



OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 7/27/2015

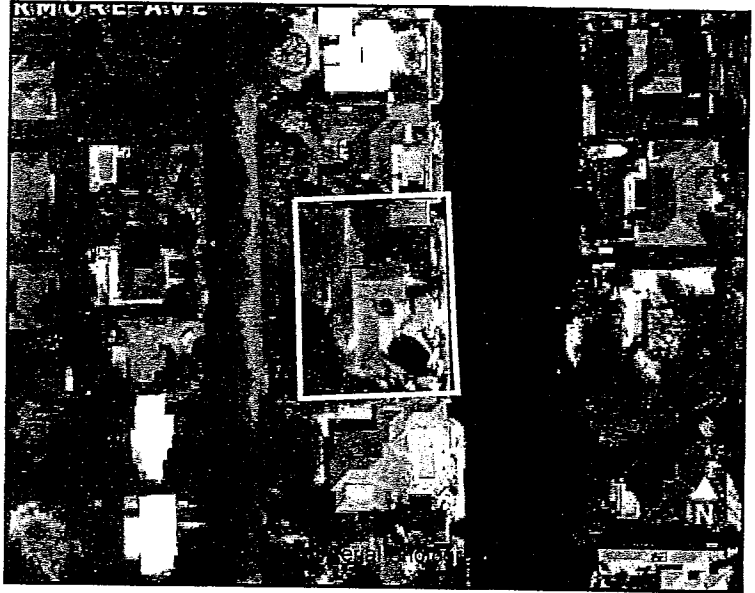
Property Information	
Folio:	03-4129-026-0200
Property Address:	5911 GRANADA BLVD
Owner	DAVID BAITINGER
Mailing Address	PO BOX 133427 HIALEAH, FL 33013
Primary Zone	0100 SINGLE FAMILY - GENERAL
Primary Land Use	0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
Beds / Baths / Half	6 / 7 / 1
Floors	1
Living Units	1
Actual Area	7,541 Sq.Ft
Living Area	6,039 Sq.Ft
Adjusted Area	6,719 Sq.Ft
Lot Size	30,000 Sq.Ft
Year Built	1954

Assessment Information			
Year	2015	2014	2013
Land Value	\$2,580,000	\$2,242,500	\$1,725,000
Building Value	\$689,432	\$661,280	\$666,554
XF Value	\$72,662	\$73,656	\$74,651
Market Value	\$3,342,094	\$2,977,436	\$2,466,205
Assessed Value	\$2,404,899	\$2,385,813	\$2,350,555

Benefits Information				
Benefit	Type	2015	2014	2013
Save Our Homes Cap	Assessment Reduction	\$937,195	\$591,623	\$115,650
Homestead	Exemption	\$25,000	\$25,000	\$25,000
Second Homestead	Exemption	\$25,000	\$25,000	\$25,000

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).

Short Legal Description	
C GABLES RIVIERA SEC 9 PB 28-29	
N55.5FT LOT 22 & LOTS 23 & 24 BLK	
129 & RIP RTS TO C/L OF CANAL	
LESS N5.5FT LOT 24	
LOT SIZE IRREGULAR	



Taxable Value Information			
	2015	2014	2013
County			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$2,354,899	\$2,335,813	\$2,300,555
School Board			
Exemption Value	\$25,000	\$25,000	\$25,000
Taxable Value	\$2,379,899	\$2,360,813	\$2,325,555
City			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$2,354,899	\$2,335,813	\$2,300,555
Regional			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$2,354,899	\$2,335,813	\$2,300,555

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description
11/16/2012	\$0	28365-1725	Corrective, tax or QCD; min consideration
12/01/2007	\$0	26110-4861	Qual by exam of deed
09/01/2003	\$0	21670-4524	Qual by exam of deed
09/01/1987	\$750,000	13409-1226	2008 and prior year sales; Qual by exam of deed

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Version:

4958
 Hazen Pool Deck
 93116458

94670127
 5111 Gravela Blvd.

A.D.P.T., Inc. (303) 254-7958



430838

SECTION	BY	DATE
HISTORICAL		
BOARD OF ARCH.		10/20/92
BOARD OF ARCH.		10/20/92
ENGINEERING		10/20/92
ELECTRICAL		10/20/92
MECHANICAL		10/20/92
PLUMBING		10/20/92
STRUCTURAL		10/20/92
FIRE		
FEMA		
PUBLIC WORKS		10/20/92
BUILDING OFFICIAL		10/20/92

1. Subject to compliance with a Federal, State, City and City rules and regulations. City assumes no responsibility for accuracy of project records or these plans.

2. This copy of plans must be available on building site or no inspection will be conducted.

#3629 COVENANT
 564 # OF CAGANA PER OSS
 VARIANCE PER SUBSTITUTION METHOD

NO MORE THAN 10' OFF
 RIGHT OF WAY

APPLICATION NUMBER 7701
 BOARD OF ADJUSTMENT

7701

ZONING APPROVAL
 This plan requires a lot line, area variance and a

1. Grant a variance allowing the proposed to have a rear setback of approximately ten feet (10.0') vs. a proposed rear setback of approximately ten feet (10.0') as required by Section 3-11 of the "Zoning Code".
2. Grant a variance allowing the rearward pool terrace addition to be located in the rear setback of approximately ten feet (10.0') vs. a proposed rear setback of approximately ten feet (10.0') as required by Section 3-11 of the "Zoning Code".

Covenant over 10' setback 11/20/92

Approved by: JES, L.S. 3802-22 777 123
 Date of approval: 11/20/92
 The City of...
 [Signature]

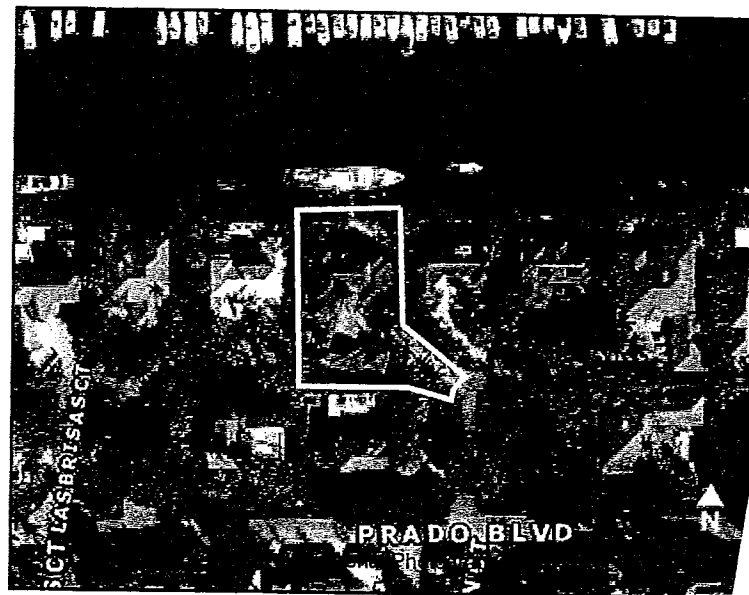


OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 7/27/2015

Property Information	
Folio:	03-4132-028-0310
Property Address:	282 CARABELA CT
Owner	VICTOR BARED & W PATRICIA
Mailing Address	282 CARABELA CT CORAL GABLES, FL 33143-6526
Primary Zone	0100 SINGLE FAMILY - GENERAL
Primary Land Use	0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
Beds / Baths / Half	6 / 6 / 1
Floors	2
Living Units	1
Actual Area	Sq.Ft
Living Area	Sq.Ft
Adjusted Area	7,564 Sq.Ft
Lot Size	22,725 Sq.Ft
Year Built	1993



Assessment Information			
Year	2015	2014	2013
Land Value	\$2,124,788	\$1,931,625	\$1,583,024
Building Value	\$1,350,611	\$1,323,958	\$1,340,507
XF Value	\$34,118	\$34,546	\$34,974
Market Value	\$3,509,517	\$3,290,129	\$2,958,505
Assessed Value	\$2,944,746	\$2,921,375	\$2,878,202

Benefits Information				
Benefit	Type	2015	2014	2013
Save Our Homes Cap	Assessment Reduction	\$564,771	\$368,754	\$80,303
Homestead	Exemption	\$25,000	\$25,000	\$25,000
Second Homestead	Exemption	\$25,000	\$25,000	\$25,000

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).

Short Legal Description

COCOPLUM SEC 2 PLAT D
PB 128-99
LOT 10 BLK 19
LOT SIZE 22725 SQ FT M/L
OR 15465-4590 0392 1

Taxable Value Information			
	2015	2014	20

County			
Exemption Value	\$50,000	\$50,000	\$50,
Taxable Value	\$2,894,746	\$2,871,375	\$2,828

School Board			
Exemption Value	\$25,000	\$25,000	\$2,
Taxable Value	\$2,919,746	\$2,896,375	\$2,85

City			
Exemption Value	\$50,000	\$50,000	\$,
Taxable Value	\$2,894,746	\$2,871,375	\$2,8

Regional			
Exemption Value	\$50,000	\$50,000	
Taxable Value	\$2,894,746	\$2,871,375	\$2

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Descriptive
03/01/1992	\$385,000	15465-4590	2008 and prior year sales; Qu of deed
05/01/1988	\$330,000	13732-673	2008 and prior year sales; Qu of deed

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Version:

SETBACKS

(Required)

(Provided)

Front: Not applicable

Sideways: 15' (On each side)

15' on each side

Rear yard: 35' (From shoreline)

35' (From shoreline)

50.5' (From Prop. Line)

BUILDING HEIGHT

(Allowed)

(Provided)

39' above established grade
(+8.0')

39' to peak of tower
roof (+47.0')

