



146 ROSALES COURT
CORAL GABLES, FL
FOLIO # 03-4133-001-0050

Applicant's Proposal

Manuel and Catherine Menendez are requesting a variance from the City of Coral Gables Zoning Code, Appendix A – Site Specific Zoning Regulations Section A-23 Cocoplum Section Two as follows:

1. Grant a variance allowing the replacement of the existing timber boat dock with a new boat dock in the same footprint, with a projection of 19'-6" from the mean high water / property line vs. the maximum projection of 10' as allowed by Appendix A – Site Specific Zoning Regulations, Section A-23 Cocoplum Section Two (A) 1.e.

They are also requesting a variance from the City of Coral Gables Zoning Article 5, Division 8 as follows:

2. Grant a variance allowing the proposed water ward projection for a new 28,000 lb. capacity four posted boatlift to be a total water ward projection of 35'-6" from the mean high water / property line vs. the maximum projection of 25' as allowed by Coral Gables Zoning Code Article 5, Division 8.

Manuel Menendez, Property Owner

Sworn to and subscribed before me this 12th day of March, 2019.

☒ Personally Knows, or

☐ Produced Identification

☐ Oath Taken ☐ Oath Not Taken

Notary Signature: _____

Print Notary Name: _____

Commission Expires: _____



Angie Echeverry
COMMISSION #FF227783
EXPIRES: May 6, 2019
WWW.AARONNOTARY.COM

Preamble

Pursuant to the City Charter, and subject to those provisions, a Board of Adjustment is created to provide relief from hardships and errors in the application of the regulations.

Application review request

The undersigned applicant(s)/agent(s)/property owner(s) request(s) a Board of Adjustment hearing for the following application(s) (please check all that apply):

- ☐ Appeal
- ☐ Variance
- ☐ Other: _____

Property information

Property/project name: _____

Street address of the subject property: _____

Property Legal Description: Lot(s): _____

Block(s): _____

Section(s): _____

Plat Book(s)/Page(s): _____

Has there been a Board of Adjustment hearing on the property in the last year? _____

Is this request the result of a Notice of Violation? _____

Is this request the result of a deviation from an approved set of plans? _____

Has the property owner owned the property for at least one (1) year? _____

Current land use classification(s): _____

Current zoning classification(s): _____

Listing of all folio numbers for subject property:

General information

Applicant(s)/Agent(s) Name(s): _____

Telephone#: _____ Fax#: _____ Email: _____ @ _____

Mailing Address: _____
(City) (State) (ZIP Code)

Property Owner(s) Name(s): _____

Telephone#: _____ Fax#: _____ Email: _____ @ _____

Mailing Address: _____
(City) (State) (ZIP Code)

Property Owner(s) Name(s): _____

Telephone#: _____ Fax#: _____ Email: _____ @ _____

Mailing Address: _____
(City) (State) (ZIP Code)

Project Architect(s) Name(s): _____

Telephone#: _____ Fax#: _____ Email: _____ @ _____

Mailing Address: _____
(City) (State) (ZIP Code)

Provide the date(s) and type(s) of application(s) previously filed with the City of Coral Gables and type of reviews, approvals, actions related to this request:

Application received by: _____ Date: _____

Application requirements and supporting information

The Development Services Department cannot accept applications that are not complete for any hearing before the Board of Adjustment. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.

Pre-application Meeting Requirements. A pre-application meeting is required to be held in advance of an application submittal to determine the information necessary to be filed with the application(s). The City reserves the right to request additional information as necessary.

Application submittal (order of documents). The order of the documents for the application submittal shall be as follows (required documents will be determined at pre-application meeting):

- ☐ Table of Contents with page numbers identifying all below documents.
- ☐ Completed Application.
- ☐ Applicant's proposal.
- ☐ Letter of intent.
- ☐ Standards for Variances #1 through #8.
- ☐ Owner's Affidavit.
- ☐ Proof of ownership if ownership of the property has changed in the last year.
- ☐ Full size set of plans (stamped by the Board of Architects).
- ☐ Plans in 11" x 17" size format (13 sets).
- ☐ Color photographs (35mm or digital photographs), must be labeled (13 sets).
- ☐ One (1) compact disc (CD) containing required plans and color photographs.
- ☐ Signed and sealed survey (indicate any tree disposition necessary if affected by proposed work).
- ☐ Aerial.
- ☐ Other (letter of support, rescheduling letter, etc.) _____.

Application supporting materials. The following application supporting materials shall be provided separately from the application submittal and are as follows:

- ☐ Application fees.
- ☐ One (1) original certified mailing list.
- ☐ Three (3) sets of mailing labels.
- ☐ City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.

Posting of the property. The City shall post the subject property with a City approved sign advising of the Board of Adjustment meeting date. The public notice posting shall be in accordance with the Zoning Code. The sign shall be installed ten (10) days prior to the meeting and shall not be removed until after the meeting, at which time it is the applicant's responsibility to remove the sign.




Applicant/agent/property owner/architect affirmation and consent

(I) (We) affirm and certify to all of the following:

1. The application will not be heard unless the Applicant/Agent is present at the Board of Adjustment hearing.
2. The subject property will be posted with a City approved public notice sign. The sign shall be installed a minimum of ten (10) days prior to the meeting and shall not be removed until after the meeting, at which time it is the applicant's responsibility to remove the sign.
3. No application shall be accepted during the following time periods after the denial of a substantially similar application affecting the same property or any portion thereof:
 - a. Conditional uses and variances: six (6) months.
 - b. Comprehensive Plan Map Amendment, Comprehensive Plan Text Amendment, Zoning Code Map Amendment, Zoning Code Text Amendment, amendments and applications for abandonment and vacation of non-fee interests: twelve (12) months (Section 3-210. Resubmission of application affecting same property).
4. That the only variance or items being requested are those that have been specified in the written application for a variance, and any other code or plan issues will be corrected by modifying the plans to comply with the respective codes and ordinances of the City of Coral Gables.
5. That the applicant will be responsible for complying with all of the conditions and restrictions imposed by the Board of Adjustment in connection with the requested variance, and will take the necessary steps to make the variance effective if approved by the Board of Adjustment.
6. That it is the responsibility of the applicant to submit a complete application with all of the documents necessary for the Board of Adjustment to hear the applicant's request.
7. That the applicant is responsible for the submission and accuracy of a certified mailing list and three (3) sets of mailing labels according to the latest ad valorem tax record of all property owners within one-thousand (1,000) feet of the property for which a public hearing before the Board of Adjustment is being requested.
8. Any variance granted by the Board of Adjustment or the City Commission shall be in effect for twelve (12) months from the date of approval. If a permit is not issued within the twelve (12) months, and work commenced, then the variance shall become null and void. One (1) twelve (12) month extension of a variance may be granted by the Development Review Official.
9. That the application fee is not refundable or any portion thereof regardless of final resolution, deferment, or non-presentation to the Board of Adjustment.
10. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
11. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.
12. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
13. Applicant has read and understands all of the information in the City of Coral Gables Board of Adjustment Information brochure.
14. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.

Board of Adjustment Application

15. Understand that under Florida Law, all the information submitted as part of the application are public records.
16. Submission of the following:
- Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
 - Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.

Applicant(s)/Agent(s) Signature: 	Applicant(s)/Agent(s) Print Name: MANUEL MENENDEZ
Address: 146 ROSALES COURT CORAL GABLES, FL 33143	
Telephone: 954-587-1008	Fax: 786-513-4686
Email: Aecheverry@chrysalishealth.com	
NOTARIZATION	
STATE OF FLORIDA/COUNTY OF	
The foregoing instrument was acknowledged before me this <u>12th</u> day of <u>March 2019</u> by <u>Manuel Menendez</u>	
(Signature of Notary Public - State of Florida)	
<div style="text-align: center;">  Angie Echeverry COMMISSION #FF227783 EXPIRES: May 6, 2019 WWW.AARONNOTARY.COM</div>	
(Print, Type or Stamp Commissioned Name of Notary Public)	
<input checked="" type="checkbox"/> Personally Known OR <input type="checkbox"/> Produced Identification; Type of Identification Produced _____	

Board of Adjustment Application

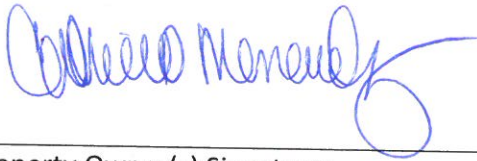
Property Owner(s) Signature:



Property Owner(s) Print Name:

MANUEL MENENDEZ

Property Owner(s) Signature:



Property Owner(s) Print Name:

CATHERINE MENENDEZ

Property Owner(s) Signature:

Property Owner(s) Print Name:

Address: 146 ROSALES COURT, CORAL GABLES, FL 33143

Telephone: 954-587-1008

Fax:

Email: Aecheverry@chrysalishealth.com

NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 12th day of March 2019 by Manuel & Catherine Menendez

(Signature of Notary Public - State of Florida)



Angie Echeverry
COMMISSION #FF227783
EXPIRES: May 6, 2019
WWW.AARONNOTARY.COM

(Print, Type or Stamp Commissioned Name of Notary Public)

☒ Personally Known OR ☐ Produced Identification; Type of Identification Produced _____

146 ROSALES COURT
CORAL GABLES, FL
FOLIO # 03-4133-001-0050

Letter of Intent

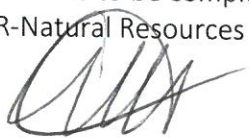
The property consists of a 15,278 SF lot located at 146 Rosales Court, Coral Gables. The property abuts to the Arroyo Fluente in Cocoplum, with a total shoreline of 145'-6". The shoreline is an unconsolidated shoreline with coral rock rip-rap boulders and mangroves extending up to 20' from the platted property line. There is current a boat dock on site located approximately 22'-10" from the West property line. The dock consists of a 4' wide by 20' long access walkway and a 6'-5" by 51' long terminal platform. The timber boat dock extends 19'-6" from the mean high water / property line. The width of Arroyo Fluente as measure perpendicular to the shoreline is approximately 210'.

The existing boat dock was constructed in configuration in 1994/1995. This information is based on an aerial review of the site. A permit was applied for in 1994 (Coral Gables Control # 94083353) however a permit was never issued. A site survey dated 5/25/1995 which as submitted as part of Building Permit # 9404538 shows the timber dock as existing. Mr. Menendez was not the property owner when the existing boat dock was permitted/constructed.

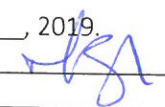
The applicants, Manuel and Catherine Menendez, are requesting approval for the replacement of the existing timber dock in the same footprint and the installation of a new 28,000 lb. capacity four-posted boatlift to be installed on the waterside edge on the West side of the dock.

Due to the presence of dense mangroves present along the shoreline and up to the landward edge of the dock – the replacement of the boat dock within the 10' allowed by the Zoning Code and the installation of the new boatlift within the 25' projection allowed by the Zoning code is not feasible.

All work is to be completed in accordance with plans dated December 17, 2018 and approved by RER-Natural Resources Division on December 17, 2018.



Manuel Menendez, Property Owner

Sworn to and subscribed before me this 12th day of March, 2019.
☒ Personally Knows, or
☐ Produced Identification
☐ Oath Taken ☐ Oath Not Taken
 Notary Signature: 
 Print Notary Name: _____
 Commission Expires: _____



Angie Echeverry
COMMISSION #FF227783
EXPIRES: May 6, 2019
WWW.AARONNOTARY.COM

146 ROSALES COURT
CORAL GABLES, FL
FOLIO # 03-4133-001-0050

STANDARDS FOR VARIANCES

1. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district.
This property is unique in that there are dense mangroves along the entire length extending from the platted property line up to 15' waterward. Removal of said mangroves is in direct violation of the Miami-Dade County code, Section 24.
2. That the special conditions and circumstances do not result from the actions of the applicant.
The owner did not plant the exiting mangroves, and therefore this condition does not result from the actions of the Owner.
3. That granting the variance requested will not confer on the applicant any special privilege that is denied by these regulations to other lands, buildings or structures in the same zoning district.
The requested variance will not confer any special privilege on the owner. The existing boat dock is in line, and in some cases landward of the existing docks on this portion of Rosales Court. The dock has been existing in the current configuration since 1994/1995.
4. That literal interpretation of the provisions of these regulations would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of these regulations and would work unnecessary and undue hardship on the applicant.
All properties along this portion of Rosales Court currently enjoy docks and are allowed full use of their boat docks.
5. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.
This is the minimum variance that will allow Mr. Menendez to replace the existing boat dock and moor his vessel on a boatlift at the waterward edge of his dock.
6. That granting the variance will not change the use to one that is not permitted in the zoning district or different from other land in the same district.
The use of the property will remain Single Family Residential.

7. That the granting of the variance will be in harmony with the general intent and purpose of these regulations, and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

The requested variance will be within the harmony and intent of the zoning code. The zoning code is written to allow mooring on boat docks thought the Gables waterfront, and in applying for this variance Mr. Menendez only wishes to utilize these rights.

8. That the granting of the variance is appropriate for the continued preservation of an historic landmark or historic landmark district.

The existing structure is no historical not is it located in a historical district and therefore this criteria is not applicable.

