TA16056071

City of Coral Gables
Development Services Department

TREE PROTECTION APPEALS COMMITTEE APPLICATION

APPEAL MUST BE FILED WITHIN FIFTEEN (15) DAYS OF THE STAFF'S DECISION OF THE TREE REMOVAL / RELOCATION PERMIT. THE APPEAL APPLICATION FEE IS $150.00 PLUS $2.45 PER DOCUMENT SUBMITTED WITH THE APPLICATION PACKAGE. APPLICATION SUBMITTAL MUST BE MADE TO THE BUILDING DIVISION, 405 BILTMORE WAY, 3RD FLOOR, CORAL GABLES, FLORIDA, 33134.

APPLICANT: GBS DEVELOPMENT

APPLICANT'S ADDRESS: 7600 S.W 57TH AVE

JOB LOCATION: 6505 CASTANEDA CORAL GABLES FL. 33134
Street City State Zip

Submit Completed Tree Protection Appeals Committee Application and the following supporting documentation:

- Tree Removal / Relocation Application;
- Letter stating the reasons or grounds for the appeal;
- Site plan or survey of the property showing the location of the tree(s) to be modified, removed or relocated and any proposed replacement tree(s);
- Photographs of the property and subject tree(s).

Supplemental items for appeal to the Tree Protection Appeals Committee, as applicable:

- Letter from a horticultural professional indicating the condition of the trees;
- Letters from neighboring property owners;
- Plans for construction which cause the need to modify, remove or relocate the tree(s);
- Other information as deemed necessary.

Signature of Applicant

4-28-16
Date

CITY OF CORAL GABLES

TREE REMOVAL/RELOCATION APPLICATION PS-16-04-6541

DATE: 4-12-16 PERMIT NO. BU4103030

APPLICATION NO. _____ CONTROL NO. _____

NOTE: Whenever there is a proposed construction which involves the removal or relocation of tree(s) preliminary approval must be obtained through this application process. Applicant must guarantee that they have taken all steps reasonably necessary to preserve existing trees and to otherwise enhance the aesthetic appearance of the development by the incorporation of trees into the project. Applicant must include the 'preliminary approval' for the tree removal/relocation along with the construction documents.

Owner: Castaneda Development LLC. Address: 2601 S Bayshore Dr. #1200
Job Address: 6505 Castaneda Street Telephone #: 305-860-0770
Folio No.: 03412903280 (X) Residential ( ) Commercial
Contractor Contact number(s): C# 786-255-6439 / O# 305-667-6060

I hereby make application for a permit to remove REMOVE relocate _____ tree(s) from the above described property. *(Attach site plan/survey as appropriate. See back of page).* Specify types and # of trees and reasons for removal/relocation: _____

ONE OAK TREE TO Allowed ACCESS to GARAGE
NEIGHBORS ARE OK WITH REMOVAL YOU MAY CONTACT
CHRIS ZOLLER (NEIGHBOR) 305-321-3221 IF Needed.

Public Service Dept. notes: _____

Hold _____
Approved Subject To: _____
Approved _____
Denied _____

Permit Fee: $_____
Filling Fee: $_____
Document Preservation Fee: $_____
Total: $_____

INSPECTOR DATE

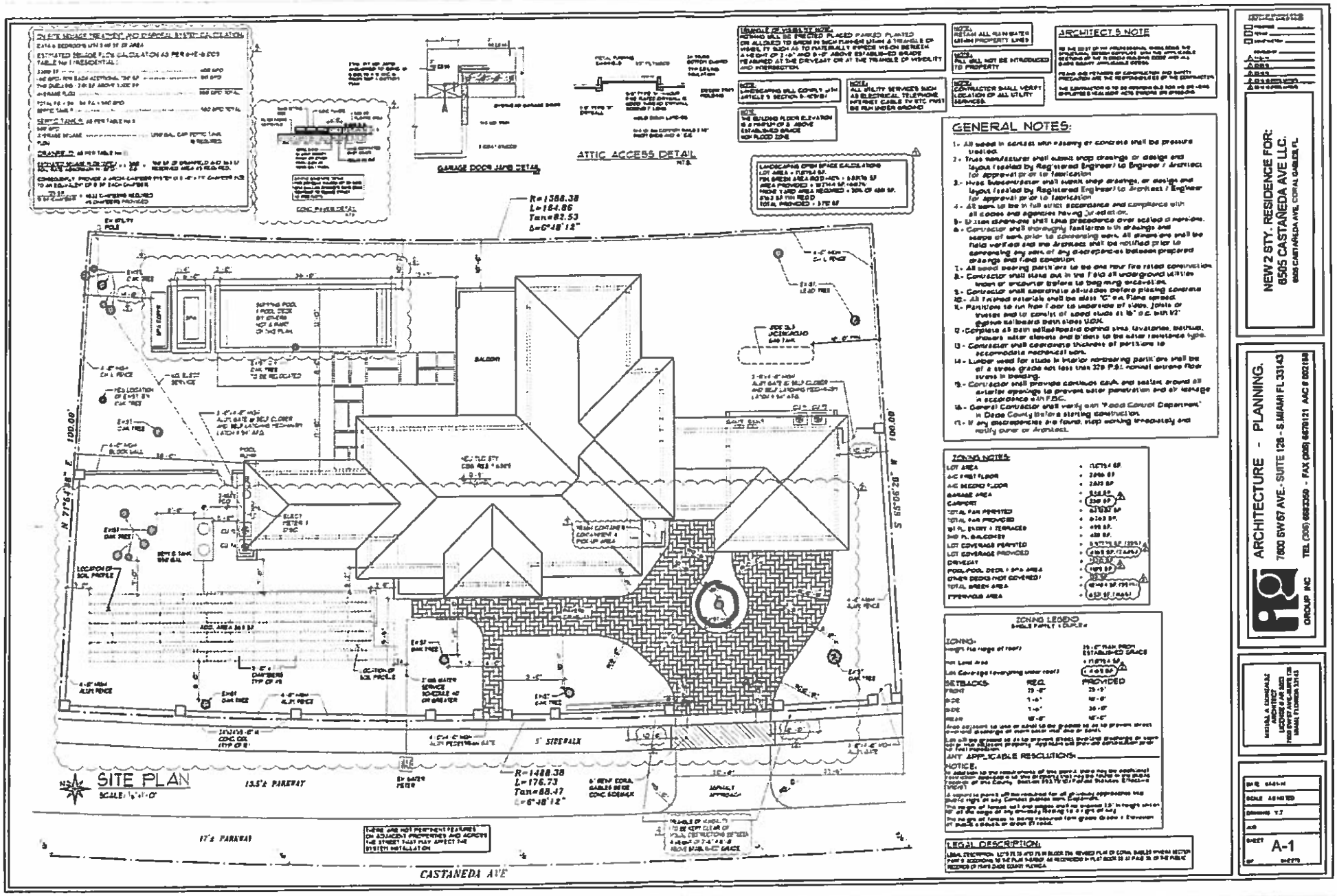
I understand that if a permit is issued, I am responsible for the supervision and completion of said tree removal/relocation, in accordance with the approved plans and specifications, and in compliance with all applicable codes and ordinances of the City of Coral Gables. I further understand that I am responsible for and guarantee the survival of all trees relocated or planted in replacement of any trees removed pursuant to this application

