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#### **GRESHAM, SMITH AND PARTNERS**

ARCHITECTURE ENGINEERING INTERIORS PLANNING

Two Alhambra Plaza, Suite 1200 / Coral Gables, Florida 33134 / Phone 786.532.2100 / [www.greshamsmith.com](http://www.greshamsmith.com)

Firm's Florida Cert. No. AAP000034 / CA3806 / IB26000797 / LC26000381



City of Coral Gables-Planning & Zoning Board Application  
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# City of Coral Gables Planning Division Application

305.460.5211

planning@coralgables.com

www.coralgables.com

## Application request

The undersigned applicant(s)/agent(s)/property owner(s) request City of Coral Gables consideration and review of the following application(s) (please check all that apply):

- ☐ Abandonment and Vacations
- ☐ Annexation
- ☐ Coral Gables Mediterranean Architectural Design Special Locational Site Plan
- ☐ Comprehensive Plan Map Amendment - Small Scale
- ☐ Comprehensive Plan Map Amendment - Large Scale
- ☐ Comprehensive Plan Text Amendment
- ☐ Conditional Use - Administrative Review
- ☐ Conditional Use without Site Plan
- ☒ Conditional Use with Site Plan
- ☐ Development Agreement
- ☐ Development of Regional Impact
- ☐ Development of Regional Impact - Notice of Proposed Change
- ☐ Mixed Use Site Plan
- ☐ Planned Area Development Designation and Site Plan
- ☐ Planned Area Development Major Amendment
- ☐ Restrictive Covenants and/or Easements
- ☐ Site Plan
- ☐ Separation/Establishment of a Building Site
- ☐ Subdivision Review for a Tentative Plat and Variance
- ☐ Transfer of Development Rights Receiving Site Plan
- ☐ University Campus District Modification to the Adopted Campus Master Plan
- ☐ Zoning Code Map Amendment
- ☐ Zoning Code Text Amendment
- ☐ Other: \_\_\_\_\_

## General information

Street address of the subject property: 3737 SW 8th Street & 36 Oviedo Avenue

Property/project name: Jackson Health System Urgent Care Center Coral Gables

Legal description: Lot(s) Lots 8 & 9, 1 thru 5, 42 thru 50 & West 1/2 of lot 41

Block(s) 22 Section (s) Coral Gables Flagler Street Section

Property owner(s): Mozes Consolidated Properties, LLC (Sam & Lee Mozes)

Property owner(s) mailing address: 1770 Daytonia Road, Miami Beach, Florida 33141

Telephone: Business \_\_\_\_\_ Fax \_\_\_\_\_  
Other 305-586-0991 Email lsmozes @ yahoo.com



## City of Coral Gables Planning Division Application

Applicant(s)/agent(s): Isabel Nuñez

Applicant(s)/agent(s) mailing address: 1611 NW 12 Avenue, Miami, Florida 33136

Telephone: Business 305-585-3555 Fax \_\_\_\_\_

Other \_\_\_\_\_ Email isabel.nunez @ jhsmiami.org

### Property information

Current land use classification(s): Commercial Low Rise & Single Family Residential

Current zoning classification(s): Commercial Limited & Single Family Residential

Proposed land use classification(s) (if applicable): N/A

Proposed zoning classification(s) (if applicable): N/A

### Supporting information (to be completed by Planning Staff)

A Preapplication Conference is required with the Planning Division in advance of application submittal to determine the information necessary to be filed with the application(s). Please refer to the Planning Division Development Review Process Handbook, Section 3.0, for an explanation of each item. If necessary, attach additional sheets to application. The Planning Division reserves the right to request additional information as necessary throughout the entire review process.

- ☒ Aerial.
- ☒ Affidavit providing for property owner's authorization to process application.
- ☐ Annexation supporting materials.
- ☒ Application fees.
- ☒ Application representation and contact information.
- ☐ Appraisal.
- ☒ Architectural/building elevations.
- ☒ Building floor plans.
- ☐ Comprehensive Plan text amendment justification.
- ☐ Comprehensive Plan analysis.
- ☐ Concurrency impact statement.
- ☐ Encroachments plan.
- ☐ Environmental assessment.
- ☒ Historic contextual study and/or historical significance determination.
- ☒ Landscape plan.
- ☒ Lighting plan.
- ☒ Massing model and/or 3D computer model.
- ☒ City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- ☒ Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- ☒ Parking study.
- ☒ Photographs of property, adjacent uses and/or streetscape.
- ☐ Plat.
- ☒ Property survey and legal description.



## City of Coral Gables Planning Division Application

- ☒ Property owners list, notification radius map and two sets of labels.
- ☐ Public Realm Improvements Plan for mixed use projects.
- ☐ Public school preliminary concurrency analysis (residential land use/zoning applications only).
- ☐ Sign master plan.
- ☒ Site plan and supporting information.
- ☒ Statement of use and/or cover letter.
- ☐ Streetscape master plan.
- ☐ Traffic accumulation assessment.
- ☒ Traffic impact statement.
- ☐ Traffic impact study.
- ☐ Traffic stacking analysis.
- ☐ Utilities consent.
- ☒ Utilities location plan.
- ☒ Vegetation survey.
- ☐ Video of the subject property.
- ☐ Zoning Analysis ( Preliminary).
- ☐ Zoning Code text amendment justification.
- ☒ Warranty Deed.
- ☐ Other: \_\_\_\_\_

### Application submittal requirements

1. Hard copies. The number of application binders to be submitted shall be determined by Staff at the preapplication meeting. The application shall include all the items identified in the preapplication meeting.
2. Digital media copies. Two (2) compact discs (CD ROMs) of the entire application including all the items identified in the Preapplication Conference. Each document shall be separated into PDF files (i.e., application; site plan; landscape plan; etc.). Please include a "Table of Contents" identifying all PDF file name(s). Each PDF file size shall not exceed 10 Mb. All discs shall be labeled with the applicant(s) name, project name and date of submittal.

### Applicant/agent/property owner affirmation and consent

(I) (We) affirm and certify to all of the following:

1. Submission of the following:
  - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
  - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.



## City of Coral Gables Planning Division Application

5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. Additional costs in addition to the application fees may be assessed associated with the review of applications by the City. These are costs that may be incurred by the applicant due to consultant fees paid by City to review the application. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; traffic impact analyses; vegetation/environmental assessments; archeological/historic assessments; market studies; engineering studies or reports; and legal fees. Such fees will be assessed upon finalization of the City application review.

Property owner(s) signature(s):	Property owner(s) print name:	
Property owner(s) signature(s):	Property owner(s) print name:	
Property owner(s) signature(s):	Property owner(s) print name:	
Address:		
Telephone:	Fax:	Email:
<b>NOTARIZATION</b>		
<div>STATE OF FLORIDA/COUNTY OF _____</div> <div>The foregoing instrument was acknowledged before me this _____ day of _____ by _____</div> <div>(Signature of Notary Public - State of Florida)</div> <div style="height: 100px; border: 1px solid black; margin-top: 10px;"></div> <div>(Print, Type or Stamp Commissioned Name of Notary Public)</div> <div><input type="checkbox"/> Personally Known OR <input type="checkbox"/> Produced Identification; Type of Identification Produced _____</div>		



# City of Coral Gables Planning Division Application

Contract Purchaser(s) Signature:	Contract Purchaser(s) Print Name:
Contract Purchaser(s) Signature:	Contract Purchaser(s) Print Name:

Address:

Telephone:

Fax:

Email:

## NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ by \_\_\_\_\_

(Signature of Notary Public - State of Florida)

(Print, Type or Stamp Commissioned Name of Notary Public)

☐ Personally Known OR ☐ Produced Identification; Type of Identification Produced \_\_\_\_\_

Applicant(s)/Agent(s) Signature:

Applicant(s)/Agent(s) Print Name:

Address:

Telephone:

Fax:

Email:

## NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ by \_\_\_\_\_

(Signature of Notary Public - State of Florida)

(Print, Type or Stamp Commissioned Name of Notary Public)

☐ Personally Known OR ☐ Produced Identification; Type of Identification Produced \_\_\_\_\_



# City of Coral Gables Planning Division Application

5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. Additional costs in addition to the application fees may be assessed associated with the review of applications by the City. These are costs that may be incurred by the applicant due to consultant fees paid by City to review the application. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; traffic impact analyses; vegetation/environmental assessments; archeological/historic assessments; market studies; engineering studies or reports; and legal fees. Such fees will be assessed upon finalization of the City application review.

Property owner(s) signature(s): 	Property owner(s) print name: Samuel Mozes
Property owner(s) signature(s): 	Property owner(s) print name: Lee Mozes
Property owner(s) signature(s):	Property owner(s) print name:
Address: 1770 Daytona Road, Miami Beach, FL 33141	
Telephone: 305-586-0991	Fax:
Email: LSmozes@yahoo.com	
<b>NOTARIZATION</b>	
STATE OF FLORIDA/COUNTY OF _____ The foregoing instrument was acknowledged before me this <u>7th</u> day of <u>March</u> by _____ (Signature of Notary Public - State of Florida)	
(Print, Type or Stamp Commissioned Name of Notary Public) <input checked="" type="checkbox"/> Personally Known OR <input type="checkbox"/> Produced Identification; Type of Identification Produced _____	



March 15, 2108

## **STATEMENT OF USE**

### **JACKSON HEALTH SYSTEM CORAL GABLES URGENT CARE CENTER**

3737 SW 8<sup>th</sup> Street  
Coral Gables, Florida 33134

GS&P Project No. 43090.00

The following is a statement of use and scope of work.

The existing single story and two-story structures will be demolished to make way for a new two story building. This new 9,062 s.f. building will include an Urgent Care Center on the ground floor with approximately 4,531 s.f. and a Primary Care Clinic on the second floor with approximately 4,531 s.f.. A covered loggia is located on the SW 8<sup>th</sup> Street as a public amenity and urban gesture towards the street.

The **Project Site** consists of approximately .947 acres. The new parking layout will include approximately 48 parking spaces with two vehicular ingress/egress points-one on Galiano Street and one on SW 8<sup>th</sup> Street. The site will be fully landscaped to include a paved plaza with a water fountain feature which will be located on the North side of the Urgent Care Center. The Primary Care Office will have a separate entry on the East side of the building.

The **Urgent Care Center** shall include a large waiting area/lobby with reception / business work area, (6) exam rooms, nurses station, lab, x-ray room, staff lounge and (1) office.

The second floor **Primary Care Clinic** shall include a waiting room/lobby area with reception desk, (8) exam rooms, (2) doctor's offices, lab, staff lounge and business work area.

End of Summary

#### **GRESHAM, SMITH AND PARTNERS**

ARCHITECTURE ENGINEERING INTERIORS PLANNING

Two Alhambra Plaza, Suite 1200 / Coral Gables, Florida 33134 / Phone 786.532.2100 / [www.greshamsmith.com](http://www.greshamsmith.com)

Firm's Florida Cert. No. AAP000034 / CA3806 / IB26000797 / LC26000381

# PLANNING AND ZONING BOARD

## REVIEW SUBMITTAL

03/15/2018



JACKSON HEALTH SYSTEM  
URGENT CARE CENTER CORAL GABLES  
GS&P No. 43090.00

# JACKSON HEALTH SYSTEM URGENT CARE CENTER CORAL GABLES

GS&P No. 43090.00

PLANNING AND ZONING BOARD  
REVIEW SUBMITTAL  
03/15/18



FIRM'S FLORIDA CERT. NO  
AAP000034/CA3806  
IB26000797/LC26000381

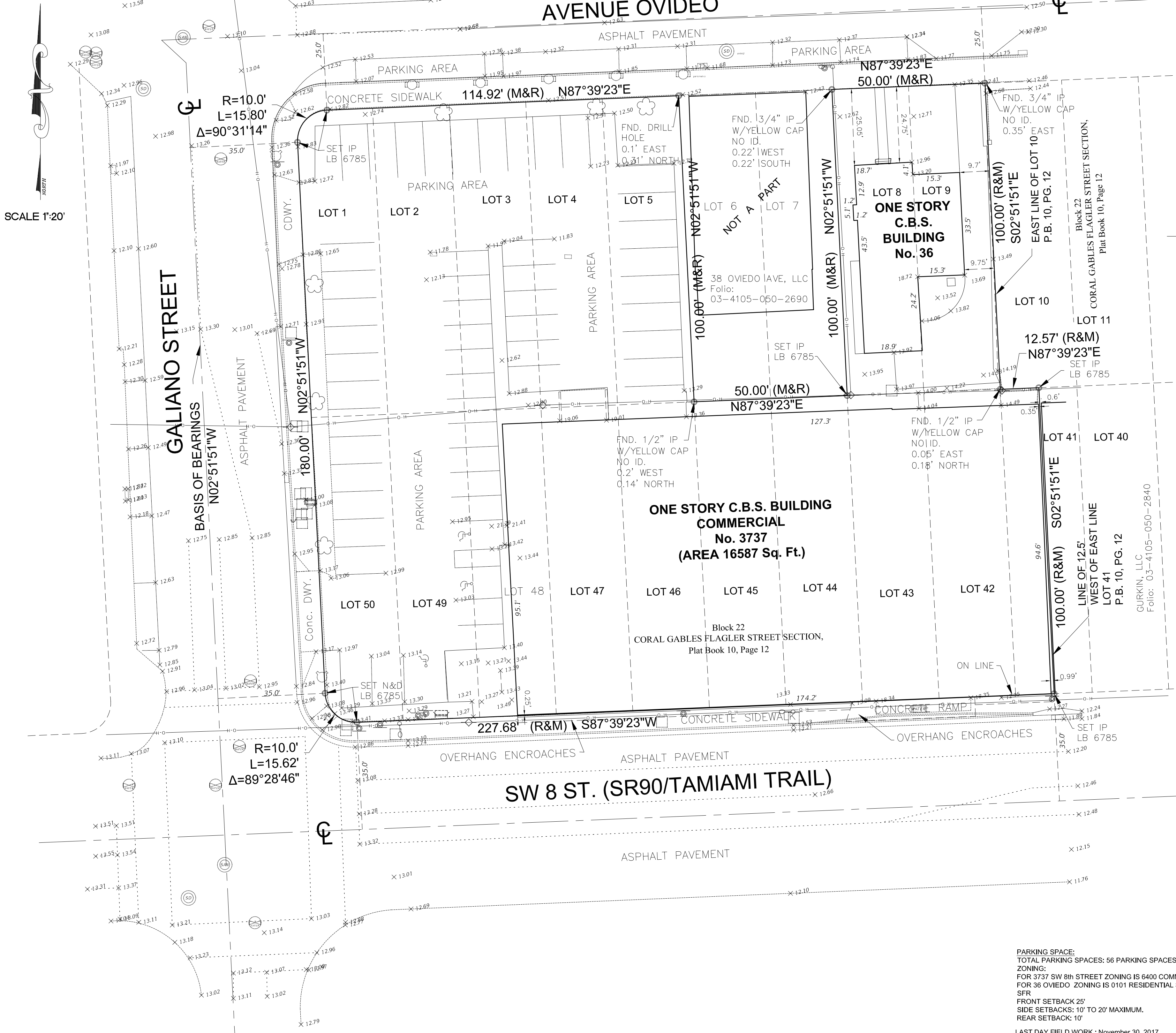
3737 SW 8th Street Coral Gables, Florida

SEAL: MIKE SARDINAS, AR-0015567

## INDEX SHEET

PROJECT:43090.00  
DATE: 03/15/2018

ALTA/ACSM LAND TITLE SURVEY

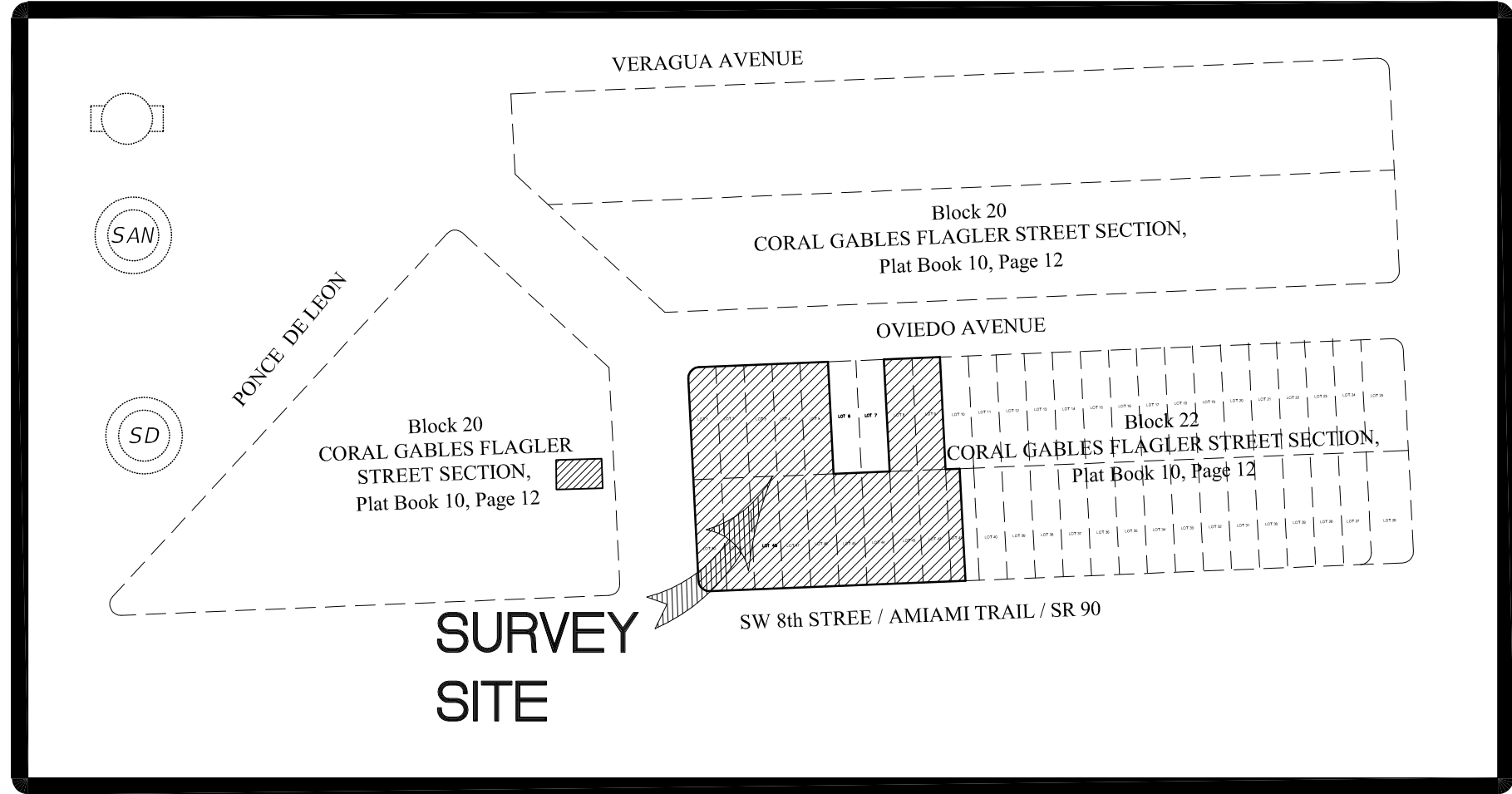


SCALE 1"=20'

LEGEND-ABBREVIATIONS

- SIGN, SINGLE SUPPORT
- LIGHT POLE
- CONC. CONCRETE
- PROP. CORNER
- CENTER LINE
- WATER VALVE
- GUY ANCHOR
- ELECT. BOX
- F.F.E. FINISH FLOOR ELEVATION
- OVERHEAD WIRES
- POWER POLE
- CDWY. CONCRETE DRIVEWAY
- FIRE HYDRANT
- PG. PAGE
- P.B. PLAT BOOK
- ELEV. ELEVATION
- IP. IRON PIPE
- N&D. NAIL AND DISK
- R&M. RECORD AND MEASURED
- NO ID. NO IDENTIFICATION

VICINITY MAP  
NOT TO SCALE



LEGAL DESCRIPTION

Lots 8 and 9, Block 22 of CORAL GABLES FLAGLER STREET SECTION, according to the Plate thereof, as recorded in Plat Book 10, Page 12, of the Public Records of Miami-Dade County, Florida.  
Together with  
Lots 1 through 5, inclusive, Lots 42 through 50, inclusive, and the West 1/2 of Lot 41, in Block 22 of CORAL GABLES FLAGLER STREET SECTION, according to the Plat thereof, as recorded in Plat Book 10, at Page 12, of the Public Records of Miami-Dade County, Florida, being more particularly described as follows:  
BEGIN at the Northeast corner of said Lot 5; thence run Southerly along the East line of said Lot 5, for a distance of 100.05 feet to the Southeast corner of said Lot 5; thence run Easterly, along the North lines of said Lot 41 through 45, for a distance of 112.58 feet, to a point 12.51 feet West, as measured along the said North of Lot 41, of the Northeast corner of said Lot 41; thence run Southerly, for a distance of 100.04 feet, to a point on the South line of said Lot 41, said point being 12.50 feet West of the Southeast corner of said Lot 41, as measured along the said South line of Lot 41; thence run Westerly, along the South lines of Lots 41 through 50, for a distance of 227.59 feet, to a point of tangency with a circular curve, concave to the Northeast; thence run Northwesterly along the arc of said circular curve, concave to the Northeast and having for elements a radius of 10.00 feet and a central angle of 89° 28' 40" for an arc distance of 15.62 feet; thence run Northerly along the West lines of said Lots 50 and 1, for a distance of 180.12 feet to a point of tangency with a circular curve, concave to the Southeast; thence run Northeasterly along the arc of said Circular curve, concave to the Southeast, having for elements a radius of 10.00 feet and a central angle of 90° 31' 37", for an arc distance of 15.80 feet; thence run Easterly along the North line of said Lots 1 through 5, for a distance 115.09 feet, to the POINT OF BEGINNING.  
Containing 41,214 Square Foot (0.94 Acres)

SURVEYOR'S REPORT:

- 1) Survey Type: Boundary Survey.
- 2) Legal description as shown on Opinion of Title, prepared by H. Scott Macbeth to Miami-dade County and dated on October 13, 2017
- 3) Flood Zone: AH, Elevation 8' as per Firm: Community Number: 120639 Panel: 0294L, City of Coral Gables, Suffix: L  
EFFECTIVE DATE 09-11-2009 Map Number: 12086C294F
- 4) Property Address: 3737 SW 8 Street, Coral Gables Florida  
36 Oviedo Avenue, Coral Gables Florida
- 5) Basis of Bearings: Bearings are referred to an assumed value of N00°02'22"7"E along the centerline of NW. 65th Avenue.
- 6) This survey is subject to easements and other restrictions or dedications which might be reflected in a search of title to the subject lands.
- 7) Elevations shown refer to National Geodetic Vertical Datum of 1929 (NGVD29) as determined from the following City of Coral Gables Benchmarks (CBM)  
-CBM No. 312. Found PK/W at SW Corner of Alcantara Ave and SW. 37 Avenue. Elev.=12.37 (NGVD29)  
-CBM No. 304. Found PK/W at SE Corner of Bobadilla Ave and Avila . Elev. 13.88' (NGVD29)
- 8) The property has direct access to and from publicly used streets Galeano Street and Oviedo Avenue
- 9) This map or plat and the survey on which it is based were made in accordance with Opinion of Title, prepared by H. Scott Macbeth, dated on October 13, 2017
- 10) The survey was made on the ground by an instrument survey on November 30, 2017 by me or under my supervision and correctly shows the legal description of the subject property, the structures and other visible above ground improvements (including sidewalks and fences) situated on the subject property.
- 11) Special Exception as listed on Opinion of Title  
-Coral Gables Flagler Street Section, PB. 10, Pg. 12. Does affect the property, as shown on Map.  
-Deed Book 2457, Pg. 74. Affect the Property (West 1/2 of Lot 48, 49 and 50 Only)  
-Official Record Book 7367, Pg. 6 Does affect the Property, blanket conditions not plotted.  
-Official Record Book 13813, Pg. 1299. Does affect the Property, blanket conditions not plotted.  
-Official Record Book 14174, Pg. 787. Does affect the Property, blanket conditions not plotted.  
-Official Record Book 15794, Pg. 1171. Does affect the Property, blanket conditions not plotted.  
-Official Record Book 20036, Pg.2908. Does affect the Property, blanket conditions not plotted.
- 12) There are no party walls and no observable, above ground encroachments other than the one described hereon.
- 13) The subject property does not serve any adjoining property for visible subsurface drainage structures, visible water courses, utilities, structural support.
- 14) The parties listed above and their successors and assigns are entitled to rely on the survey and this certificate as being true and accurate.
- 15) The relative positional precision for this survey was found to be better than the maximum allowable relative positional precision as per section 3 e (v.) of the 2016 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys.
- 16) This Boundary Survey is not intended for design or construction purposes.

SURVEY CERTIFICATION:

I HEREBY CERTIFY TO Date: Miami-Dade County, That this is a true and correct survey of 3737 SW 8 Street, Coral Gables Florida and 36 Oviedo Avenue, Coral Gables Florida and shows the true and correct location of the buildings and improvements situated on such land and all easements, Right-of-Way, and similar restrictions shown on title Commitment (see note 11) affecting the property surveyed. The buildings and improvements do not overhang or encroach upon any easement or Right-of-Way of others, and there are no visible above ground encroachments either way across the property lines, other than those shown and noted.

To Miami-Dade County, This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA, ACSM and NSPS on February 23, 2016, and includes items 1, 2, 3, 4, 6, 7(a), 8, 9, 13, 14, of Table "A" thereof. The field work was completed on November 30, 2017

Date: December 05, 2017

Frank Panus, P.S.M. (LS#6625)

State of Florida

Adopted by the Board of Governors, American Land Title Association, on October 13, 2010. American Land Title Association, 1828 L St., N.W., Suite 705, Washington, D.C. 20036.

Adopted by the Board of Directors, National Society of Professional Surveyors, on November 15, 2010.