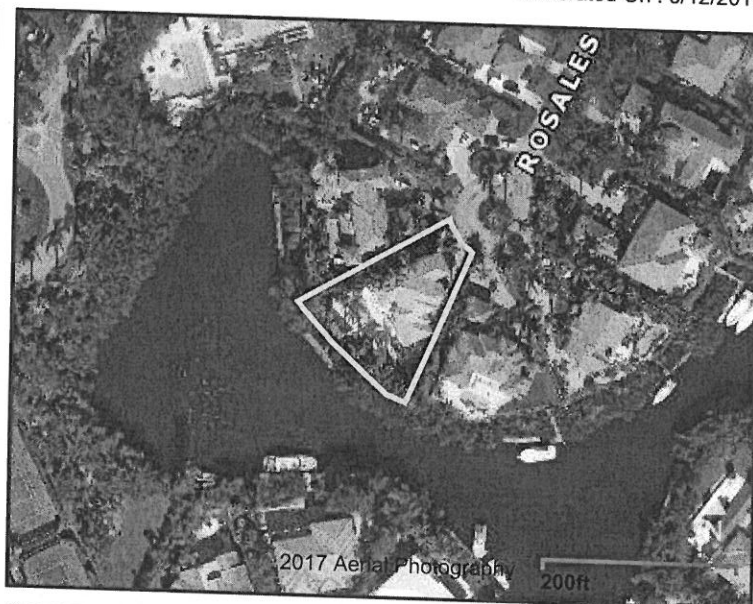


OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 3/12/2019

Property Information	
Folio:	03-4133-001-0050
Property Address:	146 ROSALES CT Coral Gables, FL 33143-6547
Owner	MANUEL E MENENDEZ CATHERINE MENENDEZ
Mailing Address	146 ROSALES CT CORAL GABLES, FL 33143-6547
PA Primary Zone	0100 SINGLE FAMILY - GENERAL
Primary Land Use	0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
Beds / Baths / Half	5 / 5 / 1
Floors	3
Living Units	1
Actual Area	Sq.Ft
Living Area	Sq.Ft
Adjusted Area	4,376 Sq.Ft
Lot Size	15,278 Sq.Ft
Year Built	1995



Assessment Information			
Year	2018	2017	2016
Land Value	\$1,459,049	\$1,459,049	\$1,428,493
Building Value	\$460,793	\$656,838	\$665,152
XF Value	\$38,791	\$39,284	\$39,780
Market Value	\$1,958,633	\$2,155,171	\$2,133,425
Assessed Value	\$1,636,230	\$2,155,171	\$2,133,425

Benefits Information				
Benefit	Type	2018	2017	2016
Portability	Assessment Reduction	\$322,403		
Homestead	Exemption	\$25,000		
Second Homestead	Exemption	\$25,000		
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				

Short Legal Description	
COCOPLUM SEC 2 PLAT G	
PB 134-59	
LOT 5 BLK 26	
LOT SIZE 15278 SQ FT M/L	
OR 20265-2693 10/01 5	

Taxable Value Information			
	2018	2017	2016
County			
Exemption Value	\$50,000	\$0	\$0
Taxable Value	\$1,586,230	\$2,155,171	\$2,133,425
School Board			
Exemption Value	\$25,000	\$0	\$0
Taxable Value	\$1,611,230	\$2,155,171	\$2,133,425
City			
Exemption Value	\$50,000	\$0	\$0
Taxable Value	\$1,586,230	\$2,155,171	\$2,133,425
Regional			
Exemption Value	\$50,000	\$0	\$0
Taxable Value	\$1,586,230	\$2,155,171	\$2,133,425

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description
07/13/2017	\$2,400,000	30618-4683	Qual by exam of deed
11/28/2016	\$100	30333-0889	Corrective, tax or QCD; min consideration
09/26/2011	\$100	27839-1897	Corrective, tax or QCD; min consideration
07/26/2011	\$2,750,000	27781-2867	Qual by exam of deed

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>

Version:

EXHIBIT "A"

146 ROSALES COURT
CORAL GABLES, FL
FOLIO # 03-4133-001-0050



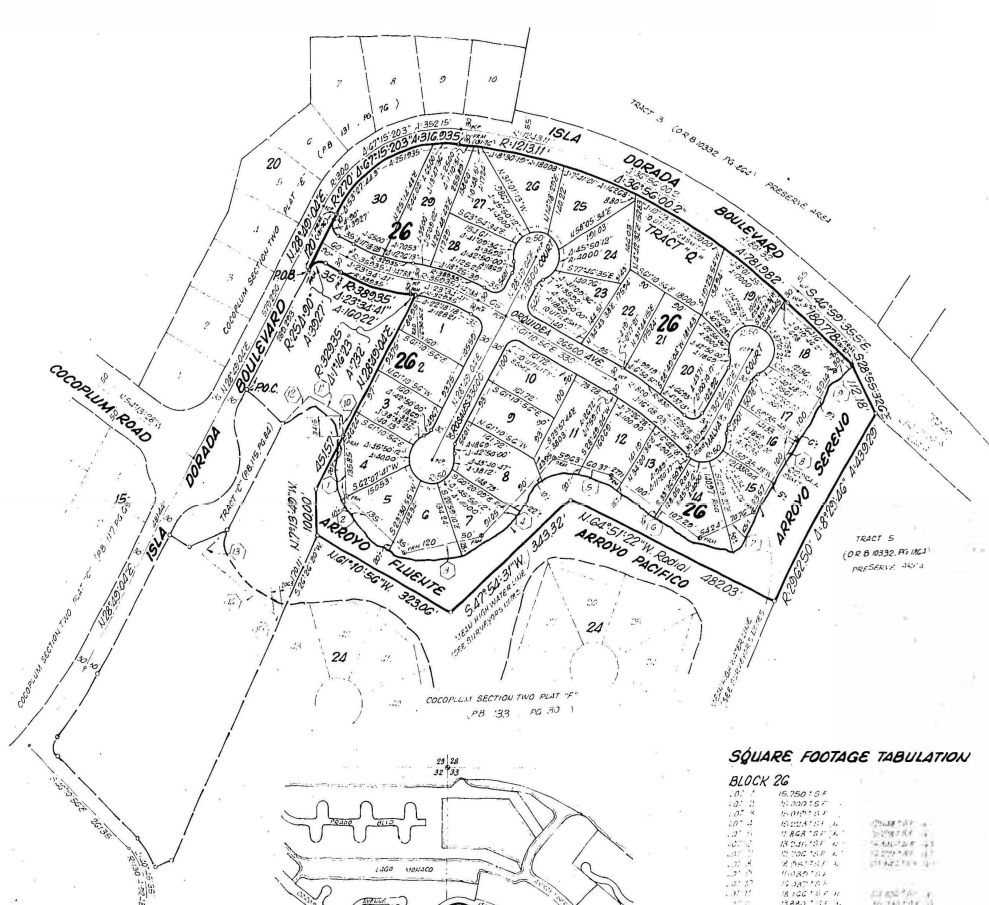
COCOPLUM SECTION TWO PLAT "G"

BEING A REPLAT OF PORTION OF LA BARCA AVENUE AND PORTIONS OF TRACTS 3, 4 AND 5, COCOPLUM BEACH PROPERTY" (PB 53, PG 2) SECTIONS 32 AND 33, TOWNSHIP 54 SOUTH, RANGE 41 EAST, CITY OF CORAL GABLES, DADE COUNTY, FLORIDA

PLAT BOOK 134 PAGE 54
SHEET 1 OF 2 SHEETS

SURVEY TIE LINE DATA

NUMBER	BEARING	DISTANCE
1	S 27°10'15"E	70.00'
2	S 27°10'15"E	100.00'
3	N 78°30'00"E	100.00'
4	N 43°30'00"E	125.00'
5	S 1°10'15"E	120.00'
6	S 1°10'15"E	125.00'
7	N 62°49'00"E	125.00'
8	N 30°15'10"E	34.15'
9	N 42°00'00"E	100.00'
10	S 27°10'15"E	100.00'
11	S 61°10'15"E	100.00'
12	N 42°00'00"E	100.00'
13	N 27°10'15"E	100.00'
14	N 82°37'20"E	200.37'



SQUARE FOOTAGE TABULATION

BLOCK 26

1	15,750 T.S.F.
2	10,000 T.S.F.
3	10,000 T.S.F.
4	10,000 T.S.F.
5	10,000 T.S.F.
6	10,000 T.S.F.
7	10,000 T.S.F.
8	10,000 T.S.F.
9	10,000 T.S.F.
10	10,000 T.S.F.
11	10,000 T.S.F.
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49	10,000 T.S.F.
50	10,000 T.S.F.

BLOCK 26

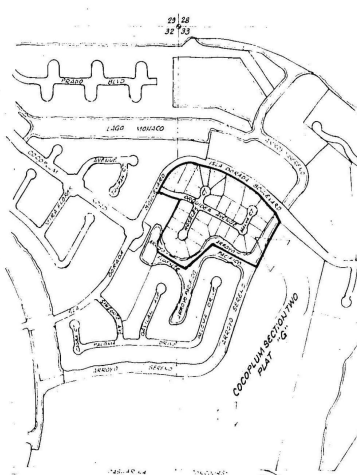
1	15,750 T.S.F.
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48	10,000 T.S.F.
49	10,000 T.S.F.
50	10,000 T.S.F.

SURVEYOR'S NOTES:

BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED MAGNETIC DECLINATION OF 10° 10' 15" E. DENOTES PERMANENT REFERENCE MONUMENT. DENOTES PERMANENT CONTROL POINT. THE MEAN HIGH WATER LINE, AS SHOWN ON A PORTION OF LOT 2 AND LOTS 5 THRU 8 AND 11 THRU 18 ADJACENT TO ARROYO PACIFICO, ARROYO SERENO AND ARROYO PACIFICO CONSTITUTES THE WATER FRONT BOUNDARY OF SAID LOTS. SAID MEAN HIGH WATER LINE, AS SHOWN, HAS BEEN DETERMINED BY LOCATING THE APPROXIMATE 1:5 CONTOUR (1:5) AT THE TIME OF THE PREPARATION OF THIS PLAT AND NOT BY A MEAN HIGH WATER SURVEY. ALL DIMENSIONS SHOWN ARE APPROXIMATE.

NOTICE:

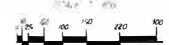
NOTICE: THIS PLAT IS A REPLAT OF PORTION OF LA BARCA AVENUE AND PORTIONS OF TRACTS 3, 4 AND 5, COCOPLUM BEACH PROPERTY, DADE COUNTY, FLORIDA. THIS PLAT IS A REPLAT OF PORTION OF LA BARCA AVENUE AND PORTIONS OF TRACTS 3, 4 AND 5, COCOPLUM BEACH PROPERTY, DADE COUNTY, FLORIDA.



PORTIONS OF SECTIONS 32 AND 33, TWP 54 S, RGE 41 E.
LOCATION MAP

SCHWEBKE & SHISKIN & ASSOCIATES, INC.

1000 SURVEYORS ENGINEERS ARCHITECTS PLANNERS
2000 WEST BAYVIEW AVENUE SUITE 1000 MIAMI, FL 33134
(305) 358-1000





MARTINEZ & MARTINEZ ENTERPRISES, INC.
Business License # 7702
7179 W. 13 Avenue, Hialeah, Florida 33014
Phone: 786-277-4851 plspsm@gmail.com

Property Address:

146 ROSALES COURT, CORAL GABLES, FL. 33143

LEGAL DESCRIPTION:

Lot 5, in Block 26, of "COCOPLUM SECTION 2 PLAT G" according to the plat thereof as recorded in Plat Book 134 at Page 59 of the Public Records of Miami-Dade County, Florida.

SURVEYOR'S NOTES:

- 1) The above captioned Property was surveyed and described based on the above Legal Description: **Provided by Client.**
- 2) This Certification is only for the lands as described. It is not a certification of Title, Zoning, Easements, or Freedom of Encumbrances. **ABSTRACT NOT REVIEWED.**
- 3) There may be additional Restrictions not shown on this survey that may be found in the Public Records of this County, Examination of **ABSTRACT OF TITLE** will have to be made to determine recorded instruments, if any affecting this property.
- 4) **Accuracy:**
The expected use of the land, as classified in the Standards of Practice, is "Residential High Risk". The minimum relative distance accuracy for this type of boundary survey is 1 foot in 10,000 feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
- 5) Foundations and/or footings that may cross beyond the boundary lines of the parcel herein described are not shown hereon.
- 6) Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to survey maps or reports by other than the signing party or parties are prohibited without written consent of the signing party or parties.
- 7) Underground utilities are not depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described.
- 8) The surveyor does not determine fence and/or wall ownership.
- 9) Ownership subject to **OPINION OF TITLE.**
- 10) Type of Survey: **BOUNDARY SURVEY.**
- 11) A complete list of abbreviations used in this survey are shown on the back of this sheet.
- 12) Survey # 19-70
- 13) Elevations shown are relative to the National Geodetic Vertical Datum of 1929.
- 14) Flood Zone: **AE** Base Flood Elev.: **11.00'** as per map **120639**, Suffix **L**, Panel **0459**
Date of Panel 9-11-09
- 15) This **PLAN OF SURVEY** has been prepared for the exclusive use of the entities named hereon. The Certificate does not extend to any **unnamed party:**

A.) MANUEL E. MENENDEZ
B.) CATHERINE MENENDEZ

Field Date: 05-08-2019

For the firm:

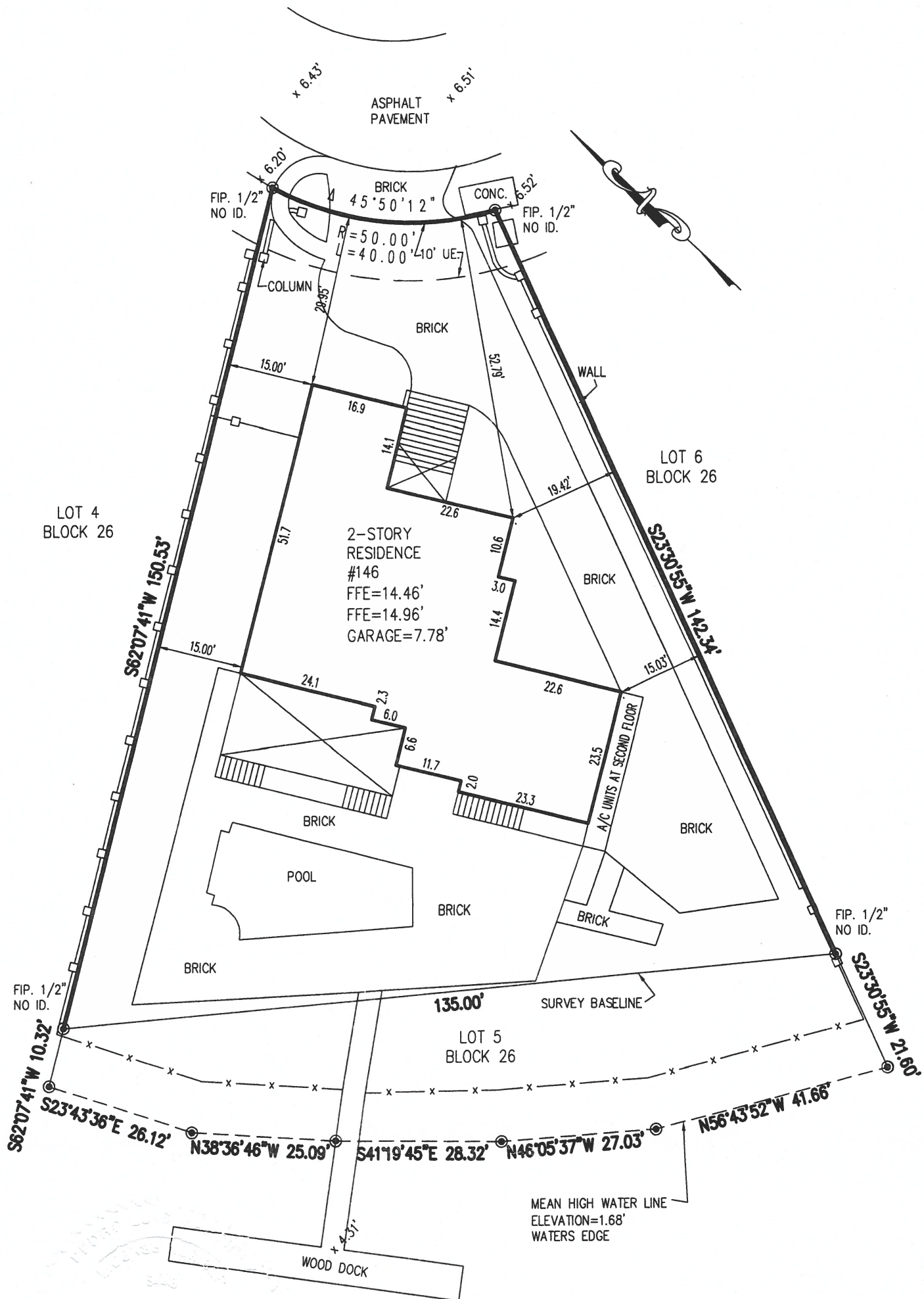
Pedro Luis Martinez P.S.M.

Professional Surveyor & Mapper
State of Florida Reg. No. 5443

BOUNDARY SURVEY

SCALE: 1" = 22'




ROSALES COURT



THIS SURVEY MAP OR THE COPIES THEREOF ARE
NOT VALID WITHOUT THE SIGNATURE
AND THE ORIGINAL RAISED SEAL OF
A FLORIDA LICENSED SURVEYOR & MAPPER.

LEGEND

- ☐ — Aluminum Fence
 — OH — Over Head Wire Line
 — // — Wood Fence
 — x — Chain Link Fence

- 0.00' = Existing Elevations
 = Water Meter
 = Fire Hydrant
 = Power Pole

- F.DH. =Found Drill Hole
F.N&D. =Found Nail & Disc.
FIR. =Found Iron Rebar

LOCATION PLAN:
SCALE: NTS



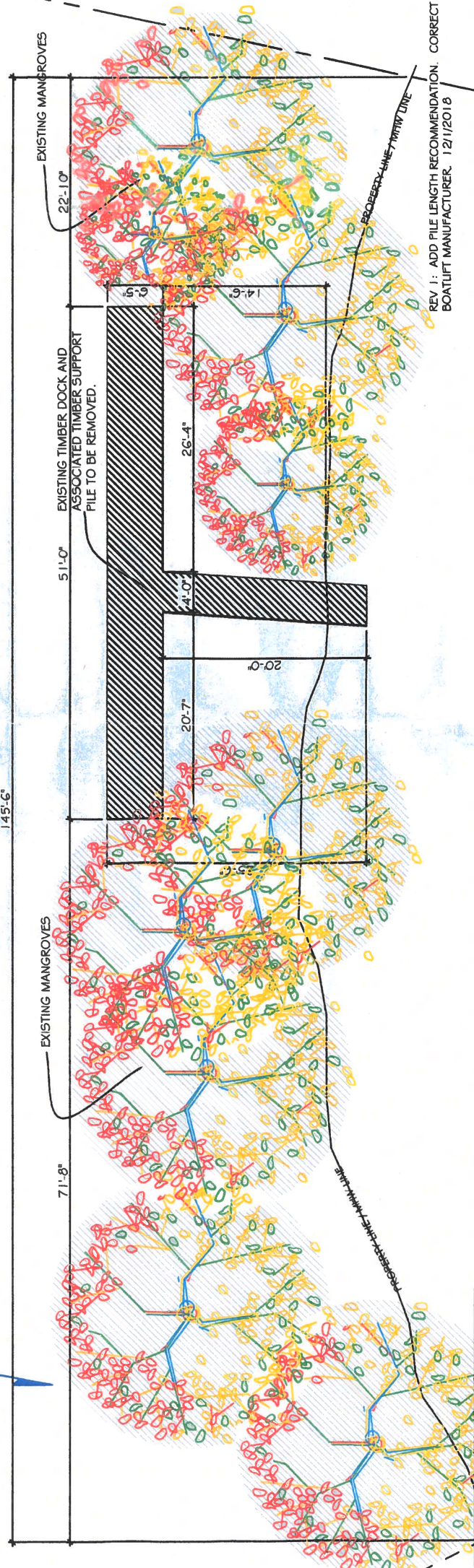
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DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES

CLI-2017-0481
RER - NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL
NAME: SUNSHINE
DATE: 5/17/19

EXISTING SITE PLAN:
SCALE: NTS

WATERWAY WIDTH
AT PROPERTY ≈ 166'



Always call 811 two full business days before you dig to
have underground utilities located and marked.
sunshine811.com

TRC
CONSTRUCTION & REMEDIATION, INC.

LUIS ROSAS-GUYON
P.E. # 13725
EB-00004035

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WWW.RSGCS.COM

5/17/19

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marine design and permitting
1850 SW 8TH STREET
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MIAMI, FL 33135
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dib@tridentenv.com
www.tridentenv.com

Job name: MENENDEZ RESIDENCE
146 ROSALES COURT
CORAL GABLES, FL
Title: REPLACEMENT OF EXISTING BOAT
DOCK, DOCK EXTENSION, 27K LIFT

OWNER: MANUEL MENENDEZ
SECTION 33 TWN 54S RANGE 41 E
COCOPULUM SEC 2, PLAT G
PER FILE # CLI-2017-0481
PM: MICHELLE METCALF

Sheet no
S-1
1 of 7

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RFR - NATURAL RESOURCES DIVISION
 PRELIMINARY APPROVAL
 NAME Sammy
 DATE 6/17/07



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DEPARTMENT OF REGULATION
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PROPOSED SITE PLAN:

SCALE: NTS

REC - NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL
NAME: SCHWARTZ
DATE: 5/17/19

THREE - NEW 12" Ø TIMBER MOORING
PILES (TYP.) W/ 12" MIN PENETRATION
INTO FIRM MATERIAL. (1.5 TON
BEARING CAPACITY). PILES TO BE CUT
OFF ± 9" ABOVE DECK ELEVATION.
AS PER SUBSOIL INVESTIGATION
REPORT PREPARED BY DYNATECH
ENGINEERING DATED NOVEMBER 14,
2018.

SEVENTEEN - NEW 12" Ø TIMBER DOCK
/ BOATLIFT SUPPORT PILE. (TYP.) W/ 12"
MIN PENETRATION INTO FIRM
MATERIAL. (1.5 TON BEARING
CAPACITY). PILES TO BE CUT OFF ± 6"
ABOVE DECK. DOCK SUPPORT PILES
PILES TO BE CLAD WITH 1"x2" TIMBER
STRIPS FASTENED TO PILES WITH
THREE #10 X 3" S.S. DECK SCREWS
AND INCLUDE COPPER CAPS. PILES TO
BE A MINIMUM OF 34' LONG AS PER
SUBSOIL INVESTIGATION REPORT
PREPARED BY DYNATECH ENGINEERING
DATED NOVEMBER 14, 2018.

P.T. 34'10" HEADERS FASTENED TO
DOCK SUPPORT PILING WITH 3" Ø 5.5.
THRU-BOLTS, NUTS & WASHERS (TYPICAL
FOR ALL PILING).

3" x 6" IPE HARDWOOD
DECKING FASTENED TO
STRINGERS WITH TWO
#10 X 3" S.S. DECK
SCREWS AT EACH
SUPPORT.

P.T. 3"x12" HEADERS FASTENED
TO DOCK SUPPORT PILING WITH 3"
Ø S.S. THRU-BOLTS, NUTS &
WASHERS (AT STEP AREA ONLY.)

REV 1: ADD PILE LENGTH RECOMMENDATION. CORRECT
BOATLIFT MANUFACTURER. 12/12/18
REV 2: ADD SURVEY TIE LINE, PROPERTY LINE.
CORRECT WATERWAY WIDTH. 4/23/19

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P.E. # 13725
EB-0004035



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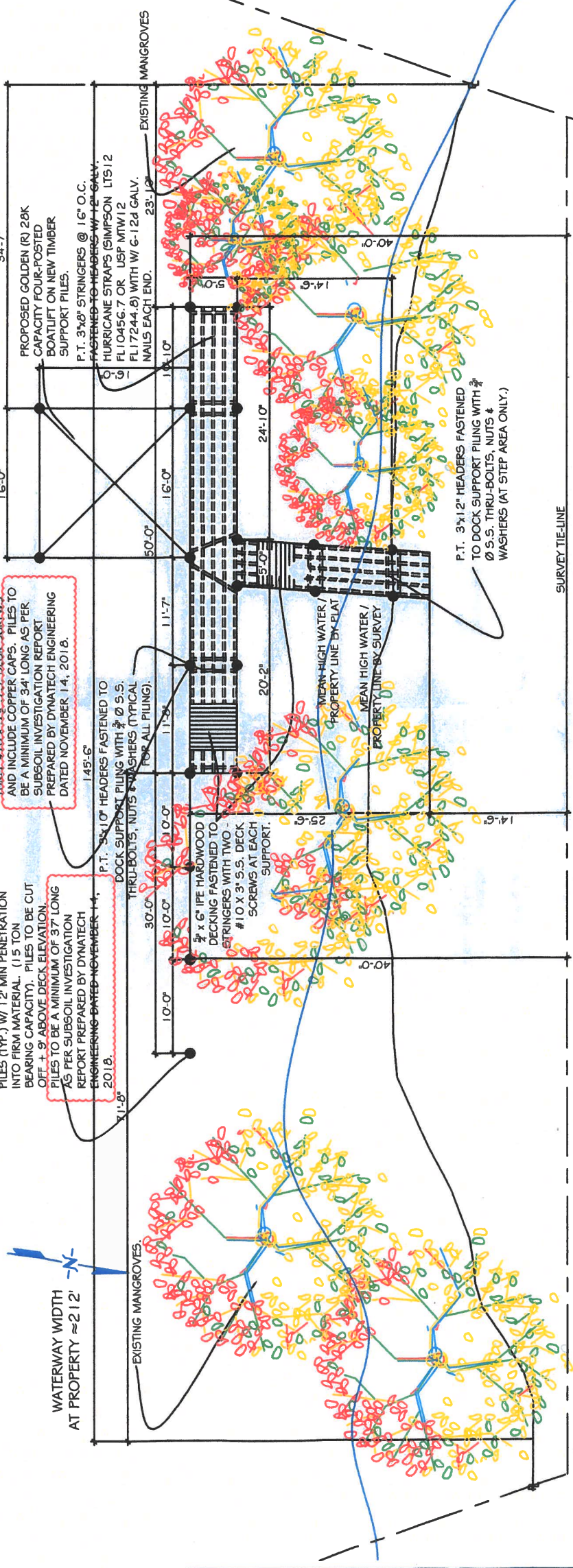
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job name: MENENDEZ RESIDENCE
146 ROSALES COURT
CORAL GABLES, FL
title: REPLACEMENT OF EXISTING BOAT
DOCK, DOCK EXTENSION, 27K LIFT

OWNER: MANUEL MENENDEZ
SECTION 33 TOWN 54S RANGE 41E
FOLIO # 03-4133-001-0050
COCOPUM SEC 2, PLAT G
PB 134-59 LOT 5 BLK 26
RFR FILE # CU-2017-0481
PM: MICHELLE METCALF

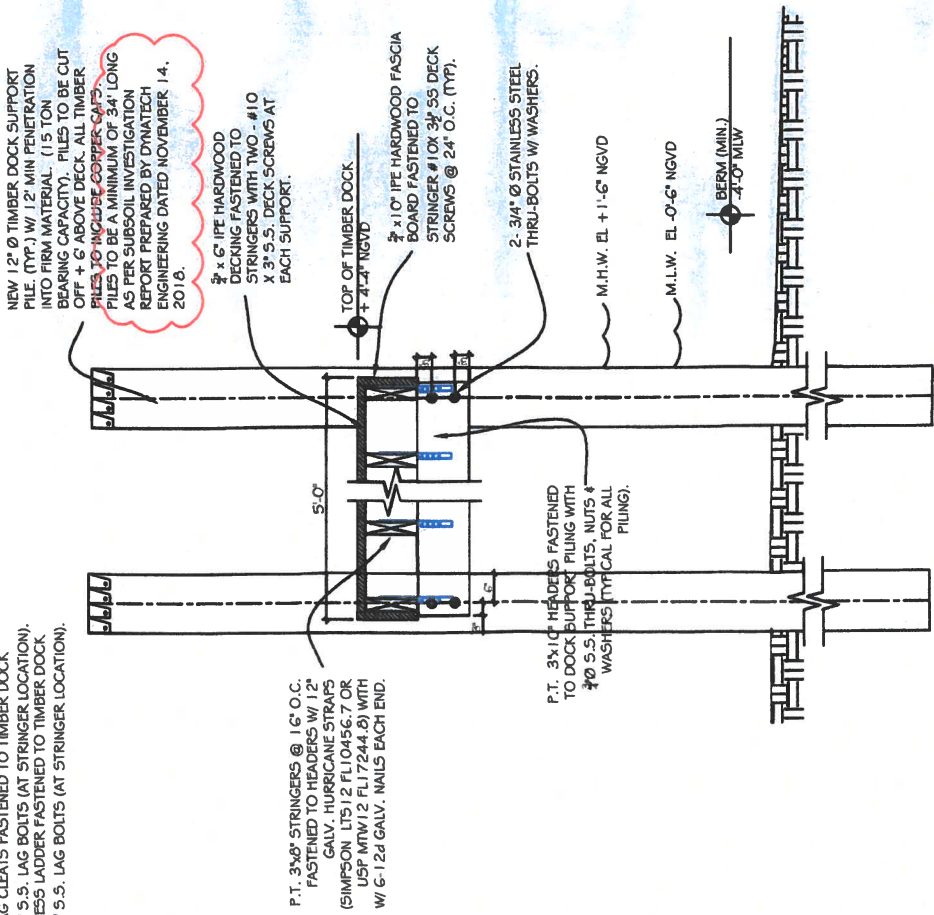
sheet no.
S-3
3 of 7



SECTION A (SHEET S-3):