Owner (Print name and sign) Date 4-12-16

The forgoing instrument was acknowledged before me this 12th day of APRIL 2016 by JOSEPH HORN. Who has taken an oath and: (✓) is personally known to me, ( ) has produced _____ as identification.

Beatriz Prendes My Commission Expires
NOTARY PUBLIC, STATE OF FLORIDA, COUNTY OF MIAMI-DADE

BEATRIZ PRENDES
MY COMMISSION # FF 136135
EXPIRES: September 6, 2018
Bonded Thru Notary Public Underwriters


SITE PLAN
SCALE: 1/8"=1'-0"
CASTANEDA AVE
17'± PARKWAY
13.5'± PARKWAY
5' SIDEWALK
SWIMMING POOL
BALCONY
R=1388.38
L=184.86
Tan=92.53
Δ=6°48'12"
R=1488.38
L=176.73
Tan=88.47
Δ=6°48'12"
N 71°54'38" E
S 65°05'20" W
100.00'
GARAGE DOOR JAMB DETAIL
ATTIC ACCESS DETAIL
CONC PAVER DETAIL
GENERAL NOTES:
1. All wood in contact with masonry or concrete shall be pressure treated.
2. Truss manufacturer shall submit shop drawings or design and layout (sealed by Registered Engineer) to Engineer / Architect for approval prior to fabrication.
3. Wood subcontractor shall submit shop drawings, or design and layout (sealed by Registered Engineer) to Architect / Engineer for approval prior to fabrication.
4. All work to be in full strict accordance and compliance with all codes and agencies having jurisdiction.
5. Written dimensions shall take precedence over scaled dimensions.
6. Contractor shall thoroughly familiarize with drawings and scope of work prior to commencing work. All dimensions shall be field verified and the Architect shall be notified prior to commencing any part of any discrepancies between prepared drawings and field condition.
7. All wood bearing partitions to be one hour fire rated construction.
8. Contractor shall stake out in the field all underground utilities known or encounter before to beginning excavation.
9. Contractor shall coordinate all utilities before placing concrete.
10. All finished materials shall be class "C" on Flame spread.
11. Partitions to run from floor to underside of slabs, joists or trusses and to consist of wood studs at 16" o.c. with 1/2" gypsum wallboard both sides U.O.N.
12. Complete all bath accessories behind sinks, lavatories, bathtubs, showers, water closets and toilets to the water resistance type.
13. Contractor shall coordinate thickness of partitions to accommodate mechanical work.
14. Lumber used for studs in interior nonbearing partitions shall be of a stress grade not less than 520 P.S.I. nominal extreme fiber stress in bending.
15. Contractor shall provide continuous caulk and seal around all exterior openings to prevent water penetration and air leakage in accordance with F.B.C.
16. General Contractor shall verify with "Flood Control Department" in Dade County before starting construction.
17. If any discrepancies are found, stop working immediately and notify owner or Architect.
ZONING NOTES:
LOT AREA
1ST FLOOR
2ND FLOOR
GARAGE AREA
CARPORT
TOTAL FAR PERMITTED
TOTAL FAR PROVIDED
1ST FL. ENTRY + TERRACE
2ND FL. BALCONIES
LOT COVERAGE PERMITTED
LOT COVERAGE PROVIDED
DRIVEWAY
POOL, POOL DECK + SPA AREA
OTHER DECKS NOT COVERED
TOTAL GREEN AREA
FRONTAGE AREA
ZONING LEGEND
SINGLE FAMILY / DUPLEX
ZONING:
MAX. HEIGHT
ESTABLISHED GRADE
LOT AREA
LOT COVERAGE (excluding under roof)
SETBACKS:
REQ.
PROVIDED
FRONT
REAR
SIDE
ANY APPLICABLE RESOLUTIONS:
NOTICE:
LEGAL DESCRIPTION:
ARCHITECT'S NOTE
NEW 2 STY. RESIDENCE FOR:
8505 CASTAÑEDA AVE LLC.
8505 CASTAÑEDA AVE, CORAL GABLES, FL
ARCHITECTURE - PLANNING.
7800 SW 67 AVE - SUITE 128 - S.MIAMI FL 33143
TEL (305) 6962050 - FAX (305) 6978121 AAC# 0002158
GROUP INC
A-1

