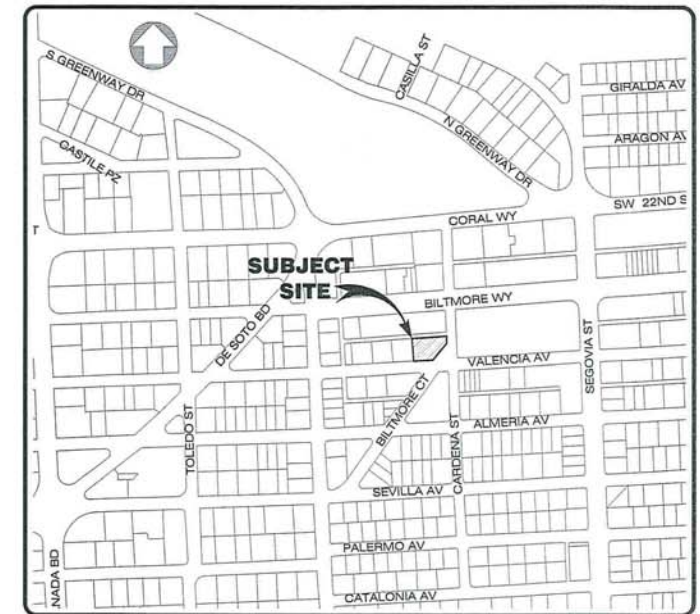


LEGEND

CONC.	= CONCRETE
R	= RECORDED VALUE
M	= MEASURED VALUE
(C)	= CALCULATED
C.B.S.	= CONCRETE BLOCK STUCCO
CL	= CENTERLINE
P.B.	= PLAT BOOK
PG.	= PAGE
M.F.	= METAL FENCE
W.P.P.	= WOOD POWER POLE
G.A.	= GUY ANCHOR
C.P.P.	= CONCRETE POWER POLE
OP	= ORNAMENTAL PLANT
B	= BOLLARD
S	= SIGN
PT	= PALM TREE
T	= TREE
CLF	= CHAIN LINK FENCE
WF	= WOOD FENCE
MF	= METAL FENCE
C	= COLUMN
GV	= GAS VALVE
CB	= CATCH BASIN
OL	= ORNAMENTAL LIGHT
OLP	= ORNAMENTAL LIGHT POLE
LP	= LIGHT POLE
FP	= FLAG POLE
R	= RADIUS
ID	= IDENTIFICATION
LP	= LIGHT POLE
ML	= MONUMENT LINE
OW	= OVERHEAD WIRE
WV	= WATER VALVE
WM	= WATER METER
FH	= FIRE HYDRANT
TSB	= TEMPORARY SITE BENCHMARK
H	= HEDGE OR LANDSCAPED AREA
CO	= CLEAN OUT
SSM	= SANITARY SEWER MANHOLE
SDM	= STORM DRAINAGE MANHOLE
UMH	= UNKNOWN MANHOLE
FPM	= FPL MANHOLE
CLF	= CHAIN LINK FENCE
MF	= METAL FENCE
WF	= WOOD FENCE
MB	= MAILBOX
MSA	= SIGNAL MAST ARM
SL	= STREET LIGHT SIGNAL
BR	= BRICK
CONC	= CONCRETE
PAV	= PAVER
TILE	= TILE
STC	= STAMPED CONCRETE
ASP	= ASPHALT
A	= ARC
L	= LENGTH
Δ	= ANGLE OF THE CURVE
☆	= ORNAMENTAL LIGHT POLE



SECTION 17 - TOWNSHIP 54 SOUTH - RANGE 41 EAST CITY OF CORAL GABLES, MIAMI-DADE COUNTY, FLORIDA



LOCATION MAP
(NOT TO SCALE)

ACCURACY:

The accuracy obtained by field measurement methods and office calculations of closed geometric figures meets and exceeds the Standards of Practice requirement for Suburban Area (Linear: 1 foot in 7,500 feet) as defined in Rule 5J-17.05 of the Florida Administrative Code.

Well identified features as depicted on the Survey Map were measured to an estimated horizontal position accuracy of 1/10 of a foot.

This Map of Survey is intended to be displayed at a scale of One inch equals Twenty feet or smaller.

PERTINENT INFORMATION USED IN THE PREPARATION OF THE MAP OF SURVEY:

North arrow direction is based on an assumed Meridian.

Bearings shown hereon are based upon the centerline of Valencia Avenue with an assumed bearing of N86°35'27"E, said line to be considered a well established and monumented line.

This property appears to be located in Flood Zone "X" with the Base Flood Elevation being NOT DETERMINED, as per Federal Emergency Management Agency (FEMA) Community-Panel Number 120639 (City of Coral Gables), Map No. 0457, Suffix L, Map Revised Date: September 11, 2009.

Legal Description was furnished by client.

Plat of "CORAL GABLES BILTMORE SECTION", recorded in Plat Book 20 at Page 28 Public Records of Miami-Dade County Florida.

Declaration of Condominium, recorded on December 26, 2006 in Official Records Book 25219 at Page 3835 of the Public Records of Miami-Dade County, Florida and

The Warrant Deed, recorded on 19-14-1998, in Official Records Book 18234 at Page 2320 of the Public Records of Miami-Dade County, Florida.

RESTRICTIONS:

Since no other information were furnished other than that is cited Under Pertinent Information, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map that may be found in the Public Records of Miami-Dade County.

The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual that may appear on the Public Records of this County.

No excavation or determination was made as to how the Subject Property is served by utilities.

No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon.

PURPOSE OF SURVEY:

This Map of Survey was ordered for the purpose of design.

CLIENT INFORMATION:


This Boundary Survey was prepared at the insistence of and certified to:

-Inversiones Valencia, LLC, a Florida Limited Liability Company

SURVEYOR'S CERTIFICATE:

I hereby certify: That this "Boundary Survey" and the Survey Map resulting therefrom was performed under my direction and is true and correct to the best of my knowledge and belief and further, that said "Boundary Survey" meets the intent of the applicable provisions of the Standards of Practice for Land Surveying in the State of Florida, pursuant to Rule 5J-17.051 through 5J-17.052 of the Florida Administrative Code and its implementing law, Chapter 472.027 of the Florida Statutes.

LONGITUDE SURVEYORS, LLC, a Florida Limited Liability Company
Florida Certificate of Authorization Number LB7335

By: 
Eduardo M. Suarez, PSM
Registered Surveyor and Mapper LB6313
State of Florida

NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party.

SURVEYOR'S REPORT:

DATE OF FIELD SURVEY:

The date of completion of original field Survey was on May 14, 2016 and updated March 3, 2017.
The date of completion of CAD was on May 16, 2016 and updated March 3, 2017.
Revision No. 1: Updated August 10, 2018

LEGAL DESCRIPTION:

Lots 23, 24, 25, 26, 27 and 28 Block 10, of "CORAL GABLES BILTMORE SECTION", according to the Plat thereof, as recorded in Plat Book 20, at Page 28, of the Public Records of Miami-Dade County, Florida.

Containing 16,899 sq. ft. and/or 0.388 acres, more or less, by calculations.

Property Address:

711 Valencia Avenue, Coral Gables, FL 33134
Folio No: 03-4117-059-0010
701 Valencia Avenue, Coral Gables, FL 33134
Folio No: 03-4117-008-1790
Folio No: 03-4117-008-1780

TREE TABLE					
No.	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD
1	SCHEFFERA ACTINOPHYLLA	UMBRELLA	42"	25'	30'
2	SCHEFFERA ACTINOPHYLLA	UMBRELLA	14"	25'	20'
3	QUERCUS	OAK	10"	20'	20'
4	QUERCUS	OAK	9"	18'	18'
5	CLUSTER OF PALMS	ALEXANDRA PALM	5"	25'	10'
6	ARCHONTOPHOENIX ALEXANDRAE	UMBRELLA	36"	25'	20'
7	QUERCUS	OAK	22"	25'	30'
8	BURSERIA SIMARUBA	GUMBO LIMBO	18"	18'	18'
9	QUERCUS	OAK	9"	18'	18'

LONGITUDE
SURVEYORS

7715 NW 48TH STREET, SUITE 310
DORAL, FLORIDA 33166
PHONE: (305) 463-0912 FAX: (305) 513-5680
WWW.LONGITUDESURVEYORS.COM

JOB NO.: 16150.0.02
FIELD BOOK: EFB

DRAWN BY: JL
SHEET 1 OF 1



NEW CONDOMINIUM BUILDING

FOR:

BILTMORE DEVELOPMENT LLC

AT:

701 Valencia Avenue
Coral Gables FL 33134



ARCHITECT:



285 sevilla avenue
coral gables, florida, 33134
tel 305.447.1927 - fax 305.443.5986

CONSULTANTS:

Consultant
Address
Phone
Fax
e-mail

© 2016 BELLIN PRATT & FUENTES ARCHITECTS, LLC
THE DESIGN AND DRAWINGS FOR THIS PROJECT ARE THE
PROPERTY OF THIS ARCHITECT AND ARE PROTECTED UNDER
THE COPYRIGHT PROTECTION ACT.
ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE
ORIGINAL WORK OF THE ARCHITECT AND MAY NOT BE
REPRODUCED, DUPLICATED & OR USED WITH THE WRITTEN
CONSENT OF BELLIN & PRATT ARCHITECTS, LLC.

PROJECT NAME:

NEW RESIDENTIAL APARTMENT PROJECT

PROPERTY ADDRESS
701 Valencia Avenue
Coral Gables 33134
OWNER INFORMATION
BILTMORE DEVELOPMENT LLC
9100 S. Dadeland Blvd. 901
Miami FL 33156

DRC SUBMITTAL

ISSUE DATE: 5/31/2019
PROJECT No.: 2016-12
DRAWN BY: T.C. & D.F.
APPROVED BY: M.B. & G.P.

REVISIONS:

No.	Description	Date

ALL DRAWINGS AND WRITTEN MATERIALS
HEREIN CONSTITUTE ORIGINAL WORK OF
THE ARCHITECT AND MAY ONLY BE
DUPLICATED WITH THEIR WRITTEN CONSENT

SEAL:

SIGNATURE:
MARSHALL BELLIN AR-5564
GLENN H PRATT, AIA, AR-9608
DAVID FUENTES AR-97043

SHEET TITLE:

Cover

SCALE: As indicated

SHEET No.:

A0.1



MASSING VIEW FROM BILTMORE COURT | SOUTH-EAST VIEW

NEW APARTMENT BUILDING
701 VALENCIA AVENUE, CORAL GABLES FL. 33134

bellin
pratt &
puentes
architects llc

AA26000883



MASSING VIEW FROM CARDENA STREET | SOUTH-EAST VIEW

NEW APARTMENT BUILDING
701 VALENCIA AVENUE, CORAL GABLES FL. 33134





MASSING VIEW FROM VALENCIA AVENUE & CARDENA STREET | SOUTH-EAST VIEW

NEW APARTMENT BUILDING
701 VALENCIA AVENUE, CORAL GABLES FL. 33134

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pratt &
puentes
architects llc

AA26000883



MASSING VIEW FROM VALENCIA AVENUE | SOUTH VIEW

NEW APARTMENT BUILDING
701 VALENCIA AVENUE, CORAL GABLES FL. 33134

bellin
pratt &
puentes
architects llc

AA26000883



MASSING VIEW FROM VALENCIA AVENUE | SOUTH-WEST VIEW

NEW APARTMENT BUILDING
701 VALENCIA AVENUE, CORAL GABLES FL. 33134

bellin
pratt &
puentes
architects llc

AA26000883



MASSING AERIAL VIEW FROM BILTMORE COURT

NEW APARTMENT BUILDING
701 VALENCIA AVENUE, CORAL GABLES FL. 33134

bellin
pratt &
puentes
architects llc

AA26000883



MASSING VIEW FROM ALLEYWAY | NORTH EAST VIEW

NEW APARTMENT BUILDING
701 VALENCIA AVENUE, CORAL GABLES FL. 33134

bellin
pratt &
puentes
architects llc

AA26000883



MASSING VIEW FROM CARDENA STREET | SOUTH-EAST VIEW

NEW APARTMENT BUILDING
701 VALENCIA AVENUE, CORAL GABLES FL. 33134





MASSING VIEW FROM CARDENA STREET | SOUTH-EAST VIEW

NEW APARTMENT BUILDING
701 VALENCIA AVENUE, CORAL GABLES FL. 33134

bellin
pratt &
puentes
architects llc

AA26000883



MASSING VIEW FROM VALENCIA AVENUE | SOUTH VIEW

NEW APARTMENT BUILDING
701 VALENCIA AVENUE, CORAL GABLES FL. 33134

bellin
pratt &
puentes
architects llc

AA26000883



MASSING VIEW FROM BILTMORE COURT | SOUTH-EAST VIEW

NEW APARTMENT BUILDING
701 VALENCIA AVENUE, CORAL GABLES FL. 33134

bellin
pratt &
puentes
architects llc

AA26000883



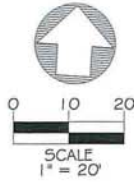
MASSING VIEW FROM BILTMORE COURT | SOUTH-EAST VIEW

NEW APARTMENT BUILDING
701 VALENCIA AVENUE, CORAL GABLES FL. 33134

bellin
pratt &
puentes
architects llc

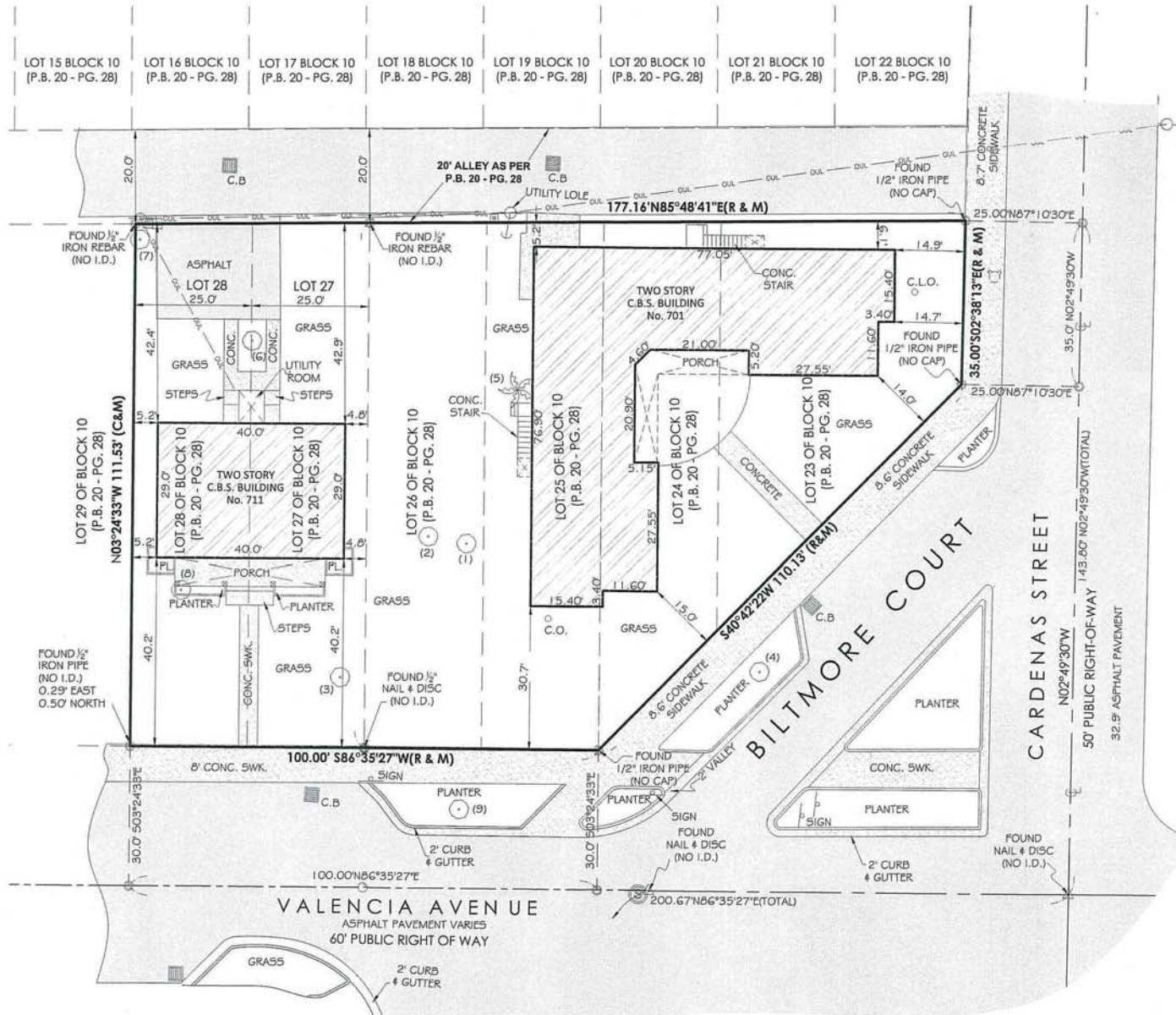
AA26000883

MAP OF BOUNDARY SURVEY



LEGEND

CONC.	= CONCRETE
R	= RECORDED VALUE
M	= MEASURED VALUE
(C)	= CALCULATED
C.B.S.	= CONCRETE BLOCK STUCCO
C	= CENTERLINE
P.B.	= PLAT BOOK
PG.	= PAGE
M.F.	= METAL FENCE
W.P.	= WOOD POWER POLE
G	= GUY ANCHOR
C.P.P.	= CONCRETE POWER POLE
O.P.	= ORNAMENTAL PLANT
B	= BOLLARD
S	= SIGN
P.T.	= PALM TREE
T	= TREE
C.L.F.	= CHAIN LINK FENCE
M.F.	= METAL FENCE
C	= COLUMN
G.V.	= GAS VALVE
C.B.	= CATCH BASIN
O.L.P.	= ORNAMENTAL LIGHT POLE
L.P.	= LIGHT POLE
F.P.	= FLAG POLE
R	= RADIUS
I.P.	= IDENTIFICATION
L.P.	= LIGHT POLE
M.L.	= MONUMENT LINE
O.W.	= OVERHEAD WIRE
W.V.	= WATER VALVE
W.M.	= WATER METER
F.H.	= FIRE HYDRANT
T.S.B.	= TEMPORARY SITE BENCHMARK
S.S.M.	= SANITARY SEWER MANHOLE
S.D.M.	= STORM DRAINAGE MANHOLE
U.M.	= UNKNOWN MANHOLE
F.F.M.	= FFL MANHOLE
C.L.F.	= CHAIN LINK FENCE
M.F.	= METAL FENCE
W.F.	= WOOD FENCE
M.B.	= MAILBOX
S.M.A.	= SIGNAL MAST ARM
S.L.S.	= STREET LIGHT SIGNAL
BR	= BRICK
CONC	= CONCRETE
PAV	= PAVEMENT
T	= TILE
SC	= STAMPED CONCRETE
ASP	= ASPHALT
A	= ARC
L	= LENGTH
Δ	= ANGLE OF THE CURVE
☆	= ORNAMENTAL LIGHT POLE



TREE TABLE				
No.	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT
1	SCHEFFLERA ACTINOPHYLLA	UMBRELLA	42"	25'
2	SCHEFFLERA ACTINOPHYLLA	UMBRELLA	14"	25'
3	QUERCUS	OAK	10"	20'
4	QUERCUS	OAK	9"	18'
5	CLUSTER OF PALMS	ALEXANDRA PALM	5"	25'
6	ARCHONTOPHOENIX ALEXANDRAE	UMBRELLA	36"	25'
7	QUERCUS	OAK	22"	25'
8	BURSERIA SIMARUBA	GUMBO LIMBO	18"	18'
9	QUERCUS	OAK	9"	18'

SURVEYOR'S REPORT:

DATE OF FIELD SURVEY:

The date of completion of original field Survey was on May 14, 2016 and updated March 3, 2017.
The date of completion of CAD was on May 16, 2016 and updated March 3, 2017.
Revision No. 1: Updated August 10, 2018

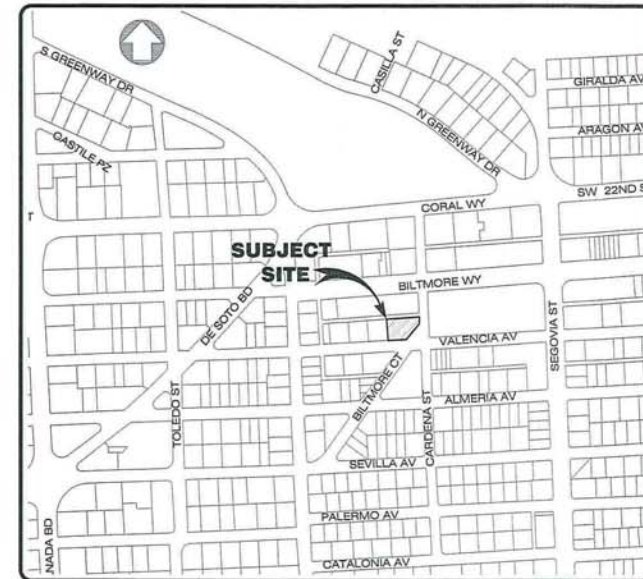
LEGAL DESCRIPTION:

Lots 23, 24, 25, 26, 27 and 28 Block 10, of "CORAL GABLES BILTMORE SECTION", according to the Plat thereof, as recorded in Plat Book 20, at Page 28, of the Public Records of Miami-Dade County, Florida.