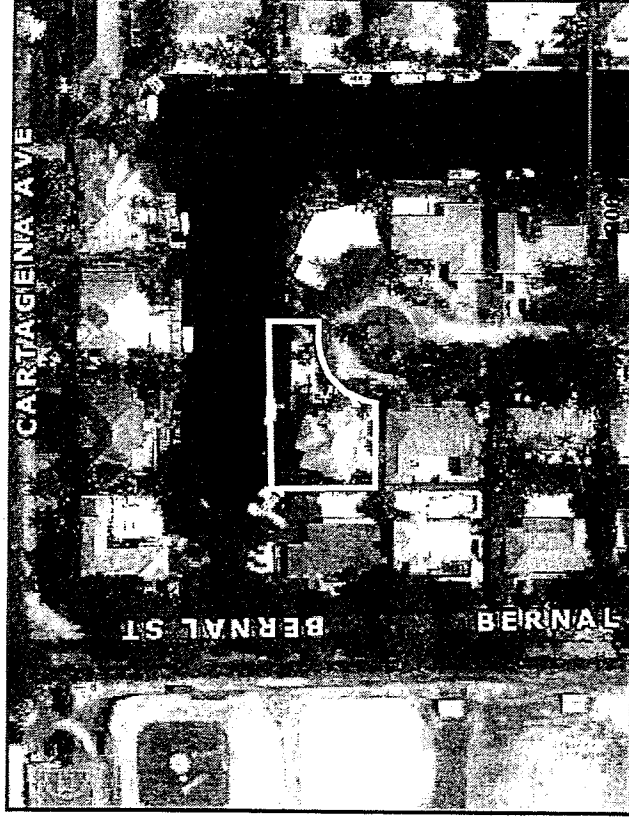
92060087

OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 5/27/2015

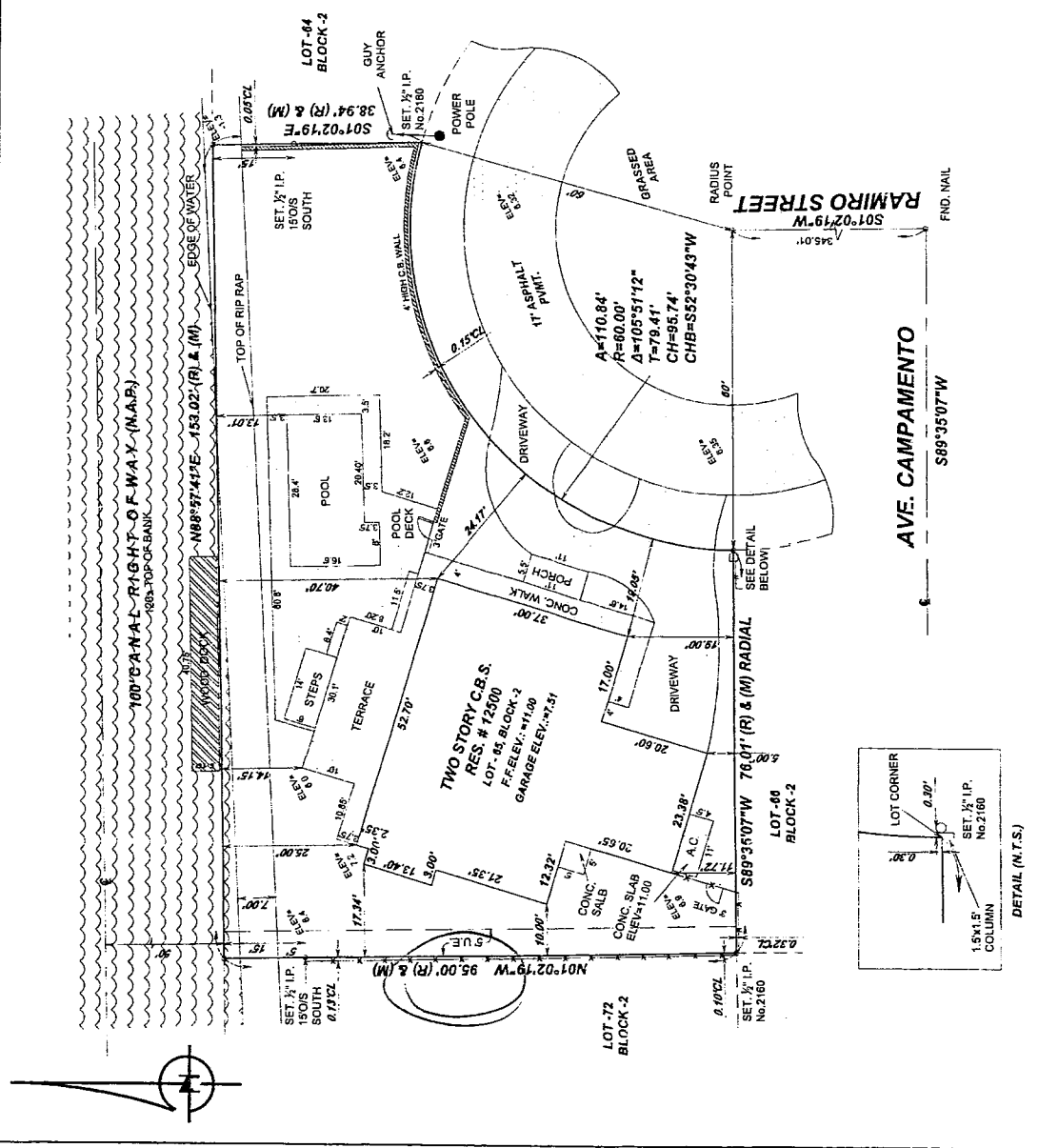
Property Information	
Folio:	03-5118-005-0760
Property Address:	12500 RAMIRO ST
Owner	J CARLOS SANTEIRO &W DANIELLE
Mailing Address	12500 RAMIRO ST CORAL GABLES, FL 33156-6354
Primary Zone	0100 SINGLE FAMILY - GENERAL
Primary Land Use	0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
Beds / Baths / Half	5 / 4 / 1
Floors	2
Living Units	1
Actual Area	Sq.Ft
Living Area	Sq.Ft
Adjusted Area	4,625 Sq.Ft
Lot Size	10,847 Sq.Ft
Year Built	1996



Assessment Information			
Year	2014	2013	2012
Land Value	\$846,066	\$662,209	\$602,008
Building Value	\$563,878	\$570,657	\$575,246
XF Value	\$27,868	\$28,201	\$31,754
Market Value	\$1,437,812	\$1,261,067	\$1,209,008
Assessed Value	\$778,542	\$767,037	\$754,216

Taxable Value Information			
	2014	2013	2012
County			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$728,542	\$717,037	\$704,216
School Board			
Exemption Value	\$25,000	\$25,000	\$25,000
Taxable Value	\$753,542	\$742,037	\$729,216
City			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$728,542	\$717,037	\$704,216
Regional			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$728,542	\$717,037	\$704,216

Benefits Information			
Benefit	Type	2014	2013
Save Our Homes Cap	Assessment Reduction	\$659,270	\$494,030
		\$454,792	



SUNSHINE POLS BY CHAPTER 21 HH-5 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.021,
FLORIDA STATUTES

[illegible]

JUAN R. MARTINEZ & ASSOCIATES, INC.
ENGINEERS LAND PLANNERS LAND SURVEYORS

BY: JUAN R. MARTINEZ
 PROFESSIONAL LAND SURVEYOR NO.: 2160
 STATE OF FLORIDA
 CERTIFICATE NO. L.B.761

DAWN B IVY P. ONU	DATE 02-10-08	FILE NO.
CHECKED BY: J.A.M.	DATE 03-24-08	SCALE: 1" = 40'
ORDER NO. 010	SHEET NO. 1 OF 1 SHEETS	

8650 WEST FLAGLER STREET, SUITE 107, MIAMI, FLORIDA 33144, PH. (305) 432-7007

REVISIONS		REVISIONS	
Date	Remarks	Date	Remarks
12-08-95	UP DATE		By
03-01-96			
04-26-96			
05-09-96	TOOL LOCATION		
05-09-96	WALL FOUNDATION		
11-06-96	FINAL LOCATION		
02-03-96	UP DATE		
03-09-97			

06/06/91
ADDITION (642EBO)

C7650051
12500 RPM/In. ST.

Don - 10.5.04

[illegible]

A184

APPLICATION NUMBER: 8572-7
BOARD OF ADJUSTMENT
HEARING DATE: 6/5/2006

ZONING APPROVAL
This plan required the following variance(s) to the "Zoning Code" of the City of Coral Gables
See below
Approved by: _____
RES. No. 4763-28 61510
Unless a permit is taken out on or before 12/15/08 the above variance(s) becomes void and of no effect
7/2/12, and 10/19/12

The Board of Adjustment, at its regular hearing held on June 9, 2004, passed and adopted Resolution No. 4761-ZB approving your request for variances as is outlined under the Applicant's Proposal as follows:

- [illegible]

6/12
B.O.A. # 30237

Applic. # 08066102

Job
Description: Rev. to P07050051

#1 SHEET

3

City of Coral Gables Building & Zoning Department		
Permit # <u>07050051</u>		
Address <u>12500 Ramiro St.</u>		
Section	By	Date
HISTORICAL		
BOARD OR ARCH.		
BOARD OR ARCH.	<u>CM</u>	<u>9/10/06</u>
CONCURRENCE		
ZONING	<u>CM</u>	<u>6/17/06</u>
PLUMBING		
MECHANICAL		
ELECTRICAL		
HANDICAP		
FEMA		
BUILDING	<u>CM</u>	<u>6/17/06</u>
STRUCTURAL		
FIRE		
PUBLIC WORKS		
OWNER BUILDER		

Subject to compliance with all Federal, State, County and City rules and regulations. City assumes no responsibility for accuracy of results from these plans.
THIS COPY OF PLANS MUST BE AVAILABLE ON BUILDING SITE OR AN INSPECTION WILL NOT BE MADE. 5/2005

OFFICE SET

ST 80050760
000922659

0610387
INV# 08060188



OFFICE OF THE PROPERTY APPRAISER

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Property Information	
Folio:	03-4129-041-0990
Property Address:	6834 SUNRISE DR
Owner	RAMON CORONA & W GEORGINA
Mailing Address	6834 SUNRISE DR MIAMI, FL 33133-7022
Primary Zone	0100 SINGLE FAMILY - GENERAL
Primary Land Use	0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
Beds / Baths / Half	4 / 5 / 0
Floors	1
Living Units	1
Actual Area	6,013 Sq.Ft
Living Area	4,652 Sq.Ft
Adjusted Area	5,154 Sq.Ft
Lot Size	14,500 Sq.Ft
Year Built	1974



Assessment Information			
Year	2015	2014	2013
Land Value	\$1,616,750	\$1,196,250	\$1,149,125
Building Value	\$967,132	\$942,580	\$954,801
XF Value	\$23,003	\$23,244	\$23,485
Market Value	\$2,606,885	\$2,162,074	\$2,127,411
Assessed Value	\$1,845,120	\$1,830,477	\$1,803,426

Benefits Information				
Benefit	Type	2015	2014	2013
Save Our Homes Cap	Assessment Reduction	\$761,765	\$331,597	\$323,985
Homestead	Exemption	\$25,000	\$25,000	\$25,000
Second Homestead	Exemption	\$25,000	\$25,000	\$25,000

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).

