### HISTORIC PRESERVATION AD-VALOREM TAX EXEMPTION

### PART 2 – REQUEST FOR REVIEW OF COMPLETED WORK

### **INSTRUCTIONS:**

Upon completion of the restoration, rehabilitation, or renovation, return this form with photographs of the completed work (both exterior and interior views of the building) to the City of Coral Gables Historical Resources Department.

Each photograph must be clearly labeled, and they should be the same views as the before photographs that were included in the Preconstruction Application.

If there are conditions included as part of the Final Recommendation from the local Historic Preservation Officer, the application will not be considered complete until all conditions have been met and acknowledged by the local Historic Preservation Officer.

I. Property identification and location:
Property Name: 239 SARTO AYE
Folio Number: 03 - 4117 - 007 - 0710
Street Address: 239 Sarto Avenue, Coral Gables, FL 33134
II. Data on restoration, rehabilitation or renovation project:
Project start date:
Project completion date:
Cost of entire project: 4340,000.
Estimated costs attributed to work on historic buildings: 200,000, 000
Name of architect: Locus Architecture Phone: 305 - 740 - 0120
Name of Contractor: Torre Construction + Phone: 305 - 442 - 9494
Owner attestation: I hereby apply for the historic preservation property tax exemption for the restoration, rehabilitation or renovation work described above and in the Preconstruction Application for this project which received approval on

I hereby attest that the information provided is, to the best of my knowledge, correct, and that in my opinion the completed project conforms to the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings and is consistent with the work described in the Preconstruction Application. I also attest that I am the owner of the property described above or, if the property is not owned by an individual, that I am the duly authorized representative of the owner. Further, by submission of this application, I agree to allow access to the property by representatives of the City of Coral Gables Historical Resources Department, the County Historic Preservation Office, and the Office of the Property Appraiser, for the purpose of verification of information provided in this application. I understand that, if the requested exemption is granted, I will be required to enter into a Covenant with the City of Coral Gables and Miami-Dade County granting the exemption in which I must agree to maintain the character of the property and the qualifying improvements for the term of the exemption. I also understand that falsification of factual representations in this application is subject to criminal sanctions pursuant to the Laws of Florida.

Venny Torre

necessary.

Print Name		Signature		Date	
Complete the following, if signii	ng for ar	n organization. 🏄	NA		
Print Name	Title			Signature	
Name of Organization		· · · · · · · · · · · · · · · · · · ·			
Taxpayer Identification Numbe	r				
Mailing Address		-			MACCO O ANTONIO
City		State	_ Zip C	ode	, principal de la
Daytime Telephone Number					

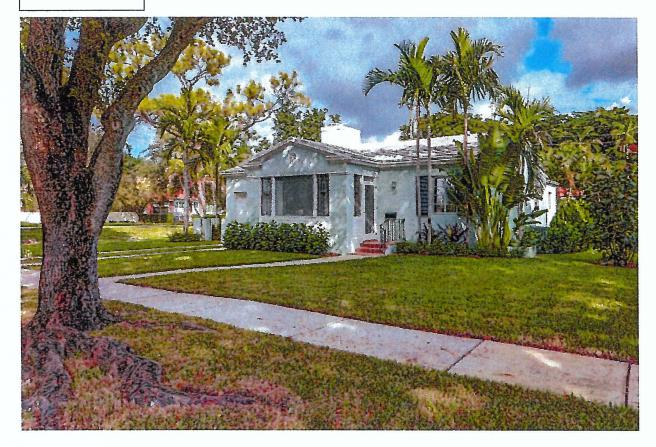
[Please attach the photographic documentation here, use additional pages if necessary.

Provide a copy of all photographs on CD, if possible.]

Multiple owners must provide the same information as above. Use additional sheets if

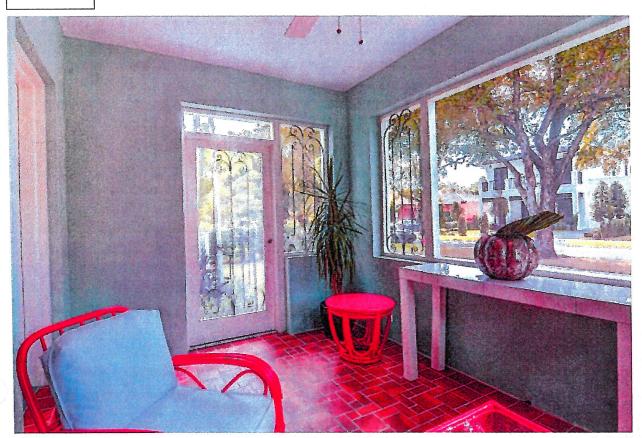
### REVIEW OF COMPLETED WORK TO BE FILLED OUT BY THE LOCAL HISTORIC PRESERVATION OFFICER

Street Address of property 239 Sarto Ave, Coral Gables 33134
Folio number 03 - 4117 - 007 - 0710
The local Historic Preservation Officer has reviewed Part 2 (Request for Review of Completed Work) of the Historic Preservation Property Tax Exemption Application for the above named property and hereby:
Determines that improvements to the above referenced property <u>are consistent</u> with the Secretary of Interior Standard's for Rehabilitation and Guidelines for Rehabilitating Historic Buildings and the criteria set forth in Chapter 1A-38, F.A.C., and therefore <u>recommends approval</u> of the requested historic preservation tax exemption.
[ ] Determines that improvements to the above referenced property are not consistent with the Secretary of Interior Standard's for Rehabilitation and Guidelines for Rehabilitating Historic Buildings and the criteria set forth in Chapter 1A-38, F.A.C., and therefore recommends denial of the requested historic preservation tax exemption for the reasons stated in the Review Comments below.
Please list any Review Comments here:
Additional Review Comments attached? Yes [ ] No [X]
Signature:
Typed or printed name: DONA M. SPAIN
Title: HISTORIC PRESERVATION OFFICER
Date of Review: Feb. 9 2016



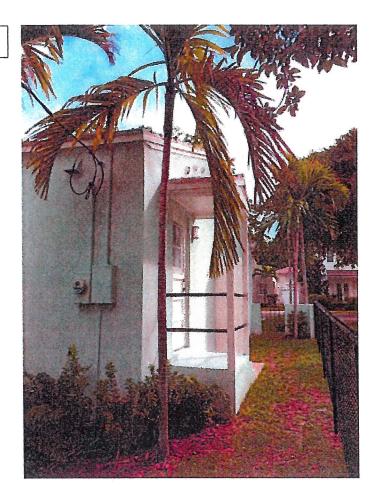


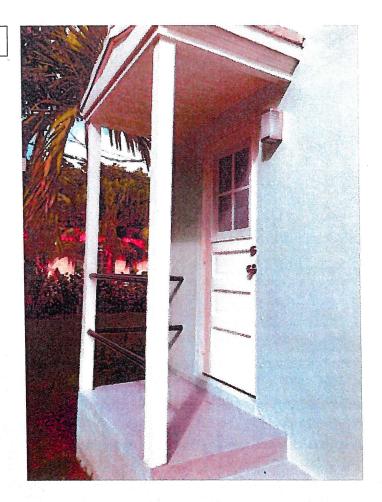


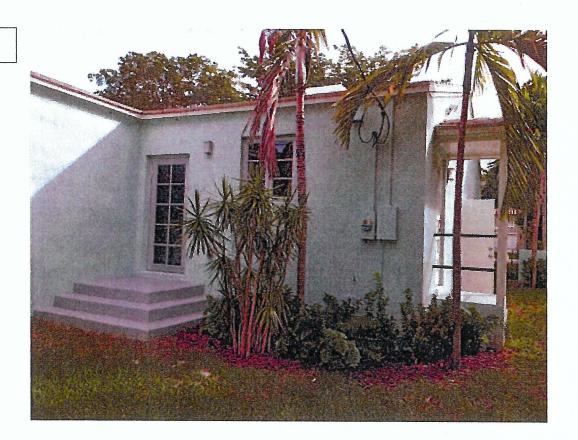


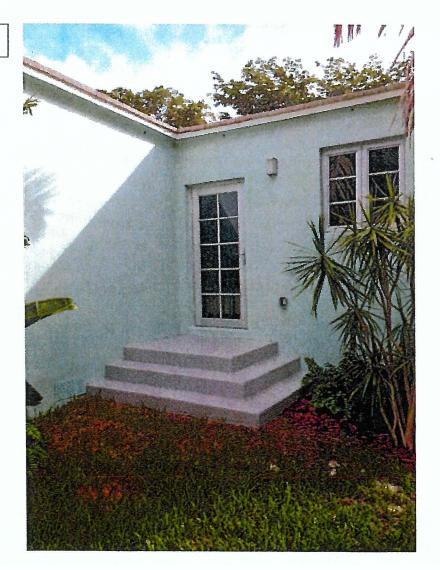


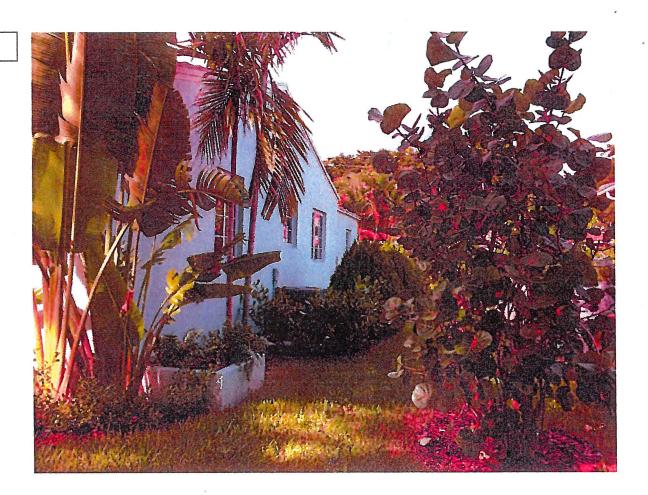


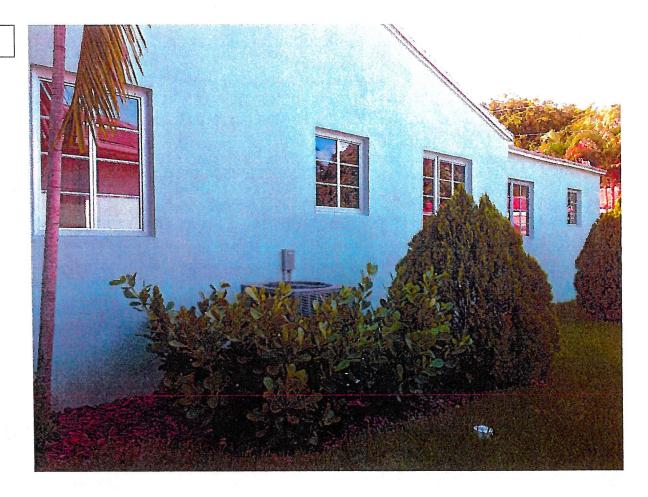


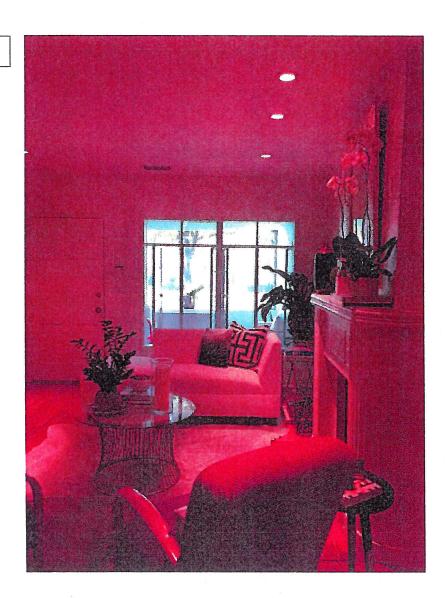


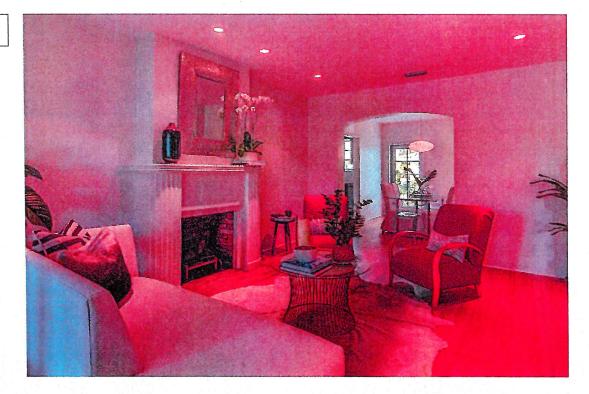


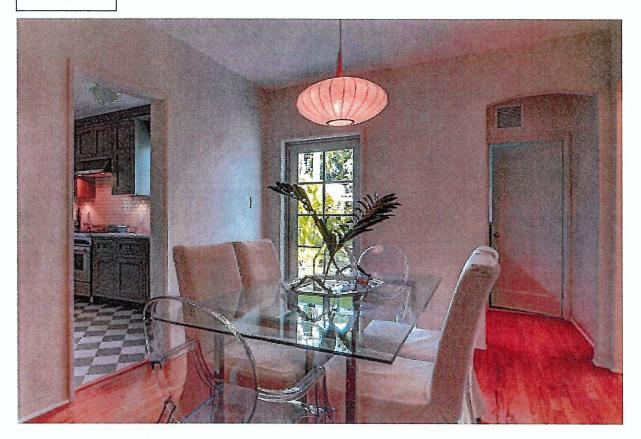


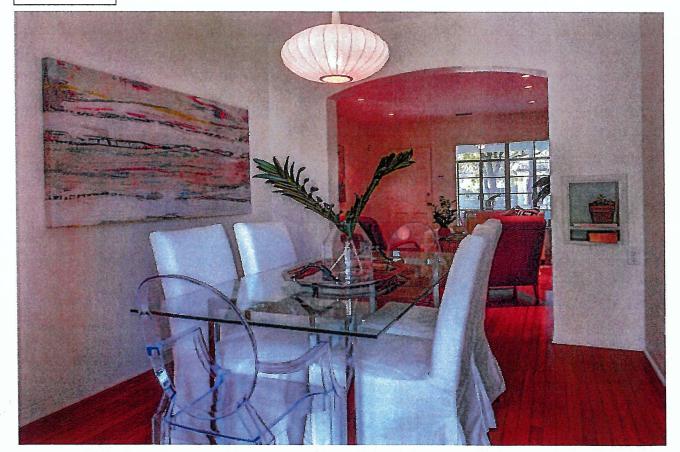




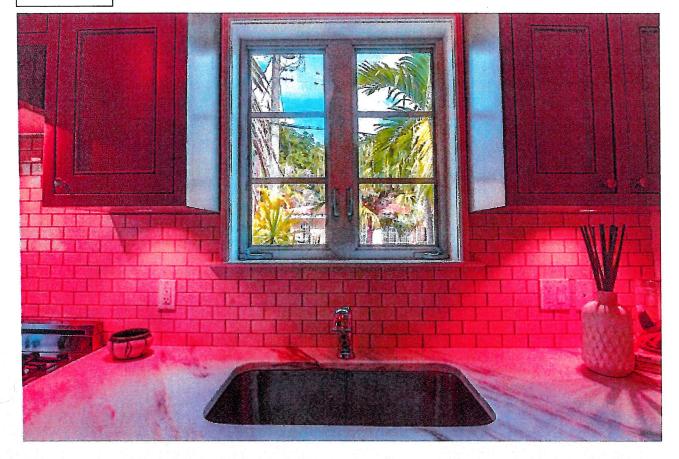


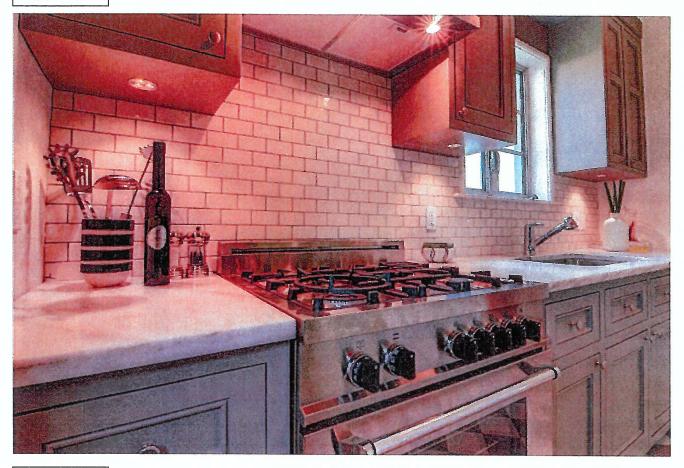




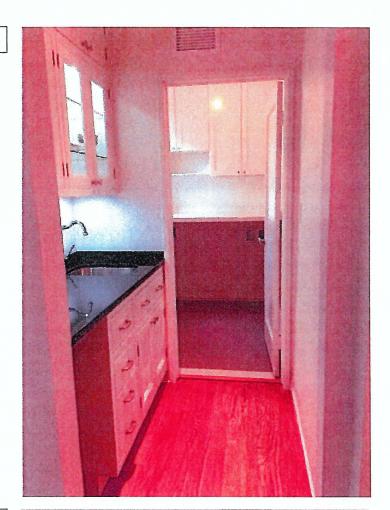




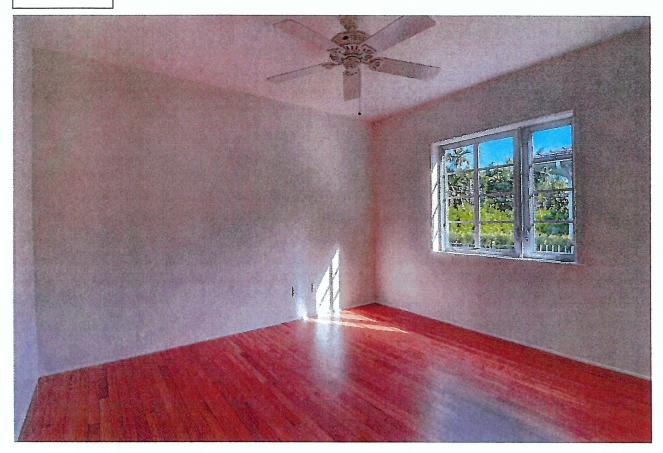






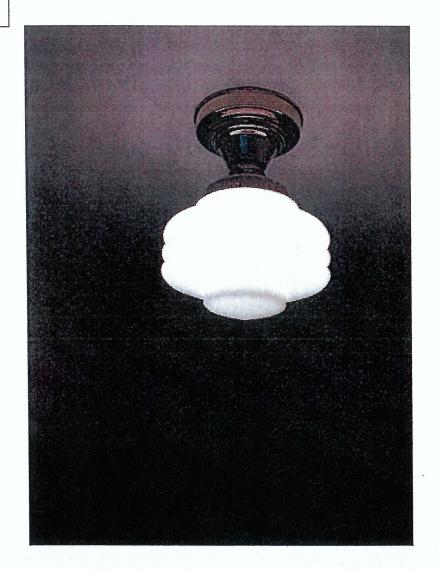


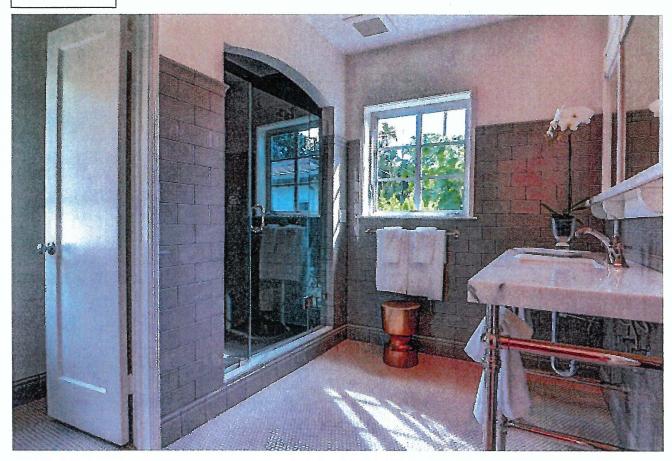






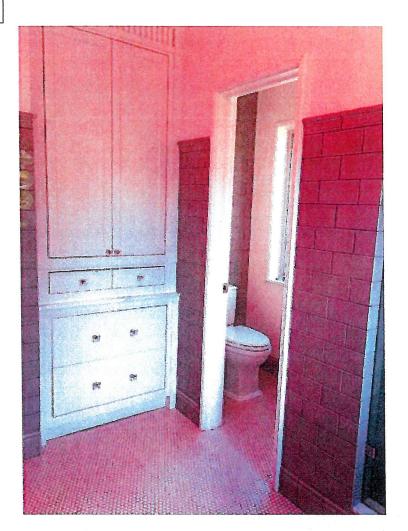


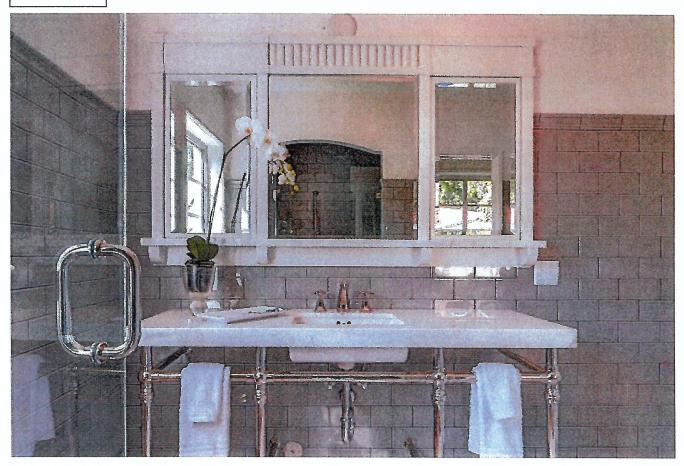


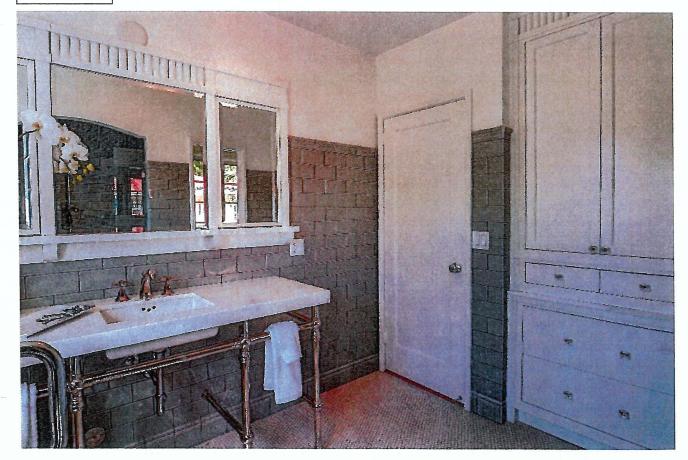


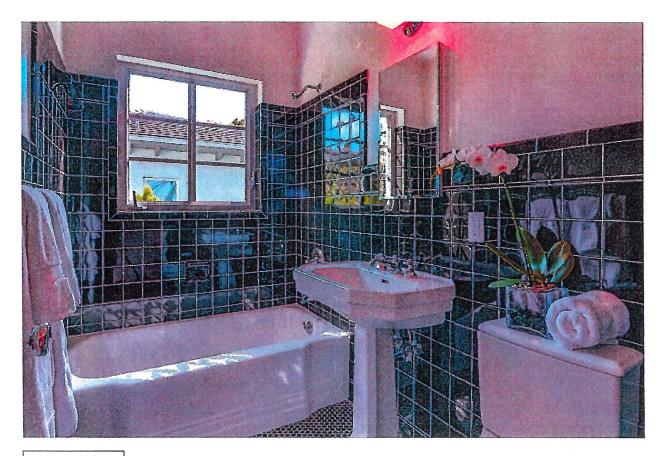


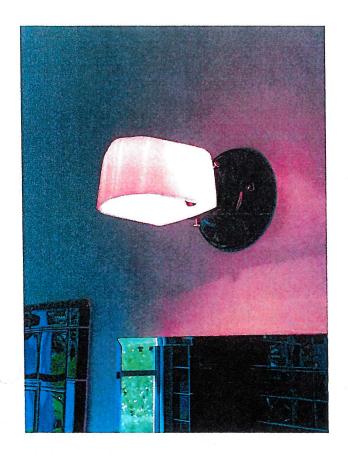












# Addition and Alterations to: 239 Sarto Residence

239 Sarto Avenue, Coral Gables, FL 33134

### GENERAL NOTES

IE TERM "VOOR" AS USED IN HESE NOTES SHALL INCLIDE ALL PROVISIONS AS DRAWN OR SPECTED IN EL DOCUMENTS AS VIELL AS ALL OTHER PROVISIONS SPECTALLY INCLIDED BY THE OWNER IN THE FORM DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.

THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE ISCONTRACTORS. THE OWNER MAY ELECT TO CONTRACT DRECTLY WITH A SISCONTRACTOR FOR ANY PART F THE WORK.

HESE DRAWINGS PROVIDE FOR THE JABODE, MAREBALL EQUIPMENT AND SUPERVISON BY THE CONTRACTOR A COMPITEE LOCK, AND DET JOB WITH THE TIEMS SPECTFOULLY NOTED FURNISHED BY THE CONTRACTOR SAS AN ALLOWANCE. THE WOORK SAML BE DESCUTED IN A FIGOROGISH, SUBSTANTIAL AND NEAT MANNER. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS.

), it the Contract prawness are found to be unclear, ambigious or contradiction, the contraction and the equest clarify cation from the architect (locus architecture) in writing effore proceeding with that part of the work.

S, ALL WORK SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE FLORIDA RESIDENTIAL BUILDING CODE (2010) AND ALL AUTHORITIES HAVING JURISDICTION. DOCUMENT A-105 (2007) GENERAL CONDITIONS OF THE CONTRACT IS HEREBY MADE A PART OF THESE NGS AND SPECIFICATIONS.

THE CONTRACTOR SHALL DETERMINE THE SEGLENICS OF CONSTRUCTION ITEMS, 45 WIEL AS THOSE OVERDED FOR RY SEPARATE FERMIT. THE CONTRACTOR SHALL ARRANGE FOR INSPECTION AND TESTS AS CICIED OF IREQUIRED BY THE BUILDING DEPARTMENT AND SHALL RAY ALL FEES AND COSTS FOR SAME. TH MUTRACTOR SHALL SECCIFE ALL BUILDING FERMINS AND UPON COMPLETION OF THE PROLECT PRICES TO ALL PRIMENT) BUILDING TO THE BROLLECT PRICES TO ALL PRIMENT) BUILDING TO THE BROLLECT PRICES TO ALL PRIMENT) BUILDING AND WINNES A CERTIFICATE OF COCCUPANCY OR USE FROM THE BUILDING AND WINNES DEPARTMENT.

E EED PRICES SHALL INCLUEE PERTITHING HECESSAMY OR PROPER FOR PERFORMING AND COMPIETING MORE REGULATED AT THE PLANGE AND SEPECHATIONS. TO PROPIDE THIS END WORK, THING OMITIED THEREFROM WHICH IS CLEARLY NECESSAMY FOR THE COMPIETION OF THE WORK OR TISTEMANCE SHALL BE CONSIDERED A PORTION OF THE WORK ALTHOUGH NOT DRECTLY SPECIFIED OR AN ON THE DRAWNIGS.

NSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW, AND PUBLIC LIABILITY SHALL BE CARRIED THE CONTRACTOR.

ELD BEWEEN HE CONTRACTOR, ARCHITECT, OWNER AND REPERSIMANTS OF HE CONTRACTOR, ARCHITECT, OWNER AND REPERSIMANTS OF HE CONTRACTOR. ARCHITECT, OWNER AND REPERSIMANTS OF HE CONTRACTOR. ARCHITECT, OWNER AND REPERSIMANTS OF HE CONTRACTOR AND REPENSE A RREF IX DESCRIPTION OF PROCEDURE TO BE USED IN THE PERFORMANCE OF THE WORK AND PROVIDE A DULL [BAR CHART] FOR THE PROJECT.

DRE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL BE FAMILIAR WITH THE NATURE AND LOCATION WORK, THE GENERAL AND LOCAL CONDITIONS INCLUDING THOSE BEARNS ON TRANSPORTATION, NIG. AND STORAGE OF DEBRS, ACCESS TO THE STE, AND THE EGUIPMENT AND FACULTES NEEDED TO AN THE WORK.

OF WORK THE CONTRACTOR SHALL NICLIDE AND PROVIDE ALL LABOR, MATERIALS, EGLIPMENT, TAINTON AND PAY ALL DEPONSES NICLIRED IN THE PROPER COMPLETION OF WORK UNLESS LIVY NOTED TO BE THE WORK OF OTHERS, CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR ME A COMPLETE, HABITABLE PROJECT, INCLIDING BUT NOT LIMITED TO ARCHITECTURAL, ELECTRICAL, AND HAAC.

ALL MATERIALS AND FINISHES SHALL BE AS SPECIFIED AND/OR AS SELECTED BY THE ARCHITECT OR OWNER. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SAFE ACCESS TO THE PREMISES AT ALL TIMES.

HE CONTRACTOR SHALL ALLOW THE AJE TEAM A RESPONSE TIME OF 7 WORKING DAYS FOR RFTS AND 14 RIVING DAYS FOR SHOP-DRAWING REVIEWS.

I COMPLETION, THE CONTRACTOR SHALL REMOVE FROM THE PREMISES ALL RUBBISH, IMPLEMENTS, PMENT, AND SURPLUS MATERIALS, LEMING THE PROJECT "BROOM CLEAR".

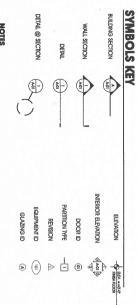
THE CONTRACTOR IS TO PROVIDE TO THE OWNER A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH DORESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES.

ESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY, SAFETY, SOF DALACCE WITH STATE AND TEREBUL LIATIONS REGARDINAS SAFETY AND COMPUTANCE WITH STATE AND TEREBUL LIATIONS REGARDINAS SAFETY AND COMPUTANCE WITH FROM THE SAFETY SAFETY AND CHAPTACHOCK THE REPORT OF THE PROPROMEMENT.

. DO NOT SCALE DRAWNIGS. USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS. ALL DIMENSIONS ARE TO ACE OF STUD UNLESS OTHERWISE NOTED. OTICCION: THE COMPACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS LOSSES AND DAMAGES TO FOLIPMENT, TOOLS AND MATERIALS USED IN CONLUNCTION WITH THE WORK FOR ACTS OF HIS EMPLOYEES.

T. THE COMPACTOR SHALL NOTIFY THE ARCHITECT IN WRITING AT LEAST ONE WEEK PROR TO FINAL INSECTION. HE COMPACTOR IS TO PROVIDE THE OWNER WITH PARTIAL RELEASE OF LIEN FOR EACH PAYMENT, AND A FINAL RELEASE OF LIEN AT COMMETION.

FINAL DISBURSEMENT TO THE CONTRACTOR SHALL NOT BE MADE UNTIL THE OWNERS PUNCH-LIST HAS BEEN TISFIED.

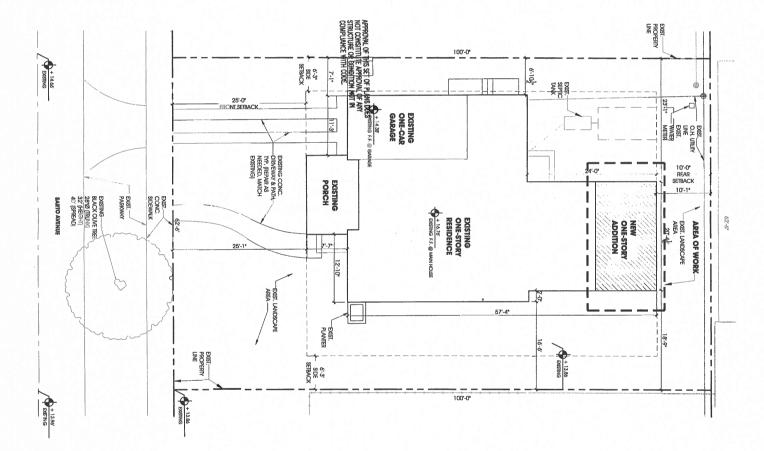


RAINWATER MUST BE RETAINED ON PROPERTY

2. LANDSCAPING WILL COMPLY WITH DADE COUNTY LANDSCAPE RESUIREMENT ORD. 98-13 CHAPTER 18A. ANDSCAPING NOT ALLOWED TO GROW WITHIN TRIANGLE OF VISIBILITY BETWEEN A HEIGHT OF 3' AND 8'.

I, FILL SHALL NOT BE BROUGHT UNTO SITE.

6. SOIL TENNITE CONTROL: THE ENTIRE SOIL AREA TO BE COVERED BY FOOTINGS, SLABS, FORCHES, ETC...SHALL BE TREATED WITH FUNDESAL OR EQUAL FOR TENNITES IN ACCORDANCE WITH SPECIFICATIONS. PROVIDE CHANNEL AGAINST SUBERRAUEAN TENNITES FOR 5 YEARS, AND OTHER TENNITES FOR 2 YEARS, FROM DATE OF COMPLETION.



LOT COVERAGE ALLOWED MAX. FLOOR AREA ALLOWED

2,831 SF=48% OF FIRST 5,000 S 35% NEXT 5,000 SF

1,904 S.F.

1,904 S.F. (30%)

LOCUS
ARCHITECTURE

500 South Dide Highway, Suite 307 Cord Gobies, Franca 33146 Tel (305) 740-120 Fax (305) 740-5798 Ucense No. AA0002733

208 Andalusia Avenue Coral Gables, Florida 33134 Tel.: (305) 442-9494 Fax: (305) 442-9297 Ucense No.: 061766

forre Development

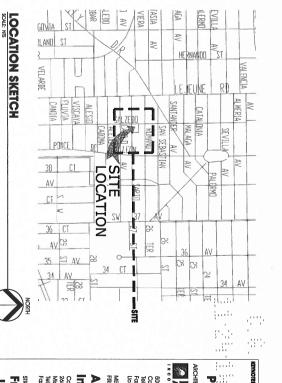
2,181 SF (35%)



S-2 S-4 S-5

& DETAILS

GENERAL NOTES
SECTIONS & DETAILS GENERAL NOTES, SCHEDULES, ROOF FRAMING PLAN FOUNDATION PLAN



LOCUS

PROJECT TEAM

500 South Divide Highway, Suthe 307 Coral Gables, Florida 33134 Tel (305) 740-1790 Fax (305) 740-5798 License No. A40002733

Coral Gable International Piaza 2655 Le Jeune Road Sulte PHTF Miami, Fiorida, 33134 Tei. (305) 444-9809 Fax (305) 444-9827

<u>ਜ</u>

ARPE Engineering, MECHANICAL / ELECTRICAL / PLUMBING/ FIRE PROTECTION:

Jr., PE, Inc.
147 Ahombra Circle, Ste. 220
Coral Gobles, R. 33134
fal.; (305) 567-0125
Fac. (305) 567-0129
Loense No. 40087

Francisco Cuello

# LEGAL DESCRIPTION

SCOPE OF WORK OTS 41 AND 42 AND WEST \$ OF LOT 40, BLOC TO THE PLAT THEREOF, AS RECORDED IN PLAT IX 7 OF CORAL GABLES COCONUT GROVE SECTION PART ONE ACCORDING BOOK 14 AT PAGE 25 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY,

### NEW ONE-STORY MASTER BATH/CLOSET ADDIT ON, NEW LAUNDRY

AND IMPACT WINDOWS TO REPLACE EXISTING.

208 Andalusia Avenue Coral Gables, Florida 33134 Tel.: (305) 442-9494

Mr.Venny Torre

CODE/ALTERATION ZONED: ZONING INFORMATION LOT SIZE FLOOD ZONE: MIN. FLOOR ELEVATION 6,232 SF ₽-1 REQUIRED BC RESIDENTIAL 2010, ALTERATION LEVEL 3 16\* (1.33) ABOVE CROWN OF ROAD (CROWN = 15.99) PROPOSED ADDITION: EXISTING TO MATCH 16.76' N.G.V.D. PROVIDED

2 1/2 STORIES OR 34'-0"	13'-11" EXISTING 11'-2" PROPOSED
2,492 SF (40%)	4,178 S.F. (67%) *20% OF REAL 40% OF BI LANDSCAPE SHALL BE PROVIDED AT PROVIDED; [1.450 SF, 22% PROVIDED]
REQUIRED	PROVIDED
25-0• MIN.	25'-0" MIN. (EXSTING)
6'-3" MIN. (BOTH SIDES ADD UP TO	6'-10}*
6'-3" MIN.	16'-6".
10'-0" MIN.	10-1"
FIRST FLOOR	TOTAL
1253 SF EXISTING + 232 NEW ADDITION	1,485 SF
279 SF EXISTING	279 SF EXISTING
140 SF EXISTING	140 SF EXISTING
	2 1/2 STORES OR 34-0*  2.492 SF (40%)  REQUIRED  25-0-MAN.  6'-3* MAN. 10'-0* MAN.  FIRST FLOOR  1253 SF DASTING 279 SF DASTING 140 SF DASTING

HISTORICAL REVIEW

11-05-2014

# Drawing Contents SHEET NO. SHEET CONTENTS

Addition and Alterations to: 239 Sarto Residence

239 Sarto Avenue Coral Gables, Florida 33134

1,904 SF

1,904 SF

A-03 PROPOSED FLOOR PLAN A-01 NEW SITE PLAN AND ZONING INFORMATION
A-02 DEMOLITION PLAN RCHITECTURE M-02 HVAC DETAILS
M-03 HVAC SCHEDULES HVAC DETAILS HVAC FLOOR PLAN

# A-06 EXSTING & PROP-SOUTH & EAST EXTERIOR ELEVATIONS A-06 EXSTING & PROP-NORTH & WEST EXTERIOR ELEVATIONS A-07 DOOR & WINDOW SCHEDULES ELECTRICAL

A-04 PROPOSED ROOF PLAN

E-01 ELECTRICAL SITE PLAN & FLOOR PLAN E-02 ELECTRICAL NOTES & DETAILS

PLUMBING FLOOR PLAN

### New Site Plan & Zoning Information

March MEN.

AR 13937

GHET NO.

PLUMBING RISER DIAGRAM & SCHEDULES

A-01

# DEMOLITION PLAN LEGEND

XISTING DOOR AND FRAME TO REMAIN

# **ELECTRICAL DEMOLITION NOTES**

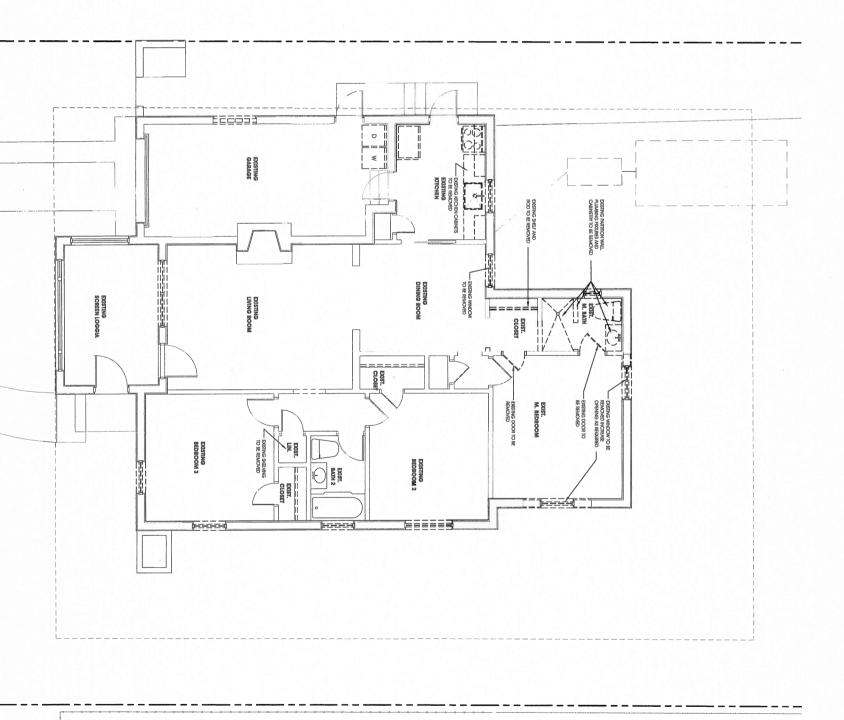
1. COMPACTION S TO VERRY WITH OWNER AND IDENTRY ALL EXISTING PIPES, CONDUITS, ETC. TO REMAIN PROIR TO DEMOLITION, MARK ALL PIRES, CONDUITS, ETC. NOT TO BE DEMOLISHED WITH RED PAYIN, IN PORTAN ALL SISS POOLOGNACTORS.

2. INLESS OTHERWISE NOTED AS EXISTING TO REMAIN OR TO BE RELOCATED, ALL LIGHTING FRUTINES, RECEPHOLES, SMICHES, SPECHA CONLICTORS, PLANTING FRUTINGS, MICHES, SWICHARDINGS, POWER OUTLICTORS, AND COMPANIES IN CONTROL STREMM FRUMEN, POWER OUTLICTORS AND COMPANIES IN CONTROL STREMM FRUMEN, CONTROL STREMM FRUMEN, POWER OUTLICES AND COMPANIES IN CONTROL STREMM FRUMEN, CONTROL STREMM FRUMEN, CONTROL STREMM FRUMEN, POWER OUTLINGS HOUT OF THE POWER OF THE CONTROL STREMM FRUMEN, AND THE CONTROL STREMM FRUMEN FR

# PLUMBING DEMOLITION NOTES

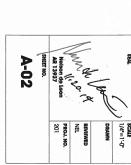
CONTRACTIOR SHALL VERIFY WITH OWNER PRIOR TO DEMOLSHING ALL EXSTING SINKS AND WC TO BE REMOVED OR RELOCATED.