SCALE: 3/8" = 1'

- AT OWNERS OPTION:
1. PILES TO BE CLAD WITH 1"x2" IPE STRIPS FASTENED TO PILES WITH THREE #8 X 2 1/2" S.S. DECK SCREWS. ALL TIMBER PILES TO INCLUDE COPPER CAPS.
 2. TIMBER DOCK SUPPORT PILES MAY BE WRAPPED WITH 5" POLYGLYCOAT PILE WRAP FASTENED TO TIMBER PILE WITH 1" STAINLESS STEEL RING-SHANK ROOFING NAILS AT 2" ON CENTER ALONG THE SEAMS. (4" OVERLAP MIN.)
 3. 12" or 15" ALUM. CLEATS FASTENED TO TIMBER DOCK UTILIZING 1/2" X 6" S.S. LAG BOLTS (AT STRINGER LOCATION).
 4. ALUMINUM ACCESS LADDER FASTENED TO TIMBER DOCK UTILIZING 1/2" X 6" S.S. LAG BOLTS (AT STRINGER LOCATION).



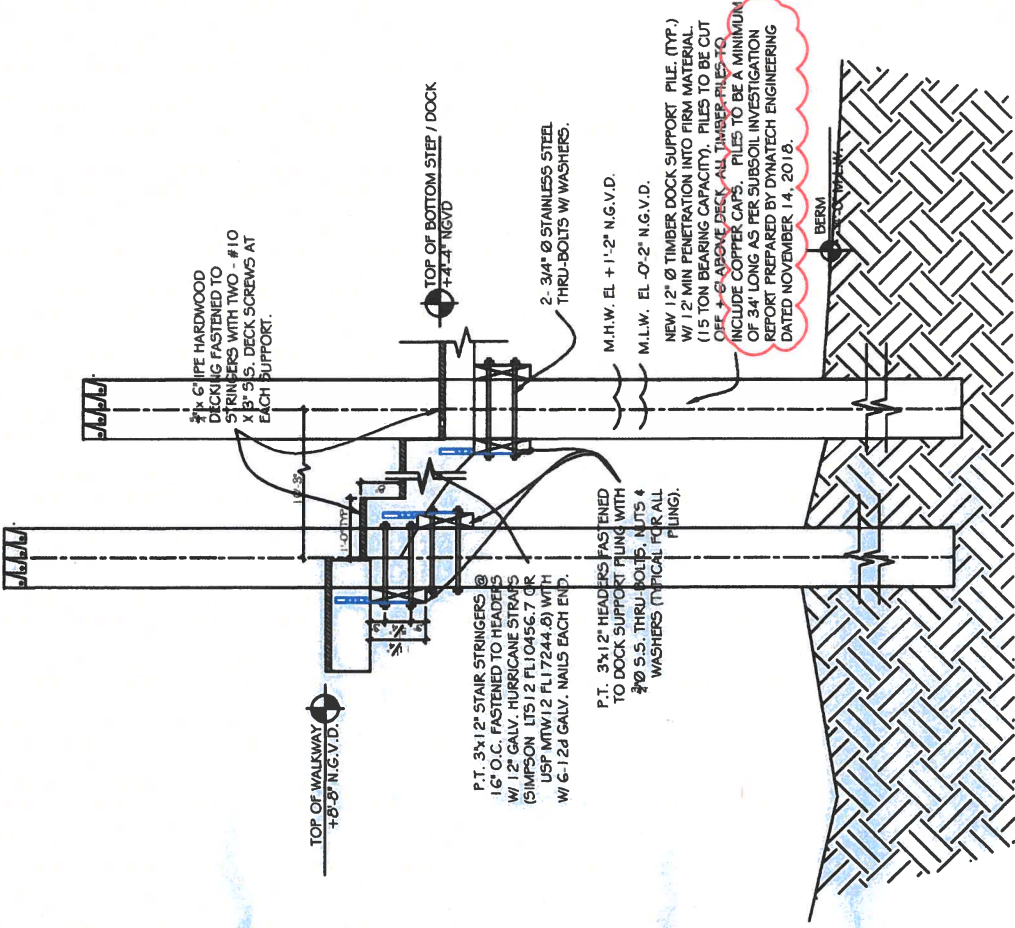
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DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES

REC - NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL
NAME: JOHN M. GUYON
DATE: 5/17/19

SECTION B (SHEET S-3):

SCALE: 3/8" = 1'



REV 1: ADD PILE LENGTH RECOMMENDATION. CORRECT BOATLIFT MANUFACTURER. 12/12018

LUIS ROSAS-GUYON
P.E. # 13725
EB-0004035



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Job name: MENENDEZ RESIDENCE
146 ROSALES COURT
CORAL GABLES, FL
Title: REPLACEMENT OF EXISTING BOAT DOCK, DOCK EXTENSION, 27K LIFT

OWNER: MANUEL MENENDEZ
SECTION 33 TOWN 54S RANGE 41E
FOLIO # 03-4133-001-0050
COCOPUM SEC 2, PLAT 6
PB 134-59 LOT 5 BLK 26
RFR FILE # CU-2017-0481
PM: MICHELLE METCALF

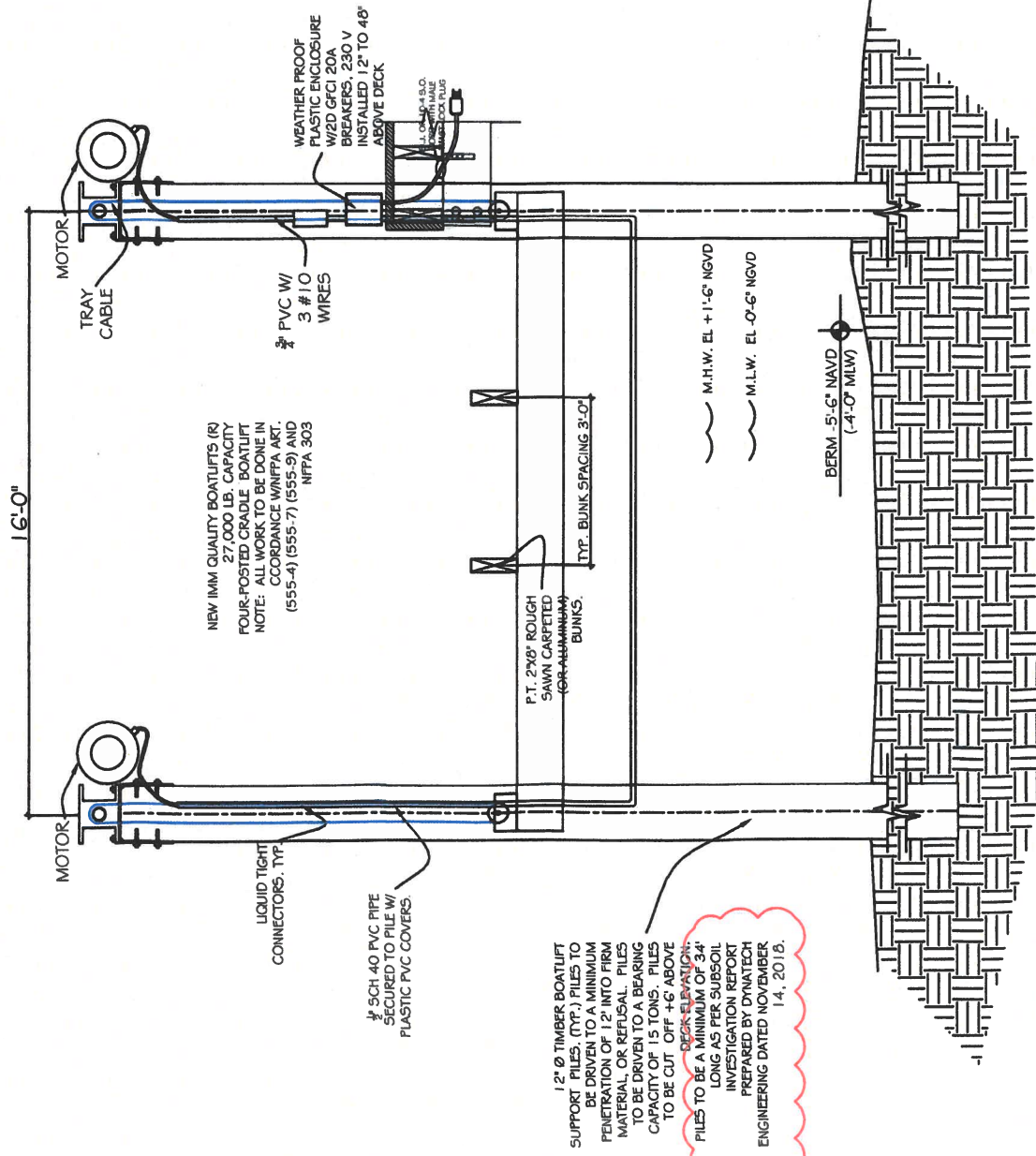
Sheet no. S-4
4 of 7

SECTION C (SHEET S-3):

SCALE: $\frac{3''}{8'} = 1''$

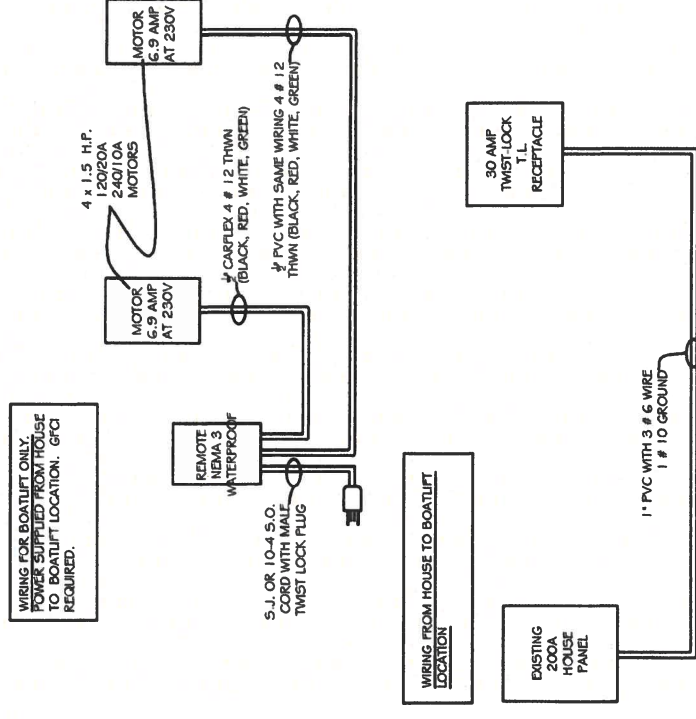
PILE MOUNTING BRACKET:
MINIMUM FOUR - 3" Ø S.S.
THRU-BOLTS W/ WASHERS & NUTS
PER TIMBER PILE. MINIMUM TWO - 3"
STAINLESS STEEL CARRIAGE BOLT
FOR ATTACHING MOUNTING BRACKET
TO LIFT REQUIRED FOR PILING.

**BOATS SHALL NOT BE STORED
ON LIFT DURING HIGH WIND
EVENTS.**



12" Ø TIMBER BOATLIFT
SUPPORT PILLS (NOT) PILLS TO
BE DRIVEN TO A MINIMUM
PENETRATION OF 12" INTO FIRM
MATERIAL, OR REFUSAL. PILLS
TO BE DRIVEN TO A BEARING
CAPACITY OF 15 TONS. PILLS
TO BE CUT OFF +6 ABOVE
DECK ELEVATION.
PILLS TO BE A MINIMUM OF 34"
LONG AS PER SUPSAIL
INVESTIGATION REPORT
PREPARED BY DYNATECH
ENGINEERING DATED NOVEMBER
14, 2018.