ON SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM CALCULATION

DATA 6 BEDROOMS WITH 5,461 S.F. OF AREA

ESTIMATED SEWAGE FLOW CALCULATION AS PER 64E-6.008 TABLE No I (RESIDENTIAL)

3,300 S.F. ..... 400 GPD
160 GPD FOR EACH ADDITIONAL 750 S.F. ..... 160 GPD
THIS DWELLING 2,161 S.F. ABOVE 3,300 S.F.
AVERAGE FLOW ..... 560 GPD TOTAL
TOTAL F.U. = 56 56 F.U. = 560 GPD
SEPTIC TANK # ..... 560 GPD TOTAL

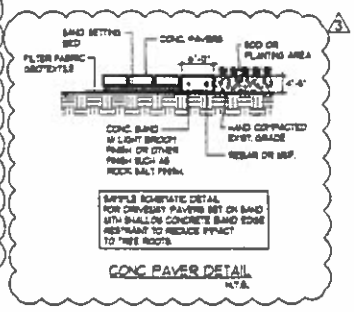
SEPTIC TANK #: AS PER TABLE No II
560 GPD
AVERAGE SEWAGE FLOW ..... 1350 GAL. CAP SEPTIC TANK IS REQUIRED.

DRAINFIELD: AS PER TABLE No III

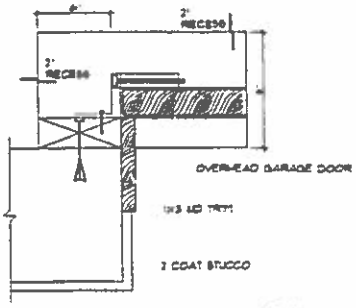
ESTIMATED SEWAGE FLOW (GPD) / SOIL RATE ABSORBSION IN (GPD) = 560 / 0.6 = 750 S.F. OF DRAINFIELD AND 363 S.F. RESERVED AREA AS REQUIRED.

CONSEQUENTLY: PROVIDE A ARC24-CHAMBER SYSTEM W/ 3'-0" x 7'-3" CHAMBER SIZE TO AN EQUIVALENT OF 9 S.F. EACH CHAMBER.

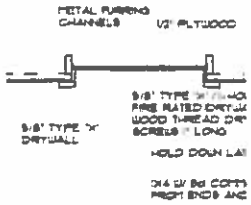
729 S.F. / 9 S.F./CHAMBER = 48.33 CHAMBERS REQUIRED
49 CHAMBERS PROVIDED



CONC PAVER DETAIL



GARAGE DOOR JAMB DETAIL



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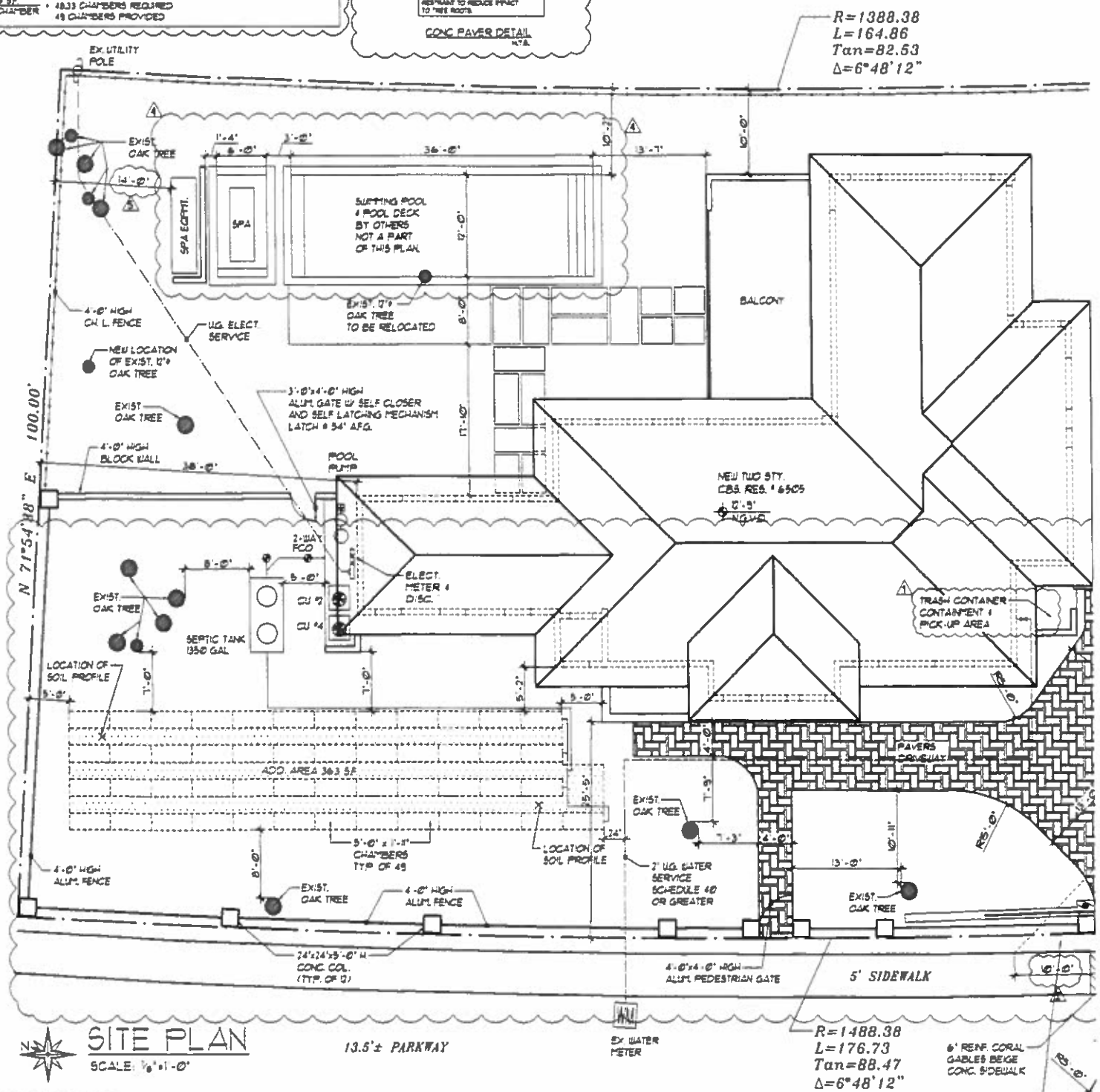