ARCHITECTURE
IN CORP. OR AT 1 ID

SOOS-AID BINE HIGHOWS, Sub- 337
Control Geoles, Excello 331 (A)
Tol. (250) 7-01.202
Grag (250) 17-01.203
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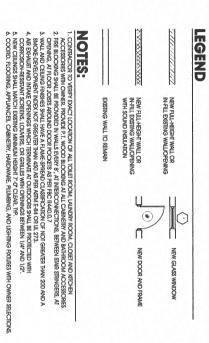
239 Sarto Avenue Coral Gables, Florida 33134

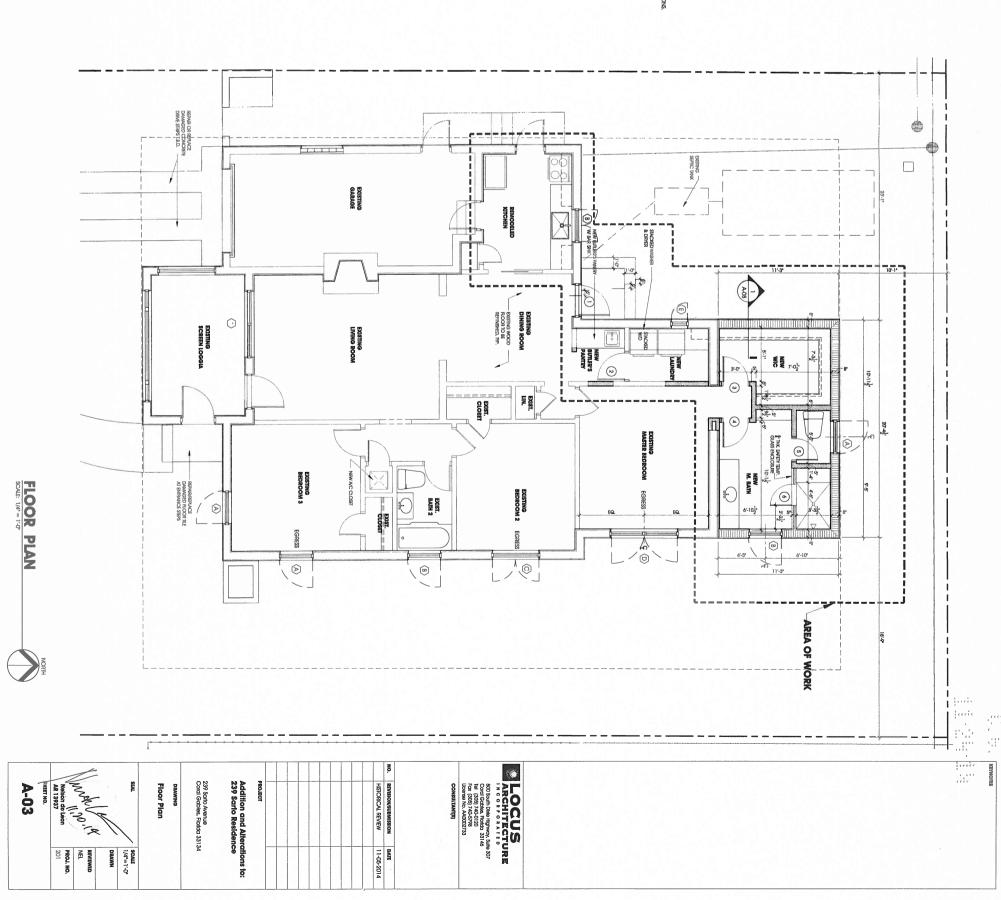
Addition and Alterations to: 239 Sarto Residence

DEMOLITION PLAN

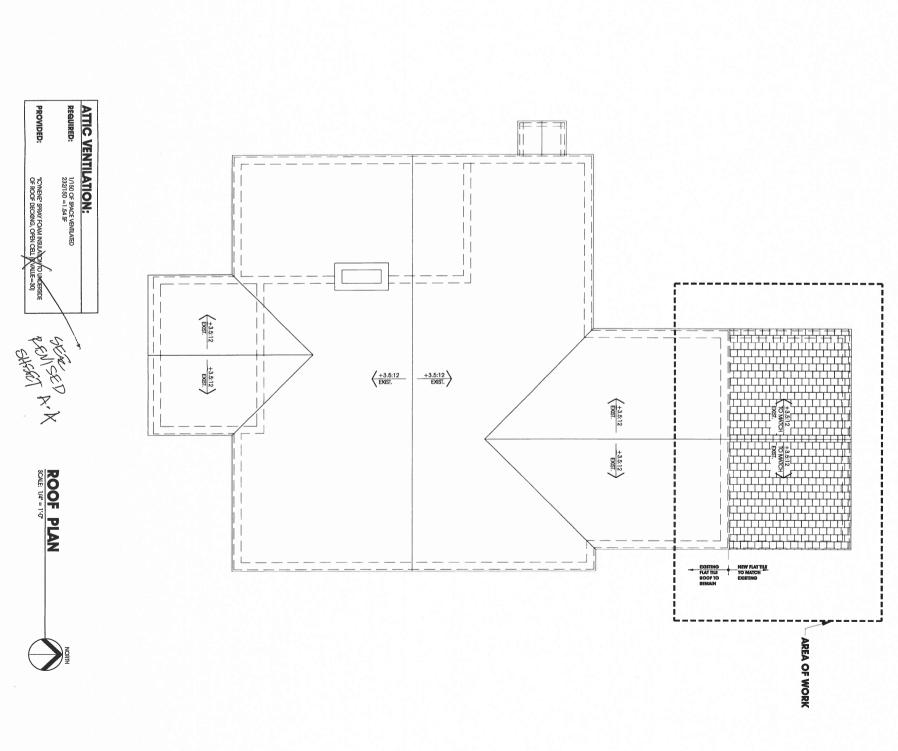
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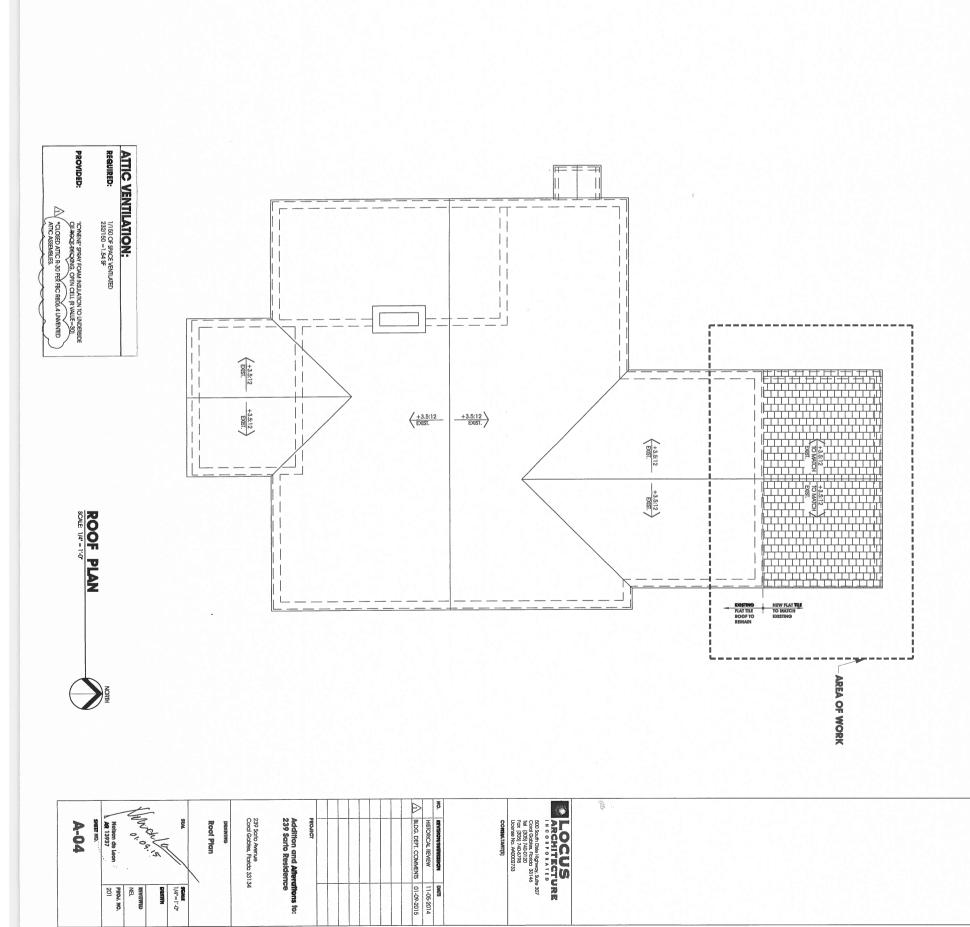


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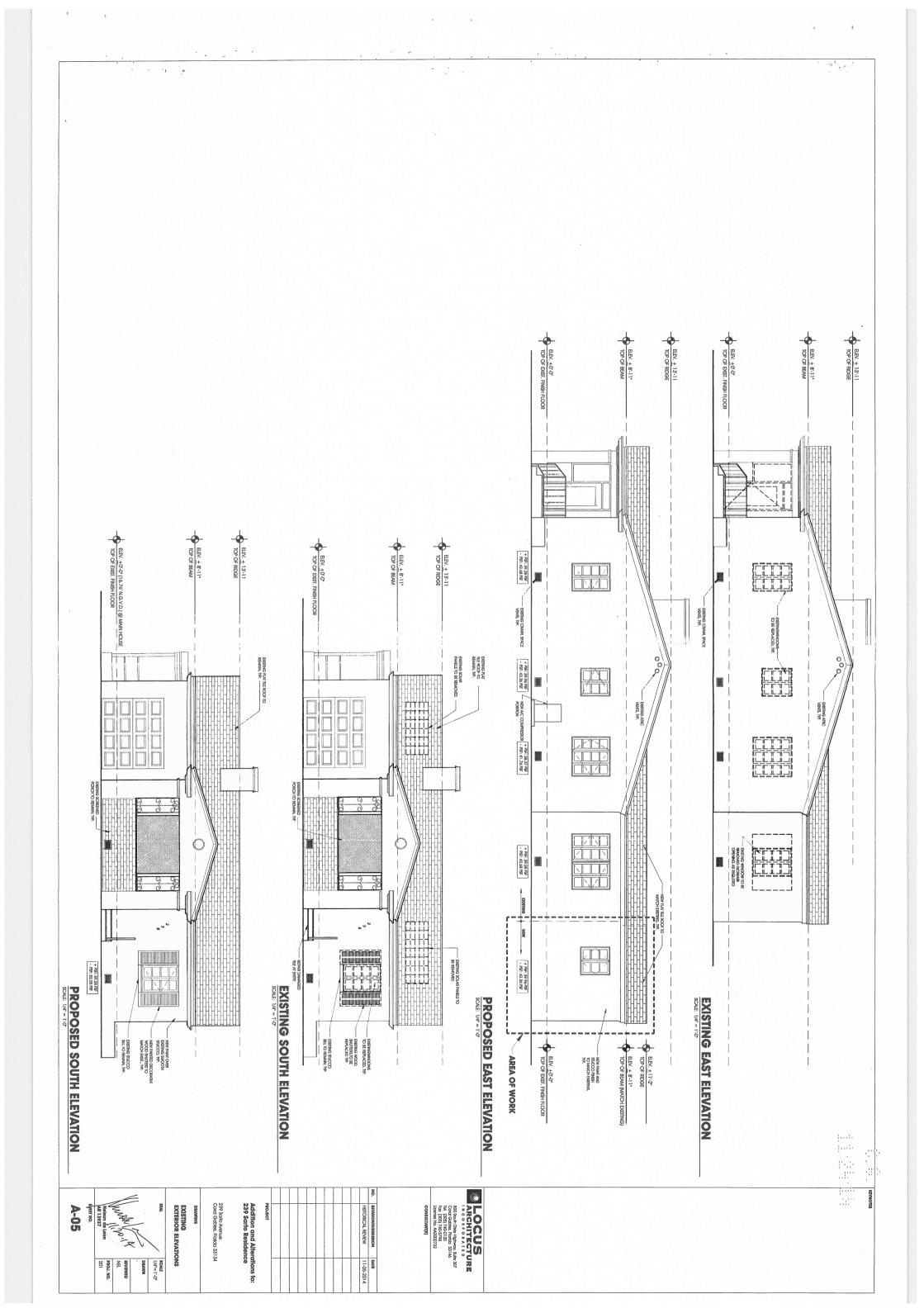
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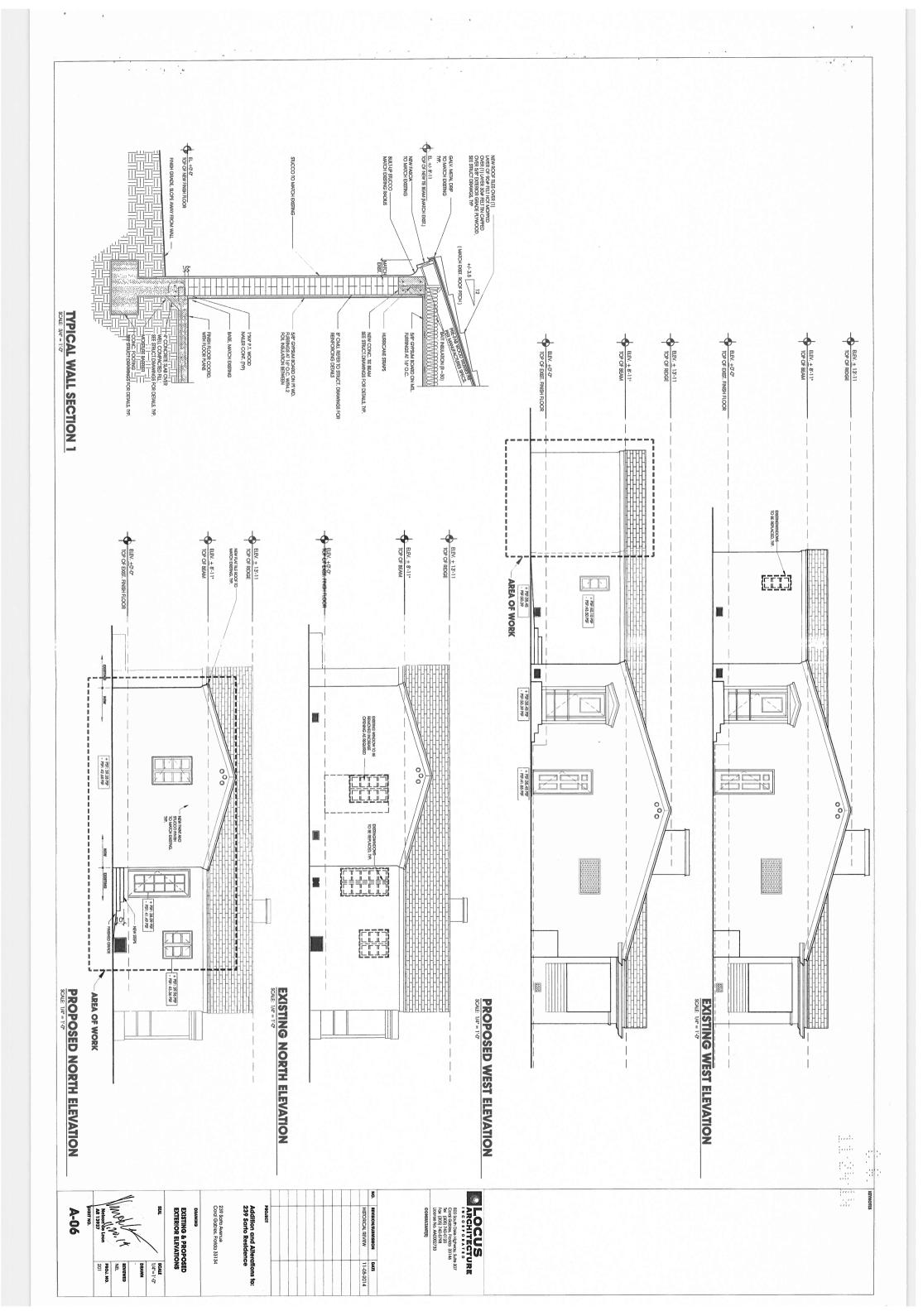


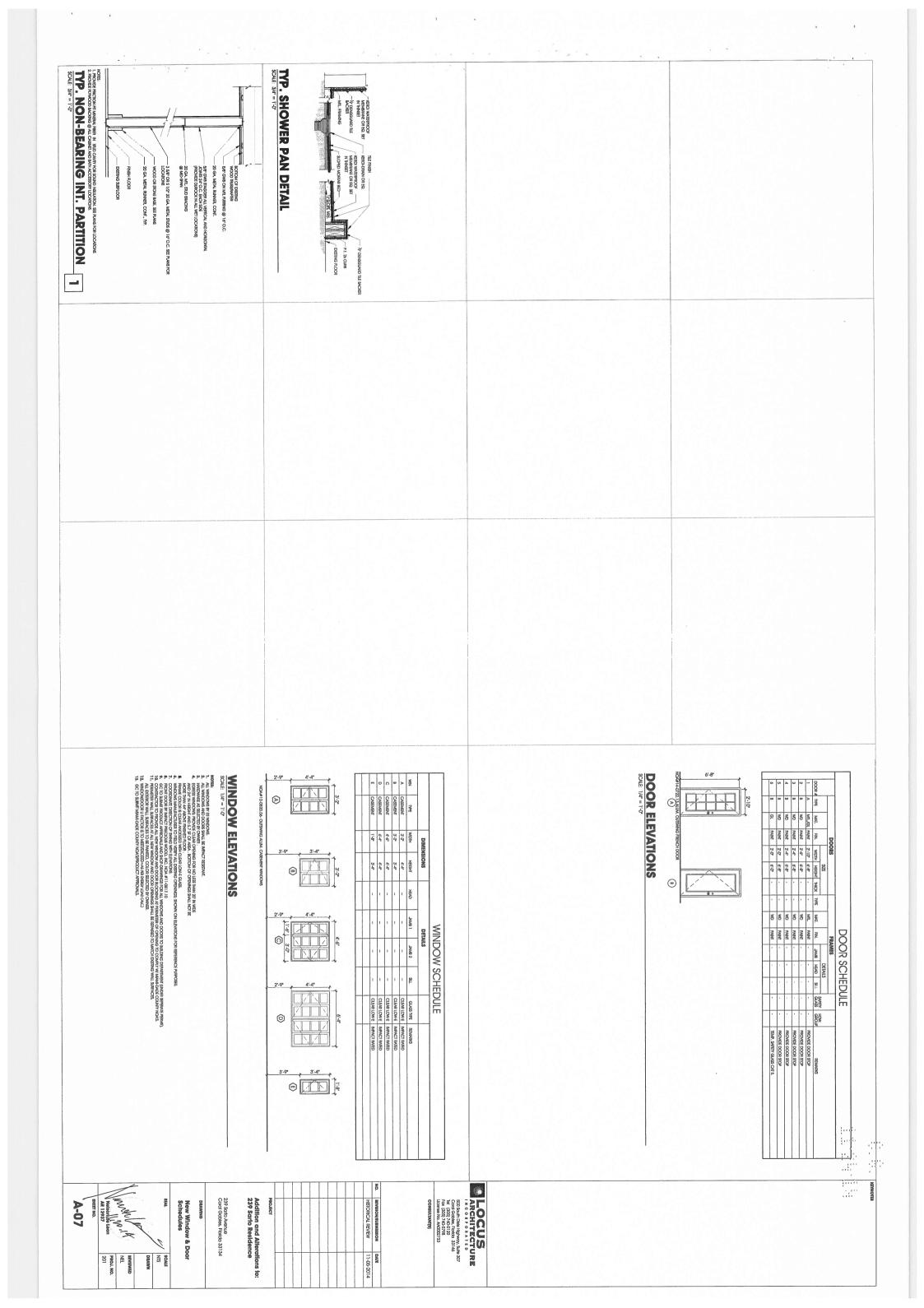
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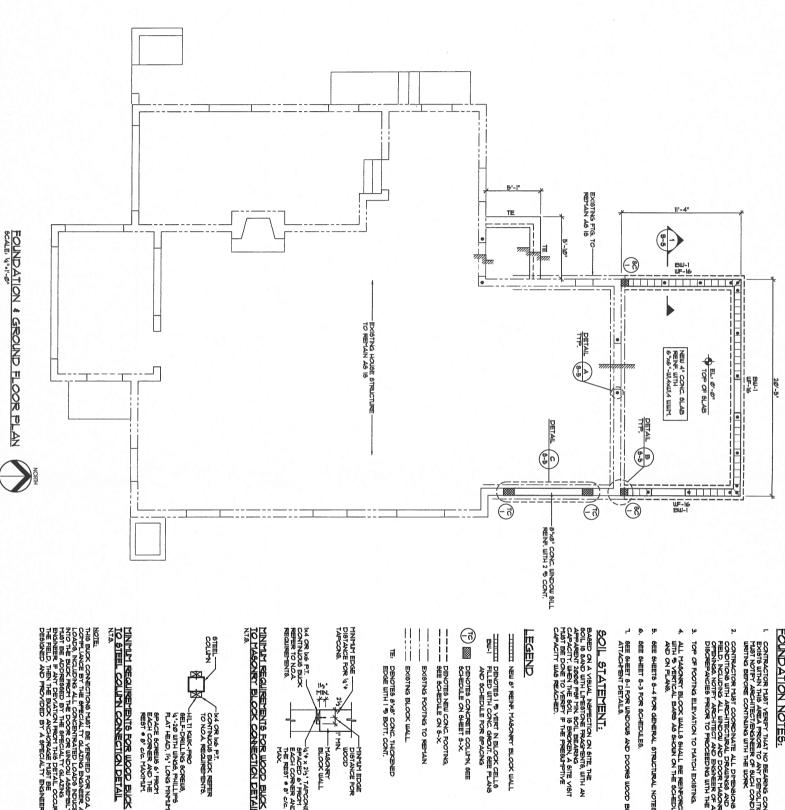
1/4"=1'-0"

NEL PROJ. NO.









# FOUNDATION NOTES:

- L CONTRACTOR MUST VERIFY THAT NO BEARING CONDITION EXISTS WITHIN THIS AREA PRIOR TO ANY DETICLITION THIS NOTIFY ARCHITECTEDISHIERE OF SUCH CONDITION IN WRITING BEFORE CONTINUING WITH THE WORK
- CANTALOR MUST COORDINATE ALL DYENSIONS AND CONTINUE MACHITECTURAL DRAWNESS AND A HEALT NATURAL DRAWNESS AND AND DOOR TASKING TO PROCEED AS MICHAELT AND MACHITECT AND TASKING AND TASKING TO PROCEED AS MITH THE WORK. TOP OF FOOTING ELEVATION TO MATCH EXISTING.
- ALL MASONRY BLOCK WALLS SHALL BE RENFORCED WITH 55 VERTICAL BARS AS SHOWN ON THE SCHEDULE AND ON FLANS.
- SEE SHEETS 8-4 FOR GENERAL STRUCTURAL NOTES.
- SEE SHEET 6-3 FOR SCHEDULES.
- SEE SHEET S-I FOR WINDOWS AND DOORS WOOD BUCKS ATTACHTENT DETAILS.

- EMELLED WITH CONG. GROUT. SEE PLANS
  AND SCHEDULE FOR SPACING THE B" REINT. MASONRY BLOCK WALL
- --- DENOTES NEW CONC. FOOTING,
- EXISTING FOOTING TO REMAIN
- TE: DENOTES 8'x8' CONC. THICKENED EDGE WITH 1 5 BOTT. CONT.

HASONRY BLOCK WALL

### MINIMIM REQUIREMENTS FOR WOOD BUCK TO MASONRY BLOCK CONNECTION DETAIL NTS. IN A STATE ON STATE ON STATE OF A STATE OF A STATE OF A STATE OF S



# MINIMAN REQUIREMENTS FOR WOOD BUCK TO STEEL COLUMN CONNECTION DETAIL NTS.

Addition and Alterations to: 239 Sarto Residence

239 Sarto Avenue Coral Gables, Florida 33134

Foundation & Ground Floor Plan

1/4"=1'-0" DRAWN

SPACE SCREWS 6' FROM EACH CONNER AND THE REST • 8' c/c, MAXIMUM.