National Society of Professional Surveyors, Inc., a member organization of the American Congress on Surveying and Mapping, 6 Montgomery Village Avenue, Suite 403, Gaithersburg, MD 20879

PARKING SPACE:  
TOTAL PARKING SPACES: 56 PARKING SPACES (3 DISABILITIES)  
ZONING:  
FOR 3737 SW 8th STREET ZONING IS 6400 COMMERCIAL-CENTRAL  
FOR 36 OVIEDO ZONING IS 0101 RESIDENTIAL SINGLE FAMILY HOME (SFR)  
SFR  
FRONT SETBACK 25'  
SIDE SETBACKS: 10' TO 20' MAXIMUM.  
REAR SETBACK: 10'

LAST DAY FIELD WORK : November 30, 2017  
SIGNED : December 2, 2017  
FIELD BOOK: 840, 841 and 850  
CAD FILE: 2842W03.DWG

I HEREBY CERTIFY:

THAT THIS ATTACHED BOUNDARY SURVEY MEETS THE STANDARDS OF PRACTICE SET BY THE FLORIDA STATE BOARD OF PROFESSIONAL LAND SURVEYORS PURSUANT TO CHAPTER 472.027 FLORIDA STATUTES AND CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE.

Frank Panus, P.S.M. (LS#6625)  
State of Florida  
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

REVISIONS	BY

3737 SW 8 Street, Coral Gables Florida  
36 Oviedo Avenue, Coral Gables Florida  
Gresham, Smith and Partners

F.R. Aleman And Associates, Inc. LB #6785

Consulting Engineers and Surveyors

10305 NW 41ST STREET, SUITE 200  
MIAMI, FLORIDA 33178

TEL: (305) 591-8777 FAX: (305) 599-8749

F.R. ALEMAN

DATE 12-05-17

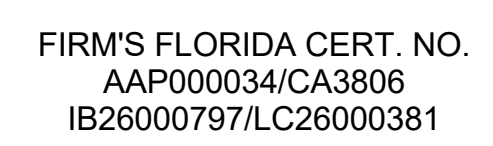
SCALE 1"=40'

DRAWN F.P.

2824W03

SHEET 1

OF 1 SHEETS

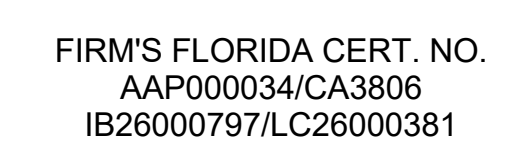


3737 SW 8th Street Coral Gables, Florida

SEAL: MIKE SARDINAS, AR-0015567

[illegible]

PROJECT: 43090.00  
DATE: 03/15/2018



3737 SW 8th Street Coral Gables, Florida

SEAL: MIKE SARDINAS, AR-0015567











PHOTOGRAPHS OF  
PROPERTY, ADJACENT  
USES AND/OR  
STREETSCAPE

PROJECT: 43090.00  
DATE: 03/15/2018

Atlanta	GA	Jacksonville	FL
Birmingham	AL	Knoxville	TN
Charlotte	NC	Louisville	KY
Cincinnati	OH	Memphis	TN
Columbus	OH	Miami	FL
Dallas	TX	Nashville	TN
Lauderdale	FL	Richmond	VA
Houston	TX	Tallahassee	FL
Jackson	MS	Tampa	FL

M'S FLORIDA CERT. NO.  
AAP000034/CA3806  
26000797/LC26000381

### Zoning Districts

 (SFR) Single-Family Residential District	 (S) Special Use District
 (MF1) Multi-Family 1 Duplex District	 (P) Preservation District
 (MF2) Multi-Family 2 District	 (CL) Commercial Limited District
 (MFSA) Multi-Family Special Area District	 (C) Commercial District
 (UCD) University Campus District	 (I) Industrial District

Classification: Commercial Limited District (CL)  
Medical Clinic/Offices- "Conditional Use"  
(per Mr. Ramon Trials, the Director of Planning and Zoning)

Parcel of Land: (Less than 45 FT in Height)  
Min. Parcel size: 2500 SF      Provided: 41,214 sf




Net Building SF	
1st Floor :	3,102 SF
2nd Floor:	3,102 SF
Total:	6,204 SF

Setbacks:	Min.	Provided
Front:	zero (0) FT	(15)FT (5) FT to Loggia
Side:	zero (0) FT	(119) FT
Side Street:	zero (0) FT	(10) FT
Rear		(105) FT
Alley or Street:	(5) FT	NA
No Alley or Street:	(10) FT	(92) FT
FAR:	Max.	Provided
	3.0	0.23
Height:		
	3 stories or 45 FT	2 stories- 45 FT

Space:	8'-6" x 18'-0"	8'-6" x 18'-0"
Parking Calculations:		
Min.	Required	Provided
1/200 SF	31 spaces	34 spaces
1/FTE	12 spaces	12 spaces
Total: Spaces	43 spaces	46 spaces

Classification: Single Family Residential (SFR)  
JHS must acquire a variance to allow off-street parking.

2ND FLOOR

-  GROSS BUILDING AREA  
 NET BUILDING AREA  
 1ST FLOOR LOGGIA

SW 8th Street Coral Gables, Florida

[illegible]

# A001

CT:43090.00  
03/15/2018

NORTH

A circular compass rose with a vertical line and a horizontal line intersecting at the center. The top half of the vertical line is shaded black, and the right half of the horizontal line is shaded black. The word "NORTH" is written above the top half of the vertical line.

$3/32'' = 1'-0''$

A horizontal graphic scale bar with alternating black and white segments. It is labeled with '0'', '4'', '8'', '16'', and '24'' at regular intervals.

1

3/14/2018 8:47:55 AM

Plant	GA	Jacksonville	FL
gham	AL	Knoxville	TN
lotte	NC	Louisville	KY
nnati	OH	Memphis	TN
nbus	OH	Miami	FL
allas	TX	Nashville	TN
erdale	FL	Richmond	VA
uston	TX	Tallahassee	FL
kson	MS	Tampa	FL

M'S FLORIDA CERT. NO.  
AAP000034/CA3806  
26000797/LC26000381



**Zoning Districts**

- (SFR) Single-Family Residential District
- (MF1) Multi-Family 1 Duplex District
- (MF2) Multi-Family 2 District
- (MFSA) Multi-Family Special Area District
- (UCD) University Campus District
- Special Use District
- Preservation District
- Commercial Limited District
- (C) Commercial District
- (I) Industrial District

Classification: Commercial Limited District (CL)  
Medical Clinic/Offices- "Conditional Use"  
(per Mr. Ramon Trials, the Director of Planning and Zoning)

Parcel of Land: (Less than 45 FT in Height)  
Min. Parcel size: 2500 SF      Provided: 41,214 sf




Net Building SF	
1st Floor :	3,102 SF
2nd Floor:	3,102 SF
Total:	6,204 SF

Parking Requirements:			
Space:	8'-6" x 18'-0"	8'-6" x 18'-0"	
Parking Calculations:			
	Min.	Required	Provided
	1/200 SF	31 spaces	26 spaces
	1/FTE	12 spaces	12 spaces
Total:	Spaces	43 spaces	38 spaces

Classification: Single Family Residential (SFR)  
JHS must acquire a variance to allow off-street parking



1ST FLOOR

-  GROSS BUILDING AREA  
 NET BUILDING AREA  
 1ST FLOOR LOGGIA

[illegible]

# A001.1

PROJECT:43090.00  
DATE: 03/15/2018

[illegible]

NORTH

1

FIRST FLOOR FLOOR PLAN

$\frac{3}{16}'' = 1'-0''$

0' 2' 4' 8' 12'

Design Services  
For The Built  
Environment

Atlanta	GA	Jacksonville	FL
Birmingham	AL	Knoxville	TN
Charlotte	NC	Louisville	KY
Cincinnati	OH	Memphis	TN
Columbus	OH	Miami	FL
Dallas	TX	Nashville	TN
Lauderdale	FL	Richmond	VA
Houston	TX	Tallahassee	FL
Jackson	MS	Tampa	FL

GRESHAM  
SMITH AND  
PARTNERS

Two Alhambra Plaza  
Suite 1200  
Orlando, Florida 32814  
786.532.2100

M'S FLORIDA CERT. NO.  
AAP000034/CA3806  
26000797/LC26000381

URGENT CARE  
CENTER CORAL  
GABLES

SW 8th Street Coral Gables, Florida

MIKE SARDINAS, AR-0015567

[illegible]

## ND FLOOR PLAN

# A003

CT:43090.00  
03/15/2018



NORTH  
1 SECOND FLOOR FLOOR PLAN  
3/16" = 1'-0"  
0' 2' 4' 8' 12'

Atlanta	GA	Jacksonville	FL
Birmingham	AL	Knoxville	TN
Charlotte	NC	Louisville	KY
Cincinnati	OH	Memphis	TN
Columbus	OH	Miami	FL
Dallas	TX	Nashville	TN
Lauderdale	FL	Richmond	VA
Houston	TX	Tallahassee	FL
Jackson	MS	Tampa	FL

M'S FLORIDA CERT. NO.  
AAP000034/CA3806  
326000797/LC26000381

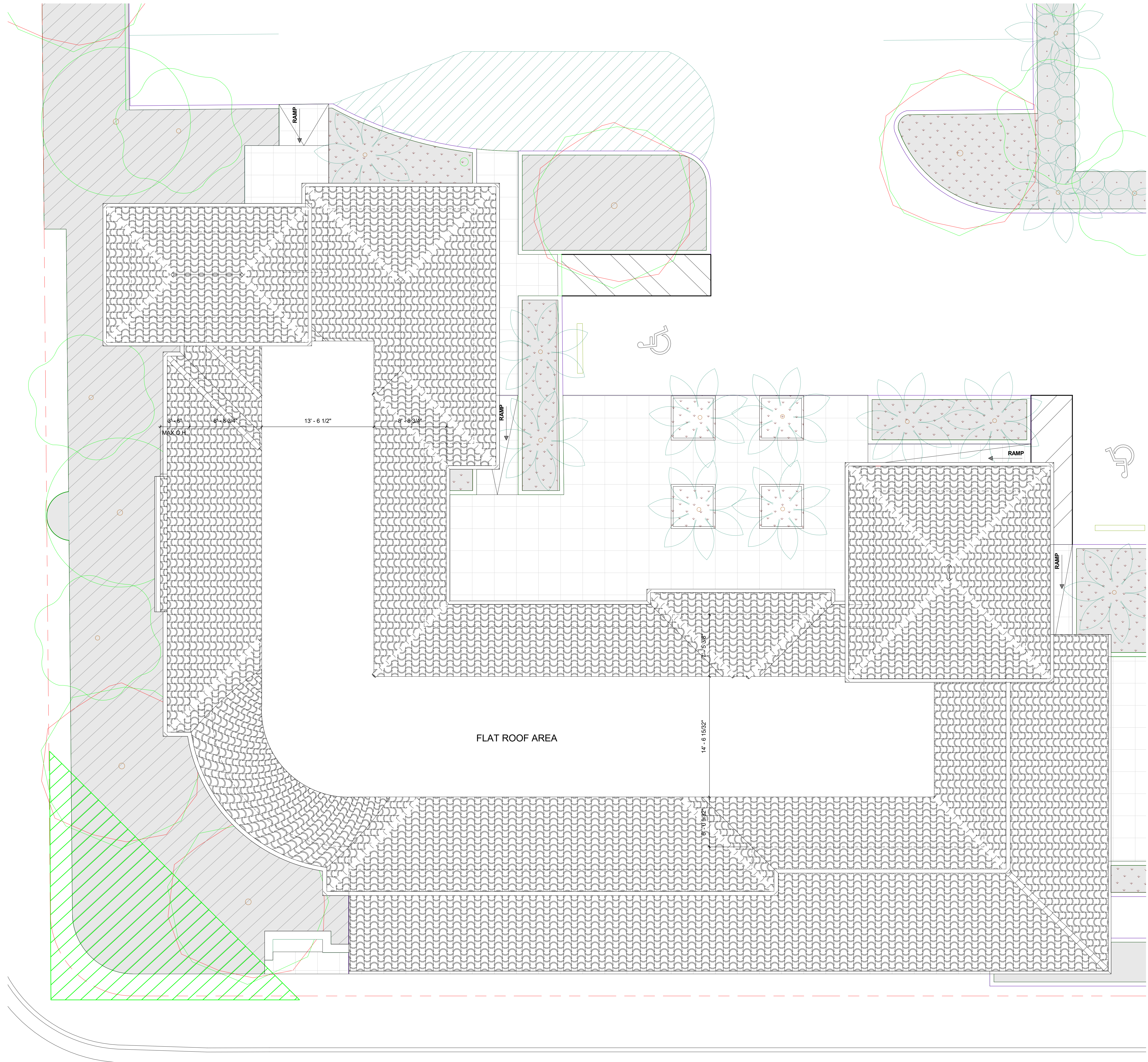
SW 8th Street Coral Gables, Florida

MIKE SARDINAS, AR-0015567

[illegible]

## ROOF PLAN

PROJECT:43090.00  
DATE: 03/15/2018

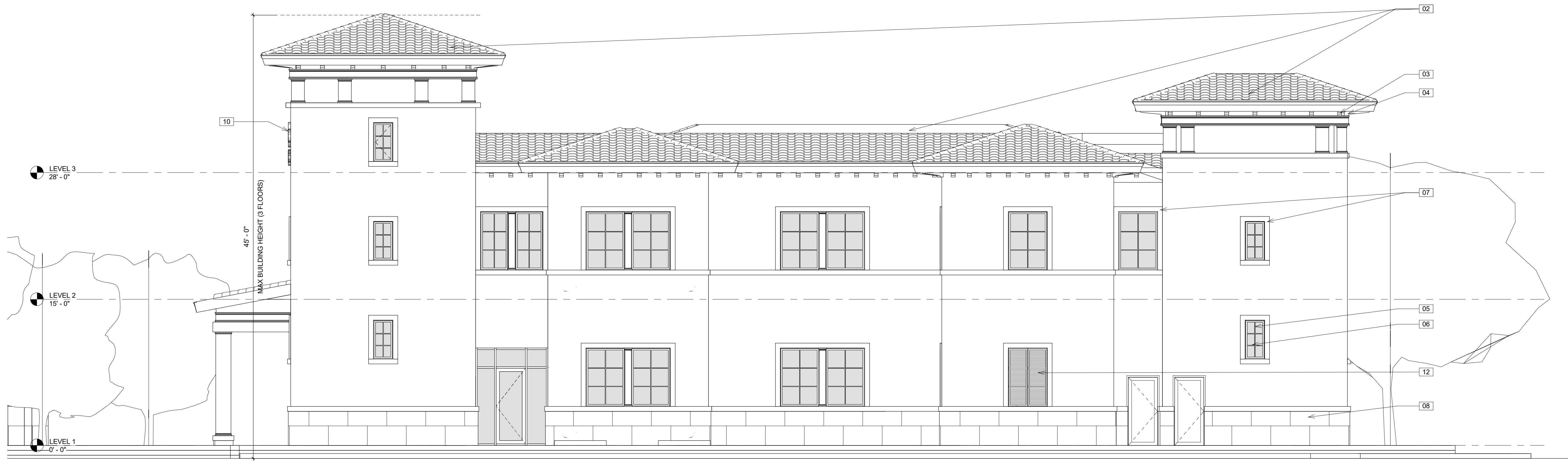


**ROOF PLAN**

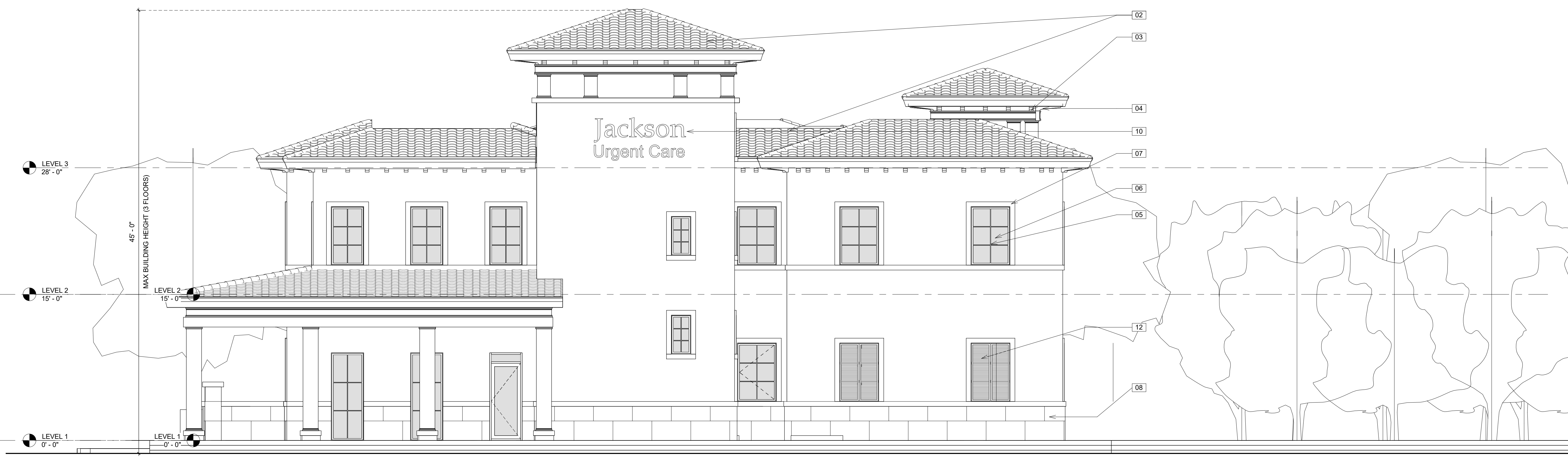

3/16" = 1'-0"

0' 2' 4' 8' 12'





1 North Elevation  
3/16" = 1'-0"



2 East Elevation  
3/16" = 1'-0"



## MATERIALS

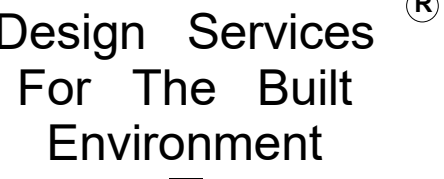
- 01 CYSSWOOD DECORATIVE  
BRACKETS. PAINTED FINISH  
(TYPICAL OF SIX).  
02 CLAY BARREL TILE ROOF.  
03 DECORATIVE CYSSWOOD PRECAST  
LOOK ON AT 24° D.C.  
04 PAINTED FINISH  
SMOOTH FINISH PRECAST  
CONCRETE MOLDINGS AND  
TRIMS.  
05 ALUMINUM FRAME GLASS.  
06 FIXED WINDOWS CLEAR GLASS -  
ESP BRONZE FINISH FRAMES.  
07 SMOOTH FINISH PRECAST  
CONCRETE MOLDING.  
08 NEUTRAL KEY SYNE FASING.  
09 CANVAS CANOPY.  
10 BUILDING SIGNAGE - SEPARATE  
PERMIT REQUIRED.  
11 SMOOTH FINISH PRECAST  
CONCRETE BRACKET.  
12 FIXED LOUVERED PANEL.

AL: MIKE SARDINAS, AR-0015567

[illegible]NORTH AND EAST  
ELEVATION

# A006

PROJECT:43090.00  
DATE: 03/15/2018



GRESHAM  
SMITH AND  
PARTNERS

Two Alhambra Plaza  
Suite 1200  
Coral Gables, Florida 33134  
786.532.2100

RM'S FLORIDA CERT. NO.  
AAP000034/CA3806  
IB26000797/LC26000381

URGENT CARE  
CENTER CORAL  
GABLES

37 SW 8th Street Coral Gables, Florida

AL: MIKE SARDINAS, AR-0015567

[illegible]

### 3D VIEWS OF SOUTH WEST AND SOUTH EAST

# A007

PROJECT:43090.00  
DATE: 03/15/2018



Atlanta	GA	Jacksonville	FL
Birmingham	AL	Knoxville	TN
Charlotte	NC	Louisville	KY
Cincinnati	OH	Memphis	TN
Columbus	OH	Miami	FL
Dallas	TX	Nashville	TN
Ft Lauderdale	FL	Richmond	VA
Houston	TX	Tallahassee	FL
Jackson	MS	Tampa	FL

GRESHAM  
SMITH AND  
PARTNERS

Two Alhambra Plaza  
Suite 1200  
Coral Gables, Florida 33134  
786.532.2100

RM'S FLORIDA CERT. NO.  
AAP000034/CA3806  
IB26000797/LC26000381

URGENT CARE  
CENTER CORAL  
GABLES

37 SW 8th Street Coral Gables, Florida

AL: MIKE SARDINAS, AR-0015567

[illegible]

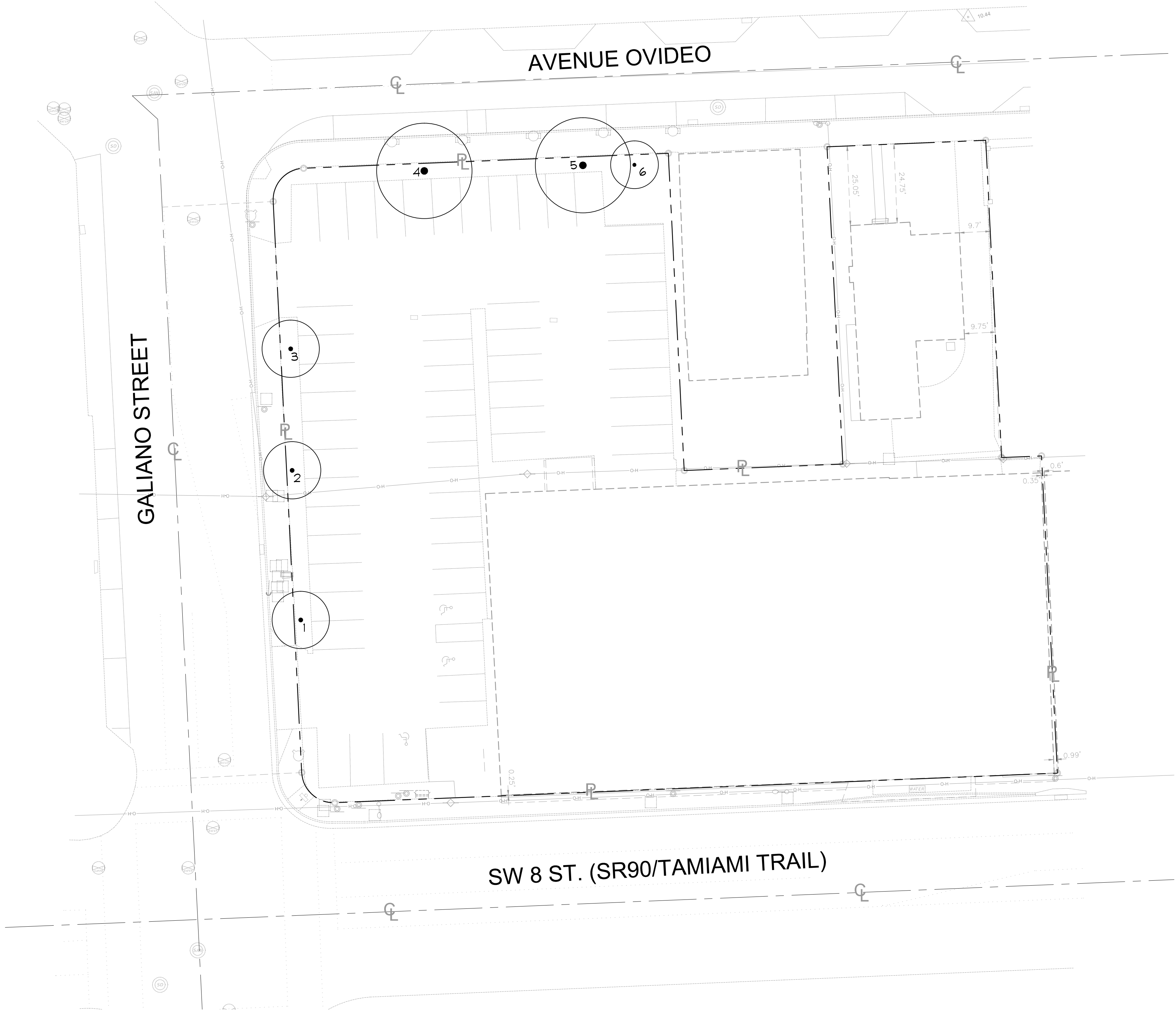
### 3D VIEWS OF NORTH AND NORTH EAST

# A008

PROJECT:43090.00  
DATE: 03/15/2018

Plotted By: Johnson, Ben Sheet Set: JHS UCC 3737 SW 8 Street Layout: L-100 TREE SURVEY March 13, 2018 04:45:14pm K:\crg-civil\144429019\_jhs ucc 3737 sw 8 street\landscape\CADD\PlanSheets\L-100 TREE SURVEY.dwg

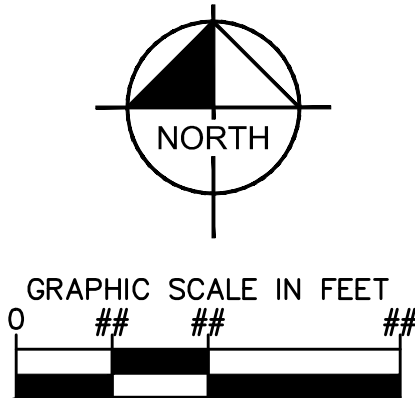
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EXISTING TREE AND PALM SCHEDULE

#	COMMON NAME	GENUS/SPECIES	HT	CAL	SPR (FEET)	DISPOSITION
1	BISHOP WOOD	BISCHOFIA JAVANICA	20'	20"	18'	REMAIN
2	BISHOP WOOD	BISCHOFIA JAVANICA	20'	20"	18'	REMAIN
3	BISHOP WOOD	BISCHOFIA JAVANICA	18'	14"	18'	REMAIN
4	BISHOP WOOD	BISCHOFIA JAVANICA	30'	30"	30'	REMAIN
5	BISHOP WOOD	BISCHOFIA JAVANICA	30'	26"	30'	REMAIN
6	BISHOP WOOD	BISCHOFIA JAVANICA	25'	10"	15'	REMAIN

NOTES:  
HT= HEIGHT SHOWN IN FEET  
CAL= CALIPER SHOWN IN INCHES  
SPR= SPREAD SHOWN IN FEET  
MT = MULTI TRUNK



Always call 811 two full business days before you dig to have underground utilities located and marked.

