



PLANNING & ZONING APPLICATION

SEPTEMBER 10, 2018

GABLES CREST PREPARATORY

2000 Ponce de Leon Blvd.

5th and 6th Floors

Coral Gables, Florida 33134

A passion to learn . . . the creativity to invent . . . the courage to take action

GABLES CREST PREPARATORY

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Law Office
of
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Email: Laura@LauraRussoLaw.com

September 5, 2018

Mr. Ramon Trias
Planning & Zoning Director
427 Biltmore Way, 2nd Floor
Coral Gables, Florida 33134

Re: Eads – Gables Crest Preparatory
File No.: 17L-125

Dear Mr. Trias,

I represent Dr. Linda Eads, the founder of Gables Crest Preparatory.

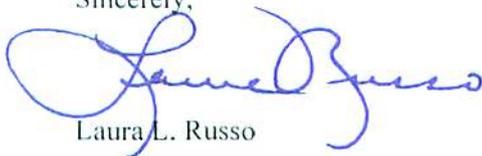
Dr. Eads, founder of the original MAST Academy in Key Biscayne, is recognized by the United States Department of Education and Florida Department of Education among other national organizations, for her leadership and insightfulness resulting in MAST Academy becoming a national senior high school model, and a USDOE Blue Ribbon School of Excellent. Linda Eads now seeks to develop an innovative college bound boutique secondary school serving students in grades 6 through 12 in downtown Coral Gables.

She identified a commercial building on Ponce de Leon Blvd. with two floors available to her to start the school. Over the next few years, her goal is to occupy the entire building that includes the first and seventh floors. The building has sufficient parking (floors 2, 3 and 4) to address the Zoning Code's requirement, and the school's needs when the school is at full capacity, which is over an eight-year period. The first floor of parking will also serve as the internal drop off & pick up location after year 3.

Dr. Eads prepared a comprehensive summary of the school's operation and anticipated growth that is included with the application.

Should you have any questions, or need additional information, please do not hesitate to contact me. We look forward to presenting this project to the Planning & Zoning Board.

Sincerely,



Laura L. Russo

LLR/jp

**GABLES CREST PREPARATORY
PLANNING & ZONING PRESENTATION
SEPTEMBER 10, 2019**

DESCRIPTION

Gables Crest Preparatory, referred to as “The Crest,” is a college bound boutique private secondary school ultimately serving 448 students in grades 6 through 12 with curriculum focused on music and entertainment technology and STEM (science, technology, engineering, and mathematics). Students enroll in core, foundation, and elective courses infused with entrepreneurship and career education. Skills are strengthened by practical application and knowledge expanded in diverse learning environments within the community.

OVERVIEW

The Crest is a themed school appealing to students who seek college studies and career opportunities in the media and entertainment industry. The M & E Industry is expected to surpass \$18 billion in 2020. Related careers include music production and recording, digital technologies, gaming design, virtual and augmented reality, and publishing. STEM is included in all of the M & E Industry.

The teacher student ratio at Crest is 1:15, with 65 students per grade level for a total of 448 students in the total school over an 8-year period. Students/families make choices. They will choose their major in the 10th grade:

- Music Production Technology & Entrepreneurship
- Game Innovation Design & Entrepreneurship
- Business of Communication
- Business of Science

and also choose a plan for graduation:

- Four-year high school diploma and an AA Degree
- Four-year high school diploma
- Three-year high school diploma

Diplomas will be noted with: Superlative, Exemplary or with Distinction

Middle school students earn 21 credits. Senior high school students earn 30 credits to graduate, which is 6 credits more than required by the State of Florida. Universities will view “The Crest” among the high expectation schools.

There will be athletics, but none on the site, and varied student activities including a student run Jazz Club! Students wear uniforms and eat on campus. Arrival and dismissal times will be supervised.

Scholarships are available based on merit and need. Discounts are available for families with more than one child at the school. A corporate plan through scholarships encourages corporations to move to the City of Coral Gables by providing reserved seats for qualifying employee’s children. Additionally, the first ten students accepted will receive “The Mustard Seed” 10% discount until graduation. As well, children of City of Coral Gables employees will also be considered for discounts.

TRANSPORTATION OPTIONS

Students and staff may choose from the following transportation options:

- Metrorail links with the City Trolley
- Trolley from within City locations, stops in front of the school
- Parent/family drop off in designated drop off zone
- Car pool and van pool drop off
- Bike routes linked with the City’s new biking plan
- Drive to school (adequate parking for students and staff)

PROJECTED STUDENT ENROLLMENT BY YEAR AND GRADES

2019-2020	80 students	Grades 6-9	9 teachers
2020-2021	167 students	Grades 6-10	13 teachers
2021-2022	211 students	Grades 6-11	16 teachers
2022-2023	278 students	Grades 6-12	20 teachers
2023-2024	330 students	Grades 6-12	23 teachers
2024-2025	390 students	Grades 6-12	26 teachers
2025-2026	425 students	Grades 6-12	28 teachers
2026-2027	448 students	Grades 6-12	30 teachers

Student Driver Policy

Although a student may be of the legal age to drive, the school policy is the student must earn the privilege to drive to school. Grades, behavior, attendance, and extenuating circumstances will be taken into consideration before granting a student a parking garage permit. Students who are permitted to drive must pay the going rate for parking directly to the building operator as assessed by the building.

PARKING

There are 99 parking spaces and the school will maximize use at approximately 82 spaces.

PROJECTED SCHOOL OPERATIONAL HOURS

7:30 am	Building opens, custodian arrives
7:45 am	Director of Security and School Receptionist arrive
8:15 am	Middle School faculty, administration, office staff Arrive
8:30 am	Middle School student classes begin
8:45 am	Senior High faculty arrive
9:00 am	Senior High student classes begin
3:30 pm	Middle School student dismissal (under supervision)
3:45 pm	Middle School faculty depart
4:15 pm	Senior High school student dismissal (under supervision) Director of Security departs
4:30 pm	Senior High faculty depart
4:00-6:00 pm	Afterschool programs conducted
6:00 pm	Building closes



City of Coral Gables Planning Division Application

305.460.5211

planning@coralgables.com

www.coralgables.com

Application request

The undersigned applicant(s)/agent(s)/property owner(s) request City of Coral Gables consideration and review of the following application(s) (please check all that apply):

- Abandonment and Vacations
- Annexation
- Coral Gables Mediterranean Architectural Design Special Locational Site Plan
- Comprehensive Plan Map Amendment - Small Scale
- Comprehensive Plan Map Amendment - Large Scale
- Comprehensive Plan Text Amendment
- Conditional Use - Administrative Review
- Conditional Use without Site Plan
- Conditional Use with Site Plan
- Development Agreement
- Development of Regional Impact
- Development of Regional Impact - Notice of Proposed Change
- Mixed Use Site Plan
- Planned Area Development Designation and Site Plan
- Planned Area Development Major Amendment
- Restrictive Covenants and/or Easements
- Site Plan
- Separation/Establishment of a Building Site
- Subdivision Review for a Tentative Plat and Variance
- Transfer of Development Rights Receiving Site Plan
- University Campus District Modification to the Adopted Campus Master Plan
- Zoning Code Map Amendment
- Zoning Code Text Amendment
- Other: _____

General information

Street address of the subject property: 2000 Ponce de Leon Blvd.

Property/project name: Gables Crest Preparatory

Legal description: Lot(s) Lots 17-24, inclusive

Block(s) 17 Section (s) Coral Gables Section "K"

Property owner(s): 2000 Ponce de Leon Square, Inc.

Property owner(s) mailing address: 2000 Ponce de Leon Blvd., Suite 600, Coral Gables, FL 33134

Telephone: Business 305-443-1414 Fax 305-443-1603

Other _____ Email CSilvestre @ 2000pbc.com



City of Coral Gables Planning Division Application

Applicant(s)/agent(s): Laura L. Russo, Esq.

Applicant(s)/agent(s) mailing address: 2655 Le Jeune Road, Suite PH 1-F, Coral Gables, Florida 33134

Telephone: Business 305-476-8300 Fax 305-476-8383

Other Cell: 305-801-9002 Email Laura @ Laurarussolaw.com

Property information

Current land use classification(s): Commercial

Current zoning classification(s): Commercial

Proposed land use classification(s) (if applicable): Same

Proposed zoning classification(s) (if applicable): Same

Supporting information (to be completed by Planning Staff)

A Preapplication Conference is required with the Planning Division in advance of application submittal to determine the information necessary to be filed with the application(s). Please refer to the Planning Division Development Review Process Handbook, Section 3.0, for an explanation of each item. If necessary, attach additional sheets to application. The Planning Division reserves the right to request additional information as necessary throughout the entire review process.

- Aerial.
- Affidavit providing for property owner's authorization to process application.
- Annexation supporting materials.
- Application fees.
- Application representation and contact information.
- Appraisal.
- Architectural/building elevations.
- Building floor plans.
- Comprehensive Plan text amendment justification.
- Comprehensive Plan analysis.
- Concurrency impact statement.
- Encroachments plan.
- Environmental assessment.
- Historic contextual study and/or historical significance determination.
- Landscape plan.
- Lighting plan.
- Massing model and/or 3D computer model.
- City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- Parking study.
- Photographs of property, adjacent uses and/or streetscape.
- Plat.
- Property survey and legal description.



City of Coral Gables Planning Division Application

- Property survey and legal description.
- Public Realm Improvements Plan for mixed use projects.
- Public school preliminary concurrency analysis (residential land use/zoning applications only).
- Sign master plan.
- Site plan and supporting information.
- Statement of use and/or cover letter.
- Streetscape master plan.
- Traffic accumulation assessment.
- Traffic impact statement.
- Traffic impact study.
- Traffic stacking analysis.
- Utilities consent.
- Utilities location plan.
- Vegetation survey.
- Video of the subject property.
- Warranty Deed.
- Zoning Analysis (Preliminary).
- Zoning Code text amendment justification.
- Other: Preliminary Traffic Site Assessment for School location

Application submittal requirements

1. Hard copies. The number of application binders to be submitted shall be determined by Staff at the preapplication meeting. The application shall include all the items identified in the preapplication meeting.
2. Digital media copy. One (1) thumb-drive of the entire application including all items identified in the Preapplication Conference. Each document shall be separated into PDF files (i.e., application; site plan, landscape plan; etc.). Please include a "Table of Contents" identifying all PDF file name(s). Each PDF file size shall not exceed 10 MB.

Applicant/agent/property owner affirmation and consent

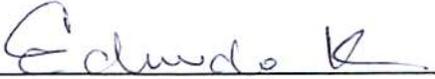
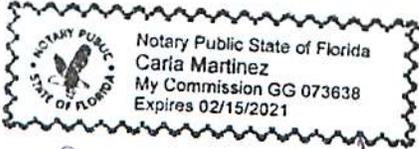
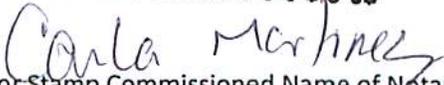
(I) (We) affirm and certify to all of the following:

1. Submission of the following:
 - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request;
or
 - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.



City of Coral Gables Planning Division Application

5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. Additional costs in addition to the application fees may be assessed associated with the review of applications by the City. These are costs that may be incurred by the applicant due to consultant fees paid by City to review the application. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; traffic impact analyses; vegetation/environmental assessments; archeological/historic assessments; market studies; engineering studies or reports; and legal fees. Such fees will be assessed upon finalization of the City application review.

Property owner(s) signature(s):  Edmundo J. Kronfle, President	Property owner(s) print name: Edmundo Kronfle 2000 Ponce de Leon Square, Inc.
Property owner(s) signature(s):	Property owner(s) print name:
Property owner(s) signature(s):	Property owner(s) print name:
Address: 2000 Ponce de Leon Blvd., Suite 600 Coral Gables, Florida 33134	
Telephone: 305-443-1414	Fax: 305-443-1603
Email: c.silvestre@2000pbc.com	
NOTARIZATION	
STATE OF FLORIDA/COUNTY OF	
The foregoing instrument was acknowledged before me this <u>13</u> day of <u>August</u> by <u>Edmundo Kronfle</u>	
(Signature of Notary Public - State of Florida)	
	
 (Print, Type or Stamp Commissioned Name of Notary Public)	
<input checked="" type="checkbox"/> Personally Known OR <input type="checkbox"/> Produced Identification; Type of Identification Produced _____	



City of Coral Gables Planning Division Application

Contract Purchaser(s) Signature:	Contract Purchaser(s) Print Name:
Contract Purchaser(s) Signature:	Contract Purchaser(s) Print Name:

Address:

Telephone:	Fax:	Email:
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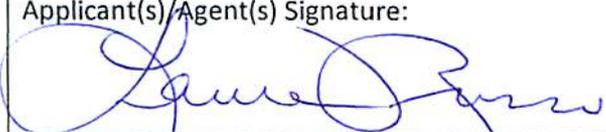
NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this _____ day of _____ by _____
(Signature of Notary Public - State of Florida)

(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced _____

Applicant(s)/Agent(s) Signature: 	Applicant(s)/Agent(s) Print Name: Laura L. Russo
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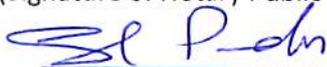
Address: 2655 Le Jeune Road, Suite PH 1-F
Coral Gables, Florida 33134

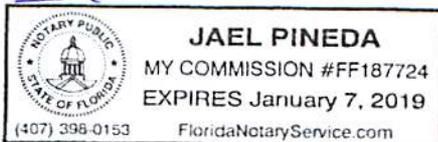
Telephone: 305-476-8300	Fax: 305-476-8383	Email: Laura@Laurarussolaw.com
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NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 13th day of Aug. 2018 by Laura L. Russo
(Signature of Notary Public - State of Florida)





(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced _____

APPLICATION REPRESENTATION

APPLICANT:

Linda J. Eads, Ed.D
900 Biscayne Blvd., #5106
Miami, Florida 33132
Tel: 305-496-3237
Email: lindajeads@me.com

ARCHITECT:

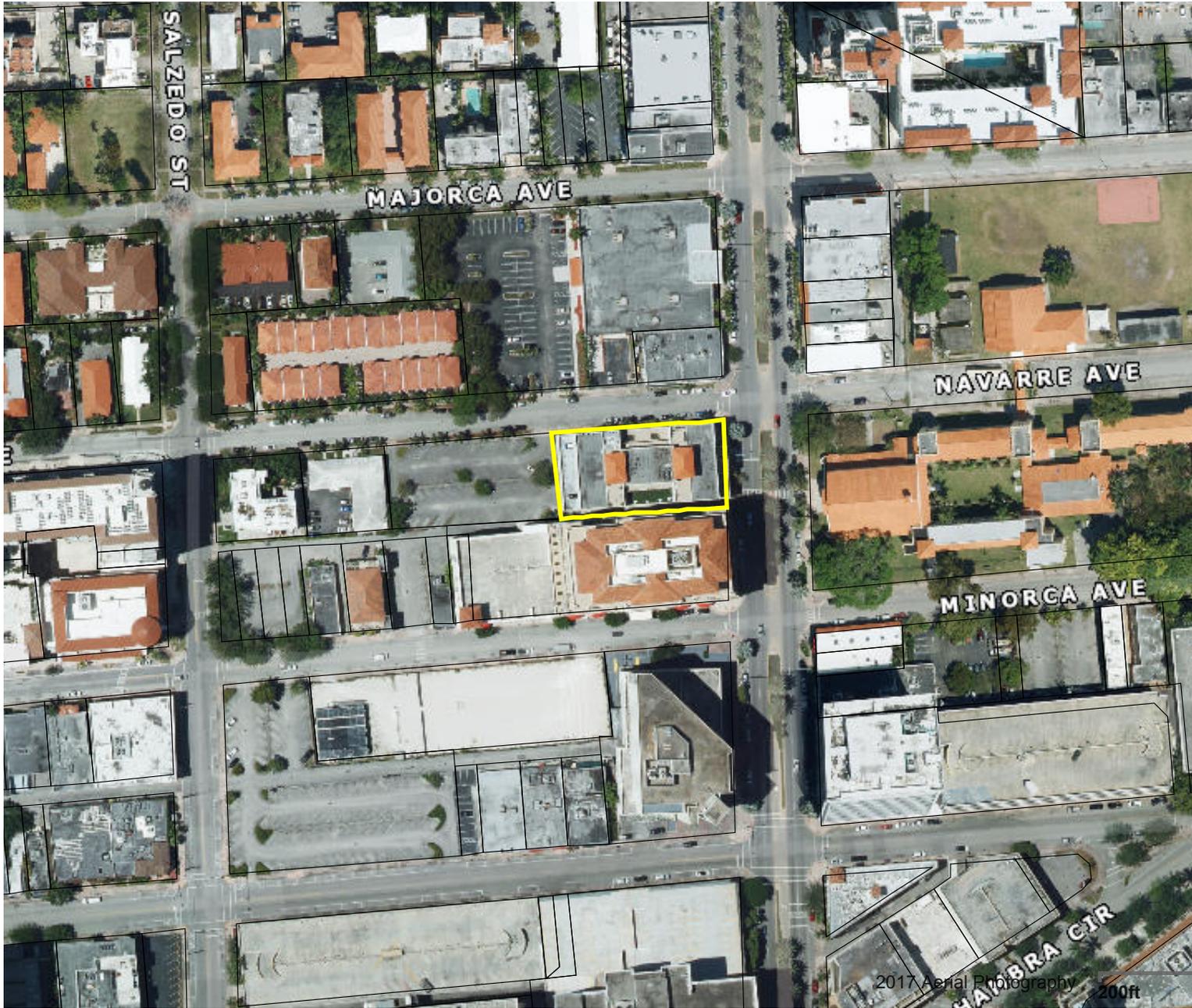
Agustin Barrera
Bermello Ajamil & Partners, Inc.
2601 S. Bayshore Drive, Suite 1000
Miami, Florida 33133
Tel: 305-859-2050
Email: abarrera@bermelloajamil.com

TRAFFIC ENGINEER:

Timothy J. Plummer, PE
David Plummer & Associates
1750 Ponce de Leon Boulevard
Coral Gables, Florida 33134
Tel: 305-447-0900
Email: tim.plummer@dplummer.com

ATTORNEY:

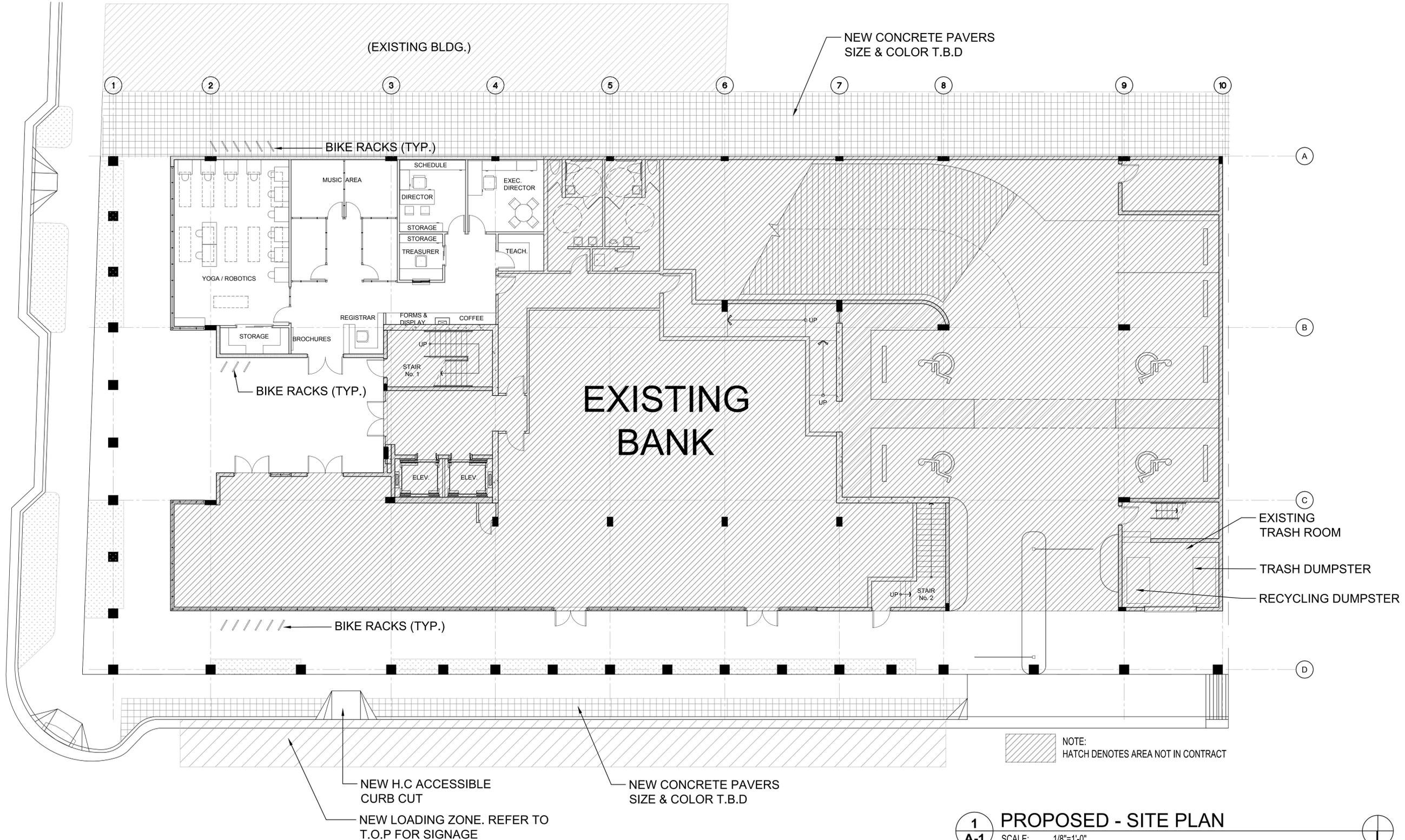
Laura L. Russo, Esq.
Laura L. Russo, Esq., LLC
2655 LeJeune Road, Suite PH 2-B
Coral Gables, Florida 33134
Tel: (305) 476-8300
Fax: (305) 476-8383
Email: Laura@Laurarussolaw.com



Property Information	
Address:	2000 Ponce de Leon Blvd.
Property Size:	19,745 square feet
Total Square Footage of Building:	34,610 square feet
Legal Description:	Lots 17- 24 inclusive, Block 17, Coral Gables Section K, PB 8/33
Current land use:	Commercial High Rise Intensity
Current zoning designation:	Commercial District
Existing Use:	Office building
Proposed Use:	Office building & School initially - eventually all School

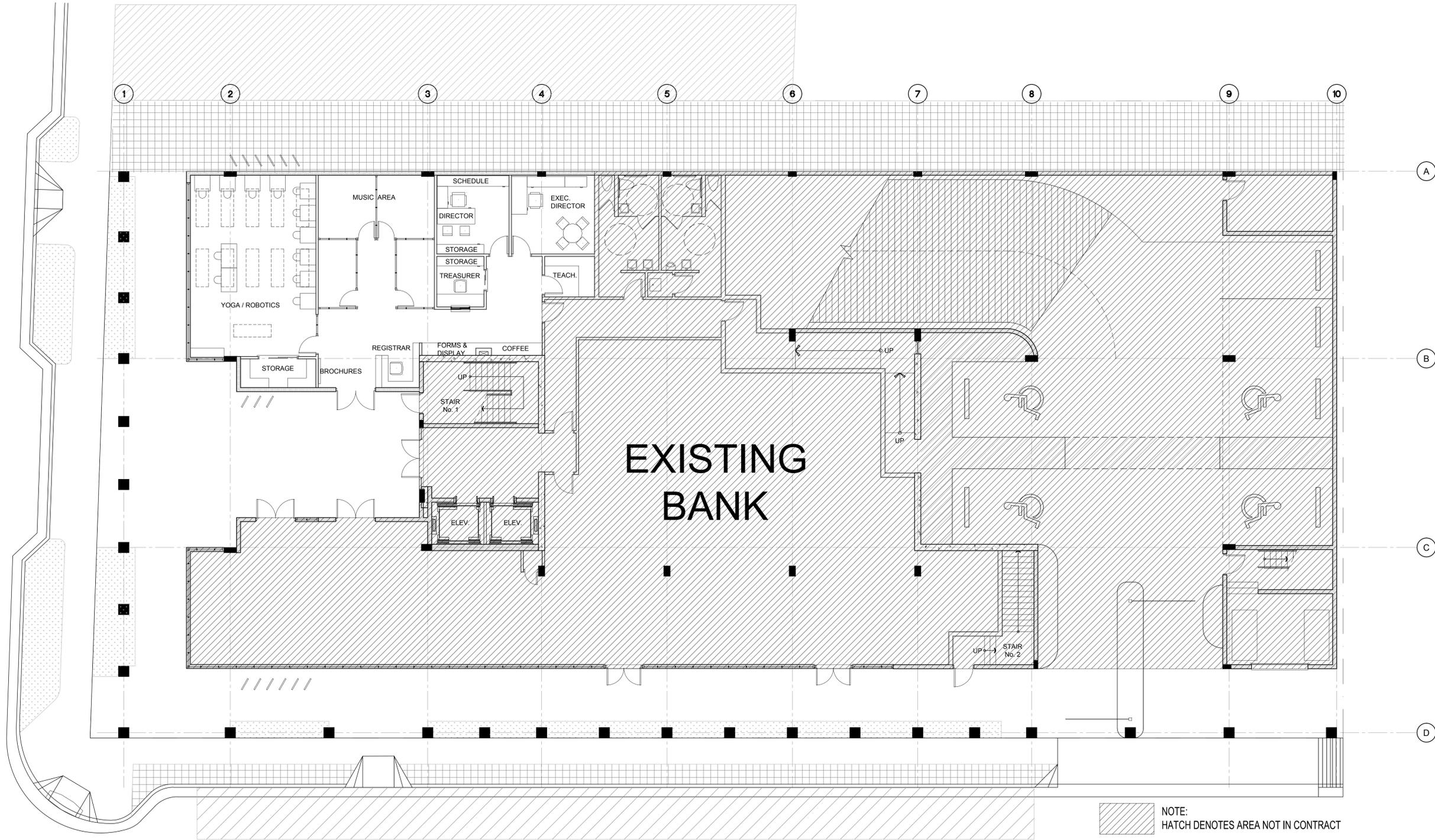
School Operation Information				
Year	Grade	Students	Teachers	
2019-2020	6-9	80	9	
2020-2021	6-10	167	13	
2121-2022	6-11	211	16	
2022-2023	6-12	278	20	
2023-2024	6-12	330	23	
2024-2025	6-12	390	26	
2025-2026	6-12	425	28	
2026-2027	6-12	448*	30	

*Maximum School Population is based on 16 Students per classroom, 4 classrooms per grade level



NOTE:
HATCH DENOTES AREA NOT IN CONTRACT

1
A-1 PROPOSED - SITE PLAN
SCALE: 1/8"=1'-0"



1
ID-1 PROPOSED - GROUND FLOOR PLAN
SCALE: 1/8"=1'-0"



SHEET NO.
ID-1

COMM. NO.	AS SHOWN
SCALE:	AUGUST 15, 2018
DATE:	JG, CP, RL
DRAWN:	CONCEPTUAL
CHECKED:	
PHASE:	

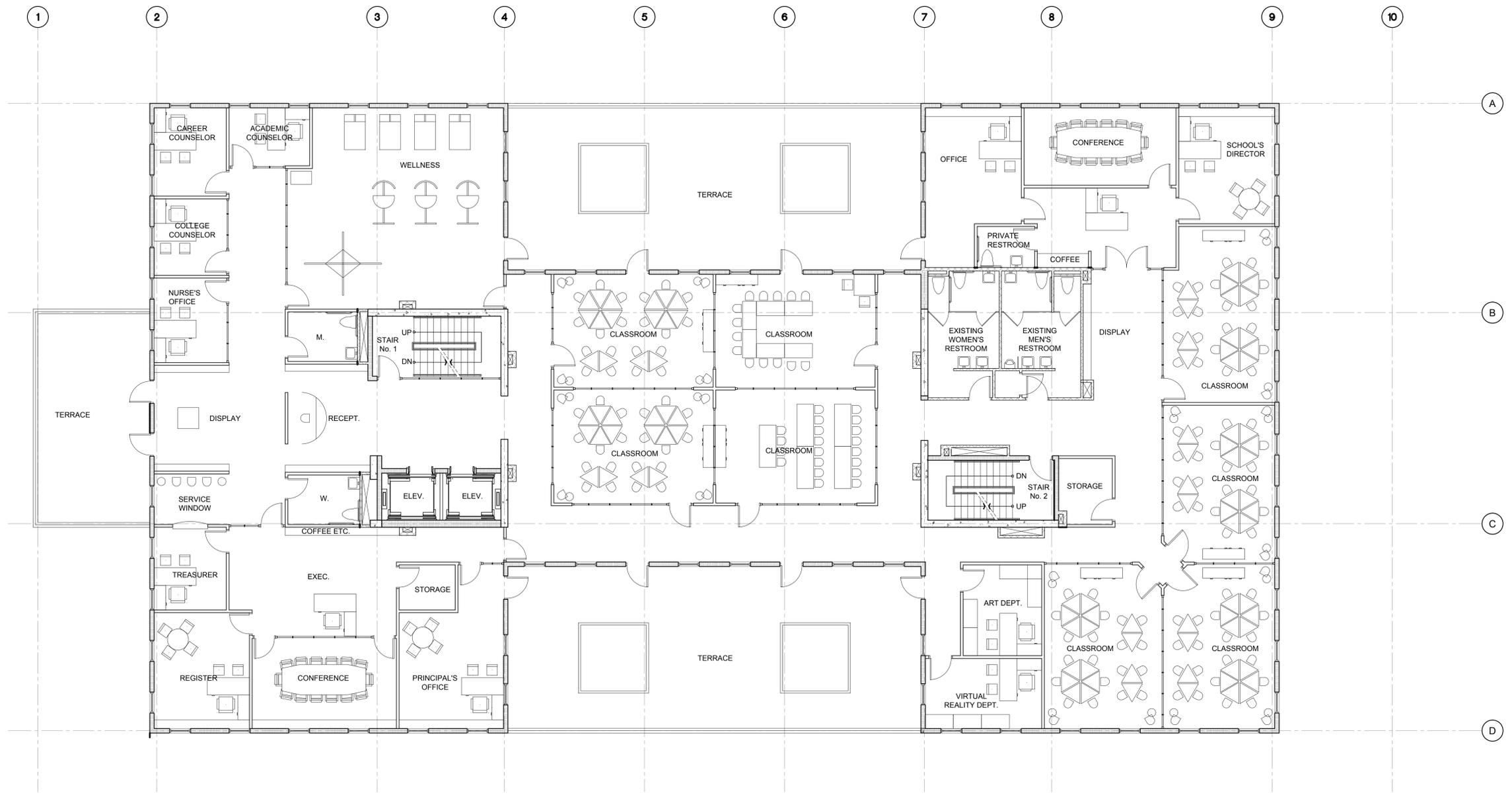
GABLES CREST PREPARATORY

2000 Ponce De Leon Boulevard
Coral Gables, Florida

GABLES CREST PREPARATORY
 2000 Ponce De Leon Boulevard
 Coral Gables, Florida

COMM. NO. --
 SCALE: AS SHOWN
 DATE: AUGUST 15, 2018
 DRAWN: JG, CP, RL
 CHECKED: --
 PHASE: CONCEPTUAL

SHEET NO. **ID-2**

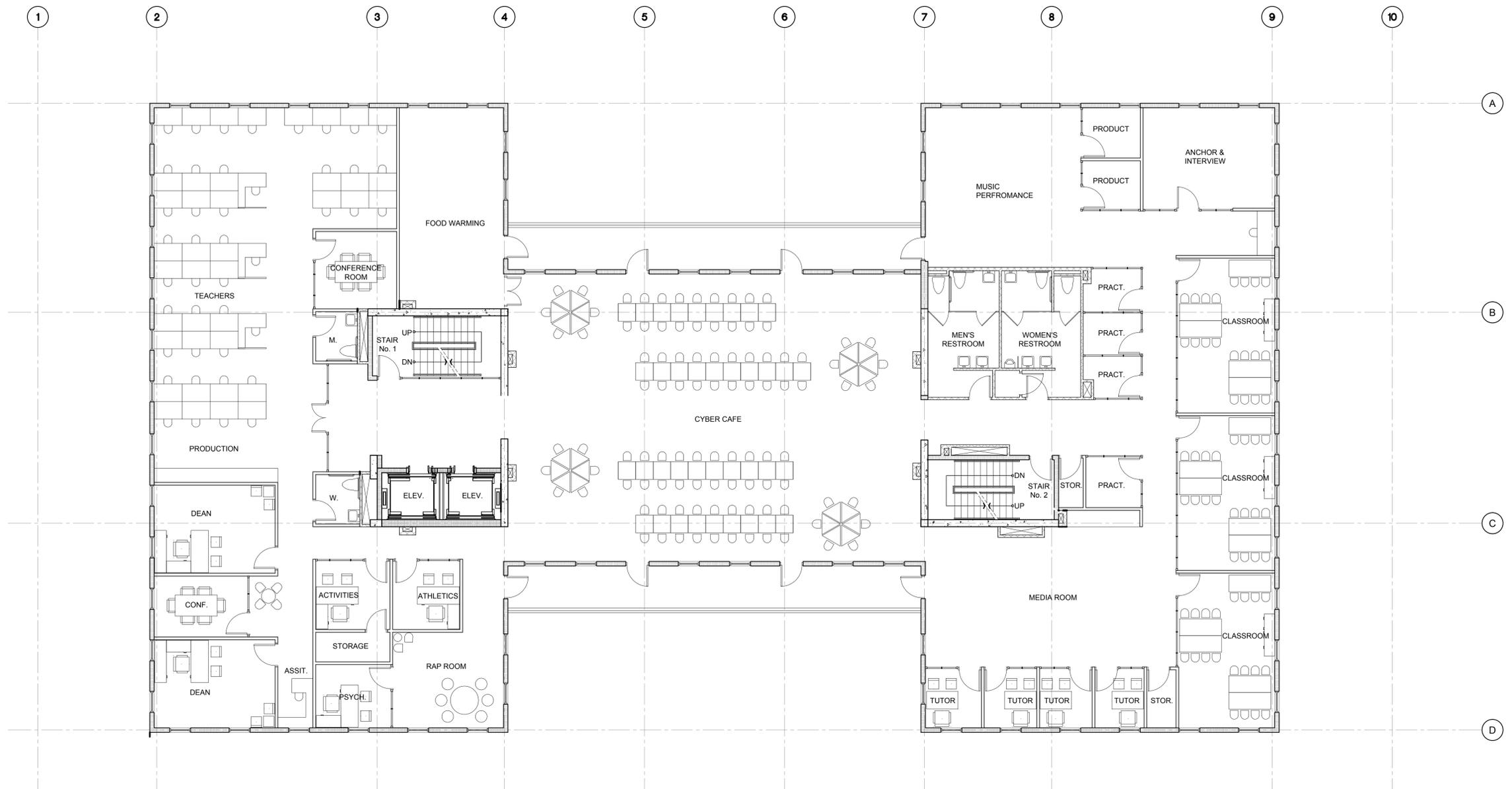


MIN. PLUMBING FIXTURE COUNT (PUBLIC SPACES)								
OCCUPANCY / CLASSIFICATION	NO. OF OCCUPANTS		WATER CLOSETS / URINALS		LAVATORIES		EWC	SERVICE SINK
	MALE	FEMALE	MALE	FEMALE	MALE	FEMALE		
FIFTH FLOOR								
- CLASSROOMS	96	96	1 WC / 1U (1/50)	2 WC (1/50)	2 (1/50)	2 (1/50)	2 (1/100)	N/A
- OFFICE	10	10	1 WC (1/25)	1 WC (1/25)	1 (1/40)	1 (1/40)	1 (1/100)	1
PROJECT GRAND TOTAL:	106	106	2 WC / 1 U	3 WC	3	3	3	1