CISCO CUELLO JR. P.E., INC.
sulting CIVI/Bructural Engineer
ALIA/TERA CIRCLE SUITE 200
CORAL (GABLES, FL 33194
(305) 561-0/25
Reg. No. 40081

PROJ. NO. 201

HISTORICAL REVIEW 11-05-2014

LOCUS

Solutions, Inc.
Mr. Luis Diaz
3650 NW 82 Avenue, Suite 501
Doral, Fl. 33166
Tel. (305)

Lat Capital

ERAL CONTRACTOR:

Solutions, Inc.
Mr. Luis Dicz
3650 NW 82 Avenue, Suite 501
Dacal, Fl. 33166
Tel. (305)

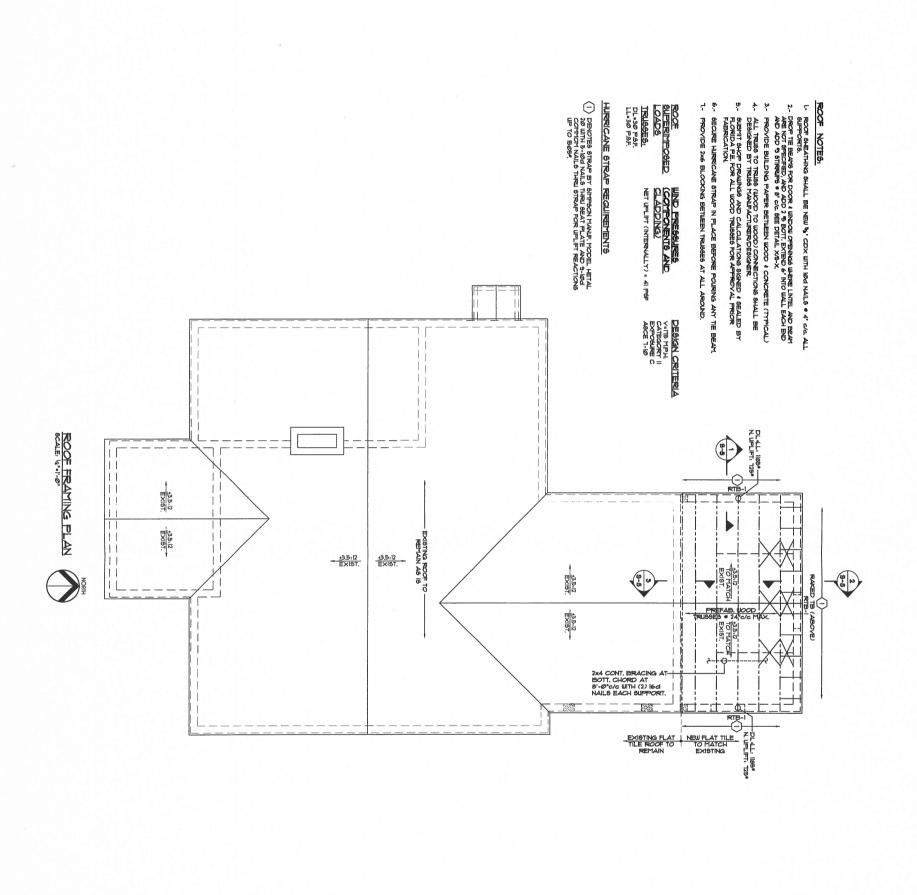
Lat Capital

Coral Gable International Plaza 2655 Le Jeune Road Sutte PHT F Miamt, Florida, 331 34 Tel. (305) 444-9809 Fax (305) 444-9827 STRUCTURAL ENGINEER:

500 South Dide Highway, Suite 307 Cord Gables, Florida 33134 Tel (305) 740-0120 Fox (305) 740-5798 License No. A40002733 ARPE Engineering, MECHANICAL / ELECTRICAL / PLUMBING/ FIRE PROTECTION:

LOCUS

PROJECT TEAM



FRANCISCO CUELLO JR. P.E., INC.
CONSULTING CIVILIDATURAL EI ENGINER
INT ALHAPERA CIRCLE SUITE 1200
CORAL GABLES, H. 33194
CORAL GABLES, H. 33194
Reg. No. 40081

**S-2** 

Neison de Leon AR 13937 NEL PROJ. NO. 201

Roof Framing Plan

200 Sun Dae Hyrmy, Sale 307 Conf Gothan, Product 33146 For 18091, John Stephenson, John Stephenson, Product 33146 For 18091, John Stephenson, REVISION/SUBMISSION HISTORICAL REVIEW Addition and Alterations to: 239 Sarto Residence 239 Sarto Avenue Coral Gables, Florida 33134

Lat Capital Solutions, Inc. Mr. List Dizz Mr

Lat Capital Solutions, Inc. Mr. List Doz 3550 NW 82 Avenue, Suffe 501 Doci, Fl. 331 66

STRUCTURAL ENGINEER:

Cord Gable International Plaza 2655 Le Jeune Road Suite PH1F Microf, Forlad, 33134 Tel. (305) 444-9807 Fax (305) 444-9827

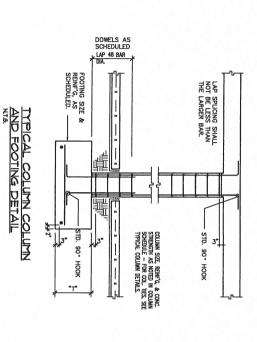
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500 South Dide Highway, Suttle 307 Cord Gobbes, Florida 33134 Tel (305) 740-0120 Fax (305) 740-5798 Ucense No. AA0002733 ARPE Engineering, MECHANICAL / ELECTRICAL / PLUMBING/ FIRE PROTECTION:

LOCUS ARGITECTURE

PROJECT TEAM

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		(TC) 8"x12"		MARK - SIZE	00
		4 #5	VERTICAL	70	トロゴス
		#3 P@ 8" c/c.	TIES	REINFORCING	COLUMN SCHEDULE
			7		U L E

	WF-16	MARK	П
	16"×12"	81ZE	FOOTING
	2 #5 BOTT. CONTINUOUS	REINFORCEMENT	NG SCHEDUL
		REMARKS	D U L E

		WF-16	MARK	
		16"×12"	81ZE	FOOTING
		2 #5 BOTT. CONTINUOUS	REINFORCEMENT	NG SCHEDULE
			REMARKS	DULE

A	8IZE	REINFORCEMENT	REMARKS
/F-16	161×1211	2 \$5 BOTT. CONTINUOUS	

FEE PLANS

ROOF TO REINF. SEE BEAM SCHEDULE

ADD 930 . 8' c/c.

MARK

THICKNES

BLOCK WALL SCHEDULE

-1

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% • 48°

9 GAGE JOINT REINT.

• 16'c/c (LADDER TYPE)

REMARKS

COLUMN BAR-ARRANGEMENT DIAGRAMS

239 Sarto Avenue Coral Gables, Florida 33134

Schedule & Details

TYPICAL CONC. HEADER DETAIL ABOYE WINDOW/DOOR OPENINGS.

(6-B)

HINDOW OR DOOR OPENING

BLOCK WALL

FRANCISCO CUELLO JR. P.E., INC.
Consulting Civil/Shuctural Engineer
I/1 ALHA/TBRA CIPCLE 9118
CORAL (AJBLES, FL. 33194
(1365) 561-0015
Reg. No. 40081

Nelson de Leon AR 13937 SHEET NO. S-3 DRAWN 1/4"=1'-0"

ARGUITACTURE

500 Sculm Date Hymory, Sulle 307
Count Scales, Florido 33146
Fee 1889 740-5798
Learnes No., AMERICAN, Fee Addition and Alterations to: 239 Sarto Residence

Lat Capital Solutions, Inc. Mr. List Diaz Mr

GENERAL CONTRACTOR:

Lat Capital

Solutions, Inc.

Mr. LUS DOZ.

MR. LUS

| NARK | TOP OF SIZE | REINFORCING | STIRRUPS | BEAM | INJ. | B T C E No. | SPACING | STIRRUPS | ST

ш

REMARKS

30 4@12" E.E. BAL @48

TYPICAL BEAM DIAGRAM

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TOP BAS CALLED FOR A CONTRUCIS BUS SHOULD FOR BOS.

STIRRUPS AS SCHEDULED
111/3" COVER ALL SIDES

STRUCTURAL ENGINEER:

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CHEVER IS GREATER

UHICHEVER IS GREATER

ARPE Engineering, MECHANICAL / ELECTRICAL / PLUMBING/ FIRE PROTECTION:

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500 South Dise Hymory, Sulle 307
Cord Geches, Roido 33134
la (303) 746-798
Fox (305) 746-798
License No. AA0022733

PROJECT TEAM

# GENERAL STRUCTURAL NOTES

THE CONTRACTOR SHALL CHECK, REVIEW AND VERBY ALL FLANS, DISENSIONS AND SITE CONDITIONS, IF CONDITIONS VAR, ROY THAT NDICATED ON THE FLANS, THE CONTRACTOR SHALL NOTIFY THE JACKHTECT AND ENGINEER IN WRITING BEFORE ROCKEDING WITH THE WORK. I CASE OF DISCREPANCY BETWEEN SCALED DRAWINGS AND NOICATED DIFERSIONS, THE NOICATED DIFERSIONS SHALL YERN ENGINEER SHALL BE NOTIFIED IN WRITNG OF ANY DISCREPANCY BEFORE PROCEEDING WITH THE WORK.

, REACTOR SHE AND COMPIENT HEAR OF ACCESS AND EXCESS TO ALL PARTS OF THE OPERATION SHALL ENGINEERING SHEARING S

EDISTRICE AND LOCATION OF ENSINE INDEREGROUPD INITIES OF STECHESS ARE NOT UNAVAINED AND SHALL PERIMATION AND TREPTED DEFICIES THATING MORE DOCAMATION IN THE MONITY OF ENSINES STECHINES AND THE SHALL BE CAREFULY DOCK BY HAVE FINCESSARY, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR AND CESTO, AND TOR HANDENANCE AND PROTECTION OF, EXSTINA UNLITES AND STRUCTURES, THE ENGINEER SHALL BE ED N. MRITING F. ANY CORPLICTS ENSIN.

ORK IS TO BE PREVARED CONCURRENTLY BY OTHER CONTRACTORS OR UTILITES WITHIN THE SITE IT SHALL BE THE PONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH OTHER CONTRACTORS OR UTILITY COPENAES AND THE DISSERVED. IN SUMMA AND MULLA FORD DUCTO, AND OFFER PECHANICAL AND ELECTRICAL EQUIPMENT MALL DE
TED BY THE COMPRACTOR TO BE WERE THE CHENKES MILL ACCOPPROVINE THE ACTUAL EXPIRMENT TO DE WERD,
BY DOWNELL ALL OFFINING MEDIS AND LOCATIONS SHALL BE PRECEDENT DETERMEND DUST, THE ACTS AND
MICH DEPOSITION OF THE MEDIS AND LOCATIONS SHALL BE PLACED AND AND DAMPING SHOWNESS MALL BE PLACED AND
MICH DEPOSITION OF THE MEDIS AND AND THE MEDIS AND AND AND COMPRECIDED AND
TO THE CHEMICAL DETERMENT HET DUCH DISTANCE HAVE DEEM COORDINATION AND COMPRECIDE AND
THE MAN THE COMPRICATION SHALL BY DICK THE AND CONTROLLING PROTE TO SHOW SHAPE AND AND AND POPULATION OF THE PLACE THE PLACE THE ACT TO THE MEDIS AND THE PLACE THE PLACE THE ACT TO THE MEDIS AND THE PLACE THE PLACE THE ACT TO THE ACT THE MEDIS AND THE PLACE THE ACT TO THE ACT THE ACT

TO DEMITTIENS REGUIREDING SHALL BE THE RESPONSIBILITY OF THE CAPIRACTICS A SCIENCINCAL ENGNEER ROLLOSS SHALL BE RETAINED BY THE CAPIRACTOR TO CONSIDER THE FIFTO OF DEMITTIENS OF ALL BE AND INITITIES WHICH THE CAPIRACTOR SHOWN AND A STANDARD A STANDARD THE CAPIRACTOR SHOWN AS AND PROTECTION OF, DUSTING UNITITIES AND THE SHOULDS AND PROTECTION OF, DUSTING UNITITIES AND THE SHOULDS AND PROTECTION OF, DUSTING UNITITIES AND THE SHOULDS AND AND AND THE PROJECT.

TRUCTURAL PRINTER OF RECORD HAS DEBINED AND IN REPONSIBLE FOR OALY THE PROCESS INTERCLIPS.
VORBINS SHOW, IN THIS SET OF PRINCIPAL CONSTRUCTION LOCATIONS THE REPORTED OF A PEFCALT OR.
ASTED DEASHER, IF REQUIRED, THIS COPPLY WITH THE SCOPE OF SERVICES AS CUIT, NED IN THE PROJECT
TRUCTION DOCUMENTS.

REVIEW OF SUBMITTAL 18 FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT AS PRESENTED BY THE CONTRACT YOUTHERING, NO DETAILED CHECK OF CLANTITIES ON DIFEISIONS WILL BE MADE. DRAINGS ART TO BE SEPTITED IN A TITELY HANNER ALLOING ADEAUTE THE FOR PROCESSING AN AMERICAE TAL WILL BE REFORMED WITHAN FOLKE MEDDAGE DATO RECEIPT BY DENGERER ALL SEMPTIAL SHALL BE PANED BY A LETTER OF TRANSMITTAL, AND BELAR EYODINGS OF CONTROLCIORS AFFRONCE.

SWYC DYALINGA REQUIROKA (A DELEKATE) PROFESSIOALL BRONEER ARE REPORTATION AD ERECTION DRAIDINGA BEASENDAR BIT NOT INTED TO THE OPPLICATION FIRSTA ALIVINAT OR LIGHT EAST BITEL DYTEMOR WILL BYTEMOR BEASENCHIED DIETH, STARRA, HANDRALLA, PRECLAST CONCRETE COMPONENTS, POST TEMBORING BEASENCHIED DIETH, STARRA, HANDRALLA, BASTONINALL, STEEL, COMPONENTS, POST TEMBORINGA RK, AND FALLER LURIC SHORKS, AND RESENCIANG.

, refroduction of contract structural drawings are not to be submitted as shop drawings, calculations no shop drawings shall dentify specific products utilized, ceneric products will not be accepted. THIT PIVE PROVIDED ALL HAVED DRAWNING POR REVIEW SHOPD DRAWNING MIGHT BE CHECKED AND APPROVED BY CACCION AND SALED BY SPECIALTY ON DELEGATED HUNDRA PROTESSIONAL ENGINEER FREGURED, PRIOR TO SOUTH, LINE TO DO SO WILL BE CAUSE FOR REJECTION. Wased and additions "Nade on re-servital may be clearly reacced and noted the reprose of the That may be clearly noted on the letter of transmittal review of the re-servital mild be limited I this causna the reservission.

OF SHOP DRAINES SHALL NOT RELIENE THE CONTRACTOR OF ANY CONTRACT RECUIREMENTS, EYEN IF SUCH ITEMS SHOULD ON SHOP DRAINESS, ENGAGE ASSUMED AND REPORTABILITY FOR DYNESIONS, CLAYMITES, ERROTES OR 58 AS RESULT OF REPORTAINES ANY ENCYCLE ANY ERROTES OR CHISSIONS HAS BE MADE GOOD BY TOR, IRRESPECTIVE OF RECEIPT OR REVIEW OF SHOP DRAINESS BY DRAINEER.

SHOP DRAWNES NOT MEETING THE ABOVE CRITERIA OR SUBMITTED AFTER FABRICATION WILL NOT BE REVIEWED.

BUILDINGS DESIGNED FOR FOLLOWING SUFERIFFICIED DEAD AND LIVE LOADS: ISIDENTIAL:

ALL STRUCTURAL COMPONENTS AND SYSTEMS SHALL BE DESKARED FOR SELF WEIGHT, SUFERIMPOSED DEAD LOADS, XCENTRATED LOADS SHOUN ON PLANS, AND THE LIVE LOADS SHOUN ABOVE.

NOW STRANGER OF COST. RECHEMENTS WALL GOVERN F CORT ICT BUSINESTED NO. ALL REFERENCES TO SECURIOR AND PRACTICES NALIDED AS PARE OF PRECINCULAR AND PRACTICES NALIDED AS PARE OF PRECINCULAR AND PRACTICES WALL BE LIVER BUSINESS PRECINCULAR AND PRACTICES NALIDED AS PARE OF PRACTICES NALIDED AND PRACTICES NALIDED TO SECURIOR PROPERTY OF SECURIOR AND PRACTICES WALL BE LIVERS INDICATE AND AND AND PRACTICES NALIDED TO SECURIOR PROPERTY OF SECURIOR AND PRACTICES WALL BE LIVERS INDICATED AND AND AND PRACTICES NALIDED TO SECURIOR PROPERTY OF SECURIOR AND PRACTICES NALIDED TO SECURIOR PROPERTY OF SECURIOR AND PRACTICES NALIDED TO SECURIOR PROPERTY OF SECURIOR PROPERT TAX SHALL BE DOR IN ACCORDANCE WITH THE 2009 FLORIDA BUILDING CODEMINAL HID PLEICATY FEBC. AND ALL REPLICABLE LOCAL COORDAN CRIACAL COORDA OR RECULATIONS IT THE POST STRIKENET REJURGED SHAVIL FROJECT SHALL BE DESIGNATED A HIGH WIND VELOCITY ZONE FOR RETERENCED BUILDING CODE.

SHOP DRAWINGS AND WIND AND STRUCTURAL CALCULATIONS SHALL BE PREPARED BY A DELEGATED PROFESSIONAL GIVERN AND SUBHITTED FOR REVIEW. ME CONT (FLORIDA) PRODUCT CONTROL APPROVAL SHALL BE RECUIRED FOR ALL IMPOUS, DOORS, LONGES , OTHER SHLIDN'S ENFALORE COPPORTS ALL PRODUCTS SHALL BE LACE MISSIE PRACT RATED AND SHALL FELY WITH PROJECT WHO LOAD, WATER NITURION AND SUZ RECUIRENSITE.

OF DRAINKS, DADE CONTY PRODUCT APPROVALS AND YAMFACTURER'S TERGUINE SHALL IDRITEY THE SPECIFIC LECT, SHALL LIST ALL DESIGN CRITERA, SHALL IDRITEY DESIGN SYMMOLOGY SHED AND SHALL SHOU ALL DETAILS ESSARY FOR PROPER RECCTION COYFARATIVE ANALYSIS AND EQUIVALBY ANCHOR CALCULATIONS SHALL BE STITLED IF REQUIRED.

DOORS AND UNDOUG SHALL BE ERECTED IN A MANUER UNICH ALLOUG FOR VIBUAL INSPECTION OF ALL ELEMENTS AND TANECTIONS.

RAILINGA, ÓTAIR-RAILINGA, HANDRAILG AND OTHER GMILAR BAFEGLARDG SHALL BE DESIGNED PER THE REGUIRENTENTS ORIDA BUILDING CODE KOP DRAUNKA AND MANEACTHERRY LITERATURE SHALL IDENTRY THE SPECIFIC PROJECT, SHALL LIST ALL DESIGN Tiera, Shall Identry Design Standards (UED) and Shall Shou all details recessary for profer exection.

MINIMA 2000 PSF 80IL BY THIS OFFICE IN OFFICE TO BE SUBMITTED TO THE BUILDING

ALL CONCRETE 64.86 ON GRADE 6HALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 300 RECOMMEDIED PARCTICE FOR CONCRETE BLOOR AND BLAIS CONSTRUCTION, WON, BLABS ON GRADE BHALL BE FLACED BY THE STRIP CLAST RETHOD. HAS BLOOK SHOPE, BLAIS CHASTE BLOOK AND BLAIS CONSTRUCTION, WON, BLABS ON GRADE BHALL BE FLACED BY THE STRIP CLAST RETHOD. ALL CONCRETE 8L499 ON GRADE SHALL BE A INIMIN'D OF 4 NO-255 THICK, AND REMPOREDS 26% - 184 X IDA ALIVANED IELDED IMME TESH, REPORTE ADDRIVANL LATER A INIMIN'D F3 1-64 IDBE ALOKS ALL CONTRUCTON JOINTS, DJACONT TO MALLS AND BUILDING PERIFEREN WELDED WIRE FASHIC SHALL CONFORT TO JOINT JABS,

A NO WORKYEN OR MATERIALA SHALL BE ALLONED ON ANY CONCRETE SLAB UNTIL SUFFICIENT THE 1146 ELAPSED SO THAT THISH WILL NOT BE DAYNGED AND CURNG COMPOUND HAS DRIED. CURNG COMPOUND SHALL BE PROTECTED. ED ON ANY CONCRETE BLAB FOR A MINIMUM OF TEN (10) DAYS AFTER

1. FLOOR SLABS ON GRADE ARE TO BE PLACED ON CLEAN WELL GRADED GRANLAR NONCOLESNE AND KON-PLASTIC PALL COMPACTED TO AT LEAST 594. ALASHTO YETHOOD, T-865. PREPARE BUSGRADE 45 NOTCATED UNDER SITE PREPARATION. 6. CONTRACTOR SHALL PROTECT ALL SLABS FORM DAMAGE AND SHALL REPAIR OR REPLACE DAMAGED SLAB SECTION AT NO COST TO THE CHNER.

A PROVIDE TOOLD ID NOT PREMAIN INCH DEEP, N.A.H. BIDEMALGS AT A HAVING HEACHS OF 5 THET ON CENTER AND REALITICAL DONG WITH HELTER AT A HAVING HEACHS OF 30 THET ON CENTER, PROVIDE BOULTION, DONG WITH FILER AT ALL CHANGES IN SERVIAL PREMITOR.