Containing 16,899 sq. ft. and/or 0.388 acres, more or less, by calculations.

Property Address:
711 Valencia Avenue, Coral Gables, FL 33134
Folio No: 03-4117-059-0010
701 Valencia Avenue, Coral Gables, FL 33134
Folio No: 03-4117-008-1790
Folio No: 03-4117-008-1780

SECTION 17 - TOWNSHIP 54 SOUTH - RANGE 41 EAST CITY OF CORAL GABLES, MIAMI-DADE COUNTY, FLORIDA



LOCATION MAP (NOT TO SCALE)

ACCURACY:

The accuracy obtained by field measurement methods and office calculations of closed geometric figures meets and exceeds the Standards of Practice requirement for Suburban Area (Linear: 1 foot in 7,500 feet) as defined in Rule 5J-17-05 of the Florida Administrative Code.

Well identified features as depicted on the Survey Map were measured to an estimated horizontal position accuracy of 1/10 of a foot.

This Map of Survey is intended to be displayed at a scale of One inch equals Twenty feet or smaller.

PERTINENT INFORMATION USED IN THE PREPARATION OF THE MAP OF SURVEY:

North arrow direction is based on an assumed Meridian.

Bearings shown hereon are based upon the centerline of Valencia Avenue with an assumed bearing of N86°35'27"E, said line to be considered a well established and monumental line.

This property appears to be located in Flood Zone "X" with the Base Flood Elevation being NOT DETERMINED, as per Federal Emergency Management Agency (FEMA) Community-Panel Number 120639 (City of Coral Gables), Map No. 0457, Suffix L, Map Revised Date: September 11, 2009.

Legal Description was furnished by client.

Plat of "CORAL GABLES BILTMORE SECTION", recorded in Plat Book 20 at Page 28 Public Records of Miami-Dade County, Florida.

Declaration of Condominium, recorded on December 26, 2006 in Official Records Book 25219 at Page 3835 of the Public Records of Miami-Dade County, Florida and

The Warrant Deed, recorded on 19-14-1998, in Official Records Book 18234 at Page 2320 of the Public Records of Miami-Dade County, Florida.

RESTRICTIONS:

Since no other information was furnished other than that is cited Under Pertinent Information, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map that may be found in the Public Records of Miami-Dade County.

The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual that may appear on the Public Records of this County.

No excavation or determination was made as to how the Subject Property is served by utilities.

No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon.

PURPOSE OF SURVEY:

This Map of Survey was ordered for the purpose of design.

CLIENT INFORMATION:

This Boundary Survey was prepared at the insistence of and certified to:

-Inversiones Valencia, LLC, a Florida Limited Liability Company

SURVEYOR'S CERTIFICATE:

I hereby certify: That this "Boundary Survey" and the Survey Map resulting therefrom was performed under my direction and is true and correct to the best of my knowledge and belief and further, that said "Boundary Survey" meets the intent of the applicable provisions of the Standards of Practice for Land Surveying in the State of Florida, pursuant to Rule 5J-17.051 through 5J-17.052 of the Florida Administrative Code and its implementing law, Chapter 472.027 of the Florida Statutes.

LONGITUDE SURVEYORS, LLC, a Florida Limited Liability Company
Florida Certificate of Authorization Number 187335

By: *Eduardo M. Suarez, PSM*
Registered Surveyor and Mapper 156313
State of Florida

NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party.

ARCHITECT:



285 sevilla avenue
coral gables, florida, 33134
tel 305.447.1927 - fax 305.443.5986

CONSULTANTS:

Consultant
Address
Phone
Fax
e-mail

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PROJECT NAME:

NEW RESIDENTIAL APARTMENT PROJECT

PROPERTY ADDRESS
701 Valencia Avenue
Coral Gables 33134

OWNER INFORMATION
BILTMORE DEVELOPMENT LLC
9100 S. Dadeland Blvd. 901
Miami FL 33156

DRC SUBMITTAL

ISSUE DATE: 11/14/18
PROJECT No.: 2016-12
DRAWN BY: Author
APPROVED BY: Approver

REVISIONS:

No.	Description	Date

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SIGNATURE:
MARSHALL BELLIN AR-5564
GLENN H PRATT, AIA, AR-9608
DAVID FUENTES AR-97043

SHEET TITLE:

Survey

SCALE:

SHEET No.:

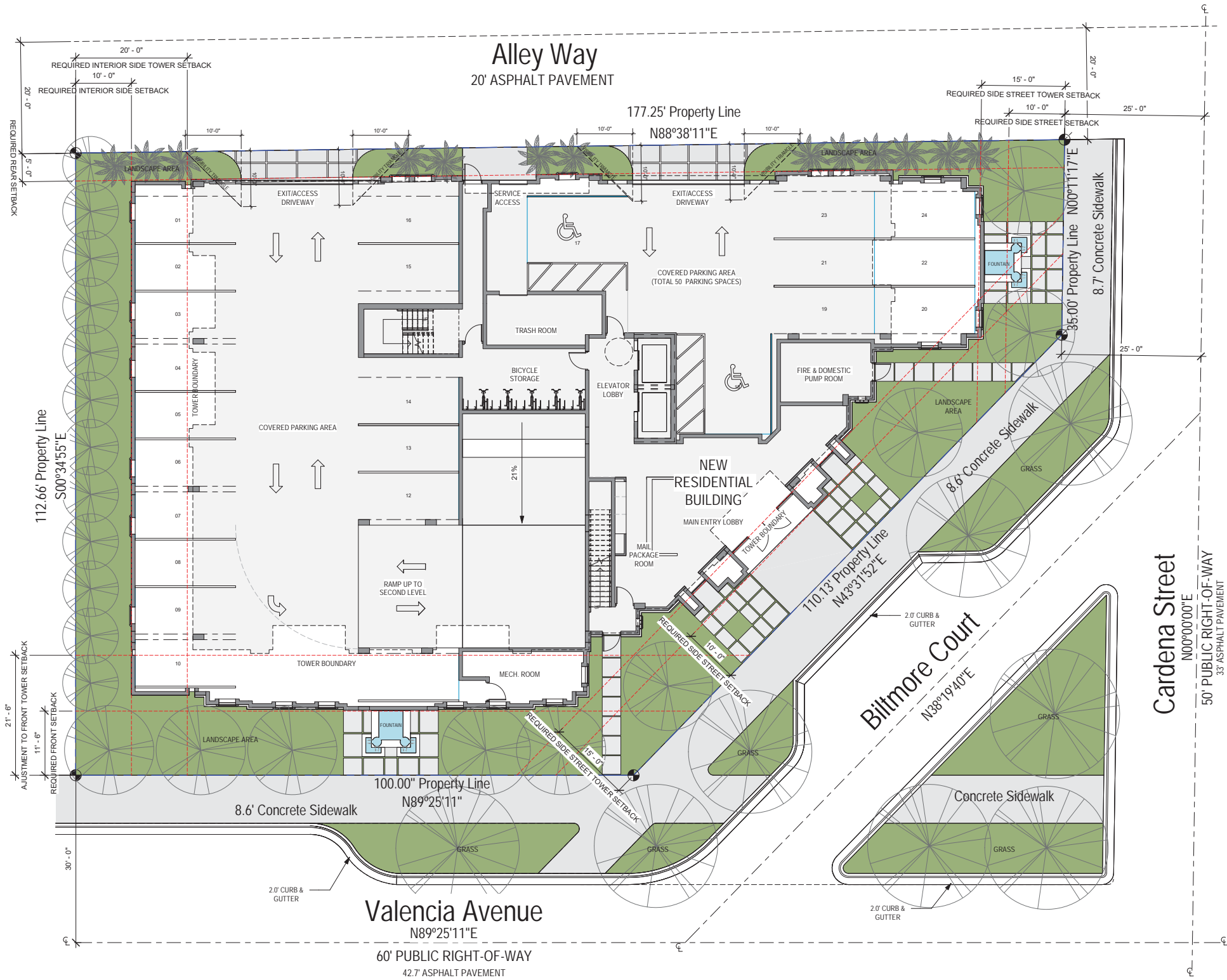
A0.3

LONGITUDE
SURVEYORS

7715 NW 48TH STREET, SUITE 310
DORAL, FLORIDA 33166
PHONE: (305) 463-0912 FAX: (305) 513-5680
WWW.LONGITUDESURVEYORS.COM

JOB NO.: 16150.0.02
FIELD BOOK: EFB
DRAWN BY: JL
SHEET 1 OF 1

ZONING INFORMATION				
CITY	CITY OF CORAL GABLES			
PROPERTY TAX FOLIO	03-4117-059-0010			
PROPERTY ADDRESS	701 Valencia Avenue, Coral Gables FL 33134			
PROPERTY OWNER	Biltmore Development LLC			
LEGAL DESCRIPTION	Lots 23, 24, 25, 26, 27, and 28, Block 10, of "CORAL GABLES BILTMORE SECTION", according to the Plat thereof, as recorded in Plat Book 20, at Page 28, of the Public Records of Miami-Dade County, Florida			
APPLICABLE CODES	FLORIDA BUILDING CODE RESIDENTIAL "2010 EDITION" Zoning Code of Coral Gables, Florida Florida Fire Prevention Code NFPA 101, 2003			
ZONING CLASSIFICATION	MFA - Multifamily Special Area. Coral Gables Zoning Code Enactment #: 2019-84 A Resolution pursuant to section 3-1705 of the Zoning Code approving the dispute resolution agreement regarding the property located at 701 and 711 Valencia and legally described as Lots 23, 24, 25, 26, 27, and 28, Block 10, of "Coral Gables Biltmore Section", according to the Plat thereof, as recorded in Plat Book 20, at Page 28, of the Public Records of Miami-Dade County, Florida, which provides, in part, for an increase to the maximum floor area ratio up to 2.7 (from 2.0), subject to additional terms and conditions in the dispute resolution agreement.			
SITE AREA	GROSS SQ. FT.	16,903.31 SQ. FT.		
	NET SQ. FT.	16,903.31 SQ. FT.		
	GROSS ACREAGE:	1 Acre = 43,560 SQ. FT.	0.388 Acres	
	NET ACREAGE:	1 Acre = 43,560 SQ. FT.	0.388 Acres	
DENSITY		ALLOWED	PROVIDED	
	Multifamily 60 Units/ Acre = 60x0.388	23.28 units		
	25% Additional MED BONUS = 23.28x 25%	5.82 units	25 Units	
SETBACKS	FRONT (South) - Adjust.	Bldg. > 45' hgt.	REQUIRED 11'-6"	PROVIDED 11'-6"
	FRONT Tower (South) - Adj.	Portion of Bldg. > 24' hgt. (additional 10')	21'-6"	21'-6"
	REAR (North)		5'-0"	5'-0"
	INTERIOR SIDE PARKING (West)	Bldg. < 45' hgt.	5'-0"	10'-8"
	INTERIOR SIDE (West)	Bldg. < 45' hgt.	10'-0"	10'-0"
	INTERIOR SIDE Tower (West)	Portion of Bldg. > 24' hgt. (additional 10')	15'-0"	15'-0"
	SIDE STREET (East)	Bldg. > 45' hgt.	10'-0"	10'-0"
	SIDE STREET Tower (East)	Portion of Bldg. > 24' hgt. (additional 5')	15'-0"	15'-0"
	SIDE STREET (South-East)	Bldg. > 45' hgt.	10'-0"	10'-0"
	SIDE STREET (South-East)	Portion of Bldg. > 24' hgt. (additional 5')	15'-0"	15'-0"
MAXIMUM HEIGHT		ALLOWED	PROVIDED	
	Site Specifics (CAO 2017-13)	150'-0"		
	Resolution 2019-84	75'-0"	71'-8" @T.O.S.	
MAXIMUM FLOOR AREA		ALLOWED	PROVIDED	
	Maximum Floor Area Ratio (FAR) as per Resolution 2019-84 shall not exceed 2.7 x 16,903.31 SF	45,638.95 SQ. FT.	45,347.68 SQ. FT.	
	Refer to Sheet A0.5 for FAR Calculation			
PARKING CALCULATION	1 Bed. Units	2 Bedroom Units	3 Bedroom Units	REQUIRED
	0 Units	25 Units	0 Units	PROVIDED
H/C Spaces: 2		1.75 / 2 Bedroom Units = 1.75 x 25 = 43.75		44 Spaces
				50 Spaces
Electric Charging Stations. When 20 or more off-street parking spaces are required, a minimum of 2% of the required off-street parking spaces shall be reserved for electric vehicle parking, and provide an electric charging station for each space, with a minimum of 1 space reserved for electric vehicle parking.				1 Station
Bicycle Storage Calculation. Required: Minimum 5 Bicycle Spaces per 250 Parking Spaces.				5
LANDSCAPE OPEN SPACE				25
LANDSCAPE OPEN SPACE		REQUIRED	PROVIDED	
	Minimum Open Space 25% x 16,903.31 SQ. FT. Refer to Sheet A0.12 for Landscape Open Space Calculations	4,225.83 SQ. FT.	6,753 SQ. FT. 39.95%	



1 Site Plan
1" = 10'-0"

ARCHITECT:



285 sevilla avenue
coral gables, florida, 33134
tel 305.447.1927 - fax 305.443.5986

CONSULTANTS:

Consultant
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Fax
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PROJECT NAME:

NEW RESIDENTIAL APARTMENT PROJECT

PROPERTY ADDRESS
701 Valencia Avenue
Coral Gables 33134

OWNER INFORMATION
BILTMORE DEVELOPMENT LLC
9100 S. Dadeland Blvd. 901
Miami FL 33156

DRC SUBMITTAL

ISSUE DATE: 11/15/19
PROJECT No.: 2016-12
DRAWN BY: T.C. & D.F.
APPROVED BY: M.B. & G.P.