Short Legal Description

SUNRISE HARBOUR REV PL PB 65-22
LOT 79 BLK 2
LOT SIZE 100.000 X 145
OR 19295-4716 08 2000 1

Taxable Value Information			
	2015	2014	2013
County			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$1,795,120	\$1,780,477	\$1,753,426
School Board			
Exemption Value	\$25,000	\$25,000	\$25,000
Taxable Value	\$1,820,120	\$1,805,477	\$1,778,426
City			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$1,795,120	\$1,780,477	\$1,753,426
Regional			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$1,795,120	\$1,780,477	\$1,753,426

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description
08/01/2000	\$800,000	19295-4716	2008 and prior year sales; Qual by exam of deed
10/01/1973	\$102,000	00000-00000	Qual by verifiable & documented evidence

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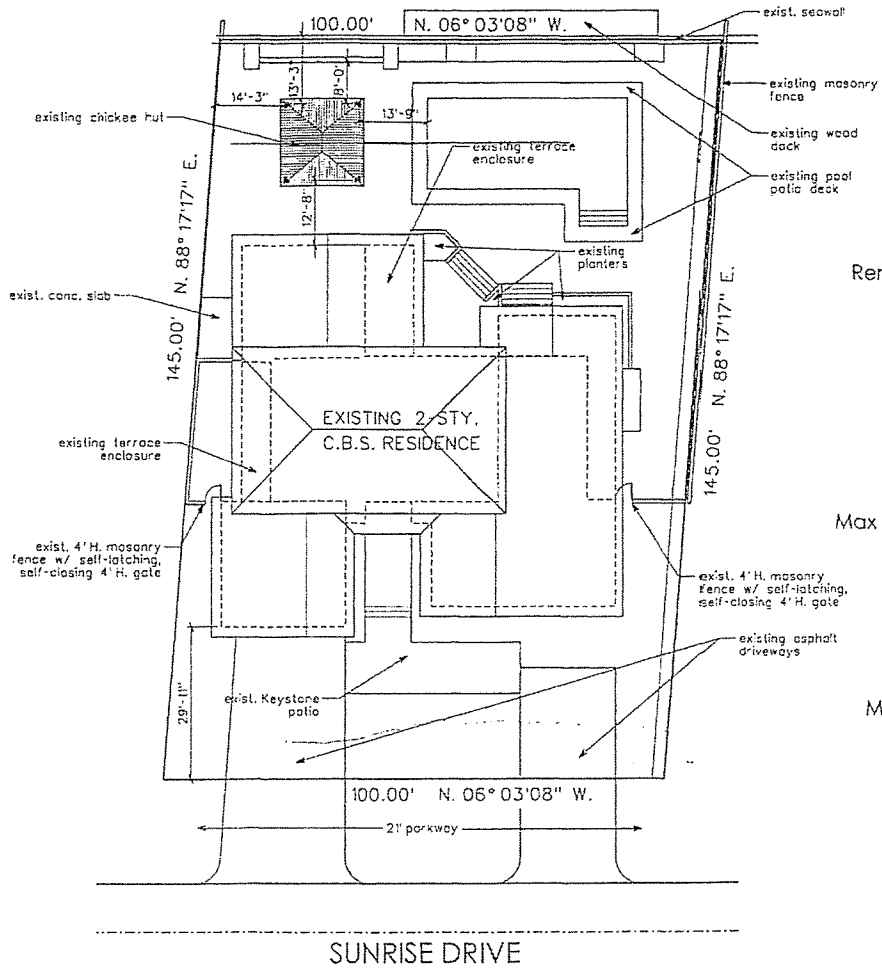
A Gazebo For The:
CORONA RESIDENCE
6834 Sunrise Drive Coral Gables, Florida 33133

Log Of Drawings

A.1 Site Plan, Elevation, Legend and General Notes

General Construction Notes

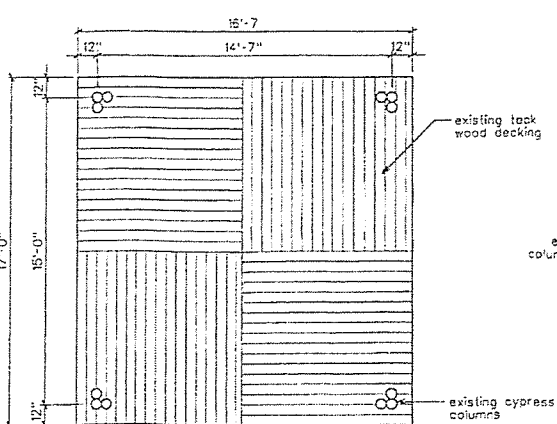
1. THE WORK OF THIS CONTRACT IS COMPRISED OF THE INTERIOR/EXTERIOR CONSTRUCTION, INCLUDING MECHANICAL, ELECTRICAL.
2. THE CONTRACTOR SHALL COORDINATE THE SPACE REQUIREMENTS AND THE INSTALLATION OF ALL SYSTEMS NORMALLY APPURTENANT TO A RESIDENTIAL BUILDING AND INDICATED DIAGRAMMATICALLY OR INFERRED ON THE DRAWINGS.
3. THE CONTRACTOR SHALL UTILIZE SPACES EFFICIENTLY TO MAXIMIZE ACCESSIBILITY OF INSTALLATIONS, MAINTENANCE AND REPAIRS.
4. CONTRACTORS RESPONSIBILITIES INCLUDE BUT NOT LIMITED TO:
 - A. SUBCONTRACTORS COORDINATION
 - B. INSTALLATION SEQUENCING
 - C. CONTRACT DOCUMENTATION AND SHOP DRAWING REVIEW PRIOR TO ARCHITECTS AND ENGINEERS REVIEW.
5. CONTRACTOR SHALL POST PERMIT IN A VISIBLE PLACE AT ALL TIMES.
6. ALL WORK, MATERIALS AND EQUIPMENT UTILIZED IN THIS PROJECT SHALL BE TRANSPORTED, STORED AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
7. ALL WORK FOR THIS PROJECT SHALL CONFORM TO STANDARDS PUBLISHED BY RECOGNIZED PROFESSIONAL AND INDUSTRY ORGANIZATIONS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING AND FAMILIARIZING HIMSELF WITH EXISTING CONDITIONS AFFECTING THE WORK, INCLUDING BUT NOT LIMITED TO PRIVATE AND PUBLIC FACILITIES AND OTHER SUPPORT FACILITIES.
9. CONTRACTOR TO REMOVE, RELOCATE OR RE-ROUTE AS NECESSARY ELECTRICAL, WATER, GAS OR ANY OTHER UTILITY LINES ENCOUNTERED DURING CONSTRUCTION.
10. CONTRACTOR IS RESPONSIBLE FOR INCLUDING IN HIS BID, WORK AND MATERIAL COSTS FOR ANY CHANGE OR ALTERATION OF ADJACENT AREAS TO BE DISTURBED DURING CONSTRUCTION, NOT TO EXCLUDE LANDSCAPING, PAVING OR PLANT MATERIAL.
11. CONTRACTOR MUST NOTIFY ARCHITECT IMMEDIATELY OF ANY UNEXPECTED OR UNKNOWN CONDITIONS, ANY DISCREPANCIES WITH THE DRAWINGS AND/OR THE FIELD PRIOR TO BEGINNING CONSTRUCTION, BEFORE PROCEEDING WITH WORK AND/OR SHOP FABRICATION.
12. CONTRACTOR SHALL POST WARNING SIGN AT ENTRANCE TO CONSTRUCTION AREA.
13. CONTRACTOR TO OBTAIN WRITTEN APPROVAL FROM OWNER OR ARCHITECT PRIOR TO ANY CHANGES OR DEVIATIONS FROM CONTRACT DOCUMENTS.
14. CONTRACTOR SHALL PREPARE AND MAINTAIN ALL CONSTRUCTION AREAS, AS WELL AS SURROUNDING AREAS FREE FROM DEBRIS OR HAZARDOUS EQUIPMENT.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR THE REPLACEMENT OF ANY EQUIPMENT AND/OR FINISHES DAMAGED DURING CONSTRUCTION OR CLEAN-UP. CONSTRUCTION PERSONNEL SHALL BE CONFINED TO THE LIMITS OF THE CONSTRUCTION AREA ONLY. ALL OSHA REGULATIONS FOR CONSTRUCTION AREA SHALL BE STRICTLY FOLLOWED.
16. CONTRACTOR SHALL REPAIR, REFINISH AND/OR REPLACE AS NECESSARY ALL DAMAGED OR DISTURBED AREAS IN ORDER TO RESTORE THEM TO THE FINISHES AND CONDITIONS EXISTING PRIOR TO COMMENCEMENT OF CONSTRUCTION, INCLUDING CONSTRUCTION VEHICLE PARKING AREAS.
17. CONTRACTOR SHALL COORDINATE SECURITY TO AVOID UNAUTHORIZED ENTRY, VANDALISM OR THEFT.
18. DRAWINGS NOT TO BE SCALED. DIMENSIONS TO BE FOLLOWED WHEN FIELD CONDITIONS ALLOW. EXISTING FIELD CONDITIONS MAY DIFFER WITH DRAWINGS. CONTRACTOR TO INFORM ARCHITECT OF SUCH DEVIATIONS FOR INSTRUCTIONS.
19. ALL DIMENSIONS ARE GIVEN TO THE OUTER FACE OF MEMBERS, NOT TO FACE OF FINISH MATERIAL UNLESS OTHERWISE NOTED ON DRAWINGS.
20. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS OF CONSTRUCTION. ALL SHOP DRAWING DIMENSIONS SHALL BE FIELD VERIFIED AND REVIEWED BY CONTRACTOR BEFORE SUBMITTAL TO ARCHITECT.
21. CONTRACTOR TO FURNISH AND INSTALL ALL METAL AND WOOD BLOCKING REQUIRED FOR WALL MOUNTED OR BRACED FIXTURES AND CABINETS.
22. CONTRACTOR TO PROVIDE ACCESS PANELS FOR ALL OTHERWISE INACCESSIBLE EQUIPMENT.
23. BEFORE INSTALLATION, THE CONTRACTOR SHALL COORDINATE THE EXACT MOUNTING LOCATION OF ALL SWITCHES, WALL RECEPTACLES, OUTLETS, THERMOSTATS AND OTHER WALL MOUNTED FIXTURES WITH THE ARCHITECT.
24. ALL INTERIOR AND EXTERIOR JOINTS BETWEEN DISSIMILAR MATERIALS OR FINISHES SHALL RECEIVE A BEED OF CAULKING TO MATCH COLOR OF ADJACENT SURFACES.
25. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND CONSTRUCTION MATERIALS FROM THE SITE. CONTRACTOR SHALL PROVIDE ITS OWN TRASH CONTAINER AT THE LOCATION SELECTED BY THE OWNER AND GARBAGE COLLECTION SYSTEM.
26. UPON COMPLETION OF THIS PROJECT, THE CONTRACTOR SHALL GIVE THE OWNER A COMPLETE SET OF AS-BUILT ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS ALONG WITH THE WRITTEN GUARANTEE, OPERATION AND MAINTENANCE MANUAL OF ALL EQUIPMENT AND FINISHES INSTALLED.
27. CONTRACTOR SHALL TAKE MEASURES TO CONSERVE ENERGY AND WATER USE DURING CONSTRUCTION.
28. PAINTING:
 - A. COLORS AS SELECTED BY OWNER. PROVIDE A 48" X 48" SAMPLE PANEL EACH COLOR FOR FINAL APPROVAL BY OWNER PRIOR TO PAINTING. PAINTING PROGRAM SHALL INCLUDE ALL EXISTING AND NEW INTERIOR AND EXTERIOR SURFACES REQUIRING A FINISH. PRESSURE CLEAN ALL SURFACES REQUIRING FINISHING.
 - B. PROVIDE OWNER WITH FIVE-GALLONS OF EACH PAINT USED, SEALED AND IDENTIFIED FOR FUTURE TOUCH-UPS.
 - C. PRODUCT:
 - PAINT SHALL BE PREMIUM GRADE BENJAMIN MOORE OR APPROVED EQUAL.
 - A. GYPSUM WALLBOARD SATIN FINISH
PRIMER: 1 COAT
FINISH: 1 COAT
 - B. WOOD: SEMI-GLOSS
PRIMER: 1 COAT
FINISH: 1 COAT
29. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SOUTH FLORIDA BUILDING CODE AND ALL OTHER LOCAL APPLICABLE CODES.