I FORDATION SIZES ARE BARED ON A ALLOWISHE SOIL BEJANG PRESSURE OF 2000 PRF. ALL ROTINGS TO BEJAR ON WAIRLAN, EXCA MO SHALL BE RILLY EPERDOED INTO THE MAIRLAN EXCENDRATION, IN ROICHED ON STRUCTURAL MAIRLAN EXCENDED STRUCTURES THAT BEJAR ON SOIL PREPARED PRAIMAGE FORTINGS FOR ANCILLARY TO BEJANGS OR HALKAR STRUCTURES INTOLLINES THAT BEJAR ON SOIL PREPARED IN ACCORDIANCE WITH THE SITE PREPARATION SECTION OF STRUCTURAL GENERAL NOTES. ), (OP OF PODING ARE AT SAFE BLEVATION AT JUNCTURE OF IMAL FOOTING AND COLUMN FOOTING IMAL FOOTING REPROPEDEMENT TO RAN CONTINUOUS THROUGH COLUMN FOOTING BLOPE TO BOTTION OF LOWER FOOTING AT I VERTICAL TO 3 AGRIZIONIAL BLOPE.

3.4LT ROTING SHALL BE A THYRLY OF 3"-0" BELOUTHIGH FLOOR ELEVATION OR 1"-0" BELOUTHIGH GRADE, UNICHEVER IS LOUER VALESS OTHERWISE NOTED LION.

I REMONE DIBINIS (OP BOIL, TOP UP ROOT INNIVAL NALUDIS ALL Y SEETATION, REOT 6161819 MICK, BITS OR ANY OTHER DELITERIOUS NATIERAL INTIAN, THE BUILDING AREA PLUS RYKE (S) THET ON ALL BIDES, IF WITHN BUILDING PROFERTI AND NOT CESTRACTED BY EXCENTES STRUCTURES.

A THEY CONTROL OF 14M 2 ABOVE BRING THE BRING TO CONSTRUCTION GRACE BY BLAVE CLEAN HELL GRACED GRAVALLER, KINCLOCKEN, AND CHAPA ABITC PLL THATBELL IN LIFE ON TO EXCEED AS IN-LICK CLEAN HELL GRACED AND CHAPALE AND CHAPA ABITC PLL THATBELL IN LIFE ON THE CONTROL OF THE AND CHAPACE AN

4. AFER DOCAVATIONS FOR THE FOOTING MADIOR GRADE BELVE MAD HE BOTTOT SUFFACES OF THE DOCAVATIONS GRADED. THE MATERIAL BILL CONFORMED BUNNER A PERSON THE OF NOT LESS THAN 150 FOANDS STATIC LIBIGATION OF DIVERSITION OF THE CONTINUE OF THE STATIC LIBIGATION OF THE TWO FERFEDDICALLING DIRECTIONS.

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LL POMED NELACE CONCRETE SMALL RE ÓR POLLORS. BELMS COLMAS BLASS PAUDATIONS, 4000 POLLAT 20 DATS, WC RATIO» 0.4 ALL CHER CONCRETE 50000 POLLAT 20 DATS ALL CHER CONCRETE 50000 POLLAT 20 DATS COAMER EAGRESATE 6022 6MALL NOT DICCEDD 3/4 NC4, DICCETT IN FOOTINGS IN UNION AGGREGATE 6022 6MALL NOT EXED I NC4.

I. ALL CONCRETE LUTSK BHALL BE IN ACCORDINACE WITH ACT-301 RECEIPCATIONS FOR BITALCITIENT, CONCRETE FOR BUILDINGS AND ACT-385 BUILDING COOR BEAUTHER FOR REINFORCED CONCRETE LATERS EDITION, AND ACT-395R HOT BATHER CONCRETING, LUCN. CONTRACTOR BHALL FLANTAIN A COPT OF ACT-301 AT JOB BITE.

A. THE CONTRACTOR SHALL TAKE APPROPRIATE TEXANIES FOR THOSE INSTALLS WENT THE CONCRETE MISH EXCEED SO DESIGNED AT THE OF LACESSING CONCRETE MISH OF THE CONCRETE MISH OF THE CONCRETE INSTALL HOT SEE USED IF THE CONCRETE INSTALL HOT SEE USED IF THE CONCRETE INSTALL HOT SEE USED IF THE I. ADMIXTURES REQUIRE WRITTEN APPROVAL, WON.

R. DEPOSED CANCETTE MALL HAVE THE TOP EMPACE COATED WITH ATTI HTDRO CIELAR CHEE MAY TELLOWING N DCCORDANCE WITH THAN EACHWER'S RECIFICATIONS ARD RECOTTENDATIONS OR AN APPROVED EQUAL COCKDINITE WITH ARCHITECTURAL TRIMBES. LI TANCO CAUCAS IN CONCETTE AGE TO BE ANTICPATED. COMPACTOR SHALL BE GEROMSHILE FILING AND SEALING ALL CRACAS COMPACTOR SHALL BERTH TO EMEMBER VINETING LANDING AND DESCRIPTION OF ALL CRACAS AND PROPOSED TETHOD FOR REPAIRMS SAID CRACAS PRIOR TO THE START OF REPAIR LORK.

9. BYPANSION JONT FILLER SHALL BE STRIPS OF PROPER WIDTH OF REDIBLE, CLOSED CELL, BYPANDED POLYURETHANE, JRETHANE OR POLYESTER SEALED ON BOTTOM TO PREVISIT DROPPOUT.

SE WITERSTOPS SHALL RE & NOJES WICE RY 30% NCH HUCK COTRUDE POLYNYNT CALGORIE WITERSTOPS ARE RECURRED N. ALL ARBERTACE Y MALTOFT AND RETAINSK WALL WARE POR IP NCH THOUTED ON FAWNERS, ALL JOHTS OR SPLICES TO BE HEAT RISED NOTALL IN STRICT ACCORDANCE WITH MANUFACTURE RECONTEDULITORS. L FERTORTI BLIFF TEST AND YALD 5 TEST ØFECHENS FOR EACH 30 CENEY (ARCS OR FRACTICA) THEREOF FOR EACH CLARG OR STRENSIN FOR CONCRETE THACED EACH DAY IN ACCORDANCE WITH JASHT-CSI, CSS AND CHS, HOLD ONE SPECIFEN FOR TESTING AT 45 DAYS IF 30 DAY TEST DOES NOT KEET ØFECHEATIONS. 

IS, FILL N. ALL HOLES AND OPENINGS LIEFT IN CONCRETE OR HABONEY, MIXPLACE AND CURE CONCRETECEMENT TO BLEND WITH IN PLACE CONSTRUCTION, PROVIDE OTHER MISCELLANGUIS FILLING REQUIRED TO COMPLETE THE WORK, ACARTE IURAS AMAL DE PLUTB, TRAE TO LINE, LENEL AND TO THICKNESS AND SIZE SPECIFIED INIVITAT ALL'OLIMSI E RAMACES PAR CONCERNE CONSTRUCTION BLASED ON ACTUAL DIPERSIONS ARE AS NOTICATED UNDER MACONET SECTION BREVAL KOTES AND ACI-SO, UNICIENTAR IS MORE STRANSBIT.

VERNORCHA STEEL SHALL BE DOCESTIC DEFORED BANS, REE ROY LOOSE RUST AND SCALE AND CORPORTING TO THE LATEST ASTY AND SE GAUGE 60 SPECIFICATION, REINFORCHA STEEL TO BE WELDED SHALL CONFORT TO THE LATEST ASTY AND SPECIFICATION. 2. PLACHS AND DETAILNG SHALL BE N ACCORDANCE WITH ACL 35 HANAM, OF STANDARD FRACTICE FOR DETAILNG REPAYCHED CONCRETE STRUCTURES. ALL ACCEBECRES SHALL HAVE UP-TURNED LEGS AND PLASTIC DIPPED AFTER VARIOUTION.

3, COLLIN DOJELA, BAPE BIZE AND NIPERER AN VERTICAL, ABOME BPELCED WITH CLASS B BRILICES OR MINIMIN BI NOVES, MOUN PROVIDE BIANDARD HOOKS AT ALL NON-CONTINUOUS BROS OF MERTICAL REINFORCEPENT, DATEND TO TOP OF BOTTION FIRELL IN FOOTINGS AND BOTTION OF TOP STEEL IN BEAMS OR BLASS, PROVIDE ROLD TEPPLETS FOR DOJEL. LOCATION.

3.2.2.2.2.8DE

1. ADDED REMORDETENT, BOTTON BARGE START AT KON-CORTINUOUS EDIGES FOR BYD SPAN, TOP BARGE CENTERED OVER SUPPORTES PROVIDE BARGE AT CHIER AND INERE COPIEES OR INTERSECTION FACES TOP AND BOTTON, BAYES FOR BUT PROVIDED AND STANDARD WITH HOOKED BARGE, IF BOTTON BEAUTHER STANDARD BARGETEN OF A TOP REQUIRED WITH HOOKED BARGE, IF HOOKES ARE OVER 7". O' IN LIBIGIT, HINNAM PROJECT REQUIRED BATG.

2 neeth Lindl. I2 NO-25 DEP WIN, 2 is for Ard Bottoff Ard is teal At a NO-25 ON CENTRE FOR SHAND.
LEAS THAN 4 THE 1.6 NO-255 DEP WIN, 2 is for AND BOTTOM WIN 19 THE AT 1 NO-25 ON CENTRE CONTROVAD.
FOR SHAND IP TO 8 THET, WE HALF THE SHAPPOWED FOR YE A NO-25 WILLD.
3. THE THE SHAPPOWED WINL THE 8 IN CLAUSE PROVIDE DOES TO 19 AND GROUT BLOCK CELL AT EACH BIDE OF CHEMINE SHAPPOWED DESCRIPTION OF AND THE CHEMINE SHAPPOWED DESCRIPTION OF A THE THE CHAPPOWED DESCRIPTION OF THE SHAPPOWED DESCRIPTION OF THE SHAP

R MACARY UNITS SHALL BE HIGH STERKITH COACESTE BLOCK COMPRING TO JAITH COS MOTIVAR SHALL BE TITED IT IN ACCORDANCE BITH JAITH CITS. TEST ONE SET THATEE SPECITIES) IN ACCORDANCE BITH JAITH CITS FOR EVERY 5,000 SF OF BLALL AREA.

8. PILED CELLA REGIRED AT ALL CARASTA, NIERBECTONS AND BOS OF WIALS, NCJUDYS WHOOW AND DOOR OPENINSA, ADD 19 BAPK AT ALL TILED CELLS DEVELOP NTO CONCRETE AND STANDARD HOOK AT DISCONTINUOU BIOS, MINTENT LAP SPLICE IS 30 NCHES.

IN CRACKS IN MACREY ARE TO BE ANTICIPATED. CONTRACTOR SHALL BE TREPONIBLE IT LINKS AND REALINS ALL CRACKS AND CRACKS CONTRACTOR SHALL BEART TO BEGINERE IN NIGHTIS LOCATION AND DEPORTED FOR ALL CRACKS AND PROPOSED INTIMO FOR REPAIRING SHALD CRACKS PROR TO THE START OF REPAIR NORK.

2. FOR COULTING, BUILDING CORREGI, CONTROL JOINTS AND OTHER CONSPICUOUS LINES. R. NAYT STORT OF 120 FEET IN NICH. D. N. 40 FEET OR TOKE 17 NICH.

D. VARIATION IN CROSS SECTIONAL DIVERSIONS OF COLUMNS AND IN THE THICKNESS OF WALLS SHALL BE FLUS OR TIBLIS US INCH.

L'MASONEY INTE SHALL HAVE A MINTAM FRIBM STRENGTH BASED ON AVERACE NET AREA OF 1860 PSI N 28 DAYS IN ACCORDANCE WITH ASTM CHAP, MASONEY INTE SHALL BE A MINTAM OF 80% BOLID.

4 RENFORMS SIEL SHALL BY ASTI ASS, SAME AS, LAP CONTINUOS RENFORCEDENT AS DANS DIMETERS. LON, USE DAR SPACEDS IN THEM TOWARTH (A) COLUMBE APPER CELLS ARE TO BE SOUTED, PROVIDE CLEAVOIT AND THE CREMINADES IN THEM TOWARTH (A) COLUMBE AND THE CREMINADES AND A MENTIONAL SPACING OF A - SP OK CREMES.

A. HALLE MARKET TO A HACTEN HEART OF THEMS (D) THET.

A) PLACE MARKET TO A HACTEN HEART OF THEMS (D) THET.

B) CLEAR IMPORT TO A HACTEN ARE COMMUNION SERTICAL CELL WHALL BE A PHINTEN OF INCASE BY INCASE BY

ALL ANCHORS SHALL BE STANLESS STEEL PLATED ANCHORS SHALL BE USED ONLY WHERE SPECIFICALLY REPORTED ON STRUCTURAL DRAWINGS.

4. MANTAM EMERCHENT BHALL BE CONCRETE THICKNESS MINUS 1-12 INCHES, USE LONGEST AVAILABLE ANCHOR THAT MAINTANS CONCRETE COVER STATED.

C. MINIMUM ANCHOR EDGE DIBTANCE - IØ DIAMETERS

S, UNETER ANCHOR BOLTS AFER SET IN MASCHRY WALLS, FILL 3 (ANCHOR BOLT LOCATION AND ADJACENT CELLS). BLOCK CELLS WITH COARSE GROUT TO BEAY, BLAB OR FOUNDATION ABOVE AND BELOW BLOCK CELL OFBUNG PRACINA AND EICHE DISTANCE LEIS THAN 10 MINITAT IS NOT ALLCHED, EICHE FRENFORZETEN IS PROVIDED STATED, BOME, THE CONTRACTION SHALL NOTEY THE BIGNEETR NINITATIONS EPIGNE PROCEEDING WITH WORK I SEE CONDITIONS EXIST.

IALL WORK SHALL BE DONE IN ACCORDIANCE WITH AC1830 BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND AC18301 SPECIFICATION FOR MASONRY STRUCTURES.

B. ALL TRUES TO TRUES CONFIDENCE
CHORDS AND SIFFECH I HAVERS AT
TRUESES SHALL BE ANDERTO TO BE
NAILS FER CONFECTION (AT EACHINE
BEACHES OF 24 NOISES ON CENTER.

4. TRUBB FRAMING FLAN 18 FOR RESPONSIBLE FOR COMPLETE

6. THE CONTRACTOR SHALL COX AND ANCHORAGE LOCATIONS UN CONTRACTOR/TRUSS MANUFACTUR AFFROYAL

COMPONATION SHALL BE STAFTED WITHOUT FRUIT TRUBS SHOP PREJURES THE CONTROL THE CONTROL LONG TO CONTROL THE CONTROL LONG THE C

3. THE COLUMNS SHALL BE A MINIMAL OF 8  $\times$  2 in with four (4) \* 5 Add \* 3 Tes at 8 inches on center worldese are infinian the column requirements, see structural drawings for additional requirements.

L (AGOLT PAR PILLED CELLS SHALL DE COARSE (FEA ROCK GOOLT) COAPGRING TO ABIT CATS WITH A NINEM COMPRESSIVE STREAM OF 30000 PM 108 DATS A ACCORDANCE WITH ABIT CAS TEST SAMPLES FOR COMPRESSIVE SHALL DE LACH EVERT THEIT YARDS OR LESS, NO ACTIVILIZES FERRITED WITHOUT WRITEN APPROVAL OF BASERIER.

B. VARATION FROM THE LEVEL OR GRADES NOTICATED ON THE DRAWNOS. LETOR BEAVS, LINELS, BILLS, PARAMETIS, HORIZONTAL GROOMES AND OTHER CONSPICUOUS LINES. L. N. DEETI VA NOT. ID. N. 40 FEET OR MORE IN NOTI

C. VARIATION OF THE LINEAR BUILDNS LINES FROM ESTABLISHED POSITION IN FLAN: I RELATED PORTION OF COLUMNS, WILLS AND PARTITIONS.

8. NAT'P BAY OR AS THEFT IV NICH.

b. NAS THET OR MORE IN NICH.

A MACARY UNITO BUILL HAVE 30 NOTHELL BEDDING MORTING REPORTADING NTO CELL CANTIES, THAT ARE TO BE REMONICED AND GROUTED, BUILL BE RETIONED, ALLOW A TININIAM OF 24 HOURS FOR MORTIAR TO CURE BEFORE PLACING GROUT.

. TESTING NOTICATING ABOVE SHALL BE AT THE DISCRETION OF THE BIGNEER AND MAIST BE WAYED IN WRITING BY WINNERS RALLINGE TO ADSCRAFE TY AT THE DISCRETION OF THE BIGNEER THANTAN ADSCRAFE TYMERAL BECOMEN OR PROJECT CAUALITY CONTROL PROCEDURES SHALL NALLEY WRITIAN WAYER OF TESTING ECLIRENCY.

D F THRYLL SPACKS AND EDGE DISTANCE CANNOT BE TANTANED OR F STATEDORAMIN AS LESS OLDRAMINS.
PROVIDE F 45, 1-61, UNA FOR MACHINA BY TO 38 MEN AND 140 124 TO 124 FOR LARGE MACHINE, REPORTED AND ACCION WITH A HORIZONTAL SPACKS OF 3 NOVEE, PROVIDE DE LATER OR FOR ENTRY OF STATED AND ACCION WITH A HORIZONTAL SPACKS OF 3 NOVEE, PROVIDE DESTANDATION FOR SERVICES AND ACCION WITH A HORIZON ACCION LATER OR THE ACERS AND ACCIONS. REPORTED OFFER AND ACCION SPACKS SHALLES AND DESCRIBE APART AND AND EDGELS APART AND AND EDGELS AND ACCION SPACKS SHALLES AND ACCION SPACKS AND ACC

REFERENCE RENFORCEST N. 8486 FERTSDICLLAR TO MAN STEEL N. 8ECOND LATER 4 N. -5 + 2 N. 5 N. -44 = N. N. + N. -4 + 2 N. 1 N. AND 5 N. -4 + 10 N. CANTER LUCK ITWINTH LAP AT SPLICE 16 16 NO.CES. STACKER SPLICES.

2. PROVIDE INNIMI TIE BEAMS 8 N. X. Z. N. WITH 2 \* 5 TOP AND BOTTICH FOR 8 NCH MARCHET WILLS, 4 N. X. Z. N. BEAMS WITH 1 \* 5 TOP AND BOTTICH FOR A NCH MARCHET WILLS, PROVIDE 15 TIES AT IS NCHES ON CENTER WITH. ADDITIONAL TIES AT A NCHES AND CENTER AT ALL CORRESSION ON REPAY INDIVIDING THE PEAM REQUIREMENTS, SEE STRUCTURAL DRAWNAS FOR ADDITIONAL REQUIREMENTS, SEE STRUCTURAL DRAWNAS FOR ADDITIONAL REQUIREMENTS.

REINFORCED HABOURY NOTES FOR ADDITIONAL REQUIREMENTS

CONSMITE MASKING WALL BE PLUE TIME TO USE WITH LISTEL COMMISS ACCIDATELY EPICED AND BUILT TO CONSMIT CONSTRUCTION BASED ON TUML INTERNANCE AND END PARTIENN ALLOUGH.

VARIATION FROM PLUE NITERN INTERNANCE AND SHEVACES OF VERTICAL ELEPSTISH

NU DEET MA NOTAL PROPERTY OF NOTAL THE NITER AND SHEVACES OF VERTICAL ELEPSTISH

NU DEET MA NOTAL THE TABLE 38 NOTAL

NU DEET MA NOTAL THE TABLE 38 NOTAL TH

2 OFE BET OF MACHINY UNTO SHALL BE TENTED IN NOVANCE OF BESINNING OPERATIONS AND ONE BET FIELD TENTED DURNG CONSTRUCTION FOR EUCH \$0000 BF OF UNLL AREA, TENTING SHALL BE IN ACCORDIANCE WITH ASTY CAM.

3. NSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURE SPECIFICATION AND RECORDENDATIONS.

R, SPACNS AND EDGE DISTANCE SHALL BE AS FOLLOUS. A AS SPECIFED BY THE PHANFACTURE TO ATTAIN FILL LOAD CAPACITY IN SHEAR AND TENSION AND AS STATED BELOUI.

AND SHOP DRAWINGS WILL BE

4. THE DELAYS AND THE COLUMNS SHALL BE POURED AFTER BLOCK WALLS ARE ERECTED.

TALL TRANSLLAR, TRAPIZOD. SIDED TRANSES ARE NOT ALLO TRANSFERING RELL UPULLT AND 8. ROCF SHALL BE LOADED (ROCFING MATERIALS,TILES,HAKES,FTC) UNFORTLY DURNS CONSTRUCT UNSTITETRICAL LOADS SHALL BE AVOIDED.

D. TRUBS SUBSYSTEMS AND PIC ABOYE EL PROVIDE MERITICAL CROSS BRACKIÓ AT EACH GABLE BOX OF BILLDING AND AT A HAYANIM REVACHIÓ OF THE THEI OAL CHITRE, AND DOTTION FOR AT LEAST 3 TRUBERS BRACKIÓ SIZE AND CONTECTIONS AS NDICATED ABOVE OR AS SHOUN ON PLANS. A ALL TRAKEN HIST DE BELJERLY SPACED DERNA ERECTION AND JATES FERT-MERT INSTALLATION BUILDING. IN ALCOROMACE BITH CAPITENIARY AND RECORFEDATIONED FOR MANDLAN BITHLING AND BUILDING NET HAVE CAMELTED LOCOL TREASES, TRASE FLATE NOTITICE IN LOCITION, FERT-MERT SPACENS SHALL BE DESIGNED BY THE REPOLLATION FOR MANDLAND AND AN THINNIFF WALLE DE AS FORLIADING. e truso manifacture shall consider perfansant bracha reguirements during truso layout and deskan Truso layout or deskan unich cannot be rejoilly ferfansantly braced uill not be accepted. ", FERMARH" LED BRACK SHALL BE DESIGED TO RACTION INDEPENDANT Y OF THE MAIN STRUCTURE SCAS OR "BRACKS SHALL BE LIED FOR ALL LIED HEMBERS AS REQUIRED BY THE MAINACHINERS SHOP DRAINGA. CONTINUIS LOKATIONAL BRACING 1846 204 MRI AT 1 HET ON CANTER, LAPPED CONTECTED TO CAPACES BITH 2-164 MAILA, BOD SA DESGREE DIAGONAL BRACING AT 1 HED TH OF TRUBS, SIZE AND CONNECTIONS AS NOTICATED ABOVE YBACK TRUBBEB REQUIRE MINIMAM BRACING AND OTHER REQUIREMENTS AS STATED

LOUY 09 Let.