REVISIONS:

No.	Description	Date

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SEAL:

SIGNATURE:
MARSHALL BELLIN AR-5564
GLENN H PRATT, AIA, AR-9608
DAVID FUENTES AR-97043

SHEET TITLE:

Site Plan, Zoning info & Building data

SCALE: As indicated

SHEET No.:

A0.4

Lot Area			
Name	Lot Area	FAR Factor	FAR Allowed
Property Line	16,903.31 SF	2.7	45,638.95 SF

FAR Calculation	
Name	FAR Provided
1.0 Ground Floor	
Fire & Domestic Pump Room	193.00 SF
Fire Stair 1	283.71 SF
Fire Stair 2	Not Enclosed
Mech Room	195.33 SF
	672.04 SF

2.0 Second Floor	
Amenity	718.53 SF
Corridor	223.12 SF
Fire Stair 1	157.53 SF
Mech Room	190.58 SF
Mech. Rm.	181.58 SF
	1,471.35 SF

3.0 Third Floor	
Corridor	527.05 SF
Fire Stair 1	157.53 SF
Mech. Rm.	118.37 SF
Trash Rm.	50.60 SF
Unit 1	1,228.39 SF
Unit 2	1,780.06 SF
Unit 3	1,538.85 SF
Unit 4	1,622.23 SF
Unit 5	1,617.78 SF
	8,640.86 SF

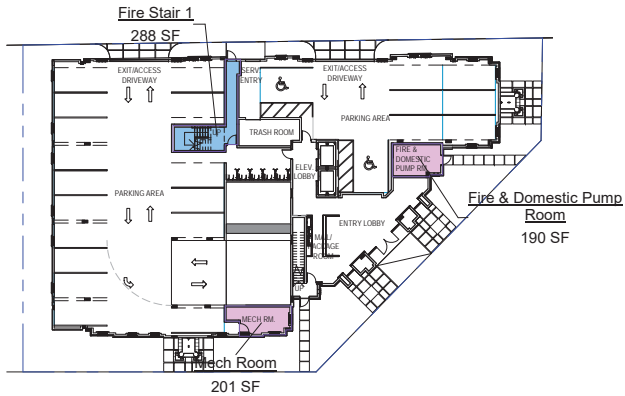
4.0 Fourth Floor	
Corridor	527.05 SF
Fire Stair 1	157.53 SF
Mech. Rm.	118.37 SF
Trash Rm.	50.60 SF
Unit 1	1,228.39 SF
Unit 2	1,780.06 SF
Unit 3	1,538.85 SF
Unit 4	1,622.23 SF
Unit 5	1,617.78 SF
	8,640.86 SF

5.0 Fifth Floor	
Corridor	527.05 SF
Fire Stair 1	157.53 SF
Mech. Rm.	118.37 SF
Trash Rm.	50.60 SF
Unit 1	1,228.39 SF
Unit 2	1,780.06 SF
Unit 3	1,538.85 SF
Unit 4	1,622.23 SF
Unit 5	1,617.78 SF
	8,640.86 SF

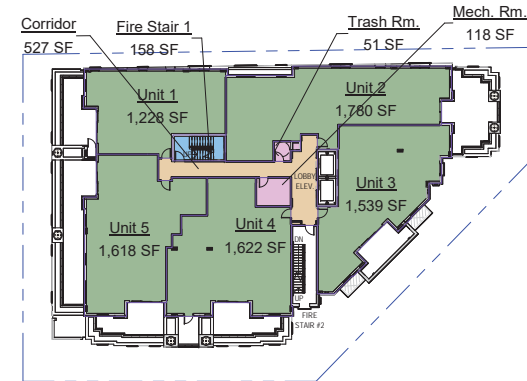
6.0 Sixth Floor	
Corridor	527.05 SF
Fire Stair 1	157.53 SF
Mech. Rm.	118.37 SF
Trash Rm.	50.60 SF
Unit 1	1,228.39 SF
Unit 2	1,780.06 SF
Unit 3	1,538.85 SF
Unit 4	1,622.23 SF
Unit 5	1,617.78 SF
	8,640.86 SF

7.0 Seventh Floor	
Corridor	527.05 SF
Fire Stair 1	157.53 SF
Mech. Rm.	118.37 SF
Trash Rm.	50.60 SF
Unit 1	1,228.39 SF
Unit 2	1,780.06 SF
Unit 3	1,538.85 SF
Unit 4	1,622.23 SF
Unit 5	1,617.78 SF
	8,640.86 SF
Total FAR	45,347.68 SF

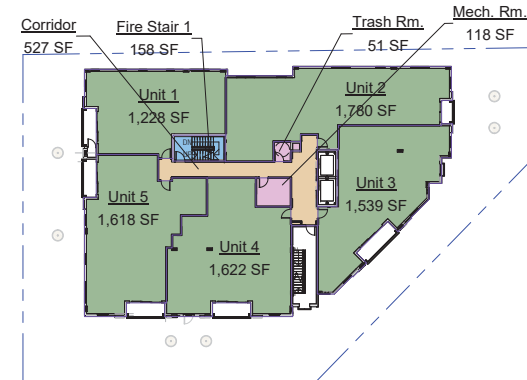
Non-FAR	
Name	Area
Roof Level	
Amenities	2,499 SF
Roof Terrace	1,173 SF
Roof Terrace	2,178 SF
Roof Terrace	262 SF
Grand total	6,112 SF



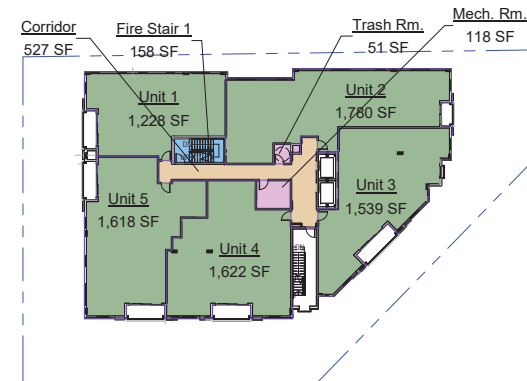
1 1.0 Ground Floor
1" = 30'-0"



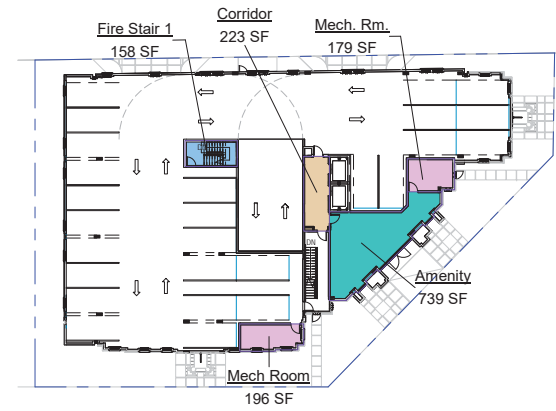
3 3.0 Third Floor
1" = 30'-0"



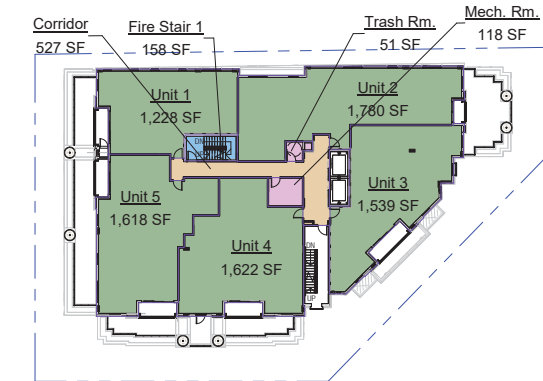
5 5.0 Fifth Floor
1" = 30'-0"



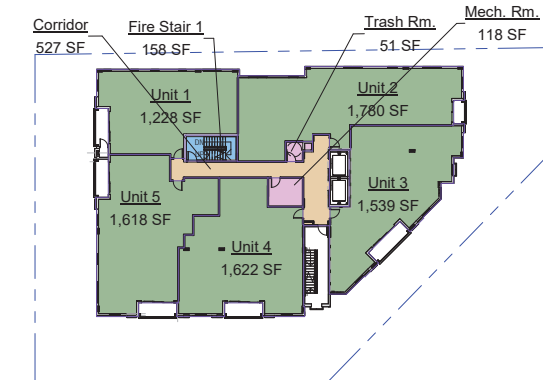
7 7.0 Seventh Floor
1" = 30'-0"



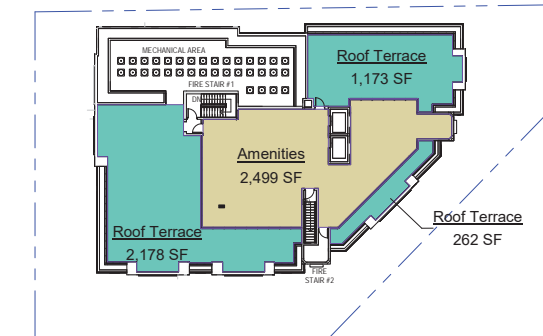
2 2.0 Second Floor
1" = 30'-0"



4 4.0 Fourth Floor
1" = 30'-0"



6 6.0 Sixth Floor
1" = 30'-0"



8 Roof Level
1" = 30'-0"

ARCHITECT:

bellin pratt & fuentes
architects llc

285 sevilla avenue
coral gables, florida, 33134
tel 305.447.1927 - fax 305.443.5986

CONSULTANTS:

Consultant
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Fax
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NEW RESIDENTIAL APARTMENT PROJECT

PROPERTY ADDRESS
701 Valencia Avenue
Coral Gables 33134

OWNER INFORMATION
BILTMORE DEVELOPMENT LLC
9100 S. Dadeland Blvd. 901
Miami FL 33156

DRC SUBMITTAL

ISSUE DATE: 11/14/12
PROJECT No.: 2016-12
DRAWN BY: Author
APPROVED BY: Approver

REVISIONS:

No.	Description	Date

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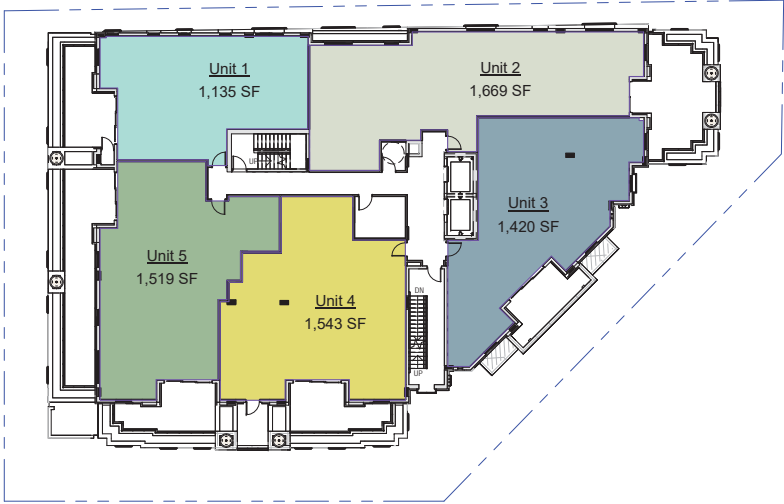
SEAL:

SIGNATURE:
MARSHALL BELLIN AR-5564
GLENN H PRATT, AIA, AR-9608
DAVID FUENTES AR-97043

SHEET TITLE:
FAR Calculation

SCALE: **1" = 30'-0"**

SHEET No.:
A0.5



Area Schedule (Net Area - Units)	
Name	Area

3.0 Third Floor		
Unit 1		1,135 SF
Unit 2		1,669 SF
Unit 3		1,420 SF
Unit 4		1,543 SF
Unit 5		1,519 SF
		7,285 SF

1 Typical Floor Plan
1" = 20'-0"

ARCHITECT:



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tel 305.447.1927 - fax 305.443.5986

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PROJECT NAME:

**NEW RESIDENTIAL
APARTMENT
PROJECT**

PROPERTY ADDRESS
701 Valencia Avenue
Coral Gables 33134

OWNER INFORMATION
BILTMORE DEVELOPMENT LLC
9100 S. Dadeland Blvd. 901
Miami FL 33156

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ISSUE DATE: 5/31/2019
PROJECT No.: 2016-12
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APPROVED BY: Approver

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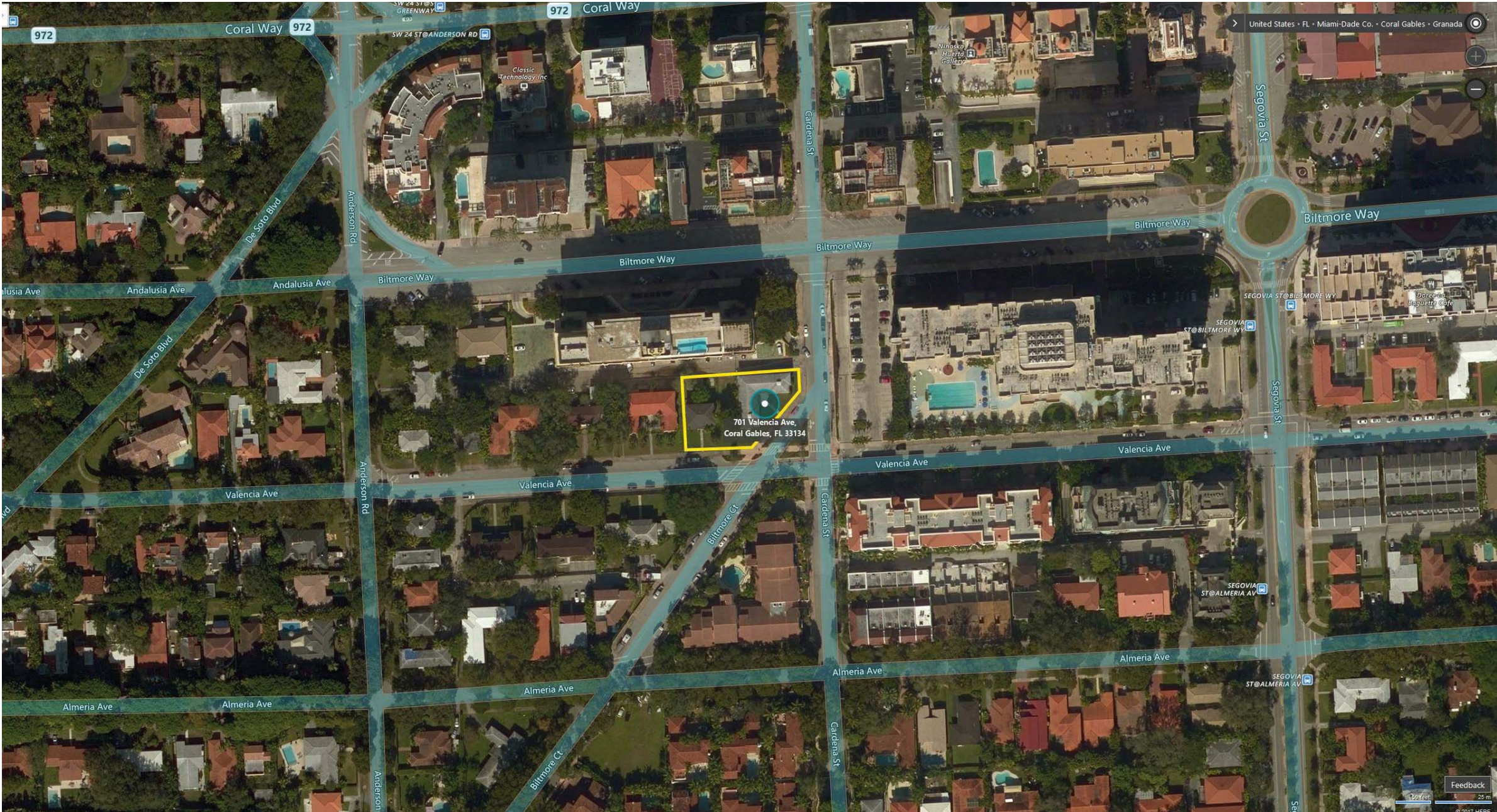
SHEET TITLE:

**Net Area for
Units**

SCALE: 1" = 20'-0"

SHEET No.:

A0.6



Aerial Photograph

ARCHITECT:



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PROJECT NAME:

NEW RESIDENTIAL APARTMENT PROJECT

PROPERTY ADDRESS
701 Valencia Avenue
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BILTMORE DEVELOPMENT LLC
9100 S. Dadeland Blvd. 901
Miami FL 33156

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ISSUE DATE: 11/16/12
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APPROVED BY: Approver

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SIGNATURE:
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GLENN H PRATT, AIA, AR-9608
DAVID FUENTES AR-97043

SHEET TITLE:

Aerial Photo

SCALE:

SHEET No.:

A0.7



718 Valencia Avenue



741 Valencia Avenue



737 Valencia Avenue



729 Valencia Avenue



717 Valencia Avenue



711 Valencia Avenue

ARCHITECT:



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coral gables, florida, 33134
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CONSULTANTS:

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PROJECT NAME:
**NEW RESIDENTIAL
APARTMENT
PROJECT**

PROPERTY ADDRESS
701 Valencia Avenue
Coral Gables 33134

OWNER INFORMATION
BILTMORE DEVELOPMENT LLC
9100 S. Dadeland Blvd. 901
Miami FL 33156

DRC SUBMITTAL

ISSUE DATE: 5/31/2019
PROJECT No.: 2016-12
DRAWN BY: Author
APPROVED BY: Approver

REVISIONS:

No.	Description	Date

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SIGNATURE:
MARSHALL BELLIN AR-5564
GLENN H PRATT, AIA, AR-9608
DAVID FUENTES AR-97043

SHEET TITLE:
**Residence &
Contextual
Photos**

SCALE:

SHEET No.:
A0.8



701 Valencia Avenue



701 Valencia Avenue



Aerial photo



Aerial photo

ARCHITECT:



285 sevilla avenue
coral gables, florida, 33134
tel 305.447.1927 - fax 305.443.5986

CONSULTANTS:

Consultant
Address
Phone
Fax
e-mail

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PROJECT NAME:

**NEW RESIDENTIAL
APARTMENT
PROJECT**

PROPERTY ADDRESS
701 Valencia Avenue
Coral Gables 33134

OWNER INFORMATION
BILTMORE DEVELOPMENT LLC
9100 S. Dadeland Blvd. 901
Miami FL 33156

DRC SUBMITTAL

ISSUE DATE: 5/31/2019
PROJECT No.: 2016-12
DRAWN BY: Author
APPROVED BY: Approver

REVISIONS:

No.	Description	Date

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SIGNATURE:
MARSHALL BELLIN AR-5564
GLENN H PRATT, AIA, AR-9608
DAVID FUENTES AR-97043

SHEET TITLE:

**Residence &
Contextual
Photos**

SCALE:

SHEET No.:

A0.9

Coral Gables Mediterranean Style Design Standards				
Table No. 1				
Project Complies with all Categories in Table 1				
Complies (An X means the Project complies with requirement)				
Complies	Reference No.	Residential	Type	Comments
X	1.1	X	Architectural elements on building facades.	COMPLIES: See decorative reveal and molding on all building elevations (A-2.1, A-2.2, A-2.3, A-2.4 & A-2.5). Also see 3D Views. Similar architectural elements (moldings, trims, stucco texture accent, & aluminum railings) are provided on all sides of the building.
	1.2		Architectural relief elements at street level.	DOES NOT COMPLY It is not required for Residential buildings.
X	1.3	X	Architectural elements located on the top of buildings.	COMPLIES: See corners of both towers (one of them Stair tower), parapet feature & decorative elements on top the building, at terraces, at Building elevations from A-2.1 to A-2.5 and also see 3D Views.
X	1.4	X	Bicycle storage.	COMPLIES: See A-1.1 A bicycle rack for a minimum of five bicycles will be provided on the pedestrian access at ground floor area.
X	1.5	X	Building Facades.	COMPLIES: See exterior mass variations & break lines at Building elevations A-2.1 to A-2.5 and Also see 3D View plans. The project also utilizes setback of different wall planes as vertical break to comply with this provision.
X	1.6	X	Building lot coverage.	COMPLIES: Permissive provision.
X	1.7	X	Drive through facilities.	COMPLIES: See Site Plan A-0.3 and Ground Floor plan A-1.1.
X	1.8	X	Landscape open space area.	COMPLIES: The project will have landscape open space that exceeds the minimum requirement of twenty-five percent for residential projects.
X	1.9	X	Lighting, street.	COMPLIES: The project will provide right away street lighting as allowed, required and approved by the Public Works Department.
X	1.10	X	Parking garages.	COMPLIES: See site plan A-1.1 & A-1.2, and building elevations A- 2.1 and A- 2.2. and Also see 3D View plans.
	1.11	X	Porte-cocheres.	DOES NOT COMPLY
	1.12		Sidewalk/ pedestrian access.	DOES NOT COMPLY It is not required for Residential buildings.
X	1.13	X	Soil, structural.	COMPLIES: All right of way planting areas will utilize structural soil.
X	1.14	X	Windows on Mediterranean buildings.	COMPLIES: All windows will have a minimum spacing depth of four inches.