Sunshine811.com

TREE SURVEY

JHS UCC  
PREPARED FOR  
3737 SW 8 STREET

CORAL GABLES FLORIDA

LICENSED PROFESSIONAL

GEORGE E. PUIG, PLA

FL LICENSE NUMBER

0001706

KHA PROJECT

144429019

DATE

2-2-2018

SCALE AS SHOWN

DESIGNED BY

DRAWN BY

CHECKED BY

DATE:

Kimley»Horn

© 2018 KIMLEY-HORN AND ASSOCIATES, INC.  
355 ALHAMBRA CIRCLE, SUITE 1400, CORAL GABLES, FL 33134  
PHONE: 305-673-2025  
WWW.KIMLEY-HORN.COM CA 00000696

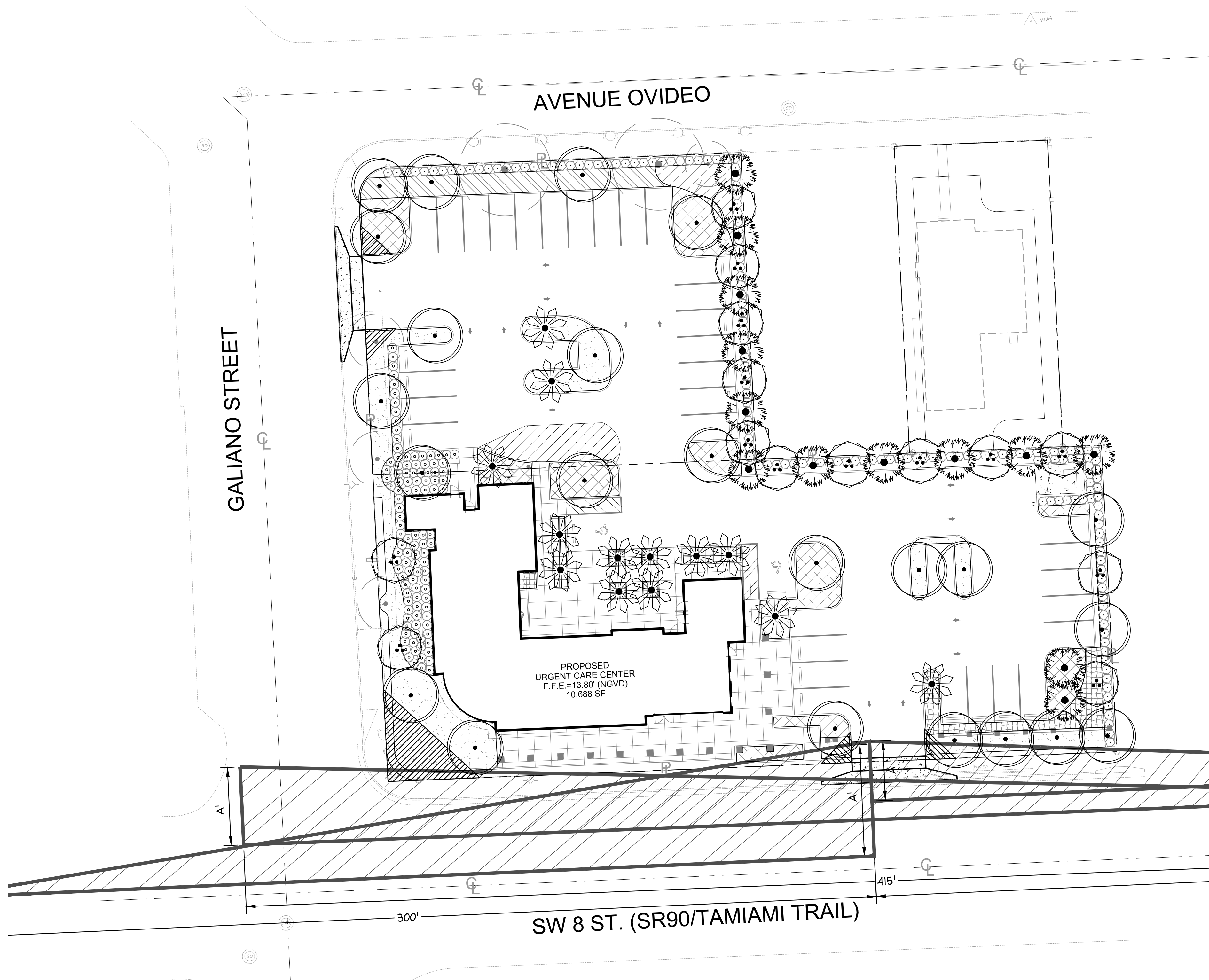
REVISIONS

No.





DATE

BY

SHEET NUMBER  
L-100



## PLANT SCHEDULE

<u>TREES</u>	<u>CODE</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONT.</u>	<u>GAL.</u>	<u>SIZE</u>	<u>QTY.</u>
	CE	CONOCARPUS ERECTUS 'SERICEUS'	GREEN BUTTWOOD	CONT.	MULTI	14' HT MIN	14
	PE	PTYCHOSPERMA ELESANS	ALEXANDER PALM	F6		18' HT.	13
	QV	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	F6	4" GAL	14' HT MIN	23
	SS	SABAL PALMETTO	SABAL PALM	F6		18' HT.	13
<u>SHRUBS</u>	<u>CODE</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONT.</u>	<u>SPACING</u>	<u>SIZE</u>	<u>QTY</u>
	CR	CHRYSOBALANUS ICAGO 'RED TIP'	RED TIP COCOPLUM	CONT.	36" O.C.	36" HT.	110
	PM	PODOCARPUS MACROPHYLLUS MAKI	PODOCARPUS	CONT.	36" O.C.	12" HT.	163
<u>SHRUB AREAS</u>	<u>CODE</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONT.</u>	<u>SPACING</u>	<u>SIZE</u>	<u>QTY</u>
	MC	MUHLENBERGIA CAPILLARIS	PINK MUHLY	CONT.	30" O.C.	18"X18"	32
	TF	TRIPSACUM FLORIDANA	DWARF FAKAHATCHEE GRASS	CONT.	36" O.C.	24"X24"	33
<u>GROUND COVERS</u>	<u>CODE</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONT.</u>	<u>SIZE</u>	<u>SPACING</u>	<u>QTY</u>
	CH	CHRYSOBALANUS ICAGO 'HORIZONTAL'	HORIZONTAL COCOPLUM	CONT.	18" H	18" O.C.	270
	DT	DIANELLA TASMANICA 'VARIEGATA'	FLAX LILY	CONT.	18" H	18" O.C.	450
	LM	LIRIOPE MUSCARI 'EMERALD GODDESS'	EMERALD GODDESS LIRIOPE	CONT.	12" X 12"	12" O.C.	675
	SA	STENOTAPHRUM SECUNDATUM 'FLORATAM'	FLORATAM ST. AUGUSTINE SOD	SOD			2,654 SF

## LANDSCAPE LEGEND

Zoning District: Commercial Limited District (CL) Net Lot Area: .83 acres 36,232 square feet

OPEN SPACE	REQUIRED	PROVIDED
A. Square feet of open space required by Chapter 33, as indicated on site plan: Net lot area = 86,232 s.f. x 20% = 17,247 square feet	17,247	10,100
B. Square feet of parking lot open space required by Chapter 18A, as indicated on site plan: The number of parking spaces 40 x 10 s.f. per parking space =	400	400
C. Total square feet of landscaped open space required by Chapter 33 = A + B =	16,847	10,500

### LAWN AREA CALCULATION

A. Total square feet of landscaped open space required by Chapter 33 =	7627	10500
B. Maximum lawn area permitted = 20% x 10500 s.f. =	2100	2100

TREES

A.	The number of trees required per net lot acre, less the existing number of trees that meet minimum requirements =		
	Min. trees required = 28 - total number of existing trees N/A	24	24
B.	20% palm trees allowed (3:1 ratio, three palms = one tree)		
	Palms provided =	N/A	N/A
C.	Percentage of native trees required		
	Total number of trees provided 22 x 30% =	8	8
D.	Street trees (max. average spacing of 35' O.C.);		
		19	19
E.	Street trees located directly beneath power lines (max. avg. spacing of 25' O.C.);		
	2 = linear feet along street divided by 25 =	N/A	N/A
F.	Total number of trees provided =	43	43

## SHRUBS

A. The total number of shrubs required = 224 per acre  
 224 shrubs x 83 acres = 186 186

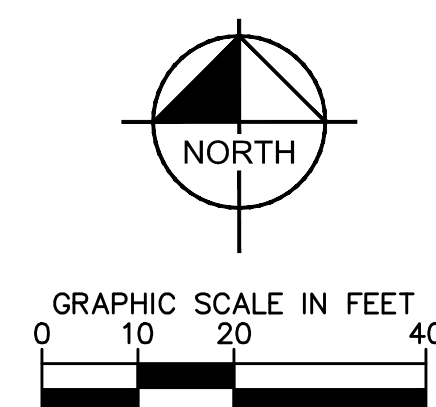
B. The number of shrubs required x 30% = the number of native shrubs required  
56 56

## IRRIGATION PLAN

Required by Chapter 33. Auto Irrigation a or hose bibs    provided.

DISTANCE TABULATION	
NAME	DISTANCE
A	$14.5' + 1/2 \text{ LANE WIDTH}$
A'	$14.5' + 1-1/2 \text{ LANE WIDTH}$

PER CITY OF CORAL GABLES ENGINEERING DIVISION  
STANDARD DETAIL 6-1 APPROACH SIGHT TRIANGLES



Always call 811 two full business days before you dig to have underground utilities located and marked.

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JHS UCC  
PREPARED FOR  
3737 SW 8 STREET

# LANDSCAPE PLAN

GEORGE E. PUIG, PLA

GEORGE E. PUIG, PLA

FL LICENSE NUMBER  
0001706

SCALE	AS SHOWN
DESIGNED BY	

CORAL GABLES

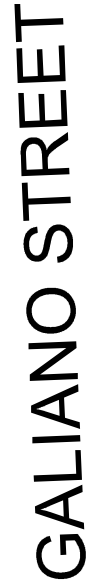
E1 ORIDA

ATF:

WWW.KIMLEY-HORN.COM CA 00000696

REVISIONS

DATE	BY
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## AVENUE OVIDEO

SW 8 ST. (SR90/TAMIAMI TRAIL)

TREES	CODE	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	QTY
	CE	CONOCARPUS ERECTUS 'SERICEUS'	GREEN BUTTWOOD	CONT.	MULTI	14' HT MIN	21
	FE	PHYCHOSPERMA ELEGANS	ALEXANDER PALM	F6		18' HT.	13
	QV	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	F6	4" CAL.	14' HT MIN	24
	SS	SABAL PALMETTO	SABAL PALM	F6		18' HT.	16

<u>SHRUB AREAS</u>	<u>CODE</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONT.</u>	<u>SPACING</u>	<u>SIZE</u>	<u>QTY</u>
	MC	MUHLENBERGIA CAPILLARIS	PINK MUHLY	CONT.	30" O.C.	18"X18"	32
	TF	TRIPSACUM FLORIDANA	DWARF FAKAHATCHEE GRASS	CONT.	36" O.C.	24"X24"	58

## LANDSCAPE LEGEND

OPEN SPACE	REQUIRED	PROVIDED
A. Square feet of open space required by Chapter 33, as indicated on site plan: Net lot area = <u>41,252</u> s.f. x <u>2.2%</u> = <u>924.7</u> square feet	<u>924.7</u>	<u>11,656</u>
B. Square feet of parking lot open space required by Chapter 18A, as indicated on site plan. The number of parking spaces = <u>48</u> x <u>10</u> s.f. per parking space =	<u>480</u>	<u>480</u>
C. Total square feet of landscaped open space required by Chapter 33 = A + B =	<u>9,727</u>	<u>12,136</u>

A. Total square feet of landscaped open space required by Chapter 33 =	<u>8,727</u>	<u>12,136</u>
B. Maximum lawn area permitted = <u>20%</u> x <u>12,136</u> s.f. =	<u>2,428</u>	<u>2,428</u>

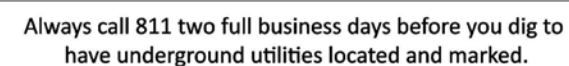
A.	The number of trees required per net lot acre, less the existing number of trees that meet minimum requirements =	28	28
B.	20% palm trees allowed (3:1 ratio, three palms = one tree)	N/A	N/A
C.	Percentage of native trees required		
	Total number of trees provided $\frac{28}{1} \times 50\% =$	14	14
D.	Street trees (max. average spacing of 35' O.C.):	19	19
E.	Street trees located directly beneath power lines (max. avg. spacing of 25' O.C.):		
	$\frac{0}{1}$ linear feet along street divided by 25 =	N/A	N/A
F.	Total number of trees provided =	47	47

A. The total number of shrubs required = 224 per acre  
224 shrubs x 95 acres = 21112 21112

B. The number of shrubs required x 30% = the number of native shrubs required  
64 64

Required by Chapter 33. Auto Irrigation a or hose bibs    provided.

PER CITY OF CORAL GABLES ENGINEERING DIVISION  
STANDARD DETAIL 6-1 APPROACH SIGHT TRIANGLES



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LICENSED PROFESSIONAL  
GEORGE E. PUIG, PLA

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FL LICENSE NUMBER  
0001706

LANDSCAPE PLAN

JHS UCC  
PREPARED FOR  
3737 SW 8 STREET

SHEET NUMBER  
**L-201**

CORAL GABLES

ATF.

REVISIONS

No

DATE	BY
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Plotted By: Johnson, Ben Sheet: S&L JHS UCC 3737 SW 8 Street Layout: L-251 LANDSCAPE SPECIFICATIONS March 13, 2018 04:45:35pm K:\pro-civil\144428019 Jhs ucc 3737 sw 8 street\landscape\CADD\PlanSheets\L-250 LANDSCAPE PLAN.dwg  
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GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

A. SCOPE OF WORK

1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE HEAT WILL DAMAGE ANY PLANT. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/ OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

D. MATERIALS

1. GENERAL

MATERIALS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL. UPON SUBMITTALS' APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SUBMITTAL
MULCH	PRODUCT DATA
TOPSOIL MIX	AMENDMENT MIX/ PRODUCT DATA/ TEST RESULTS
PLANTS	PHOTOGRAPHS OF ONE (1) OF EACH SPECIES (OR TAGGED IN NURSERY) CLIENT-REQUESTED TAGGING MAY SUBSTITUTE PHOTOS. INDICATE SIZES (HEIGHT/WIDTH) AND QUALITY PER SPEC.
FERTILIZER	PRODUCT DATA
INNOCULANT	PRODUCT DATA
HERBICIDE	PRODUCT DATA
STAKING/GUYING	FOR ALTERNATE TO DETAILS: SEND PRODUCT DATA, DETAIL

2. PLANT MATERIALS

A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE

B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

E. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)

1. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW.
2. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND A PH BETWEEN 5.5 AND 7.0 - SUBMIT SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
3. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND. CONTRACTOR SHALL SUBMIT RESULTS OF SOIL TESTS FOR TOPSOIL AND SAND PROPOSED FOR USE UNDER THIS CONTRACT FOR APPROVAL BY THE OWNER.
4. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
5. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.

F. WATER

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC.. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

\*WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

G. FERTILIZER

CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.

\*FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

H. MULCH

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A MINIMUM DEPTH OF 3 INCHES. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE). TYPE OF MATERIAL: \*FLORIMULCH\* OR SHREDDED, STERILE EUCALYPTUS MULCH

I. DIGGING AND HANDLING

1. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT (\*WILTPROF\* OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.
3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS, COMPLYING WITH FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS, CURRENT EDITION. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING TRANSPORTATION AND PRIOR TO PLANTING.
4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL.
5. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB- BASES.

J. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION, FLORIDA #1 OR BETTER.
2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
3. PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE.
4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL IS OBTAINED FROM THE OWNER OR OWNER'S REPRESENTATIVE.

K. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

L. NATIVE STOCK

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

M. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE

N. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED.
2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES.

O. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL NATIONAL ONE CALL - 811 - TO LOCATE UTILITIES.

3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND ADEQUATE PERCOLATION CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE.

4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.

5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES, METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.

7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER PERCOLATION. IF POOR PERCOLATION EXISTS, UTILIZE 'POOR DRAINAGE CONDITION' PLANTING DETAIL. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED.

8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION E OF THESE SPECIFICATIONS.

10. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).

11. AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.

12. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

13. PRUNING: TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY LICENSED ARBORIST, IN ACCORDANCE WITH ANSI A-300.

14. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" TO ACHIEVE SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

15. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.

16. MULCHING: PROVIDE A THREE INCH (MINIMUM) LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT PLANTED UNDER THIS CONTRACT.

17. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (\*AS ALLOWED BY JURISDICTIONAL AUTHORITY\*)

P. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.

2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.

3. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.

4. SODDING

- A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.

- B. THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.

- C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED - REFER TO DETAILS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.

5. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SNEATING OR EXCESSIVE HEAT AND MOISTURE.

6. LAWN MAINTENANCE:

- A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"x12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY).

- B. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

Q. CLEANUP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM-CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

R. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

5. MAINTENANCE (ALTERNATE BID ITEM)

CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST-PER-MONTH BASIS.

T. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

U. WARRANTY

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.
2. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.

3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

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JHS UCC

PREPARED FOR

3737 SW 8 STREET

CORAL GABLES

FLORIDA

LANDSCAPE SPECIFICATIONS

LICENSED PROFESSIONAL  
GEORGE E. PUIG, PLA

KHA PROJECT  
144429019

DATE  
2-2-2018

SCALE AS SHOWN

DESIGNED BY

DRAWN BY

CHECKED BY

FL LICENSE NUMBER  
0001706

DATE:

Kimley»Horn

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PHONE: 305-673-2025  
WWW.KIMLEY-HORN.COM CA 0000696

REVISIONS

No.

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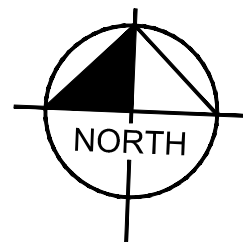
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|---|---|
|  | RIGHT-OF-WAY LINE / PROPERTY LINE                     |
|  | CENTER LINE   |
|  | PROP. BUILDING OUTLINE                                |
|  | PROP. TYPE "D" CURB PER CITY OF CORAL GABLES STD.     |
|  | PROP. LANDSCAPE AREA (SEE LANDSCAPE DWG. FOR DETAILS) |
|  | PROP. ASPHALT PAVEMENT                                |
|  | PROP. SIGN  |
|  | PROP. 2.0' OVERHANG                                   |

CALCULATION SUMMARY					
LABEL	SYMBOL	UNITS	AVG	MAX	MIN
PROPERTY LINE	+	fc	0.50	0.50	0.00
PARKING LOT	+	fc	5.52	15.30	1.00

Symbol	Qty	Arrangement	Description	Lum. Lumens	LLF	Lum. Watts
	1	SINGLE	ECF-2-70LA-3270-NW MH: 20' POLE MOUNT	7,754	1.00	69.2
	5	SINGLE	ECF-2-75LA-4853-NW MH: 20' POLE MOUNT	9,344	1.00	77.4
	5	BACK TO BACK	ECF-2-75LA-4853-NW MH: 20' POLE MOUNT	9,344	1.00	77.4
	2	90°	ECF-2-55LA-3253-NW MH: 20' POLE MOUNT	6,294	1.00	51.60

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### REDEFINING VALUE WITH OUTSTANDING PERFORMANCE

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## ECOFORM OUTDOOR SITE & AREA

DESIGNLIGHTS  
INC.

Model	Power	Beam Angle	Mounting	Finish	Notes
ECOFORM	100W	120°	Flush	Black	100W LED, 120° beam angle, flush mount, black finish.
ECOFORM	100W	120°	Flush	White	100W LED, 120° beam angle, flush mount, white finish.
ECOFORM	100W	120°	Flush	Black	100W LED, 120° beam angle, flush mount, black finish.
ECOFORM	100W	120°	Flush	White	100W LED, 120° beam angle, flush mount, white finish.

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JHS UCC  
PREPARED FOR  
3737 SW 8 STREET

**JHS UCC**  
PREPARED FOR  
**3737 SW 8 STREET**

CORAL GABLES FLORIDA

# PHOTOMETRIC PLAN

LICENSED PROFESSIONAL  
JORGE L. FERNANDEZ, P.E.

FL LICENSE NUMBER  
71682

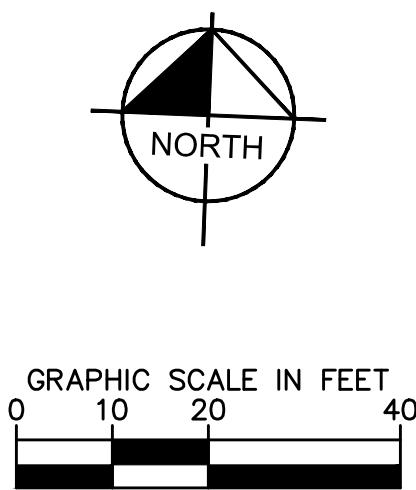
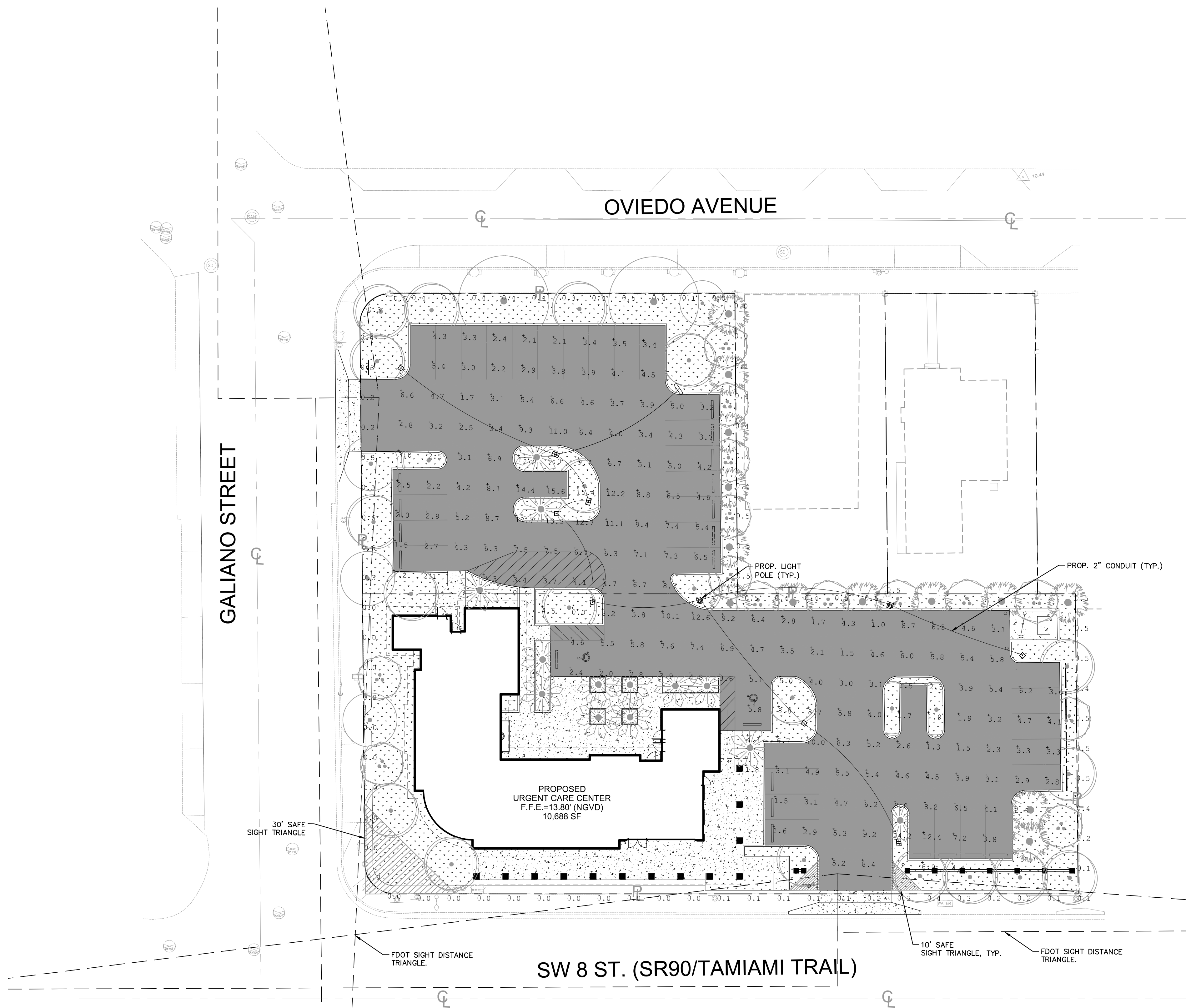
**Kimley»Horn**

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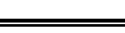
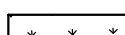


PHONE: 305-673-2025  
WWW.KIMLEY-HORN.COM CA 00000696

REVISIONS





No.	REVISIONS	DATE	BY
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## LEGEND

	RIGHT-OF-WAY LINE / PROPERTY LINE
	CENTER LINE
	PROP. BUILDING OUTLINE
	PROP. TYPE "D" CURB PER CITY OF CORAL GABLES STD.
	PROP. LANDSCAPE AREA (SEE LANDSCAPE DWG. FOR DETAILS)
	PROP. ASPHALT PAVEMENT
	PROP. SIGN
	PROP. 2.0' OVERHANG

CALCULATION SUMMARY					
LABEL	SYMBOL	UNITS	AVG	MAX	MIN
PROPERTY LINE	+	fc	0.30	0.50	0.00
PARKING LOT	+	fc	5.27	15.60	1.00