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ID. TRUBSER, TRUBS PRAYTING PLAY, CONFECTIONS AND BRACING SHALL BE DESIGNED AND SKANED AND SEALED BY A DELEGATED FLORIDA PROFESSIONAL ENGINEER.

C. UND LOADS FER THE AKET-16 FOR HEIGH, ROOF BLOFE, BLAFE AND PARTICULT OFEN STRUCTURE AS PAPILICABLE BEPARATE CALCILATIONS FOR UND LOADS BHALL BE SEETHED NOTICATING ALL ASSISTENCES AND CRITERAL D. MINIMUM NET UPLIFT LOAD: BEE ROOF PLAN. B. CONCENTRATED LOADS AS NOICATED IN DRAWINGS

E. STRESS NOREASE SHALL NOT BE USED FOR STEEL DESIGN OF METAL TRUBS PLATES.

AND THE PARTY STATES OF CONTRACT AND THE SECOND STATES OF THE STATES OF 12. STORE WOOD TRUBBES ABOVE GRADE OR FLOOR AND PROTECTED FROM WEATHER DIRECTURAL AND MISCELL NEONS STEEL

LAL SPELTIPAL STEL POPEZ DECTIONS TO BE DOTESTIC JAITA A-98 (PT-98000 FINAL) DO CONSTRUCTION AND THE LATEST AND SPECIAL POPE AND SPECIAL AND SPECIAL SPECIAL PROPERTY AND SPECIAL AND SPECIAL AND SPECIAL SPEC

2.5 THE TIBES TO BE DYESTIC STEEL CORPORTION TO ARTH A-500 GEADE B, PY-4000 FM, PPER COLLEY B, PY-4000 FM, PPER COLLEY TO BE AND THE GOOD FM. THE ADDRESS OF AN INTERPRETATION OF THE ADDRESS OF AN INTERPRETATION OF THE ADDRESS OF AN INTERPRETATION OF THE ADDRESS 3. BOLTO TO BE HIGH STRENGTH (ASMT-ASSB) 3/4 NOHES DIAFETER, UNLESS OTHERWISE SPECIFIES PROVIDE MATCHING HA, NUTS AND WASHERS.

IS, ALL IND MAY TO BE DONE BY CERTIFID INLINES IN ACCORDANCE WITH AFRICAN MEDIAN ACCORDANCE MITH A PRICAM MEDIAN ACCORDANCE MITH AND ACCORDANCE MITH AND ACCORDANCE MITH AND ACCORDANCE MITH AND ACCORDANCE MITH ACCORDANCE MI 4. ALL ANCHORS AND ANCH AND CONFORMING TO ASTIM ANCHORS AND/OR ANCHOR OR BOLTS EMBEDDED IN CONCRETE SHALL BE HOP DIPPED GALVANIZED A-36 SPECIFICATION, ILON, PROVIDE NITS AND IMSHERS SAME FINISH AS 7 BOLTS.

T. WHERE REACTION VALUES ARE NOT SHOWN ON THE STRUCTURAL DRAWNAS, THE CONNECTIONS SELECTED SHALL DEVELOP THE HEYEBR IN SHEAR AND SHEAR AND KOTENT FOR TIC HOYEST CONNECTION. S, SEE THE POLLOUNG NOTES FOR ADDITIONAL APPLICABLE REQUIREMENTS STEEL JOISTS, STEEL DECKS AND REINFORCING STEEL

B. STEEL BEARNG ON STEEL TO BE WELDED THERETO, EXCEPT AT EXPANSION JOINTS. TON HINMAN 4 MILL DRY F URAL STEEL WITH RUSTOLEUM "169" RED PRIMER, OR APPROVED EQUA TUM THICKNESS.

IL RETER TO ARCHITECTRAL PLANS FOR FREEPROOFNS OF STRUCTURAL STELL PERSERS.

IL SHAPP DRAWINGS ARE RECURRED, SHAP DRAWINGS SHALL BOBLIET THE STREETE FRACINED LIST ALL DEBAG CATERAL THE ALL MAIRTAIN SHEEPER CANADON AND SHAP SHEEPER CALL THE SHAPE AND SHAP SHAPE CALL AND SHAPE SHAPE CANADON DEFINES AND THE SHAPE THE 16, FOR MISCELLANEOUS STEEL NOT SHOWN ON THESE DRAWNESS SEE ARCHITECTURAL AND MECHANICAL DRAWNESS.

THE SHEETS SHALL BE PLACED CONTINUOUSLY AND UNDER CONCRETE SLABS PLACED THE SHETS AND ITS NOTALLATION SHALL COPPLY WITH THE REQUIREMENTS OF THE ADMINISTRATION OF THE SHALLOW SHALL BE SHALLD WITH THICK, AND ALL DRIVES SHALL BE LAPPED IDEA SHETS SHALL BE HANTH OF INT. HICK, AND ALL DRIVES SHALL BE LAPPED THE WHITH THE PREVIOUS SHALL BE SHALLD WITH HASTIC OR THE HOLD WITH THE PREVIOUS SHALL BE SHALLD WITH HASTIC OR THE CHARLES SHALLD WITH HASTIC OR THE CHARLES SHALL BE SHALLD WITH HASTIC OR THE CHARLES SHALLD WITH HASTIC OR THE CHARLES SHALL BE SHALLD WITH HASTIC OR THE CHARLES SHALLD WITH HASTIC OR THE CHARLES SHALL BE SHALLD WITH HASTIC OR THE CHARLES SHALL BE SHALLD WITH THE CHARLES SHALL BE SHALLD WITH THE CHARLES SHALLD WITH THE CHARLD WITH THE CHARLES SHALLD WITH THE CHARLES SHALLD WITH THE CHARLD WITH THE CHARLES SHALLD WITH THE CHARLD WITH

TRANCIBCO CUELLO JR. P.E., INC.
Consulting Chvil/Structural Engineer
(AT ALHA/TBRA CIPCLE SUITE 2000
CORAL GARJES FL 33934
(306) 561-0/18
Rag, No. 400081

NOT NOICTED ON DRAWINGS SHALL BE 5/8 INCH DIAMETER WITH MINIMUS. FROUGH WOOD SHALL BE 1/6 NCH LARGER THAN BOLT.

;;;;

2.41 COMECTION FILLIES SHALL BE A FIRSTATI TRICORES OF IS GLACE AND SHALL BE TANKFACIBED FROM STELL TERMS IN THE CHARLES STRICK OF A SHALL BE ALL SH CORPORT WITH THE APPLICABLE PROVISIONS OF THE NATIONAL DESIGN NECESTICATION UNTOWAL POREST PRODUCTS ASSOCIATION, THE DESIGN NECESTICATION DOOD TRUSSES, TRUSS PLATE INSTITUTE AND THE FLORIDA BUILDING CODE. **9**' , ', ' PROJECT TEAM

LOCUS

SHERAL CORPORIANCE AND LAYOUT ONLY. TRUES MANUFACTURE SHALL BE NGMEERING DESKAN 500 South Dixie Highway, Suite 307 Corol Gables, Florida 33134 Tel (305) 740-0120 Fax (305) 740-5798 License No. AA0002733 HANICAL / ELECTRICAL / PLUMBING/ PROTECTION:

ARPE Engineering,

Coral Gable International Plaza 2655 Le Jeurre Road Suite PHI F Milant, Florida, 331 34 Tel. (305) 444-9809 Fax (305) 444-9827 STRUCTURAL ENGINEER:

DAL OR WHITHEIRICAL TRUBBES SHALL HAVE WOOD HEMBERS ON OPEN SIDE, OPEN CHED, HINNAM SIZE OF TRUBS PLATE AND WOOD HEMBER SHALL BE CAPABLE OF D GRANTIT LOADS TO TOP AND BOTTION CHORDS.

Lat Capital Solutions, Inc.

Mr. Luis Dicaz 3650 NW 82 Avenue, Sulfe 501 Doral, Ft. 33166 Tel. (305) Lat Capital RAL CONTRACTOR:

LOCUS ARCHITECTURE Mr. Luis Diaz 3650 NW 82 Avenue, Suffe 501 Daral, FL 33166 Tel. (305) Solutions, Inc.

No. MCS 7 July South Date Highway, Sutte 307 Jonal Gobles, Florida 331 45 el (305) 740-020 ax (305) 740-579 cense No. A40002333 bhsussants) - UE-LL - 75

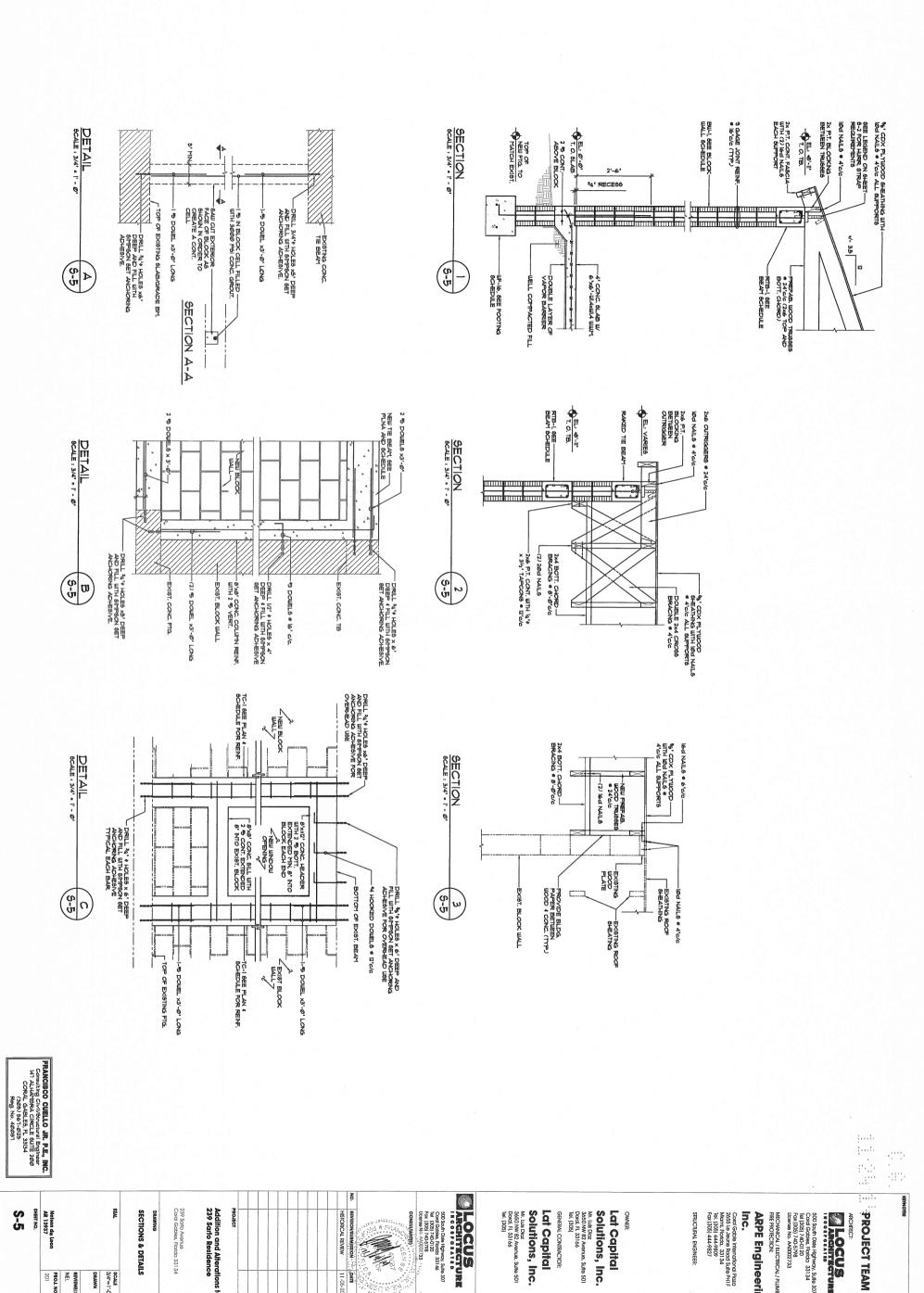
HISTORICAL REVIEW 11-05-

Addition and Alterations to: 239 Sarto Residence

239 Sarto Avenue Coral Gables, Florida 33134 General Notes

SCALE 1/4"=1'-0" DRAWN

**S-4** AR 13937



S-5

Nelson de Leon AR 13937 DRAWN

3/4 = 1'-0"

SECTIONS & DETAILS

Addition and Alterations to: 239 Sarto Residence

239 Sarto Avenue Coral Gables, Florida 33134

HISTORICAL REVIEW 11-05-2014

ARCHITECTURE

Solutions, Inc.
Mr. Luis Diaz
3650 NW 82 Avenue, Suite 501
Doxal, Fl. 33166
iel. (305)

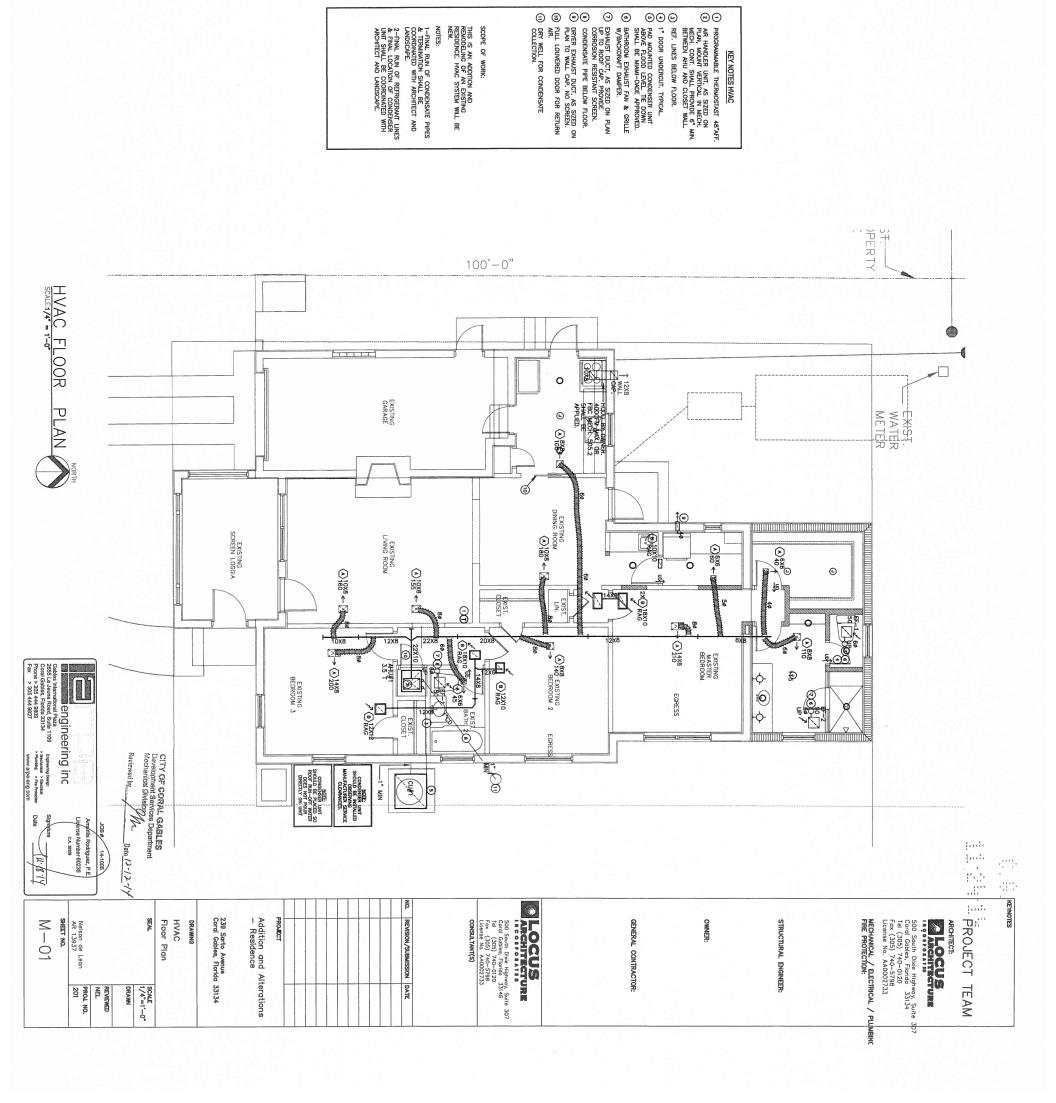
at Capital ERAL CONTRACTOR:

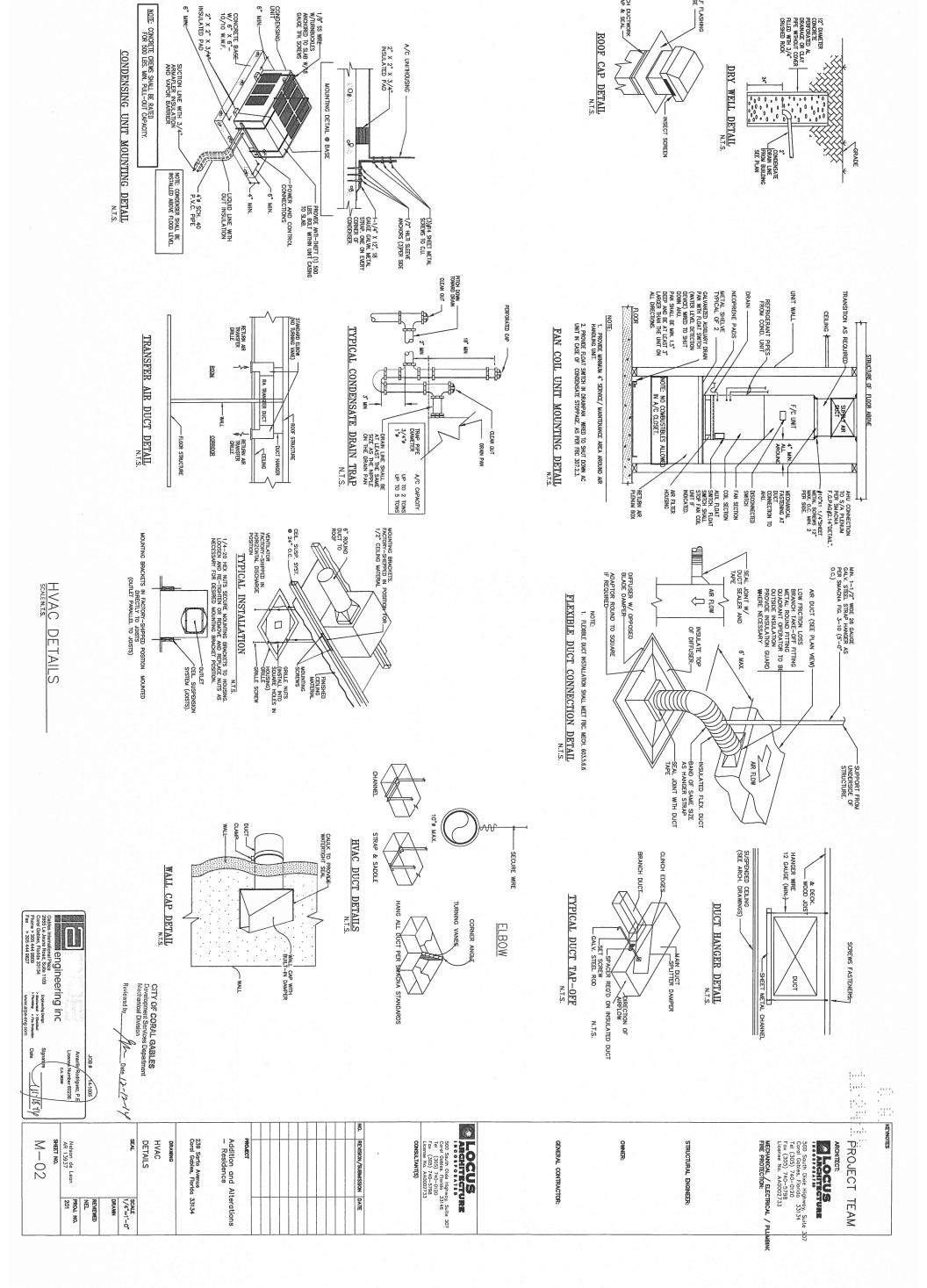
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STRUCTURAL ENGINEER:

Cotal Gable International Plaza 2655 Le Jeurne Road Suite PHI F Miamt, Forlda, 331 34 Tel. (305) 444-9807 Fax (305) 444-9827 nc.