ELECTRICAL CONNECTION OF BOATLIFT:



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REV 1: ADD PILE LENGTH RECOMMENDATION. CORRECT
BOATLIFT MANUFACTURER. 12/1/2018

LUIS ROSAS-GUYON
P.E. # 13725
EB-0004035

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OWNER: MANUEL MENENDEZ
FOLIO # 03-4133-001-0050
SECTION 33 TWN 54S RANGE 41E
COCOPULUM 59C 2, PLANT G
PB 134-59 LOT 5 BLK 26
RFR FILE # CU-2017-0481
PM: MICHELLE METCALF

job name: MENENDEZ RESIDENCE
146 ROSALES COURT
CORAL GABLES, FL



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MANGROVE TRIMMING PLAN

SCALE: NTS

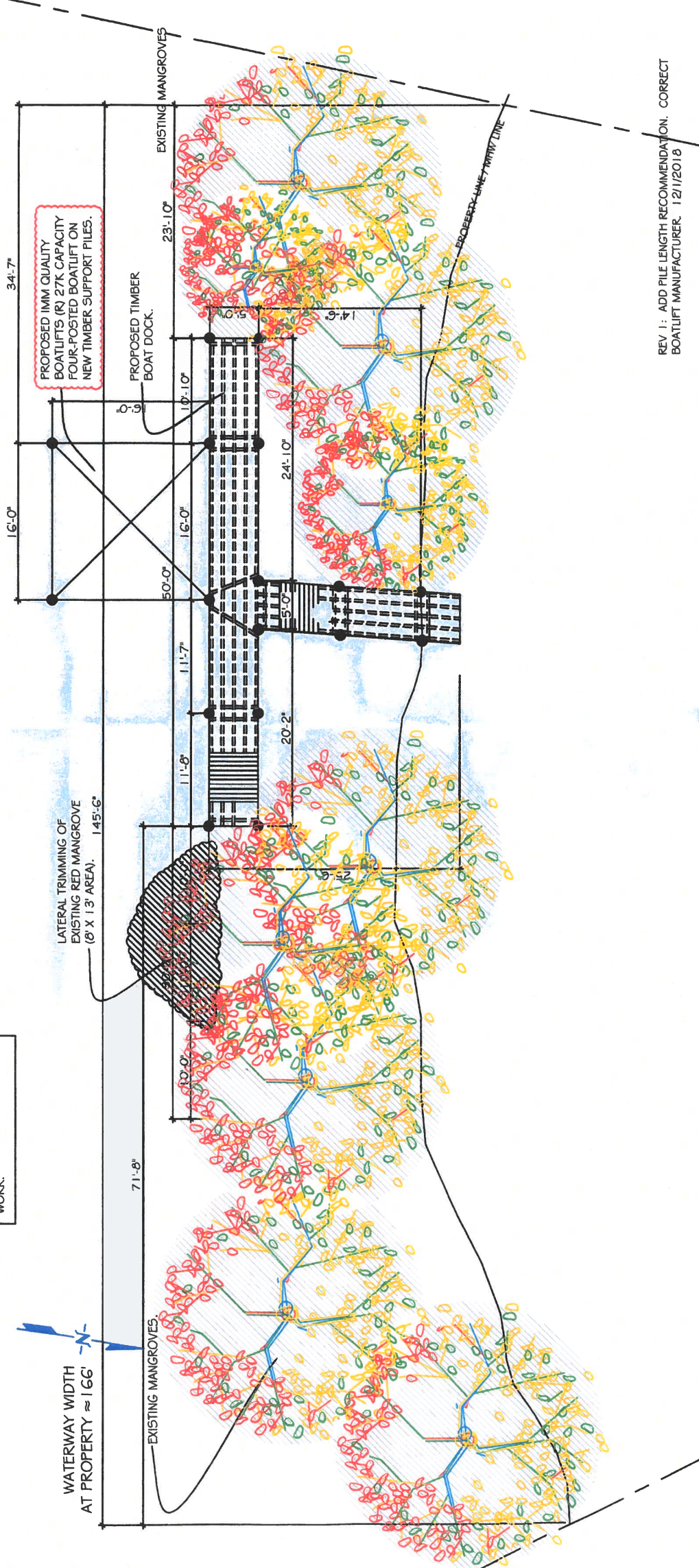
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AND ECONOMIC RESOURCES

PER - NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL
NAME: SANDRA
DATE: 5/17/19

PROPOSED MANGROVE
TRIMMING PLAN ONLY. REFER
TO S-3 FOR PROPOSED
WORK.



REV 1: ADD PILE LENGTH RECOMMENDATION. CORRECT
BOATLIFT MANUFACTURER. 12/1/2018

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Job name: MENENDEZ RESIDENCE
146 ROSALES COURT
CORAL GABLES, FL
Title: REPLACEMENT OF EXISTING BOAT
DOCK, DOCK EXTENSION, 27K LIFT

OWNER: MANUEL MENENDEZ
FOUO # 03-4133-001-0050
SECTION 33 TOWN 54S RANGE 41E
COCOPUM SEC 2, PLAT G
PB 134-59 LOT 5 BLK 26
RFR FILE # CU-2017-0481
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S-6
6 of 7

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GENERAL NOTES

ELEVATIONS SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929).

ALL DIMENSIONS AND ELEVATIONS ON PLANS MUST BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF WORK.

IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION.

ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ENGINEER BEFORE PROCEEDING WITH WORK.

IT IS THE INTENT OF THESE PLANS AND THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH LOCAL, STATE AND FEDERAL ENVIRONMENTAL PERMITS ISSUED FOR THIS PROJECT IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE AND GOVERN HIMSELF BY ALL PROVISIONS OF THESE PERMITS.

APPLICABLE BUILDING CODE: FLORIDA BUILDING CODE, 6th EDITION (2017).

CONTRACTOR TO DETERMINE THE SUSTAINABILITY OF EXISTING STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, MEANS, SEQUENCES AND PROCEDURES OF WORK.

CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING WORK.

ANY DEVIATION AND/OR SUBSTITUTION FROM THE INFORMATION PROVIDED HEREIN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.

WOOD PILING

1. ALL WOOD PILES TO BE 12" DIAMETER SOUTH AMERICAN GREENHEART PILES; OR 12" DIAMETER SOUTHERN PINE AND COMPLY WITH A.S.T.M. D25-79 AND BE PRESSURE TREATED W/ C.C.A. FEDERAL SPECIFICATIONS TT-W-550D (1) OR TT-W-00550E (1) AND AWFA-MP-4.
2. ALL WOOD PILES SHALL BE DRIVEN TO A MINIMUM BEARING CAPACITY OF 15 TONS WITH MINIMUM PENETRATION OF 12' INTO FIRM MATERIAL BELOW SILT LAYER OR 6'-0" MIN. INTO ROCK, OR REFUSAL (30 HAMMER BLOWS (4,500# MIN. HAMMER WEIGHT / 7'-6" MIN. HAMMER DROP) FOR THE LAST 9' OF PENETRATION.)
3. PILES SHALL BE CUT OFF AT ELEVATIONS AS SHOWN ON PLANS AND SECTIONS.

WOOD

PRIMARY WOOD FRAMING MEMBERS SHALL BE NO. 2 PRESSURE TREATED SOUTHERN PINE OR BETTER, UNLESS SPECIFIED DIFFERENTLY ON PLANS.

ALL DECKING SHALL BE NO. 1 GRADE OR BETTER, OR EQUAL DIMENSION COMPOSITE.

ALL DIMENSIONAL LUMBER SHALL COMPLY WITH A.I.T.C. 109-69 SPECIFICATIONS.

IF COMPOSITE DECKING OR GRATING IS SPECIFIED, ATTACHMENT METHOD SHALL BE AS PER MANUFACTURERS RECOMENDATION.

PILE DRIVING NOTES

1. PILE DRIVING OPERATIONS SHALL BE OBSERVED BY A SPECIAL INSPECTOR, INCLUDING TEST PILES IF REQUIRED.
2. PILES SHALL BE DRIVEN USING AN APPROVED CUSHION BLOCK CONSISTING OF MATERIAL SO ARRANGED SO AS TO PROVIDE THE TRANSMISSION OF HAMMER ENERGY.
3. PILES SHALL BE DRIVEN TO REQUIRED CAPACITY, MINIMUM PENETRATION OF 12' INTO FIRM MATERIAL BELOW SILT LAYER OR 6'-0" MIN. INTO ROCK, OR REFUSAL.
4. PILES SHALL BE DRIVEN WITH A VARIATION OF NO MORE THAN 1/4" PER FOOT FROM THE VERTICAL OR FROM THE BATTER LINE INDICATED WITH A MAX VARIATION OF THE HEAD OF THE PILE FROM THE POSITION SHOWN ON THE PLANS OF NO MORE THAN 3".

MINIMUM PENETRATION OF ALL PILES TO BE AS FOLLOWS:

INTO BEDROCK: - 6' MIN

INTO YIELDING MATERIAL: - 10' MIN.

MINIMUM SAFE BEARING: 25 TONS PRECAST CONCRETE PILE 15 TONS TIMBER PILE

HARDWARE BOLTS AND FASTENERS

ALL MISCELLANEOUS STEEL COMPONENTS, BOLTS AND HARDWARE SHALL BE TYPE 316 STAINLESS STEEL.

MISCELLANEOUS

FASTENERS EMBEDDED INTO CONCRETE STRUCTURES SHALL BE ANCHORED WITH TWO PARTY EPOXY ADHESIVE (HILTI, INC HIT-HY 200 ADHESIVE ANCHOR SYSTEM FL#17180). ANCHOR HOLES SHALL BE DRILLED TO 1/8" GREATER THAN THE SPECIFIED FASTENER SIZE. HOLES SHALL BE DRILLED TO MINIMUM DEPTH SHOWN ON PLANS & SHALL BE THOROUGHLY CLEANED OUT AND DRY PRIOR TO INJECTION OF EPOXY.

TURBIDITY BARRIER

FLOATING TURBIDITY BARRIERS SHALL REMAIN IN PLACE DURING ALL PHASES OF IN-WATER WORK. IF SEAGRASSES ARE PRESENT BARRIERS SHALL NOT BE PLACED OVER THEM. FLOATING TURBIDITY BARRIERS SHALL BE INSTALLED IN A MANNER TO PREVENT MANATEE ENTANGLEMENT.

TURBIDITY BARRIERS TO BE MARKED WITH SITE CONTRACTOR'S COMPANY NAME USING PERMANENT MARKINGS NO SMALLER THAN 3" IN HEIGHT.

CONTRACTOR SHALL EMPLOY AND MAINTAIN ADEQUATE SEDIMENT AND EROSION CONTROL MEASURES DURING ALL PHASES OF WORK.

LOADS

WIND LOADS AS CALCULATED BY ASCE 7-10, CATEGORY II STRUCTURE, FOR A WIND LOADING OF 175 MPH, EXPOSURE 'C'.

LIVE LOAD = 60 PSF

DEAD LOAD = 10 PSF

DO NOT SCALE DRAWINGS FOR DIMENSION.



LUIS ROSAS-GUYON
P.E. # 13725
EB-0004035

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REV 1: ADD PILE LENGTH RECOMMENDATION. CORRECT
BOATLIFT MANUFACTURER. 12/1/2018

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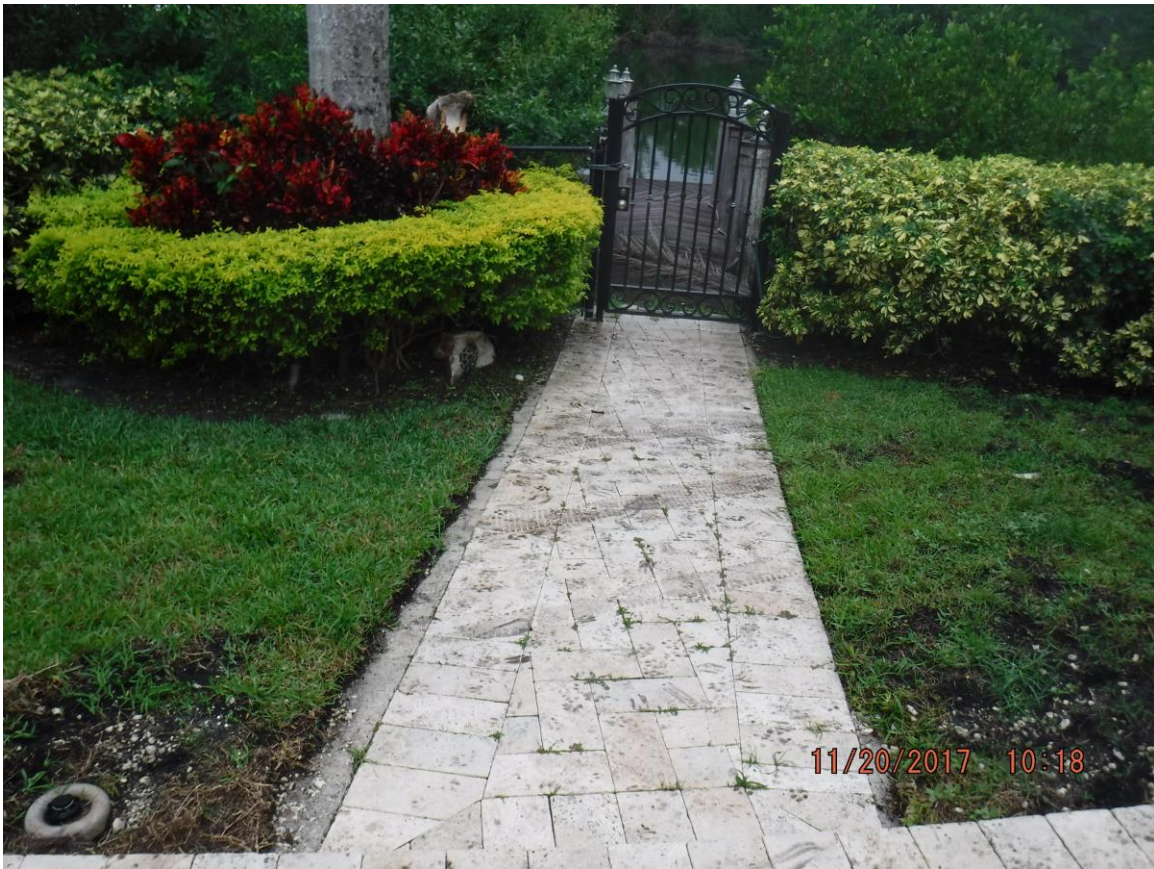


Job name: MENENDEZ RESIDENCE
146 ROSALES COURT
CORAL GABLES, FL
Title: REPLACEMENT OF EXISTING BOAT
DOCK, DOCK EXTENSION, 27K LIFT

OWNER: MANUEL MENENDEZ
FOLIO # 03-4133-001-0050
SECTION 33 TOWN 54S RANGE 41E
COCOPUM SEC 2, PLAT G
PB 134-59 LOT 5 BLK 26
RER FILE # CU-2017-0481
PM: MICHELLE METCALF

sheet no.