Luminaire Schedule						
Symbol	Qty	Arrangement	Description	Lum. Lumens	LLF	Lum. Watts
	1	SINGLE	ECF-2-70LA-3270-NW MH: 20' POLE MOUNT	7,754	1.00	69.2
	4	SINGLE	ECF-2-75LA-4853-NW MH: 20' POLE MOUNT	9,344	1.00	77.4
	4	BACK TO BACK	ECF-2-75LA-4853-NW MH: 20' POLE MOUNT	9,344	1.00	77.4
	2	90°	ECF-2-55LA-3253-NW MH: 20' POLE MOUNT	6,294	1.00	51.60

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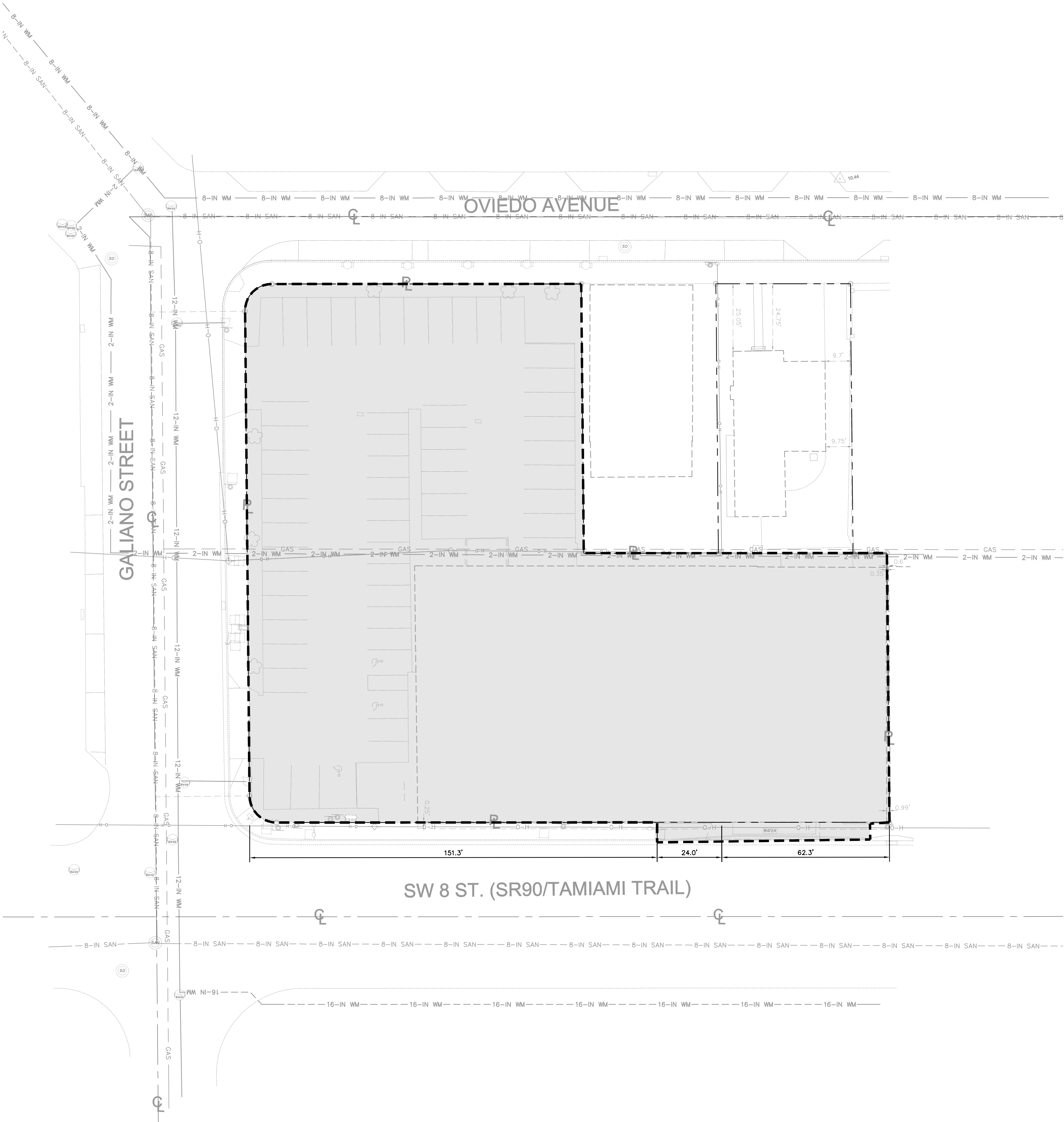
Always call 811 two full business days before you dig to have underground utilities located and marked.

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SHEET NUMBER		C-701	
JHS UCC PREPARED FOR 3737 SW 8 STREET		FLORIDA	
PHOTOMETRIC PLAN OPTION 1		KHA PROJECT 144429019	
		LICENSED PROFESSIONAL JORGE L. FERNANDEZ, P.E.	
		DATE 2-2-2018	
		SCALE AS SHOWN	
		DESIGNED BY	
		DRAWN BY	
		CHECKED BY	
		DATE:	
		FL LICENSE NUMBER 71682	
		© 2018 KIMLEY-HORN AND ASSOCIATES, INC. 355 ALHAMBRA CIRCLE, SUITE 1400, CORAL GABLES, FL 33134 PHONE: 305-673-2025 WWW.KIMLEY-HORN.COM CA 0000696	
		<b>Kimley»»»Horn</b>	
No.	REVISIONS	DATE	BY

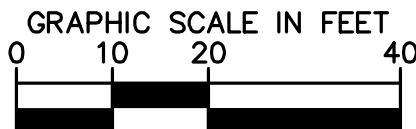
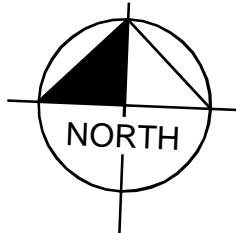
Plotted By: Jorens, Greta Sheet Set: JHS UCC 3737 SW 8 Street Layout: C-201 EXISTING CONDITIONS AND UTILITY PLAN (1) March 13, 2018 06:37:47pm K:\ORG-Civil\144429019 JHS UCC 3737 SW 8 Street\Civil\CADD\PlanSheets\C-201 EXISTING CONDITIONS AND UTILITY PLAN.dwg

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### LEGEND

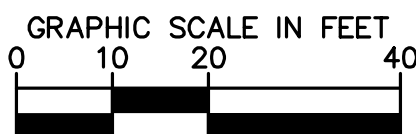
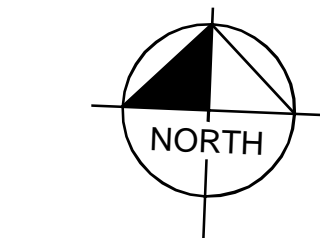
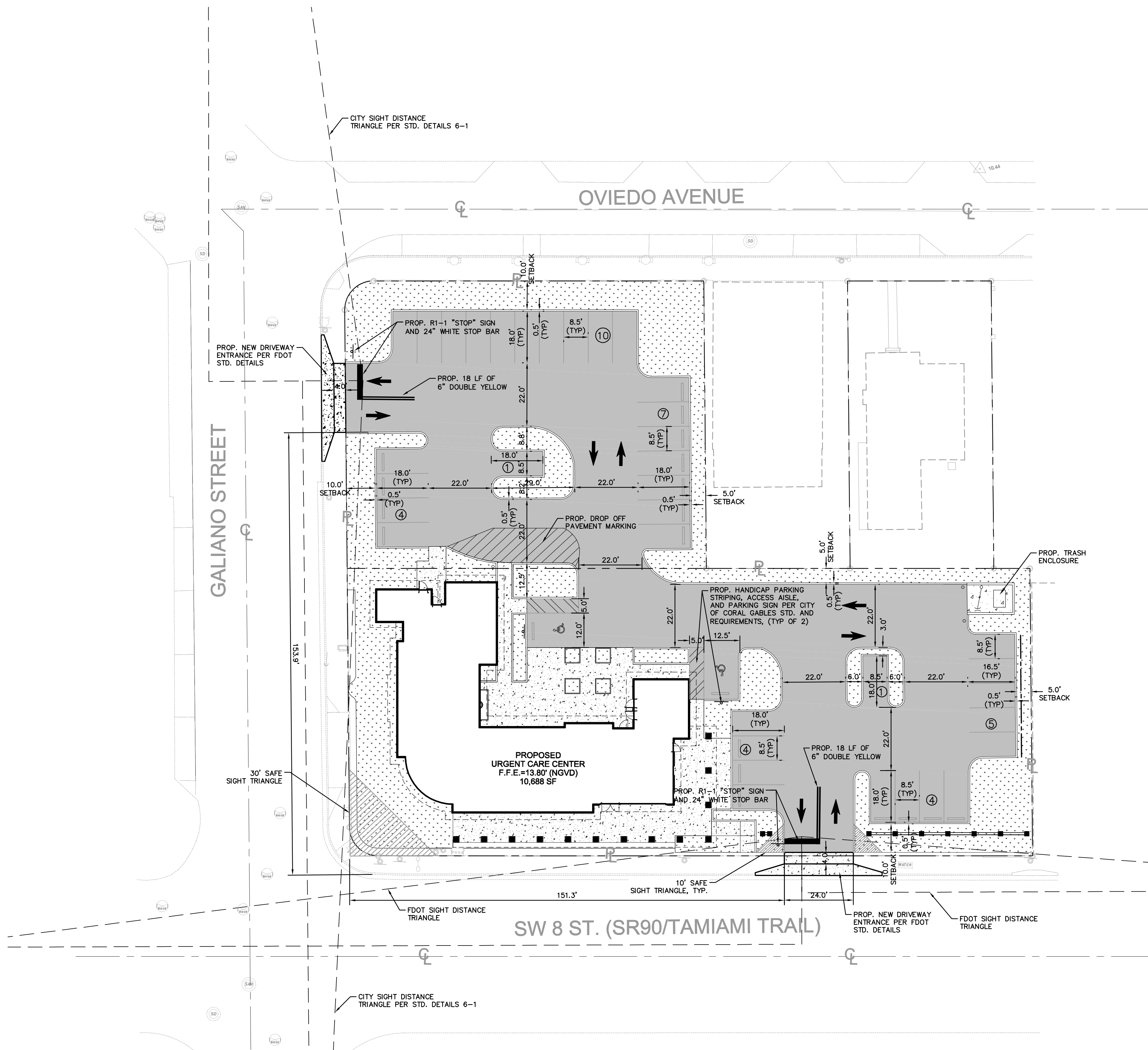
- RIGHT-OF-WAY LINE / PROPERTY LINE
- CENTER LINE
- EXISTING BUILDING LINE
- PROP. LIMITS OF SITE DEMOLITION. WITHIN THESE LIMITS, REMOVE ALL SOD, PAVEMENT, HARDSCAPE, BUILDING, FULL DEPTH OF BASE, AND CURBING.
- EXIST. 16" WATER MAIN
- EXIST. 12" WATER MAIN
- EXIST. 8" WATER MAIN
- EXIST. 2" WATER MAIN
- EXIST. 8" SANITARY SEWER MAIN
- EXIST. GAS LINE
- EXIST. OVERHEAD ELECTRICAL LINE
- EXIST. FIRE HYDRANT
- EXIST. SANITARY SEWER MANHOLE
- EXIST. STORM WATER MANHOLE
- EXIST. WATER VALVE














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JHS UCC PREPARED FOR 3737 SW 8 STREET  CORAL GABLES  FLORIDA	EXISTING CONDITIONS AND UTILITY PLAN										KHA PROJECT 144429019 DATE DATE SCALE AS SHOWN DESIGNED BY GT DRAWN BY GT CHECKED BY JF										LICENCED PROFESSIONAL JORGE L. FERNANDEZ, P.E. FL LICENSE NUMBER 71682										Kimley»Horn © 2018 KIMLEY-HORN AND ASSOCIATES, INC. 355 ALHAMBRA CIRCLE, SUITE 1400, CORAL GABLES, FL 33134 PHONE: 305-673-2025 WWW.KIMLEY-HORN.COM CA 00000696										REVISIONS										DATE										BY																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																															



## LEGEND

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|---|---|
|  | RIGHT-OF-WAY LINE / PROPERTY LINE                     |
|  | CENTER LINE   |
|  | PROP. BUILDING OUTLINE                                |
|  | PROP. TYPE "D" CURB PER CITY OF CORAL GABLES STD.     |
|  | PROP. LANDSCAPE AREA (SEE LANDSCAPE DWG. FOR DETAILS) |
|  | PROP. ASPHALT PAVEMENT                                |
|  | PROP. CONC. APRON / PAD                               |
|  | PROP. WHEEL STOP                                      |
|  | PROP. SIGN  |
|  | PROP. PAVEMENT ARROW                                  |
|  | PROP. 2.0' OVERHANG                                   |

AREA BREAKDOWN			
	ACRES	SQ. FEET	PERCENT
TOTAL	0.83	36,214	100% ±
PERVIOUS	0.24	10,336	29% ±
BUILDING AREA (FOOT PRINT)	0.10	4,531	12% ±
PAVEMENT AND OTHERS	0.49	21,347	59% ±
TOTAL IMPERVIOUS AREA	0.59	25,878	71% ±

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LICENSED PROFESSIONAL  
JORGE L. FERNANDEZ, P.E.

FL LICENSE NUMBER  
71682

KHA PROJECT  
144429019

DATE \_\_\_\_\_

SCALE AS SHOWN

DESIGNED BY GT

DATE:

# GEOMETRY SITE SIGNAGE AND MARKING PLAN

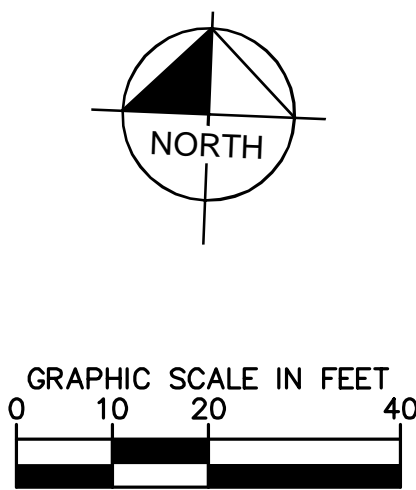
JHS UCC  
PREPARED FOR  
3737 SW 8 STREET

FLORIDA

CORAL GABLES

SHEET NUMBER  
**C-301**





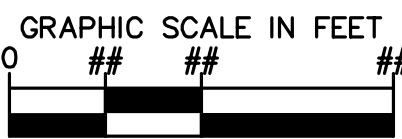
\*ALL STRUCTURES SHALL BE MIN. 5' INSIDE DIAMETER.

No.	REVISIONS	DATE	BY
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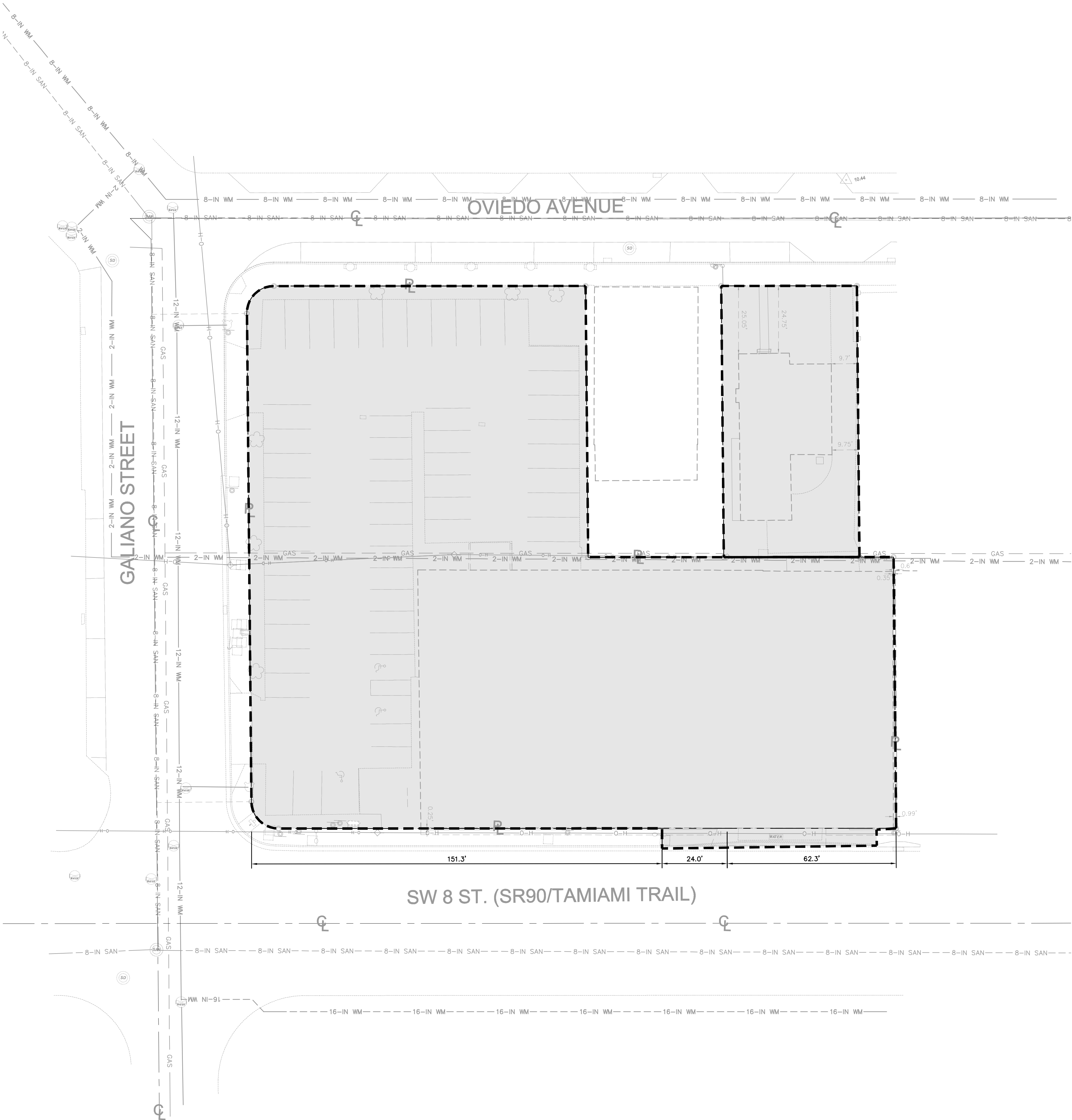
SHEET NUMBER  
C-401



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1	SHEET NUMBER <b>C-501</b>	JHS UCC PREPARED FOR <b>3737 SW 8 STREET</b>  CORAL GABLES FLORIDA	<b>WATER AND SEWER PLAN</b>	<table><tr><td>KHA PROJECT 144429019</td><td>LICENSED PROFESSIONAL JORGE L. FERNANDEZ, P.E.</td><td rowspan="5"> © 2018 KIMLEY-HORN AND ASSOCIATES, INC. 355 ALHAMBRA CIRCLE, SUITE 1400, CORAL GABLES, FL 33134 PHONE: 305-673-2025 WWW.KIMLEY-HORN.COM CA 00000696</td><td rowspan="5">S)</td></tr><tr><td>DATE 2-2-2018</td><td>FL LICENSE NUMBER 71682</td></tr><tr><td>SCALE AS SHOWN</td><td></td></tr><tr><td>DESIGNED BY</td><td></td></tr><tr><td>DRAWN BY</td><td></td></tr><tr><td>CHECKED BY</td><td>DATE:</td><td></td><td></td></tr></table>	KHA PROJECT 144429019	LICENSED PROFESSIONAL JORGE L. FERNANDEZ, P.E.	 © 2018 KIMLEY-HORN AND ASSOCIATES, INC. 355 ALHAMBRA CIRCLE, SUITE 1400, CORAL GABLES, FL 33134 PHONE: 305-673-2025 WWW.KIMLEY-HORN.COM CA 00000696	S)	DATE 2-2-2018	FL LICENSE NUMBER 71682	SCALE AS SHOWN		DESIGNED BY		DRAWN BY		CHECKED BY	DATE:			No.	REVISIONS	DATE	BY
				KHA PROJECT 144429019	LICENSED PROFESSIONAL JORGE L. FERNANDEZ, P.E.	 © 2018 KIMLEY-HORN AND ASSOCIATES, INC. 355 ALHAMBRA CIRCLE, SUITE 1400, CORAL GABLES, FL 33134 PHONE: 305-673-2025 WWW.KIMLEY-HORN.COM CA 00000696			S)															
				DATE 2-2-2018	FL LICENSE NUMBER 71682																			
				SCALE AS SHOWN																				
				DESIGNED BY																				
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Plotted By: Jorens, Greta Sheet Set: JHS UCC 3737 SW 8 Street Layout: C-201 EXISTING CONDITIONS AND UTILITY PLAN(2) March 13, 2018 08:41:24pm K:\CRG-GVN\144429019 JHS UCC 3737 SW 8 Street\CVL\CADD\PlanSheets\C-201 EXISTING CONDITIONS AND UTILITY PLAN.dwg  
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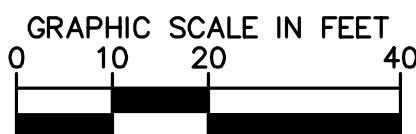
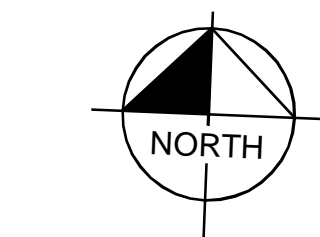
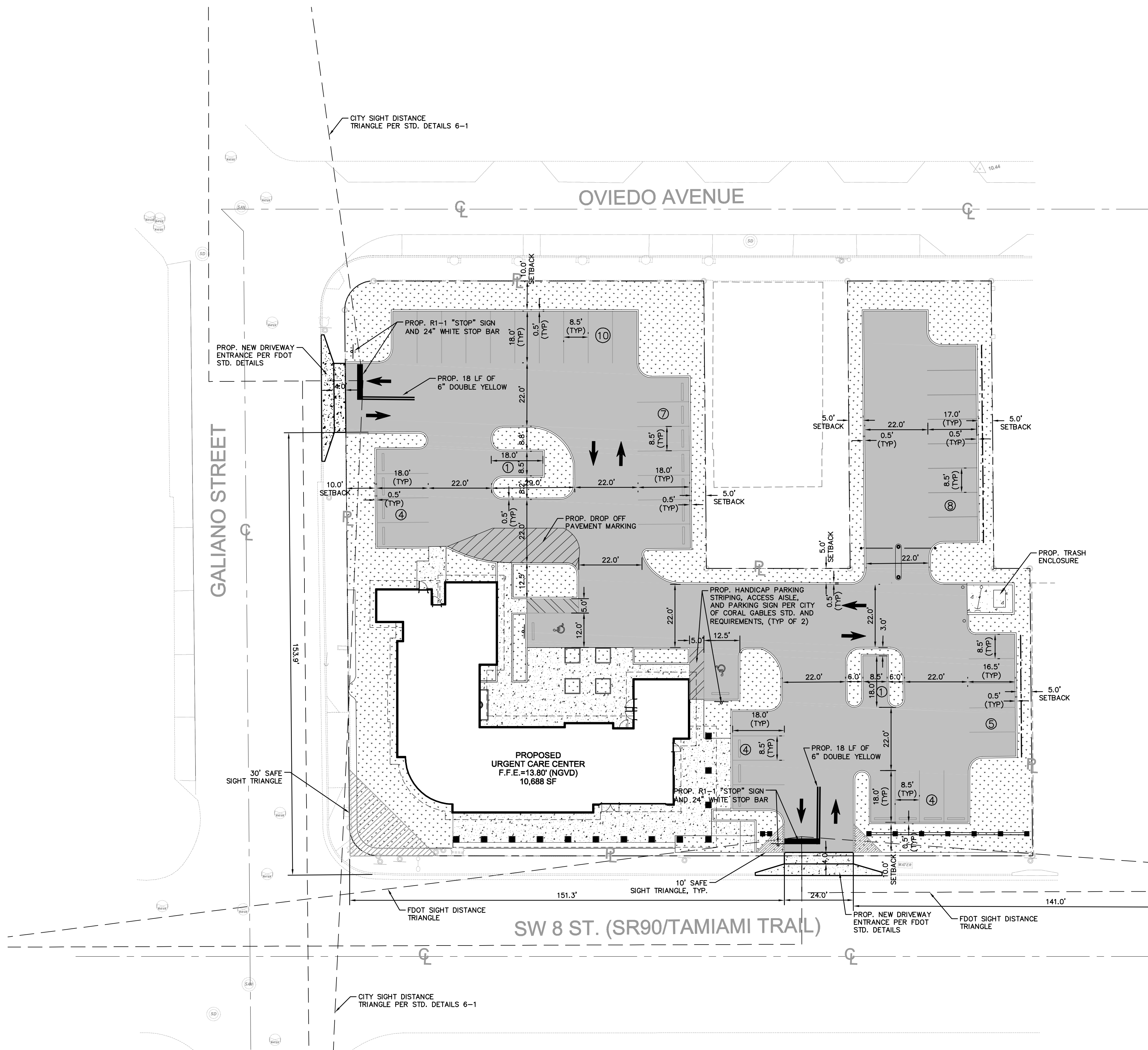
### LEGEND

- R/W— — — — — RIGHT-OF-WAY LINE / PROPERTY LINE
- C— — — — — CENTER LINE
- — — — — EXISTING BUILDING LINE
- — — — — 16-IN WM
- — — — — 12-IN WM
- — — — — 8-IN WM
- — — — — 2-IN WM
- — — — — 8-IN SAN
- — — — — GAS
- — — — — EXIST. OVERHEAD ELECTRICAL LINE
- — — — — EXIST. 16" WATER MAIN
- — — — — EXIST. 12" WATER MAIN
- — — — — EXIST. 8" WATER MAIN
- — — — — EXIST. 2" WATER MAIN
- — — — — EXIST. 8" SANITARY SEWER MAIN
- — — — — EXIST. GAS LINE
- — — — — EXIST. FIRE HYDRANT
- — — — — EXIST. SANITARY SEWER MANHOLE
- — — — — EXIST. STORM WATER MANHOLE
- — — — — EXIST. WATER VALVE








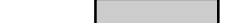


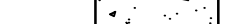
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JHS UCC PREPARED FOR 3737 SW 8 STREET	FLORIDA	CORAL GABLES	SHEET NUMBER C-201	KHA PROJECT 144429019 DATE 2-2-2018 SCALE AS SHOWN DESIGNED BY DRAWN BY CHECKED BY	LISCENSED PROFESSIONAL JORGE L. FERNANDEZ, P.E. FL LICENSE NUMBER 71682	© 2018 KIMLEY-HORN AND ASSOCIATES, INC. 355 ALHAMBRA CIRCLE, SUITE 1400, CORAL GABLES, FL 33134 PHONE: 305-673-2025 WWW.KIMLEY-HORN.COM CA 00000696	Kimley»Horn	No.	REVISIONS	BY	DATE



## LEGEND

- |   |   |
|---|---|
|  | RIGHT-OF-WAY LINE / PROPERTY LINE                     |
|  | CENTER LINE   |
|  | PROP. BUILDING OUTLINE                                |
|  | PROP. TYPE "D" CURB PER CITY OF CORAL GABLES STD.     |
|  | PROP. LANDSCAPE AREA (SEE LANDSCAPE DWG. FOR DETAILS) |
|  | PROP. ASPHALT PAVEMENT                                |
|  | PROP. CONC. APRON / PAD                               |
|  | PROP. WHEEL STOP                                      |
|  | PROP. SIGN  |
|  | PROP. PAVEMENT ARROW                                  |
|  | PROP. 2.0' OVERHANG                                   |

AREA BREAKDOWN			
	ACRES	SQ. FEET	PERCENT
TOTAL	0.94	41,214	100% ±
PERVIOUS	0.27	12,052	29% ±
BUILDING AREA (FOOT PRINT)	0.10	4,531	11% ±
PAVEMENT AND OTHERS	0.57	24,613	60% ±
TOTAL IMPERVIOUS AREA	0.67	29,162	71% ±

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LICENSED PROFESSIONAL  
JORGE L. FERNANDEZ, P.E.