1
ID-2 **PROPOSED - FIFTH FLOOR PLAN**
 SCALE: 1/8"=1'-0"



GABLES CREST PREPATORY
 2000 Ponce De Leon Boulevard
 Coral Gables, Florida



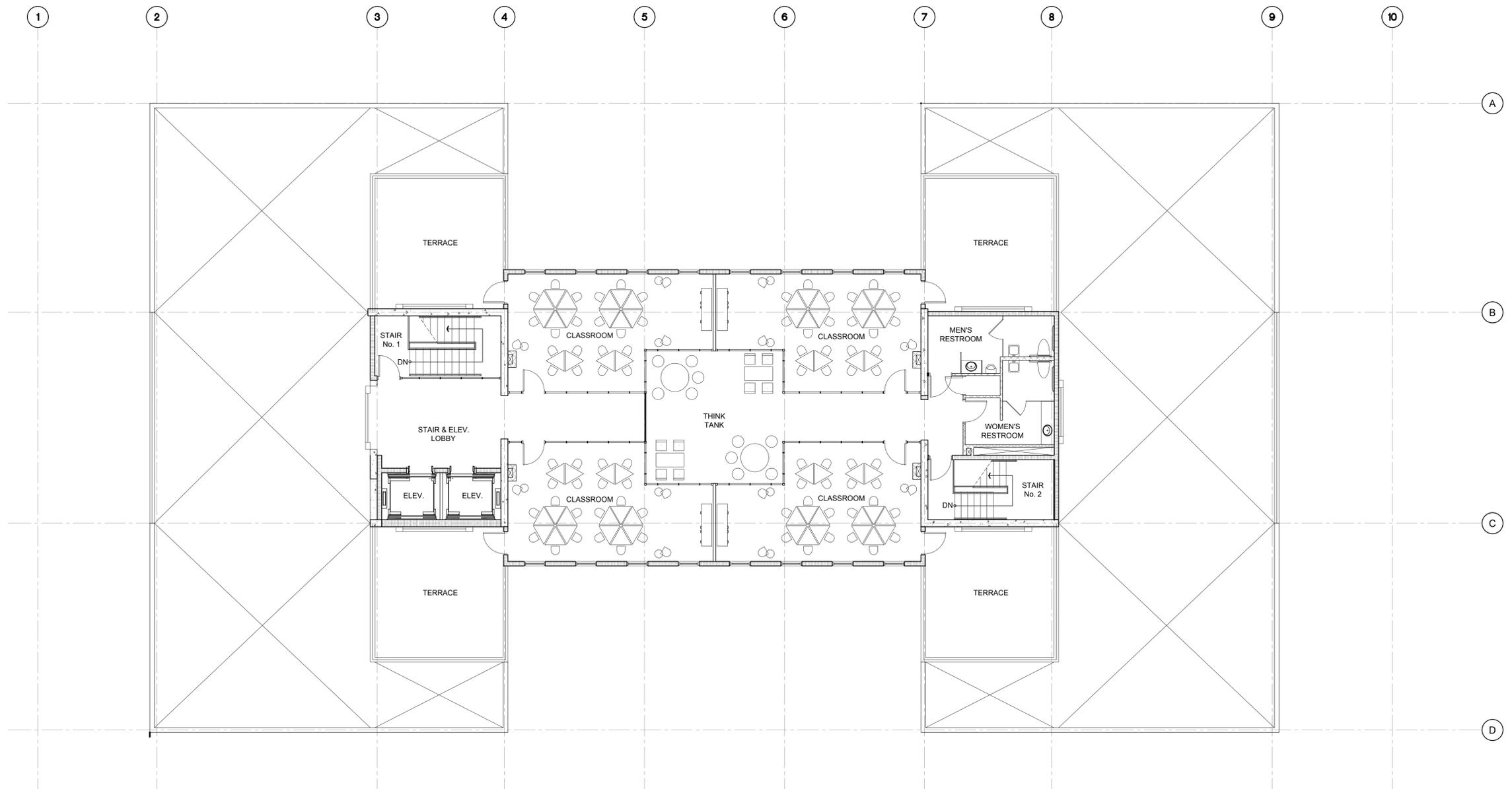
MIN. PLUMBING FIXTURE COUNT (PUBLIC SPACES)								
OCCUPANCY / CLASSIFICATION	NO. OF OCCUPANTS		WATER CLOSETS / URINALS		LAVATORIES		EWC	SERVICE SINK
	MALE	FEMALE	MALE	FEMALE	MALE	FEMALE		
SIXTH FLOOR								
- CLASSROOMS	96	96	1 WC / 1U (1/50)	2 WC (1/50)	2 (1/50)	2 (1/50)	2 (1/100)	N/A
- OFFICE	10	10	1 WC (1/25)	1 WC (1/25)	1 (1/40)	1 (1/40)	1 (1/100)	1
PROJECT GRAND TOTAL:	106	106	2 WC / 1 U	3 WC	3	3	3	1

1 PROPOSED - SIXTH FLOOR PLAN
 ID-3 SCALE: 1/8"=1'-0"



COMM. NO. --
 SCALE: AS SHOWN
 DATE: AUGUST 15, 2018
 DRAWN: JG, CP, RL
 CHECKED: --
 PHASE: CONCEPTUAL

GABLES CREST PREPATORY
 2000 Ponce De Leon Boulevard
 Coral Gables, Florida



MIN. PLUMBING FIXTURE COUNT (PUBLIC SPACES)								
OCCUPANCY / CLASSIFICATION	NO. OF OCCUPANTS		WATER CLOSETS / URINALS		LAVATORIES		EWC	SERVICE SINK
	MALE	FEMALE	MALE	FEMALE	MALE	FEMALE		
SEVENTH FLOOR								
- CLASSROOMS	32	32	1 WC / 1U (1/50)	1 WC (1/50)	2 (1/50)	2 (1/100)	2 (1/100)	N/A
PROJECT GRAND TOTAL:	32	32	1 WC / 1 U	1 WC	2	2	2	1

1
ID-4 **PROPOSED - SEVENTH FLOOR PLAN**
 SCALE: 1/8"=1'-0"

COMM. NO. --
 SCALE: AS SHOWN
 DATE: AUGUST 15, 2018
 DRAWN: JG, CP, RL
 CHECKED: --
 PHASE: CONCEPTUAL

SHEET NO.
ID-4

BUILDING CODE & LIFE SAFETY GENERAL INFORMATION

THE LIFE SAFETY IS BASED ON THE FOLLOWING INFORMATION: THE INFORMATION INDICATED ON THIS SHEET (LS-0.0)

APPLICABLE CODES AND GUIDELINES

- FLORIDA BUILDING CODE (2017 6TH EDITION)
- FLORIDA FIRE PREVENTION CODE (FFPC 2017 5TH EDITION)
- NFPA LIFE SAFETY CODE (2012 EDITION)

THESE CONSTRUCTION DOCUMENTS ARE COMPLIANT WITH THE ADA ACCESSIBILITY GUIDELINES (ADAAG) AND UNIFORM ACCESSIBILITY STANDARDS (UFAS), WHERE APPLICABLE.

OCCUPANCY TYPE

GABLES CREST PREPATORY PROJECT IS CLASSIFIED PRIMARILY AS: GROUP "E", EDUCATIONAL OCCUPANCY PER (FBC), SECTION 305.1

THE FOLLOWING OCCUPANCY TYPES ARE USED WITHIN GABLES CREST PREPATORY PROJECT. SOME MINOR ACCESSORY USES DO NOT OCCUPY MORE THAN 10 PERCENT OF A FLOOR AREA AND ARE THEREFORE CONSIDERED INCIDENTAL TO THE MAJOR USE AND ARE TREATED AS A PART OF THE PREDOMINANT OCCUPANCY.

OCCUPANCIES

USE	OCCUPANCY	GROUP	NFPA 101	FBC
PRIVATE SCHOOL	EDUCATIONAL	E	--	305.1
--	--	--	--	--

OCCUPANCY SEPARATION

THE FOLLOWING FIRE-RESISTANT RATINGS (FRR) FOR OCCUPANCY SEPARATIONS BETWEEN THE VARIOUS GROUPS AND DIVISIONS OF OCCUPANCIES ARE AS ESTABLISHED IN FBC, 508.3.3, TABLE 508.4.

OCCUPANCY SEPARATIONS

REQUIREMENT OCCUPANCY SEPARATIONS, IN HOURS (MIXED OCCUPANCY) FBC 508.3.3				
GROUP	E		--	
	S	NS	S	NS
E	N	N	1	2
--	1	2	N	N

S = SPRINKLERED BLDG.
NS = BLDGS NOT EQUIPPED W/ SPRINKLER PER FBC 903.3.1.1
N = NO SEPARATION REQUIREMENT
E = EDUCATIONAL BUILDING

CONSTRUCTION TYPE

GABLES CREST PREPATORY EDUCATIONAL PROJECT IS AN EXISTING CONSTRUCTION TYPE 2B BUILDING OF NON-COMBUSTIBLE MATERIALS BASED UPON ITS CLASSIFICATION AS A GROUP E EDUCATIONAL OCCUPANCY OF UNLIMITED HEIGHT AND AREA LIMITS. THIS PROJECT FALLS UNDER THE CLASSIFICATION OF REMODEL CONSTRUCTION.

CLASSIFICATION OF HAZARD

THE HAZARD OF CONTENTS SHALL BE THE RELATIVE DANGER OF THE START AND SPREAD OF FIRE, THE DANGER OF SMOKE OR GASES GENERATED, AND THE DANGER OF EXPLOSION OR OTHER OCCURRENCE POTENTIALLY ENDANGERING THE LIVES AND SAFETY OF THE BUILDING OCCUPANTS. HAZARD OF CONTENTS SHALL BE DETERMINED BY THE AHJ ON THE BASIS OF THE CHARACTER OF THE CONTENTS AND THE PROCESSES OR OPERATIONS CONDUCTED IN THE BUILDING. NFPA 6.2.1

EDUCATIONAL - ORDINARY HAZARD

MIN.PLUMBING FIXTURE COUNT (PUBLIC SPACES)									
OCCUPANCY / CLASSIFICATION	NO. OF OCCUPANTS		WATER CLOSETS / URINALS		LAVATORIES		EWC	SERVICE SINK	
	MALE	FEMALE	MALE	FEMALE	MALE	FEMALE			
GROUND FLOOR									
-	ADMIN (OFFICE)	9	9	1 WC / 1 U	1 WC	1	1	1 (1/100)	N/A
				1/25 FOR THE FIRST 50 AND 1/50 FOR THE REMAINDER EXCEEDING 50	1/40 FOR THE FIRST 80 AND 1/50 FOR THE REMAINDER EXCEEDING 80				
-	ASSEMBLY	118	118	1 WC (1/125)	1 WC (1/65)	1 (1/200)	1 (1/200)	1 (1/500)	1
GROUND FLOOR TOTAL:		127	127	2 WC / 1 U	2 WC	2	2	2	1
FIFTH - SEVENTH FLOOR									
-	CLASSROOMS	5	5	1 WC	1WC	1	1	1 (1/100)	N/A
				1/25 FOR THE FIRST 50 AND 1/50 FOR THE REMAINDER EXCEEDING 50	1/40 FOR THE FIRST 80 AND 1/50 FOR THE REMAINDER EXCEEDING 80				
-	ASSEMBLY	80	80	1 WC (1/125)	1 WC (1/65)	1 (1/200)	1 (1/200)	1 (1/500)	1
SECOND FLOOR TOTAL:		128	128	2 WC	2 WC	2	2	2	1
PROJECT GRAND TOTAL:		182	182	4 WC / 2 U	4 WC	4	4	4	2

CRITERIA FOR PLUMBING FIXTURE COUNT:
FOLLOWS FBC 2014, SECTION 2902.1 AND PLUMBING TABLES (403.1) FOR GROUP B OCCUPANCY

FOR EDUCATIONAL (WATER CLOSETS): PROVIDED AT A RATIO OF 1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50 (FBC 2902.1 PLUMBING 403.1)

LAVATORIES: (FBC PLUMBING 403.1) 1 PER 40 FOR THE FIRST 80 AND 1 PER 80 FOR THE REMAINDER EXCEEDING 80.

URINALS: (FBC PLUMBING 419.2) URINALS SHALL NOT BE SUBSTITUTED FOR MORE THAN 50% OF REQUIRED WATER CLOSETS IN BUSINESS OCCUPANCIES.

DRINKING FOUNTAIN: 1 PER 100

SERVICE SINK: 1

AREA OF LIFE SAFETY CALCULATIONS

OCCUPANT LOADS, EGRESS CAPACITIES AND TRAVEL DISTANCES FROM THESE AREAS ARE DESIGNED TO MEET FBC AND NFPA REQUIREMENTS.

OCCUPANT LOAD FACTORS (OLF)

THE CALCULATION OF THE OCCUPANT LOADS IS BASED UPON OLF ESTABLISHED IN NFPA 101 LIFE SAFETY CODE.

ITEM	OCCUPANCY / USE OF SPACE	OCCUPANCY GROUP	TYPICAL LOCATION	LEVEL(S)	OLF REQ'D BY FBC (SQ. FT./OCCUPANT)(1)
1.	EDUCATIONAL	E	TOWER	5TH-6TH-7TH	200
2.	PARKING GARAGE	S-2	GARAGE	1ST-6TH	200

GROSS SQUARE FEET, UNLESS OTHERWISE NOTED.

FIRE RESISTANCE RATING OF STRUCTURAL ELEMENTS (FBC TABLE 601):

STRUCTURAL FRAME

EXISTING BEARING WALLS (EXTERIOR) 0HR
EXISTING BEARING WALLS (INTERIOR) 0HR
EXISTING NON BEARING WALLS 0HR
EXISTING FLOOR CONSTRUCTION 0HR
EXISTING ROOF CONSTRUCTION 0HR

INTERIOR WALL AND CEILING FINISH REQUIREMENTS (FBC TABLE 803.5):
VERTICAL EXITS AND EXIT PASSAGEWAYS B
EXIT ACCESS CORRIDORS AND OTHER EXIT WAYS C
ROOMS AND ENCLOSED SPACES C

ALLOWABLE TRAVEL DISTANCES:
MAX. TRAVEL DISTANCE TO EXIT: 250' (FBC 1016.1)
MAX. LENGTH OF DEAD END CORRIDORS: 50' (FBC 1017.3)
MAX. COMMON PATH OF TRAVEL: 75' (FBC 1014.3)

EGRESS WIDTHS (TABLE 1005.1):
LEVEL EXIT: 250' (FBC 1016.1)
MAX. LENGTH OF DEAD END CORRIDORS: 50' (FBC 1017.3)
MAX. COMMON PATH OF TRAVEL: 75' (FBC 1014.3)

EGRESS CAPACITY FACTORS

THE FOLLOWING EGRESS CAPACITY FOR COMPONENTS OF MEANS OF EGRESS IS BASED UPON FFPC/ NFPA 101- 7-3.3

	NFPA TABLE 7.3.3.1	FBC
STAIRWAYS:	0.3 INCHES PER PERSON 44 INCHES MINIMUM CLEAR WIDTH FOR NEW STAIRS	0.3 PER PERSON 1005.3.1
LEVEL COMPONENTS, RAMPS, CORRIDORS & DOORS	0.2 INCHES PER PERSON 32 INCHES MIN. CLEAR DOOR WIDTH	0.2 PER PERSON 1005.3.1

TRAVEL DISTANCES

TRAVEL DISTANCES LISTED ARE BASED UPON OCCUPANCIES PROTECTED THROUGHOUT BY AN APPROVED, AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 101, SECTION 9-7 AND TABLE A-7.6 ALL DISTANCES ARE IN MAXIMUM FEET

OCCUPANCY FBC GROUP	DESCRIPTION	TRAVEL DISTANCE	DEAD END	COMMON PATH OF TRAVEL
E	EDUCATIONAL	250 PER NFPA 101 39.2.6.1	50 PER NFPA 101 39.2.5.2	100 PER NFPA 101 - 39.2.5.3.1
--	--	--	--	--

SYMBOLS LEGEND

	FIRE EXTINGUISHER
	EXIT SIGN-SHADED QUADRANT INDICATES # OF FACES ARROWS AS SHOWN
	DIRECTION OF EGRESS AND OCCUPANCY LOAD TO THE EXIT
	COMMON PATH OF TRAVEL DISTANCE
	BEGINNING OF TRAVEL DISTANCE INDICATED
WALL ASSEMBLIES FIRE RATING	
	EGRESS PATH
	ONE-HOUR FIRE RATED PARTITION
	TWO-HOUR FIRE RATED PARTITION
	THREE-HOUR FIRE RATED PARTITION
	FOUR-HOUR FIRE RATED PARTITION

NOTE: REFER TO ELECTRICAL PLANS FOR FIRE ALARM DEVICES

FIRE RESISTANCE RATINGS:

BUILDING ELEMENT (TYPE I) [CODE REFERENCE]	REQUIRED FIRE RESISTANCE RATING [HOURS]	REQUIRED OPENING PROTECTIVES *** [HOURS]
PRIMARY STRUCTURAL FRAME [FBC 602.2] TABLE 601 EXTERIOR FRAME INTERIOR FRAME	3(*) 2(*)	--
EXTERIOR BEARING WALLS	3(*)	1-1/2
EXTERIOR NON-BEARING WALLS	0	0
INTERIOR BEARING WALLS	3(*)	1-1/2
INTERIOR NON-BEARING FIXED AND PERMANENT PARTITIONS	1(**)	3/4
INTERIOR EXIT STAIRWAYS CONNECTING 4 STORIES OR MORE	2	1-1/2
SHAFT ENCLOSURES [FBC 707.4]CONNECTING 4 STORIES OR MORE CONNECTING 3 STORIES OR LESS	2	1-1/2
HORIZONTAL EXITS [NFPA 7.2.4]	2	1-1/2
EXIT PASSAGEWAYS [NFPA 7.2.6 & 7.1.3.2]	2	1-1/2
FLOORS	2(*)	1-1/2
ROOFS LESS THAN 15' CLEAR HEIGHT 15' TO 20' CLEAR HEIGHT	2(*) 1(*)	1 1/2 3/4
ELECTRICAL, TELEPHONE, COMMUNICATIONS, SECURITY ROOMS	2	1 1/2
EXIT ACCESS CORRIDORS	1	3/4
EXIT ENCLOSURES	2	1 1/2
JANITOR'S CLOSETS / STORAGE ROOMS	1	3/4
ROOMS W/ FIRE ALARM PANELS / EQUIPMENT	2	1 1/2

(*) THE FIRE RATINGS SHOWN REFLECT A 1-HOUR REDUCTION, ACCORDING TO: FBC903.3.1.1 & FBC 602.2 TABLE 601
(**) FBC 715.4

FIRE EXTINGUISHERS

PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED, INSPECTED AND MAINTAINED IN ACCORDANCE WITH NFPA 10. FIRE EXTINGUISHERS SHALL BE SELECTED FOR THE SPECIFIC CLASS(ES) OF HAZARDS TO BE PROTECTED IN ACCORDANCE WITH THE FOLLOWING: CLASS "A" HAZARDS SHALL BE SELECTED FROM WATER-TYPE AND MULTIPURPOSE DRY CHEMICAL. NFPA 10-2.2.1 EXTINGUISHERS SHALL BE LOCATED SO THAT THE MAXIMUM TRAVEL DISTANCES SHALL NOT EXCEED 75 FT. NFPA 10-3.2.1, TABLE 3-2.1

FIRE HOSE VALVES

HOSE SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH NFPA 14. THE NUMBER OF STAND PIPE RISERS AND HOSE STATIONS SHALL BE SUCH THAT A STREAM OF WATER CAN BE BROUGHT TO BEAR ON ALL PARTS OF ALL FLOORS WITHIN 30 FEET OF A NOZZLE CONNECTED TO NOT MORE THAN 100 FEET OF HOSE CONNECTED TO A STANDPIPE...