Coral Gables Mediterranean Style Design Standards				
Table No. 2				
Project Complies with 7 of 12 Categories in Table 2				
Complies (An X means the Project complies with requirement)				
Complies	Reference No.	Residential	Type	Comments
	2.1	X	Arcades and/or loggias.	DOES NOT COMPLY
X	2.2	X	Building rooflines.	COMPLIES: See building elevations A- 2.1 to A- 2.5, and Also see 3D View plans. The project utilizes the stair and terrace towers massing for vertical changes in the building roofline to comply with this provision.
X	2.3	X	Building step backs.	COMPLIES: See site plan A-0.3 & building elevations A- 2.1 to A- 2.5, and Also see 3D View plans. The building steps from the principal facade, and utilizes a vertical step back on all sides, as well as the step back of the lower and upper residential levels.
X	2.4	X	Building towers.	COMPLIES: See building elevations A- 2.1 to A- 2.5, and Also see 3D View plans. The building tower elements in conjunction with the terrace features comply with this provision.
X	2.5	X	Driveways.	COMPLIES: See A 1.0. The building has vehicular entries and service bay on Alley in order to eliminate vehicular penetration into pedestrian sidewalks and adjoining rights-of-way.
X	2.6	X	Lighting of landscaping.	COMPLIES: Up lighting of landscaping within and/or adjacent to pedestrian areas will be provided.
X	2.7	X	Materials on exterior building facades.	COMPLIES: The use of Keystone shall be incorporated into the base of the building in order to comply with this provision.
	2.8		Overhead doors.	DOES NOT COMPLY It is not required for Residential buildings.
X	2.9	X	Paver treatments.	COMPLIES: See site plan A 1.1. Driveways will have a minimum of ten percent of paver treatment, and sidewalks will have a minimum of twenty five percent of paver treatment.
X	2.10	X	Pedestrian amenities.	COMPLIES: See site plan A-1.0, and building elevations A- 2.1 to A- 2.5, and Also see 3D View plans. The project will have at a minimum four pedestrian amenities. To include: benches, planters, water features, and public art.
	2.11		Pedestrian pass-throughs/ passies on properties contiguous to alleys and/or streets.	DOES NOT COMPLY It is not required for Residential buildings.
	2.12	X	Underground parking.	DOES NOT COMPLY



ARCHITECT:



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DAVID FUENTES AR-97043

SHEET TITLE:

MED Bonus Compliances

SCALE: 3/8" = 1'-0"

SHEET No.:

A0.10

Coral Gables Mediterranean Style Design Standards				
Table No. 1				
Project Complies with all Categories in Table 1				
Complies (An X means the Project complies with requirement)				
Complies	Reference No.	Residential	Type	Comments
X	1.1	X	Architectural elements on building facades.	COMPLIES: See decorative reveal and molding on all building elevations (A-2.1, A-2.2, A-2.3, A-2.4 & A-2.5). Also see 3D Views. Similar architectural elements (moldings, trims, stucco texture accent, & aluminum railings) are provided on all sides of the building.
	1.2		Architectural relief elements at street level.	DOES NOT COMPLY It is not required for Residential buildings.
X	1.3	X	Architectural elements located on the top of buildings.	COMPLIES: See corners of both towers (one of them Stair tower), parapet feature & decorative elements on top the building, at terraces, at Building elevations from A-2.1 to A-2.5 and also see 3D Views.
X	1.4	X	Bicycle storage.	COMPLIES: See A-1.1. A bicycle rack for a minimum of five bicycles will be provided on the pedestrian access at ground floor area.
X	1.5	X	Building Facades.	COMPLIES: See exterior mass variations & break lines at Building elevations A-2.1 to A-2.5 and Also see 3D View plans. The project also utilizes stepback of different wall planes as vertical break to comply with this provision.
X	1.6	X	Building lot coverage.	COMPLIES: Permissive provision.
X	1.7	X	Drive through facilities.	COMPLIES: See Site Plan A-0.3 and Ground Floor plan A-1.1.
X	1.8	X	Landscape open space area.	COMPLIES: The project will have landscape open space that exceeds the minimum requirement of twenty-five percent for residential projects.
X	1.9	X	Lighting, street.	COMPLIES: The project will provide right away street lighting as allowed, required and approved by the Public Works Department.
X	1.10	X	Parking garages.	COMPLIES: See site plan A-1.1 & A-1.2, and building elevations A- 2.1 and A- 2.2. and Also see 3D View plans.
	1.11	X	Porte-cocheres.	DOES NOT COMPLY
	1.12		Sidewalk/ pedestrian access.	DOES NOT COMPLY It is not required for Residential buildings.
X	1.13	X	Soil, structural.	COMPLIES: All right of way planting areas will utilize structural soil.
X	1.14	X	Windows on Mediterranean buildings.	COMPLIES: All windows will have a minimum spacing depth of four inches.

Coral Gables Mediterranean Style Design Standards				
Table No. 2				
Project Complies with 7 of 12 Categories in Table 2				
Complies (An X means the Project complies with requirement)				
Complies	Reference No.	Residential	Type	Comments
	2.1	X	Arcades and/or loggias.	DOES NOT COMPLY
X	2.2	X	Building rooflines.	COMPLIES: See building elevations A- 2.1 to A- 2.5. and Also see 3D View plans. The project utilizes the stair and terrace towers massing for vertical changes in the building roofline to comply with this provision.
X	2.3	X	Building step backs.	COMPLIES: See site plan A-0.3 & building elevations A- 2.1 to A- 2.5. and Also see 3D View plans. The building steps from the principal façade, and utilizes a vertical step back on all sides, as well as the step back of the lower and upper residential levels.
X	2.4	X	Building towers.	COMPLIES: See building elevations A- 2.1 to A- 2.5. and Also see 3D View plans. The building tower elements in conjunction with the terrace features comply with this provision.
X	2.5	X	Driveways.	COMPLIES: See A 1.0. The building has vehicular entries and service bay on Alley in order to eliminate vehicular penetration into pedestrian sidewalks and adjoining rights-of-way.
X	2.6	X	Lighting of landscaping.	COMPLIES: Up lighting of landscaping within and/or adjacent to pedestrian areas will be provided.
X	2.7	X	Materials on exterior building facades.	COMPLIES: The use of Keystone shall be incorporated into the base of the building in order to comply with this provision.
	2.8		Overhead doors.	DOES NOT COMPLY It is not required for Residential buildings.
X	2.9	X	Paver treatments.	COMPLIES: See site plan A 1.1. Driveways will have a minimum of ten percent of paver treatment, and sidewalks will have a minimum of twenty five percent of paver treatment.
X	2.10	X	Pedestrian amenities.	COMPLIES: See site plan, A-1.0. and building elevations A- 2.1 to A- 2.5. and Also see 3D View plans. The project will have at a minimum four pedestrian amenities. To include: benches, planters, water features, and public art.
	2.11		Pedestrian pass-throughs/ passos on properties contiguous to alleys and/or streets.	DOES NOT COMPLY It is not required for Residential buildings.
	2.12	X	Underground parking.	DOES NOT COMPLY



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DAVID FUENTES AR-97043

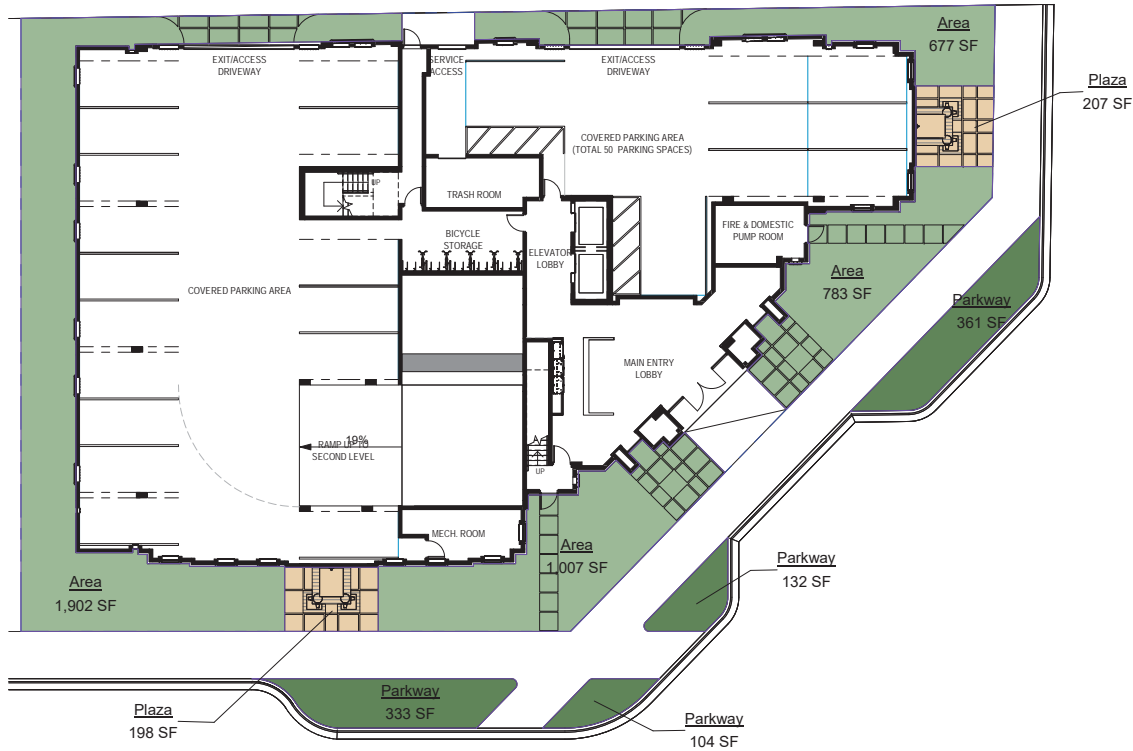
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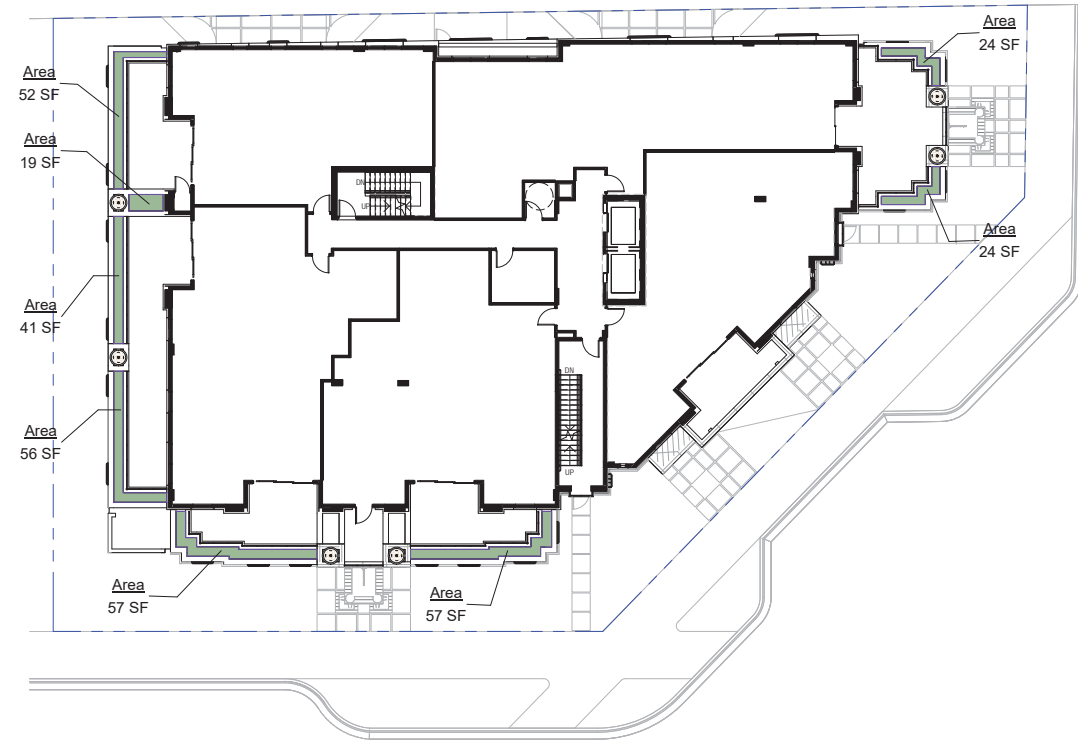
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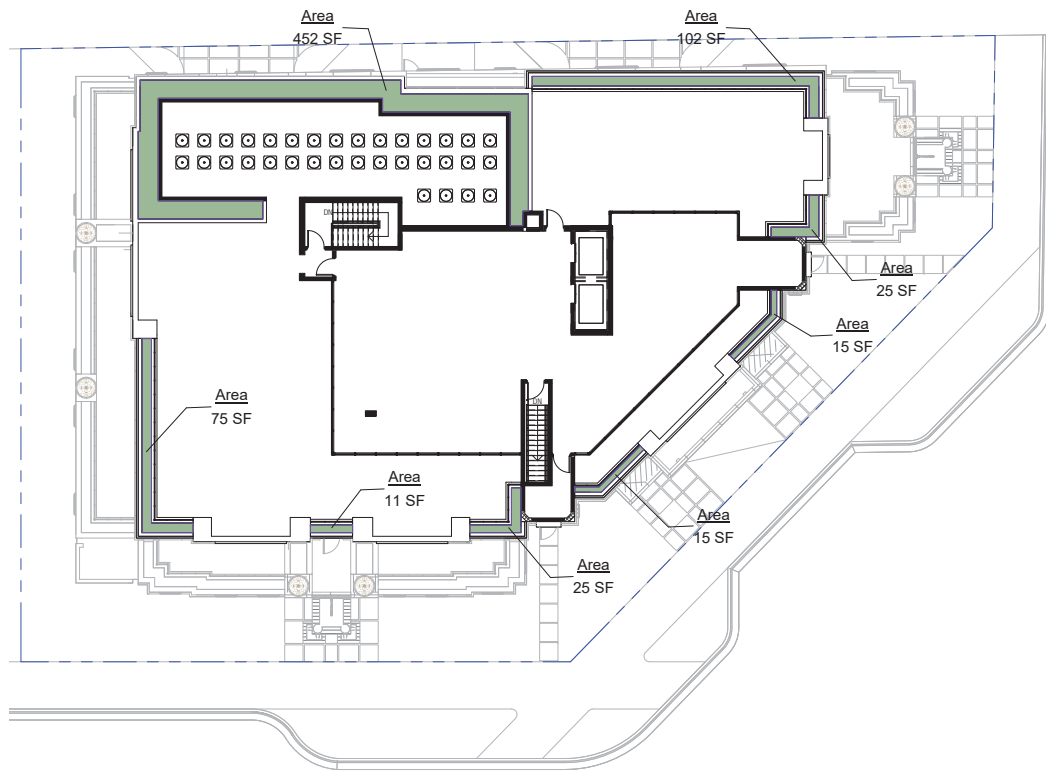
A0.11



1 1.0 Ground Floor
1/16" = 1'-0"



2 3.0 Third Floor
1/16" = 1'-0"



3 Roof Level
1/16" = 1'-0"

Landscape Area Schedule		
Area	Percent	
1.0 Ground Floor		
Area		
1,902 SF	11.25%	
1,007 SF	5.96%	
677 SF	4.00%	
783 SF	4.63%	
4,369 SF	25.84%	
Parkway		
333 SF	1.97%	
104 SF	0.61%	
132 SF	0.78%	
361 SF	2.13%	
930 SF	5.50%	
Plaza		
207 SF	1.22%	
198 SF	1.17%	
405 SF	2.40%	
3.0 Third Floor		
Area		
57 SF	0.34%	
57 SF	0.34%	
56 SF	0.33%	
41 SF	0.24%	
52 SF	0.31%	
24 SF	0.14%	
24 SF	0.14%	
19 SF	0.11%	
329 SF	1.95%	
Roof Level		
Area		
452 SF	2.67%	
102 SF	0.60%	
25 SF	0.15%	
15 SF	0.09%	
15 SF	0.09%	
25 SF	0.15%	
11 SF	0.06%	
75 SF	0.44%	
721 SF	4.26%	
Grand Total	6,753 SF	39.95%



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ISSUE DATE: 11/16/16
PROJECT No.: 2016-12
DRAWN BY: Author
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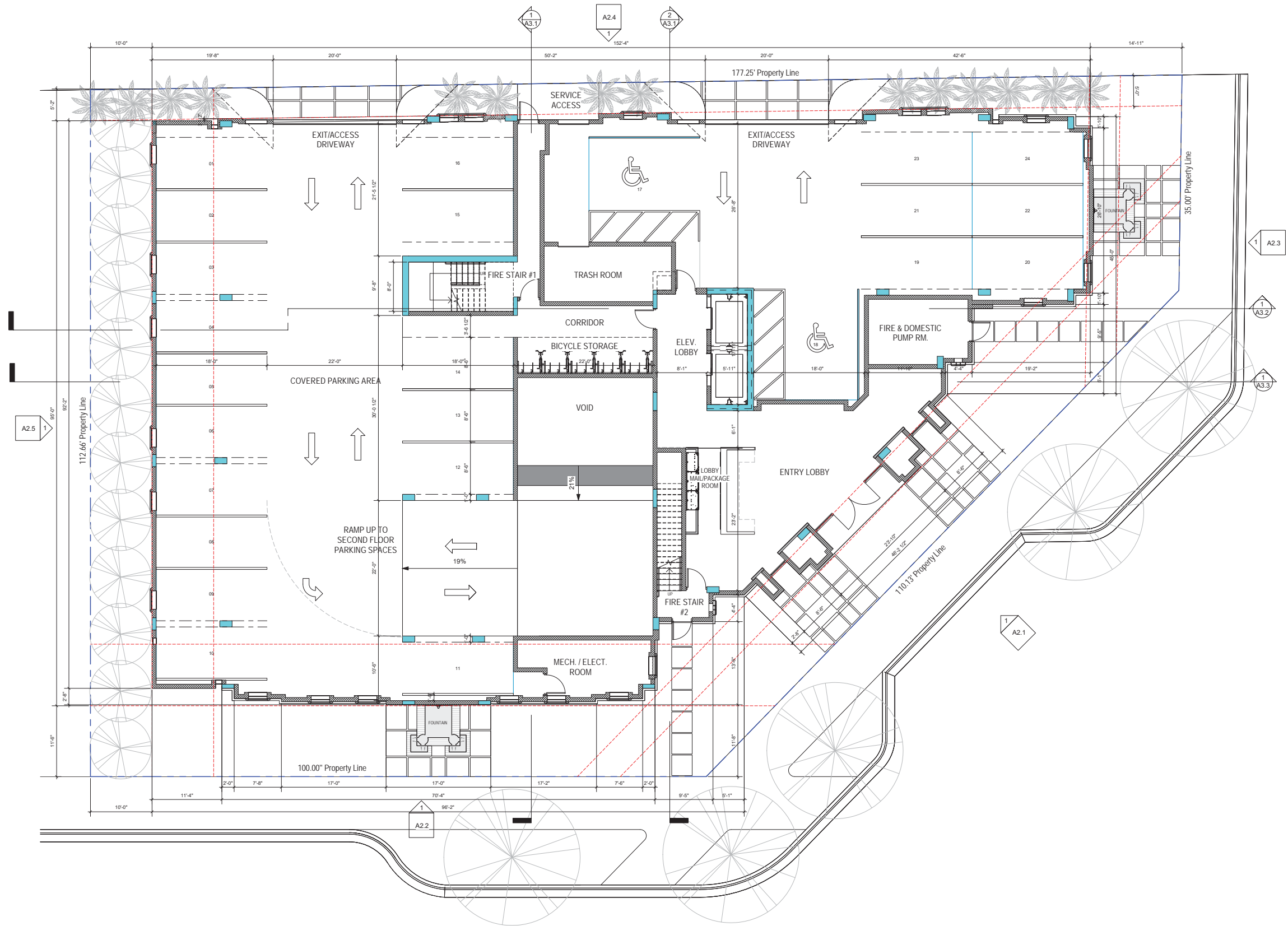
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DAVID FUENTES AR-97043

SHEET TITLE:
Landscape Calculation
SCALE: 1/16" = 1'-0"
SHEET No.:
A0.12



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Miami FL 33156

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ISSUE DATE: 11/14/12
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APPROVED BY: G.P. & M.B.