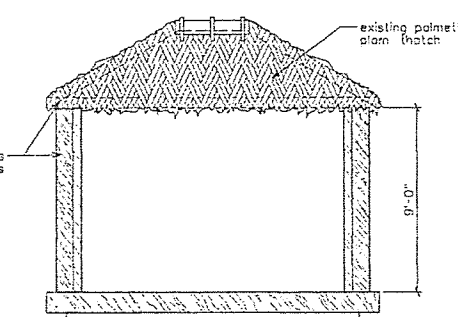
Site Plan
1" = 16'-0"

Legal Description

LOT 79, BLOCK 2 OF THE REVISED PLAT OF SUNRISE HARBOUR, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 65, AT PAGE 22 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.



Pavilion Floor Plan
1/4" = 1'-0"

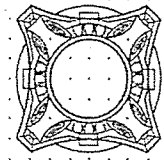


Pavilion Elevation
1/4" = 1'-0"

Zoning Legend

Area of Lot	14,458 Sq. Ft.
F.A.R. Allowable:	
1st 5,000 Sq. Ft. @ 48%	2,400 Sq. Ft.
2nd 5,000 Sq. Ft. @ 35%	1,750 Sq. Ft.
Remaining 4,958 Sq. Ft. @ 30%	1,337 Sq. Ft.
Total Allowable	5,487 Sq. Ft.
1st Floor (Exist.)	3,784 Sq. Ft.
2nd Floor (Exist.)	1,452 Sq. Ft.
Total Existing	5,236 Sq. Ft.
Lot Coverage:	
Max Allow. 14,458 Sq. Ft. @ 35%	5,060 Sq. Ft.
Existing	4,437 Sq. Ft.
New	282 Sq. Ft.
Total Proposed	4,719 Sq. Ft.
Green Area Required:	
Min Req. 14,458 Sq. Ft. @ 35%	5,060 Sq. Ft.
Provided	5,072 Sq. Ft.

BROCKHOUSE
BROCKHOUSE ASSOCIATES PA
1570 MADRUGA AVENUE #111
CORAL GABLES, FL. 33146
305 666 2333 • FAX 666 2332



ARCHITECTURE • INTERIOR DESIGN
PROJECT
A Gazebo For The:
CORONA RESIDENCE
6834 Sunrise Drive
Coral Gables, Florida 33133
(305) 261-5000

SEAL

Signature of Architect

SHEET TITLE

SITE PLAN
& ELEVATION

SHEET TITLE REFERENCE

00035-site-variance.dgn

ALL DIMENSIONS, ELEVATIONS, MATERIALS, FINISHES AND SPECIFICATIONS ARE TO BE USED AS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

REVISION

DESIGNED BY B.A.
DRAWN BY A.N., E.M.
APPROVED BY R.C.
DATE 7-19-04
SCALE 1/16"=1'-0"
PROJECT NO. 00035
SHEET NO.

A.1

724837

SECTION	BY	DATE
HISTORICAL		
BOARD OF ARCH.	B.H.	6/2/05
BOARD OF ARCH.	R.H.	6/2/05
ZONING	B.H.	6/2/05
ELECTRICAL		
MECHANICAL		
PLUMBING	B.H.	6/8/05
STRUCTURAL	B.H.	7/12/05
FIRE		
FEMA		
PUBLIC WORKS		
BUILDING OFFICIAL	B.H.	7/19/05

ZONING APPROVAL
This plan required the following variance(s) to the zoning code of the City of Coral Gables.

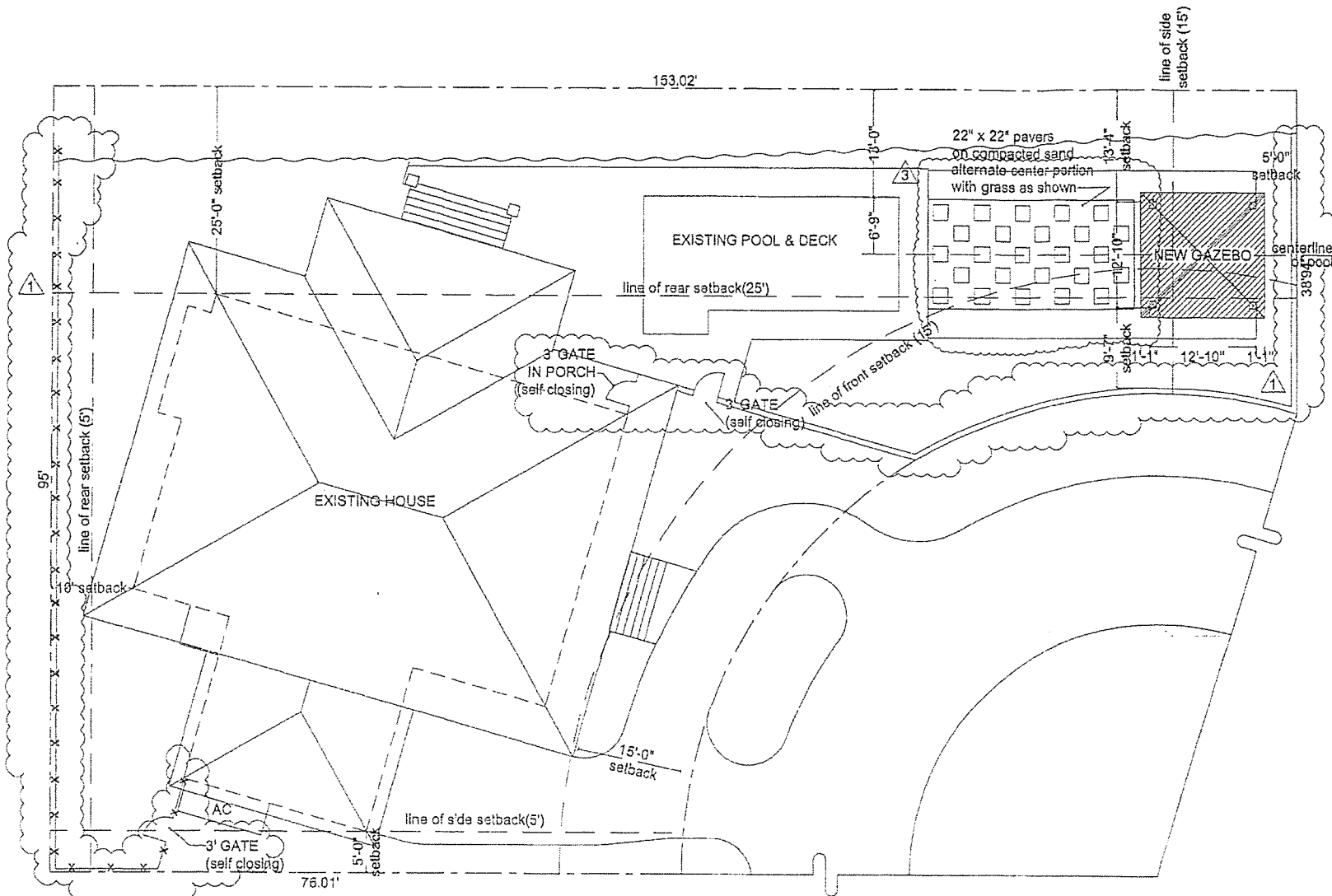
See Below

Approved by RES. NO. *2209-75* of *0505*
which is subject to action on or before *6/15/2005*
(This document shall become void and of no effect
if not signed by the City of Coral Gables within *07/19/05*)

Not a student
until 9/10/06
by city
H. M. M.
(see attached)

The Board of Advisors met in its regular working field on January 5, 2003, pursuant to and adopted Resolution No. 499-078 approving the following resolutions for implementation and work plan under this Act. Listed Proposed resolutions:

1. Create a management plan to allow the proposed extension to stations (1) of the Boreo (2) as a possible future extension and a separate work plan to be developed for the extension from the main corridor to the station (3) to be developed by the Board of Advisors and the Board of Directors.
2. Create a management plan to allow the proposed extension to stations (1) of the Boreo (2) as a possible future extension and a separate work plan to be developed for the extension from the main corridor to the station (3) to be developed by the Board of Advisors and the Board of Directors.