FL LICENSE NUMBER  
71682

KHA PROJECT  
144429019

DATE 23/3/2018

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DESIGNED BY C-

RAWN BY G

# GEOMETRY SITE SIGNAGE AND MARKING PLAN

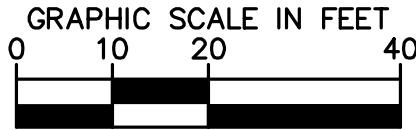
JHS UCC  
PREPARED FOR  
3737 SW 8 STREET

CORAL GABLES  
FLORIDA

SHEET NUMBER  
**C-301**

No.	REVISIONS
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DATE	BY
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	RIGHT-OF-WAY LINE / PROPERTY LINE
	CENTER LINE
	PROP. BUILDING OUTLINE
	PROP. TYPE "D" CURB PER CITY OF CORAL GABLES STD.
	PROP. LANDSCAPE AREA (SEE LANDSCAPE DWG. FOR DETAILS)
	PROP. ASPHALT PAVEMENT
	PROP. CONC. APRON / PAD
	PROP. WHEEL STOP
	HIGH POINT
	MATCH EXIST. ELEVATION
	PROP. ELEVATION
	PROP. FLOW ARROW AND SLOPE
	PROP. DRAINAGE ARROWS
	PROP. DRAINAGE STRUCTURE AND NUMBER

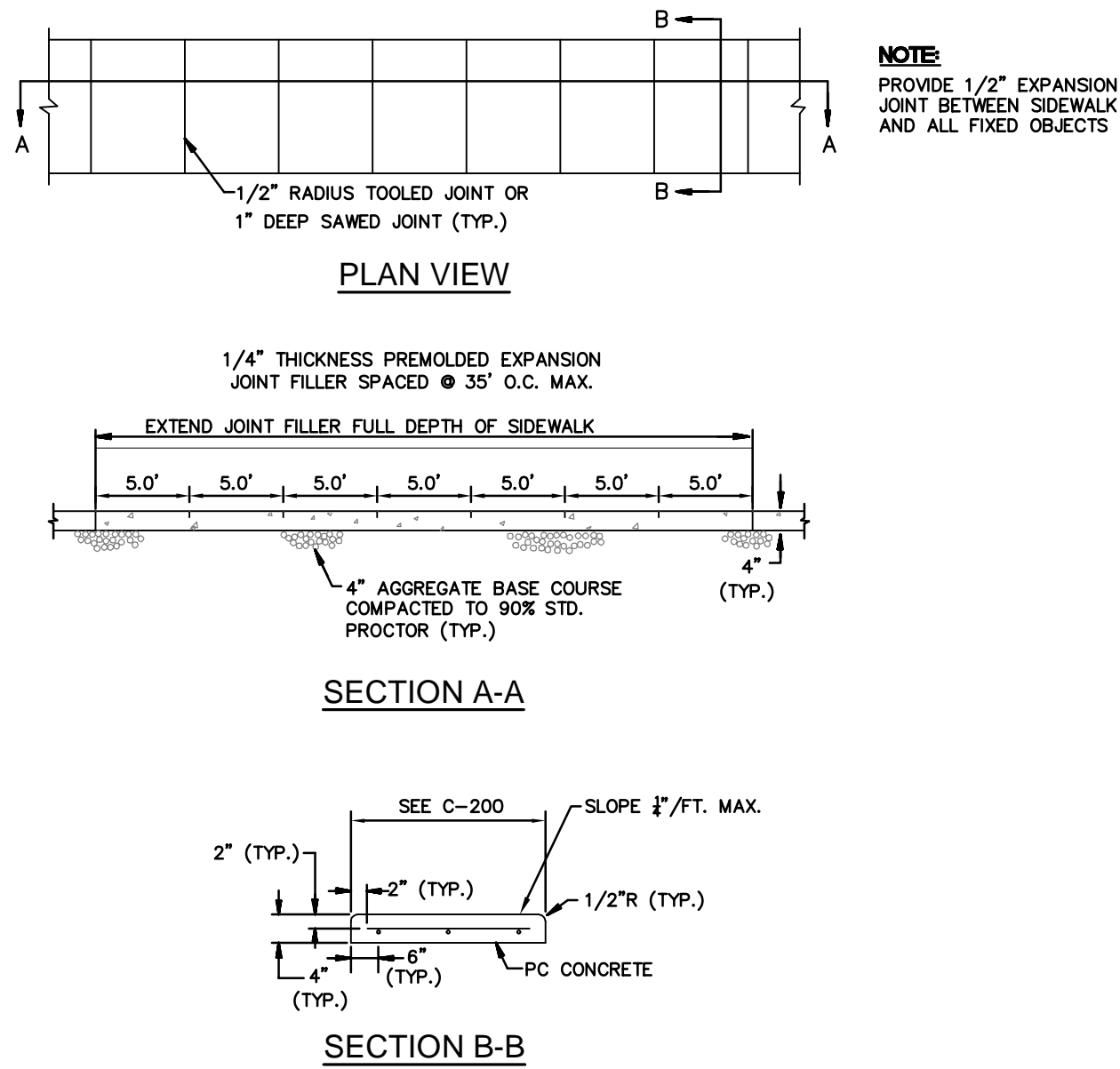
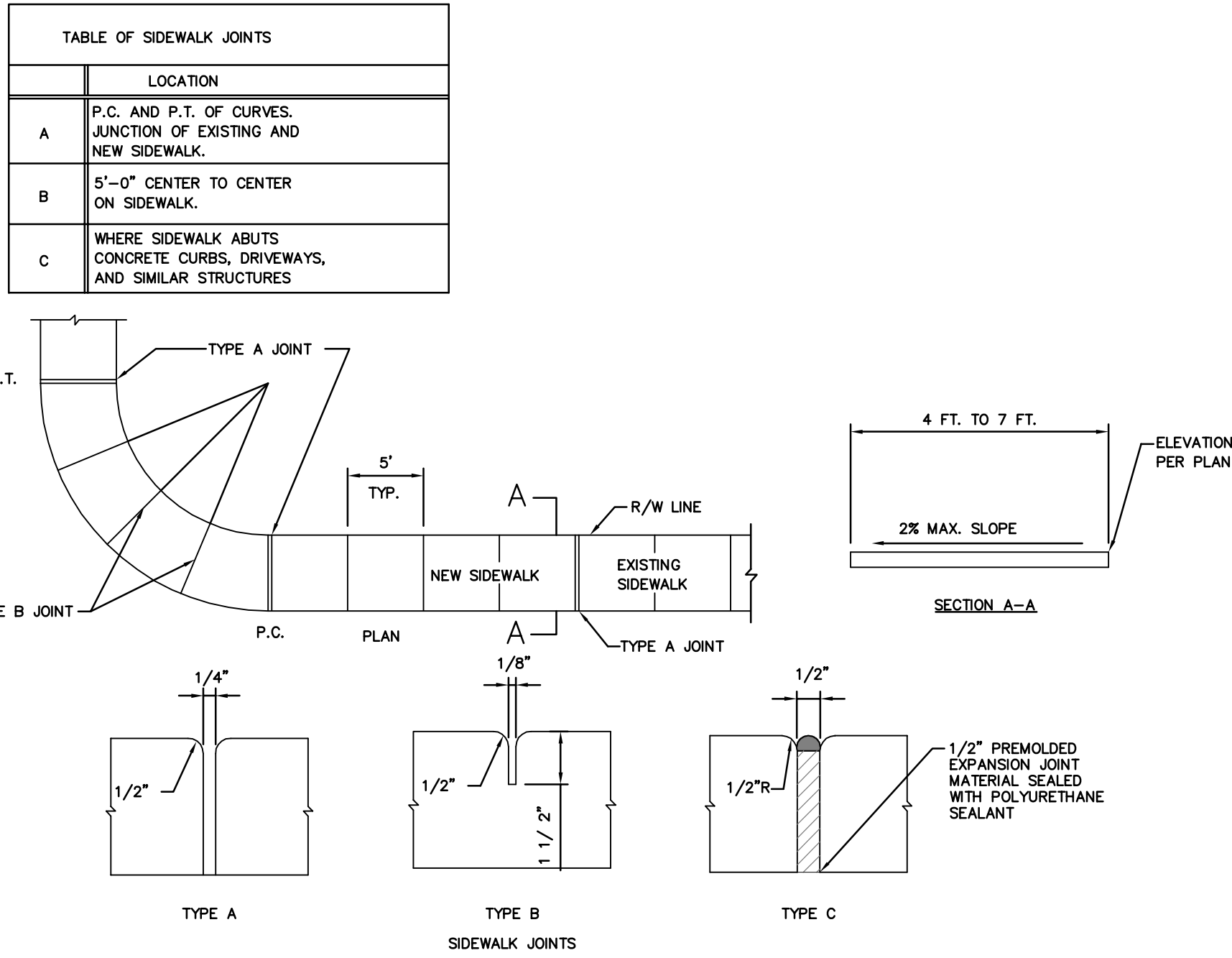
\*ALL STRUCTURES SHALL BE MIN. 5' INSIDE DIAMETER.

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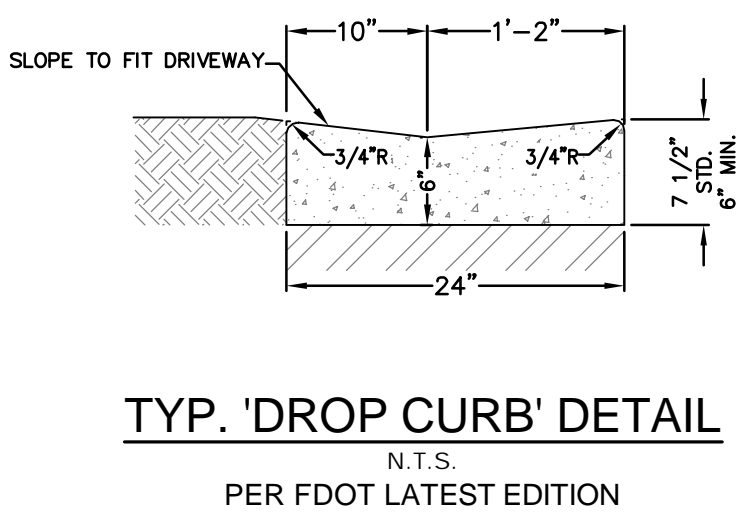
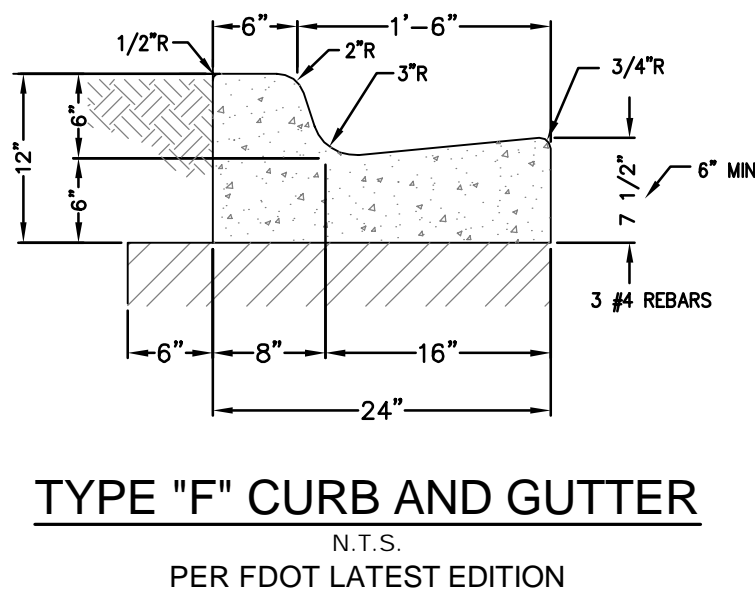
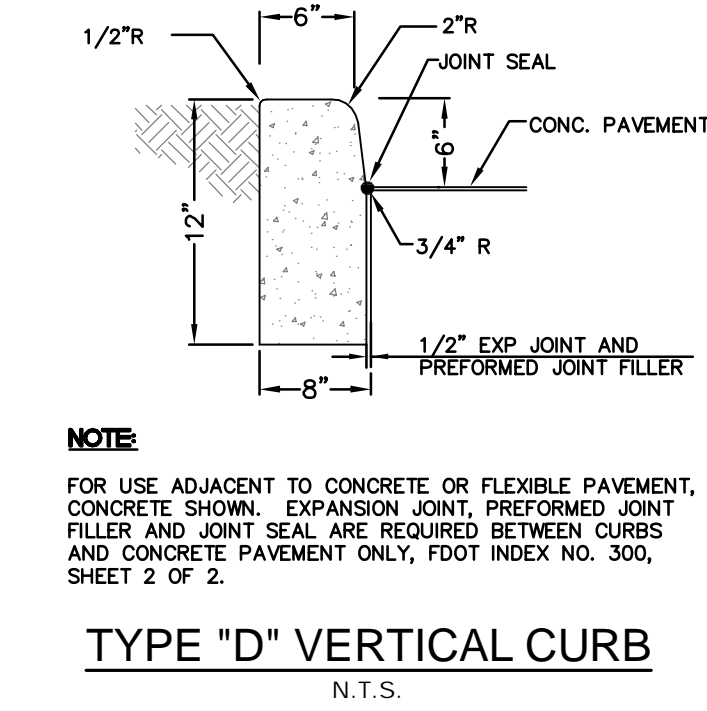
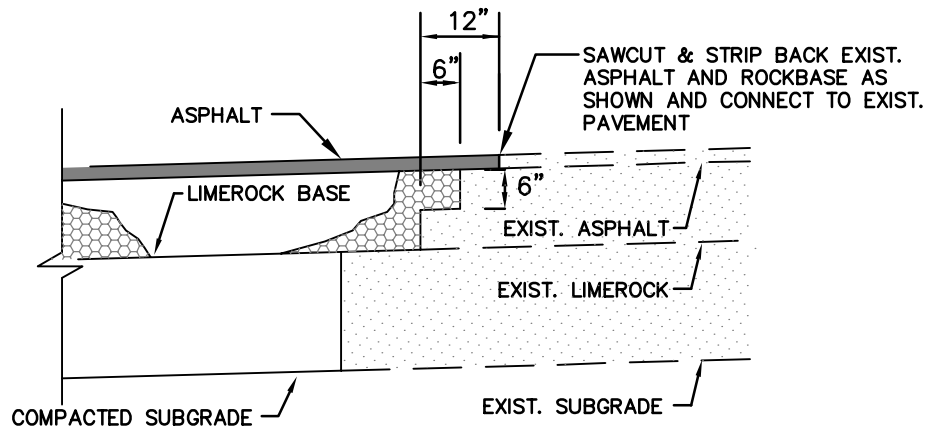
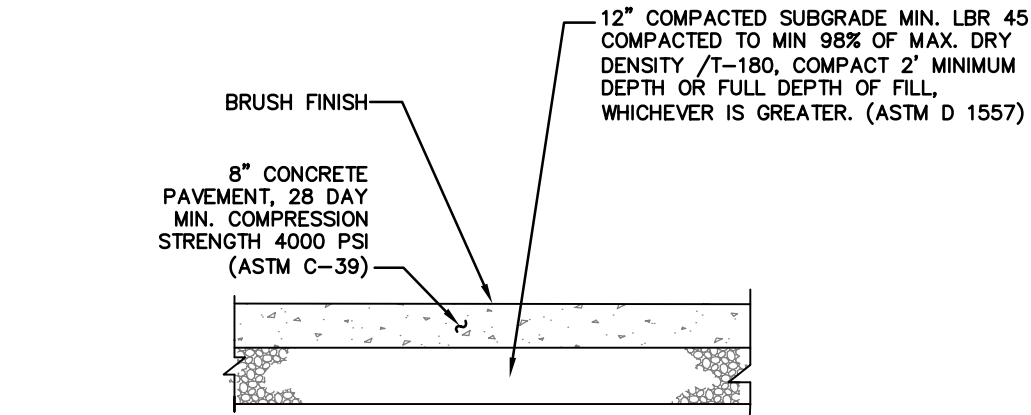
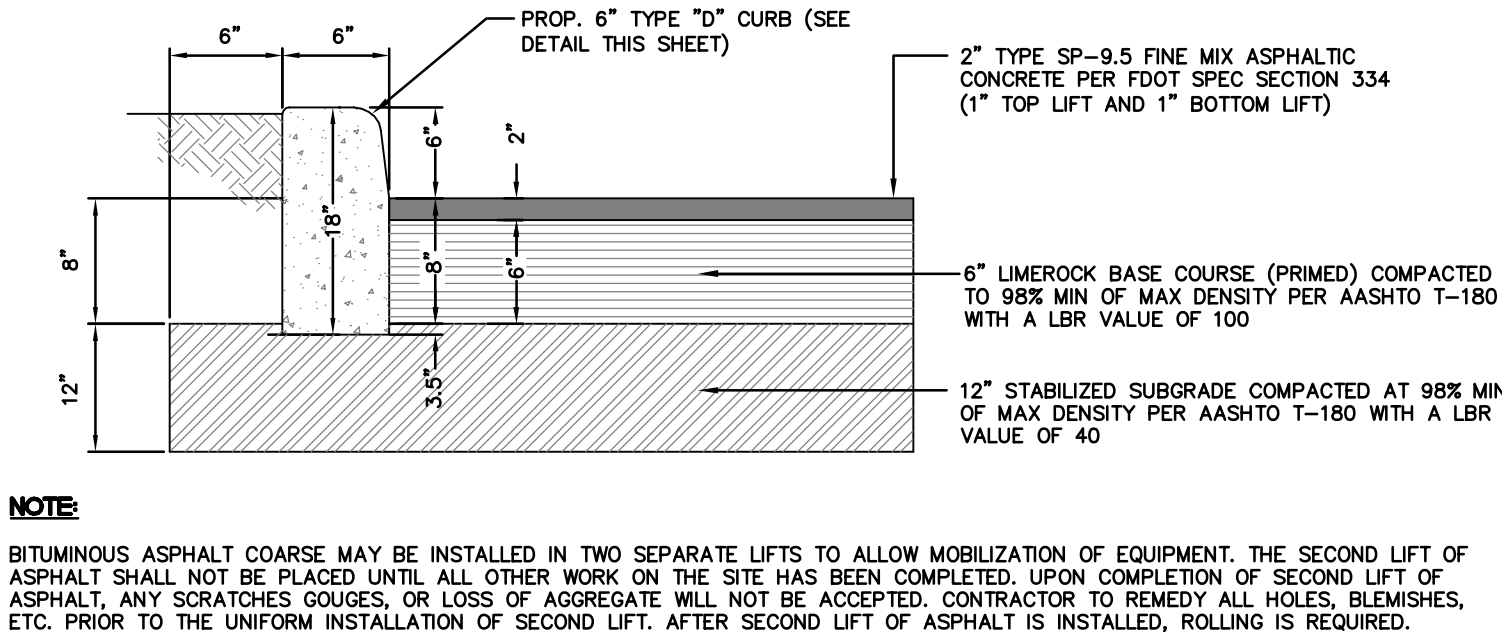
SHEET NUMBER  
**C-301**

No

Plotted By: Jorens, Greta Sheet Set: JHS UCC 3737 SW 8 Street L05041C-402 PAVING GRADING AND DRAINAGE DETAILS March 13, 2018 08:09:09pm K:\ORG-Civil\44429019 JHS UCC 3737 SW 8 Street\Civil\CADD\PlanSheets\C-402 PAVING GRADING AND DRAINAGE DETAILS.dwg  
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



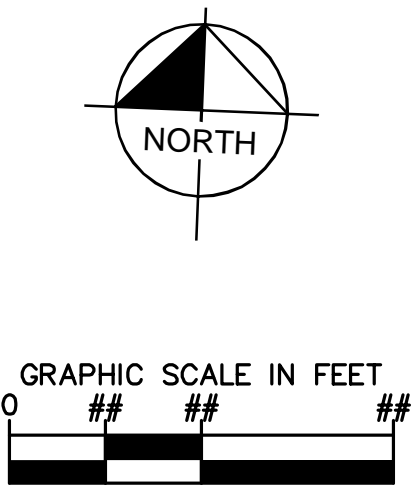
- NOTES:**
- 1- ALL WORK SHALL COMPLY WITH MIAMI-DADE COUNTY STD SPECS, MATERIALS: SEC. 302-1 AND METHODS: SEC. 408, AND PER MIAMI-DADE PUBLIC WORKS STD.
  - 2- SUBGRADE SHALL BE COMPACTED TO 98% DENSITY AASHTO T-99.
  - 3- CURB, CURB & GUTTER, AND GUTTER SHALL BE CONSTRUCTED IN 50' MAX SECTIONS WITH 1/8" TO 1/4" OPEN EXPANSION JOINT BETWEEN EACH SECTION AND CONTRACTION JOINTS AT 10' INTERVALS.
  - 4- CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.



Always call 811 two full business days before you dig to have underground utilities located and marked.

**Sunshine811.com**

<b>Kimley»Horn</b> © 2018 KIMLEY-HORN AND ASSOCIATES, INC. 355 ALHAMBRA CIRCLE, SUITE 1400, CORAL GABLES, FL 33134 PHONE: 305-673-2025 WWW.KIMLEY-HORN.COM CA 00000696	REVISIONS	No.	BY
LICENSED PROFESSIONAL JORGE L. FERNANDEZ, P.E. FL LICENSE NUMBER 71682	KHA PROJECT 144429019 DATE 2-2-2018 SCALE AS SHOWN DESIGNED BY DRAWN BY CHECKED BY	PAVING GRADING AND DRAINAGE DETAILS	FLORIDA
JHS UCC PREPARED FOR 3737 SW 8 STREET CORAL GABLES			



	RIGHT-OF-WAY LINE / PROPERTY LINE
	CENTER LINE
	PROP. BUILDING OUTLINE
	PROP. LANDSCAPE AREA (SEE LANDSCAPE DWG. FOR DETAILS)
	PROP. ASPHALT
	PROP. CONC. APRON / PAD
	PROP. SIGN
	PROP. PAVEMENT ARROW
	PROP. 2.0' OVERHANG

LICENSED PROFESSIONAL  
JORGE L. FERNANDEZ, P.E.  
FL LICENSE NUMBER  
71682

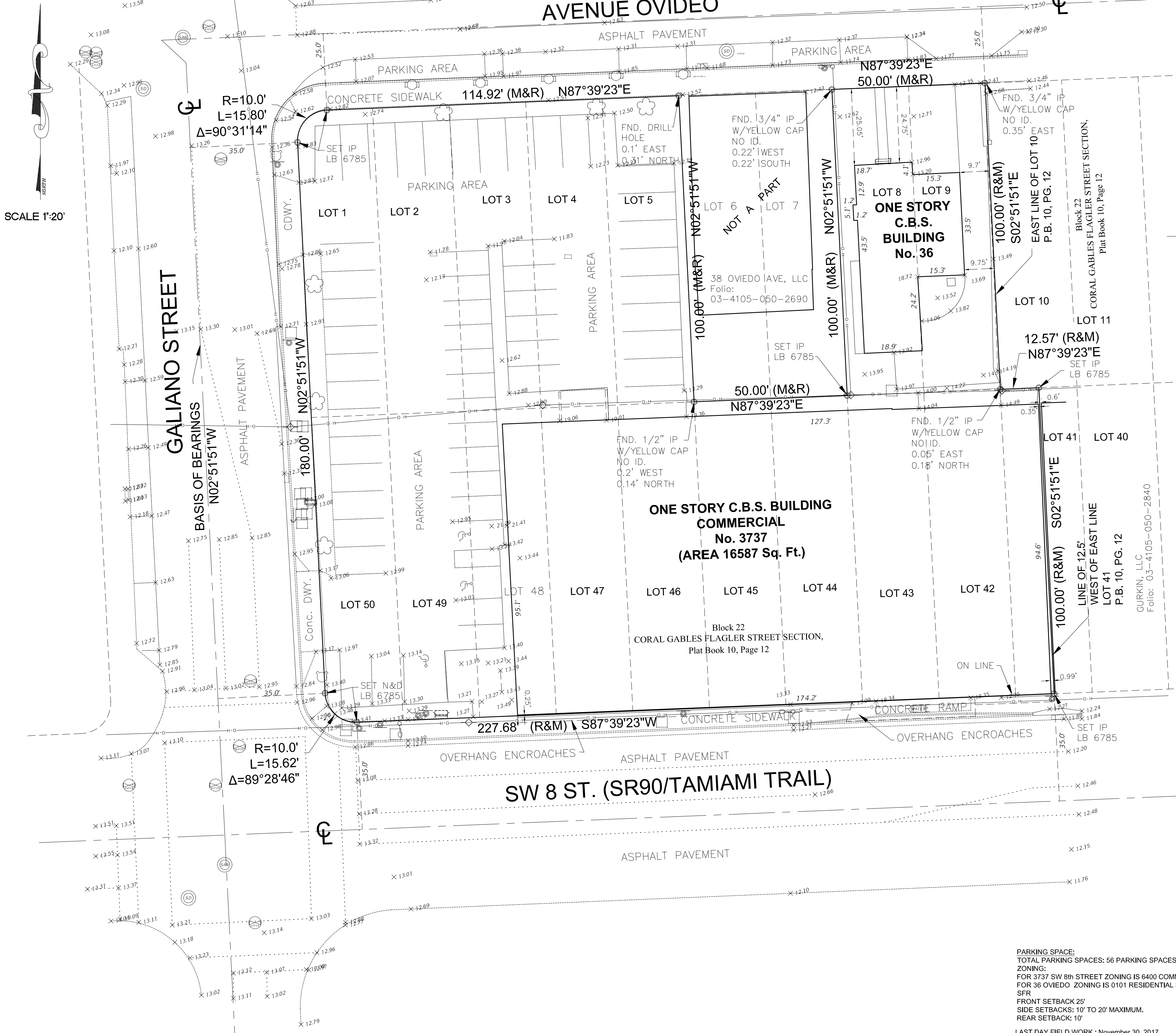
JHS UCC  
PREPARED FOR  
3737 SW 8 STREET

SHEET NUMBER  
**C-501**

Always call 811 two full business days before you dig to have underground utilities located and marked.