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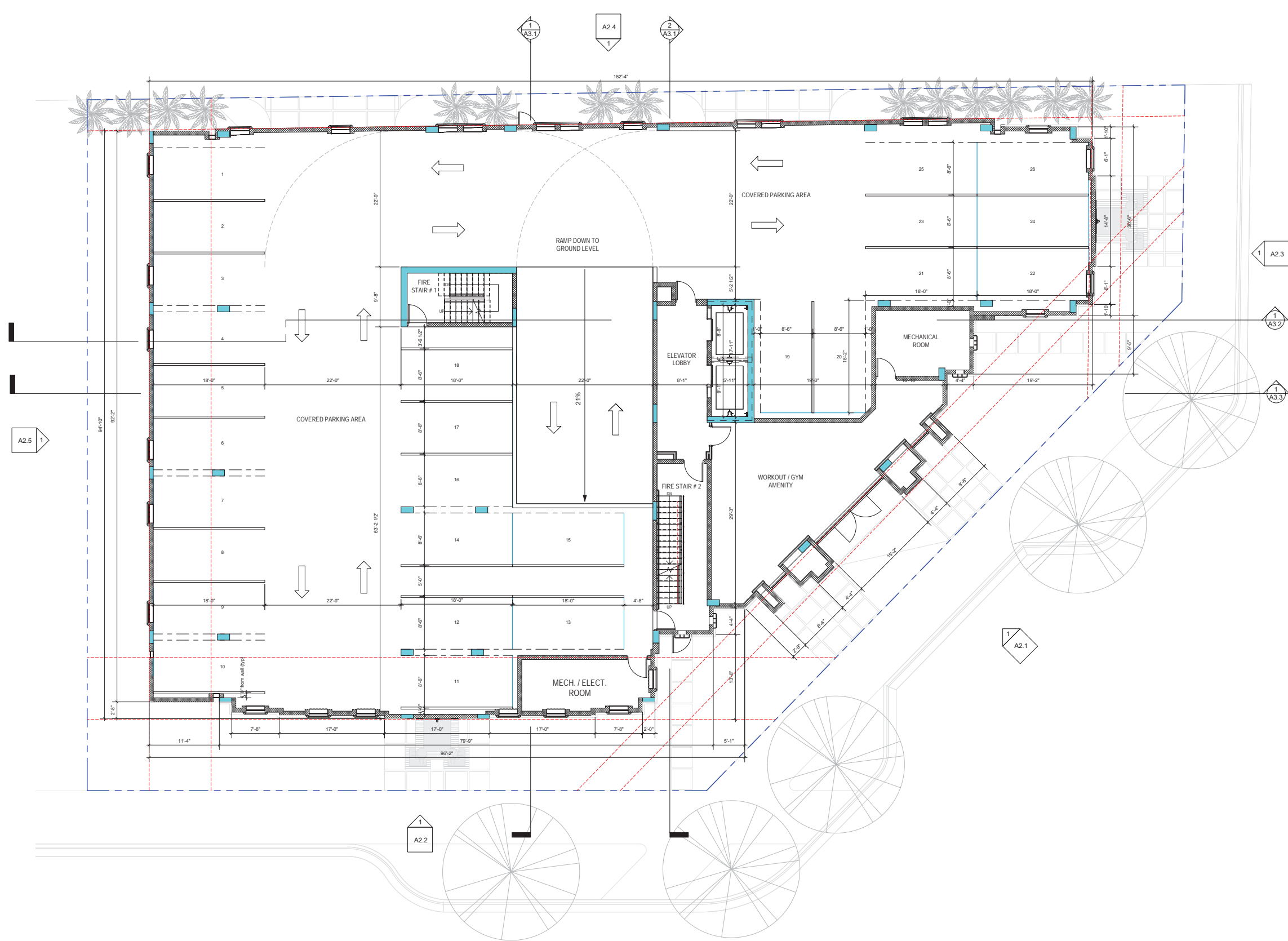
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GLENN H PRATT, AIA, AR-9608
DAVID FUENTES AR-97043

SHEET TITLE:
**Ground Floor
Plan**

SCALE: **1/8" = 1'-0"**

SHEET No.:

A1.1



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DAVID FUENTES AR-97043

SHEET TITLE:
**Second Floor
Plan**

SCALE: **1/8" = 1'-0"**

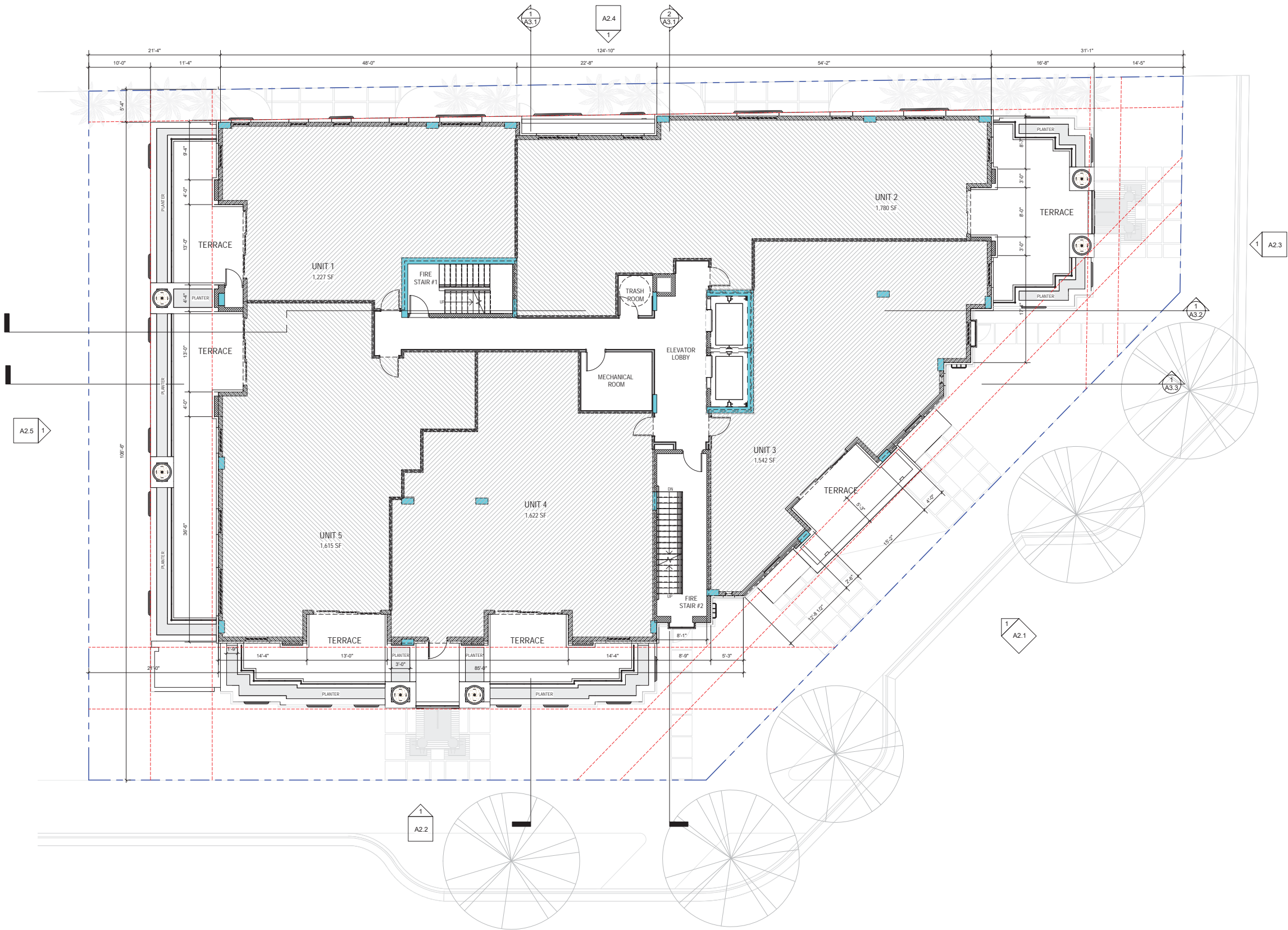
SHEET No.:
A1.2

5/31/2019 11:42:52 AM



1

3.0 Third Floor
1/8" = 1'-0"



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SHEET TITLE:

Third Floor Plan

SCALE: 1/8" = 1'-0"

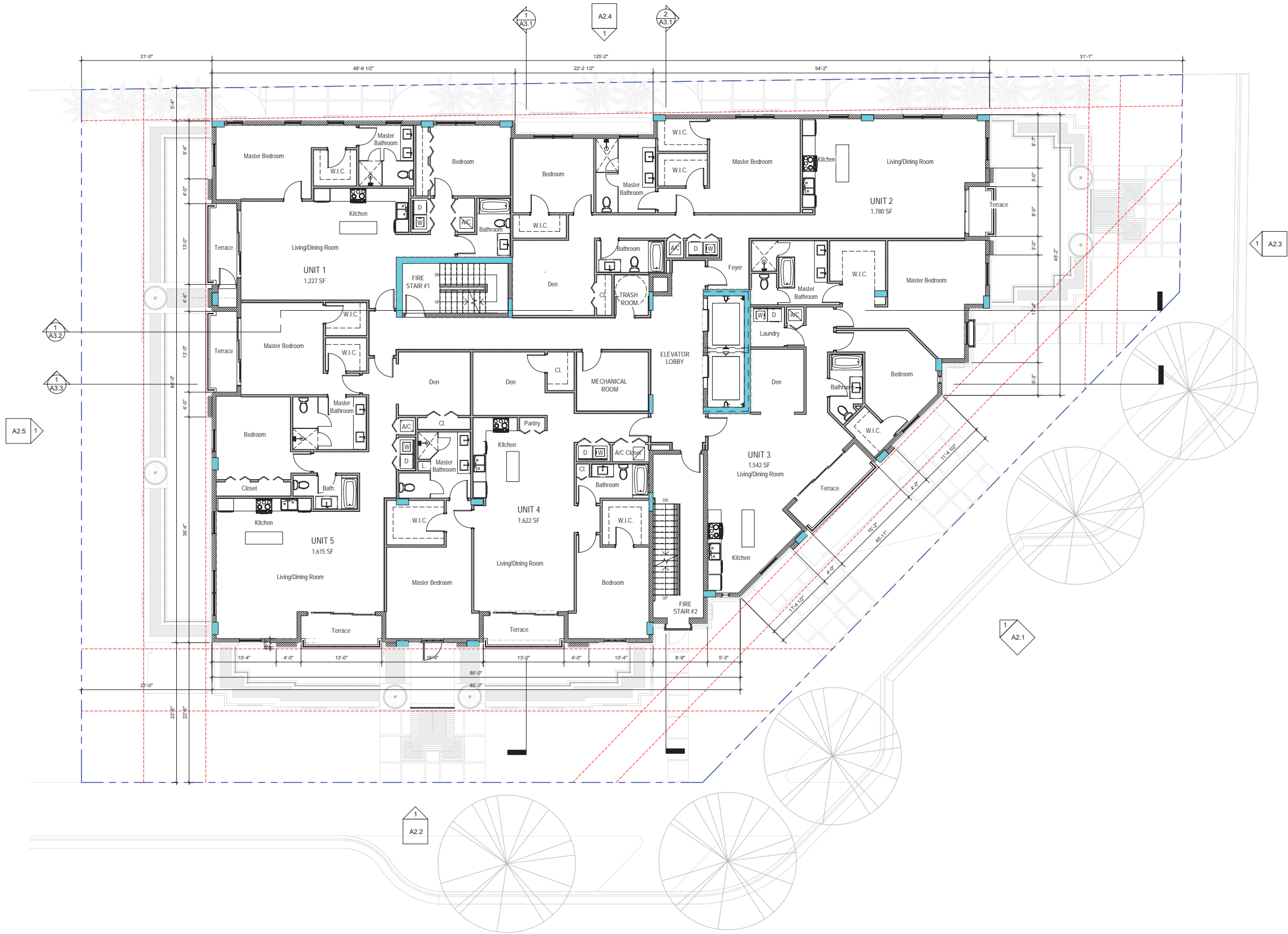
SHEET No.:

A1.3

5/31/2019 11:43:25 AM



4.0 Fourth Floor (Typical Level)
1/8" = 1'-0"



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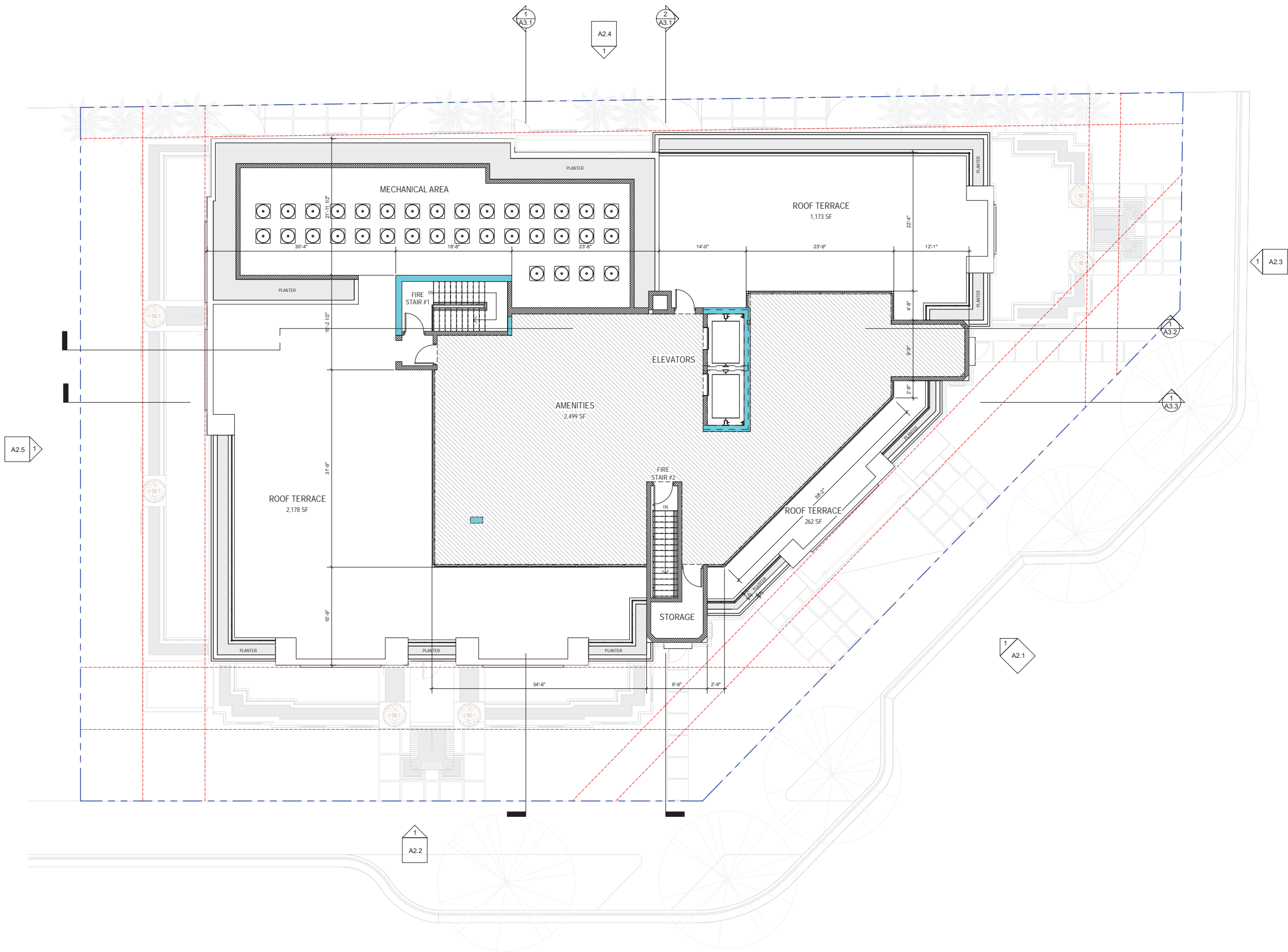
SHEET TITLE:

Fourth Floor Plan. Typical Level

SCALE: 1/8" = 1'-0"

SHEET No.:

A1.4



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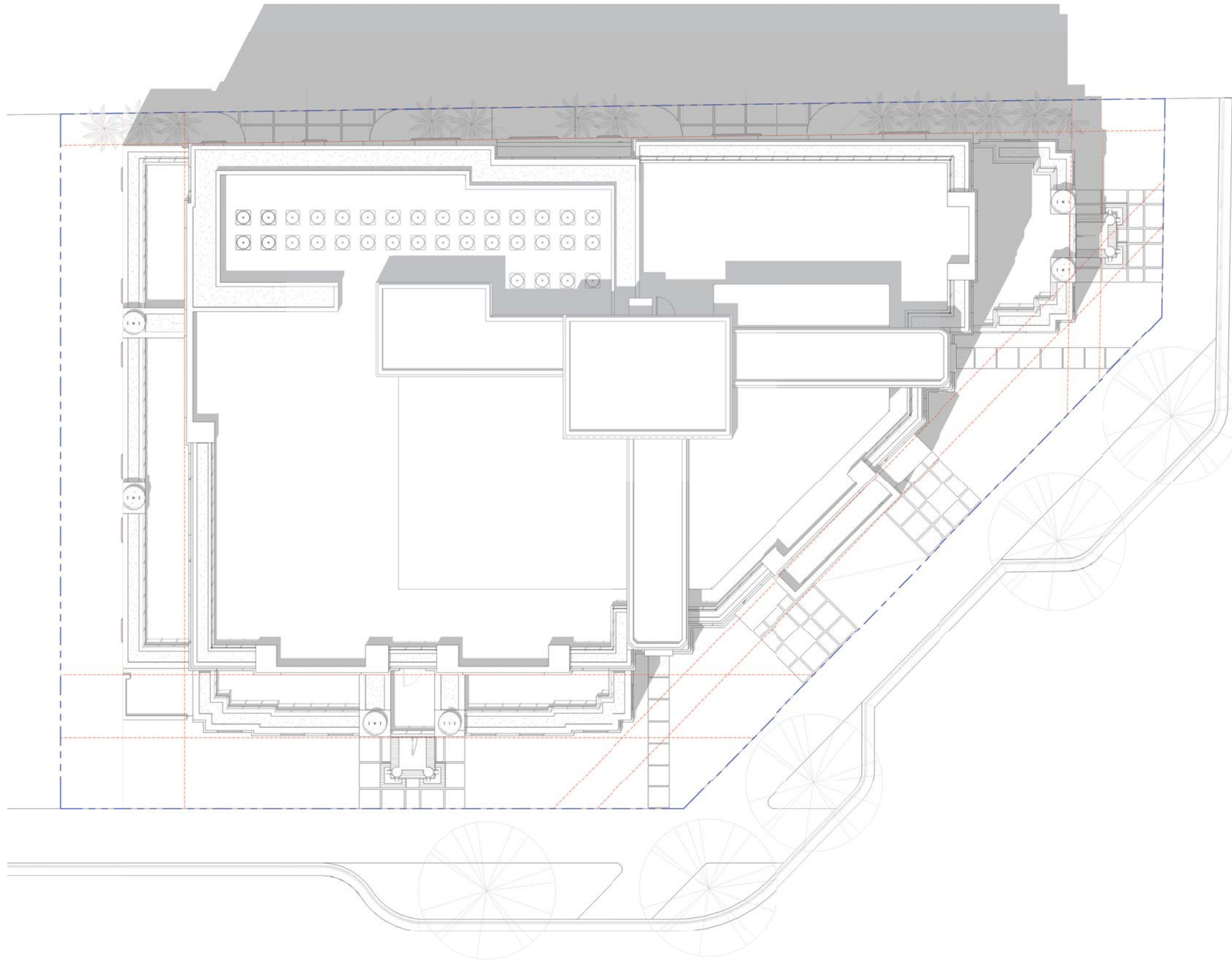
SEAL:

SIGNATURE:
MARSHALL BELLIN AR-5564
GLENN H PRATT, AIA, AR-9608
DAVID FUENTES AR-97043

SHEET TITLE:
Roof Plan

SCALE: **1/8" = 1'-0"**

SHEET No.:
A1.5



285 sevilla avenue
coral gables, florida, 33134
tel 305.447.1927 - fax 305.443.5986

CONSULTANTS:

Consultant
Address
Phone
Fax
e-mail

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PROJECT NAME:
**NEW RESIDENTIAL
APARTMENT
PROJECT**

PROPERTY ADDRESS
701 Valencia Avenue
Coral Gables 33134

OWNER INFORMATION
BILTMORE DEVELOPMENT LLC
9100 S. Dadeland Blvd. 901
Miami FL 33156

DRC SUBMITTAL

ISSUE DATE: 10/10/16
PROJECT No.: 2016-12
DRAWN BY: Author
APPROVED BY: Approver

REVISIONS:		
No.	Description	Date

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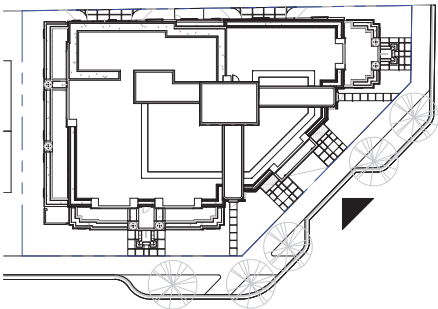
SEAL:

SIGNATURE:
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GLENN H PRATT, AIA, AR-9608
DAVID FUENTES AR-97043

SHEET TITLE:
**General Roof
Plan**

SCALE: **1/8" = 1'-0"**

SHEET No.:
A1.6



1 Front Elevation - Southeast
1/8" = 1'-0"

ARCHITECT:



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tel 305.447.1927 - fax 305.443.5986

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PROJECT NAME:

NEW RESIDENTIAL APARTMENT PROJECT

PROPERTY ADDRESS
701 Valencia Avenue
Coral Gables 33134

OWNER INFORMATION
BILTMORE DEVELOPMENT LLC
9100 S. Dadeland Blvd. 901
Miami FL 33156

DRC SUBMITTAL

ISSUE DATE: 11/14/12
PROJECT No.: 2016-12
DRAWN BY: Author
APPROVED BY: Approver

REVISIONS:

No.	Description	Date

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SIGNATURE:
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GLENN H PRATT, AIA, AR-9608
DAVID FUENTES AR-97043

SHEET TITLE:

Building Elevations

SCALE: As indicated

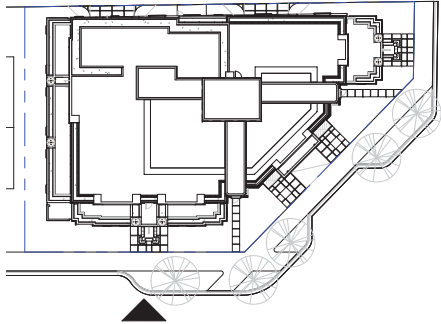
SHEET No.:

A2.1

5/31/2019 12:15:25 PM



1 Side Street Elevation - South
1/8" = 1'-0"



ARCHITECT:

**bellin
pratt &
fuentes**
architects llc

285 sevilla avenue
coral gables, florida, 33134
tel 305.447.1927 - fax 305.443.5986

CONSULTANTS:

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PROJECT NAME:
**NEW RESIDENTIAL
APARTMENT
PROJECT**

PROPERTY ADDRESS
701 Valencia Avenue
Coral Gables 33134

OWNER INFORMATION
BILTMORE DEVELOPMENT LLC
9100 S. Dadeland Blvd. 901
Miami FL 33156

DRC SUBMITTAL

ISSUE DATE: 4/1/18
PROJECT No.: 2016-12
DRAWN BY: Author
APPROVED BY: Approver

REVISIONS:

No.	Description	Date

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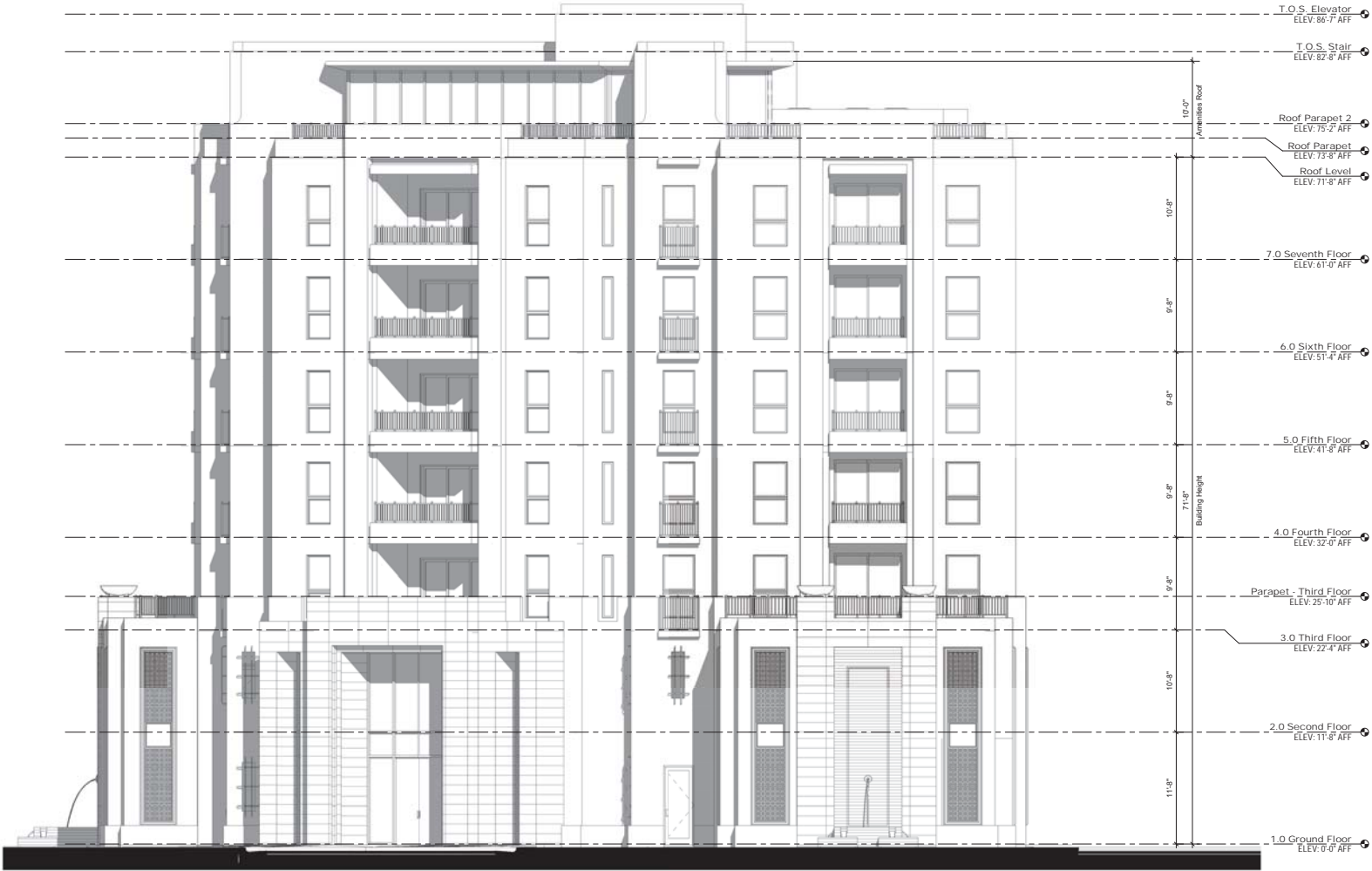
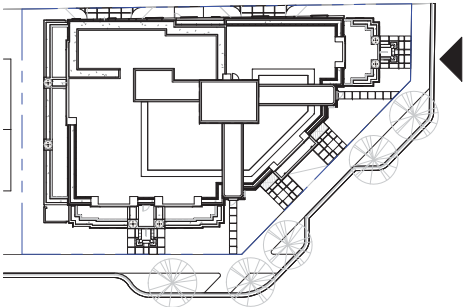
SEAL:

SIGNATURE:
MARSHALL BELLIN AR-5564
GLENN H PRATT, AIA, AR-9608
DAVID FUENTES AR-97043

SHEET TITLE:
**Building
Elevations**

SCALE: **As indicated**

SHEET No.:
A2.2



1 Side Street Elevation - East
1/8" = 1'-0"

ARCHITECT:



285 sevilla avenue
coral gables, florida, 33134
tel 305.447.1927 - fax 305.443.5986

CONSULTANTS:

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PROJECT NAME:

NEW RESIDENTIAL
APARTMENT
PROJECT

PROPERTY ADDRESS
701 Valencia Avenue
Coral Gables 33134

OWNER INFORMATION
BILTMORE DEVELOPMENT LLC
9100 S. Dadeland Blvd. 901
Miami FL 33156

DRC SUBMITTAL

ISSUE DATE: 2/16/12
PROJECT No.: 2016-12
DRAWN BY: Author
APPROVED BY: Approver

REVISIONS:

No.	Description	Date

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SIGNATURE:
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GLENN H PRATT, AIA, AR-9608
DAVID FUENTES AR-97043

SHEET TITLE:

Building
Elevations

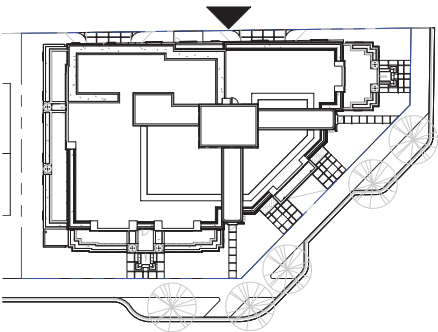
SCALE: As indicated

SHEET No.:

A2.3

5/31/2019 12:16:07 PM

1 Rear Elevation - North
1/8" = 1'-0"



ARCHITECT:



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PROJECT NAME:

NEW RESIDENTIAL APARTMENT PROJECT

PROPERTY ADDRESS
701 Valencia Avenue
Coral Gables 33134

OWNER INFORMATION
BILTMORE DEVELOPMENT LLC
9100 S. Dadeland Blvd. 901
Miami FL 33156

DRC SUBMITTAL

ISSUE DATE: 5/31/2019
PROJECT No.: 2016-12
DRAWN BY: Author
APPROVED BY: Approver

REVISIONS:

No.	Description	Date

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SIGNATURE:
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GLENN H PRATT, AIA, AR-9608
DAVID FUENTES AR-97043

SHEET TITLE:

Building Elevations

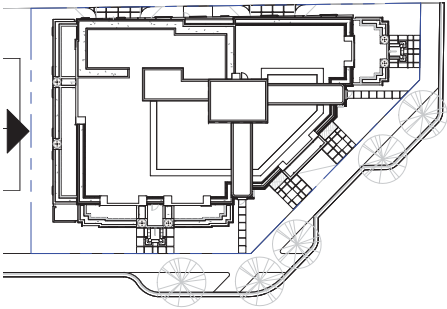
SCALE: As indicated

SHEET No.:

A2.4



1 Side Elevation - West
1/8" = 1'-0"



ARCHITECT:



285 sevilla avenue
coral gables, florida, 33134
tel 305.447.1927 - fax 305.443.5986

CONSULTANTS:

Consultant
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Fax
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PROJECT NAME:

NEW RESIDENTIAL APARTMENT PROJECT

PROPERTY ADDRESS
701 Valencia Avenue
Coral Gables 33134

OWNER INFORMATION
BILTMORE DEVELOPMENT LLC
9100 S. Dadeland Blvd. 901
Miami FL 33156

DRC SUBMITTAL

ISSUE DATE: 5/31/18
PROJECT No.: 2016-12
DRAWN BY: T.C. & D.F.
APPROVED BY: M.B. & G.P.

REVISIONS:

No.	Description	Date

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GLENN H PRATT, AIA, AR-9608
DAVID FUENTES AR-97043

SHEET TITLE:

Building Elevations

SCALE: As indicated

SHEET No.:

A2.5



1 Massing 3D View 1



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coral gables, florida, 33134
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Consultant
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PROJECT NAME:
**NEW RESIDENTIAL
APARTMENT
PROJECT**

PROPERTY ADDRESS
701 Valencia Avenue
Coral Gables 33134

OWNER INFORMATION
BILTMORE DEVELOPMENT LLC
9100 S. Dadeland Blvd. 901
Miami FL 33156

DRC SUBMITTAL

ISSUE DATE: 2/16/12
PROJECT No.: 2016-12
DRAWN BY: Author
APPROVED BY: Approver

REVISIONS:

No.	Description	Date

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SEAL:

SIGNATURE:
MARSHALL BELLIN AR-5564
GLENN H PRATT, AIA, AR-9608
DAVID FUENTES AR-97043

SHEET TITLE:
Exterior Views

SCALE:

SHEET No.:
A8.5



1 Massing 3D View 2



285 sevilla avenue
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PROJECT NAME:
**NEW RESIDENTIAL
APARTMENT
PROJECT**

PROPERTY ADDRESS
701 Valencia Avenue
Coral Gables 33134

OWNER INFORMATION
BILTMORE DEVELOPMENT LLC
9100 S. Dadeland Blvd. 901
Miami FL 33156

DRC SUBMITTAL

ISSUE DATE: 2016-12
PROJECT No.: 2016-12
DRAWN BY: Author
APPROVED BY: Approver

REVISIONS:

No.	Description	Date

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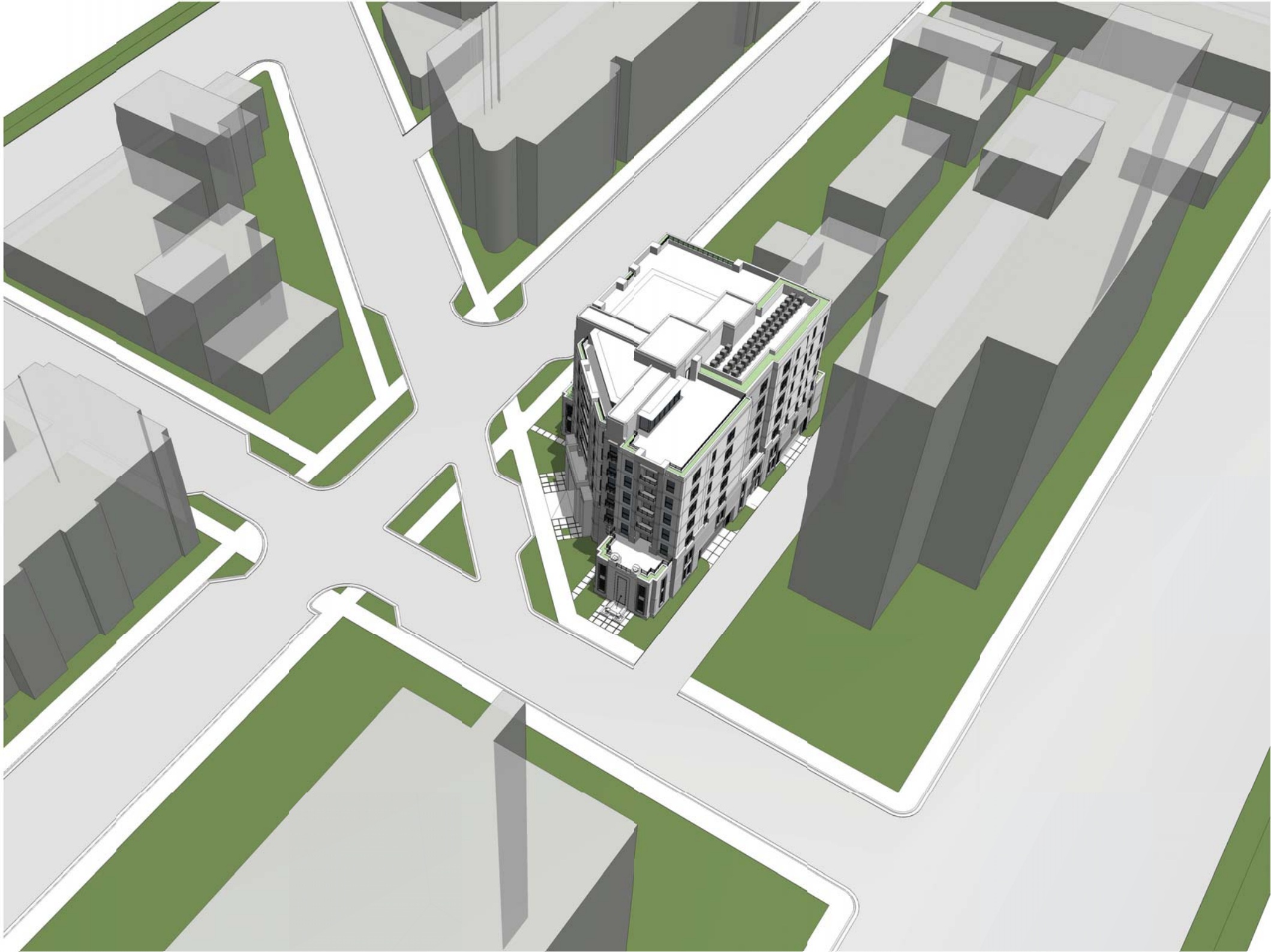
SEAL:

SIGNATURE:
MARSHALL BELLIN AR-5564
GLENN H PRATT, AIA, AR-9608
DAVID FUENTES AR-97043

SHEET TITLE:
Exterior Views

SCALE:

SHEET No.:
A8.6



1 Massing 3D View 3

5/31/2019 10:41:59 AM

ARCHITECT:



285 sevilla avenue
coral gables, florida, 33134
tel 305.447.1927 - fax 305.443.5986

CONSULTANTS:

Consultant
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PROJECT NAME:

NEW RESIDENTIAL APARTMENT PROJECT

PROPERTY ADDRESS
701 Valencia Avenue
Coral Gables 33134

OWNER INFORMATION
BILTMORE DEVELOPMENT LLC
9100 S. Dadeland Blvd. 901
Miami FL 33156

DRC SUBMITTAL

ISSUE DATE: 5/31/2019
PROJECT No.: 2016-12
DRAWN BY: Author
APPROVED BY: Approver

REVISIONS:

No.	Description	Date

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SIGNATURE:
MARSHALL BELLIN AR-5564
GLENN H PRATT, AIA, AR-9608
DAVID FUENTES AR-97043

SHEET TITLE:

Exterior Views

SCALE:

SHEET No.:

A8.7

CITY OF CORAL GABLES, FLORIDA

RESOLUTION NO. 2019-84

A RESOLUTION OF THE CITY COMMISSION PURSUANT TO SECTION 3-1705 OF THE ZONING CODE APPROVING THE DISPUTE RESOLUTION AGREEMENT REGARDING THE PROPERTY LOCATED AT 701 AND 711 VALENCIA AND LEGALLY DESCRIBED AS LOTS 23, 24, 25, 26, 27, AND 28, BLOCK 10, OF "CORAL GABLES BILTMORE SECTION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 20, AT PAGE 28, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, WHICH PROVIDES, IN PART, FOR AN INCREASE TO THE MAXIMUM FLOOR AREA RATIO UP TO 2.7 (FROM 2.0), SUBJECT TO ADDITIONAL TERMS AND CONDITIONS IN THE DISPUTE RESOLUTION AGREEMENT.

WHEREAS, Biltmore Development, LLC (the "Owner") owns certain real property located at 701-711 Valencia Avenue, identified by Miami-Dade County Property Tax Folio Identification Nos. 03-4117-059-0010, 03-4117-008-1780 and 03-4117-008-1790, and legally described as:

Lots 23, 24, 25, 26, 27, and 28, Block 10, of "CORAL GABLES BILTMORE SECTION", according to the Plat thereof, as recorded in Plat Book 20, at Page 28, of the Public Records of Miami-Dade County, Florida (the "Valencia Property"); and

WHEREAS, the David William Hotel Condominium Association is the association for the condominium located at 700 Biltmore Way and Jorge M. Guarch, Jr. lives and resides at 700 Biltmore Way Unit 1201 (collectively, the "700 Biltmore Way Property"); and

WHEREAS, the Valencia Property is currently zoned as Multi-Family Special Area ("MFSA") District pursuant to the City of Coral Gables Zoning Map; and

WHEREAS, the City Attorney's Office has opined that the site specific regulations govern the permissible height that can be developed on the Valencia Property, such that the maximum height is 150 feet (see history of opinion at CAO 2017-13); and

WHEREAS, Owner is seeking to develop the Valencia Property and the Board of Architects approved Owner's proposed design for an 11-story, 124-foot high condominium project; and

WHEREAS, a dispute has arisen between the City and Plaintiffs regarding their ability to appeal the determination of the Board of Architects, CAO 2017-13, as well as the appropriateness of any development approvals related to Owner's proposed project on the Valencia Property; and

WHEREAS, Plaintiffs filed a lawsuit against the City styled David William Hotel Condominium Association and Jorge M. Guarch, Jr. v. City of Coral Gables, Case No. 2018-26167

CA 34 for a writ of mandamus, or in the alternative, for declaratory judgment and injunctive relief (the "Litigation"); and

WHEREAS, the City denies all of the allegations and claims made against it by Plaintiffs, but nonetheless, Plaintiffs and the City desire to amicably resolve the Litigation to avoid the uncertainties and expense of further litigation; and

WHEREAS, pursuant to discussions with Plaintiffs and the City, Owner has agreed to redesign the proposed project to reduce the height of the building, however, Owner alleges that reducing the project's height would disproportionately and inordinately burden the Owner's property rights in violation of Division 17 of the City of Coral Gables Zoning Code and the Bert J. Harris Act as codified in Section 70.001 of the Florida Statutes; and

WHEREAS, Article 3, Division 17 of the City of Coral Gables Zoning Code ("Division 17") entitled, "Protection of Landowners' Rights; Relief from Inordinate Burdens," is intended to protect landowners' rights and provide relief from inordinate burdens; and

WHEREAS, the City Commission finds sufficient evidence in the record to justify a settlement pursuant to Division 17 of the City of Coral Gables Zoning Code and the Bert J. Harris Act as codified in Section 70.001 of the Florida Statutes; and

WHEREAS, pursuant to Division 17 of the City of Coral Gables Zoning Code and the Bert J. Harris Act, as codified in Section 70.001 of the Florida Statutes, the parties wish to enter into a dispute resolution agreement (the "Agreement"), substantially in the form attached as Exhibit A; and

WHEREAS, among other things, the Agreement provides that:

1. Owner agrees that the maximum height of any development on the Valencia Property shall be no greater than seventy-five (75) feet exclusive of architectural features.
2. Owner agrees that the additional rooftop architectural and features permitted by the City Zoning Code Section 5-604(B)(1) shall not be greater in height than 10 feet. This limitation shall not apply to the elevator shaft and associated equipment.
3. Owner agrees that the rooftop uses shall be limited to an enclosed cabana which shall be no more than 2,500 square feet. This enclosure shall not count as part of the building's FAR.
4. The City agrees, pursuant to Section 3-1703(A)(2) of the Zoning Code, that Owner is entitled to develop the Valencia Property with an FAR of up to 2.7.
5. Owner shall not request or apply for any bonuses for height, setbacks, or step-backs pursuant to City Zoning Code Sections 5-604 or any other applicable section of the code.

6. Owner agrees that any proposed development on the Valencia Property shall be subject to all reviews, including review by the Development Review Committee, Board of Architects, and all other applicable reviews. The City recognizes that the Owner has experienced delays and will use its best efforts to expedite all such applicable reviews.
7. The Agreement settles and resolves all disputes, disagreements, claims, and conflicts relating to the Litigation and Plaintiffs agree to dismiss the Litigation with prejudice, upon approval of the Agreement and expiration of applicable appeal periods; and

WHEREAS, as required by Section 3-1703(E) of the Coral Gables Zoning Code, the Agreement provides that Owner releases the City from any claims related to the dispute, include a Bert J. Harris Act claim or any other takings or property rights claim; and

WHEREAS, courtesy notice was mailed to the property owners within a one thousand (1,000) foot radius of the Property; and

WHEREAS, on March 12, 2019, the City Commission reviewed and approved the Agreement in substantial form, as attached as Exhibit A, after public hearing, pursuant to Section 3-1705 of the City of Coral Gables Zoning Code; and

WHEREAS, Section 3-1705 of the Zoning Code requires that once executed by the City Manager, the dispute resolution agreement shall be placed on the next available consent agenda of the City Commission for ratification and shall not be pulled from the consent agenda except by supermajority vote of the entire membership of the City Commission;

NOW, THEREFORE, BE IT RESOLVED BY THE COMMISSION OF THE CITY OF CORAL GABLES:

SECTION 1. That the foregoing “Whereas” clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of this Resolution upon the adoption hereof.

SECTION 2. That the Dispute Resolution Agreement attached as Exhibit A is approved by the City Commission, with such modifications as approved by the City Manager and the City Attorney, consistent with the approval of the City Commission.

SECTION 3. That this resolution shall become effective upon the date of its passage and adoption herein.

PASSED AND ADOPTED THIS TWELFTH DAY OF MARCH, A.D., 2019.

(Moved: Keon / Seconded: Quesada)

(Yeas: Quesada, Keon, Valdes-Fauli)

(Majority Vote: (3-0) Vote)

(Nay: Lago)

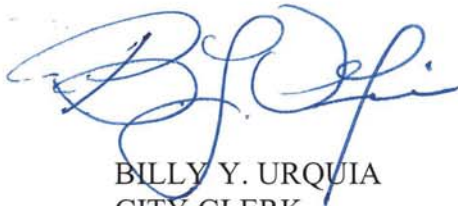
(Abstain: Mena)

(Agenda Item: F-12)

APPROVED:

RAÚL VALDÉS-FAULI
MAYOR

ATTEST:


BILLY Y. URQUIA
CITY CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:


MIRIAM SOLER RAMOS
CITY ATTORNEY



The City of Coral Gables

Historical Resources Department

March 21, 2014

Tien Family Limited Partnership
1600 Ponce de Leon Blvd., PH1
Coral Gables, FL 33134

Re: 701 Valencia Avenue, legally described as Lots 23 to 25 Inc, Block 10, Coral Gables Biltmore Section, according to the plat thereof as recorded in Plat Book 20 at Page 28 of the public records of Miami-Dade County, Florida

Dear Sirs:

Please see attached Resolution No. R-2004-16 passed and adopted on February 10, 2004 concerning this property. Therefore, the following determination is made:

If an application is made for the demolition of the buildings at 701 Valencia Avenue, legally described as Lots 23 to 25 Inc, Block 10, Coral Gables Biltmore Section, according to the plat thereof as recorded in Plat Book 20 at Page 28 of the public records of Miami-Dade County, Florida, the Historical Resources staff will not require review by the Historic Preservation Board.

Any change from the foregoing may be made upon a demonstration of a change in the material facts or circumstances upon which this determination was made.

If you have any further questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

A handwritten signature in blue ink, reading "Dona M. Spain", is written over a horizontal line.

Dona M. Spain
Historic Preservation Officer
Enc.

cc: Henry Paper, Biltmore Development, LLC, 340 Minorca Avenue #9, Coral Gables, FL 33134
Tien Family Ltd. Partnership, 901 Ponce de Leon Blvd., #700, Coral Gables, FL 33134
Craig Leen, City Attorney
Bridgette Thornton Richard, Deputy City Attorney
Jane Tompkins, Development Services Director
Manuel Lopez, Acting Building Director
Ramon Trias, Planning & Zoning Director
Virginia Goizueta, Plans Processor Lead
Historical Significance Request Property File

CITY OF CORAL GABLES, FLORIDA

RESOLUTION NO. R-2004-16

A RESOLUTION OF THE CORAL GABLES CITY COMMISSION, AFFIRMING THE DECISION OF THE HISTORIC PRESERVATION BOARD THEREBY DENYING THE APPEAL BY ROGER D. SOMAN, OF CASE FILE LHD 2003-21, ISSUED ON DECEMBER 18, 2003, AND UPHOLDING THE DECISION OF THE HISTORIC PRESERVATION BOARD NOT TO DESIGNATE AS A LOCAL HISTORIC LANDMARK THE PROPERTY LOCATED AT 701 VALENCIA AVENUE, LEGALLY DESCRIBED AS LOTS 23 TO 25 INC., BLOCK 10, CORAL GABLES BILTMORE SECTION

BE IT RESOLVED BY THE COMMISSION OF THE CITY OF CORAL GABLES:

WHEREAS, on November 20, 2003, the Historic Preservation Board directed staff to bring to the board at the next regular meeting a designation report on 701 Valencia Avenue; and

WHEREAS, a public hearing of Board was duly advertised and held, as required by law, and all interested parties concerned in the matter were given an opportunity to be heard, and upon due and proper consideration having been given to the matter it was the opinion of the board not to designate as a local historic landmark the subject property; and

WHEREAS, the decision of the Board was appealed to the City Commission, and a public hearing of the Coral Gables City Commission, Florida was duly advertised and held, upon notice, as required by the Zoning Code; and


WHEREAS, after reviewing the record and decision of Historic Preservation Board and after having given an opportunity for interested parties to be heard, it is the opinion of this City Commission that the grounds and reasons specified in the appeal were insufficient to merit a reversal of the ruling made by the Historic Preservation Board, and that the appeal should be denied and the decision of the Board should be sustained; and

WHEREAS, a motion to deny the appeal and uphold the decision of the Board was offered by, Commissioner Maria Anderson, Seconded by Commissioner Cabrera, and upon a vote of the city commission approving the motion;


NOW THEREFORE BE IT RESOLVED by the City Commission, Coral Gables, Florida, that the appeal be and the same is hereby denied and the decision of the Board of Adjustment is upheld;

PASSED AND ADOPTED THIS TENTH DAY OF FEBRUARY, A.D., 2004.

(Motion: Anderson/Seconded: Cabrera)
(Yeas: Cabrera, Withers, Anderson, Slesnick)
(Abstained: Kerdyk)
(Agenda Item No. E-1)



DONALD D. SLESNICK II
MAYOR

ATTEST:

WALTER J. FOEMAN
CITY CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:



ELIZABETH M. HERNANDEZ
CITY ATTORNEY



Historical Resources &
Cultural Arts

2327 SALZEDO STREET
CORAL GABLES
FLORIDA 33134

☎ 305.460.5093
✉ hist@coralgables.com

March 16, 2016

Kamaway Holdings, Inc.
6800 SW 80 Avenue
Miami, FL 33143

Re: 711 Valencia Avenue, legally described as Lots 27 and 28, Block 10, Coral Gables Biltmore Section, according to the plat thereof as recorded in Plat Book 20 Page 28 of the public records of Miami-Dade County, Florida

Dear Sirs:

Please see attached Resolution No. R-2004-17 passed and adopted by the Coral Gables City Commission on February 10, 2004 concerning this property. Therefore, the following determination is made:

If an application is made for the demolition of the buildings at 711 Valencia Avenue, legally described as Lots 27 and 28, Block 10, Coral Gables Biltmore Section, according to the plat thereof as recorded in Plat Book 20 Page 28 of the public records of Miami-Dade County, Florida, the Historical Resources staff will not require review by the Historic Preservation Board

Any change from the foregoing may be made upon a demonstration of a change in the material facts upon which this determination was made.

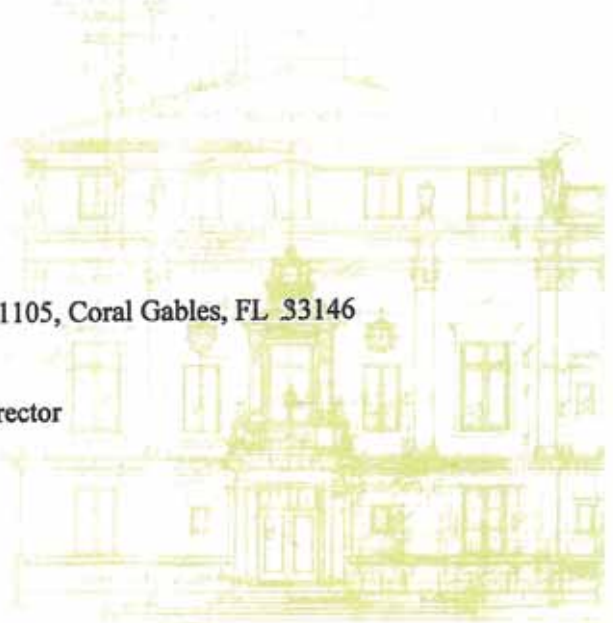
If you have any further questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

A handwritten signature in blue ink, reading "Dona M. Spain".

Dona M. Spain
Historic Preservation Officer

cc: Diana Hernandez, 1390 South Dixie Hwy, Suite 1105, Coral Gables, FL 33146
Craig Leen, City Attorney
Miriam S. Ramos, Deputy City Attorney
Charles Wu, Assistant Development Services Director
Ramon Trias, Planning & Zoning Director
William Miner, Building Director
Virginia Goizueta, Plans Processor Lead
Historical Significance Request Property File



CITY OF CORAL GABLES, FLORIDA

RESOLUTION NO. R-2004-17

A RESOLUTION OF THE CORAL GABLES CITY COMMISSION, AFFIRMING THE DECISION OF THE HISTORIC PRESERVATION BOARD THEREBY DENYING THE APPEAL BY ROGER D. SOMAN, OF CASE FILE LHD 2003-22, ISSUED ON DECEMBER 18, 2003, AND UPHOLDING THE DECISION OF THE HISTORIC PRESERVATION BOARD NOT TO DESIGNATE AS A LOCAL HISTORIC LANDMARK THE PROPERTY LOCATED AT 711 VALENCIA AVENUE, LEGALLY DESCRIBED AS LOTS 27 AND 28, BLOCK 10, CORAL GABLES BILTMORE SECTION

BE IT RESOLVED BY THE COMMISSION OF THE CITY OF CORAL GABLES:

WHEREAS, on November 20, 2003, the Historic Preservation Board directed staff to bring to the board at the next regular meeting a designation report on 711 Valencia Avenue; and

WHEREAS, a public hearing of Board was duly advertised and held, as required by law, and all interested parties concerned in the matter were given an opportunity to be heard, and upon due and proper consideration having been given to the matter it was the opinion of the board not to designate as a local historic landmark the subject property; and

WHEREAS, the decision of the Board was appealed to the City Commission, and a public hearing of the Coral Gables City Commission, Florida was duly advertised and held, upon notice, as required by the Zoning Code; and

WHEREAS, after reviewing the record and decision of Historic Preservation Board and after having given an opportunity for interested parties to be heard, it is the opinion of this City Commission that the grounds and reasons specified in the appeal were insufficient to merit a reversal of the ruling made by the Historic Preservation Board, and that the appeal should be denied and the decision of the Board should be sustained; and

WHEREAS, a motion to deny the appeal and uphold the decision of the Board was offered by Commissioner Maria Anderson, Seconded by Commissioner Cabrera, and upon a vote of the city commission approving the motion;

NOW THEREFORE BE IT RESOLVED by the City Commission, Coral Gables, Florida, that the appeal be and the same is hereby denied and the decision of the Board of Adjustment is upheld;

PASSED AND ADOPTED THIS TENTH DAY OF FEBRUARY, A.D., 2004.