Site Plan
scale: 1/8"=1'-0"

LEGAL DESCRIPTION
Lot 65 Block 2,
"Amended Plat of Coral Bay Section A"
P.B.57, Pg. 97 of Dade County Public Records

LOT COVERAGE CALCULATIONS
Lot size: 10,890 sq. ft.
Residence: 2,458 sq. ft. 23%
Covered Terrace: 937 sq. ft. 9%
New Gazebo: 144 sq. ft. 1.3%
Pool Deck: 1,190 sq. ft. 11%
New Walkway: 137 sq. ft. 1.3%

GAZEBO FOR SANTEIRO RESIDENCE

12500 Ramiro Avenue
Gables by the Sea
Coral Gables, Florida

LIST OF DRAWINGS

- A-1 Site Plan
- A-2 Floor Plan and Elevations
- S-1 Floor Plan, Details and Schedules
- S-2 Roof Plan, Details and Roof Wind Pressures
- P-1 Plan and Riser Diagrams
- E-1 Plan and Details
- E-2 Riser and Schedules

GENERAL NOTES

1. All materials and methods shall be in accordance with the 2004 Florida Building Code and the latest ACI, ASTM, and AISC Specifications and recommended practices.
2. The General Contractor shall be responsible for verifying all existing conditions. Any discrepancies with the drawings, dimensional or otherwise shall be brought to the attention of the Architect.
3. Do not scale drawings to obtain dimensions. Dimensions not indicated on the drawings shall be confirmed with the Architect or the Engineer.
4. The General Contractor shall be responsible for coordinating the work of all construction trades.
5. The General Contractor shall keep the premises free from the accumulation of waste material and rubbish at all times. The General Contractor is responsible for repairing all existing damaged in the process of the work.
6. General Contractor shall comply with all statutory requirements related to waste disposal and safety precautions as required by law.
7. Contractor shall provide all supplemental materials required to properly install, support, and brace all items and components within the work.
8. All project materials to be new unless otherwise noted.
9. No plumbing or electrical services shall be disrupted without the prior written approval of the owner.
10. The General Contractor shall maintain protection for all traffic areas used during the execution of work pertaining to this contract.
11. The General Contractor shall be responsible for all bracing of all structural members and non-structural elements during construction.
12. All stucco coats to be allowed 24 hours drying period.
13. The General Contractor guarantees and warrants that all work performed shall be free from defects in materials and workmanship for a period of one year after the completion of the work. Any defects or damage discovered during said period shall be repaired or replaced, as directed in writing by the Architect/Engineer.
14. Coordinate with Owner the paint colors. Repaint all painted surfaces. Paint all woodwork 2 finish coats semi-gloss. Paint stucco walls 2 finish coats exterior latex.

revisions:
3-14-07
ADDITIONAL INFORMATION
EXIST. POOL ENCLOSURE
3-20-07
LOT COVERAGE
CALCULATIONS
4-15-08
CLIENT REQUEST

LOPEZ-MATA

Mirtha Lopez-Mata
AR0011661
529 Cadagua Ave.
Coral Gables, FL

project name:
**SANTEIRO RESIDENCE
GAZEBO**
12500 Ramiro Street
Coral Gables, FL

owner:
**Danielle and
Carlos Santeiro**

drawing:
Site Plan

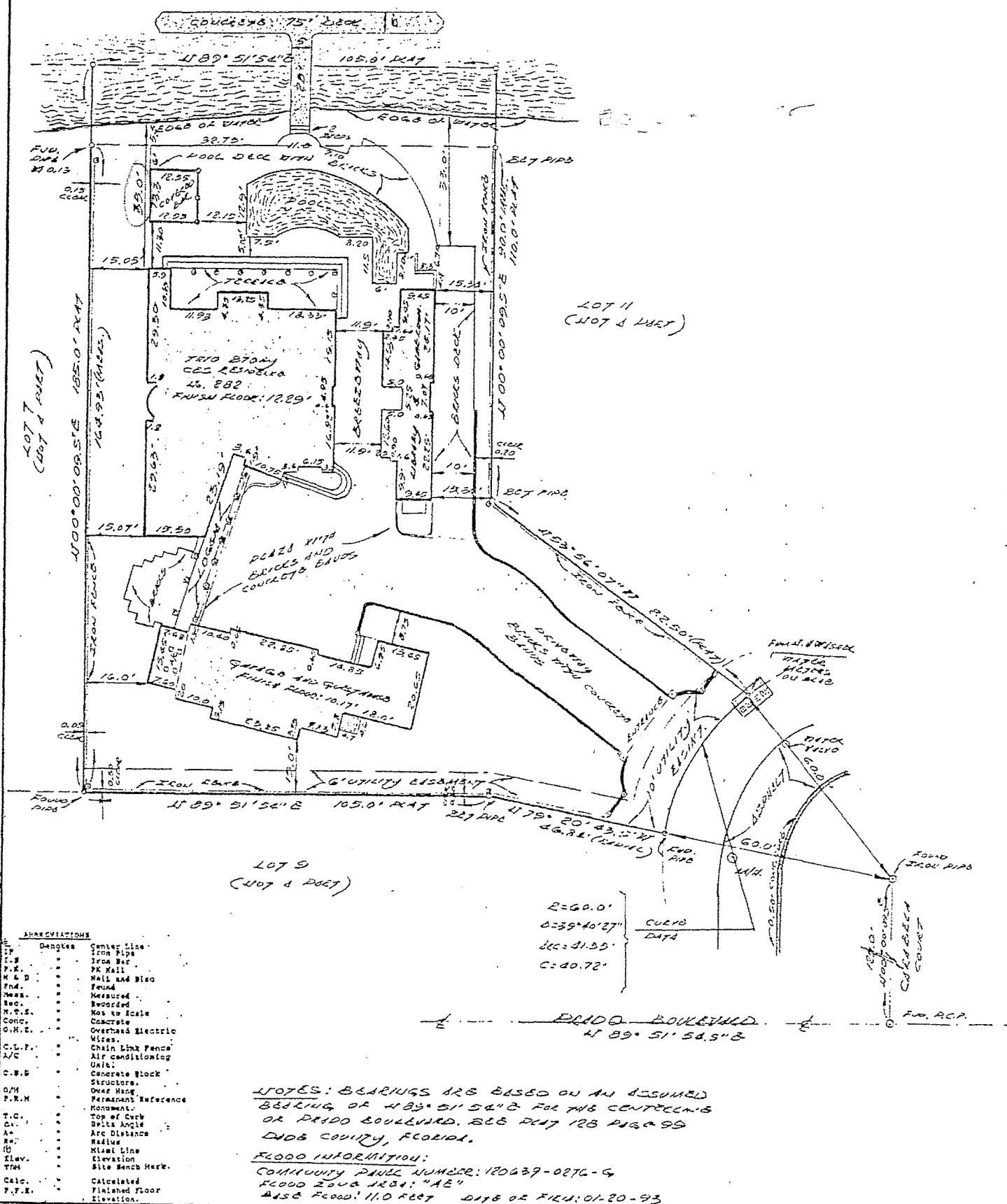
drawn by:
MLM
scale:
1/4"=1'-0"
date:
03-14-07
sheet no.

A-1

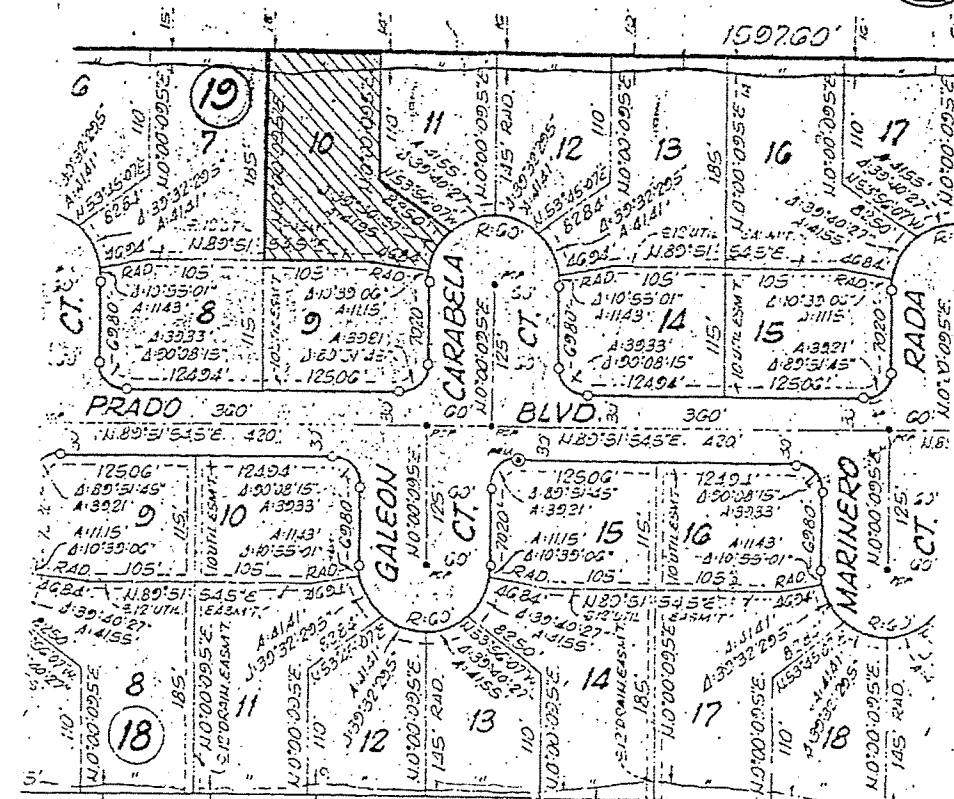
1 of 2 sheets

SCALE: 1" = 20'

CORAL GABLES DISTRICT



SCALE: 1" = 100'



PROPERTY ADDRESS: 282 CARIBBEAN COURT
CORAL GABLES, FLORIDA

NOTE: THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

LEGAL DESCRIPTION

Lot 10, Block 19, of "COCODRUM SECTION T140 - PLAT "D"
according to the plat thereof as recorded in Plat 123 at page 99 of the Public Records of Dade
County, Florida.

For: *VICTOR LARCO*

JOB No.: 93-06-284

F.B. No.: F1662

ROBERTO R. BRIZUELA
3100 S.W. 92nd COURT
MIAMI, FLORIDA 33185
PHONES: (305) 551-4383 / 550-4237

DATE: 08-03-93

REVISION:

I HEREBY CERTIFY: That the attached "SKETCH OF SURVEY" of the above described property is true and correct to the best of my knowledge and belief as recently surveyed under my direction, and that there are no encroachments other than those shown, and meets the intent of the Minimum Technical Standards set forth by the Florida Board of Land Surveyors pursuant to Section 472.027 of Florida Statutes.