500 South Dide Highwoy, Suite 307 Cordi Gobles, Florida 33134 Tel (305) 740-0120 Fax (305) 740-5798 Ucense No. AA0002733 LOCUS MECHANICAL / ELECTRICAL / PLUMBING/ FIRE PROTECTION: ARPE Engineering,





ATTACH DUCTWORK TO CAP & SEAL -

SELF FLASHING

### HVAC NOTES

- General A. All indromanship and materials shall be in strict accordance with the applicable inational, state (florida building code) and local codes, rules and gromanes.
- B. MECHANICAL PLAKS IN GENERAL, ARE DIAGRAMMATIC IN NATURE, AND ARE TO BE REJO IN COMMUNICATION WITH ARCHITECTURAL, PLANSING, ELECTRICAL, AND STRUCTURAL PLANSING SALE CONSIDERED A ONE SET OF DOCUMENTATION OF ADMINISTRATE THAN SHOTS AND TRANSTINGS WILL BE REQUIRED TO PROVIDE AND INSTALL A COMPLETE THANCTINAL SYSTEM AND SHALL BE PROMISED FOR THE EXACT LOCATION OF EQUIPMENT, PIPMIN, DUCTHORN, ETC.
- THESE DRAWNES AGE NOT INTENED TO SHOW EVERY WHICH DEFAIL BUT THE CONTRACTOR SHALL PURHEN AND INSTALL ALL ITEMS REQUIRED FOR A COMPLETE ACCEPTABLE WORKING BEFOLLATION.
- D. ALL WORK SIALL SE PERFORMED BY A LICENSED CONTRACTOR IN A PRIST CLASS WIPPOMANUSE
  MENORED THE COMPLETE SYSTEM SHALL BE FILLY OPERATINE AND ACCESTANCE BY THE
  ARCHITECT AND / OR ENGINEER MUST BE CONDITION OF THE CONTRACT.
- THE CONTRACTOR SHALL CUARANTEE ALL MATERIALS AND WOOGMANSHIP FREE FROM DEFECTS FOR A PERSOL NOT LESS THAN 1 YEAR FROM THE DATE OF ACCEPTANCE, UNLESS OTHERWISE. MOTED. ALL REQUIRED INSURANCE SHALL BE PROVIDED BY THE CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE CURATION OF THE WORK
- THE CONTRACTOR SHALL WIST THE JOB STE AND THOROUGHLY FAMILIARIZE WITH EXISTING CONDITIONS. CONTRACTOR WILL PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTS.
- AS BUILT DRAWINGS SHALL BE SUBJITTED TO OWNER AT THE COMPLETION OF PROJECT. PROR TO INSTALLARE EQUAPIENT AND / OR FARRICAING DICTIVERS, HIVAC CONTRACTOR SYALL CHECK THAT THERE IS SHEFFERT DICTIVERANCES. FOR EQUIPMENT, LICHWORK, ETC. AND ALSO TO AVOID ANY INTERFERENCE WITH THE PROCESS OF CONSTRUCTION. DUCTHORK TRUNK LINE AND DROP LOCATIONS MAY VARY FROM PLAN DUE TO TRUSS CONFIGURATION.
- CONTRACTOR SHALL SUBMIT SHOP DRAWNGS ON ALL EQUIPMENT, FOR REVIEW PRIOR TO PURCHASING. DESIGN PARAMETERS:
- OUTDOOR DESIGN TEMPERATURE (SUMMER): 91°F DB AND 77°F WB
  OUTDOOR DESIGN TEMPERATURE (WHITE): 46°F
  INDOOR DESIGN TEMPERATURE (WHITER): 70°F DB
  INDOOR DESIGN TEMPERATURE (WHITER): 70°F DB -ROOF R-30 -EXT WALS R-30 -QLASS MAKET TRIFED, LOW E, SUNGATE 500, AZURIA, U-035 U-035 SHG2-QLA7 SHG2-QLA7
- 4. ALL THERMOSTATS SALL HAVE HEATING MODE MANAUM SETTING OF 75 F, AND COCLING MODE MANAUM SETTING OF 70 F. THE THERMOSTAT SHALL BE ARRANGED TO PREPART THE SAULTANGOUS DEPORTING OF HEATING AND COCLING.

  5. ELECTRICAL CONTRICAS AND POIGHE WHORK: UNDER ELECTRICAL CONTRICAT.

  6. EQUIPMENT SPECTED BY MANUFACTURER'S NUMBER SHALL INCLIDE ALL ACCESSORIES, CONTRICAS, ETC., LISTED IN THE CATALOGA AS STANDARD WITH THE EQUIPMENT. OPTIONAL OR ADDITIONAL ACCESSORIES SHALL BE FURNISHED AS SPECIFIED.

HVAC DESIGN REQUIRES:

YES

NO

TRE DAMPER(S)

JUCT SMOKE DETECTOR

- A BETROESANT FORMS. SHALL BE THE L SET FORMS COPER TUBBLE,
  DOTTORANDE DOE PROFICESANT ISSUED AS SOME ON LORMANGS OR AS
  PEX AN COMDITIONING EQUIPABIT MANUFACILIZETS RECOMMEDIATIONS.
  BISLANDE: REPROESANT SUCTION PRING SHALL DE INSLIANDE WITH
  1/2" THACE FORMED PASTIO INSLIANDE, PRE RETARMANT THE PROSLATION SHALL DE RETALLED IN PRING BETORE RESSUED, NO SHAT
  INSLIANDIN SHALL DE RETALLED IN PRING BETORE RESSUED, NO SHAT
  INSLIANDIN SHALL DE RETALLED IN PRING BETORE RESSUED, NO SHAT
  INSLIANDIN SHALL DE RETALLED IN PRING BETORE RESSUED, NO SHAT
  INSLIANDIN SHALL BE RETALLED IN PRING BETORE RESSUED, NO SHAT
  INSLIANDIN SHALL BE RETALLED IN PRING BETORE RESSUED, NO SHAT
  INSLIANDIN SHALL BE RETALLED IN PRINCIPLE RESSUED.

  RETARMANDE PROFINE RESPONSABLE PROPRIOR DE PROPRIED DE PROPRIED DE PROPRIED DE PROFINE DE PROPRIED DE PROPRIED DE PROPRIED DE PROFINE DE PROPRIED DE PROFINE DE PROPRIED DE PROFINE DE P
- A JLL HAVE DICTIFIENT SHALL CONFIDENT TO SHAPM, STANDARDS, ALL ECTEDION
  LID DICTIFIENT SHALL BE CHANARDS DISEINERLY, ALL RECREGO DICTIFIENT SHALL BE REPORTED AND CONFIDENT WITH LOCAL
  CONES, FERBEALASS DATE FROM SHALL BE TRAVIED WITH AND EXPANDED AND CONFIDENT AND SHALL BE TRAVIED WITH AND EXPANDED AND SHALL BE TRAVIED WITH ON EXPANDED AND SHALL BE TAKE THAN CONFIDENT ON THE CON

FIRE RATED ROOF/FLOOR CEILING ASSEMBLY FIRE STOPPING

×

IRE RATED ENCLOSURE

IOKE DAMPER(S)

MOKE CONTROL

- ALL DUCT DIMENSIONS ARE CLEAR INSIDE DIMENSIONS. ware alumana. Rance food to be 400 cm hacquim, it more than 400 cm make up atr hust be shown as per fibe wech 505.2. Mech. Compactor shall field coordinate with equipment handfacturer prices to equipment installation.
- Flexible insulated ductwork with 1 1/2" Fiberglass insulation with FRK vapor barrier, class 1 air duct, u.l.  $R\!-\!6.0$  Min.
- E DRYRR DUCTHORK: 26 GA, WAI, GALWAZED STEEL, HAWRG A ME DRECTION SHOOTH MISBOR SURFACE WITH JUNIST RUNNING IN THE DRECTION OF ARRIADOW AND WITHOUT SHET LIFELY, SCRIKEN GO OTHER FASTRESS IN THE 48 STREAM, MAXIMAL LIBIGHT SHALL NOT EXCESS 14 REF.

  WILL LOVES SHALL BE FROMED WITH BACKORNET DEBUM.

  8. ARL DISTRIBUTION DENICES AND ACCESSIONES SHALL BE TITUS OR APPROVED EQUIAL.

  9. ALL HAVAC DUCT BLEONS MUST BE FURNISHED WITH APPROVED TURNING VANES.
- CORRECTION OF MY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENTS OR REPAIRS OF MAY DOTHER PHACE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED OR IS NOT O'PERATING PROPERTY.
- 11. PROVIDE WETAL ROUND FITTINGS WITH SCOOP AT ALL RESIBLE DUCT CONNECTION TO SUPPLY DUCT.

  12. PROVIDE ACCESS DOORS AS REQUIRED FOR ALL HECKNINGLA EQUIPMENT TO SERVICE AND VISUALLY CHECK ROTATION OF FAMS AND MOTORS, AGLIST OR REPUACE CONTROLS, ETC.
- NOT USED.
- architectural and f or engneening expenses that are incurred due to revisions for substitutions by the contractor shall be paid for by the contractor. ALL MATERIALS SHALL BE NEW AND SHALL BEAR UNDERWRITER'S LABEL WHERE APPLICABLE

- FI PARCE ARE ANY CHANCES IN BHONEETS DRAINNICS, IN DESIGN OF IN ECUIPAENT, WITHOUT BNONEETS CONSENT, THE AC. CONTRACTOR SHALL ASSUME ALL RESPONSEILTES FOR THE PROJECT. 16. CONTROLS. AR CONDITIONING UNITS SHALL BE STAFTED AND STOPPED THRU INDIVIDUAL THERMOSTAT. HIDINODUAL THERMOSTATS SHALL STAFT/STOP SUPPLY FANS AND ACTIVATE COOLING/HEATING SYSTEMS AS SELECIED.
- No substitution will be considered price to bo unless written request for approval has been records by the architect or biomeen at least to days prove to the date of bio, such records. That willie the have of exippedit or wateral for which it is to be substituted.

	AIR	AIR DISTRIBUTION SCHEDULE	SCHEDULI		
SYMBOL	USE	TYPE	ACCESORIES	DESIGN MANUFACTURER & MODEL Mo.	JRER & I
>	SUPPLY AIR	CEILING DIFFUSER	0.B.D.	TITUS 250-AA	OR APPROVED EQUAL
В	RETURN AIR/ TRANSFER	SQUARE RETURN	0.B.D.	MTUS 350 FL	OR APPROVED EQUAL
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PROJECT TEAM

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ARCHITECTURE

MECHANICAL / ELECTRICAL / PLUMBING FIRE PROTECTION:

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KEYNOTES

- NOTE:

  1. NOT USED.

  2. PROVIDE 4 WAY DIFFUSION UNLESS NOTE ON PLAN.

  3. REFER TO ARCHITECT PLANS FOR CELLING TYPE.

  4. FINAL COLOR SILECTION SUBJECT TO ARCHITECT APPROVAL.

  5. PROVIDE INSTALLATION ON THE BACK OF DIFFUSER IF IN UNCONDITIONED SPACE.

  6. MAXIMUM NC 19.

AHU	CFM	2	₹	SA	(X) A × B	<u>-</u>		<b>∠</b>	REF. G&L	71	popopopot			SYMBOL	HVAC SYN
AIR HANDLING UNIT	CUBIC FEET PER MINUTE	CONDENSING UNIT	RETURN AIR	SUPPLY AIR	X: AIR DEVICE TYPE  AXB: NECK SIZE  # CFM	COOLING THERMOSTAT	EXHAUST REGISTER	CEILING EXHAUST FAN	REFRIGERANT GAS & LIQUID LINES	ELBOW W/ TURNING VALVES	FLEXIBLE DUCT	RETURN/EXHAUST DUCT	SUPPLY DUCT	DESCRIPTION	SYMBOL LEGEND

			ACC	ES:	SORI	ES											ı	FAN										П	
FILTER AND FILTER FRAME	FACTORY FABRICATED CURB	THERMOSTAT CONTROL	SOLID STATE SPEED CONTROL	ROOF JACK/BIRDSCREEN	BACKDRAFT DAMPER	CONSTRUCTION	FIRE DAMPER	DUCT SIZE	SERVICE SWITCH	NODEL NUMBER	DESIGN MANUFACTURER	SONES	UNIT DIMENSIONS WXLXH (IN)	ELECTRICAL SERVICE	STARTER FURNISHED BY	FAN MOTOR STARTER TYPE	FAN MOTOR (AMPS/WATTS)	TOTAL STATIC PRESSURE, IN OF W.C.	FAN SPEED, RPM	мтн цент	FAN WHEEL TYPE	DRIVE TYPE	TOTAL AIR, CFM	FAN TYPE	LOCATION	OPERATING WEIGHT, LBS	AREA SERVED	UNIT DESIGNATION	BATHROOM FAN SCHEDULE
NO	NO	NO	YES	NO	ΥES	ALUM/PLASTIC	1	6.4	YES	QTXEN080	NUTONE	0.3	11 X 12 X 8	120-1-60	MC	WALL SWITCH	0.3/	0.10	1	NO	CENTRIFUGAL	DIRECT	50	EXHAUST	ONLIED	12	BATHROOM	EF-1	N SCHEDULE
NO	NO	NO	Ŕ	NO	Ŕ	ALUM/PLASTIC	-	6.4	ΥES	QTXEN110	NUTONE	0.7	11 X 12 X 8	120-1-60	NC	WALL SWITCH	0.3/	0.10"	1	NO	CENTRIFUGAL	DIRECT	100	EXHAUST	CEILING	12	BATHROOM	EF-2	

_		AIF	₹ 0	00L	ED	CO	NDI	ENS	ING	U	VIT	_				L			_		Alf	۱	AN[	DLEI	R U	NIT								
REF TYPE: CHARGE (Ib-oz)	REF.PIPES SIZE; GAS   LIQ.	UNIT DIMENSIONS H X W X D (IN)	OPERATING WEIGHT,LBS.	ELECTRICAL SERVICE	MCA/MOCP	CAPACITY REDUCTION	COMPRESSORS R.LA. / L.R.A.	NO. OF COMPRESSORS	CONDENSING TEMP., F DB	NO. OF FANS AND HP / FLA	TYPE OF FAN	NOMINAL CAPACITY (TONS)	MODEL NO.		UNIT DESIGNATION	UNIT DIMENSIONS H X W X D (IN)	OPERATING WEIGHT, LBS.	ELECTRICAL SERVICE	MCA/MOCP	FILTER- QTY/SIZED	ENTERING AIR TEMP. °F DB/WB	TOTAL SENSIBLE CAPACITY, MBH	TOTAL CAPACITY, MBH	ELECTRIC HEAT, KW	FAN MOTOR H.P - FLA	EXT. STATIC PRESS., INCHES OF H20	TOTAL AIR, CFM, NOMINAL	SEER	MODEL NO.	DESIGN MANUFACTURER	LOCATION	AREA SERVED	UNIT DESIGNATION	
R-410A: (9-13)	7/8   3/8	47 X 35 X 39	235	208-230/1/60	23 / 40		17.9 / 112	1/CLIMATUFF	95*	1 - 1/5 / 0.93	PROPELLER	3.5	4TTR5042	OR APPROVED EQUAL	CU#1	57 X 24 X 22	155	208-230/1/60	54.0 / 60.0	1 / 22X20X1	75/63	32.1	42.5	10.0	1/2 - 3.0	0.5	1400	16.0	TAM7042	TRANE OR APPROVED EQUAL	A/C CLOSET VERTICAL	1ST. FLOOR	AHU#1	

STRUCTURAL ENGINEER:

OWNER:

GENERAL CONTRACTOR:

- MOTES:

  1. PROVIDE FACTORY INSTALLED DOUBLE WALL INSULATED CABINET.

  2. PROVIDE FACTORY INSTALLED ECAM BLOWER MOTOR.

  3. PROVIDE FACTORY INSTALLED NONCORROSINE VERTICAL AND HORIZONTAL DRAIN PANS.

  4. PROVIDE FACTORY INSTALLED ALMINIUM EMPORATOR COIL WITH ELECTRONIC EMPASSION VALVE.

  5. ALL AHU SHALL BE PROVIDE WITH FLOAT SWITCH TO PREVENT CONDENSATE OVERFLOW.

  6. ALL AHU SHALL BE PROVIDE WITH PROTECTION FROM MARINE ENVIRONMENT.

LOCUS

500 South Dixie Highway, Suite 307 Carol Gables, Florida 33146 Tel (305) 740-0120 Fox (305) 740-5798 License No. AA0002733

- PROWIDE FACTORY INSTALLED COMPOSITE BASE FOR OUTDOOR UNIT.
   PROVIDE FACTORY INSTALLED ALUMNUM CONDENSER COIL.
   PROVIDE FACTORY INSTALLED OZ STAGE CONDENSER WITH DUAL COMPRESSOR.
   PROVIDE FIELD INSTALLED OZM PROGRAMMABLE THERMOSTAT.
   ALL CU SHALL BE PROVIDE WITH PROTECTION FROM MARINE ENVIRONMENT.

Develophient Services Department NaShanical Division Mashanical	CITY OF CORAL GABLES							
SEAL SCALE  1/4"=1' DRAWN	HVAC SCHEDULES	DRAWING	239 Sarto Avenue Cordi Gables, Florida 33134	Addition and Alteration— Residence	PROJECT			NO. REVISION/SUBMISSION DATE

Alterations

Cables International Plaza
2855 La Jeune Road, Suite
Coral Cables, Frorda 33134
Phone > 305 444 9809
Fax > 305 444 9827

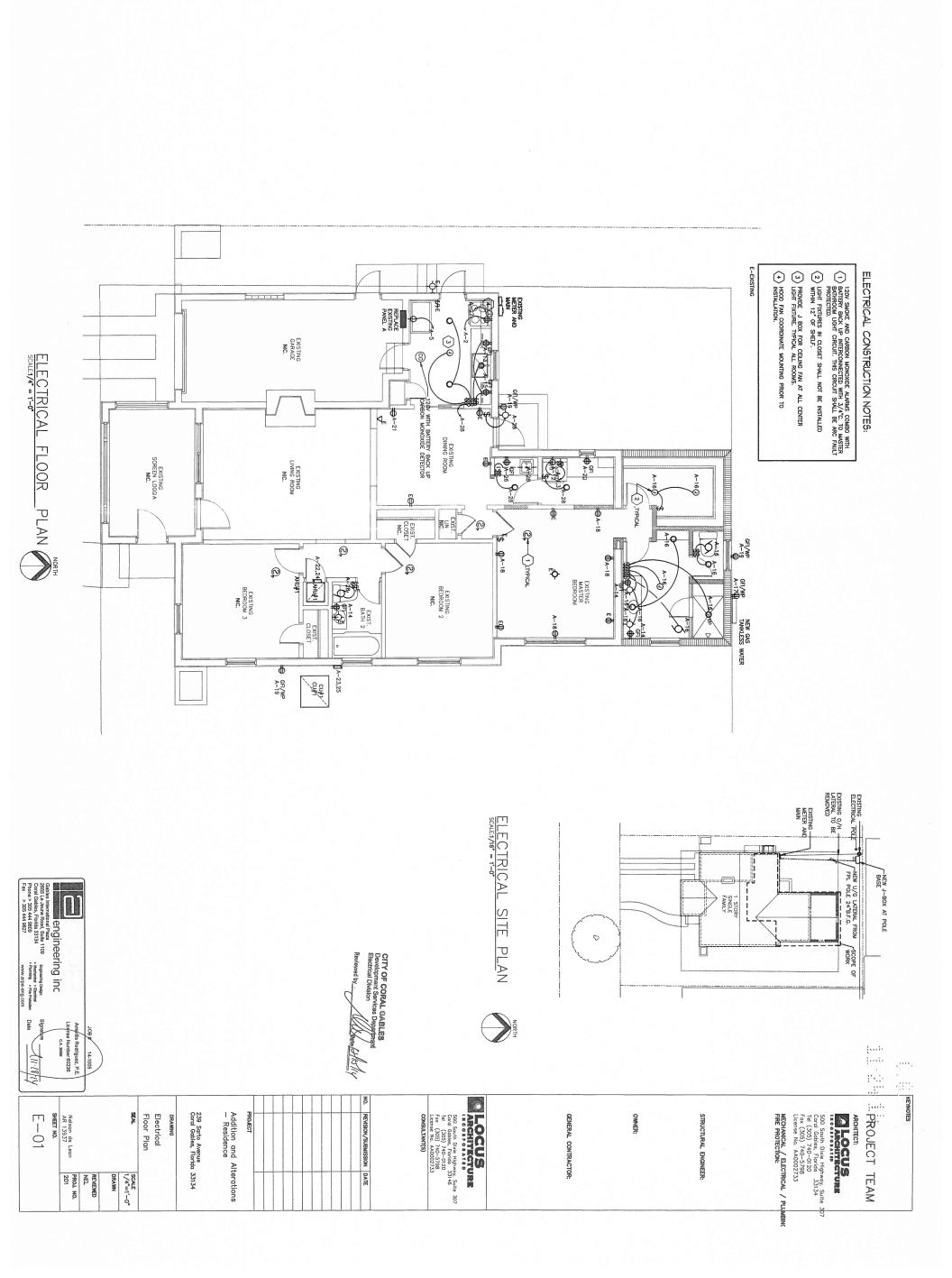
HVAC SCHEDULES

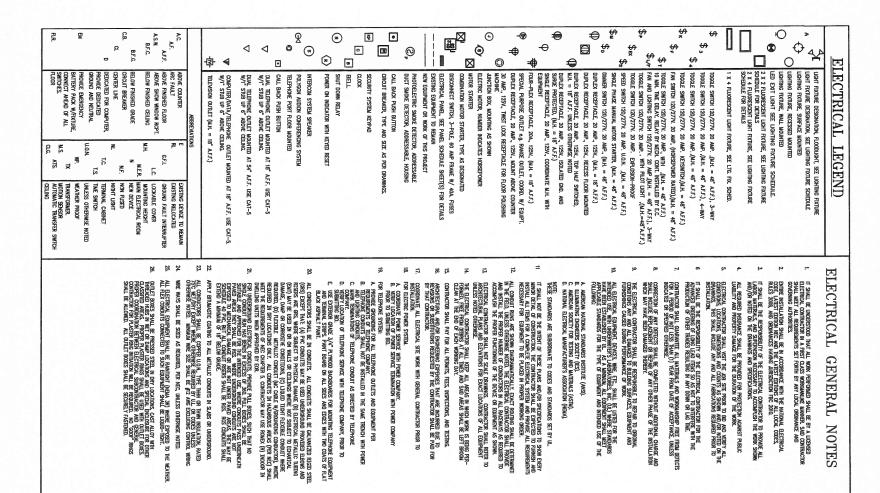
Amarilly Rodriguez, P.E. Licensis Number 60236 CA 2009 Signature  Signature  Signature  Signature	a le 1109 Engineering Dealgn: Nechtunical > Electrical Nechtunical > Fire Protection	ineering inc	
	Signature (1/1/18-CV) Date	Amarilly Rodriguez, P.E. License Number 60236	

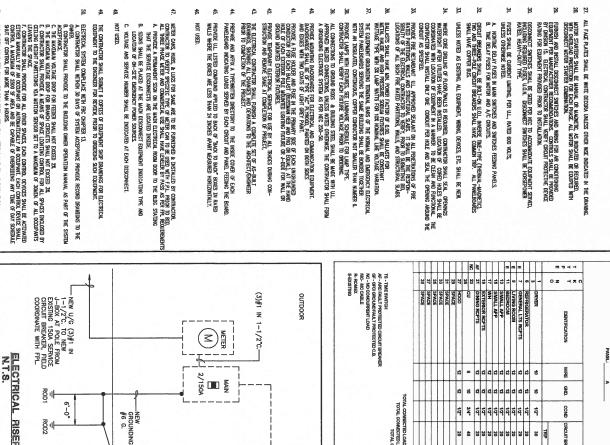
Signature 11/18-14		Amariijs Rodriguez, P.E. License Number 60236	
M-03	SHEET NO.	Nelson de Leon AR 13937	

REVIEWED NEL PROJ. NO. 201

DRAWN SCALE 1/4"=1'-0"







(3)#1, (1)#6G. IN 1-1/2°C.