(Moved: Anderson/Seconded: Cabrera)
(Yeas: Anderson, Cabrera, Withers, Slesnick)
(Abstained: Kerdyk)
(Agenda Item E-2)



DONALD D. SLESNICK II
MAYOR

ATTEST


WALTER J. EOEMAN
CITY CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:


ELIZABETH M. HERNANDEZ
CITY ATTORNEY



OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 5/30/2019

Property Information	
Folio:	03-4117-059-0010
Property Address:	701 VALENCIA AVE UNIT: 1 Coral Gables, FL 33134-5665
Owner	BILTMORE DEVELOPMENT LLC
Mailing Address	9100 S DADELAND BLVD 901 MIAMI, FL 33156 USA
PA Primary Zone	5000 HOTELS & MOTELS - GENERAL
Primary Land Use	0407 RESIDENTIAL - TOTAL VALUE : CONDOMINIUM - RESIDENTIAL
Beds / Baths / Half	2 / 1 / 0
Floors	0
Living Units	1
Actual Area	Sq.Ft
Living Area	776 Sq.Ft
Adjusted Area	776 Sq.Ft
Lot Size	0 Sq.Ft
Year Built	1949



Assessment Information			
Year	2018	2017	2016
Land Value	\$0	\$0	\$0
Building Value	\$0	\$0	\$0
XF Value	\$0	\$0	\$0
Market Value	\$163,472	\$155,688	\$155,688
Assessed Value	\$163,472	\$155,688	\$155,688

Benefits Information				
Benefit	Type	2018	2017	2016
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				

Short Legal Description	
701 VALENCIA CONDO UNIT 1 UNDIV 0.1505% INT IN COMMON ELEMENTS OFF REC 25219-3835	

Taxable Value Information			
	2018	2017	2016
County			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$163,472	\$155,688	\$155,688
School Board			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$163,472	\$155,688	\$155,688
City			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$163,472	\$155,688	\$155,688
Regional			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$163,472	\$155,688	\$155,688

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description
02/06/2015	\$1,601,800	29508-0265	Qual on DOS, multi-parcel sale

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>

Version:



OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 5/30/2019

Property Information	
Folio:	03-4117-008-1780
Property Address:	
Owner	BILTMORE DEVELOPMENT LLC
Mailing Address	9100 S DADELAND BLVD STE 901 MIAMI, FL 33156 USA
PA Primary Zone	5000 HOTELS & MOTELS - GENERAL
Primary Land Use	1081 VACANT LAND - COMMERCIAL : VACANT LAND
Beds / Baths / Half	0 / 0 / 0
Floors	0
Living Units	0
Actual Area	0 Sq.Ft
Living Area	0 Sq.Ft
Adjusted Area	0 Sq.Ft
Lot Size	2,800 Sq.Ft
Year Built	0



Assessment Information			
Year	2018	2017	2016
Land Value	\$280,000	\$280,000	\$196,000
Building Value	\$0	\$0	\$0
XF Value	\$0	\$0	\$0
Market Value	\$280,000	\$280,000	\$196,000
Assessed Value	\$237,160	\$215,600	\$196,000

Benefits Information				
Benefit	Type	2018	2017	2016
Non-Homestead Cap	Assessment Reduction	\$42,840	\$64,400	

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).

Short Legal Description	
17 54 41 PB 20-28 CORAL GABLES BILTMORE SEC LOT 26 BLK 10 LOT SIZE 25.000 X 112 OR 19351-2201/19380-884 1000 2 2	

Taxable Value Information			
	2018	2017	2016
County			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$237,160	\$215,600	\$196,000
School Board			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$280,000	\$280,000	\$196,000
City			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$237,160	\$215,600	\$196,000
Regional			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$237,160	\$215,600	\$196,000

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description
02/06/2015	\$373,300	29508-0263	Qual by exam of deed
10/01/2000	\$0	00000-00000	Sales which are disqualified as a result of examination of the deed
11/01/1996	\$23,200	17417-4426	Other disqualified
09/01/1976	\$5,200	00000-00000	Sales which are disqualified as a result of examination of the deed

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Version:



OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 5/30/2019

Property Information	
Folio:	03-4117-008-1790
Property Address:	711 VALENCIA AVE Coral Gables, FL 33134-5639
Owner	BILTMORE DEVELOPMENT LLC
Mailing Address	1390 S DIXIE HWY 1105 CORAL GABLES, FL 33146 USA
PA Primary Zone	5000 HOTELS & MOTELS - GENERAL
Primary Land Use	0802 MULTIFAMILY 2-9 UNITS : 2 LIVING UNITS
Beds / Baths / Half	2 / 2 / 0
Floors	2
Living Units	2
Actual Area	2,541 Sq.Ft
Living Area	2,320 Sq.Ft
Adjusted Area	2,168 Sq.Ft
Lot Size	5,600 Sq.Ft
Year Built	1951

Assessment Information			
Year	2018	2017	2016
Land Value	\$560,000	\$560,000	\$392,000
Building Value	\$33,951	\$33,951	\$33,951
XF Value	\$0	\$0	\$0
Market Value	\$593,951	\$593,951	\$425,951
Assessed Value	\$593,951	\$593,951	\$425,951

Benefits Information				
Benefit	Type	2018	2017	2016
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				

Short Legal Description	
CORAL GABLES BILTMORE SEC PB 20-28 LOTS 27 & 28 BLK 10 LOT SIZE 50.000 X 112 OR 18234-2320 0898 1	



Taxable Value Information			
	2018	2017	2016
County			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$593,951	\$593,951	\$425,951
School Board			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$593,951	\$593,951	\$425,951
City			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$593,951	\$593,951	\$425,951
Regional			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$593,951	\$593,951	\$425,951

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description
12/27/2016	\$0	30381-1547	Corrective, tax or QCD; min consideration
04/27/2016	\$850,000	30067-2614	Qual by exam of deed
08/01/1998	\$215,000	18234-2320	Sales which are qualified
04/01/1992	\$207,000	15467-0428	Sales which are qualified

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Version:



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

Detail by Entity Name

Florida Limited Liability Company
BILTMORE DEVELOPMENT, LLC

Filing Information

Document Number	L14000046546
FEI/EIN Number	47-3170903
Date Filed	03/20/2014
Effective Date	03/20/2014
State	FL
Status	ACTIVE
Last Event	LC STMNT OF AUTHORITY
21	
Event Date Filed	05/07/2018
Event Effective Date	NONE

Principal Address

1390 S. DIXIE HIGHWAY
#1105
CORAL GABLES, FL 33146

Mailing Address

1390 S. DIXIE HIGHWAY
#1105
CORAL GABLES, FL 33146

Registered Agent Name & Address

REINER, SAMUEL B, II
9100 SOUTH DADELAND BOULEVARD
SUITE 901
MIAMI, FL 33156

Authorized Person(s) Detail

Name & Address

Title AMBR

AREVALO, LUIS
1390 S. DIXIE HIGHWAY, #1105
CORAL GABLES, FL 33146

Title AMBR

TORRES, DAVID
1390 S. DIXIE HIGHWAY, #1105
CORAL GABLES, FL 33146

Annual Reports

Report Year	Filed Date
2017	01/23/2017
2018	02/09/2018
2019	02/08/2019

Document Images

02/08/2019 -- ANNUAL REPORT	View image in PDF format
05/07/2018 -- CORL CAUTH	View image in PDF format
02/09/2018 -- ANNUAL REPORT	View image in PDF format
01/23/2017 -- ANNUAL REPORT	View image in PDF format
03/30/2016 -- ANNUAL REPORT	View image in PDF format
04/27/2015 -- ANNUAL REPORT	View image in PDF format
03/20/2014 -- Florida Limited Liability	View image in PDF format

2019 FLORIDA LIMITED LIABILITY COMPANY ANNUAL REPORT

DOCUMENT# L14000046546

Entity Name: BILTMORE DEVELOPMENT, LLC

Current Principal Place of Business:

1390 S. DIXIE HIGHWAY
#1105
CORAL GABLES, FL 33146

Current Mailing Address:

1390 S. DIXIE HIGHWAY
#1105
CORAL GABLES, FL 33146 US

FEI Number: 47-3170903

Certificate of Status Desired: No

Name and Address of Current Registered Agent:

REINER, SAMUEL B II
9100 SOUTH DADELAND BOULEVARD
SUITE 901
MIAMI, FL 33156 US

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE:

Electronic Signature of Registered Agent

Date

Authorized Person(s) Detail :

Title AMBR
Name AREVALO, LUIS
Address 1390 S. DIXIE HIGHWAY, #1105
City-State-Zip: CORAL GABLES FL 33146

Title AMBR
Name TORRES, DAVID
Address 1390 S. DIXIE HIGHWAY, #1105
City-State-Zip: CORAL GABLES FL 33146

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am a managing member or manager of the limited liability company or the receiver or trustee empowered to execute this report as required by Chapter 605, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.

SIGNATURE: LUIS AREVALO

AMBR

02/08/2019

Electronic Signature of Signing Authorized Person(s) Detail

Date

This instrument prepared by:
Fred E. Glickman, Esq.
Dadeland Towers, Suite 508
9200 S. Dadeland Boulevard
Miami, Florida 33156

Property Appraisers Parcel
I.D. (Folio) Number(s): 03-4117-008-1780

WARRANTY DEED

THIS WARRANTY DEED is made this 6th day of February, 2015
by **THE TIEN FAMILY LIMITED PARTNERSHIP**, a Florida limited partnership, hereinafter called
the grantor whose address is 1600 Ponce de Leon PH-1, Coral Gables, Florida 33134, to **BILTMORE
DEVELOPMENT, LLC**, a Florida Limited Liability Company whose post office address is 9100
South Dadeland Boulevard, Suite 901, Miami, Florida 33156, hereinafter called the grantee(s):

(Wherever used herein the terms "grantor(s)" and "grantee(s)" include all the parties to this instrument and
the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations.)

WITNESSETH: That the grantor(s), for and in consideration of the sum of \$10.00 and other valuable
considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises,
releases, conveys and confirms unto the grantee(s), all that certain land situate in Miami-Dade County,
Florida:

Folio Number: 03-4117-008-1780

Lot 26, Block 10, of CORAL GABLES BILTMORE SECTION, according to the Plat thereof, as
recorded in Plat Book 20, Page 28, of the Public Records of Dade County, Florida.

Grantees shall take title subject to (1) zoning restrictions imposed by governmental authority; (2)
restrictions and matters appearing on the plat, or otherwise common to the subdivision; (3) taxes for year of
2015; (4) restrictions, utility easements or other matters which do not render the title unmarketable or
adversely affect the present use of the property;

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee
simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor
hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons
whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December
31, 2014.

IN WITNESS WHEREOF, the said--grantor has signed and sealed these presents the day and year first
above written.

Signed, sealed and delivered in our presence:

Witness: Ricardo del Rio
(Print Name)

Witness: Tamara Tien
(Print Name)

The Tien Family Limited Partnership, a
Florida limited partnership,
By: YIFE TIEN, President and Director
of Verdes Way, Inc. general
partner of The Tien Family
Limited Partnership

STATE OF FLORIDA)
)
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this 6 day of Feb,
2015, by YIFE TIEN, President and Director of Verdes Way, Inc., a Florida corporation, as General
Partner of The Tien Family Limited Partnership, ✓ who is personally known to me or who
produced a Florida Driver License as identification and who did not take an oath.

Maria Cristina Pie

Notary Public
State of Florida
My Commission Expires:



s:\veg\docs\fred c. glickman - clients\tien, yife 2015-tien family ltd - 701 valencia\warranty deed.docx

This instrument prepared by:
Fred E. Glickman, Esq.
Dadeland Towers, Suite 508
9200 S. Dadeland Boulevard
Miami, Florida 33156

Property Appraisers Parcel
I.D. (Folio) Number(s):
03-4117-059-0010, 03-4117-059-0020,
03-4117-059-0030, 03-4117-059-0040,
03-4117-059-0050, 03-4117-059-0060,
03-4117-059-0070, 03-4117-059-0080

WARRANTY DEED

THIS WARRANTY DEED is made this 6th day of February, 2015
by **THE TIEN FAMILY LIMITED PARTNERSHIP**, a Florida limited partnership, hereinafter called
the grantor whose address is 1600 Ponce de Leon PH-1, Coral Gables, Florida 33134, to **BILTMORE
DEVELOPMENT, LLC**, a Florida Limited Liability Company whose post office address is 9100 South
Dadeland Boulevard, Suite 901, Miami, Florida 33156, hereinafter called the grantee(s):

(Wherever used herein the terms "grantor(s)" and "grantee(s)" include all the parties to this instrument and
the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations.)

WITNESSETH: That the grantor(s), for and in consideration of the sum of \$10.00 and other valuable
considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises,
releases, conveys and confirms unto the grantee(s), all that certain land situate in Miami-Dade County,
Florida:

Folio Numbers: 03-4117-059-0010, 03-4117-059-0020, 03-4117-059-0030, 03-4117-059-0040,
03-4117-059-0050, 03-4117-059-0060, 03-4117-059-0070, and 03-4117-059-0080.

Units No 1, 2, 3, 4, 5, 6, 7, and 8 of 701 VALENCIA CONDOMINIUM, according to the
Declaration of Condominium thereof, as recorded in Official Records Book 25219, Page 3835, of
the Public Records of MIAMI-DADE County, Florida.

Grantees shall take title subject to (1) zoning restrictions imposed by governmental authority; (2)
restrictions and matters appearing on the plat, or otherwise common to the subdivision; (3) taxes for year of
2015; (4) restrictions, utility easements or other matters which do not render the title unmarketable or
adversely affect the present use of the property;

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee
simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor
hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons
whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December
31, 2014.

IN WITNESS WHEREOF, the said--grantor has signed and sealed these presents the day and year first
above written.

Signed, sealed and delivered in our presence:

[Signature]

Witness: Ricardo del Rio
(Print Name)

[Signature]
Witness: Kenneth B. Rickman
(Print Name)

[Signature]
The Tien Family Limited Partnership, a
Florida limited partnership,
By: YIFE TIEN, President and Director
of Verdes Way, Inc. general
partner of The Tien Family
Limited Partnership

STATE OF FLORIDA)
) §§
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this 6 day of Feb,
2015, by YIFE TIEN, President and Director of Verdes Way, Inc., a Florida corporation, as General
Partner of The Tien Family Limited Partnership, ✓ who is personally known to me or who
produced a Florida Driver License as identification and who did not take an oath.

Maria Cristina Pie

Notary Public
State of Florida
My Commission Expires:



s:\leg\docs\fred e. glickman - client\stien, yife 2015-tien family ltd - 701 valencia\warranty deed 701 valencia.docx

This instrument prepared by:
Kenneth F. Claussen
Florida Bar No. 110719
110 Merrick Way, Suite 3A
Coral Gables, Florida 33134
(305) 444-8807

Parcel I.D. No.: 03-41-17-008-1790

After recording return to:
Stephen L. Vinson, Jr., P.A.
1200 Brickell Avenue
Suite 1440
Miami, Florida 33131

WARRANTY DEED

THIS INDENTURE, made on April 27, 2016, between Kamaway Holdings, Inc., a Florida corporation, whose post office address is 6300 S.W. 80 Avenue, Miami, Florida 33143 (the "Grantor"), and Biltmore Development, LLC, a Florida limited liability company (the "Grantee"), whose post office address is 711 Valencia Avenue, Coral Gables, Florida 33134.

WITNESSETH

Grantor, for and in consideration of Ten and No/100 Dollars (\$10.00) paid to Grantor by Grantee, the receipt and sufficiency whereof are acknowledged, has granted, bargained and sold to Grantee its successors and assigns forever, land in Miami-Dade County, Florida, described as:

Lot 27, Block 10, Coral Gables Biltmore Section, according to the Plat thereof, as recorded in Plat Book 20, page 28, of the Public Records of Miami-Dade County, Florida (the "Land").

Subject to the following:

- (a) All conditions, covenants, restrictions and easements of record;
- (b) Real property taxes for the year 2016 and subsequent years;
- (c) Liens, if any, for special assessments for municipal or other public improvements;
- (d) Zoning and other restrictions, regulations, and laws and ordinances imposed by governmental authority; and,
- (e) Lensehold interests of current tenants.

Grantor covenants with Grantee, as against all persons whomsoever lawfully claiming by, through, or under Grantor, that it is lawfully seized of the Land and the lawful right to sell and convey the Land are vested in Grantor, that the Land is free of all encumbrances not described or referred to above, and Grantor warrants the title to the Land and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF Grantor has caused this instrument to be executed and attested to by its duly authorized officers and agents on the day and date first above written.

Kamaway Holdings, Inc.

By: [Signature]
Maria Teresa Masvidal, President

Signed, Sealed and Delivered
in the Presence of:

[Signature]
Witness Signature

K F CHAUSSON
(Print Witness Name)

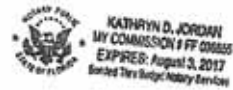
[Signature]
Witness Signature

Louis Simon, Jr.
(Print Witness Name)

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

The foregoing instrument was acknowledged before me on April 27, 2016, by Maria Teresa Masvidal, as President of Kamaway Holdings, Inc., a Florida corporation, who appeared before me at the time of acknowledging and notarization, who is known to me, or who produced and exhibited to me a current Florida driver license, as evidence that she is the person who executed the foregoing instrument.

[Signature]
Notary Public, State of Florida



BILTMORE DEVELOPMENT LLC
1390 S DIXIE HIGHWAY SUITE 1105
CORAL GABLES, FL 33146

1494

\$3-815/660
65

5-30-19

Date

☐ FRUIT & BERRY

Pay to the

Order of City of Coral Gables

\$ 100.00

One hundred dollars

Dollars



ATM
Safe
Deposit
Details on back

TOTALBANK

For DRC Application Fee for Victims Diana C. Hemsley

⑆066009155⑆

3300541306 1494