**Sunshine811.com**

ALTA/ACSM LAND TITLE SURVEY

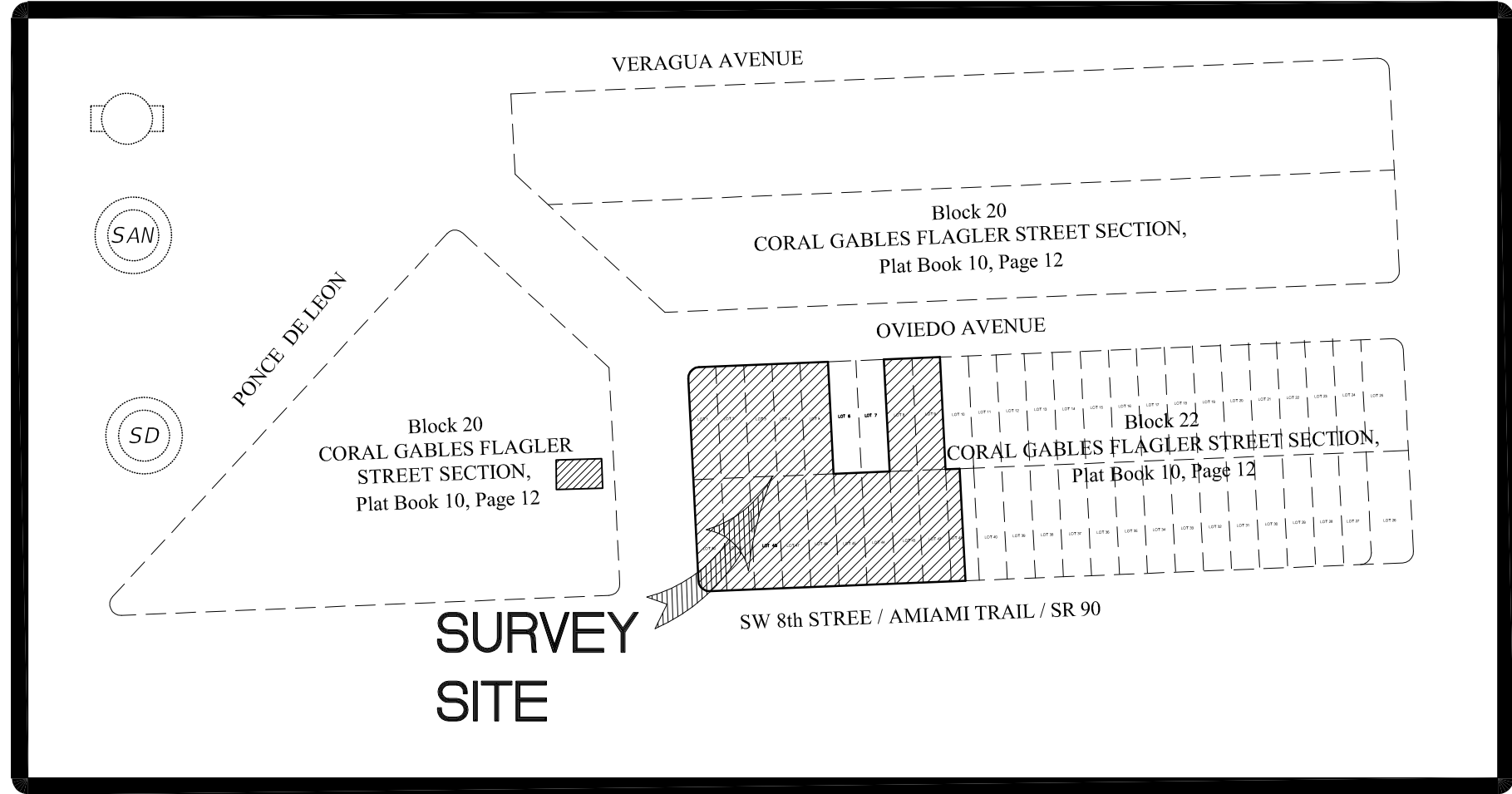


SCALE 1"=20'

LEGEND-ABBREVIATIONS

- SIGN, SINGLE SUPPORT
- LIGHT POLE
- CONC. CONCRETE
- PROP. CORNER
- CENTER LINE
- WATER VALVE
- GUY ANCHOR
- ELECT. BOX
- F.F.E. FINISH FLOOR ELEVATION
- OVERHEAD WIRES
- POWER POLE
- CDWY. CONCRETE DRIVEWAY
- FIRE HYDRANT
- PG. PAGE
- P.B. PLAT BOOK
- ELEV. ELEVATION
- IP. IRON PIPE
- N&D. NAIL AND DISK
- R&M. RECORD AND MEASURED
- NO ID. NO IDENTIFICATION

VICINITY MAP  
NOT TO SCALE



LEGAL DESCRIPTION

Lots 8 and 9, Block 22 of CORAL GABLES FLAGLER STREET SECTION, according to the Plate thereof, as recorded in Plat Book 10, Page 12, of the Public Records of Miami-Dade County, Florida.  
Together with  
Lots 1 through 5, inclusive, Lots 42 through 50, inclusive, and the West 1/2 of Lot 41, in Block 22 of CORAL GABLES FLAGLER STREET SECTION, according to the Plat thereof, as recorded in Plat Book 10, at Page 12, of the Public Records of Miami-Dade County, Florida, being more particularly described as follows:  
BEGIN at the Northeast corner of said Lot 5; thence run Southerly along the East line of said Lot 5, for a distance of 100.05 feet to the Southeast corner of said Lot 5; thence run Easterly, along the North lines of said Lot 41 through 45, for a distance of 112.58 feet, to a point 12.51 feet West, as measured along the said North of Lot 41, of the Northeast corner of said Lot 41; thence run Southerly, for a distance of 100.04 feet, to a point on the South line of said Lot 41, said point being 12.50 feet West of the Southeast corner of said Lot 41, as measured along the said South line of Lot 41; thence run Westerly, along the South lines of Lots 41 through 50, for a distance of 227.59 feet, to a point of tangency with a circular curve, concave to the Northeast; thence run Northwesterly along the arc of said circular curve, concave to the Northeast and having for elements a radius of 10.00 feet and a central angle of 89° 28' 40" for an arc distance of 15.62 feet; thence run Northerly along the West lines of said Lots 50 and 1, for a distance of 180.12 feet to a point of tangency with a circular curve, concave to the Southeast; thence run Northeasterly along the arc of said Circular curve, concave to the Southeast, having for elements a radius of 10.00 feet and a central angle of 90° 31' 37", for an arc distance of 15.80 feet; thence run Easterly along the North line of said Lots 1 through 5, for a distance 115.09 feet, to the POINT OF BEGINNING. Containing 41,214 Square Foot (0.94 Acres)

SURVEYOR'S REPORT:

- 1) Survey Type: Boundary Survey.
- 2) Legal description as shown on Opinion of Title, prepared by H. Scott Macbeth to Miami-dade County and dated on October 13, 2017
- 3) Flood Zone: AH, Elevation 8' as per Firm: Community Number: 120639 Panel: 0294L, City of Coral Gables, Suffix: L EFFECTIVE DATE 09-11-2009 Map Number: 12086C294F
- 4) Property Address: 3737 SW 8 Street, Coral Gables Florida  
36 Ovideo Avenue, Coral Gables Florida
- 5) Basis of Bearings: Bearings are referred to an assumed value of N00°02'22"7"E along the centerline of NW. 65th Avenue.
- 6) This survey is subject to easements and other restrictions or dedications which might be reflected in a search of title to the subject lands.
- 7) Elevations shown refer to National Geodetic Vertical Datum of 1929 (NGVD29) as determined from the following City of Coral Gables Benchmarks (CBM)  
-CBM No. 312. Found PK/W at SW Corner of Alcantara Ave and SW. 37 Avenue. Elev.=12.37 (NGVD29)  
-CBM No. 304. Found PK/W at SE Corner of Bobadilla Ave and Avila . Elev. 13.88' (NGVD29)
- 8) The property has direct access to and from publicly used streets Galeano Street and Ovideo Avenue
- 9) This map or plat and the survey on which it is based were made in accordance with Opinion of Title, prepared by H. Scott Macbeth, dated on October 13, 2017
- 10) The survey was made on the ground by an instrument survey on November 30, 2017 by me or under my supervision and correctly shows the legal description of the subject property, the structures and other visible above ground improvements (including sidewalks and fences) situated on the subject property.
- 11) Special Exception as listed on Opinion of Title  
-Coral Gables Flagler Street Section, PB. 10, Pg. 12. Does affect the property, as shown on Map.  
-Deed Book 2457, Pg. 74. Affect the Property (West 1/2 of Lot 48, 49 and 50 Only)  
-Official Record Book 7367, Pg. 6 Does affect the Property, blanket conditions not plotted.  
-Official Record Book 13813, Pg. 1299. Does affect the Property, blanket conditions not plotted.  
-Official Record Book 14174, Pg. 787. Does affect the Property, blanket conditions not plotted.  
-Official Record Book 15794, Pg. 1171. Does affect the Property, blanket conditions not plotted.  
-Official Record Book 20036, Pg.2908. Does affect the Property, blanket conditions not plotted.
- 12) There are no party walls and no observable, above ground encroachments other than the one described hereon.
- 13) The subject property does not serve any adjoining property for visible subsurface drainage structures, visible water courses, utilities, structural support.
- 14) The parties listed above and their successors and assigns are entitled to rely on the survey and this certificate as being true and accurate.
- 15) The relative positional precision for this survey was found to be better than the maximum allowable relative positional precision as per section 3 e (v.) of the 2016 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys.
- 16) This Boundary Survey is not intended for design or construction purposes.

SURVEY CERTIFICATION:

I HEREBY CERTIFY TO Date: Miami-Dade County, That this is a true and correct survey of 3737 SW 8 Street, Coral Gables Florida and 36 Ovideo Avenue, Coral Gables Florida and shows the true and correct location of the buildings and improvements situated on such land and all easements, Right-of-Way, and similar restrictions shown on title Commitment (see note 11) affecting the property surveyed. The buildings and improvements do not overhang or encroach upon any easement or Right-of-Way of others, and there are no visible above ground encroachments either way across the property lines, other than those shown and noted.

To Miami-Dade County, This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA, ACSM and NSPS on February 23, 2016, and includes items 1, 2, 3, 4, 6, 7(a), 8, 9, 13, 14, of Table "A" thereof. The field work was completed on November 30, 2017

Date: December 05, 2017

Frank Panus, P.S.M. (LS#6625)

State of Florida

Adopted by the Board of Governors, American Land Title Association, on October 13, 2010. American Land Title Association, 1828 L St., N.W., Suite 705, Washington, D.C. 20036.

Adopted by the Board of Directors, National Society of Professional Surveyors, on November 15, 2010.

National Society of Professional Surveyors, Inc., a member organization of the American Congress on Surveying and Mapping, 6 Montgomery Village Avenue, Suite 403, Gaithersburg, MD 20879

PARKING SPACE:  
TOTAL PARKING SPACES: 56 PARKING SPACES (3 DISABILITIES)  
ZONING:  
FOR 3737 SW 8th STREET ZONING IS 6400 COMMERCIAL-CENTRAL  
FOR 36 OVIEDO ZONING IS 0101 RESIDENTIAL SINGLE FAMILY HOME (SFR)  
SFR  
FRONT SETBACK 25'  
SIDE SETBACKS: 10' TO 20' MAXIMUM.  
REAR SETBACK: 10'

LAST DAY FIELD WORK : November 30, 2017  
SIGNED : December 2, 2017  
FIELD BOOK: 840, 841 and 850  
CAD FILE: 2842W03.DWG

I HEREBY CERTIFY:

THAT THIS ATTACHED BOUNDARY SURVEY MEETS THE STANDARDS OF PRACTICE SET BY THE FLORIDA STATE BOARD OF PROFESSIONAL LAND SURVEYORS PURSUANT TO CHAPTER 472.027 FLORIDA STATUTES AND CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE.

Frank Panus, P.S.M. (LS#6625)  
State of Florida  
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

REVISIONS	BY

3737 SW 8 Street, Coral Gables Florida  
36 Ovideo Avenue, Coral Gables Florida  
Gresham, Smith and Partners

F.R. Aleman And Associates, Inc. LB #6785

Consulting Engineers and Surveyors

10305 NW 41ST STREET, SUITE 200  
MIAMI, FLORIDA 33178

TEL: (305) 591-8777 FAX: (305) 599-8749

F.R. ALEMAN

DATE 12-05-17

SCALE 1"=40'

DRAWN F.P.

2824W03

SHEET 1

OF 1 SHEETS

DRAINAGE CALCULATIONS

For

Jackson Health System-Urgent Care Center  
3737 SW 8th Street  
Coral Gables, Florida

KHA Project No.: 144429019

March 2018

Prepared For:

*Jackson Health System  
8950 SW 152 Street  
Miami, Fl 33157*

---

Jorge L. Fernandez, P.E.  
Florida Professional Engineer License Number 71682  
Kimley-Horn and Associates, Inc.  
CA Number 00000696  
355 Alhambra Circle, Suite 1400  
Coral Gables, FL 33134  
305.673.2025 Voice

## PROJECT DESCRIPTION

Jackson Health System is proposing to re-development an existing office building on the northeast corner of Galiano Street and SW 8th Street. The subject site is located at 3737 SW 8th Street, City of Coral Gables within Miami-Dade County, Florida.

The subject site consists of two (2) combined properties with a total lot size of approximately 41,214 square feet (0.94 acres). Jackson Health System proposes to demolish an existing parking lot and office building and construct a new two-story medical clinic building of approximately 10,688 square feet and a new surface parking lot.

## PROPOSED STORM WATER MANAGEMENT SYSTEM

The proposed storm water improvements will have the capacity to manage the storm water discharge produced by the proposed development through the use of exfiltration trench as a stand-alone system and retain the 3-day 25 year storm event on-site. The system is designed to meet applicable storm water quality and quantity criteria. All underground piping, catch basins, exfiltration trench, concrete and asphalt pavement shall be designed and constructed to conform to the minimum standards.

The site lies within FEMA flood zone X. Therefore, the Finished Floor Elevation for the building is set to 13.80' which is four (4) inches above the highest back of sidewalk elevation fronting the site as required by the City of Coral Gables Land Development requirements.

# STORM WATER MANAGEMENT CALCULATIONS

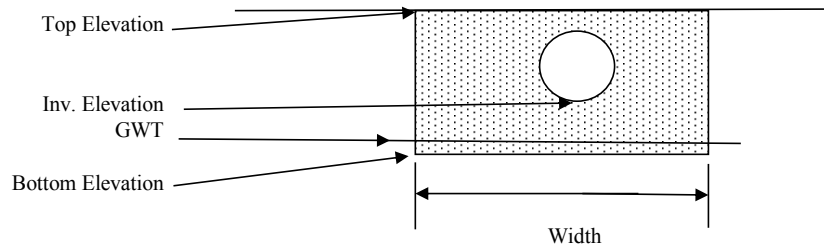
**Project Name:** JHS UCC

**Location:** 3737 SW 8TH STREET  
MIAMI, FL

## WATER QUALITY CALCULATIONS

Total Drainage Area = 0.94 acres.  
Impervious Area = 0.67 acres. (C = 0.95 )  
Pervious Area = 0.27 acres. (C = 0.5 )

Lowest Grnd. Elev. for Prop. Exfil. Trench = 12.35 ft. NGVD.  
Lowest Existing Grate Elevation = n/a ft. NGVD.



### Proposed Exfiltration Trench:

Top Elevation = 12.35 ft. NGVD.  
GWT = 3.200 ft. NGVD.  
Pipe Diameter = 15 inches  
Inv. Elevation = 10.10 ft. NGVD.  
Bottom Elevation = 2.35 ft. NGVD.  
Width = 4.00 feet.  
Weir Elevation = 12.35 ft. NGVD.

### Existing Exfiltration Trench:

Top Elevation = n/a ft. NGVD  
GWT = n/a ft. NGVD  
Pipe Diameter = n/a inches  
Inv. Elevation = n/a ft. NGVD  
Bottom Elevation = n/a ft. NGVD  
Width = n/a feet.  
Length = n/a feet.  
Assumed Usage = 0 percent

### Hydraulic Conductivity:

The hydraulic conductivity (k) Average value obtained by

Weighted k = 3.30E-04 cfs/sf-ft of head.  
Safety Factor = 2  
DESIGN STORM FREQUENCY (YEARS): 25  
MINIMUM TIME OF CONCENTRATION (MINUTES): 10.00

## STORM WATER MANAGEMENT CALCULATIONS

**Project Name:** JHS UCC

**Location:** 3737 SW 8TH STREET  
MIAMI, FL

### BASIN DESIGN INFORMATION per DERM

TOTAL DRAINAGE AREA =	<b>0.380</b>	hectares or	<b>0.940</b>	acres.
TOTAL IMPERVIOUS DRAINAGE AREA =	<b>0.271</b>	hectares or	<b>0.670</b>	acres.
IMPERVIOUS RUNOFF COEFFICIENT =	<b>0.95</b>			
TOTAL PVIOUS DRAINAGE AREA =	<b>0.109</b>	hectares or	<b>0.270</b>	acres.
PERVIOUS RUNOFF COEFFICIENT =	<b>0.50</b>			
SUB-BASIN DRAINAGE AREA =	<b>0.380</b>	hectares or	<b>0.940</b>	acres.
SUB-BASIN IMPERVIOUS DRAINAGE AREA =	<b>0.271</b>	hectares or	<b>0.670</b>	acres.
IMPERVIOUS RUNOFF COEFFICIENT =	<b>0.95</b>			
SUB-BASIN PVIOUS DRAINAGE AREA =	<b>0.109</b>	hectares or	<b>0.270</b>	acres.
PERVIOUS RUNOFF COEFFICIENT =	<b>0.50</b>			
SUB-BASIN TIME OF CONCENTRATION =	<b>10.00</b>	minutes		
DESIGN STORM FREQUENCY =	<b>25</b>	years		

### WATER QUALITY CALCULATIONS per DERM Criteria

SUB-BASIN TIME OF CONCENTRATION =	<b>10.00</b>	minutes
SUB-BASIN TIME FOR FIRST INCH OF RUNOFF =	<b>9.80</b>	minutes
REQUIRED WATER QUALITY TREATMENT TIME =	<b>19.80</b>	minutes

#### TREATMENT VOLUME REQUIRED:

<b>Vtrmt =</b>	<b>166.567</b>	<b>cu. meters or</b>	<b>5,882 cu. ft.</b>
<b>Vtrmt =</b>	<b>0.017</b>	<b>hectare-meters or</b>	<b>0.135 ac.-ft.</b>

# STORM WATER MANAGEMENT CALCULATIONS

**Project Name:** JHS UCC

**Location:** 3737 SW 8TH STREET  
MIAMI, FL

## TYPICAL EXFILTRATION TRENCH DESIGN by DERM

$$L = \text{Volume} / [k / SF \times (2 \times H2 \times Du - Du^2 + 2 \times H2 \times Ds) + (1.39 \times 10^{-4}) \times (W \times Du + PS)]$$

Volume = Treatment Vol. - Capacity of Exist. Trench (ac-in)

k = Weighted Hyd. Conductivity (cfs/sf - ft)

H2 = Depth to the Water Table (ft)

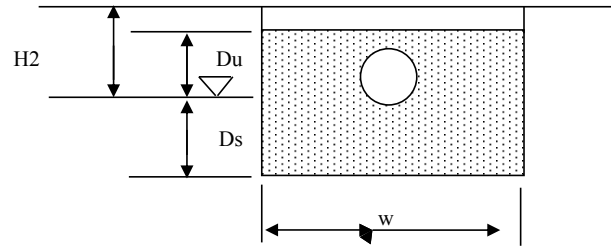
W = Trench width (ft)

Du = Non-Saturated Trench Depth (ft)

Ds = Saturated Trench Depth (ft)

SF = Safety Factor

PS = Pipe Storage (ft.^3)



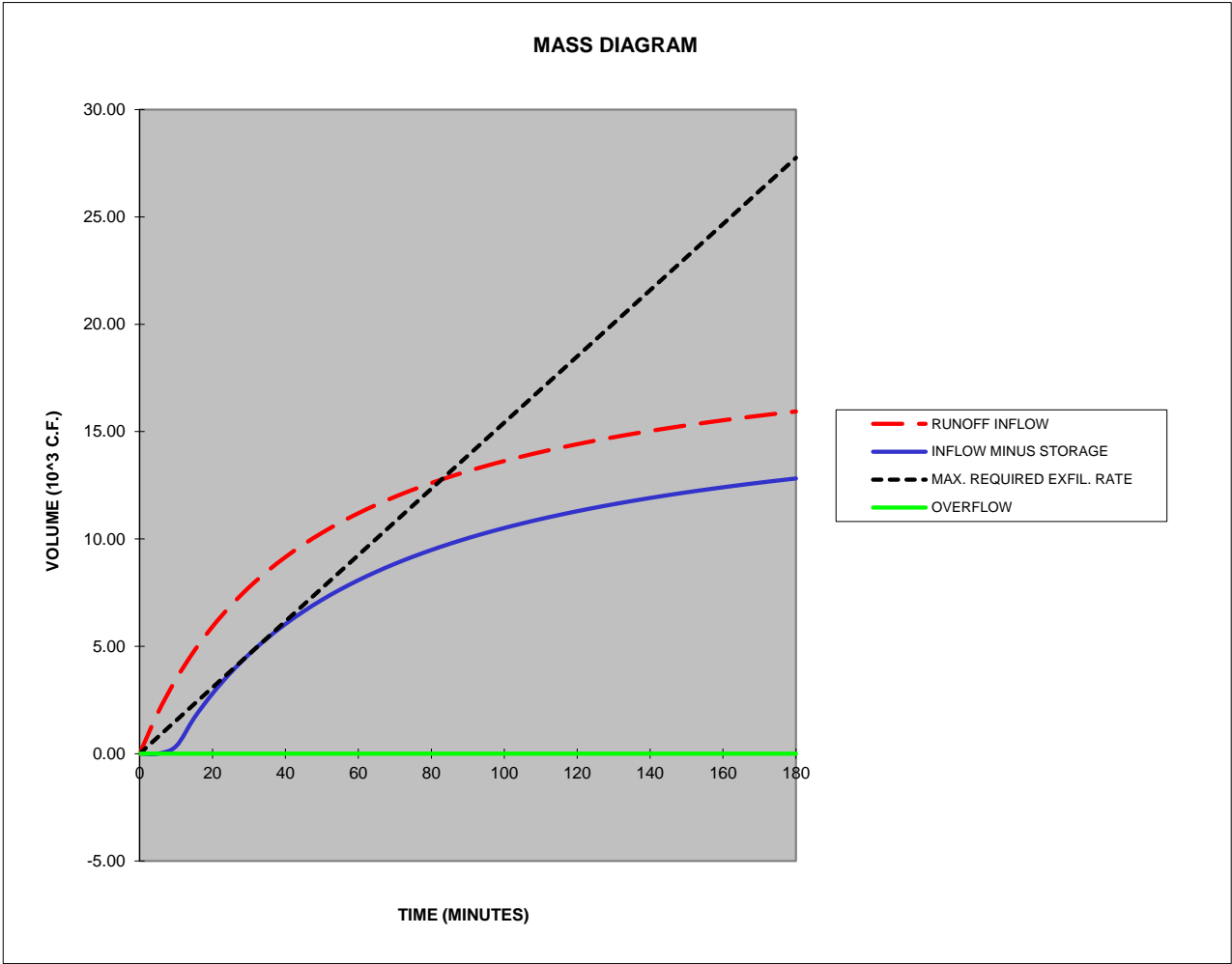
Capacity of Exist. Exfil. Trench =	<b>0.000</b>	ha-m or	<b>0.000</b>	ac.-ft.
Treatment Volume =	<b>0.017</b>	ha-m or	<b>0.135</b>	ac.-ft.
Volume =	<b>1.620</b>	ac-in.		
k =	<b>3.300E-04</b>	cfs/sf-ft		
H2 =	<b>9.150</b>	ft.		
W =	<b>4.000</b>	ft.		
Du =	<b>9.150</b>	ft.		
Ds =	<b>0.850</b>	ft.		
SF =	<b>2.000</b>			

**L Required for Quality = 74.89 feet**

**PROVIDED LENGTH for QUANTITY = 165.000 feet (see attached Mass Diagram of Inflows and Outflows)**

# STORM WATER MANAGEMENT CALCULATIONS

**Project Name:** JHS UCC  
**Location:** 3737 SW 8TH STREET  
MIAMI, FL



**MAXIMUM OVERFLOW RATE = 0.00 CFS**



March 13, 2018

**TRAFFIC NARRATIVE**

Ms. Yamilet A. Senespleda, P.E., PTOE, ENV SP  
Senior Traffic Engineer  
City of Coral Gables  
Public Works Department  
2800 SW 72 Ave  
Miami, Florida 33155

Re: Trip Generation – Jackson Health System-Urgent Care Center (JHS UCC)

Dear Ms. Senespleda:

Kimley-Horn & Associates, Inc. has performed a trip generation analysis for Jackson Health System-Urgent Care Center (JHS UCC), a 10,688 SF two-story medical office building located on the north side of SR 90/SW 8<sup>th</sup> Street, east of Galiano Street in Coral Gables, Florida. Currently, the parcels proposed for redevelopment are occupied by approximately 29,079 square feet of office space and one (1) single-family detached house according to the Miami-Dade County Property Appraiser.