SITE PLAN
SCALE: 1/8"=1'-0"

TRIANGLE OF VISIBILITY NOTE:
NOTHING WILL BE ERECTED, PLACED PARKED PLANTED OR ALLOWED TO GROW IN SUCH MANNER WITHIN A TRIANGLE OF VISIBILITY SUCH AS TO MATERIALLY IMPEDE VISION BETWEEN A HEIGHT OF 2'-6" AND 8'-0" ABOVE ESTABLISHED GRADE MEASURED AT THE DRIVEWAY OR AT THE TRIANGLE OF VISIBILITY AND INTERSECTION.

NOTE:
RETAIN ALL RAIN WATER WITHIN PROPERTY LINES

NOTE:
FILL WILL NOT BE INTRODUCED TO PROPERTY

NOTE:
LANDSCAPING WILL COMPLY WITH ARTICLE 5 SECTION 5-1605(B)

NOTE:
ALL UTILITY SERVICES SUCH AS ELECTRICAL, TELEPHONE, INTERNET CABLE TV ETC. MUST BE RUN UNDER GROUND.

NOTE:
CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY SERVICES.

NOTE:
THE BUILDING FLOOR ELEVATION IS A MINIMUM OF 8" ABOVE ESTABLISHED GRADE NON FLOOD ZONE

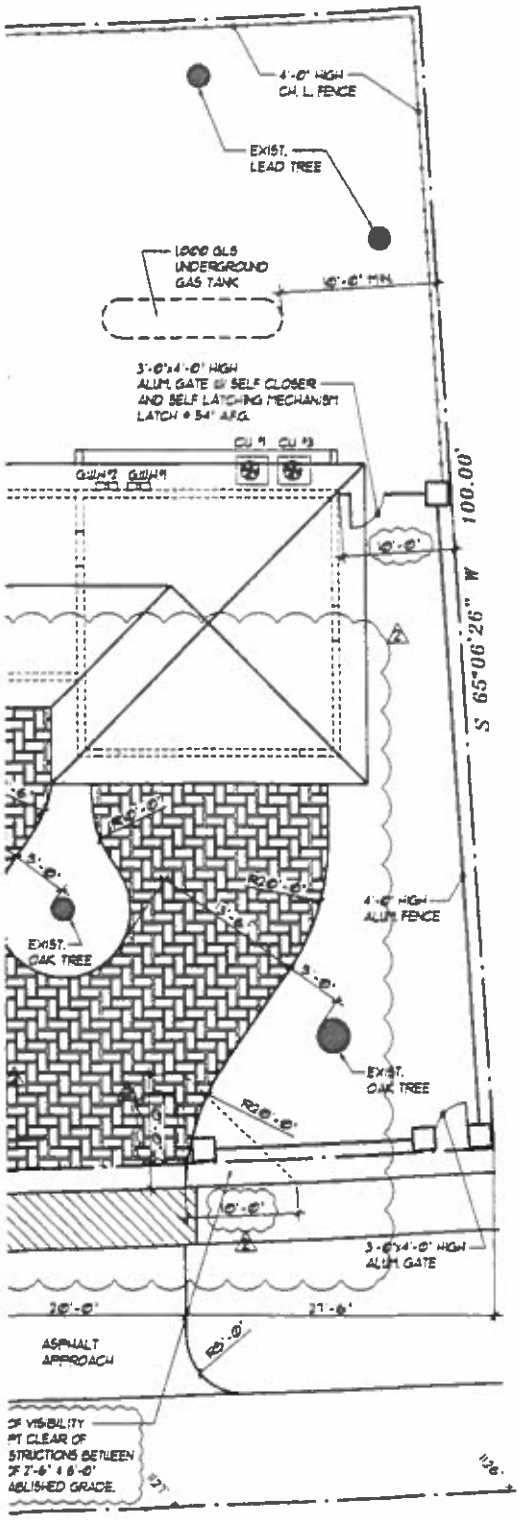
ARCHITECT'S NOTE

TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, THE STRUCTURAL DESIGN COMPLIES WITH THE APPLICABLE SECTIONS OF THE FLORIDA BUILDING CODE AND ALL DADE COUNTY APPLICABLE CODES.

MEANS AND METHODS OF CONSTRUCTION AND SAFETY PRECAUTION ARE THE RESPONSIBILITIES OF THE CONTRACTOR.

THE CONTRACTOR IS TO BE RESPONSIBLE FOR H.S OR HERS EMPLOYEE'S NEGLIGENT ACTS, ERRORS, OR OMISSIONS.

LANDSCAPING OPEN SPACE CALCULATIONS
LOT AREA = 17,079.4 S.F.
MIN. GREEN AREA REQ'D = 40% = 6,831.76 S.F.
AREA PROVIDED = 10,214.4 S.F. (60%)
FRONT YARD AREA REQUIRED = 20% OF 4581 S.F.
916.2 S.F. MIN REQ'D
TOTAL PROVIDED = 3,252 S.F.