S-7
7 of 7

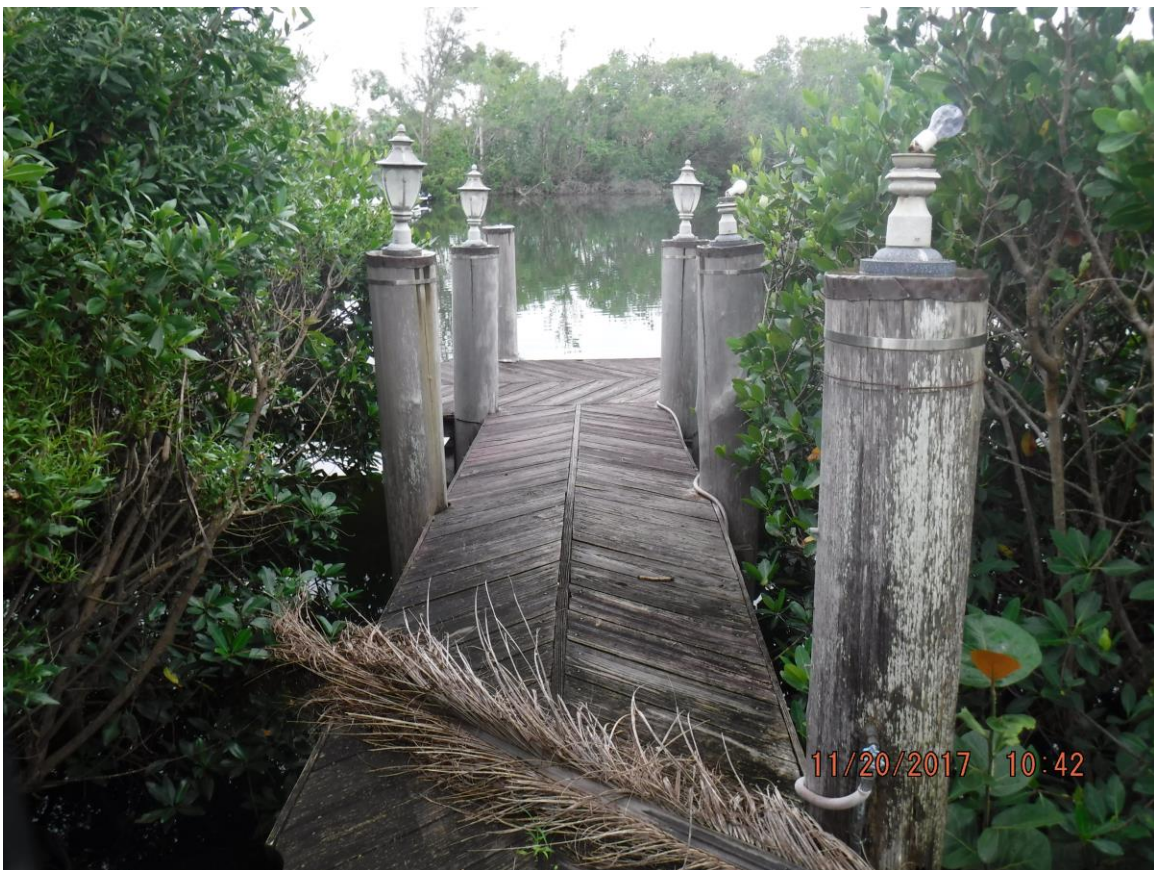


CLI 2017-0481

Name: Menendez

Dates: 11/20/2017 & 12/13/2017

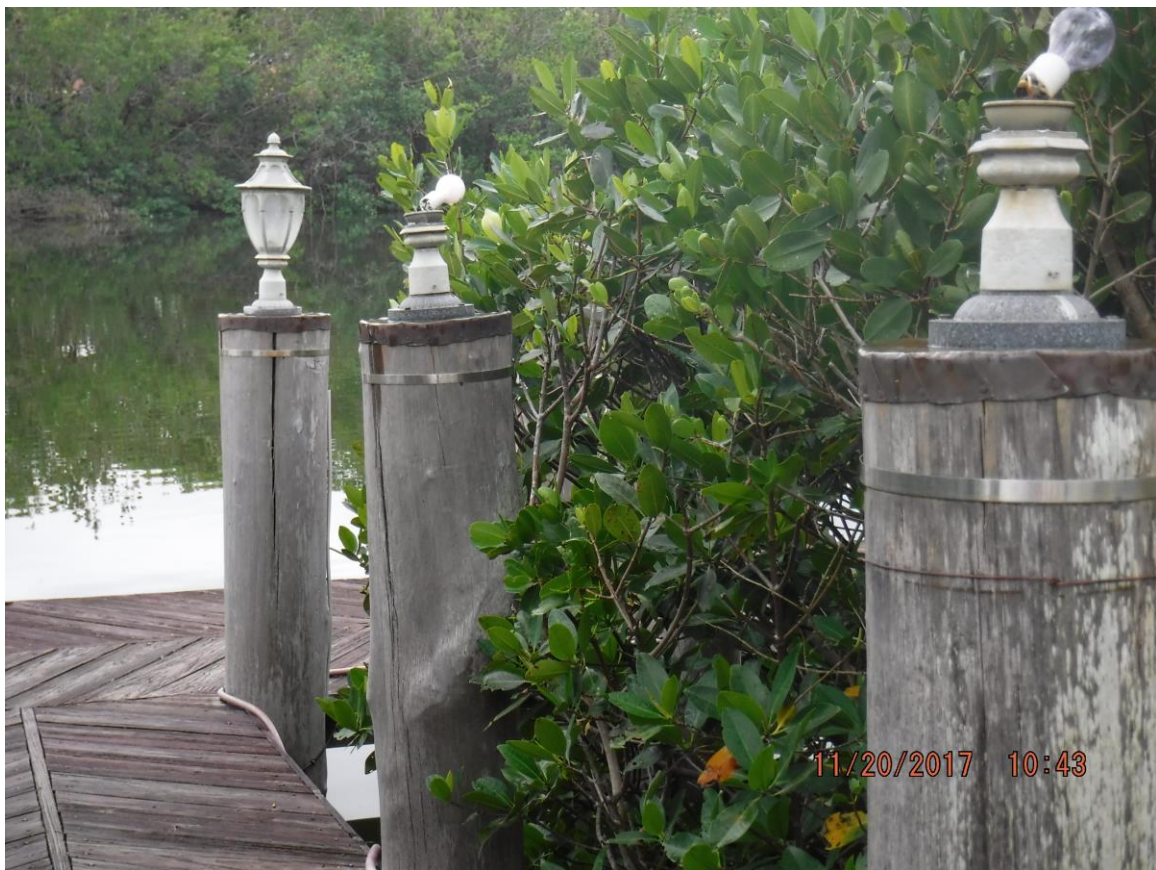




CLI 2017-0481

Name: Menendez

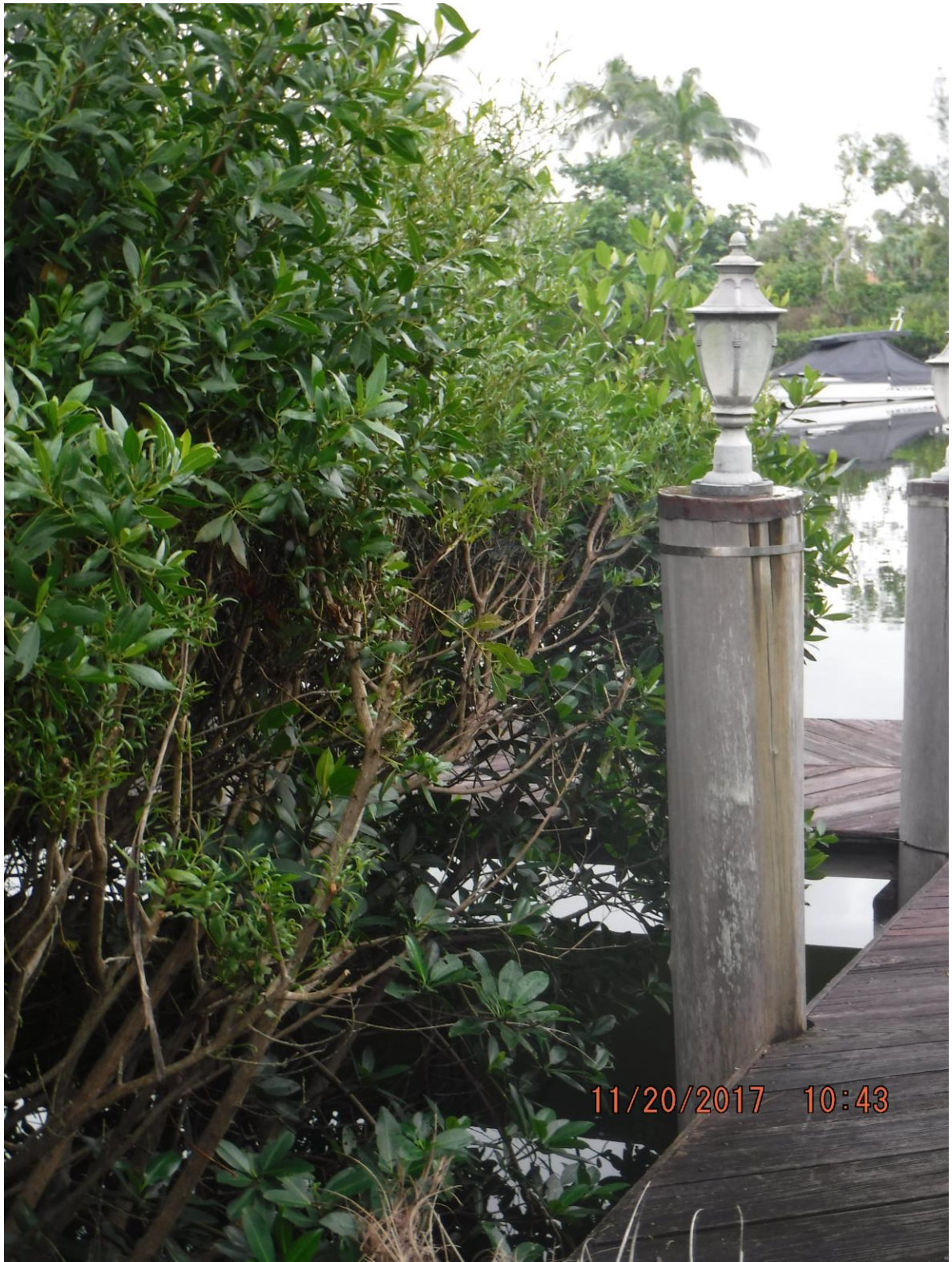
Dates: 11/20/2017 & 12/13/2017



CLI 2017-0481

Name: Menendez

Dates: 11/20/2017 & 12/13/2017



CLI 2017-0481

Name: Menendez

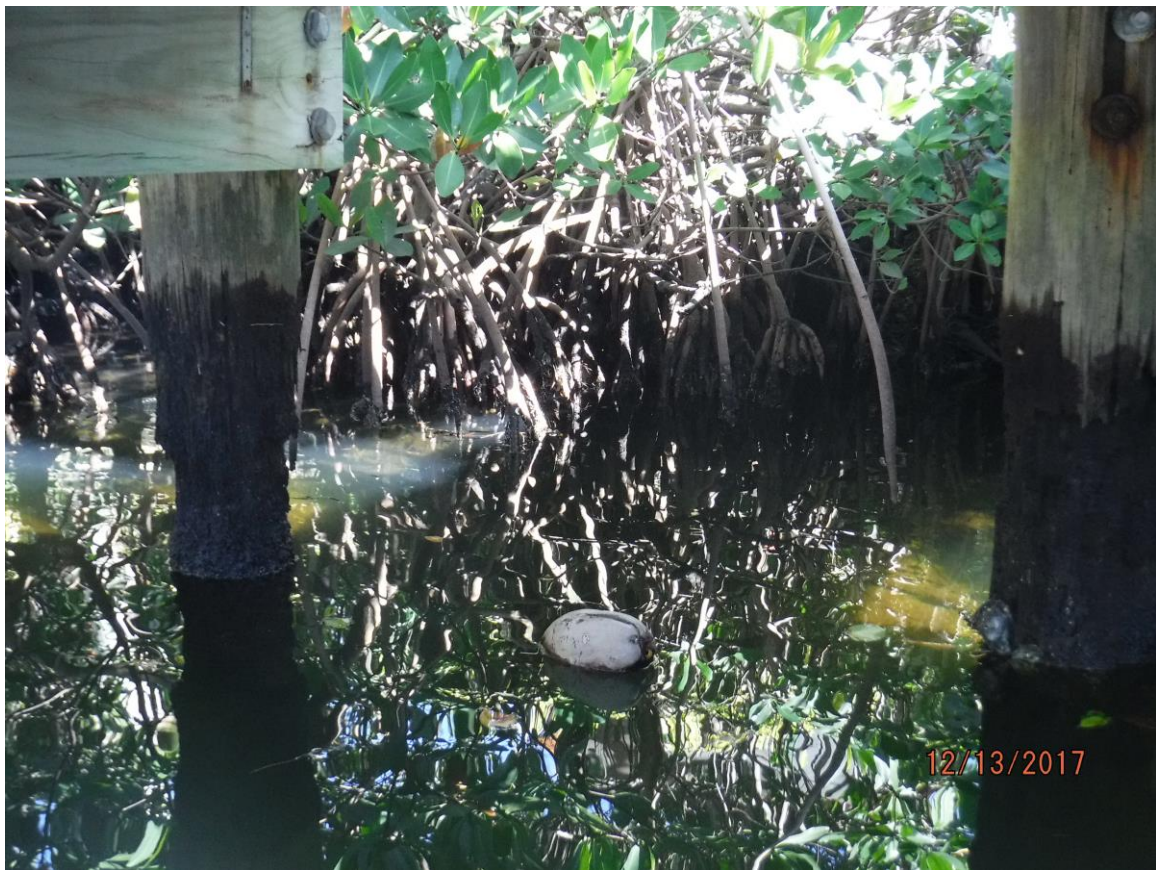
Dates: 11/20/2017 & 12/13/2017



CLI 2017-0481

Name: Menendez

Dates: 11/20/2017 & 12/13/2017



CLI 2017-0481

Name: Menendez

Dates: 11/20/2017 & 12/13/2017



CLI 2017-0481

Name: Menendez

Dates: 11/20/2017 & 12/13/2017





CLI 2017-0481

Name: Menendez

Dates: 11/20/2017 & 12/13/2017



CLI 2017-0481

Name: Menendez

Dates: 11/20/2017 & 12/13/2017





CLI 2017-0481

Name: Menendez

Dates: 11/20/2017 & 12/13/2017



CLI 2017-0481

Name: Menendez

Dates: 11/20/2017 & 12/13/2017



CLI 2017-0481

Name: Menendez

Dates: 11/20/2017 & 12/13/2017



CLI 2017-0481

Name: Menendez

Dates: 11/20/2017 & 12/13/2017



CLI 2017-0481

Name: Menendez

Dates: 11/20/2017 & 12/13/2017



CLI 2017-0481

Name: Menendez

Dates: 11/20/2017 & 12/13/2017



CLI 2017-0481

Name: Menendez

Dates: 11/20/2017 & 12/13/2017



CLI 2017-0481

Name: Menendez

Dates: 11/20/2017 & 12/13/2017



CLI 2017-0481

Name: Menendez

Dates: 11/20/2017 & 12/13/2017



CLI 2017-0481

Name: Menendez

Dates: 11/20/2017 & 12/13/2017



CLI 2017-0481

Name: Menendez

Dates: 11/20/2017 & 12/13/2017



CLI 2017-0481

Name: Menendez

Dates: 11/20/2017 & 12/13/2017





CLI 2017-0481

Name: Menendez

Dates: 11/20/2017 & 12/13/2017



CLI 2017-0481

Name: Menendez

Dates: 11/20/2017 & 12/13/2017



CLI 2017-0481

Name: Menendez

Dates: 11/20/2017 & 12/13/2017



**City of Coral Gables
Development Services Department**

PERMIT INFORMATION 1991-2007

Property Folio Number 41330010050

Property Address 146 ROSALES CT

OPEN CONTROL NUMBER(S)

Control number(s)	Permit Number	Permit Description
-------------------	---------------	--------------------

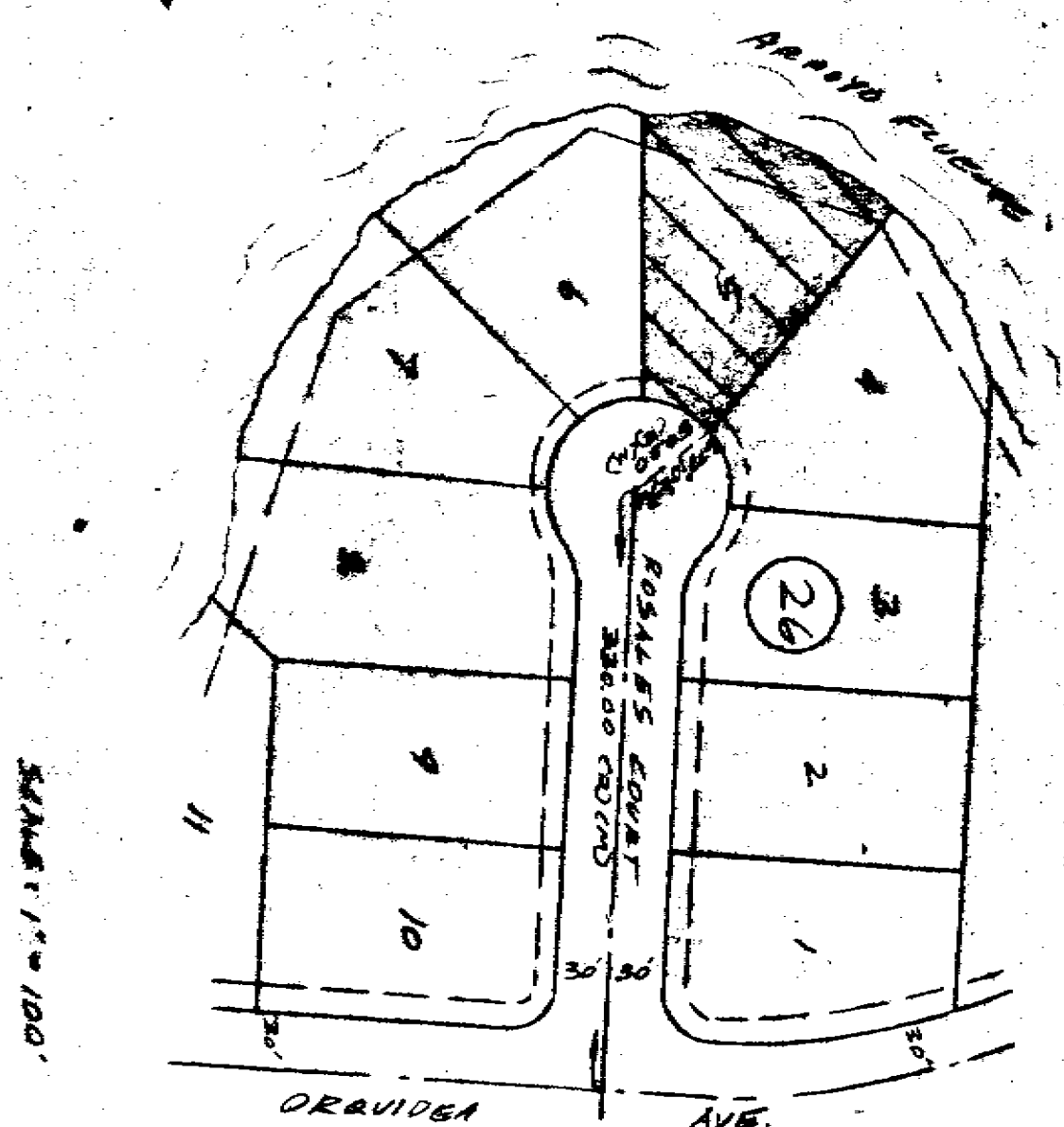
94083353		NEW WOOD DOCK - \$9800
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CLOSED CONTROL NUMBER(S)

Control number(s)	Permit Number	Permit Description
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93123312	94040538	NEW RESIDENCE, COV TERRACE, BALCONY, PAVER DRIVEWAY, POOL DECK.LANDSCAPE, CBS WALL, ALUM FENCE \$400,000
94063338	94060320	Closed by CORALGABLES\canderson on 7/6/2017 3:26:51 PM. CLOSED TEMPORARY FOR CONSTRUCTION.
94063618	94080029	POOL & SPA \$16,000.
94093119	94090107	NEW ROOF \$11,400 ALTUSA TERRACOTTA TILE.
94123106	94120109	BURGLAR ALARM.
95043173	95040167	SPRINKLER SYSTEM.
96023451	96020481	CBS WALL \$15,000.
96023546		AWNING \$1500.
96053319	96050326	INSTALL 5 CCTV CAMERAS, \$2,000.
96103535	96100589	SHUTTERS \$5000.

147120 sales of



SKETCH OF SURVEY. SCALE: 1"=20'

NOTE: The quality of the Reproduction(s)/Digital Image were affected by the poor conditions of the original

THE HUNTER CREEK, that the abovementioned SURVEY at the above described property is correct to the best of our knowledge and belief as recently surveyed under our direction also that there are no valuable encroachments unless shown, and this survey meets Minimum Technical Standards set by the FLORIDA BOARD OF LAND SURVEYORS, as set forth in Chapter 472.027 (F.S.) and Chapter 21 HH 6 of the Florida Administrative Code.