SURVEYOR'S NOTES:

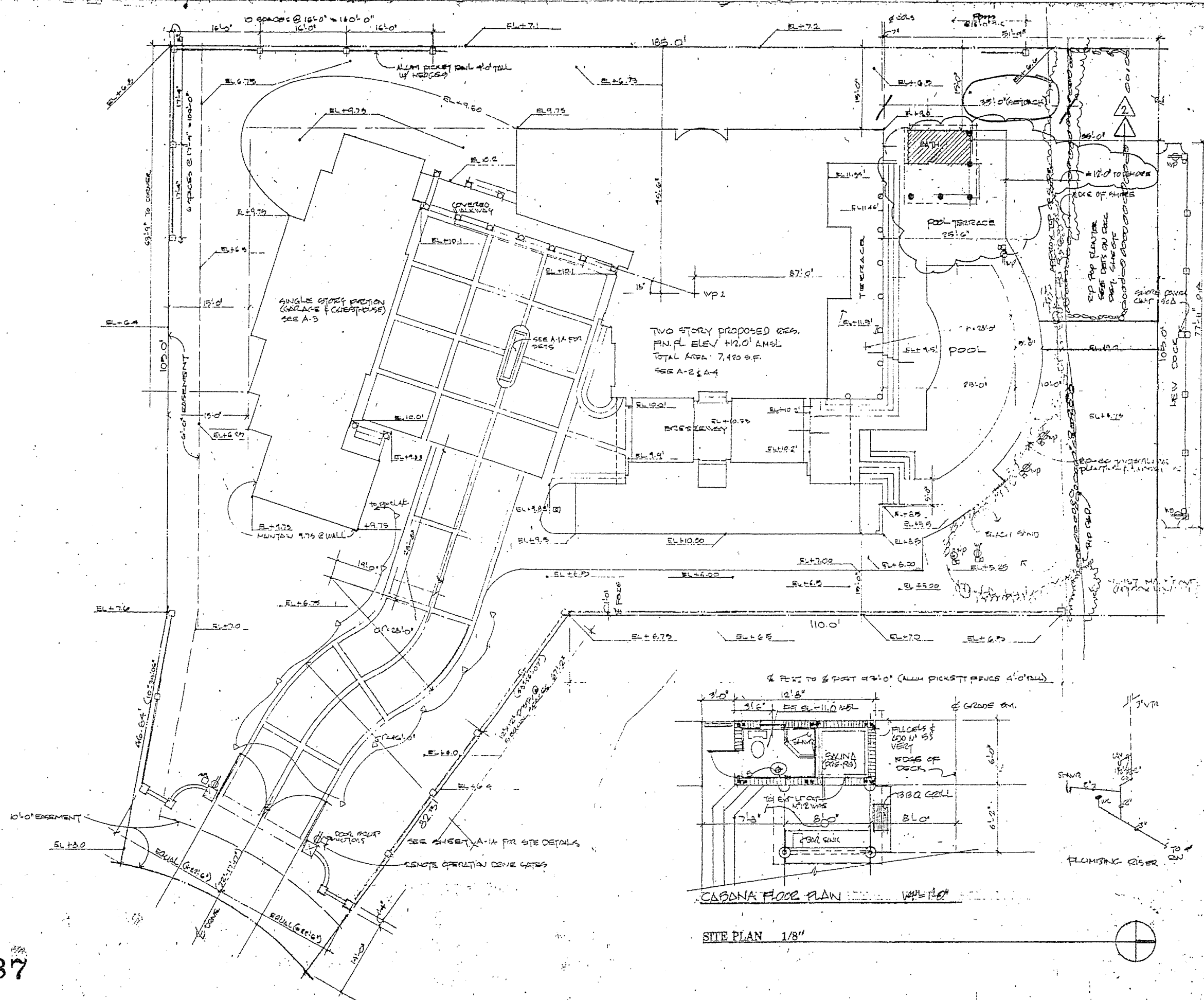
- Legal description was furnished by client.
- Examination of the Abstract of Title will have to be made to determine recorded instruments, if any, affecting the property.
- Legal description subject to any dedications, limitations, restrictions, reservations or easements of record.

As shown are elevations referred to N.G.V.D. of 1929, and are derived from B.M. C45 (elevation 16.30) supplied by the Surveying Department of Dade County, Florida.

Not valid unless sealed with an embossed surveyor's seal.

ROBERTO R. BRIZUELA
PROFESSIONAL LAND SURVEYOR
No. 3064
STATE OF FLORIDA

92060087



"VILLA VENEZIA"
a residence for
VICTOR and PATRICIA BARED
CARABELLA COURT, COCOPLUM, FLORIDA

ARCCHITECT
Collado
Lic. AR0013264
THE 1ST-9855 FAX 215-6457
3522 TAMiami TRAIL MIAMI FLORIDA 33144

Project: 9204
Issue Date: 1/1/92
Revisions:
A - POOL DECK 1-1-12
B - CHANGING ROOM
Sheet: A-1

93083
Residence
92056333

PERMIT NO. 92060087		
ADDRESS: 282 CARABELA COURT		
CITY OF CORAL GABLES BUILDING/ZONING DEPARTMENT		
SECTION	BY	DATE
HISTORICAL		
BOARD OF ARCH.		
BOARD OF ARCH.		
ZONING		
ELECTRICAL		
MECHANICAL		
PLUMBING		
STRUCTURAL		
FIRE		
FEMA		
PUBLIC WORKS		
BUILDING OFFICIAL		
1. Signature of Building Official 2. Signature of City Engineer 3. Signature of City Attorney 4. Signature of City Manager		

RESIDENTIAL	NON RESIDENTIAL	
INDICATE THE TYPE OF FLOOD ZONE AND FLOOD ELEVATION OR FLOOD ELEVATION IN RELATION TO MEAN SEA LEVEL (MSL)		
DISTRICT	REQUIRED	PROPOSED
C.H.M.		
S.F.M.	11.00	12.00
OTHER		
NEW CONSTRUCTION		
YES	☒	
NO	☐	
SUBSTANTIAL IMPROVEMENT		
YES	☒	
NO	☐	

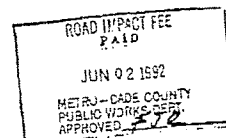
BUILDER:

A SPECIAL INSPECTOR IS REQUIRED
ON THIS PROJECT. BE ADVISED
THAT CITY INSPECTIONS ARE ALSO
REQUIRED.

Notice
Call Public Works Dept. for Inspections Marked (X)