Trip generation calculations for the proposed redevelopment were performed using Institute of Transportation Engineer' (ITE) *Trip Generation, 9<sup>th</sup> Edition*. ITE Land Use Code (LUC) 720 was utilized for the proposed Medical-Dental Office Building. Trip generation for the existing uses was determined using LUC 210 (Single -Family Detached Housing) and LUC 710 (General Office Building).

As shown in Table 1, the trip generation calculations indicate that the proposed redevelopment represents a decrease of 302 daily trips, a decrease of 46 trips during the A.M. peak hour, and a decrease of 73 trips during the P.M. peak hour. Detailed trip generation calculations are provided in Attachment A.

Table 1: Trip Generation Summary			
Development Plan	Total Weekday	A.M. Peak Hour	P.M. Peak Hour
Existing	524	72	112
Proposed	222	26	39
$\Delta$ Trips	<b>-302</b>	<b>-46</b>	<b>-73</b>

Sincerely,  
Omar Kanaan, P.E.

cc: Mr. Ed Santamaria, P.E., Public Works Director  
Ms. Jessica A. Keller, Assistant Public Works Director

## **ATTACHMENT A**

# AM PEAK HOUR TRIP GENERATION COMPARISON

## EXISTING AM PEAK HOUR TRIP GENERATION

		ITE TRIP GENERATION CHARACTERISTICS				DIRECTIONAL DISTRIBUTION		GROSS VOLUMES			INTERNAL CAPTURE		EXTERNAL TRIPS			PASS-BY CAPTURE		EXTERNAL TRIPS			
		Land Use	ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total
							In	Out													
GROUP 1	1	General Office Building	9	710	29.08	ksf	88%	12%	62	9	71	0.0%	0	62	9	71	0.0%	0	62	9	71
	2	Single-Family Detached Housing	9	210	1	du	25%	75%	0	1	1	0.0%	0	0	1	1	0.0%	0	0	1	1
	3																				
	4																				
	5																				
	6																				
	7																				
	8																				
	9																				
	10																				
	11																				
	12																				
	13																				
	14																				
	15																				
		ITE Land Use Code		Rate or Equation		Total:		62	10	72	0.0%	0	62	10	72	0.0%	0	62	10	72	
		710		LN(Y) = 0.8*LN(X)+1.57																	
		210		Y=0.75(X)																	

## PROPOSED AM PEAK HOUR TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS					DIRECTIONAL DISTRIBUTION		GROSS VOLUMES			INTERNAL CAPTURE		EXTERNAL TRIPS			PASS-BY CAPTURE		EXTERNAL TRIPS				
Land Use		ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total	
						In	Out														
GROUP 2	1	Medical-Dental Office Building	9	720	10.688	ksf	79%	21%	21	5	26	0.0%	0	21	5	26	0.0%	0	21	5	26
	2																				
	3																				
	4																				
	5																				
	6																				
	7																				
	8																				
	9																				
	10																				
	11																				
	12																				
	13																				
	14																				
	15																				
ITE Land Use Code		Rate or Equation				Total:		21	5	26	0.0%	0	21	5	26	0.0%	0	21	5	26	
720		Y=2.39(X)																			

# PM PEAK HOUR TRIP GENERATION COMPARISON

## EXISTING PM PEAK HOUR TRIP GENERATION

		ITE TRIP GENERATION CHARACTERISTICS					DIRECTIONAL DISTRIBUTION		GROSS VOLUMES			INTERNAL CAPTURE		EXTERNAL TRIPS			PASS-BY CAPTURE		EXTERNAL TRIPS		
		Land Use	ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total
							In	Out													
GROUP 1	1	General Office Building	9	710	29.08	ksf	17%	83%	19	92	111	0.0%	0	19	92	111	0.0%	0	19	92	111
	2	Single-Family Detached Housing	9	210	1	du	63%	37%	1	0	1	0.0%	0	1	0	1	0.0%	0	1	0	1
	3																				
	4																				
	5																				
	6																				
	7																				
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	10																				
	11																				
	12																				
	13																				
	14																				
	15																				
		ITE Land Use Code		Rate or Equation		Total:		20	92	112	0.0%	0	20	92	112	0.0%	0	20	92	112	
		710		Y=1.12*(X)+78.45																	
		210		Y=1(X)																	

## PROPOSED PM PEAK HOUR TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS						DIRECTIONAL DISTRIBUTION		GROSS VOLUMES			INTERNAL CAPTURE		EXTERNAL TRIPS			PASS-BY CAPTURE		EXTERNAL TRIPS			
Land Use		ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total	
						In	Out														
GROUP 2	1	Medical-Dental Office Building	9	720	10.688	ksf	28%	72%	11	28	39	0.0%	0	11	28	39	0.0%	0	11	28	39
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	3																				
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	10																				
	11																				
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	14																				
	15																				
ITE Land Use Code		Rate or Equation				Total:		11	28	39	0.0%	0	11	28	39	0.0%	0	11	28	39	
720		LN(Y) = 0.9*LN(X)+1.53																			

# DAILY TRIP GENERATION COMPARISON

## EXISTING DAILY TRIP GENERATION

		ITE TRIP GENERATION CHARACTERISTICS					DIRECTIONAL DISTRIBUTION		GROSS VOLUMES			INTERNAL CAPTURE		EXTERNAL TRIPS			PASS-BY CAPTURE		NET NEW EXTERNAL TRIPS		
		Land Use	ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total
							In	Out													
GROUP 1	1	General Office Building	9	710	29.08	ksf	50%	50%	257	257	514	0.0%	0	257	257	514	0.0%	0	257	257	514
	2	Single-Family Detached Housing	9	210	1	du	50%	50%	5	5	10	0.0%	0	5	5	10	0.0%	0	5	5	10
	3																				
	4																				
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	13																				
	14																				
	15																				
		ITE Land Use Code		Rate or Equation		Total:		262	262	524	0.0%	0	262	262	524	0.0%	0	262	262	524	
		710		LN(Y) = 0.76*LN(X)+3.68																	
		210		Y=9.52(X)																	

## PROPOSED DAILY TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS						DIRECTIONAL DISTRIBUTION		GROSS VOLUMES			INTERNAL CAPTURE		EXTERNAL TRIPS			PASS-BY CAPTURE		NET NEW EXTERNAL TRIPS			
Land Use		ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total	
						In	Out														
GROUP 2	1	Medical-Dental Office Building	9	720	10.688	ksf	50%	50%	111	111	222	0.0%	0	111	111	222	0.0%	0	111	111	222
	2																				
	3																				
	4																				
	5																				
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	7																				
	8																				
	9																				
	10																				
	11																				
	12																				
	13																				
	14																				
	15																				
ITE Land Use Code						Total:		111	111	222	0.0%	0	111	111	222	0.0%	0	111	111	222	
720						Y=40.89*(X)+-214.97															

Ms. Yamilet A. Senespleda, P.E., PTOE, ENV SP  
Senior Traffic Engineer  
City of Coral Gables  
Public Works Department  
2800 SW 72 Ave  
Miami, Florida 33155

Re: Trip Generation – Jackson Health System-Urgent Care Center (JHS UCC)

Dear Ms. Senespleda:

Kimley-Horn & Associates, Inc. has performed a trip generation analysis for Jackson Health System-Urgent Care Center (JHS UCC), a 10,688 SF two-story medical office building located on the north side of SR 90/SW 8<sup>th</sup> Street, east of Galiano Street in Coral Gables, Florida. Currently, the parcels proposed for redevelopment are occupied by approximately 29,079 square feet of office space and one (1) single-family detached house according to the Miami-Dade County Property Appraiser.

Trip generation calculations for the proposed redevelopment were performed using Institute of Transportation Engineer' (ITE) *Trip Generation, 9<sup>th</sup> Edition*. ITE Land Use Code (LUC) 720 was utilized for the proposed Medical-Dental Office Building. Trip generation for the existing uses was determined using LUC 210 (Single -Family Detached Housing) and LUC 710 (General Office Building).

As shown in Table 1, the trip generation calculations indicate that the proposed redevelopment represents a decrease of 330 daily trips, a decrease of 46 trips during the A.M. peak hour, and a decrease of 73 trips during the P.M. peak hour. Detailed trip generation calculations are provided in Attachment A.

Table 1: Trip Generation Summary			
Development Plan	Total Weekday	A.M. Peak Hour	P.M. Peak Hour
Existing	524	72	112
Proposed	222	26	39
△Trips	<b>-302</b>	<b>-46</b>	<b>-73</b>

Sincerely,

Omar Kanaan, P.E.

cc: Mr. Ed Santamaria, P.E., Public Works Director  
Ms. Jessica A. Keller, Assistant Public Works Director

# AM PEAK HOUR TRIP GENERATION COMPARISON

## EXISTING AM PEAK HOUR TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS					DIRECTIONAL DISTRIBUTION		GROSS VOLUMES			INTERNAL CAPTURE		EXTERNAL TRIPS			PASS-BY CAPTURE		EXTERNAL TRIPS				
Land Use		ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total	
						In	Out														
GROUP 1	1	General Office Building	9	710	29.08	ksf	88%	12%	62	9	71	0.0%	0	62	9	71	0.0%	0	62	9	71
	2	Single-Family Detached Housing	9	210	1	du	25%	75%	0	1	1	0.0%	0	0	1	1	0.0%	0	0	1	1
	3																				
	4																				
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	11																				
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ITE Land Use Code		Rate or Equation				Total:		62	10	72	0.0%	0	62	10	72	0.0%	0	62	10	72	
710		LN(Y) = 0.8*LN(X)+1.57																			
210		Y=0.75(X)																			

## PROPOSED AM PEAK HOUR TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS					DIRECTIONAL DISTRIBUTION		GROSS VOLUMES			INTERNAL CAPTURE		EXTERNAL TRIPS			PASS-BY CAPTURE		EXTERNAL TRIPS				
Land Use		ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total	
						In	Out														
GROUP 2	1	Medical-Dental Office Building	9	720	10.688	ksf	79%	21%	21	5	26	0.0%	0	21	5	26	0.0%	0	21	5	26
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	15																				
ITE Land Use Code		Rate or Equation				Total:		21	5	26	0.0%	0	21	5	26	0.0%	0	21	5	26	
720		Y=2.39(X)																			

# PM PEAK HOUR TRIP GENERATION COMPARISON

## EXISTING PM PEAK HOUR TRIP GENERATION

		ITE TRIP GENERATION CHARACTERISTICS					DIRECTIONAL DISTRIBUTION		GROSS VOLUMES			INTERNAL CAPTURE		EXTERNAL TRIPS			PASS-BY CAPTURE		EXTERNAL TRIPS		
		Land Use	ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total
							In	Out													
GROUP 1	1	General Office Building	9	710	29.08	ksf	17%	83%	19	92	111	0.0%	0	19	92	111	0.0%	0	19	92	111
	2	Single-Family Detached Housing	9	210	1	du	63%	37%	1	0	1	0.0%	0	1	0	1	0.0%	0	1	0	1
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	14																				
	15																				
		ITE Land Use Code		Rate or Equation		Total:		20	92	112	0.0%	0	20	92	112	0.0%	0	20	92	112	
		710		Y=1.12*(X)+78.45																	
		210		Y=1(X)																	

## PROPOSED PM PEAK HOUR TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS						DIRECTIONAL DISTRIBUTION		GROSS VOLUMES			INTERNAL CAPTURE		EXTERNAL TRIPS			PASS-BY CAPTURE		EXTERNAL TRIPS			
Land Use		ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total	
						In	Out														
GROUP 2	1	Medical-Dental Office Building	9	720	10.688	ksf	28%	72%	11	28	39	0.0%	0	11	28	39	0.0%	0	11	28	39
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	11																				
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	14																				
	15																				
ITE Land Use Code		Rate or Equation				Total:		11	28	39	0.0%	0	11	28	39	0.0%	0	11	28	39	
720		LN(Y) = 0.9*LN(X)+1.53																			

# DAILY TRIP GENERATION COMPARISON

## EXISTING DAILY TRIP GENERATION

		ITE TRIP GENERATION CHARACTERISTICS					DIRECTIONAL DISTRIBUTION		GROSS VOLUMES			INTERNAL CAPTURE		EXTERNAL TRIPS			PASS-BY CAPTURE		NET NEW EXTERNAL TRIPS		
		Land Use	ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total
							In	Out													
GROUP 1	1	General Office Building	9	710	29.08	ksf	50%	50%	257	257	514	0.0%	0	257	257	514	0.0%	0	257	257	514
	2	Single-Family Detached Housing	9	210	1	du	50%	50%	5	5	10	0.0%	0	5	5	10	0.0%	0	5	5	10
	3																				
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	14																				
	15																				
		ITE Land Use Code		Rate or Equation		Total:		262	262	524	0.0%	0	262	262	524	0.0%	0	262	262	524	
		710		LN(Y) = 0.76*LN(X)+3.68																	
		210		Y=9.52(X)																	

## PROPOSED DAILY TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS						DIRECTIONAL DISTRIBUTION		GROSS VOLUMES			INTERNAL CAPTURE		EXTERNAL TRIPS			PASS-BY CAPTURE		NET NEW EXTERNAL TRIPS			
Land Use		ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total	
						In	Out														
GROUP 2	1	Medical-Dental Office Building	9	720	10.688	ksf	50%	50%	111	111	222	0.0%	0	111	111	222	0.0%	0	111	111	222
	2																				
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	14																				
	15																				
ITE Land Use Code						Total:		111	111	222	0.0%	0	111	111	222	0.0%	0	111	111	222	
720						Y=40.89*(X)+-214.97															

## ORDINANCE NO. 1781

AN ORDINANCE AMENDING ORDINANCE NO. 1525, AS AMENDED, AND KNOWN AS THE "ZONING CODE", BY DEALING WITH A CHANGE OF ZONING ON LOTS 1 TO 5, INCLUSIVE, BLOCK 22, "FLAGLER STREET SECTION", CORAL GABLES, FLORIDA; REPEALING ALL ORDINANCES INCONSISTENT HEREWITH.

WHEREAS, an application was made for a change of zoning on subject property from R-3 Single Family Residential Use (1027 minimum square foot floor area) to XR-3 Single Family Residential Use (1027 minimum square foot floor area), the letter symbol "X" to permit the property to be used for offstreet parking; said parking for use solely in connection with the office building located on Lots 42 to 50, inclusive, and the west one-half of Lot 41, Block 22, "Flagler Street Section"; located on Lots 1 to 5, inclusive, Block 22, "Flagler Street Section"; being the southeast corner of Galiano Street and Avenue Oviedo, Coral Gables, Florida; and

WHEREAS, after Notice of Public Hearing duly published and notification of all property owners of record within three hundred feet (300'), a public hearing was held before the Planning and Zoning Board of The City of Coral Gables, Florida on May 19, 1969, at which hearing all interested persons were afforded an opportunity to be heard; and

WHEREAS, the Planning and Zoning Board at its regular meeting of May 19, 1969 recommended that the application be approved;

NOW, THEREFORE, BE IT ORDAINED BY THE COMMISSION OF THE CITY OF CORAL GABLES:

SECTION 1. That Ordinance No. 1525, as amended, and known as the "Zoning Code", and, in particular, that certain Building Content and Area District Map, Plate No. 5, attached to and by reference made a part thereof, be and the same hereby is amended to show henceforth a change of zoning on subject property from R-3 Single Family Residential Use (1027 minimum square foot floor area), to XR-3 Single Family Residential Use (1027 minimum square foot floor area), the letter symbol "X" to permit the property to be used for off-street parking, said parking to be used solely in connection with the office building located on Lots 42 to 50, inclusive, and the West one-half of Lot 41, Block 22, "Flagler Street Section"; located on Lots 1 to 5, inclusive, Block 22, "Flagler Street Section", being the southeast corner of Galiano Street and Avenue Oviedo, Coral Gables, Florida.

SECTION 2. That such use and change of zoning shall be contingent upon the following conditions and restrictions:

- (a) That the offstreet parking area shall be properly landscaped so as to serve as a buffer at all times to the residential area;
- (b) That there shall be no entrances or exits to and from such property on to Avenue Oviedo, Coral Gables, Florida.


SECTION 3. That all ordinances or parts of ordinances inconsistent or in conflict herewith hereby are repealed insofar as there is conflict or inconsistency.

PASSED AND ADOPTED THIS TWENTY-FOURTH DAY OF JUNE, A. D. 1969.

APPROVED:

  
C. L. Dressel, MAYOR

ATTEST:

  
Loretta V. Sheehy, CITY CLERK



Historical Resources &  
Cultural Arts

2327 SALZEDO STREET  
CORAL GABLES  
FLORIDA 33134

☎ 305.460.5093

✉ hist@coralgables.com

March 8, 2018

Mozes Consolidated Properties LLC  
1770 Daytonia Road  
Miami Beach, FL 33141

Re: 36 Oviedo Avenue, legally described as Lot 8 & 9, Block 22, Coral Gables  
Flagler Street Section, PB 10-12

Dear Property Owners:

Section 3-1107(g) of the Coral Gables Zoning Code states that "All demolition permits for non-designated buildings and/or structures must be approved by the Historic Preservation Officer or designee. The approval is valid for eighteen (18) months from issuance and shall thereafter expire and the approval is deemed void unless the demolition permit has been issued by the Development Services Department. The Historic Preservation Officer may require review by the Historic Preservation Board if the building and/or structure to be demolished is eligible for designation as a local historic landmark or as a contributing building, structure or property within an existing local historic landmark district. This determination of eligibility is preliminary in nature and the final public hearing before the Historic Preservation Board on Local Historic Designation shall be within sixty (60) days from the Historic Preservation Officer determination of "eligibility." Consideration by the Board may be deferred by mutual agreement by the property owner and the Historic Preservation Officer. The Historic Preservation Officer may require the filing of a written application on the forms prepared by the Department and may request additional background information to assist the Board in its consideration of eligibility. Independent analysis by a consultant selected by the City may be required to assist in the review of the application. All fees associated with the analysis shall be the responsibility of the applicant. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; archeological assessments; and historic assessments."

Therefore, please be advised that after careful research and study of our records and the information you presented the following information has been determined:

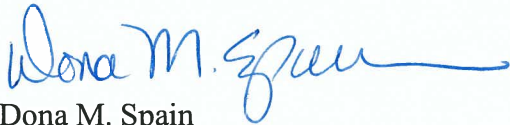
**36 Oviedo Avenue, legally described as Lot 8 & 9, Block 22, Coral Gables Flagler Street Section, according to the plat thereof as recorded in Plat Book 10 Page 12 of the public records of Miami-Dade County, Florida, does not meet the minimum eligibility criteria for designation as a local historic landmark. Therefore, the Historical Resources staff will not require review by the Historic Preservation Board if an application is made for a demolition permit.**

Please note that, pursuant to Section 2-705(b)(15) of the Coral Gables Zoning Code, this determination does not constitute a development order and is valid for a period of eighteen (18) months. In the case where the Historic Preservation Officer or designee determines that the property does not meet the minimum eligibility criteria for designation, a permit for the demolition of the property must be issued within the eighteen-month period.

Upon expiration of the eighteen-month period, you will be required to file a new application. Any change from the foregoing may be made upon a demonstration of a change in the material facts upon which this determination was made.

If you have any further questions concerning this matter, please do not hesitate to contact this office.

Sincerely,



Dona M. Spain  
Historic Preservation Officer

cc: Miriam Soler Ramos, City Attorney  
Cristina M. Suárez, Deputy City Attorney  
Suramy Cabrera, Development Services Director  
Charles Wu, Assistant Development Services Director  
Ramon Trias, Planning & Zoning Director  
Virginia Goizueta, Plans Processor Lead  
Historical Significance Request Property File



Historical Resources &  
Cultural Arts

2327 SALZEDO STREET  
CORAL GABLES  
FLORIDA 33134

P 305.460.5093

E hist@coralgables.com

February 21, 2018

Mozes Office LLC  
1770 Daytonia Road  
Miami, FL 33141

Re: 3737 SW 8<sup>th</sup> Street, legally described as Lots 1 thru 5 & W1/2 of Lot 41 & Lots 42 thru 50, Block 22, Coral Gables Flagler Street Section according to the plat thereof as recorded in Plat Book 10 Page 12 of the public records of Miami-Dade County, Florida

Dear Property Owners:

Section 3-1107(g) of the Coral Gables Zoning Code states that "All demolition permits for non-designated buildings and/or structures must be approved by the Historic Preservation Officer or designee. The approval is valid for eighteen (18) months from issuance and shall thereafter expire and the approval is deemed void unless the demolition permit has been issued by the Development Services Department. The Historic Preservation Officer may require review by the Historic Preservation Board if the building and/or structure to be demolished is eligible for designation as a local historic landmark or as a contributing building, structure or property within an existing local historic landmark district. This determination of eligibility is preliminary in nature and the final public hearing before the Historic Preservation Board on Local Historic Designation shall be within sixty (60) days from the Historic Preservation Officer determination of "eligibility." Consideration by the Board may be deferred by mutual agreement by the property owner and the Historic Preservation Officer. The Historic Preservation Officer may require the filing of a written application on the forms prepared by the Department and may request additional background information to assist the Board in its consideration of eligibility. Independent analysis by a consultant selected by the City may be required to assist in the review of the application. All fees associated with the analysis shall be the responsibility of the applicant. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; archeological assessments; and historic assessments."

Therefore, please be advised that after careful research and study of our records and the information you presented the following information has been determined:

**3737 SW 8th Street, legally described as Lots 1 Thru 5 & W1/2 of Lot 41 & Lots 42 Thru 50, Block 22, Coral Gables Flagler Street Section, according to the plat thereof as recorded in Plat Book 10 Page 12 of the public records of Miami-Dade County, Florida, does not meet the minimum eligibility criteria for designation**

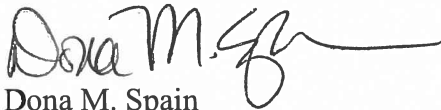
**as a local historic landmark. Therefore, the Historical Resources staff will not require review by the Historic Preservation Board if an application is made for a demolition permit.**

Please note that, pursuant to Section 2-705(b)(15) of the Coral Gables Zoning Code, this determination does not constitute a development order and is valid for a period of eighteen (18) months. In the case where the Historic Preservation Officer or designee determines that the property does not meet the minimum eligibility criteria for designation, a permit for the demolition of the property must be issued within the eighteen-month period.

Upon expiration of the eighteen-month period, you will be required to file a new application. Any change from the foregoing may be made upon a demonstration of a change in the material facts upon which this determination was made.

If you have any further questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

A handwritten signature in dark ink, appearing to read "Dona M. Spain", followed by a long horizontal flourish.

Dona M. Spain  
Historic Preservation Officer

cc: Miriam Soler Ramos, City Attorney  
Cristina M. Suárez, Deputy City Attorney  
Suramy Cabrera, Development Services Director  
Charles Wu, Assistant Development Services Director  
Ramon Trias, Planning & Zoning Director  
Virginia Goizueta, Plans Processor Lead  
Historical Significance Request Property File

This instrument prepared by:  
Dan P. Heller, Esq.  
Heller Waldman, P.L.  
3250 Mary Street  
Suite 102  
Coconut Grove, FL 33133

**SPECIAL WARRANTY DEED**

**Parcel Identification No: 03-4105-050-2700**

THIS INDENTURE, made this 18 day of February, 2015  
between **SAMUEL MOZES**, a married man, whose post office address is 1770  
Daytonia Road, Miami Beach, FL 33141 ("Grantor"), and **MOZES CONSOLIDATED  
PROPERTIES, LLC**, a Florida limited liability company, whose post office address is  
1770 Daytonia Road, Miami Beach, FL 33141 ("Grantee").

**WITNESSETH THAT:**

That the Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) and  
other good and valuable consideration to Grantor in hand paid by Grantee, the receipt  
of which is hereby acknowledged, has granted, bargained, and sold to Grantee, its  
successors and assigns forever, the following described property lying and being in  
Miami-Dade County, Florida, to-wit:

Lots 8 and 9 in Block 22 of CORAL GABLES FLAGLER  
STREET SECTION, according to the Plat thereof, as  
recorded in Plat Book 10, page 12 of the Public Records of  
Miami-Dade County, Florida.

**SUBJECT TO** all applicable land use and zoning restrictions and to easements,  
reservations, and restrictions of record, if any, which are specifically not reimposed or  
extended hereby, and to taxes for the year 2015 and subsequent years.

And the said Grantor does hereby fully warrant the title to said Property, and will  
defend the same against the lawful claims of all persons claiming by, through or under  
the Grantor, but against none other.