GENERAL NOTES:

1.- All wood in contact with masonry or concrete shall be pressure treated.
2.- Truss manufacturer shall submit shop drawings, or design and layout (sealed by Registered Engineer) to Engineer / Architect for approval prior to fabrication
3.- Hvac Subcontractor shall submit shop drawings, or design and layout (sealed by Registered Engineer) to Architect / Engineer for approval prior to fabrication
4.- All work to be in full strict accordance and compliance with all codes and agencies having jurisdiction.
5.- Written dimensions shall take precedence over scaled dimensions.
6.- Contractor shall thoroughly familiarize with drawings and scope of work prior to commencing work. All dimensions shall be field verified and the Architect shall be notified prior to commencing any work of any discrepancies between prepared drawings and field condition.
7.- All wood bearing partitions to be one hour fire rated construction.
8.- Contractor shall stake out in the field all underground utilities known or encounter before to begining excavation.
9.- Contractor shall coordinate all-trades before placing concrete.
10.- All finished materials shall be class 'C' min. Flame spread.
11.- Partitions to run from floor to underside of slabs, joists or trusses and to consist of wood studs at 16" o.c. with 1/2" gypsum wallboard both sides U.O.N.
12.-Complete all bath wallwallboard behind sinks, lavatories, bathtub, showers, water closets and bidets to be water resistance type.
13.- Contractor shall coordinate thickness of partitions to accommodate mechanical work.
14.- Lumber used for studs in interior nonbearing partitions shall be of a stress grade not less than 228 P.S.I. nominal extreme fiber stress in bending.
15.- Contractor shall provide continuos caulk and sealant around all exterior openings to prevent water penetration and air leakage in accordance with F.B.C.
16.- General Contractor shall verify with 'Flood Control Department' in Dade County before starting construction.
17.- If any discrepancies are found, stop working immediately and notify owner or Architect.

ZONING NOTES:

LOT AREA	= 17,079.4 S.F.
A/C FIRST FLOOR	= 2,966 S.F.
A/C SECOND FLOOR	= 2,823 S.F.
GARAGE AREA	= 344 S.F.
CARPORT	= 230 S.F.
TOTAL FAR PERMITED	= 6,713.87 S.F.
TOTAL FAR PROVIDED	= 6,163 S.F.
1ST FL. ENTRY + TERRACES	= 455 S.F.
2ND FL. BALCONIES	= 428 S.F.
LOT COVERAGE PERMITED	= 5,977.79 S.F. (35%)
LOT COVERAGE PROVIDED	= 4,169 S.F. (24.4%)
DRIVEWAY	= 526 S.F.
POOL/POOL DECK + SPA AREA	= 1,401 S.F.
OTHER DECKS (NOT COVERED)	= 133 S.F.
TOTAL GREEN AREA	= 10,148.4 S.F. (59.4%)
IMPERVIOUS AREA	= 6,931 S.F. (40.6%)

ZONING LEGEND
SINGLE FAMILY + DUPLEX

ZONING:

Height (to ridge of roof)		29'-0" MAX. FROM ESTABLISHED GRADE
Net Land Area		= 17,079.4 S.F.
Lot Coverage (everything under roof)		= 4,169 S.F.
SETBACKS:	REQ.	PROVIDED
FRONT	25'-0"	25'-9"
SIDE	7'-6"	10'-0"
SIDE	7'-6"	38'-0"
REAR	10'-0"	10'-0"

Area adjacent to lake or canal to be graded so as to prevent direct overland discharge of storm water into lake or canal.

Lot will be graded so as to prevent direct overland discharge of storm water into adjacent property. Applicant will provide certification prior to final inspection.

ANY APPLICABLE RESOLUTIONS: _____

NOTICE:
In addition to the requirements of this permit, there may be additional restriction applicable to this property that may be found in the public records of Dade County. Section 553.73(10)(c) Florida Statutes, Effective 1/10/91

A separate permit will be required for all driveway approaches into public right of way. Contact public Work Department.

The height of fences, wall and edges shall no exceed 2.5' in height within 10' of the edge of any driveway leading to a right of way

The height of fences is being measured form grade. Grade = Elevation of public sidewalk or crown of road.

LEGAL DESCRIPTION:

LEGAL DESCRIPTION: LOTS 27, 28 AND 29, IN BLOCK 256, REVISED PLAT OF CORAL GABLES RIVIERA SECTION PART 12, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 28 AT PAGE 39, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

HISTORY OF DRAWING ISSUED
DESCRIPTION DATE OF ISSUED
PROGRESS
PERMIT
CONSTRUCTION
REVISION BY
1 11-04-14
2 02-03-15
3 02-16-15
4 02-16-15 (POOL LAYOUT)
5 02-16-15 (POOL LAYOUT)

NEW 2 STY. RESIDENCE FOR:
6505 CASTAÑEDA AVE LLC.
6505 CASTAÑEDA AVE, CORAL GABLES, FL

ARCHITECTURE - PLANNING.
7800 SW 57 AVE.- SUITE 128 - S.MIAMI FL 33143
TEL (305) 6683350 - FAX (305) 6679121 AAC # 002158
GROUP INC