1 PHASE

1407 SQFT

GENERAL CONTRACTOR:

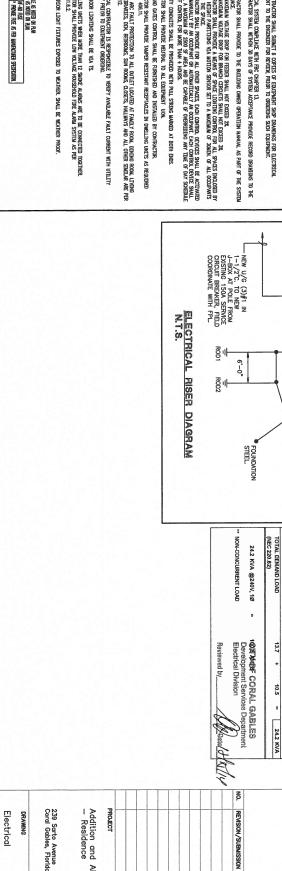
NOTE: CONTRACTOR SHALL IDENTIFY ALL CIRCUITS AND LABEL PANEL

OWNER:

PANEL

TOTAL CONNECTED GENERAL LOADS (PER NEC 220.82(B)

GEN LITGRECEPT, (NEC 220.14(J))
BATHROOM RECEPTACLES
SMALL APPLINATES (NEC 220.52(A))
CLOTHES WASHER
CLOTHES WASHER
CLOTHES WASHER
WATER HEATER (GAS)
RANGE (GAS)
REFRIGIATIOR
GARAGE
LAMINERY REPTS
HOOD



REPLACE EXISTING PANEL WITH NEW 40 CKS

\*\* HEATING LOAD (240V, 1-PHASE)

\*\* COOLING LOAD (240V, 1-PHASE)

\*\* COOLING LOAD (PER NEC 220.82(C))

HEATING LOAD (240V, 1-PHASE) 100%

TOTAL CONNECTED LOAD

19

19.2

10.5 KVA + 10.5 23 AMPS

10.5 KVA 5.5 KVA 10.5 KVA

500 South Dixie Highway, Suite 307 Cord Gables, Florido 33146 Tel (305) 740–0120 Fox (305) 740–5798 License No. AA0002733

DATE

10.0 KVA 3.7 KVA 13.7 KVA 19.2 KVA

LOCUS

ELECTRICAL NOTES & DETAIL

POLE IS NOTED ON PLAN

PROSE - NET-UP FIRST IS FOR MANAGEMENT SPECTFORM.

\* PROMEE FIRST IS FOR MANAGEMENT SPECTFORM.

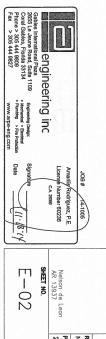
ALL EXTERIOR LIGHT FIXTURES EXPOSED TO WEATHER SHALL BE WEATHER PROOF

DHELLING UNITS WIEN WORE THAN 12 SWOKE ALARMS ARE TO BE CONNECTED TOGETHER. NTRACTOR SHALL PROVIDE LOW VICLAKE HOUSEHOLD FIRE ALARM SYSTEM AS PER PA72 11.6.2

ALL OUTDOOR LIGHTING SHALL BE VIA TS.

BEGIRICAL COMPACTOR IS RESPONSIBLE TO VERIEY AVAILABLE FAULT CURRENT WITH UTILITY COMPANY PRIOR TO EQUIPMENT ORDERING.

EJEPY CONDUITS SHALL BE PROVIDED WITH PILL STEINE WARED AT BOTH BOIDS.
TRACTOR SHALL PROVIDE NEUTRAL TO ALL EQUIPMENT UDA.
TS AND GARES CONTROL SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR.
TRACTOR SHALL PROVIDE TAMERS RESISTANT RECEPTAGLES IN DIRELLING UNITS AS REQUIRED INC. 066.11.



Engineering Design:

Mechanical > Bectrical

Plumbing > Fire Protection

E-02

SHEET NO.

PROJECT TEAM 500 South Dixie Highway, Suite 3; Corol Gobles, Florida 33134 Tel (305) 740-0120 Fax (305) 740-5798 License No. AA0002733 MECHANICAL / ELECTRICAL / PLUMBING FIRE PROTECTION: LOCUS

CIRCUITS 40

MAIN BREAGR: NA AMPS
MAIN LUGS: 180 AMPS
KALC.: E AMPS
MOUNTED FLUSH

1 PHASE 3 WIRE X 240/120V FEED TH-RU

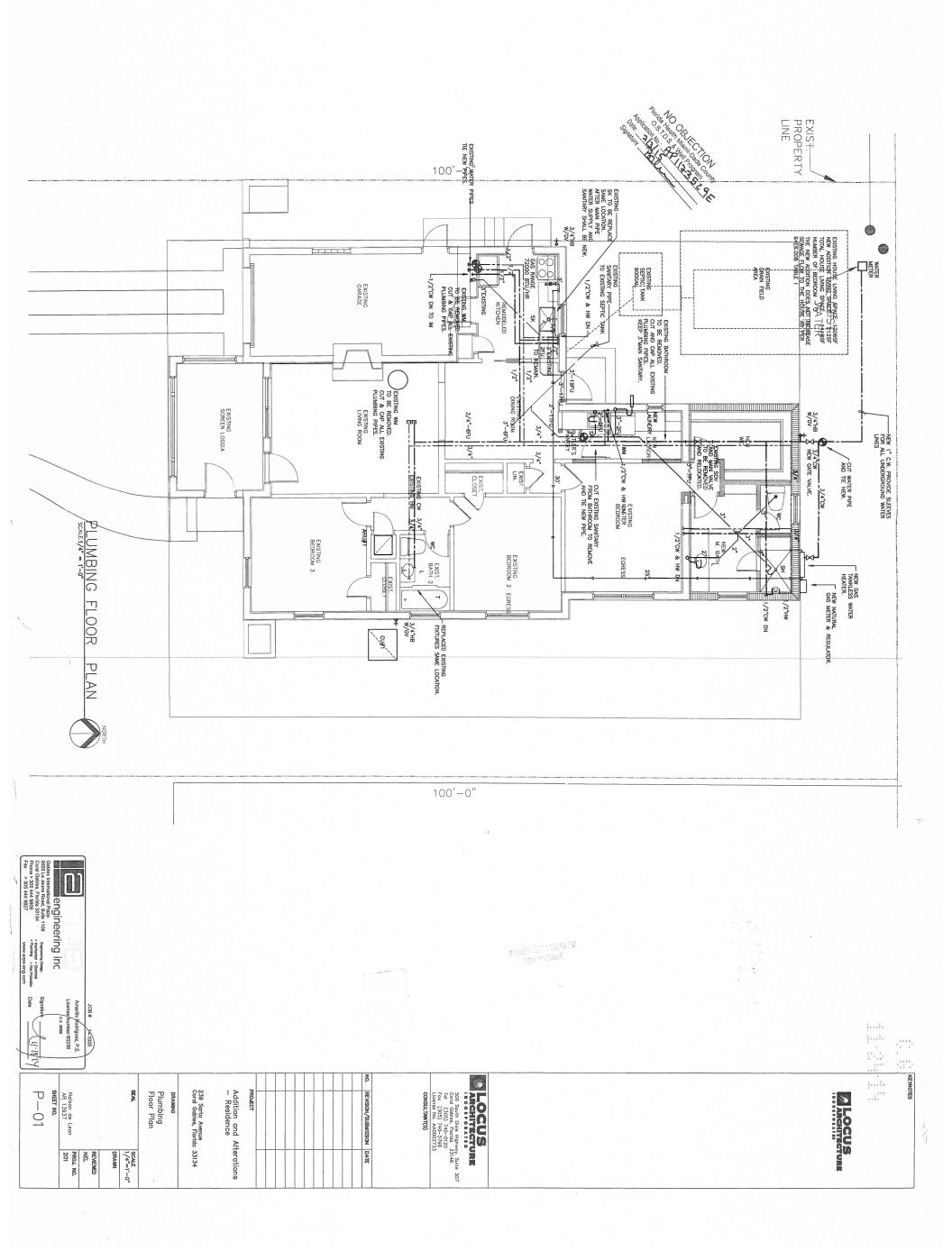
DADIPHASE (KVA)

WIRE

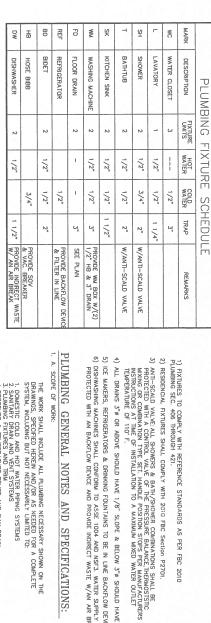
QID.

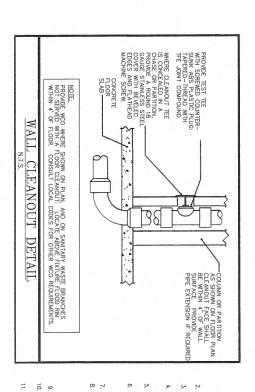
STRUCTURAL ENGINEER:

Addition and Alterations — Residence 239 Sarto Avenue Coral Gables, Florida 33134 Notes and Detail Electrical SCALE N.T.S REVIEWED DRAWN



, t, w A





# PLUMBING GENERAL NOTES AND SPECIFICATIONS: 1. A. SCOPE OF WORK:

WATER-HAMMER ARRESTOS SHALL BE INSTALLED WHERE QUICK-CLOSING VALVES ARE UTILIZED, LIMLESS OTHERWISE APPROVED. WATER-HAMMER ARRESTORS SHALL CONFORM TO ASSE 1010. ACCESS SHALL BE PROVIDED TO WATER-HAMMER ARRESTORS. ALL FLOOR DRAINS TO HAVE TRAP PRIMERS 1/2" LINE FROM THE NEAREST PLUMBING FIXTURE.

THE WORK SHALL INCLIDE ALL PLUMBING NICESSARY SHOWN ON THE DRAWINGS, SPECIFIED HEREIN AND/OR AS NEEDED FOR A COMPLETE SYSTEM, INCLUDING BUT NOT NICESSARILY LIMITED TO:

1. DOMESTIC COLD AND HOT WATER PIPING SYSTEMS
2. SANITARY DRAIN AND VENT SYSTEMS
3. PLUMBING FIXTURES AND TRAIN
4. PRESSURE & ETMPERATURE RELIEF AND PAN DRAIN
FROM WATER HEATER.
5. PIPING INSULATION
6. SUPPORTS AND HANGERS

ALL PLUMBING WORK SHALL BE PERFORMED IN ACCORDINANCE WITH THE LATEST DITION OF THE TLORIDA BUILLING COOK "AND LOCAL OPENWANCES, NO IN COMPULANCE WITH THE "TLORIDA BUILLING COOK "AND LOCAL OPENWANCES SAID IN COMPULANCE WITH THE "TLORIDA BLANCOS FINICIANOS. THE THE COOK OF THE COOK WHICH DETWEEN CONTROL THE THE COOK OF THE THE COOK OF THE COO

S, SHALL HAKE SHALL BE CONSTRUCTED WITH THE APPROVED MATERIALS, SHALL HAKE SMOOTH MERROUGS SURFACES AND SHALL BE FREE FROM DEFECTS AND CONCEALED FOULING SURFACES. ALL TRYTURE TIRM TO BE CHROME PLATED FATURES SHALL BE PROVIDED WITH SUPPORTS; HANCERS, ETC.

7. WASTE LINES 3" OR MORE, SLOPE @ 1/8"/ FI AND 2" AND UNDER, SLOPE @ 1/4"/FI. PROVIDE FULLY ACCESSIBLE CLEAN OUTS ON SANITARY AND ANY WASTE SHOULT ACCESSIBLE CLEAN OUTS ON SANITARY AND ANY WASTE SHOULT ACCESSIBLE CLEAN OUTS ON SANITARY AND ANY WASTE CLEAN OUT LOCATIONS AND SIZES ON HORIZONTAL LINES SHALL BE ACCORDING TO CODE: WALL CLEAN OUT SOCIETY CHANGES SHALL LINES SHALL BE SHALL NOT BE SEEN FROM ANY LIVING SPACE ROOMS, THEY MUST BE LOCATED UNDER SINKS, LAVATORIES & CABINITIS.

9. VENT LINES TO EXTEND 9" MIN. ABOVE ROOF AND FLASH WITH LEAD.

CONTRACTOR SHALL COORDINATE WITH OWNER AMOUNT & LOCATION OF HOSE BIBBS PRIOR TO INSTALLATION. THE MAXIMUM WATER CONSUMPTION FLOW RATES AND QUANTITIES FOR ALL PLUMBING FIXTURES FITTINGS SHALL BE IN ACCORDANCE WITH TABLE 604.4 F.B.C.

-KIT (PART#AQOK)
FOR USE OUTDOOR

4) ALL DRAINS 3"® OR ABOVE SHOULD HAVE 1/8" SLOPE & BELOW 3"® SHOULD HAVE 1/4" SLOPE.
5) ICE MAKERS, REFRIGERATORS & DRINKING FOUNTAINS TO BE IN LINE BACKFLOW DEVICE & FILTER.
6) DISHMASHING MACHINES SHALL CONFORM TO ASSE 1004 AND NSTS. IMPITE SUPPLY SHALL BE PROTECTED WITH AN BACKFLOW DEVICE AND PROVIDE INDIRECT WASTE W/AN AIR BREAK. C. WHERE EXPOSED PIPES PASS THROUGH FLOORS, WALLS, OR CEILINGS, PROVIDE ESCUTCHEONS FIRMLY SECURED TO THE PIPES AND OF SUFFICIENT OUTSIDE DIAMETER TO COVER THE SUEEVED DEWRINGS FOR THE PIPES. PROVIDE CHROMIUM PLATED ESCUTCHEONS IN BATHROOMS.

LOCATION OF FULL—OPEN VALVES. AS PER FPC 606.1 LOCATION OF SHUTOFF VALVES. AS PER FPC 606.2

B. PROVIDE SLEEVES FOR ALL PIPING PASSING THROUGH FOUNDATION SLABS OR MASONRY WALLS, CAULK OPENINGS BETWEEN PIPE AND SLEEVES. A. SUPPORT ALL PIPE FROM SOUND PORTIONS OF STRUCTURE AND AT PROPINTERVALS ACCORDING WITH CODE.

F. LOCATION OF SHUTOFF VALVES. AS TEAR THE VALVES, THE CAST INC. SANTRAY WASTE, KENTS & STORM DRAIN SHALL BE STANDARD WEIGHT CAST IRON NO—HAB PER CAST STANDARDS 301. WITH STANKESS STEEL QNE—PIECE NECORRAYE GASKETS. UNDER SLAB PIPING SHALL BE CAST ROW BELL AND SPIGOT PIPING WITH NEOPEREME GASKETS, OR ABLI. "REST COUPLING, WHERE PERMITTED BY LOCAL AUTHORITY, APPROVED PVC OR ASS PLASTIC PIPE HAD FITTINGS, PER ASTIN DESGLE-39 OR DESGS—99, MAY BE USED.

AND FITTINGS, PER ASTIN DESGLE-39 OR DESGS—99, MAY BE USED.

H. CONDENSATE DRAINS FROM AIR CONDITIONING UNITS. "PVC"

SCHEDULE 40 pipe & FITTINGS.

DOMESTIC WATER PIPE MATERIAL SHALL CONFORM TO NSF 61 AND SHALL CONFORM TO ONE OF THE STANDARDS LISTED TO FBCP TABLE'S 605.3, 605.4, & 605.5

ALL CONTROL VALVES FOR DOMESTIC WATER SHALL BE CAST BRASS OR B-88 BRONZE GATE VALVES.

K. PROVIDE DIELECTRIC FITTINGS FOR JOINING DISSIMILAR METALS.

A. CONTRACTOR SHALL BE RESPONSIBLE TO ASK FOR INSPECTIONS TO THE AUTHORITIES HALLING ETESTED BY CODE AND JOR LOCAL REGULATIONS.

CODE AND JOR LOCAL REGULATIONS.

SHALL BE CAPEDD AND ALL UNES FILLED WITH THE WATER TO THE HIGHEST POINT AND ALLOWED TO STAND UNTIL INSPECTION IS MADE BY AN OWNER.

CREPRESENTAND ALLOWED TO STAND UNTIL INSPECTION IS MADE BY AN OWNER.

CREPRESENTAND LOCAL REGULATE OF THE GOVERN OF CHLORINATED CHEMOLOGY.

REMAIN LINKTIBE LINES WITH A MIXTURE OF TWO (2) POUNDS OF CHLORINATED REMAIN LINKTIBE COPIES OF MATER (50 PPM OF AWALLIBLE CHLORINE). WATER BEFORE PALONIG IN SERVICE HOURS WAD FLUSH THOROLOGIC WITH POTABLE WATER BEFORE PALONIG IN SERVICE HOUSEN SHOULD HAVE BEFORE PALONIG IN SERVICE HOUSEN SHOULD HAVE BEFORE PALONIG IN SERVICE HOUSEN THOROLOGIC WEND AND HOUSE AND FOLLISH THOROLOGIC WITH POTABLE WATER DOMBLET SYSTEM, PIZTURES AND FOLLIBRENT SHALL BE GIVEN AN IN-SERVICE TEST AFTER COMPLETION OF THE INSTALLATION.

ARCHITECTURE

500 South Dixie Highway, Suite 307 Corol Gables, Florida 33146 Tel (305) 740-0120 Fax (305) 740-5798 License No. AA0002733

MANUFACTURER\_BOSH OR EQUAL RINNA OR AO SMITH MODEL\_HIGHEST PERFORMANCE THERM C 1210ES-NG TANKLESS WATER HEATER (1) 1. USE THE FLORIDA BUILDING CODE-FUEL 2010 GAS TABLE 402.4(2)
TO DETERMINE PIPE SIZE FOR LOW PRESSURE INSIDE THE BUILDING.
2-INSIDE OF BUILDING USE SCHEDILE AD METALIC PIPE AND SHALL COMPLY WITH SECTION 403.4,1 THROUGH 403.4.4 FBC-2010
3. UNDER REQUIND PIPING FOR OUTSIDE OF BUILDING SHALL BE PLASTIC PIPE AND CAMPLY WITH SECTION 404.14.1 THROUGH 404.14.3 AND SECTION 405.3. FBC-2010
1. UNDERGROUND PIPING FOR OUTSIDE OF BUILDING SHALL BE PLASTIC PIPE AND CAMPLY WITH SECTION 404.14.1 THROUGH 404.14.3 AND SECTION 405.3. FBC-2010 PIPING FOR DISSUED SHALL BE INSTALLED A MINIMUM BEPTH OF 12 PBLOW GABLE.

S-UNDERGROUND PIPING FOR INSIDE OF BUILDING SHALL COMPLY WITH SECTION 404.11, FBC-2010 SITE OF RECOILATOR DEPS

REVISION/SUBMISSION DATE

PLUMBING FLOOR

PLAN

PLUMBING DETAIL

N.T.S

PROVIDE LIPDER ATTACHMENT AS REQUIRED FOR CASES NOT SHOWN HERE.

DO NOT INSTALL HANGER INDEX INSULATION OR OTHERWISE PIRKTENT IN LANGER INDEX INSULATION OR OTHERWISE PIRKTENT IN LANGER INDEX IN STREET IN LANGER INDEX INTO INSULATION OF THE PIRKTENT IN LANGER SPACING FOR PIPE 52TE. COPPER 4 = 12; 3 = 11; 2 = 10; 2 = 10; 2 = 10; 3 = 11; 2 = 10; 3 = 11; 2 = 10; 3 = 11; 2 = 10; 3 = 11; 2 = 10; 3 = 11; 2 = 10; 3 = 11; 2 = 10; 3 = 11; 2 = 10; 3 = 11; 2 = 10; 3 = 11; 2 = 10; 3 = 11; 3 = 10; 3 = 11; 3 = 10; 3 = 11; 3 = 10; 3 = 11; 3 = 10; 3 = 1

GAS SUPPLY

SHUT OFF VALVE HEAT TRAP

COLD WATER IN

WATER FILTER

SCHEDULE

PIPE HANGERS DETAIL

DO NOT HANG PIPE LARGER THAN 3" FROM BOTTOM OF JOISTS.

TOP BEAM C-CLAMP IF STEEL BAR JOIST.-

- ALL-THREAD ROD. LENGTH AS REQ'D FOR PIPE SLOPE:

PROVIDE COPPER
OR NON-METALLIC
COATING WHERE
HANGERS CONTACTION
BARE COPPER PIPE

- CLEVIS HANGER FOR PIPE OVER FOUR INCH

DISPLAY

GAS NATURAL TANKLESS WATER HEATER NTS

DIMENSION\_30-1/2"Hx17 7/8"wx 1-1/4"d WEIGHT\_74 LB POWER INPUT NATURAL GAS\_225000 000 BTU/HR CAPACITY AT 35F RISE 12.1GPM @ 35 ENERGY FACTOR\_94 %

I ni

Plumbing Floor Plan

239 Sarto Avenue Coral Gables, Florida 33134

Addition and Alterations
- Residence

ROJECT

SEAL

SCALE 1/4"=1'-0"

VORK OUTDOOR\_KIT (PART#AQOK)

GAS ISOMETRIC

Cashles International Plaza
2655 Le Jeune Road Salita (10) Expansio State
Coral Gashles, Fielda 33134
Phone > 305 444 8627
Fax Engineering Design:

> Mechanical > Electrical

> Plumbing > Fire Protection

www.arpe-eng.com

Amarilis Rodriguez, P.E. License Number 60236 CA 3539 JOB# 14-1005

LOCUS

SHEET NO. Nelson de Leon AR 13937 REVIEWED DRAWN PROJ. NO. 201

P-02