FOR: Angel Arce
ORDER No.: 72-94-101
5-25-87
NOT VALID UNLESS IMPROVED SEAL
REVISED
JOSE A. PEREZ
Professional Land Surveyor No. 2852
STATE OF FLORIDA
FIELD WORK DATE: 7-28-84
" " 5-25-85

This Document Prepared By :

Alvaro Castillo B. Esq.
Alvaro Castillo PA
1390 Brickell Avenue suite 200
Miami Florida 33131
Return to:
Gables Title Services, Inc.
999 Ponce de Leon Boulevard
Suite 100
Coral Gables, FL. 33134

Parcel ID Number: 03-4133-001-0050

Warranty Deed

This Indenture, Made this 13 day of July, 2017 A.D., Between
Vimar Coloca Corporation, a corporation existing under the laws of the State
of **Florida** of the County of **Miami-Dade**, State of **Florida**, grantor, and
Manuel E Menendez and Catherine Menendez, husband and wife whose address is: ~~140~~
~~Resales Ct, Coral Gables, FL 33143~~ of the County of **Miami-Dade**, State of **Florida**, grantees.
***5920 SW 73 Avenue, Miami FL 33143**

Witnesseth that the GRANTOR, for and in consideration of the sum of

-----**TEN DOLLARS (\$10)**----- DOLLARS,

and other good and valuable consideration to GRANTOR in hand paid by GRANTEES, the receipt whereof is hereby acknowledged, has
granted, bargained and sold to the said GRANTEES and GRANTEES' heirs, successors and assigns forever, the following described land,
situate, lying and being in the County of **Miami-Dade** State of **Florida** to wit:

Lot 5, Block 26, Cocoplum Section Two "Plat G", according to the Plat thereof
as recorded in Plat Book 134, Page 59, of the Public Records of Miami-Dade
County, Florida.

Subject to: taxes for the year 2017 and subsequent years, conditions,
restrictions, limitations, and zoning ordinances of record, if any.

and the grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantor has hereunto set its hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:


Vimar Coloca Corporation, a Florida
Corporation


By:  (Seal)

Omar Vivas, Secretary
P.O. Address: 8300 NW 53 Street Suite 350, Miami, FL 33166

By:  (Seal)

Lualibet Riera, President
P.O. Address: 8300 NW 53 Street Suite 350, Miami, FL 33166


Printed Name: Dry Vivas
Witness


Printed Name: E. Paracchini
Witness

(Corporate Seal)

STATE OF Florida
COUNTY OF Miami-Dade

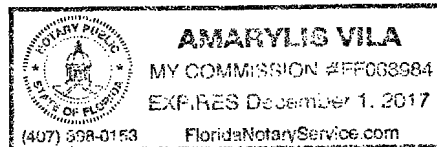
The foregoing instrument was acknowledged before me this 13 day of **July, 2017** by
Omar Vivas, Secretary and Lualibet Riera, President of Vimar Coloca
Corporation, a Florida Corporation, on behalf of the corporation
who are personally known to me or who have produced their
as identification. passport.

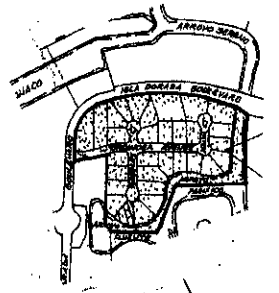
A. Vila

Printed Name: _____

Notary Public

My Commission Expires: / /





LOCATION SYSTEM NOT TO SCALE

POSITIVE COURT

LEGAL DESCRIPTION

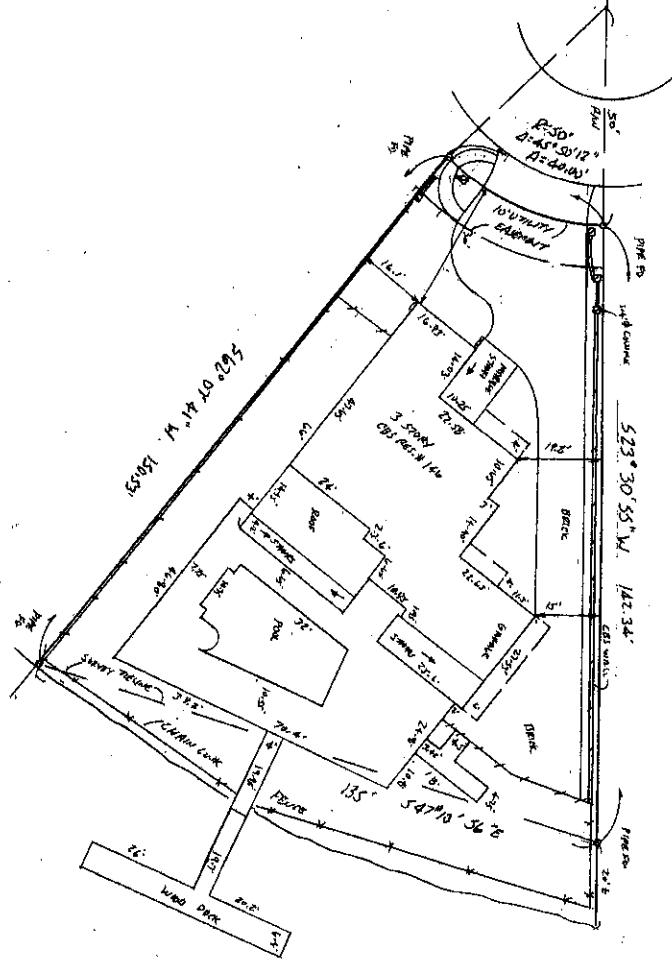
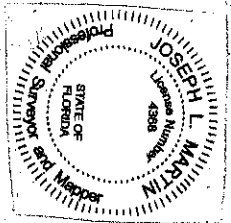
Lot 5 in Block 26 of COCONUT SECTION TWO PLAT "G", according to the plat thereof, as recorded in Plat Book 134 at Page 59 of the Public Records of Miami Dade County, Florida.

SURVEYOR'S NOTES:

- 1). Legal description provided by client.
- 2). Bearings are referenced to record plat.
- 3). Right of way information obtained from record plat.
- 4). Only record plat easements are shown.