MIGUEL A. GONZALEZ
ARCHITECT
LICENSE # AR 5063
7800 SW 57 AVE.-SUITE 128
MIAMI, FLORIDA 33143

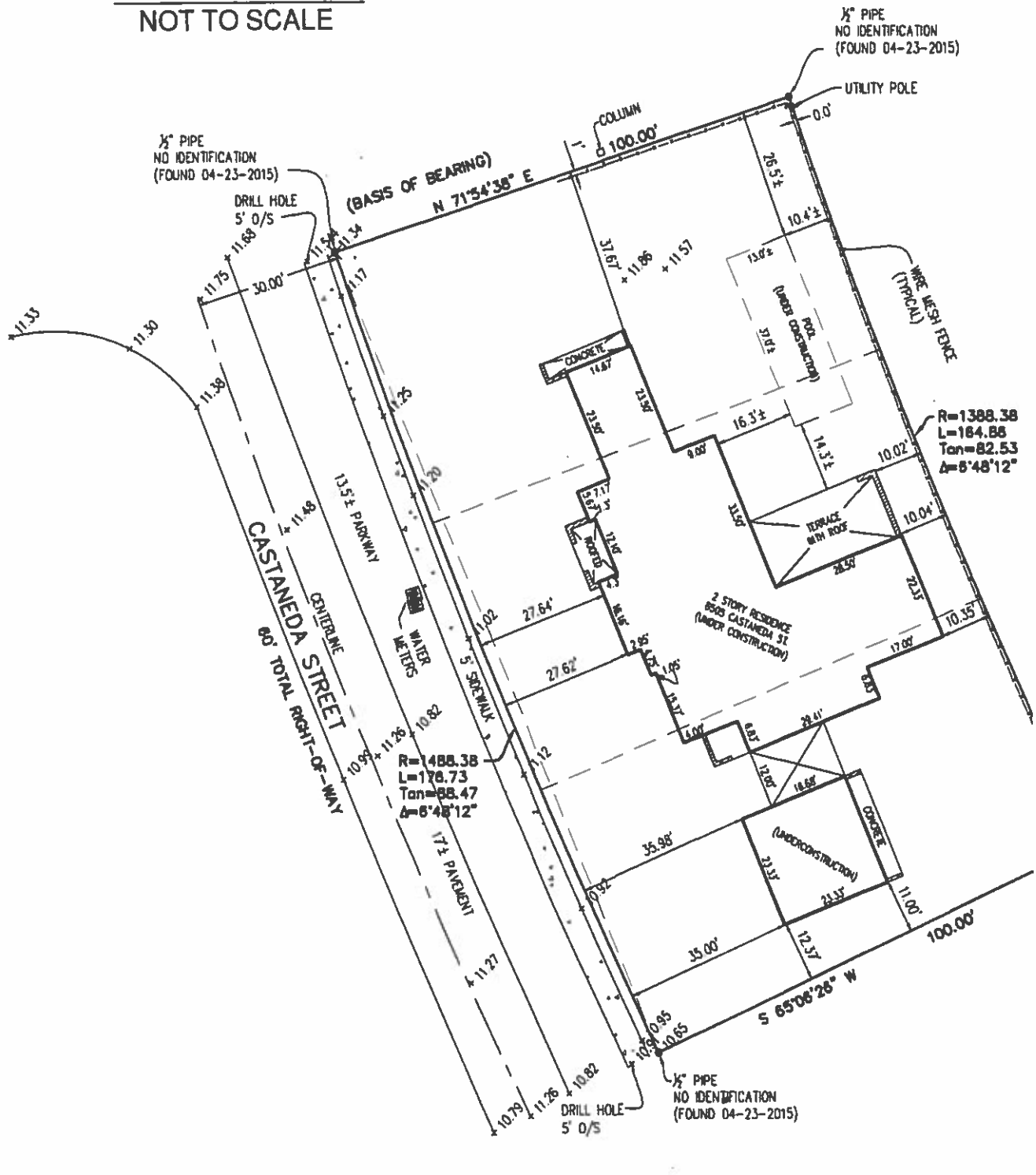
DATE 07-31-14
SCALE AS NOTED
DRAWING Y.T
JOB
SHEET A-1
OF SHEETS

BOUNDARY S

GRAPHIC SCA

(IN FEET)
1 inch = 20 ft.

LOCATION SKETCH
NOT TO SCALE



IRVEY

LEGAL DESCRIPTION: LOTS 27, 28 AND 29, IN BLOCK 256, REVISED PLAT OF CORAL GABLES RIVIERA SECTION PART 12, ACCORDING TO THE PLAT THEREOF, AS RECORDEDD IN PLAT BOOK 28 AT PAGE 35, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
FOLIO NO. 03-4129-032-3280

SURVEY FOR: 6505 CASTANEDA STREET
CORAL GABLES, FLORIDA 33146

I HEREBY CERTIFY: THAT THE SKETCH OF SURVEY OF THE ABOVE CAPTIONED PROPERTY WAS COMPLETED UNDER MY SUPERVISION AND/OR DIRECTION, TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS SURVEY MEETS OR EXCEEDS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE. PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

DELTA MAPPING AND SURVEYING, INC.
13301 SW 132ND AVENUE, NO. 117
MIAMI, FLORIDA 33186

WALDO F. PAEZ DATE SIGNED: _____
PROFESSIONAL SURVEYOR AND MAPPER
NO. 3284
STATE OF FLORIDA

CERTIFICATE OF AUTHORIZATION
L.B. NO. 7950
STATE OF FLORIDA

786-429-1024
FAX: 786-592-1152

1)FLOOD ZONE: X BASE: PANEL NO. 12086C0459L
COMMUNITY NO. 120639 DATE OF MAP: 09-11-09
2)THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY
3)EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING PROPERTY
4) THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED, IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED
5)LOCATION AND IDENTIFICATION OF UTILITIES, IF ANY ARE SHOWN IN ACCORDANCE WITH RECORDED PLAT
6)OWNERSHIP IS SUBJECT TO OPINION OF TITLE
7)TYPE OF SURVEY: BOUNDARY SURVEY
8)THE HEREIN CAPTIONED PROPERTY WAS SURVEYED AND DESCRIBED BASED ON THE SHOWN LEGAL DESCRIPTION: PROVIDED BY CLIENT
9)SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID AND FOR REFERENCE ONLY, UNLESS SIGNED AND SEALED WITH THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
10)THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTIES
11)UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON, CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
12)THE SURVEYOR OF RECORD DOES NOT DETERMINE OWNERSHIP OF FENCES. MEASUREMENTS SHOWN HEREON DEPICT PHYSICAL LOCATION OF FENCE
13)ACCURACY: THE EXPECTED USE OF LAND AS CLASSIFIED IN THE MINIMUM TECHNICAL STANDARDS (5J-17 FAC), IS "SURBURBAN". THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THE TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 7500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT
14)IN SOME INSTANCES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHOWN SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
15)NO ATTEMPT HAS BEEN MADE TO LOCATE ANY FOUNDATION BENEATH THE SURFACE OF THE GROUND.
16)CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK ON THE HEREIN DESCRIBED PARCEL FOR BUILDING AND ZONING INFORMATION.
17) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES

IF ELEVATIONS ARE SHOWN, THEY ARE BASED ON A CLOSED LEVEL LOOP USING THIRD ORDER PROCEDURE AND ARE RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929
O.D DENOTES EXISTING ELEVATION
ELEVATION REFERS TO THE NATIONAL GEODETIC VERTICAL DATUM OF MEAN SEA LEVEL OF 1929
BENCHMARK: CG-343 ELEVATION: +11.32'
LOCATOR INDEX: CASTAÑEDA STREET AND PLACETAS AVENUE SE CORNER

BEARINGS HEREON ARE REFERRED TO AN ASSUMED VALUE OF NORTH 71 DEGREES 54 MINUTES 38 SECONDS EAST FOR THE NORTH PROPERTY LINE OF LOT 29

½" PIPE
NO IDENTIFICATION
(FOUND 04-23-2015)

CERTIFY TO: CASTANEDA DEVELOPMENT LLC., A FLORIDA LIMITED LIABILITY COMPANY, OLD REPUBLIC NATIONAL TITLE ISSUANCE COMPANY AND MICHAEL J. FREEMAN, P.A.

FIELD SURVEY DATE: 5-29-14 SCALE: 1" = 20' DRAWN BY: CAE
DRAWING DATE: 5-30-14 FB: SKETCH DRAWING NO.: 14-0338
CERTIFY DATE: 08-04-14
DRAWING DATE: 4-23-2015 (SET BACK SURVEY) NEW DRAWING NO: 15-0232
REVISED DATE: 09-25-15 (REVISED TO SHOW POOL) NEW DRAWING NO.: 15-0530

SEAL

Delta Mapping and Surveying, Inc
EST. 2012
13301 SW 132ND AVENUE, SUITE 117 MIAMI FL 33186
PHONE: (786) 429-1024 E-MAIL: DELTAMAPPING@GMAIL.COM