FIRE RESISTIVE SPRAY

ALL EXPOSED STRUCTURAL MEMBERS SHALL BE SPRAYED WITH CAFCO BLAZE-SHIELD FIRE RESISTIVE INSULATION. SEE SHEET A-10.5, DETAIL 1 FOR MORE INFORMATION.

SHEET NO.

LS-0.0

COMM. NO.

SCALE:

DATE:

DRAWN:

CHECKED:

PHASE:

AS SHOWN

AUGUST 15, 2018

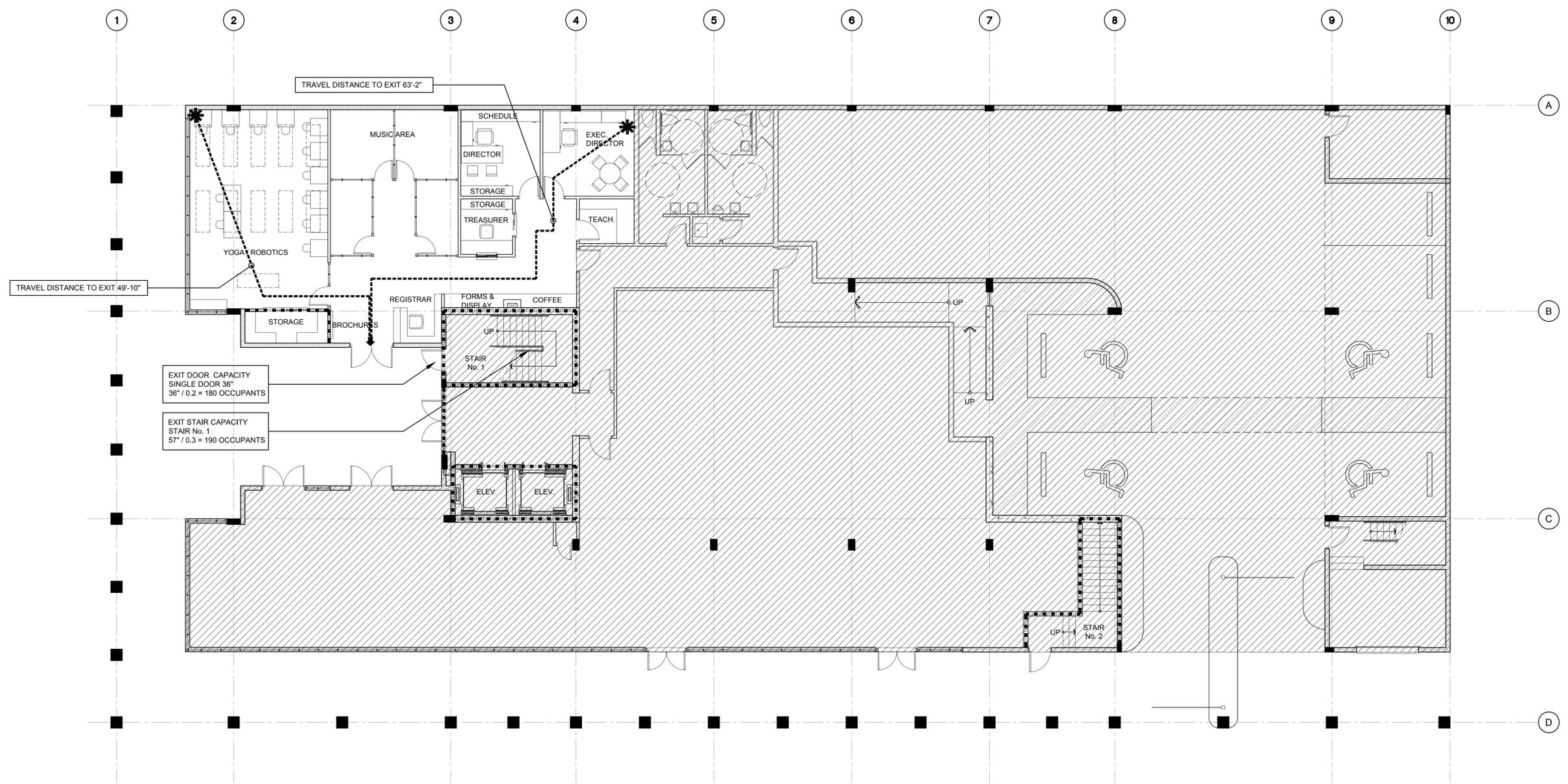
JG, CP, RL

CONCEPTUAL

GABLES CREST PREPATORY
2000 Ponce De Leon Boulevard
Coral Gables, Florida

Bermello Ajamil & Partners
BERMELO, AJAMIL & PARTNERS INC.
Architecture Engineering Planning Interior Design
Landscape Architecture 2601 South Bayshore
Drive, Suite 1000 Miami, Florida 33133
(305) 859-2050 Fax (305) 860-3700

GABLES CREST PREPARATORY
 2000 Ponce De Leon Boulevard
 Coral Gables, Florida



EXIT DOOR CAPACITY
 SINGLE DOOR 36"
 36" / 0.2 = 180 OCCUPANTS

EXIT STAIR CAPACITY
 STAIR No. 1
 57" / 0.3 = 190 OCCUPANTS

NOTE:
 HATCH DENOTES AREA NOT IN CONTRACT

1 LIFE SAFETY - PROPOSED GROUND FLOOR PLAN
 LS-01 SCALE: 1/8"=1'-0"

	NFPA TABLE 7.3.3.1	FBC
STAIRWAYS:	0.3 INCHES PER PERSON 44 INCHES MINIMUM CLEAR WIDTH FOR NEW STAIRS	0.3 PER PERSON 1005.3.1
LEVEL COMPONENTS, RAMPS, CORRIDORS & DOORS	0.2 INCHES PER PERSON 32 INCHES MIN. CLEAR DOOR WIDTH	0.2 PER PERSON 1005.3.1

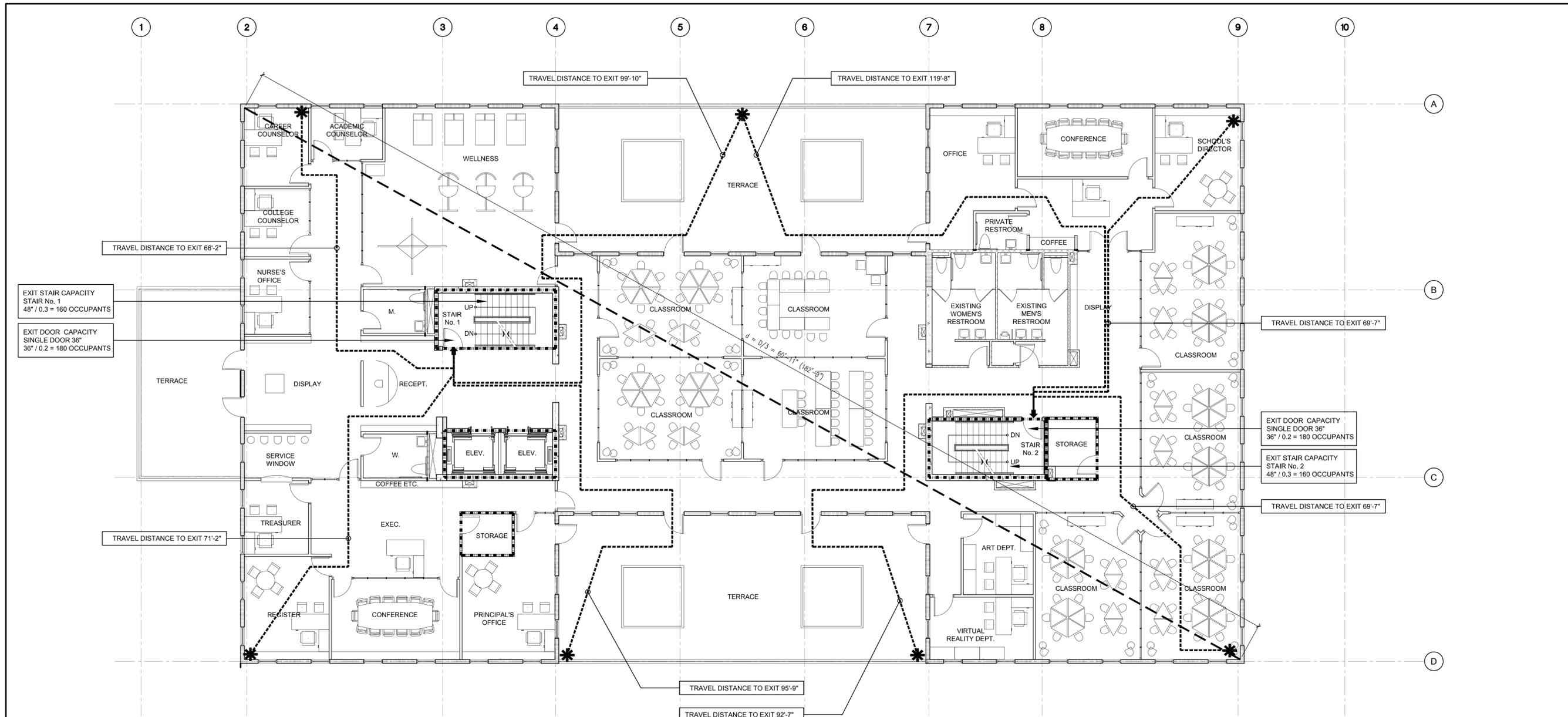
SYMBOL LEGEND

<ul style="list-style-type: none"> ●●●●● ONE HOUR FIRE RATED WALL ●●●●● TWO HOUR FIRE RATED WALL ●●●●● THREE HOUR FIRE RATED WALL --- 250' MAX. TRAVEL DISTANCE TO REACH AN EXIT → EXIT DIRECTION OF TRAVEL * BEGINNING OF TRAVEL DISTANCE INDICATED ⊗ FIRE ALARM / HORN (SEE ELECTRICAL DWGS.) ⊕ EXIT LIGHT (SEE ELECTRICAL DWGS.) ⊕ EMERGENCY LIGHTS (SEE ELECTRICAL DWGS.) ⊕ BRACKET MOUNTED FIRE EXTINGUISHER ⊕ FIRE EXTINGUISHER CABINET ⊕ SIGN "NOT AN EXIT" ⊕ PHONE JACK (SEE ELECTRICAL DWGS.) 	<ul style="list-style-type: none"> [FACP] FIRE ALARM CONTROL PANEL (SEE ELECTRICAL DWGS.) [F] MANUAL PULL STATION (SEE ELECTRICAL DWGS.) ⊕ SMOKE/HEAT PHOTOELECTRIC DETECTOR (SEE ELECTRICAL DWGS.) ⊕ HEAT DETECTOR (SEE ELECTRICAL DWGS.) ⊕ SMOKE/HEAT PHOTOELECTRIC DETECTOR FOR ELEVATOR CAPTURE, CEILING MOUNTED. (SEE ELECTRICAL DWGS.) ⊕ COMBINATION SPEAKER/STROBE, CEILING MOUNTED ⊕ BEAM TYPE SMOKE DETECTOR ⊕ SPEAKER HORN (SEE ELECTRICAL DWGS.) ⊕ HEAT DETECTOR (SEE ELECTRICAL DWGS.) ⊕ STROBE LIGHT (SEE ELECTRICAL DWGS.) ⊕ ELEVATOR WARNING LIGHT "DO NOT USE ELEVATOR" CONTROL MODULE FOR ELEVATOR CAB RECALL (SEE ELECTRICAL DWGS.) ⊕ FIRE ALARM MONITOR MODULE (SEE ELECTRICAL DWGS.)
---	--

*BUILDING TO HAVE FULLY SPRINKLED FIRE PROTECTION SYSTEM IN ACCORDANCE WITH N.F.P.A. 13
 *2 HOUR FIRE RATED SLAB BETWEEN FLOORS

COMM. NO. ---
 SCALE: AS SHOWN
 DATE: AUGUST 15, 2018
 DRAWN: JG, CP, RL
 CHECKED: ---
 PHASE: CONCEPTUAL

SHEET NO.
LS-0.1



EXIT STAIR CAPACITY
STAIR No. 1
48' / 0.3 = 160 OCCUPANTS

EXIT DOOR CAPACITY
SINGLE DOOR 36"
36' / 0.2 = 180 OCCUPANTS

EXIT DOOR CAPACITY
SINGLE DOOR 36"
36' / 0.2 = 180 OCCUPANTS

EXIT STAIR CAPACITY
STAIR No. 2
48' / 0.3 = 160 OCCUPANTS

1 LIFE SAFETY - PROPOSED FIFTH FLOOR PLAN
LS-02 SCALE: 1/8"=1'-0"



SYMBOL LEGEND			
-----	ONE HOUR FIRE RATED WALL	[FACP]	FIRE ALARM CONTROL PANEL (SEE ELECTRICAL DWGS.)
-----	TWO HOUR FIRE RATED WALL	[F]	MANUAL PULL STATION (SEE ELECTRICAL DWGS.)
-----	THREE HOUR FIRE RATED WALL	[S]	SMOKE/HEAT PHOTOELECTRIC DETECTOR (SEE ELECTRICAL DWGS.)
-----	MAX. TRAVEL DISTANCE TO REACH AN EXIT	[H]	HEAT DETECTOR (SEE ELECTRICAL DWGS.)
-----	EXIT DIRECTION OF TRAVEL	[S]	SMOKE/HEAT PHOTOELECTRIC DETECTOR FOR ELEVATOR CAPTURE, CEILING MOUNTED. (SEE ELECTRICAL DWGS.)
*	BEGINNING OF TRAVEL DISTANCE INDICATED	[S]	COMBINATION SPEAKER/STROBE, CEILING MOUNTED
[X]	FIRE ALARM / HORN (SEE ELECTRICAL DWGS.)	[SD]	BEAM TYPE SMOKE DETECTOR
[E]	EXIT LIGHT (SEE ELECTRICAL DWGS.)	[S]	SPEAKER HORN (SEE ELECTRICAL DWGS.)
[E]	EMERGENCY LIGHTS (SEE ELECTRICAL DWGS.)	[H]	HEAT DETECTOR (SEE ELECTRICAL DWGS.)
[E]	BRACKET MOUNTED FIRE EXTINGUISHER	[L]	STROBE LIGHT (SEE ELECTRICAL DWGS.)
[E]	FIRE EXTINGUISHER CABINET	[W]	ELEVATOR WARNING LIGHT "DO NOT USE ELEVATOR"
[NE]	SIGN "NOT AN EXIT"	[C]	CONTROL MODULE FOR ELEVATOR CAB RECALL (SEE ELECTRICAL DWGS.)
[J]	PHONE JACK (SEE ELECTRICAL DWGS.)	[M]	FIRE ALARM MONITOR MODULE (SEE ELECTRICAL DWGS.)

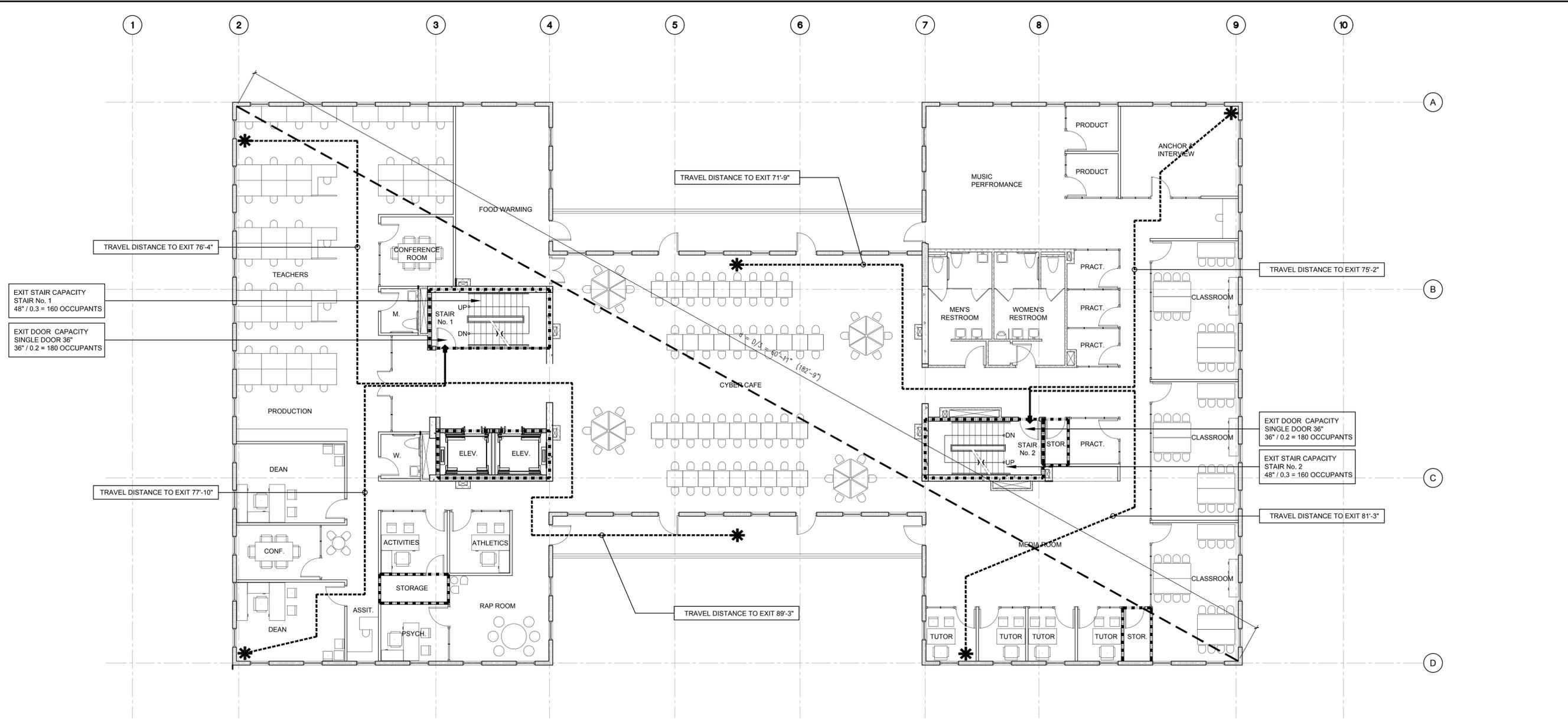
	NFPA TABLE 7.3.3.1	FBC
STAIRWAYS:	0.3 INCHES PER PERSON 44 INCHES MINIMUM CLEAR WIDTH FOR NEW STAIRS	0.3 PER PERSON 1005.3.1
LEVEL COMPONENTS, RAMPS, CORRIDORS & DOORS	0.2 INCHES PER PERSON 32 INCHES MIN. CLEAR DOOR WIDTH	0.2 PER PERSON 1005.3.1