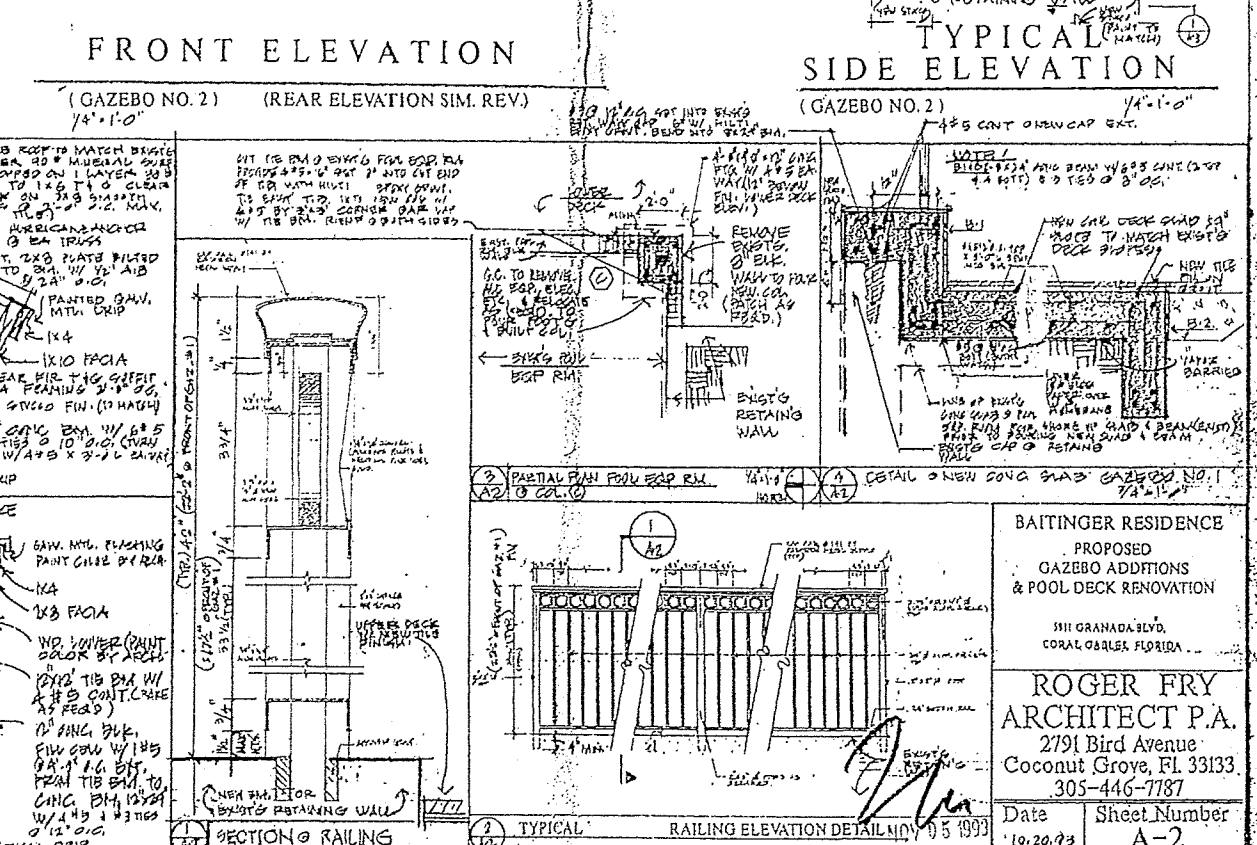
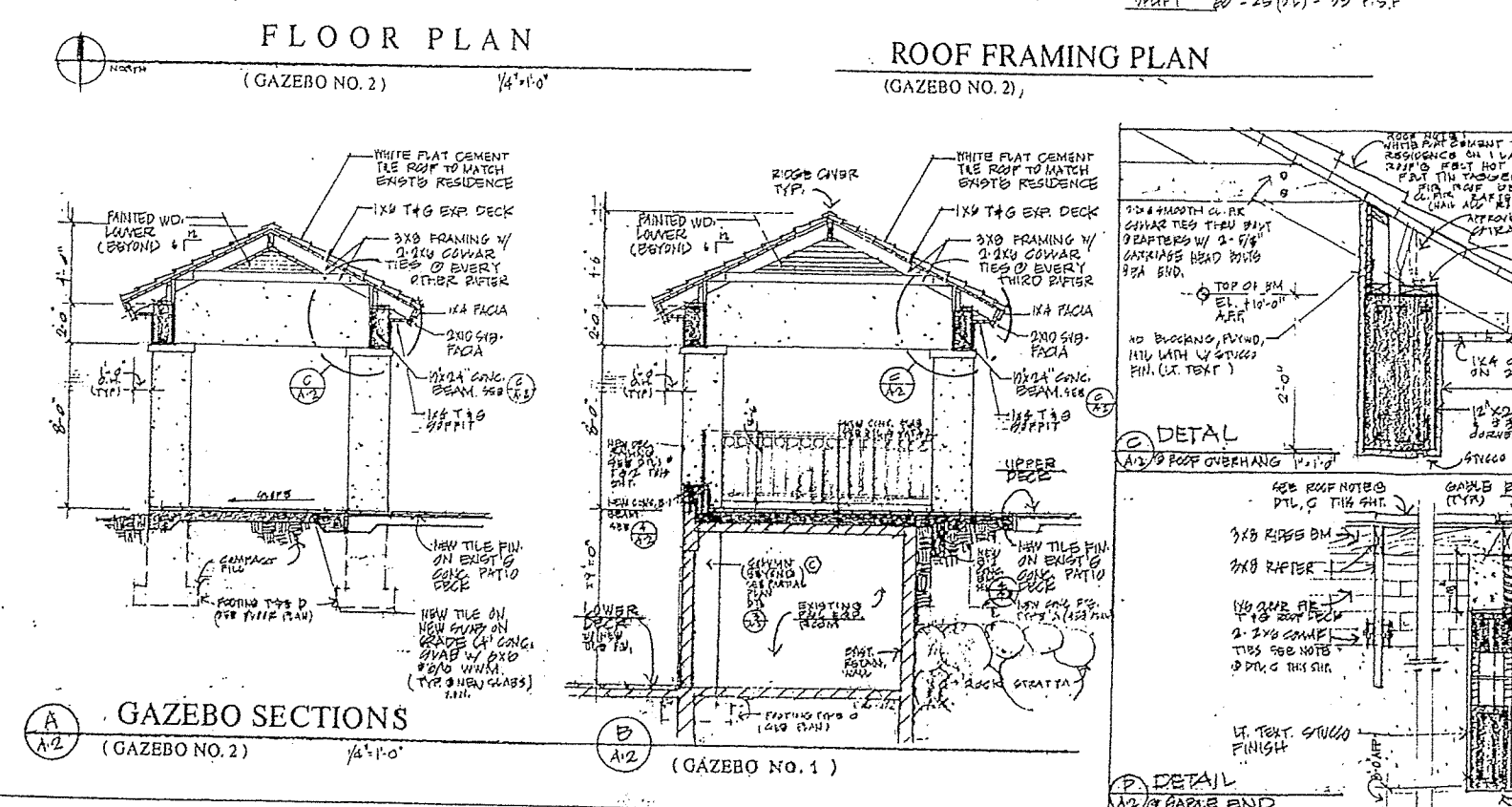
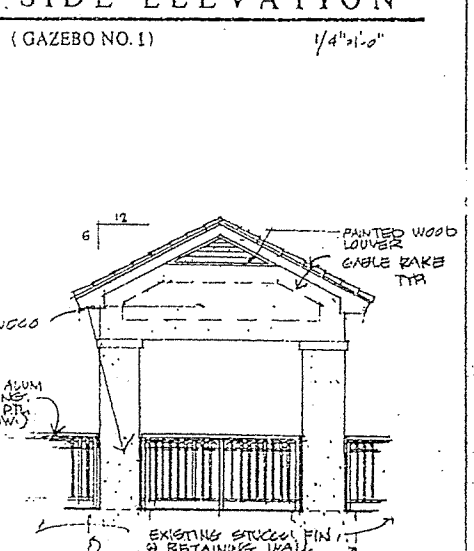
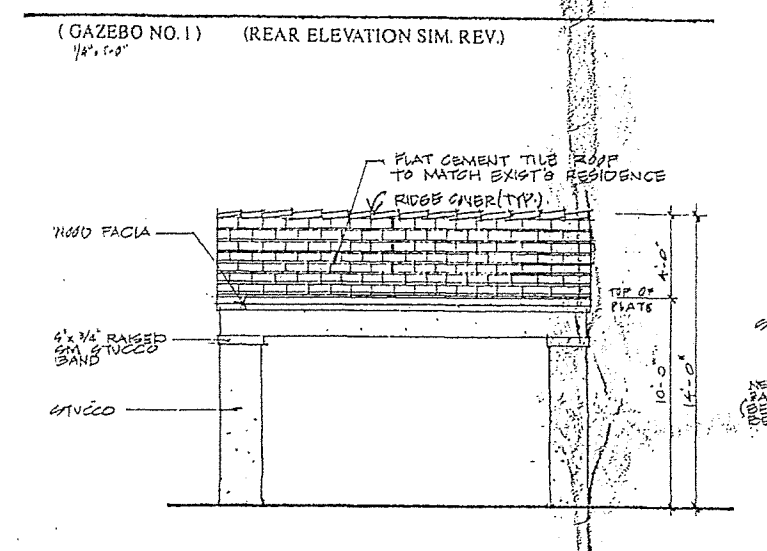
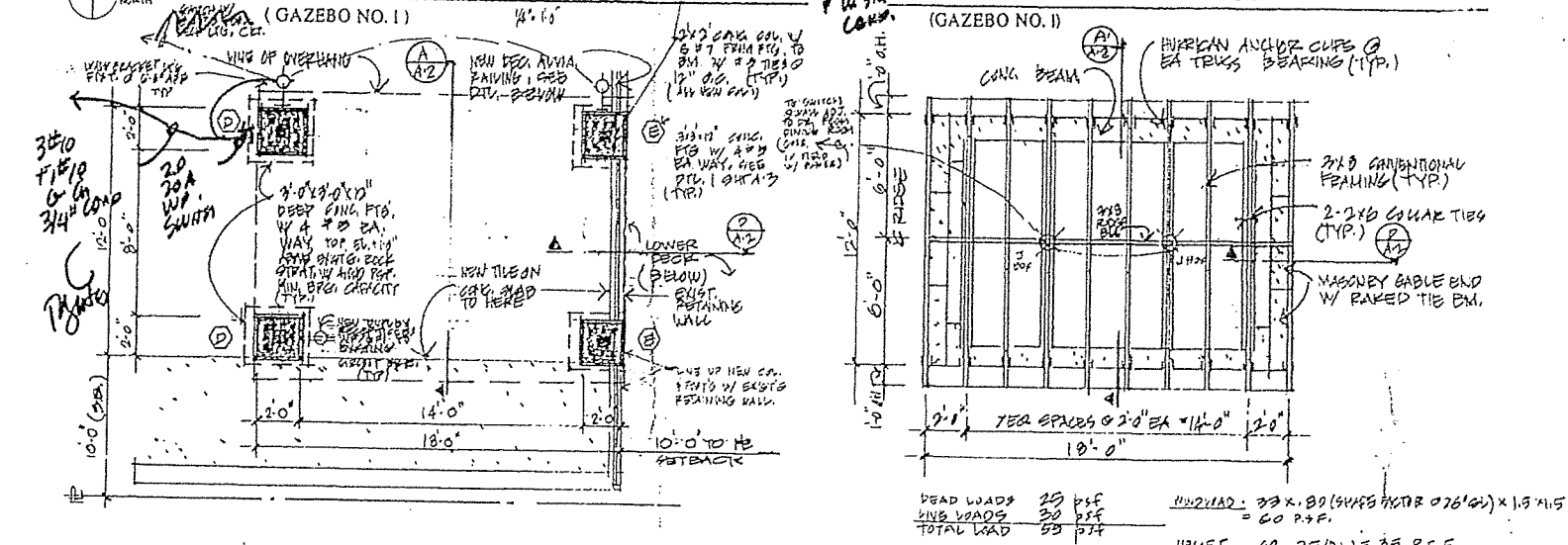
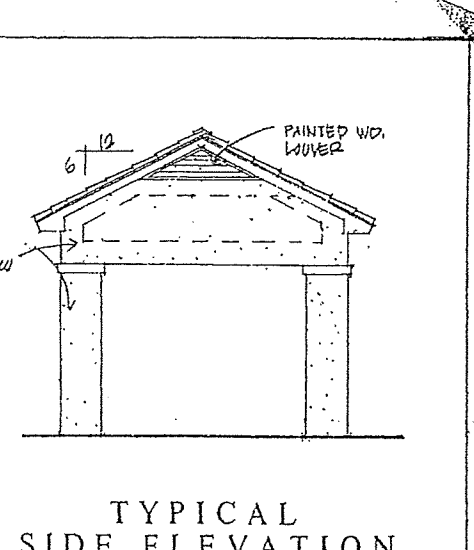
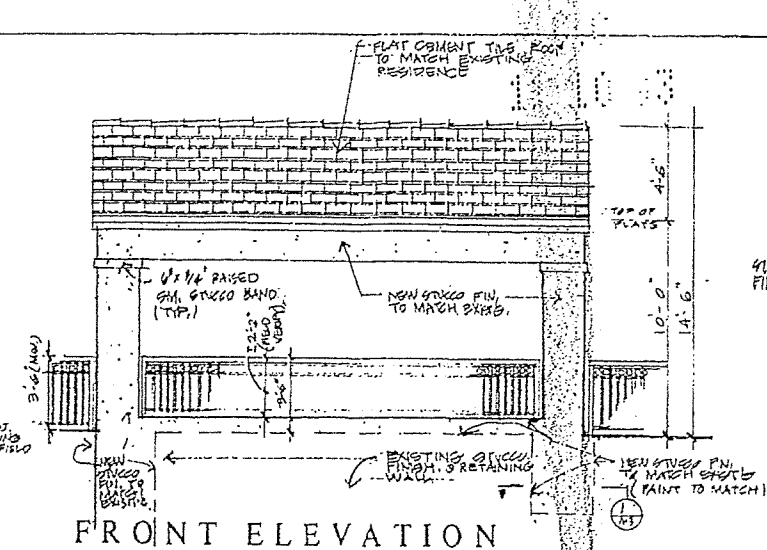
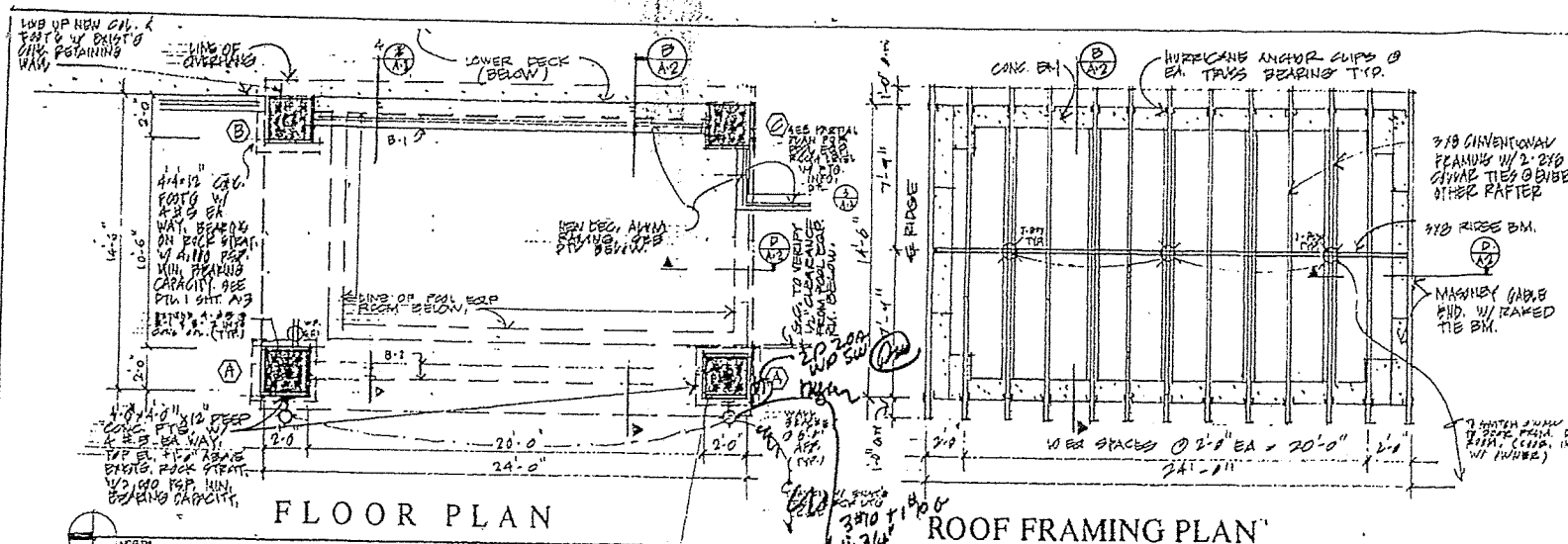
Item	Inspected	Approved
1. Foundation		
2. Footing		
3. Wall		
4. Slab		
5. Beam		
6. Joist		
7. Roof		
8. Siding		
9. Windows		
10. Doors		
11. Stairs		
12. Elevation		
13. Foundation		
14. Footing		
15. Wall		
16. Slab		
17. Beam		
18. Joist		
19. Roof		
20. Siding		
21. Windows		
22. Doors		
23. Stairs		
24. Elevation		