CERTIFIED NO:

Manuel Menendez & Catherine Menendez
 Biocyte Bank, ISM/ATM
 Gasco Title Services, LLC
 Old Republic National Title Insurance Company



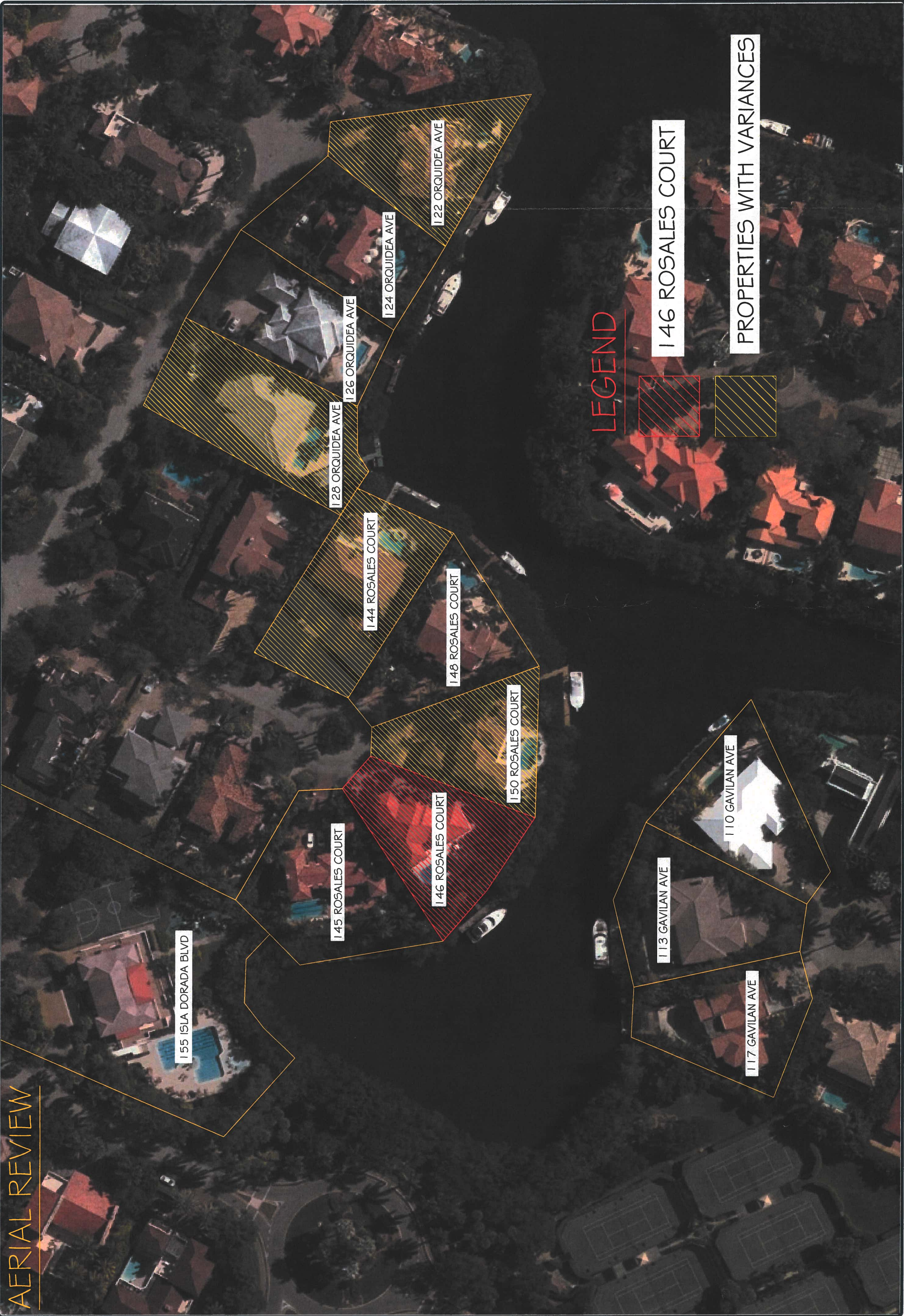
SURVEYOR'S CERTIFICATE NOTE: "NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL." I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS ADOPTED BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 32-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

BY: Joseph L. Martin
 Professional Land Surveyor #4366
 State of Florida

COUNTY-WIDE LAND SURVEYORS, INC.
 LAND SURVEYORS - PLANNERS
 P.O. BOX 823271 South Florida, FL 33082-3271 (305) 772-0768

FOR: MANUEL & CATHERINE MENENDEZ	
DATE: 6-21-2017	APPROVED BY: [Signature]
BOUNDARY & IMPROVEMENTS SURVEY	
140 POSITIVE COURT, CORAL GABLES, FL 33134	DRAWING NUMBER: [Blank]

AERIAL REVIEW



A-1

sheet no.

OWNER: MANUEL MENENDEZ
FOLIO # 03-4133-001-0050
SECTION 33 TWN 54S RANGE 41E
COCOPULUM SEC 2, PLAT G
PB 134-59 LOT 5 BLK 26
RFR FILE # CU-2017-0481
FM: MICHELLE METCALF

job name: MENENDEZ RESIDENCE
146 ROSALES COURT
CORAL GABLES, FL
title: AERIAL REVIEW OF
SURROUNDING PROPERTIES

TRIDENT ENVIRONMENTAL
marine design and permitting
1850 SW 8TH STREET
SUITE 208A
MIAMI, FL 33135
305-244-0595
blb@tridentenv.com
www.tridentenv.com



Request for Variance at 146 Rosales Court, Coral Gables Review of Docks at Neighboring Properties

Of the 10 properties identified in the North side of Arroyo Fluente (the waterway side with a substantial mangrove fringe) four were found to have docks which required issuance of a variance by City of Coral Gables Board of Adjustment. See issued variances below.

122 Orquidea Ave Coral Gables, Fl
Dock extending 15' into waterway vs. 10' allowed by Code.
Res. No. 3165-28 1/6/1992

ZONING APPROVAL	
This permit requires the following variances to the Zoning Code of the City of Coral Gables.	
1	1
2	2
3	3
4	4
5	5
6	6
7	7
8	8
9	9
10	10
Approved by RES. NO. 3165-28 1/6/1992	
Unless permit is taken up on or before 8/20/93	
This above variance (s) becomes void and of no effect	
8/20/92	

5. Grant a variance allowing the proposed dock to extend fifteen (15'0") feet into the waterway from the property line vs. the proposed dock extending ten (10'0") feet into the waterway from the property line, as provided by Section 4-21 (a) 1.e of the "Zoning Code".

128 Orquidea Ave Coral Gables, FL

Dock extending 18'-6" into waterway vs. 10' allowed by Code.

Res. No. 4049-28 12/4/1995

ZONING APPROVAL

This plan requires the following variance(s) to the Zoning Code of the City of Coral Gables.

1. Grant a variance request to allow the proposed dock to extend outward into the waterway approximately eighteen feet six inches (18'6") as measured from the property line as platted, vs. the proposed dock to extend outward into the waterway a maximum of ten feet (10'0") as measured from the property line as platted and as provided by Section 4-21 (a) e of the "Zoning Code".

Approved by RES. NO. 4049-28 12/4/95
Unless a permit is taken out on or before 6/18/96
The above variance(s) becomes void and of no effect

Joseph L. King 11/2/96

144 Rosales Court
Coral Gables, FL
Dock extending 15' into waterway vs. 10' allowed by Code.
Res. No. 4343-28 1/2/2001

APPLICATION
NUMBER: 8254 -Z
BOARD OF ADJUSTMENT
HEARING DATE: 1/2/01

ZONING APPROVAL	
This plan required the following variance(s) to the zoning code of the City of Coral Gables.	
<u>See below</u>	
Approved by RES. NO. <u>4343-ZB</u> <u>01/21/01</u>	
Unless a permit is taken out on or before <u>7/1/01</u>	
The above variance(s) becomes void and of no effect	
<u>A. Blanco</u>	<u>1/21/01</u>

The Board of Adjustment at its regular hearing held on January 2, 2001, passed and adopted Resolution No. 4343-ZB approving the following variance for captioned subject to the applicant placing the dock as close to the mangroves as possible, all as outlined under the Applicant's Proposal as follows:

1. Grant a variance allowing the proposed dock to extend fifteen (15'-0") feet from the property line vs. the proposed dock not to extend out from the property line more than ten feet (10'-0") as provided by Section 4-23(a)(1)(e) of the "Zoning Code."

150 Rosales Court
Coral Gables, FL
Dock extending 25' into waterway vs. 15' allowed by Code.
Res. No. 4113-28 11/4/1996

8046-2

ZONING APPROVAL
This plan requires the following variances to
the Zoning Code of the City of Coral Gables.

1. Grant a variance request to allow the proposed dock to extend outward into the waterway a maximum of approximately twenty five feet (25'0") as measured from the property line, vs. the proposed dock to extend outward into the waterway a maximum of approximately fifteen feet (15'0"), as provided by Section 4-21 (3) B of the "Zoning Code".

Approved by RES. NO. <u>4113-28</u>	<u>11/4/96</u>
Unless a permit is taken out on or before <u>1/1</u>	
The above variance request becomes void and of no effect	
<u>Joseph Z. Ky</u>	<u>12/5/96</u>

note conditions below

- a) Approval of final construction plans for the dock by the Public Works Department.
- b) Subject to the dock being constructed as close to the bank as DERM will allow.
- c) Subject to in no event is the dock to be constructed more than twenty five feet (25'0") from the property line.
- d) That a minimum of seventy five feet (75'0") of unobstructed passageway be maintained at the waterway.
- e) *Subject to letter from DERM that this is an obligation on my part.*



**CITY OF CORAL GABLES
LOBBYIST
ISSUE APPLICATION**

REGISTRATION #: _____

HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?

CITY OFFICIALS: Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager(s), Deputy/Assistant City Attorney(s), Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors, Board/Committee Members, or any City Official or staff.

FOR THIS PURPOSE: To encourage the passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of any Board, Committee or City Official.

IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST AND TO FILE THE FOLLOWING INFORMATION, UNDER OATH, WITH THE CITY CLERK FOR EACH ISSUE ADDRESSED. ISSUE FEE: NO CHARGE, PROVIDING YOU HAVE A CURRENT ANNUAL LOBBYIST REGISTRATION DOCUMENT ON FILE.

Print Your Name and Email Address: _____
LOBBYIST / EMAIL ADDRESS

Print Your Business Name: _____

Business Telephone Number: _____

Business Address: _____
ADDRESS CITY, STATE ZIP CODE

Corporation, Partnership, or Trust Represented:

Principal Name: _____

Principal Address: _____ Telephone Number: _____

ISSUE: Describe in detail, including address, if applicable, of the specific issue on which you will lobby: **(Separate Application is required for each specific issue)**

I _____ hereby swear or affirm under penalty of per-
jury that all the facts contained in this Application are true and that I am aware
that these requirements are in compliance with the provisions of the City of Coral
Gables Ordinance No. 2006-11 (06/06/2006); Ordinance No. 2017-44
(12/05/2017); governing Lobbying.

Signature of Lobbyist

Date

STATE OF FLORIDA)
)
COUNTY OF MIAMI-)
DADE

BEFORE ME personally appeared _____ to me well known and known to me to be the person
described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said in-
strument for the purposes therein expressed.

WITNESS my Hand and Official Seal this _____.

_____ Personally Known

_____ Produced ID

Notary Public
State of Florida

For Office Use Only

Data Entry Date: _____, 20____.

Entered By: _____

Annual Fees Waived for Not-for-Profit Organizations (documentary proof attached.) _____

FL ID #: _____



**CITY OF CORAL GABLES
LOBBYIST ANNUAL REGISTRATION APPLICATION
FOR EACH PRINCIPAL REPRESENTED**

REGISTRATION #: _____

HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?

CITY OFFICIALS: Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager(s), Deputy/Assistant City Attorney(s), Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors Board, Committee Members, or any other City Official or staff.

FOR THIS PURPOSE: To encourage the approval, disapproval, adoption, repeal, passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of the City Commission, any Board, Committee or City Official.

IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST:

Print Your Name and Email Address: _____ / _____
LOBBYIST EMAIL ADDRESS

Print Your Business Name, if applicable: _____

Business Telephone Number: _____

Business Address _____
ADDRESS CITY, STATE ZIP CODE

Federal ID#: _____

State the extent of any business or professional relationship you have with any current member of the City Commission.

PRINCIPAL REPRESENTED:

NAME _____ **COMPANY NAME, IF APPLICABLE** _____

BUSINESS ADDRESS _____ **TELEPHONE NO.:** _____

ANNUAL REPORT: On October 1st of each year, you are required to submit to the City Clerk a signed statement under oath listing all lobbying expenditures in excess of \$25.00 for the preceding calendar year. A statement is **not** required to be filed if there were no expenditures.

LOBBYIST ISSUE APPLICATION: Prior to lobbying for a specific issue, you are required to fill out a Lobbyist Issue Application form with the Office of the City Clerk; stating under oath, your name, business address, the name of each principal who employed you to lobby, and the specific issue on which you wish to lobby.

NOTICE OF WITHDRAWAL: If you discontinue representing a particular client, a notice of withdrawal is required to be filed with the City Clerk.

ANNUAL LOBBYIST REGISTRATION FEE: This Registration must be on file in the Office of the City Clerk prior to The filing of an Issue Application to lobby on a specific issue, and payment of a \$250.00 Lobbyist Registration Fee is required.

I _____ hereby swear or affirm under penalty of per-
jury that I have read the provisions of the City of Coral Gables Ordinance 2006-
11, governing Lobbying and that all of the facts contained in this Registration
Application are true and that I agree to pay the \$250.00 Annual Lobbyist Regis-
tration Fee.

Signature of Lobbyist

STATE OF FLORIDA)
)
COUNTY OF MIAMI-)
DADE

BEFORE ME personally appeared _____ to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said instrument for the purposes therein expressed.

WITNESS my Hand and Official Seal this _____.

_____ Personally Known

_____ Produced ID

Notary Public
State of Florida

\$250.00 Fee Paid _____

Received By _____ Date: _____

Fee Waived for Not-for-Profit Organizations (documentary proof attached.) _____ FL. ID#: _____

For Office Use Only

Data Entry Date: _____, 20____.

Entered By: _____