*BUILDING TO HAVE FULLY SPRINKLED FIRE PROTECTION SYSTEM IN ACCORDANCE WITH N.F.P.A. 13
**2 HOUR FIRE RATED SLAB BETWEEN FLOORS

GABLES CREST PREPATORY
 2000 Ponce De Leon Boulevard
 Coral Gables, Florida

COMM. NO. ---
 SCALE: AS SHOWN
 DATE: AUGUST 15, 2018
 DRAWN: JG, CP, RL
 CHECKED: ---
 PHASE: CONCEPTUAL

SHEET NO.
LS-0.3



EXIT STAIR CAPACITY
 STAIR No. 1
 48' / 0.3 = 160 OCCUPANTS

EXIT DOOR CAPACITY
 SINGLE DOOR 36"
 36' / 0.2 = 180 OCCUPANTS

EXIT DOOR CAPACITY
 SINGLE DOOR 36"
 36' / 0.2 = 180 OCCUPANTS

EXIT STAIR CAPACITY
 STAIR No. 2
 48' / 0.3 = 160 OCCUPANTS

1 LIFE SAFETY - PROPOSED SIXTH FLOOR PLAN
 LS-03 SCALE: 1/8"=1'-0"

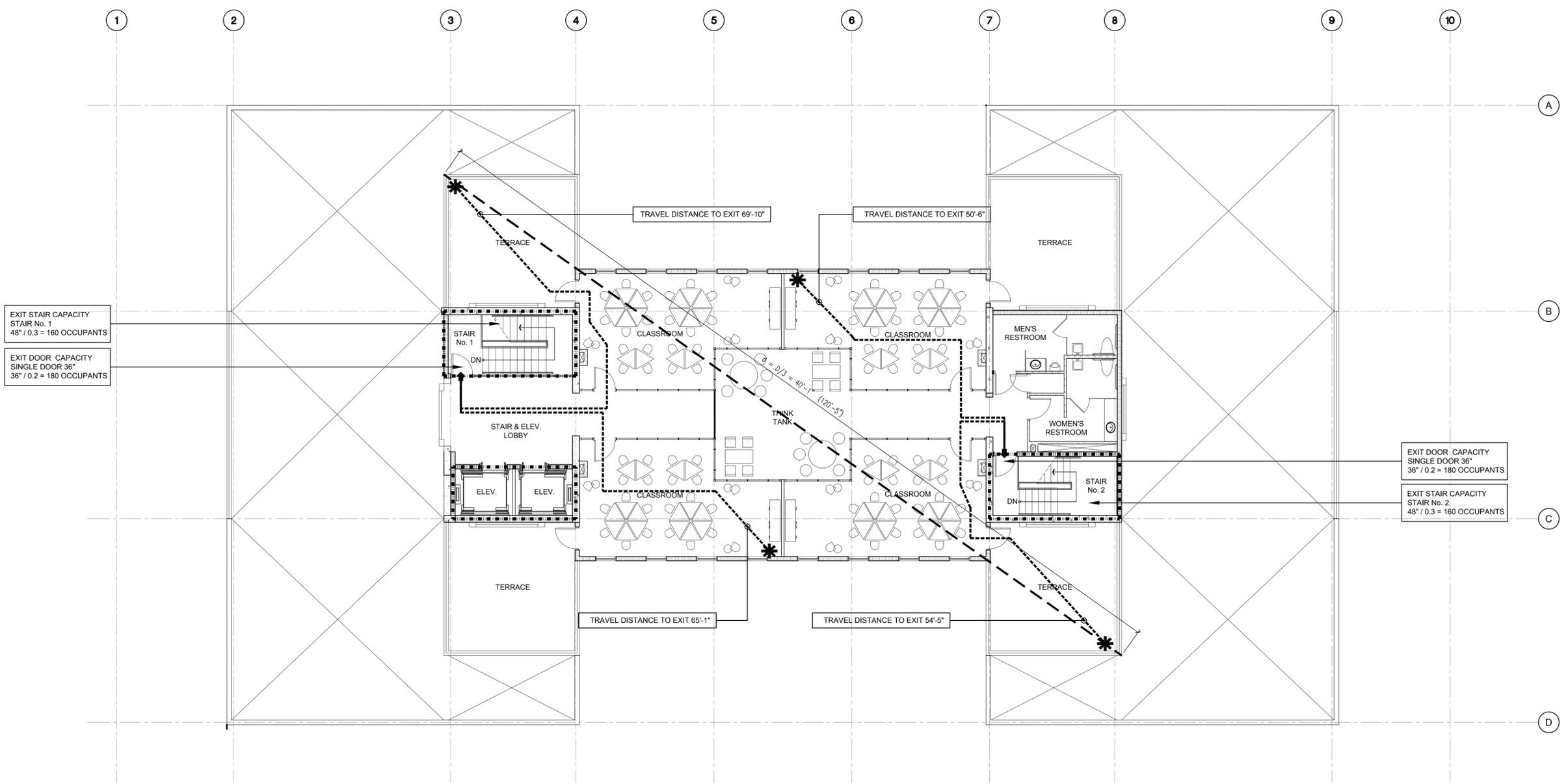


	NFPA TABLE 7.3.3.1	FBC
STAIRWAYS:	0.3 INCHES PER PERSON 44 INCHES MINIMUM CLEAR WIDTH FOR NEW STAIRS	0.3 PER PERSON 1005.3.1
LEVEL COMPONENTS, RAMPS, CORRIDORS & DOORS	0.2 INCHES PER PERSON 32 INCHES MIN. CLEAR DOOR WIDTH	0.2 PER PERSON 1005.3.1

SYMBOL LEGEND

<ul style="list-style-type: none"> ● ONE HOUR FIRE RATED WALL ■ TWO HOUR FIRE RATED WALL ■ THREE HOUR FIRE RATED WALL --- 250' MAX. TRAVEL DISTANCE TO REACH AN EXIT ➔ BEGINNING OF TRAVEL DISTANCE INDICATED ⊙ FIRE ALARM / HORN (SEE ELECTRICAL DWGS.) ⊙ EXIT LIGHT (SEE ELECTRICAL DWGS.) ⊙ EMERGENCY LIGHTS (SEE ELECTRICAL DWGS.) ⊙ BRACKET MOUNTED FIRE EXTINGUISHER ⊙ FIRE EXTINGUISHER CABINET ⊙ SIGN "NOT AN EXIT" ⊙ PHONE JACK (SEE ELECTRICAL DWGS.) 	<ul style="list-style-type: none"> [FACP] FIRE ALARM CONTROL PANEL (SEE ELECTRICAL DWGS.) [F] MANUAL PULL STATION (SEE ELECTRICAL DWGS.) ⊙ SMOKE/HEAT PHOTOELECTRIC DETECTOR (SEE ELECTRICAL DWGS.) ⊙ HEAT DETECTOR (SEE ELECTRICAL DWGS.) ⊙ SMOKE/HEAT PHOTOELECTRIC DETECTOR FOR ELEVATOR CAPTURE, CEILING MOUNTED. (SEE ELECTRICAL DWGS.) ⊙ COMBINATION SPEAKER/STROBE, CEILING MOUNTED ⊙ BEAM TYPE SMOKE DETECTOR ⊙ SPEAKER HORN (SEE ELECTRICAL DWGS.) ⊙ HEAT DETECTOR (SEE ELECTRICAL DWGS.) ⊙ STROBE LIGHT (SEE ELECTRICAL DWGS.) ⊙ ELEVATOR WARNING LIGHT "DO NOT USE ELEVATOR" CONTROL MODULE FOR ELEVATOR CAB RECALL (SEE ELECTRICAL DWGS.) ⊙ FIRE ALARM MONITOR MODULE (SEE ELECTRICAL DWGS.)
---	--

*BUILDING TO HAVE FULLY SPRINKLED FIRE PROTECTION SYSTEM IN ACCORDANCE WITH N.F.P.A. 13
 **2 HOUR FIRE RATED SLAB BETWEEN FLOORS



EXIT STAIR CAPACITY
 STAIR No. 1
 48" / 0.3 = 160 OCCUPANTS

EXIT DOOR CAPACITY
 SINGLE DOOR 36"
 36" / 0.2 = 180 OCCUPANTS

EXIT DOOR CAPACITY
 SINGLE DOOR 36"
 36" / 0.2 = 180 OCCUPANTS

EXIT STAIR CAPACITY
 STAIR No. 2
 48" / 0.3 = 160 OCCUPANTS

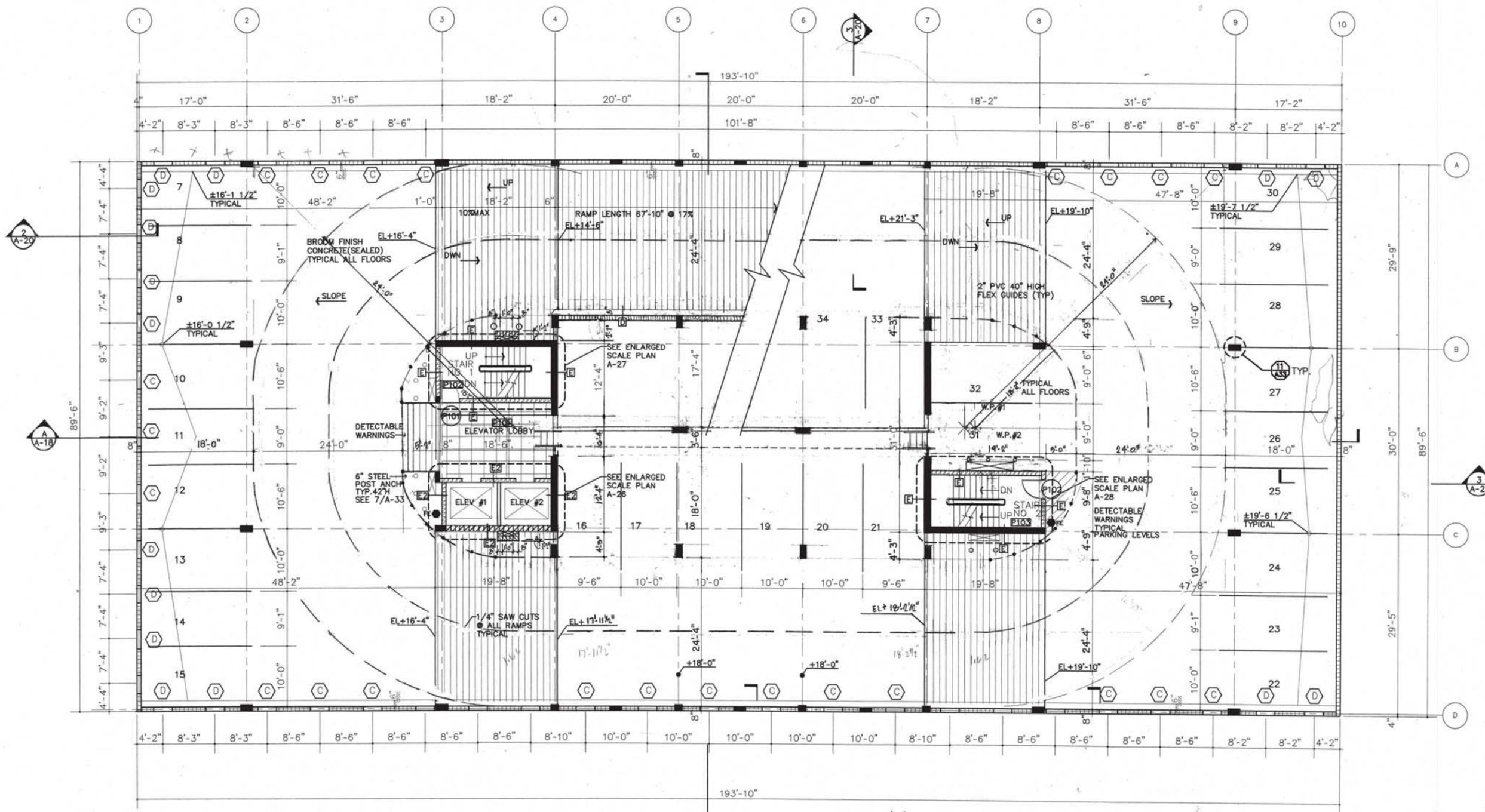
1 LIFE SAFETY - PROPOSED SEVENTH FLOOR PLAN
LS-04 SCALE: 1/8"=1'-0"

	NFPA TABLE 7.3.3.1		FBC
STAIRWAYS:	0.3 INCHES PER PERSON 44 INCHES MINIMUM CLEAR WIDTH FOR NEW STAIRS	0.3 PER PERSON	1005.3.1
LEVEL COMPONENTS, RAMPS, CORRIDORS & DOORS	0.2 INCHES PER PERSON 32 INCHES MIN. CLEAR DOOR WIDTH	0.2 PER PERSON	1005.3.1

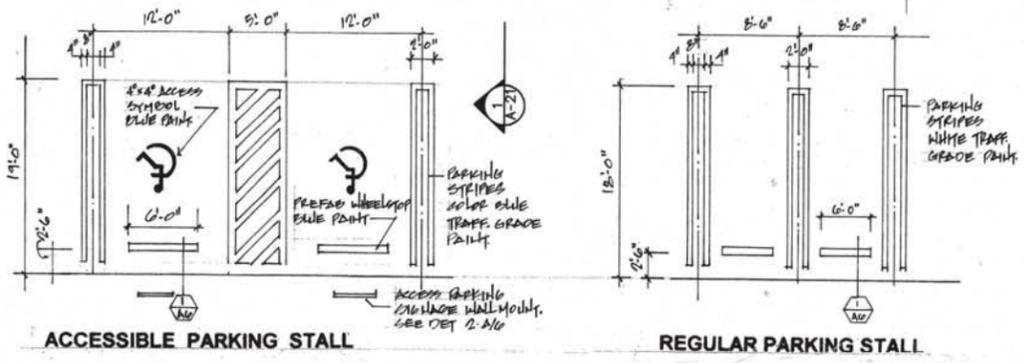
SYMBOL LEGEND

<ul style="list-style-type: none"> ----- ONE HOUR FIRE RATED WALL ----- TWO HOUR FIRE RATED WALL ----- THREE HOUR FIRE RATED WALL ----- 250' MAX. TRAVEL DISTANCE TO REACH AN EXIT --- EXIT DIRECTION OF TRAVEL * BEGINNING OF TRAVEL DISTANCE INDICATED ⊗ FIRE ALARM / HORN (SEE ELECTRICAL DWGS.) ⊕ EXIT LIGHT (SEE ELECTRICAL DWGS.) ⊖ EMERGENCY LIGHTS (SEE ELECTRICAL DWGS.) ⊙ BRACKET MOUNTED FIRE EXTINGUISHER ⊚ FIRE EXTINGUISHER CABINET ⊛ SIGN "NOT AN EXIT" ⊜ PHONE JACK (SEE ELECTRICAL DWGS.) 	<ul style="list-style-type: none"> [FACP] FIRE ALARM CONTROL PANEL (SEE ELECTRICAL DWGS.) [M] MANUAL PULL STATION (SEE ELECTRICAL DWGS.) ⊙ SMOKE/HEAT PHOTOELECTRIC DETECTOR (SEE ELECTRICAL DWGS.) ⊕ HEAT DETECTOR (SEE ELECTRICAL DWGS.) ⊖ SMOKE/HEAT PHOTOELECTRIC DETECTOR FOR ELEVATOR CAPTURE, CEILING MOUNTED. (SEE ELECTRICAL DWGS.) ⊗ COMBINATION SPEAKER/STROBE, CEILING MOUNTED ⊘ BEAM TYPE SMOKE DETECTOR ⊙ SPEAKER HORN (SEE ELECTRICAL DWGS.) ⊕ HEAT DETECTOR (SEE ELECTRICAL DWGS.) ⊖ STROBE LIGHT (SEE ELECTRICAL DWGS.) ⊗ ELEVATOR WARNING LIGHT "DO NOT USE ELEVATOR" CONTROL MODULE FOR ELEVATOR CAB RECALL (SEE ELECTRICAL DWGS.) [M] FIRE ALARM MONITOR MODULE (SEE ELECTRICAL DWGS.)
---	--

*BUILDING TO HAVE FULLY SPRINKLED FIRE PROTECTION SYSTEM IN ACCORDANCE WITH N.F.P.A. 13
 *2 HOUR FIRE RATED SLAB BETWEEN FLOORS




SECOND FLOOR PLAN (PARKING LEVEL 1)
 1/8" = 1'-0"