**NOTE:** This Special Warranty Deed is made and given for no consideration.  
Grantor owns 100% of the membership interests in Grantee. Accordingly, no  
documentary stamps tax is due upon the recording of this instrument.

IN WITNESS WHEREOF, the Grantor has hereunto set its hand and seal the day and year first hereinabove written.

Signed, sealed & delivered  
in the presence of:

Melanie Diaz  
Print Name: Melanie Diaz

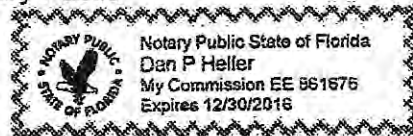
Samuel Mozes  
SAMUEL MOZES

Jeffrey Weiser  
Print Name: Jeffrey Weiser

STATE OF FLORIDA                     )  
   )  
COUNTY OF MIAMI-DADE             )

The foregoing instrument was acknowledged before me this 18 day of February, 2015 by SAMUEL MOZES. He is [personally known to me] OR [has produced a Florida driver's license as identification].

Dan P Heller  
Notary Public



This instrument prepared by:  
Dan P. Heller, Esq.  
Heller Waldman, P.L.  
3250 Mary Street  
Suite 102  
Coconut Grove, FL 33133

**SPECIAL WARRANTY DEED**

**Parcel Identification No: 03-4105-050-2850**

THIS INDENTURE, made this 17 day of February, 2015 between **SAMUEL MOZES and LEE MOZES**, his wife, as Tenants in Common, whose post office address is 1770 Daytonia Road, Miami Beach, FL 33141 ("**Grantor**"), and **MOZES OFFICE, LLC**, a Florida limited liability company, whose post office address is 1770 Daytonia Road, Miami Beach, FL 33141 ("**Grantee**").

**WITNESSETH THAT:**

That the Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration to Grantor in hand paid by Grantee, the receipt of which is hereby acknowledged, has granted, bargained, and sold to Grantee, its successors and assigns forever, the following described property lying and being in Miami-Dade County, Florida, to-wit:

**Attached as Exhibit "A"**

**SUBJECT TO** all applicable land use and zoning restrictions and to easements, reservations, and restrictions of record, if any, which are specifically not reimposed or extended hereby, and to taxes for the year 2015 and subsequent years.

And the said Grantor does hereby fully warrant the title to said Property, and will defend the same against the lawful claims of all persons claiming by, through or under the Grantor, but against none other.

**NOTE: This Special Warranty Deed is made and given for no consideration. Grantor owns 100% of the membership interests in Grantee. Accordingly, no documentary stamps tax is due upon the recording of this instrument.**

IN WITNESS WHEREOF, the Grantor has hereunto set its hand and seal the day and year first hereinabove written.

Signed, sealed & delivered  
in the presence of:

Maibene Diaz  
Print Name: Maibene Diaz

Samuel Mozes  
SAMUEL MOZES

Jeffrey Weiser  
Print Name: Jeffrey Weiser

Maibene Diaz  
Print Name: Maibene Diaz

Lee Mozes  
LEE MOZES

Jeffrey Weiser  
Print Name: Jeffrey Weiser

STATE OF FLORIDA )

COUNTY OF MIAMI-DADE )

The foregoing instrument was acknowledged before me this 17 day of February, 2015 by SAMUEL MOZES. He is [personally known to me] OR [has produced a Florida driver's license as identification].

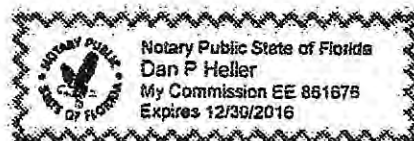
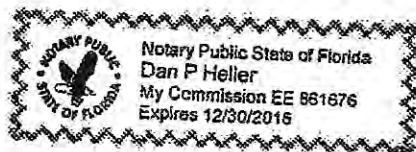
[Signature]  
Notary Public

STATE OF FLORIDA )

COUNTY OF MIAMI-DADE )

The foregoing instrument was acknowledged before me this 17 day of February, 2015 by LEE MOZES. She is [personally known to me] OR [has produced a Florida driver's license as identification].

[Signature]  
Notary Public



## EXHIBIT "A"

LEGAL DESCRIPTION

Lots 1, 2, 3, 4, 5, 42, 43, 44, 45, 46, 47, 48, 49, 50 and the W $\frac{1}{2}$  of Lot 41, in Block 22 of CORAL GABLES FLAGLER STREET SECTION, according to the Plat thereof, as recorded in Plat Book 10, at Page 12, of the Public Records of Dade County, Florida, and being more particularly described as follows:

Commence at the Northeast Corner of said Lot 5; thence run Southerly along the East line of said Lot 5, for a distance of 100.05 feet, to the Southeast Corner of said Lot 5; thence run Easterly, along the North lines of said Lots 41 thru 45, for a distance of 112.58 feet; to a point 12.51 feet West, as measured along the said North line of Lot 41, of the Northeast corner of said Lot 41; thence run Southerly, for a distance of 100.04 feet, to a point on the South line of said Lot 41, said point being 12.50 feet West of the Southeast corner of said Lot 41, as measured along the said South line of Lot 41; thence run Westerly, along the South lines of Lots 41 thru 50, for a distance of 227.59 feet, to a point of tangency with a circular curve, concave to the Northeast; thence run Northwesterly along the arc of said circular curve, concave to the Northeast and having for elements a radius of 10.00 feet and a central angle of 89°28'40", for an arc-distance of 15.62 feet; thence run Northerly, along the West lines of said Lots 50 and 1, for a distance 180.12 feet to a point of tangency with a circular, concave to the Southeast; thence run Northeasterly, along the arc of said circular curve, concave to the Southeast having for elements a radius of 10.00 feet and a central angle of 90°31'37", for an arc distance of 15.80 feet; thence run Easterly, along the North lines of said Lots 1 thru 5, for a distance of 115.09 feet, to the Point of Beginning.

## OPINION OF TITLE

To: Miami-Dade County

With the understanding that this Opinion of Titles is furnished to Miami-Dade County, as inducement for acceptance of a Declaration of Use/Unity of Title/Declaration of Restrictions/Development Agreement or in compliance with Chapter 28, and as an inducement for acceptance of a proposed final subdivision plat covering the real property, hereinafter described, it is hereby certified that I have examined a complete "Abstract of Title" covering the period from beginning to the 3rd day of October, 2017, at the hour of 2:30 pm, inclusive, of the following described property:

Lots 8 and 9, Block 22 of CORAL GABLES FLAGLER STREET SECTION,, according to the Plat T hereof, as recorded in Plat Book 10, Page 12, of the Public Records of Miami-Dade County, Florida.

I am of the opinion that on the last mentioned dated, the fee simple title to the above-described real property was vested in:

Mozes Office, LLC, a Florida limited liability company, by virtue of the Special Warranty Deed from Samuel Mozes and Lee Mozes, his wife, dated February 17, 2015, filed February 18, 2015, and recorded in Official Records Book 29504, Page 1185.

NOTE: For Limited Partnership or Joint Venture indicate comprising the Limited Partnership or Joint Venture and identify who is authorized to execute.

Subject to the following encumbrances, liens and other exceptions:

1. RECORDED MORTGAGES: NONE
2. RECORDED CONSTRUCTION LIENS, CONTRACT LIENS AND JUDGMENTS: NONE

Tax Folio Number: 03-4105-050-2850

Taxes are PAID for \$62,390.57 on December 5, 2016

3. GENERAL EXCEPTIONS:

- (a) Property taxes for the year 2017 and subsequent years.
- (b) Facts that would be disclosed by an accurate survey of the property.
- (c) Easements and claims of easements not recorded in the public records.
- (d) Rights of persons other than the above owners who are in possession.
- (e) Any unrecorded labor, mechanics' or materialmen's liens.
- (f) Zoning and other restrictions imposed by governmental authority.

4. SPECIAL EXCEPTIONS:

- (a) Platted streets and other matters contained in the Plat of CORAL GABLES FLAGLER STREET SECTION, filed by recorded on August 22, 1924, in Plat Book 10, Page 12.
- (b) Reservations for oil, gas and mineral rights as set forth in Deed No. 1796 from the Everglades Drainage District to Lee and Frazel, Inc, dated December 7, 1944, and Recorded in Deed Book 2457, Page 74. (Re: West ½ of Lot 48 & Lots 49 & 50 only)
- (c) Declaration of Restrictions dated September 2, 1971, and recorded in Official Records Book 7367, Page 6. (Re: Parcel to be held and conveyed as one tract)
- (d) Declaration of Restrictive Covenant filed by Samuel and Lee Mozes on September 7, 1988, in Official Records Book 13813, Page 1299. (Re: Proof of insurance for awnings)
- (e) Declaration of Restrictive Covenant filed by Samuel and Lee Mozes on July 10, 1989, in Official Records Book 14174, Page 787. (Re: 50 off street parking spaces)
- (f) Declaration of Restrictive Covenant filed by Samuel and Lee Mozes on January 28, 1993, in Official Records Book 15794, Page 1171. (Re: Encroachment onto Galiano Street)
- (g) Declaration of Restrictive Covenant filed by Samuel and Lee Mozes on November 26, 2001, in Official Records Book 20036, Page 2908. (Re: Encroachment onto SW 8<sup>th</sup> Street)

5. LEASEHOLD ESTATES: (Two)

- (a) Memorandum of Lease between Samuel Mozes and Lee Mozes, his wife, and Ernesto Paz, Jr. P.A. dated October 1, 2013, and recorded on October 6, 2013, in Official Records Book 28858, Page 4658. (Re: Ten year lease term running through September 30, 2013)
- (b) Also See: UCC/ Financing Statement filed by Samuel Mozes, DDS, PA, showing Ernesto Paz, Jr. PA as the Debtor, recorded on October 8, 2013, in Official Records Book 28858, Page 4653.
- (c) Memorandum of Lease between Samuel Mozes and Lee Mozes, his wife, and Monstar Enterprises, LLC. d/b/a Crossfit Lux, a Florida limited liability company, dated April 11, 2014, and recorded on May 27, 2014, in Official Records Book 29166, Page 3122. (Note: No lease term is shown in this Memorandum of Lease)

I HEREBY CERTIFY that I have reviewed all the aforementioned encumbrances and exceptions.

Therefore, it is my opinion that the following party(ies) must join in the agreement in order to make the agreement a valid and binding covenant on the lands described herein.

Name: Mozes Office, LLC. Interest: Record title holder Special Exception No: N/A

Name: Ernesto Paz Jr. P.A. Interest: Tenant Special Exception: Leasehold Estates No. 1 & 2

Name: Monstar Enterprises, LLC. Interest: Tenant Special Exception: Leasehold Estates No. 3

The following is a description of the aforementioned abstract and its continuations:

Number: 17-65832 Company Certifying: National Title and Abstract Company

No. of Entries: 154 Period Covered: August 22, 1924 through October 3, 2017.

I HEREBY CERTIFY that the legal description contained in this Opinion of Title coincides with, and is the same as, the legal description in the proffered, recordable agreement.

I, the undersigned, further certify that I am an attorney-at-law duly admitted to practice in The State of Florida and I am a member in good standing of the Florida Bar.

Respectfully submitted this 13 day of, October, 2017.



H. Scott Macbeth

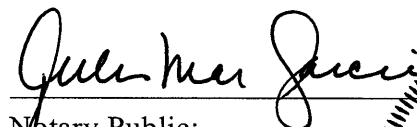
Florida Bar Number: 508020

711 SW 23<sup>rd</sup> Avenue, Suite 101

Miami, Florida 33125

STATE OF FLORIDA  
COUNTY OF MIAMI-DADE

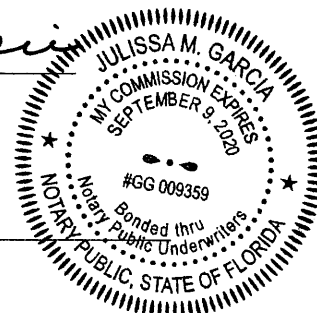
The foregoing instrument was acknowledged before me this 13<sup>th</sup> day of October, 2017, by H. Scott Macbeth, who is personally known to me.



Notary Public:

Julissa M Garcia

My Commission Expires: \_\_\_\_\_



**EXHIBIT "A"**

**Lots 1 through 5, inclusive, Lots 42 through 50, inclusive, and the West 1/2 of Lot 14, in Block 22 of CORAL GABLES FLAGLER STREET SECTION, according to the Plat thereof, as recorded in Plat Book 10, at Page 12, of the Public Records of Miami-Dade County, Florida, being more particularly described as follows:**

**BEGIN at the Northeast corner of said Lot 5; thence run Southerly along the East line of said Lot 5, for a distance of 100.05 feet to the Southeast corner of said Lot 5; thence run Easterly, along the North lines of said Lot 41 through 45, for a distance of 112.58 feet, to a point 12.51 feet West, as measured along the said North of Lot 41, of the Northeast corner of said Lot 41; thence run Southerly, for a distance of 100.04 feet, to a point on the South line of said Lot 41, said point being 12.50 feet West of the Southeast corner of said Lot 41, as measured along the said South line of Lot 41; thence run Westerly, along the South lines of Lots 41 through 50, for a distance of 227.59 feet, to a point of tangency with a circular curve, concave to the Northeast; thence run Northwesterly along the arc of said circular curve, concave to the Northeast and having for elements a radius of 10.00 feet and a central angle of 89° 28' 40" for an arc distance of 15.62 feet; thence run Northerly along the West lines of said Lots 50 and 1, for a distance of 180.12 feet to a point of tangency with a circular curve, concave to the Southeast; thence run Northeasterly along the arc of said Circular curve, concave to the Southeast, having for elements a radius of 10.00 feet and a central angle of 90° 31' 37", for an arc distance of 15.80 feet; thence run Easterly along the North line of said Lots 1 through 5, for a distance 115.09 feet, to the POINT OF BEGINNING.**



CITY OF CORAL GABLES OFFICE OF THE CITY CLERK  
LOBBYIST ANNUAL REGISTRATION APPLICATION  
FOR EACH PRINCIPAL REPRESENTED 2018 FEB 21 PM 12:23

REGISTRATION #: \_\_\_\_\_

HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?

CITY OFFICIALS:

Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager(s), Deputy/Assistant City Attorney(s), Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors Board, Committee Members, or any other City Official or staff.

FOR THIS PURPOSE:

To encourage the approval, disapproval, adoption, repeal, passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of the City Commission, any Board, Committee or City Official.

IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST:

Print Your Name and Email Address: MIKE SARDINAS / MIKE\_SARDINAS@GSPNET.COM  
LOBBYIST EMAIL ADDRESS

Print Your Business Name, if applicable: GRESHAM SMITH & PARTNERS

Business Telephone Number: 786-532-2100

Business Address 2 ALHAMBRA PLAZA, SUITE 1200 CORAL GABLES FL 33134  
ADDRESS CITY, STATE ZIP CODE

Federal ID#: 620794126

State the extent of any business or professional relationship you have with any current member of the City Commission.

N/A

PRINCIPAL REPRESENTED:

NAME \_\_\_\_\_ COMPANY NAME, IF APPLICABLE JACKSON MEMORIAL HOSPITAL

BUSINESS ADDRESS 1611 NW 12 AVE TELEPHONE NO.: 305-585-3555  
MIAMI, FL 33136

**ANNUAL REPORT:** On October 1st of each year, you are required to submit to the City Clerk a signed statement under oath listing all lobbying expenditures in excess of \$25.00 for the preceding calendar year. A statement is **not** required to be filed if there were no expenditures.

**LOBBYIST ISSUE APPLICATION:** Prior to lobbying for a specific issue, you are required to fill out a Lobbyist Issue Application form with the Office of the City Clerk; stating under oath, your name, business address, the name of each principal who employed you to lobby, and the specific issue on which you wish to lobby.

**NOTICE OF WITHDRAWAL:** If you discontinue representing a particular client, a notice of withdrawal is required to be filed with the City Clerk.

**ANNUAL LOBBYIST REGISTRATION FEE:** This Registration must be on file in the Office of the City Clerk prior to The filing of an Issue Application to lobby on a specific issue, and payment of a \$250.00 Lobbyist Registration Fee is required.

I MIKE SARDINA hereby swear or affirm under penalty of perjury that I have read the provisions of the City of Coral Gables Ordinance 2006-11, governing Lobbying and that all of the facts contained in this Registration Application are true and that I agree to pay the \$250.00 Annual Lobbyist Registration Fee.



Signature of Lobbyist

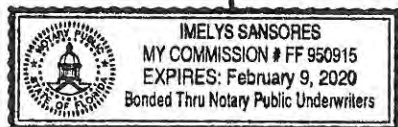
STATE OF FLORIDA )  
COUNTY OF MIAMI-DADE )

BEFORE ME personally appeared Mike Sardina to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said instrument for the purposes therein expressed.

WITNESS my Hand and Official Seal this 2/21/18

☒ Personally Known

☐ Produced ID



Notary Public  
State of Florida

\$250.00 Fee Paid ☒

Received By Sanwari

Date: 2/21/18

Fee Waived for Not-for-Profit Organizations (documentary proof attached.) ☐ FL. ID#: \_\_\_\_\_

**For Office Use Only**

Data Entry Date: \_\_\_\_\_, 20\_\_\_\_

Entered By: \_\_\_\_\_



CITY OF CORAL GABLES  
LOBBYIST  
ISSUE APPLICATION

2018 FEB 21 PM 12:23

REGISTRATION #: \_\_\_\_\_

HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?

CITY OFFICIALS:

Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager(s), Deputy/Assistant City Attorney(s), Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors, Board/Committee Members, or any City Official or staff.

FOR THIS PURPOSE:

To encourage the passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of any Board, Committee or City Official.

IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST AND TO FILE THE FOLLOWING INFORMATION, UNDER OATH, WITH THE CITY CLERK FOR EACH ISSUE ADDRESSED. ISSUE FEE: NO CHARGE, PROVIDING YOU HAVE A CURRENT ANNUAL LOBBYIST REGISTRATION DOCUMENT ON FILE.

Print Your Name and Email Address: MIKE SARDINAS / MIKE-SARDINAS@GSP.NET.COM  
LOBBYIST EMAIL ADDRESS

Print Your Business Name: GRESHAM SULLIVAN & PARTNERS

Business Telephone Number: 786-532-2100

Business Address: 2 ALHAMBRA PLAZA, SUITE 1200 CORAL GABLES, FL 33134  
ADDRESS CITY, STATE ZIP CODE

Corporation, Partnership, or Trust Represented:

Principal Name: JACKSON MEMORIAL HOSPITAL

Principal Address: 1611 NW 12 AVE, MIAMI, FL 33136 Telephone Number: 305-585-3555

ISSUE: Describe in detail, including address, if applicable, of the specific issue on which you will lobby: (Separate Application is required for each specific issue)

JHS URGENT CARE CENTER

I MIKE SARDINIA hereby swear or affirm under penalty of per-  
jury that all the facts contained in this Application are true and that I am aware  
that these requirements are in compliance with the provisions of the City of Coral  
Gables Ordinance No. 2006-11 (06/06/2006); Ordinance No. 2017-44  
(12/05/2017); governing Lobbying.

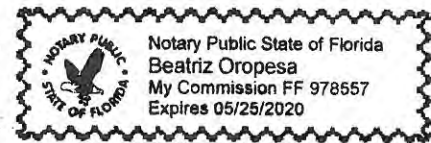
  
Signature of Lobbyist

2/2/18  
Date

STATE OF FLORIDA     )  
                                      )  
COUNTY OF MIAMI-     )  
DADE

BEFORE ME personally appeared Mike Sardinia to me well known and known to me to be the person  
described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said in-  
strument for the purposes therein expressed.

WITNESS my Hand and Official Seal this \_\_\_\_\_.



☒ Personally Known

☐ Produced ID

Notary Public  
State of Florida

**For Office Use Only**

Data Entry Date: \_\_\_\_\_, 20\_\_\_\_.

Entered By: \_\_\_\_\_

Annual Fees Waived for Not-for-Profit Organizations (documentary proof attached.) \_\_\_\_\_

FL ID #: \_\_\_\_\_



CITY OF CORAL GABLES  
LOBBYIST ANNUAL REGISTRATION APPLICATION  
FOR EACH PRINCIPAL REPRESENTED

OFFICE OF THE CITY CLERK

2018 FEB 21 PM 12:23

REGISTRATION #: \_\_\_\_\_

HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?

CITY OFFICIALS:

Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager(s), Deputy/Assistant City Attorney(s), Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors Board, Committee Members, or any other City Official or staff.

FOR THIS PURPOSE:

To encourage the approval, disapproval, adoption, repeal, passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of the City Commission, any Board, Committee or City Official.

IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST:

Print Your Name and Email Address:

LUIS J. CANO

LUIS\_CANO@GSPNET.COM

LOBBYIST

EMAIL ADDRESS

Print Your Business Name, if applicable:

GRESHAM, SMITH AND PARTNERS

Business Telephone Number:

786-532-2100

Business Address

TWO ALAMORA PLAZA, SUITE 1200, CORAL GABLES, FL 33134

ADDRESS

CITY, STATE

ZIP CODE

Federal ID#:

620.794126

State the extent of any business or professional relationship you have with any current member of the City Commission.

NONE

PRINCIPAL REPRESENTED:

NAME

COMPANY NAME, IF APPLICABLE

JACKSON MEMORIAL HOSPITAL

BUSINESS ADDRESS

1611 NW 12 AVE  
MIAMI, FL 33136

TELEPHONE NO.:

305-585-3555

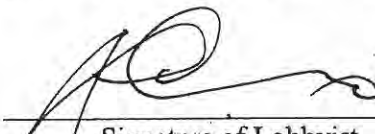
**ANNUAL REPORT:** On October 1st of each year, you are required to submit to the City Clerk a signed statement under oath listing all lobbying expenditures in excess of \$25.00 for the preceding calendar year. A statement is **not** required to be filed if there were no expenditures.

**LOBBYIST ISSUE APPLICATION:** Prior to lobbying for a specific issue, you are required to fill out a Lobbyist Issue Application form with the Office of the City Clerk; stating under oath, your name, business address, the name of each principal who employed you to lobby, and the specific issue on which you wish to lobby.

**NOTICE OF WITHDRAWAL:** If you discontinue representing a particular client, a notice of withdrawal is required to be filed with the City Clerk.

**ANNUAL LOBBYIST REGISTRATION FEE:** This Registration must be on file in the Office of the City Clerk prior to The filing of an Issue Application to lobby on a specific issue, and payment of a \$250.00 Lobbyist Registration Fee is required.

I LUIS CANO hereby swear or affirm under penalty of perjury that I have read the provisions of the City of Coral Gables Ordinance 2006-11, governing Lobbying and that all of the facts contained in this Registration Application are true and that I agree to pay the \$250.00 Annual Lobbyist Registration Fee.

  
Signature of Lobbyist


STATE OF FLORIDA     )  
                                  )  
COUNTY OF MIAMI-     )  
DADE

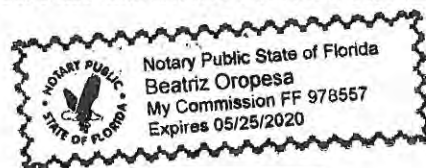
BEFORE ME personally appeared Luis J. Cano to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said instrument for the purposes therein expressed.

WITNESS my Hand and Official Seal this \_\_\_\_\_

☒ Personally Known

☐ Produced ID

  
Notary Public  
State of Florida



\$250.00 Fee Paid \_\_\_\_\_

Received By \_\_\_\_\_ Date: \_\_\_\_\_

Fee Waived for Not-for-Profit Organizations (documentary proof attached.) \_\_\_\_\_ FL. ID#: \_\_\_\_\_

**For Office Use Only**

Data Entry Date: \_\_\_\_\_, 20\_\_\_\_

Entered By: \_\_\_\_\_



CITY OF CORAL GABLES  
LOBBYIST  
ISSUE APPLICATION

2018 FEB 21 PM 12:23

REGISTRATION #: \_\_\_\_\_

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Print Your Name and Email Address:

LUIS J. CANO

LUIS\_CANO@GSPNET.COM

LOBBYIST

EMAIL ADDRESS

Print Your Business Name:

GRESHAM, SMITH AND PARTNERS

Business Telephone Number:

786-532-2100

Business Address:

TWO ALHAMBRA PLAZA, SUITE 1200, CORAL GABLES, FL 33134

ADDRESS

CITY, STATE

ZIP CODE

Corporation, Partnership, or Trust Represented:

Principal Name:

JACKSON MEMORIAL HOSPITAL

Principal Address:

1611 NW 12 AVE, MIAMI FL 33136

Telephone Number: 305-585-3555

ISSUE: Describe in detail, including address, if applicable, of the specific issue on which you will lobby: (Separate Application is required for each specific issue)

JHS URGENT CARE CENTER

I Luis Cano hereby swear or affirm under penalty of per-  
jury that all the facts contained in this Application are true and that I am aware  
that these requirements are in compliance with the provisions of the City of Coral  
Gables Ordinance No. 2006-11 (06/06/2006); Ordinance No. 2017-44  
(12/05/2017); governing Lobbying.

[Signature]  
Signature of Lobbyist

2/2/2018  
Date

STATE OF FLORIDA     )  
                                      )  
COUNTY OF MIAMI-     )  
DADE

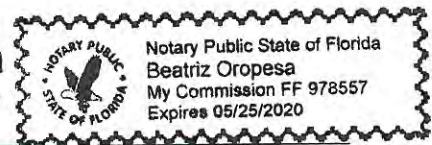
BEFORE ME personally appeared Luis J Cano to me well known and known to me to be the person  
described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said in-  
strument for the purposes therein expressed.

WITNESS my Hand and Official Seal this \_\_\_\_\_

☒ Personally Known

☐ Produced ID

[Signature]  
Notary Public  
State of Florida



**For Office Use Only**

Data Entry Date: \_\_\_\_\_, 20\_\_\_\_

Entered By: \_\_\_\_\_

Annual Fees Waived for Not-for-Profit Organizations (documentary proof attached.) \_\_\_\_\_

FL ID #: \_\_\_\_\_



G R E S H A M  
S M I T H   A N D  
P A R T N E R S