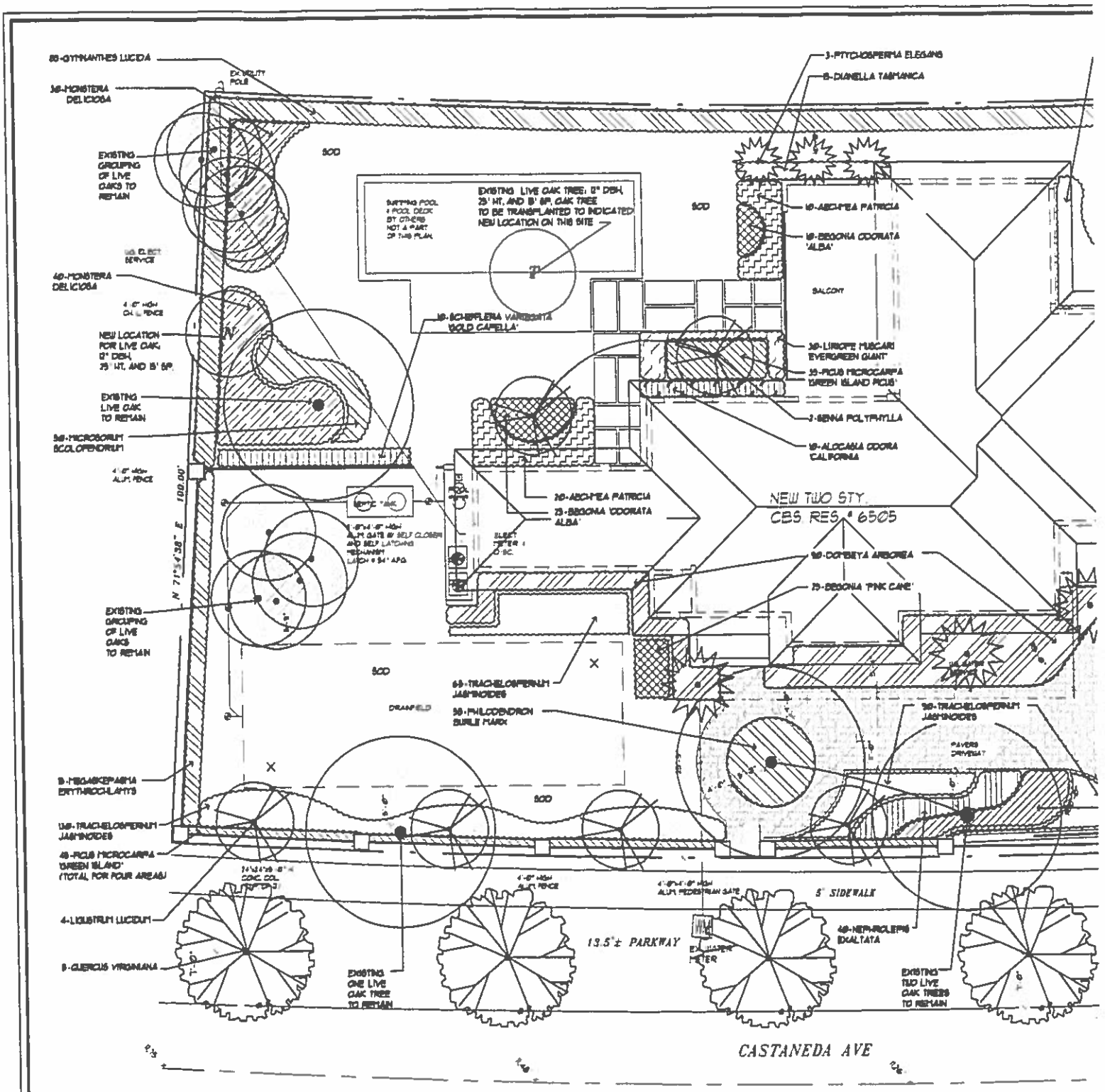
Surveyors, Land Planners & Mappers

BOUNDARY SURVEY

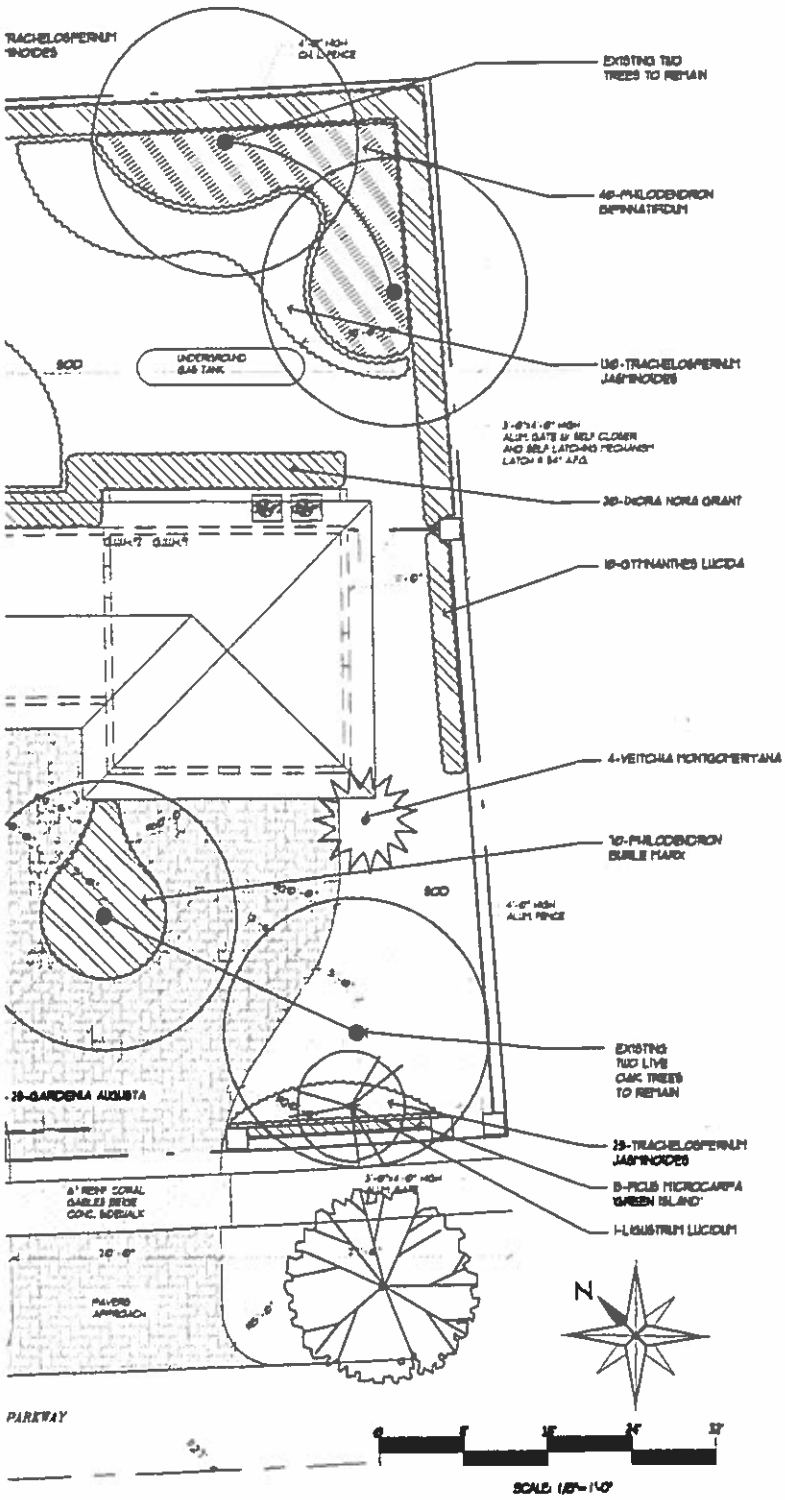
REVISIONS

DATE	REMARKS
09-23-2014	SHOW ADDITIONAL TREE
04-23-2015	SET BACK SURVEY

DATE: 09-25-2015
SCALE: 1" = 20'
DRAWN BY: M.E.P.
DRAWING NO: 15-0530



PLANTING PLAN



SYMBOL LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE TRANSPLANTED
- NEW LOCATION FOR TRANSPLANTED TREE

LANDSCAPE SUB-CONSULTANT

Landscape Designs

NEW 2 STY. RESIDENCE FOR:
8505 CASTAÑEDA AVE L.L.C.
8505 CASTAÑEDA AVE, CORAL GABLES, FL

ARCHITECTURE - PLANNING.
7800 SW 57 ST. - SUITE 128 - S. MIAMI FL 33143
TEL (305) 6863380 - FAX (305) 6679121 AAC # 002158
GROUP INC

HAROLD HOYTE
LANDSCAPE ARCHITECT
LICENSE # LA 0000000

DATE	07-01-14
SCALE	AS NOTED
DRAWING	JJ
JOB	
SHEET	L-1.0
OF	SHEETS