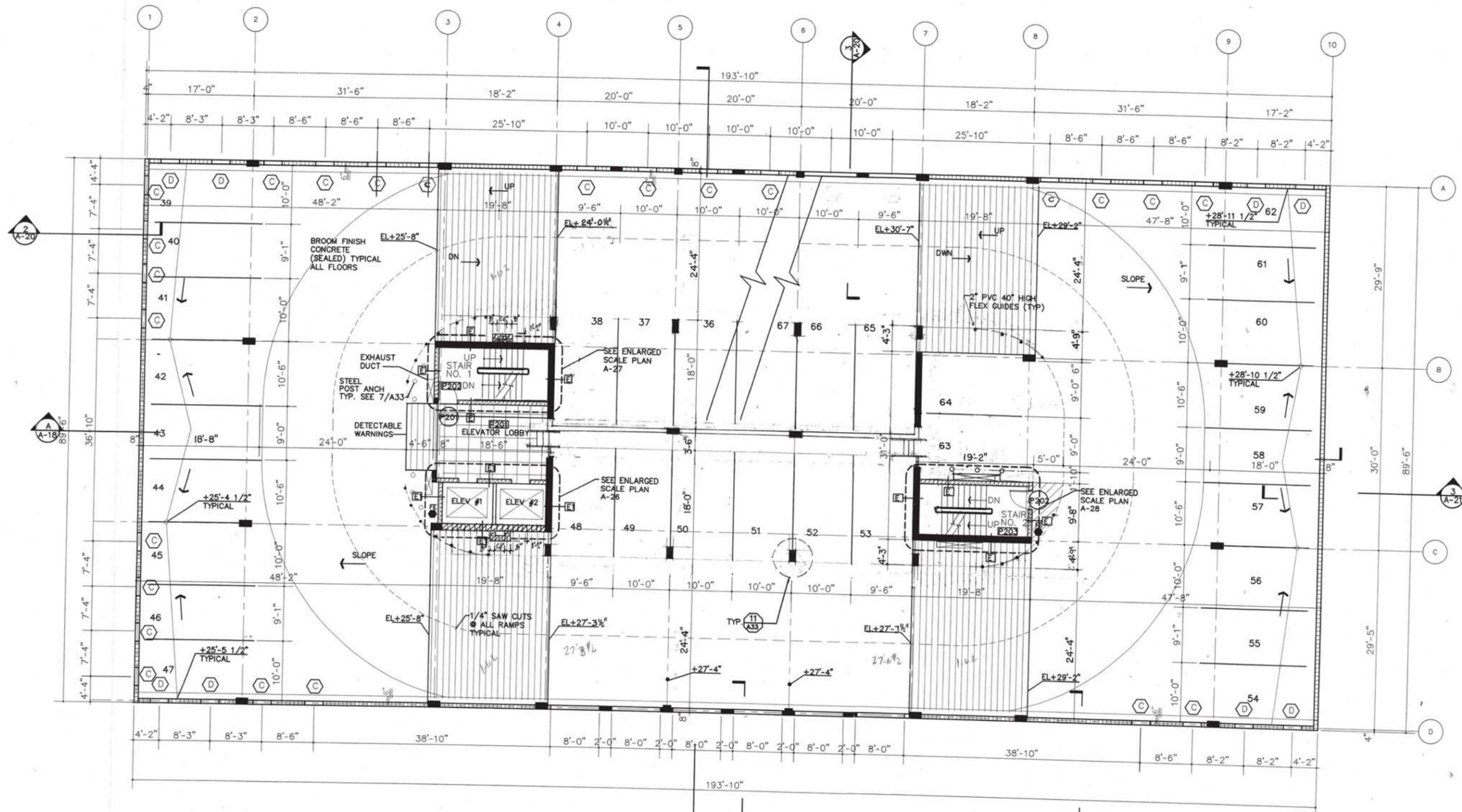


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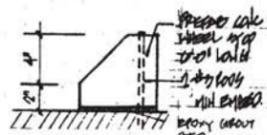
OFFICE BUILDING
2000 PONCE DE LEON SQUARE INC.
CORAI GARIFES
 FLORIDA

LIC. NO.
 AR 0008767
 COMMISSION NO.
 9816
 DATE ISSUED
 8/18/97
 REVISIONS
 BID SET 7-28-97
 CS 1-20-98

sheet
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 of:



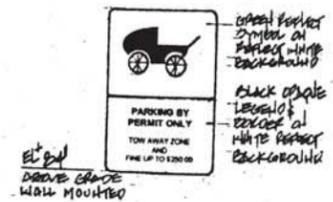
THIRD FLOOR PLAN (PARKING LEVEL 2)
1/8" = 1'-0"



1 WHEEL STOP DETAIL



2 ACCESSIBLE PARKING SIGN



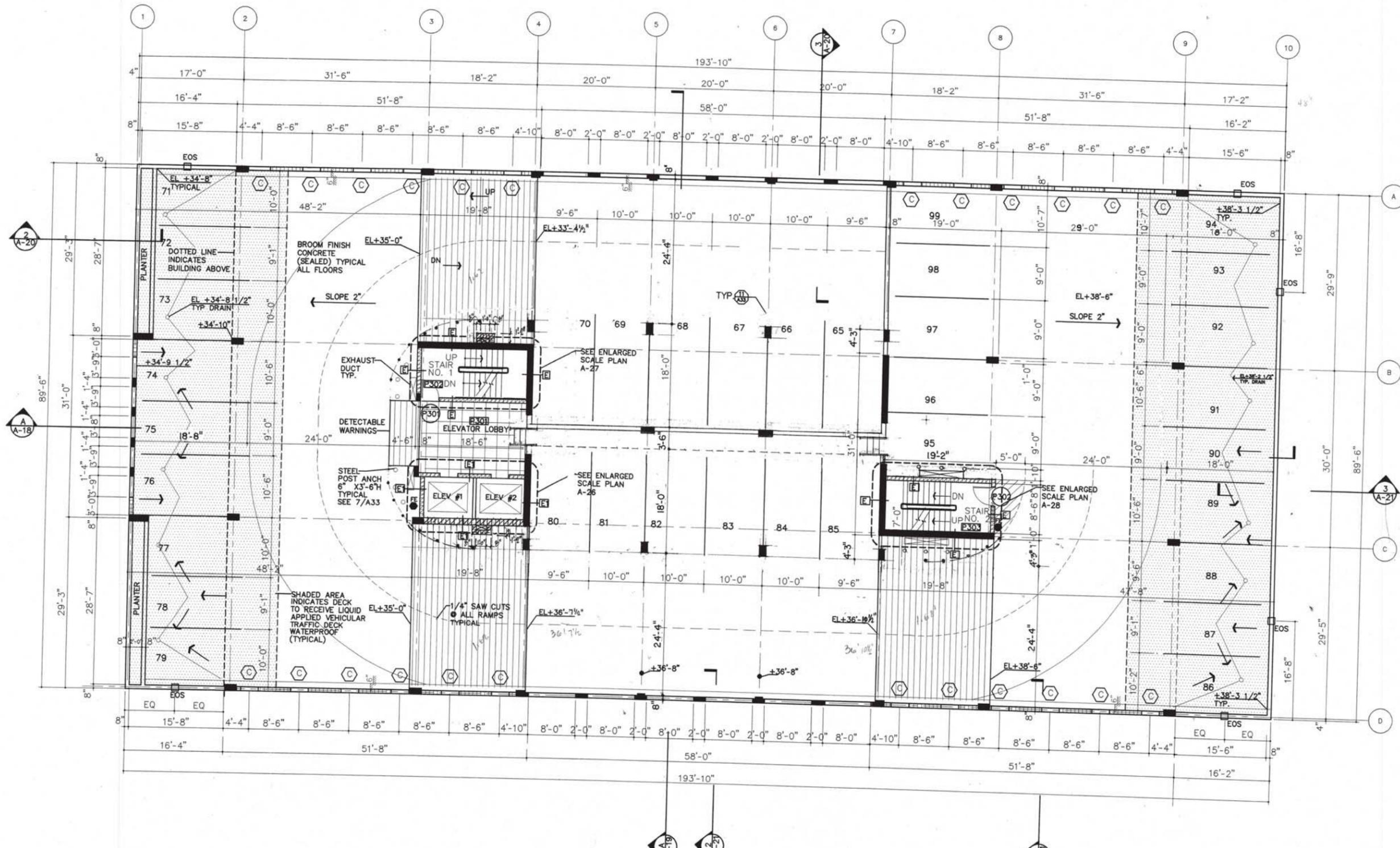
3 BABY STROLLER PARKING SIGN

P.J. GORDO architect
5704 S.W. 26th STREET MIAMI, FL 33155
PH (305) 666-5776

OFFICE BUILDING
2000 PONCE DE LEON SQUARE INC.
CORAI GARIFS FLORIDA

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AR 0008767
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9616
DATE ISSUED
6/16/97
REVISIONS
BID SET 7/28/97
CS 1-20-98

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of



FOURTH FLOOR PLAN (PARKING LEVEL 3)
 1/8" = 1'-0"

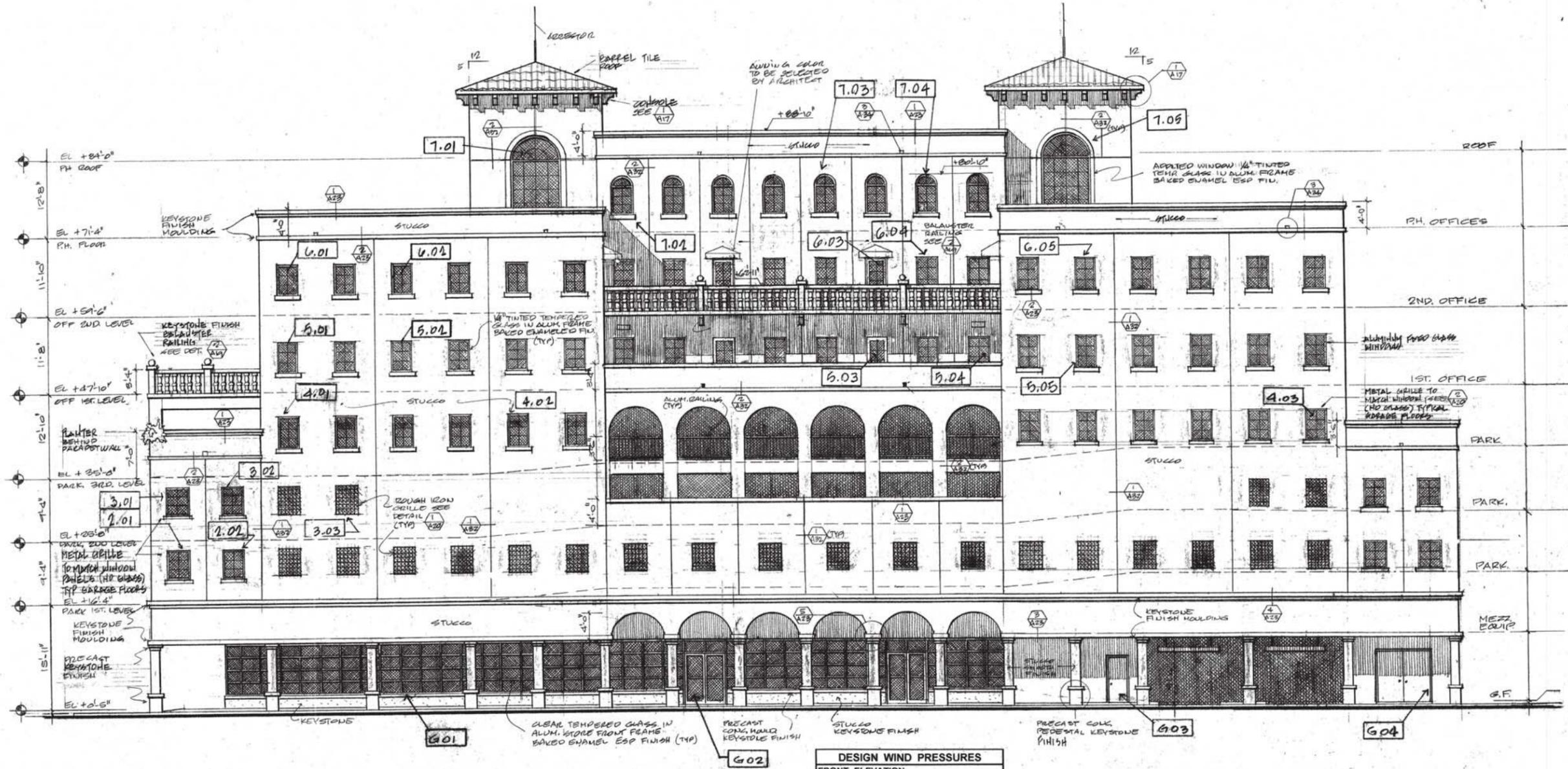
P.J. GORDO architect
 5794 S.W. 26th STREET
 MIAMI, FL 33155
 PH. (305) 664-5778

P.G. FRAGA
 consulting architect

OFFICE BUILDING
 2000 PONCE DE LEON SQUARE, INC.
 CORAL GABLES, FLORIDA

LIC. NO.
 AR 0008767
 COMMISSION NO
 9616
 DATE ISSUED
 5/16/97
 REVISIONS
 BID SET 7/28/97
 CS 11/20/97

sheet
 A-7
 of:



FRONT ELEVATION (NAVARRE AVENUE)
SCALE 1/8" = 1'-0"

FRONT ELEVATION DESIGN WIND PRESSURES						
AREA	Cp	ZONE	q(z) psf	p+ (psf)	p- (psf)	
11.0x7.0=	77.0 s.f.	1.2-1.44	4.5	44.90	+85.10	-75.88
3.0x5.0=	15.0 s.f.	1.36-1.91	5	43.20	+89.55	-93.31
3.0x5.0=	15.0 s.f.	1.36-1.46	4	43.20	+89.55	-73.87
3.0x5.0=	15.0 s.f.	1.36-1.91	5	41.49	+85.79	-89.81
3.0x5.0=	15.0 s.f.	1.36-1.46	4	41.49	+85.79	-71.77
3.0x5.0=	15.0 s.f.	1.36-1.91	5	39.22	+83.14	-84.71
3.0x5.0=	15.0 s.f.	1.36-1.46	4	39.22	+83.14	-67.85
3.0x4.5=	13.5 s.f.	1.38-1.98	5	36.20	+59.00	-80.72
3.0x4.5=	13.5 s.f.	1.38-1.48	4	36.20	+59.00	-62.63
3.5x4.0=	14.0 s.f.	1.37-1.47	4	33.47	+54.22	-57.56
3.5x4.0=	14.0 s.f.	1.37-1.97	5	33.47	+54.22	-74.30
3.5x4.0=	14.0 s.f.	1.37-1.47	4	30.73	+49.78	-52.85
3.5x4.0=	14.0 s.f.	1.37-1.97	5	30.73	+49.78	-68.22
PANELS						
8.0x12.0=	96.0 s.f.	1.15-1.28	4	27.32	+38.24	-41.79
DOORS						
6.0x8.0=	48.0 s.f.	1.21-1.36	4	27.32	+39.88	-43.98
3.0x8.0=	24.0 s.f.	1.30-1.42	4	27.32	+42.34	-45.62
3.0x8.0=	24.0 s.f.	1.30-1.42	4	41.49	+84.30	-69.28
3.0x8.0=	24.0 s.f.	1.30-1.42	4	39.22	+80.79	-65.46
3.0x8.0=	24.0 s.f.	1.30-1.80	5	43.20	+85.96	-88.56
8.0x8.0=	64.0 s.f.	1.21-1.47	4.5	27.32	+39.75	-46.99
WINDOWS						
3.0x6.0=	18.0 s.f.	1.33-1.44	4	43.20	+88.25	-73.00
3.0x7.0=	21.0 s.f.	1.31-1.42	4	41.49	+84.72	-69.28
3.0x7.0=	21.0 s.f.	1.31-1.42	4	39.22	+81.18	-65.49

FRONT ELEVATION DESIGN WIND PRESSURES				
AREA	P+	P-	AREA	
G 01	P=+36.24 psf	P=-41.79 psf	5.01	P=+63.92 psf
G 02	P=+39.88 psf	P=-34.96 psf	5.02	P=+83.92 psf
G 03	P=+42.34 psf	P=-45.62 psf	5.03	P=+60.79 psf
G 04	P=+39.75 psf	P=-46.99 psf	5.04	P=+81.18 psf
2.01	P=+49.78 psf	P=-68.22 psf	6.01	P=+87.62 psf
2.02	P=+48.78 psf	P=-52.85 psf	6.02	P=+87.62 psf
3.01	P=+54.22 psf	P=-74.30 psf	6.03	P=+64.30 psf
3.02	P=+54.22 psf	P=-57.56 psf	6.04	P=+64.72 psf
3.03	P=+54.22 psf	P=-57.56 psf	6.05	P=+69.55 psf
4.01	P=+59.00 psf	P=-62.62 psf	7.01	P=+65.10 psf
4.02	P=+59.00 psf	P=-62.62 psf	7.02	P=+66.55 psf
4.03	P=+59.00 psf	P=-62.62 psf	7.03	P=+69.55 psf
			7.04	P=+88.25 psf
			7.05	P=+85.10 psf

1 BID SET
7-28-97

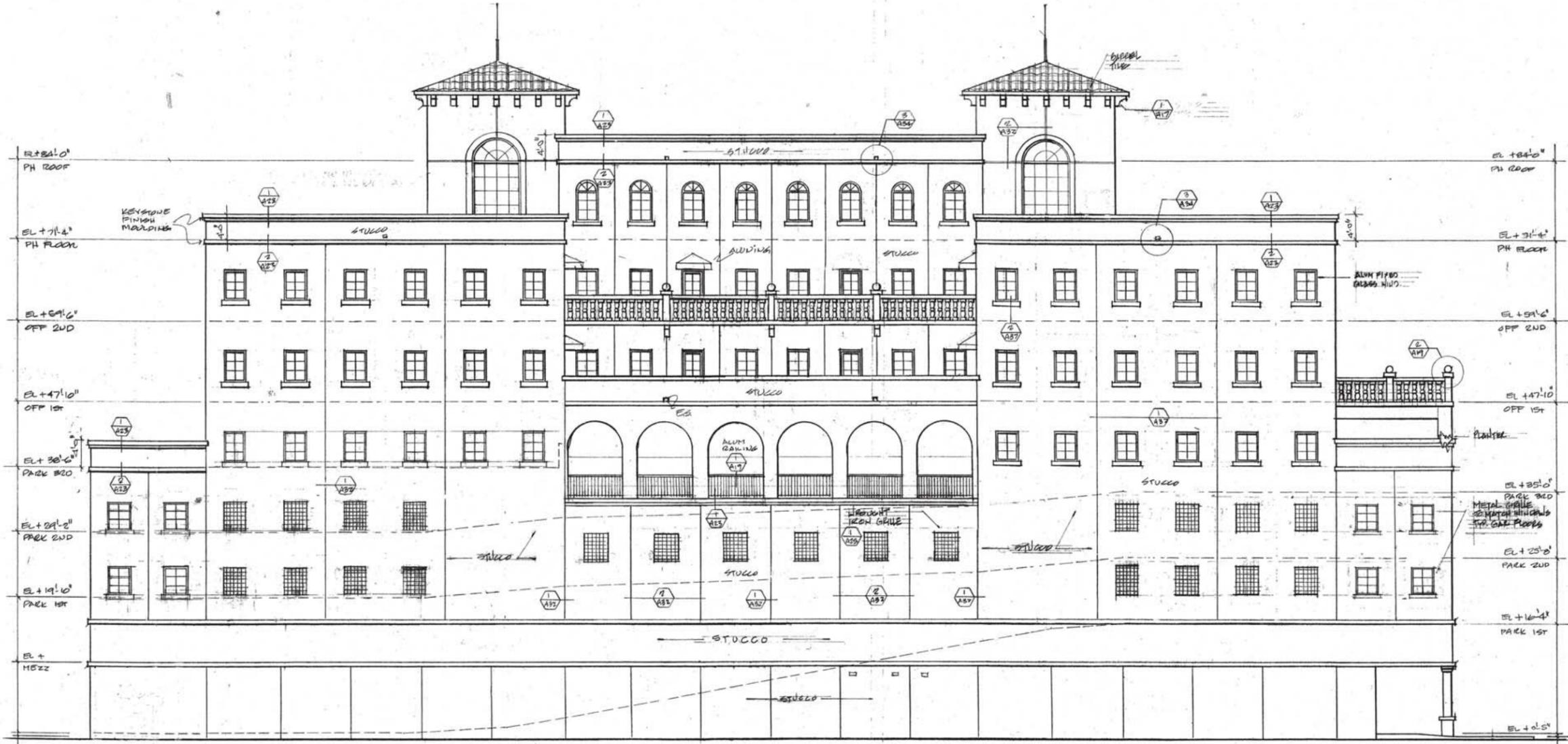
P.J. GORDO architect
5784 S.W. 20th STREET MIAMI, FL 33155
PH (305) 866-3778

P.G. FRAGA
consulting architect

OFFICE BUILDING
2000 PONCE DE LEON SQUARE INC.
FLORIDA
CORAL GABLES,

LIC. NO. AR 00087
COMMISSION NO.
9616
DATE ISSUED
6/16/97
REVISIONS
CS 1.00-98

sheet
A-15
of 34



REAR ELEVATION (SOUTH)

SCALE 1/8" = 1'-0"

Dimension
Determine
Detail Marks
SCHEDULES
C-CALLS

P. J. GORDO architect
5764 S.W. 26th STREET MIAMI, FL 33155
P. (305) 446-3776

P. G. FRAGA
consulting architect

OFFICE BUILDING
2000 PONCE DE LEON SQUARE INC.
CORAL GABLES,
FLORIDA

LIC. NO. AR 0008767
COMMISSION NO.
9616
DATE ISSUED
01/16/97
REVISIONS
CS 1-20-98

BID SET
7-28-97

sheet
A-17
of 34



2000 Ponce de Leon Blvd.

2000 Ponce De Leon Blvd. Parking Analysis

Staff & Student Population		
Total Staff	58	
Staff (full-time)	50	
Adjunct (part-time)	8	
Total Students	448	
Students 16 years and older	128	(Grades 11-12)
Proposed Parking Requirements		
Zoning Code	Required	Provided
1 space per Full-Time Employee	50	50
1 space per every 4 students 16 and older	32	32
	<i>(128/4)=32</i>	
Total Parking Required	82	82
Existing Parking (34,610 SF/350)		99
Surplus Parking		17

Memorandum

To: Linda Eads
From: Juan Espinosa, PE
Date: August 31, 2018
RE: Gables Crest Preparatory – Preliminary Site Assessment - #17178
cc: Tim Plummer, File

Gables Crest Preparatory is proposing a new 6th – 12th grade school at an existing office building located at 2000 Ponce de Leon Boulevard in Coral Gables, FL. The school anticipates opening for the 2019-2020 school year with an initial enrollment of 80 students (grades 6th-10th). The maximum number of students will be 448 (grades 6th – 12th) by the school year 2026-2027. The purpose of this memorandum is to provide a preliminary assessment of site access /circulation, parking, traffic and drop-off / pick-up operations.

Roadway Characteristics

The existing building is located on the southwest corner of the Ponce de Leon Boulevard / Navarre Avenue intersection. This intersection is stop controlled for movements from Navarre Avenue. In this area, Ponce de Leon Boulevard is a four-lane divided roadway with parallel on-street parking on both sides of the roadway. Navarre Avenue is a two-lane undivided roadway with parallel on-street parking on both sides. East of Ponce de Leon Boulevard, Navarre Avenue is a dead-end street. There is currently a school speed zone on Ponce de Leon Boulevard from south of Majorca Avenue to south of Minorca Avenue. The speed zone serves the Coral Gables Elementary School which is located on the east side of Ponce de Leon Boulevard directly across from the proposed Eads School. Mid-block between Navarre and Minorca Avenues there is a signalized pedestrian crosswalk. There is a City of Coral Gables Trolley stop on the southeast corner of the Ponce de Leon Boulevard / Minorca Avenue intersection (NB route) and one on the northwest corner of the Ponce de Leon Boulevard / Navarre Avenue intersection (SB route).

Site Access

Access to the building parking garage is via a two-way driveway located on Navarre Avenue. To the west of the building there is an existing City of Coral Gables parking lot (Lot #13). Entrance to the parking lot is via a one-way driveway located on the east side of the lot; exit is via a one-way driveway on the west side. The lot consist of two one-way parking aisles with angled parking. The parking aisle on the north side of the lot runs from west to east and the aisle on the south side runs from east to west.

Drop-off / Pick-up

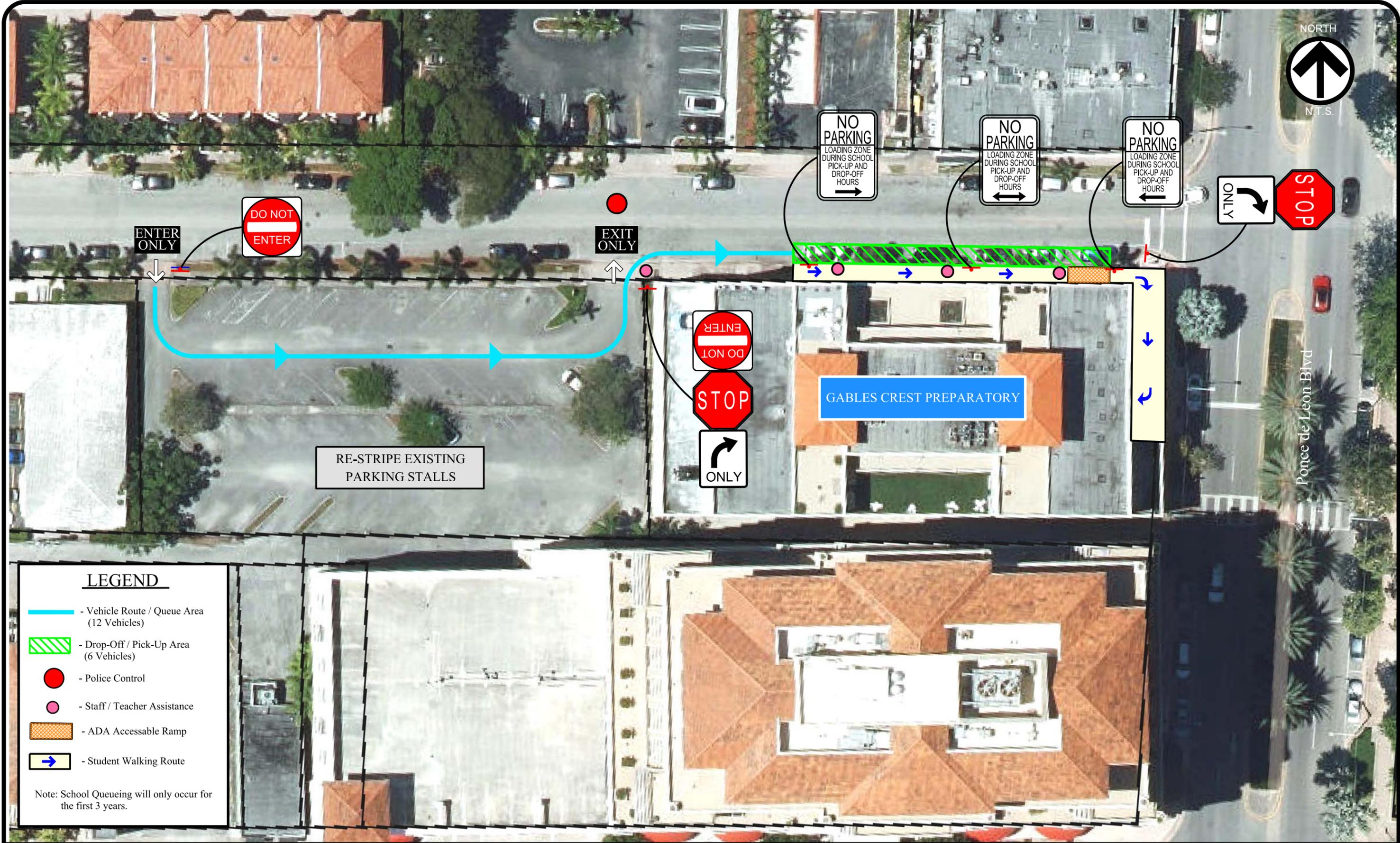
The school will be developed in phases and is proposing two operational configurations. The initial (Interim) configuration will be based on a maximum of 211 students and will be in place from 2019 through 2022. This configuration will use the existing City's parking lot for queuing and the on-street parking on the north side of Navarre Avenue for the drop-off / pick-up area (see Exhibit 1). This will require the reconfiguration of the parking lot entrance and exit driveways. Entrance to the lot should be through the west driveway with vehicles traveling east on the north aisle towards the building. Vehicles will exit through the east driveway. In essence the entrance and exit of the parking lot will have to be reversed.

The second (Final) configuration will be in place starting in the 2022-2023 school year and will have a maximum number of students of 448 (by 2027). This configuration will use the existing building parking garage for queuing and drop-off / pick-up area (see Exhibit 2). Access to the parking garage will be via an existing two-way driveway on Navarre Avenue.

Other considerations to improve the operations of the school during arrival and dismissal include:

- Control east driveway with police officer during arrival and dismissal (Interim Plan)
- Control parking garage entrance/exit with police officer during arrival and dismissal (Final Plan)
- Consider two arrivals and dismissal periods at least 30 minute apart.
- Consider arrival and dismissal periods that do not coincide with Coral Gables Elementary arrival and dismissal times.
- Restrict the eastbound movement on the Navarre Avenue / Ponce de Leon Boulevard to right-turn only.
- Consider developing a Parent Handbook detailing the school traffic / parking policies.

w:\17\17178\school assessment memo_rev_2.docx



RE-STRIPE EXISTING
PARKING STALLS

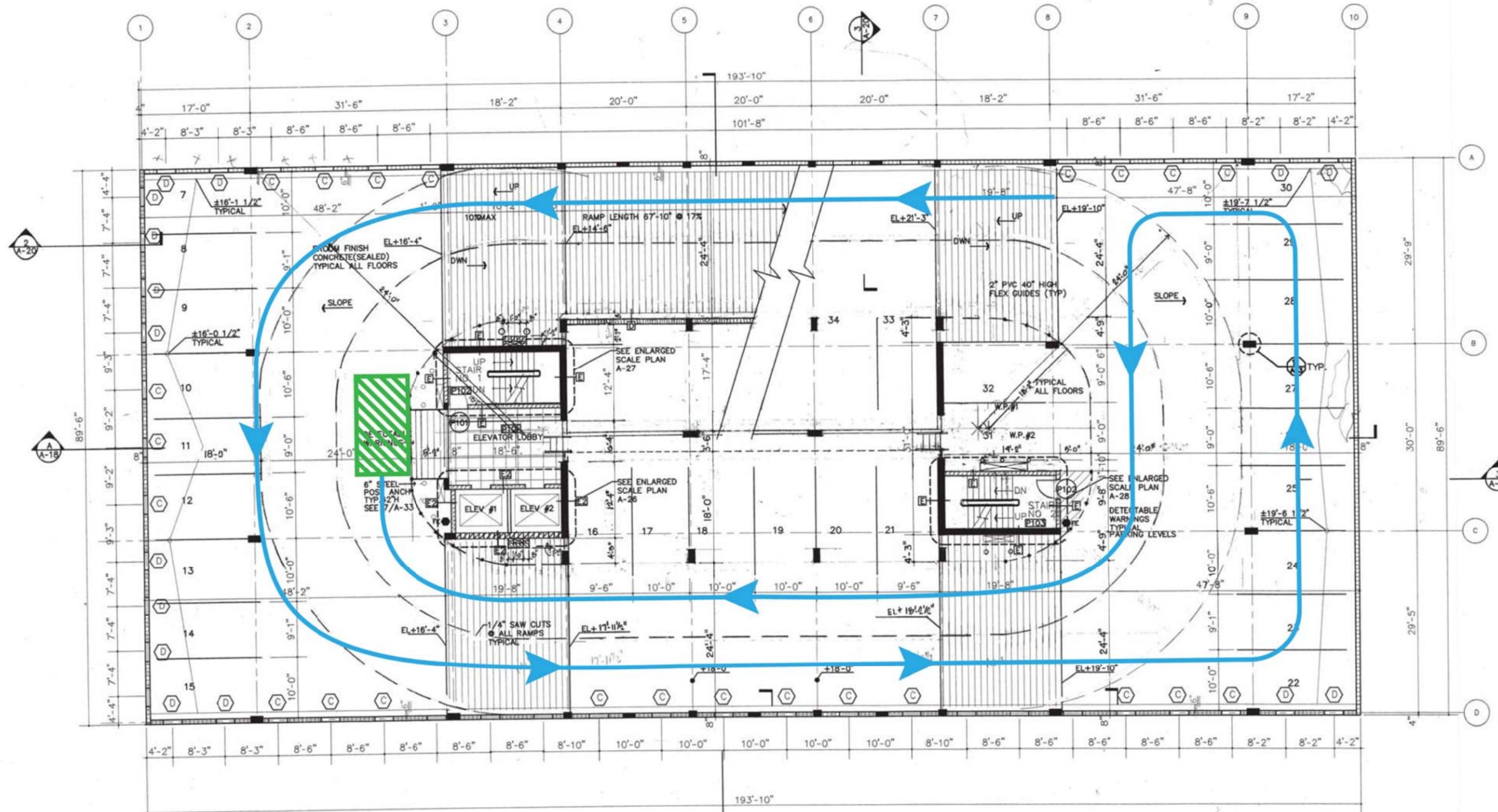
GABLES CREST PREPARATORY

Ponce de Leon Blvd

LEGEND

-  - Vehicle Route / Queue Area (12 Vehicles)
-  - Drop-Off / Pick-Up Area (6 Vehicles)
-  - Police Control
-  - Staff / Teacher Assistance
-  - ADA Accessible Ramp
-  - Student Walking Route

Note: School Queuing will only occur for the first 3 years.



LEGEND

- Vehicle Route / Queue Area (28 Vehicles / 630 ft)
- Drop-Off / Pick-Up Area

SECOND FLOOR PLAN (PARKING LEVEL 1)
 1/8" = 1'-0"

August 29, 2018

Ms. Jessica A. Keller
Assistant Public Works Director
City of Coral Gables
Public Works Department
2800 SW 72 Ave
Miami, Florida 33155

Re: Trip Generation – Gables Crest Preparatory - #17178

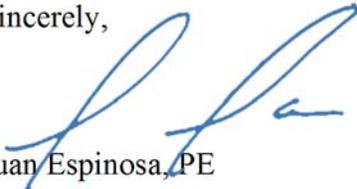
Dear Ms. Keller:

David Plummer & Associates has performed a trip generation analysis for Gables Crest Preparatory. Gables Crest Preparatory is proposing a new 6th – 12th grade school at an existing office building located at 2000 Ponce de Leon Boulevard in Coral Gables, FL. The school anticipates opening for the 2019-2020 school year with an initial enrollment of 80 students (grades 6th-10th). The maximum number of students will be 448 (grades 6th – 12th) by the school year 2026-2027.

Trip generation calculations for the proposed redevelopment were performed using Institute of Transportation Engineers' (ITE) *Trip Generation, 10th Edition*. ITE Land Use Codes (LUC) 522 (Middle School), 530 (High School), and 710 (General Office Building) were utilized for the existing and proposed trip generation. As shown in Table 1, the trip generation calculations indicate that the proposed redevelopment represents an increase of 831 daily, 183 AM peak hour, and 25 PM peak hour trips. Detailed trip generation calculations are provided in Attachment A.

Table 1: Trip Generation Summary			
Development Plan	Total Weekday	A.M. Peak Hour	P.M. Peak Hour
Existing	379	59	42
Proposed	1210	242	67
Δ Trips	831	183	25

Sincerely,



Juan Espinosa, PE

cc: Mr. Ed Santamaria, P.E., Public Works Director
w:\17\17178\j_kelle_trip gen-let.docx

Attachment A

Gables Crest Preparatory

Proposed Middle / High School

Proposed ITE Land Use Designation ¹	Number of Units	Daily Vehicle Trips	AM Peak Hour Vehicle Trips			PM Peak Hour Vehicle Trips		
			In	Out	Total	In	Out	Total
Middle School / Junior High <i>Land Use Code: 522</i>	139 Students	296	44	37	81	12	12	24
High School <i>Land Use Code: 530</i>	309 Students	914	108	53	161	21	22	43
TOTAL	448 Students	1,210	152	90	242	33	34	67

Existing Office Building

Proposed ITE Land Use Designation ¹	Number of Units	Daily Vehicle Trips	AM Peak Hour Vehicle Trips			PM Peak Hour Vehicle Trips		
			In	Out	Total	In	Out	Total
General Office Building <i>Land Use Code: 710</i>	34,610 SF	379	51	8	59	7	35	42
TOTAL		379	51	8	59	7	35	42

	Daily Vehicle Trips	AM Peak Hour Vehicle Trips			PM Peak Hour Vehicle Trips		
		In	Out	Total	In	Out	Total
(Proposed) School	1,210	152	90	242	33	34	67
(Existing) Office	379	51	8	59	7	35	42
Difference	831	101	82	183	26	-1	25

¹ Based on ITE Trip Generation Manual, 10th Ed.

Projected School Operation Hours

7:00 AM	Custodian arrives, opens building
7:15 AM	School Receptionist, Director of Security
7:30 AM	Middle School Faculty Arrive Middle School Students arrive on campus (Cyber Café)
7:45 AM	Middle School Classes Begin
8:30 AM	Senior High Faculty Arrive Senior High School Students arrive on campus (Cyber Café)
8:45 AM	Senior High Classes Begin
2:45 PM	Middle School Students depart (under supervision)
3:00 PM	Middle School Faculty Depart Middle School Students who stay for afterschool Programs (Cyber Café for snacks before afterschool program begins)
3:15 PM	Middle School and Community After School Programs Begin (floor 5)
3:45 PM	Senior High Students Depart (under supervision) Senior High Students who stay for afterschool Programs (Cyber Café for snacks before afterschool programs begins)
4:00 PM	Senior High Afterschool Program Begins (floors 5 and 6) Director of Security Departs Senior High Faculty Depart
6:00 PM	Adult & Community music, entrepreneurship, and robotic classes (floors 5 and 6)
9:00 PM	Building Closes

CORAL GABLES CONCURRENCY MANAGEMENT

Concurrency Information Statement

This Concurrency Information Statement is for informational purposes only and reflects the availability of public services only at the time statement is issued.

The available capacity for each public service is monitored and updated as development orders are issued by the city, and the applicant cannot be assured that the necessary public services will be available for a development order (e.g. any change in use) at a future date.



GABLES CREST SCHOOL - Laura L. R
2000 Ponce De Leon Blvd.
Coral Gables, FL

Secondary Schools: 450 students
STATUS=P

Date Printed: 8/16/2018
Development Order: 0
Record Number: 3279
Assoc. Demolition Record: 0

Zones:

Trffic	Fire Protection	Flood Protection	Parks and Recreation
31	201	X	3

Concurrency Needs

Minimum Required Elevation (ft): 0

Adequate Water Flow for Commercial & Residential Fire Protection

	Site Demand	Zone Capacity	Zone Demand	Concurrent	
Trips	630			OK	Within Urban Infill Area
Golf Course	0	47.41	0.4574568314	OK	
Tennis Courts	0	40.35	4.5745663372	OK	
Racquetball Courts	0	6.23	0.597054	OK	
Basketball Courts	0	15.34	1.962712	OK	
Ball Diamonds	0	6.27	1.228318	OK	
Playing Fields	0	7.27	1.228318	OK	
Swimming Pools	0	3.13	0.13729	OK	
Equipped Playing Areas	0	6.34	1.3729	OK	
Special Recreation Facilities	0	93.84	20.59	OK	
Neighborhood Parks (acres)	0	5.62	5.1472	OK	
Mini Parks (acres)	0	0.97	0.27448	OK	
Open Space (acres)	0	1.53	0.6871	OK	
Water Flow (gpm)	3000	3000	3000	OK	

Application Fee: \$190.31

Statement Issued by:

Application Date: 8/16/2018

Expiration Date: N/A

Comments: EDUCATIONAL - NUMBER OF STUDENTS: 80-450

SECONDARY SCHOOL NUMBER OF STUDENTS: 1ST YR 80/ 2ND YR: 173/ 3RD YR: 258/ 4TH YR: 354

5TH & FINAL YR: 450. NUMBER OF STAFF 1ST YR TO 5TH & FINAL YR TOTAL: 55

Although the proposed use for which this Concurrency Statement is issued is located in the Urban Infill Area of the City of Coral Gables, and the Statement does not reflect the actual trips that would be generated for this use, Concurrency Fees are applicable and will be assessed.



CITY OF CORAL GABLES
RECEIVED BY THE
OFFICE OF THE CITY CLERK

CITY OF CORAL GABLES
LOBBYIST ANNUAL REGISTRATION APPLICATION
FOR EACH PRINCIPAL REPRESENTED PM 2:41

REGISTRATION #: _____

HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?

CITY OFFICIALS: Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager(s), Deputy/Assistant City Attorney(s), Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors Board, Committee Members, or any other City Official or staff.

FOR THIS PURPOSE: To encourage the approval, disapproval, adoption, repeal, passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of the City Commission, any Board, Committee or City Official.

IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST:

Print Your Name and Email Address: Laura L. Russo, Esq. / Laura@Laurarussolaw.com
LOBBYIST EMAIL ADDRESS

Print Your Business Name, if applicable: Laura L. Russo, Esq., LLC

Business Telephone Number: 305-476-8300

Business Address 2655 Le Jeune Road, Suite PH 1-F, Coral Gables, FL 33134
ADDRESS CITY, STATE ZIP CODE

Federal ID#: 26-3602751

State the extent of any business or professional relationship you have with any current member of the City Commission.

None

PRINCIPAL REPRESENTED:

NAME Linda J. Eads, Ed.D COMPANY NAME, IF APPLICABLE _____

BUSINESS ADDRESS 900 Biscayne Blvd., #506, Miami, FL 33132 TELEPHONE NO.: 305-496-3237

CITY OF CORAL GABLES
RECEIVED BY THE
OFFICE OF THE CITY CLERK

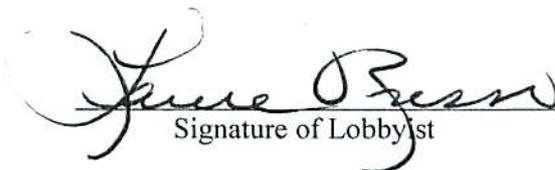
ANNUAL REPORT: On October 1st of each year, you are required to submit to the City Clerk a signed statement under oath listing all lobbying expenditures in excess of \$25.00 for the preceding calendar year. 2018 DUE 11:59 PM 2-4-19 Statement is not required to be filed if there were no expenditures.

LOBBYIST ISSUE APPLICATION: Prior to lobbying for a specific issue, you are required to fill out a Lobbyist Issue Application form with the Office of the City Clerk; stating under oath, your name, business address, the name of each principal who employed you to lobby, and the specific issue on which you wish to lobby.

NOTICE OF WITHDRAWAL: If you discontinue representing a particular client, a notice of withdrawal is required to be filed with the City Clerk.

ANNUAL LOBBYIST REGISTRATION FEE: This Registration must be on file in the Office of the City Clerk prior to The filing of an Issue Application to lobby on a specific issue, and payment of a \$250.00 Lobbyist Registration Fee is required.

I Laura L. Russo hereby swear or affirm under penalty of perjury that I have read the provisions of the City of Coral Gables Ordinance 2006-11, governing Lobbying and that all of the facts contained in this Registration Application are true and that I agree to pay the \$250.00 Annual Lobbyist Registration Fee.


Signature of Lobbyist

STATE OF FLORIDA)
)
COUNTY OF MIAMI-)
DADE

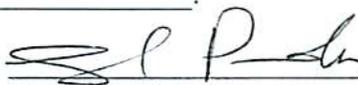
BEFORE ME personally appeared Laura L. Russo to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said instrument for the purposes therein expressed.

WITNESS my Hand and Official Seal this 7/9/18.

Personally Known

Produced ID




Notary Public
State of Florida

\$250.00 Fee Paid Received By _____ Date: _____

Fee Waived for Not-for-Profit Organizations (documentary proof attached.) _____ FL. ID#: _____

For Office Use Only

Data Entry Date: _____, 20____ Entered By: _____



CITY OF CORAL GABLES
RECEIVED BY THE
OFFICE OF THE CITY CLERK

CITY OF CORAL GABLES
LOBBYIST 2018 JUL 11 PM 2:41
ISSUE APPLICATION

REGISTRATION #: _____

HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?

CITY OFFICIALS: Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager(s), Deputy/Assistant City Attorney(s), Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors, Board/Committee Members, or any City Official or staff.

FOR THIS PURPOSE: To encourage the passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of any Board, Committee or City Official.

IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST AND TO FILE THE FOLLOWING INFORMATION, UNDER OATH, WITH THE CITY CLERK FOR EACH ISSUE ADDRESSED. ISSUE FEE: NO CHARGE, PROVIDING YOU HAVE A CURRENT ANNUAL LOBBYIST REGISTRATION DOCUMENT ON FILE.

Print Your Name and Email Address: Laura L. Russo, Esq. / Laura@Laurarussolaw.com
LOBBYIST EMAIL ADDRESS

Print Your Business Name: Laura L. Russo, Esq., LLC

Business Telephone Number: 305-476-8300

Business Address: 2655 Le Jeune Road, Suite PH 1-F, Coral Gables, FL 33134
ADDRESS CITY, STATE ZIP CODE

Corporation, Partnership, or Trust Represented:

Principal Name: Linda J. Eads, Ed.D

Principal Address: 900 Biscayne Blvd., #5106, Miami, FL 33132 Telephone Number: 305-496-3237

ISSUE: Describe in detail, including address, if applicable, of the specific issue on which you will lobby: (Separate Application is required for each specific issue)

Approval for school in Downtown Commercial area

CITY OF CORAL GABLES
RECEIVED BY THE
OFFICE OF THE CITY CLERK
2018 JUL 11 PM 2:41

I Laura L. Russo hereby swear or affirm under penalty of per-
jury that all the facts contained in this Application are true and that I am aware
that these requirements are in compliance with the provisions of the City of Coral
Gables Ordinance No. 2006-11 (06/06/2006); Ordinance No. 2017-44
(12/05/2017); governing Lobbying.

Laura L. Russo
Signature of Lobbyist

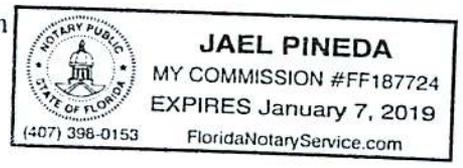
7/9/18
Date

STATE OF FLORIDA)
)
COUNTY OF MIAMI-)
DADE

BEFORE ME personally appeared Laura L. Russo to me well known and known to me to be the person
described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said in-
strument for the purposes therein expressed.

WITNESS my Hand and Official Seal this 7/9/18.

Personally Known
 Produced ID



Jael Pineda
Notary Public
State of Florida

For Office Use Only

Data Entry Date: _____, 20____. Entered By: _____

Annual Fees Waived for Not-for-Profit Organizations (documentary proof attached.) _____

FL ID #: _____



CITY OF CORAL GABLES
LOBBYIST
ISSUE APPLICATION

REGISTRATION #: _____

HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?

CITY OFFICIALS: Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager(s), Deputy/Assistant City Attorney(s), Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors, Board/Committee Members, or any City Official or staff.

FOR THIS PURPOSE: To encourage the passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of any Board, Committee or City Official.

IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST AND TO FILE THE FOLLOWING INFORMATION, UNDER OATH, WITH THE CITY CLERK FOR EACH ISSUE ADDRESSED. ISSUE FEE: NO CHARGE, PROVIDING YOU HAVE A CURRENT ANNUAL LOBBYIST REGISTRATION DOCUMENT ON FILE.

Print Your Name and Email Address: Juan Espinosa / Juan.Espinosa@dplummer.com
LOBBYIST EMAIL ADDRESS

Print Your Business Name: David Plummer & Associates

Business Telephone Number: 305 447-0900

Business Address: 1750 Ponce de Leon Blvd. Coral Gables, Florida 33134
ADDRESS CITY, STATE ZIP CODE

Corporation, Partnership, or Trust Represented:

Principal Name: Linda J. Eads, Ed.D

Principal Address: 900 Biscayne Blvd., #506, Miami, FL 33132 Telephone Number: 305-496-3237

ISSUE: Describe in detail, including address, if applicable, of the specific issue on which you will lobby: (Separate Application is required for each specific issue)

Approval for school in Downtown Commercial area

I Juan Espinosa hereby swear or affirm under penalty of per-
jury that all the facts contained in this Application are true and that I am aware
that these requirements are in compliance with the provisions of the City of Coral
Gables Ordinance No. 2006-11 (06/06/2006); Ordinance No. 2017-44
(12/05/2017); governing Lobbying.

[Signature]
Signature of Lobbyist

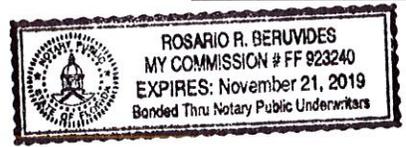
8/13/2018
Date

STATE OF FLORIDA)
)
COUNTY OF MIAMI-)
DADE

BEFORE ME personally appeared Juan Espinosa to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said instrument for the purposes therein expressed.

WITNESS my Hand and Official Seal this _____.

Personally Known
 Produced ID



[Signature]
Notary Public
State of Florida

For Office Use Only

Data Entry Date: _____, 20____. Entered By: _____

Annual Fees Waived for Not-for-Profit Organizations (documentary proof attached.) _____
FL ID #: _____



CITY OF CORAL GABLES
LOBBYIST
ISSUE APPLICATION

REGISTRATION #: _____

HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?

CITY OFFICIALS: Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager(s), Deputy/Assistant City Attorney(s), Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors, Board/Committee Members, or any City Official or staff.

FOR THIS PURPOSE: To encourage the passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of any Board, Committee or City Official.

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Print Your Name and Email Address: Timothy J. Plummer / Tim.Plummer@dplummer.com
LOBBYIST EMAIL ADDRESS

Print Your Business Name: David Plummer & Associates

Business Telephone Number: 305 447-0900

Business Address: 1750 Ponce de Leon Blvd. Coral Gables, Florida 33134
ADDRESS CITY, STATE ZIP CODE

Corporation, Partnership, or Trust Represented:

Principal Name: Linda J. Eads, Ed.D

Principal Address: 900 Biscayne Blvd., #506, Miami, FL 33132 Telephone Number: 305-496-3237

ISSUE: Describe in detail, including address, if applicable, of the specific issue on which you will lobby: **(Separate Application is required for each specific issue)**

Approval for school in Downtown Commercial area

I Timothy J. Plummer hereby swear or affirm under penalty of per-
jury that all the facts contained in this Application are true and that I am aware
that these requirements are in compliance with the provisions of the City of Coral
Gables Ordinance No. 2006-11 (06/06/2006); Ordinance No. 2017-44
(12/05/2017); governing Lobbying.



Signature of Lobbyist

0/13/18

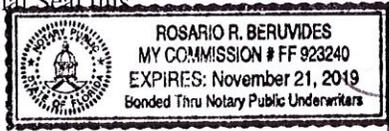
Date

STATE OF FLORIDA)
)
COUNTY OF MIAMI-)
DADE

BEFORE ME personally appeared Timothy Plummer to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said instrument for the purposes therein expressed.

WITNESS my Hand and Official Seal this _____.

Personally Known
 Produced ID





Notary Public
State of Florida

For Office Use Only	
Data Entry Date: _____, 20____.	Entered By: _____

Annual Fees Waived for Not-for-Profit Organizations (documentary proof attached.) _____

FL ID #: _____



**CITY OF CORAL GABLES
LOBBYIST ANNUAL REGISTRATION APPLICATION
FOR EACH PRINCIPAL REPRESENTED**

REGISTRATION #: _____

HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?

CITY OFFICIALS: Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager(s), Deputy/Assistant City Attorney(s), Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors Board, Committee Members, or any other City Official or staff.

FOR THIS PURPOSE: To encourage the approval, disapproval, adoption, repeal, passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of the City Commission, any Board, Committee or City Official.

IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST:

Print Your Name and Email Address: AGUSTIN BARRERA abarrera@bermelloajamil.com
LOBBYIST EMAIL ADDRESS

Print Your Business Name, if applicable: BERMELLO AJAMIL & PARTNERS

Business Telephone Number: (786) 971-6356

Business Address 2601 S. BAYSHORE DRIVE #1000 MIAMI, FL 33133
ADDRESS CITY, STATE ZIP CODE

Federal ID#: 59-1722486

State the extent of any business or professional relationship you have with any current member of the City Commission.
None

PRINCIPAL REPRESENTED:
NAME Linda J. Eads, Ed.D COMPANY NAME, IF APPLICABLE _____
BUSINESS ADDRESS 900 Biscayne Blvd., #506, Miami, FL 33132 TELEPHONE NO.: 305-496-3237

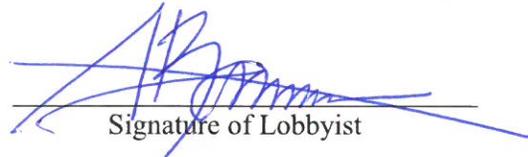
ANNUAL REPORT: On October 1st of each year, you are required to submit to the City Clerk a signed statement under oath listing all lobbying expenditures in excess of \$25.00 for the preceding calendar year. A statement is not required to be filed if there were no expenditures.

LOBBYIST ISSUE APPLICATION: Prior to lobbying for a specific issue, you are required to fill out a Lobbyist Issue Application form with the Office of the City Clerk; stating under oath, your name, business address, the name of each principal who employed you to lobby, and the specific issue on which you wish to lobby.

NOTICE OF WITHDRAWAL: If you discontinue representing a particular client, a notice of withdrawal is required to be filed with the City Clerk.

ANNUAL LOBBYIST REGISTRATION FEE: This Registration must be on file in the Office of the City Clerk prior to The filing of an Issue Application to lobby on a specific issue, and payment of a \$250.00 Lobbyist Registration Fee is required.

I AGUSTIN BARRERA hereby swear or affirm under penalty of per-
Print Name of Lobbyist
jury that I have read the provisions of the City of Coral Gables Ordinance 2006-11, governing Lobbying and that all of the facts contained in this Registration Application are true and that I agree to pay the \$250.00 Annual Lobbyist Registration Fee.


Signature of Lobbyist

STATE OF FLORIDA)
)
COUNTY OF MIAMI-)
DADE

BEFORE ME personally appeared AGUSTIN BARRERA to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said instrument for the purposes therein expressed.

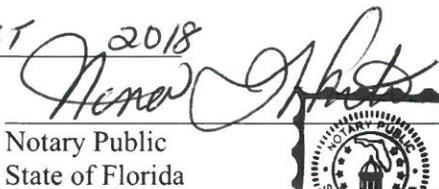
WITNESS my Hand and Official Seal this 14, AUGUST 2018

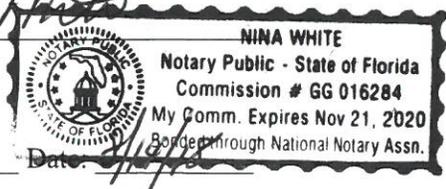
Personally Known

Produced ID

\$250.00 Fee Paid _____

Received By _____


Notary Public
State of Florida



Fee Waived for Not-for-Profit Organizations (documentary proof attached.) _____ FL. ID#: _____

For Office Use Only

Data Entry Date: _____, 20____ Entered By: _____