Permit for asphalt
roadwork



92060087

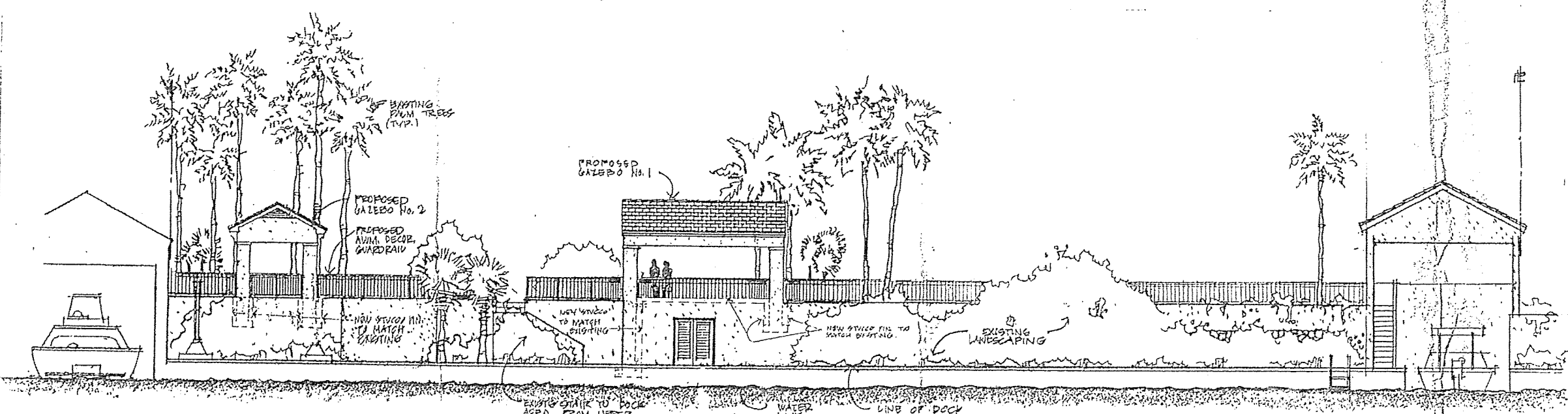
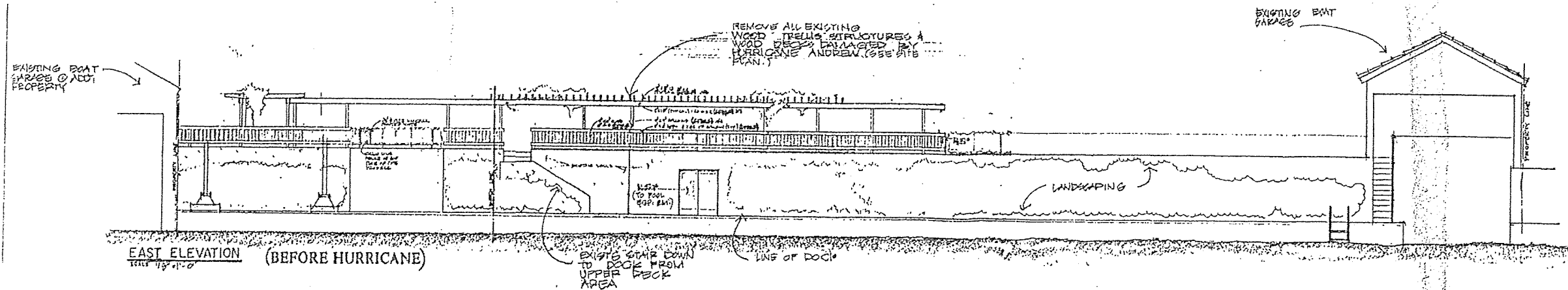
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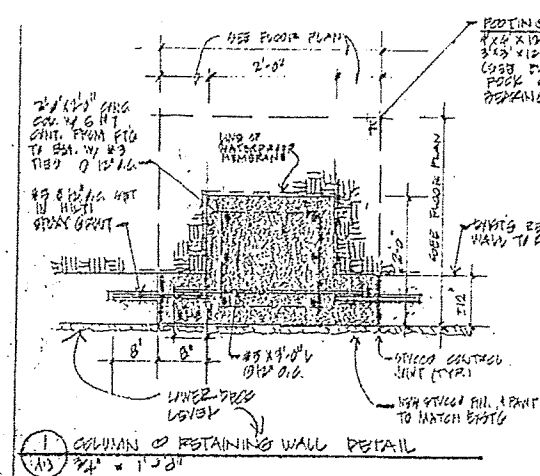
BAITINGER RESIDENCE
PROPOSED
GAZEBO ADDITIONS
& POOL DECK RENOVATION
3111 GRANADA BLVD.
CORAL GABLES, FLORIDA

**ROGER FRY
ARCHITECT P.A.**
2791 Bird Avenue
Coconut Grove, FL 33133
305-446-7787

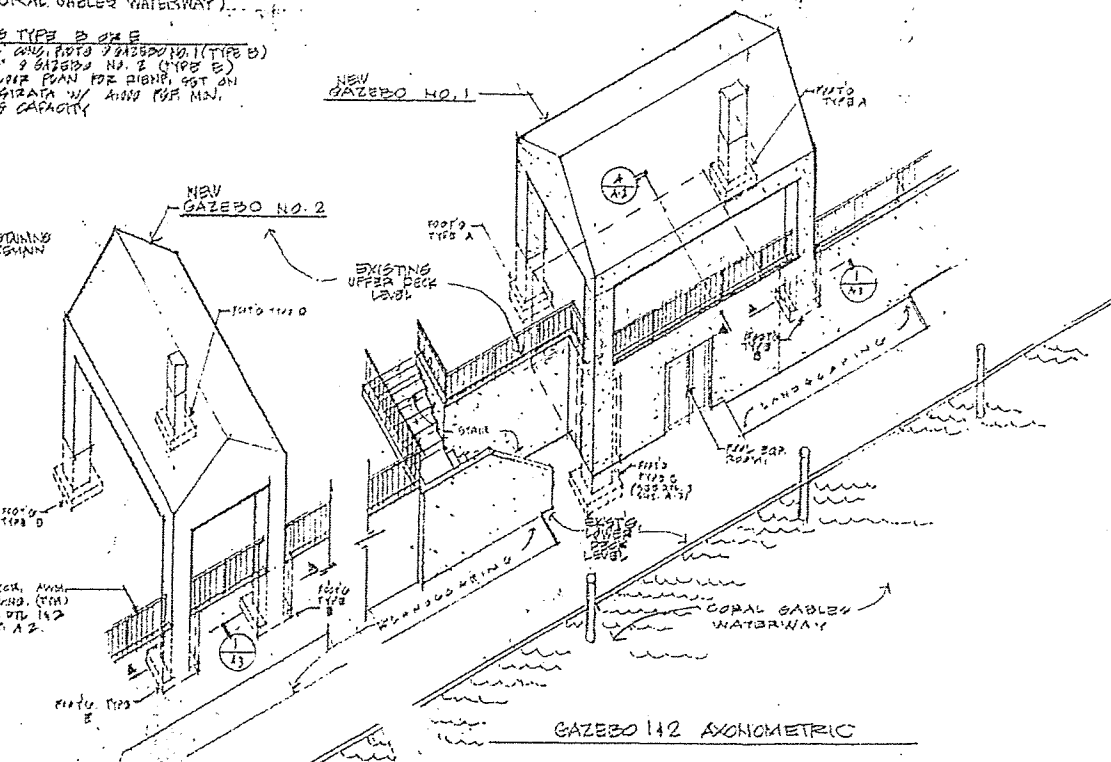
Date 10.20.23 Sheet Number A-2



PROPOSED EAST ELEVATION
SCALE 1/2" = 1'-0" (VIEW FROM CORAL GABLES WATERWAY)



STRUCTURAL NOTES
SOIL: SEAWATER SOIL IS SAND & ROCKS BY VISUAL INSPECTION HAS A MAXIMUM BEARING CAPACITY OF 2500 PSF.
CONCRETE: 3500 PSI AT 28 DAYS
REINFT. STEEL: A-36, GRADE 60
LUMBER: STRUCTURAL GRADE (YELLOW PINE) CLEAR OR APPROVED EQUAL
JOINTS & FINISH: ROBERTSON
DETAILS: OF 1200 PSI
PROVIDE CORNERS CONT. BASE @ ALL THE POINTS



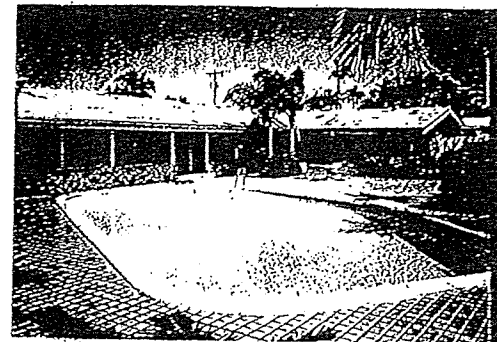
BAITINGER RESIDENCE	
PROPOSED	
GAZEBO ADDITIONS	
& POOL DECK RENOVATION	
331 GRANADA BLVD. CORAL GABLES, FLORIDA	
ROGER FRY ARCHITECT P.A.	
2791 Bird Avenue Coconut Grove, FL 33133 305-446-7787	
Date 10.20.93	Sheet Number A-3

NOV 05 1993

PHOTO DESCRIPTION LEGEND



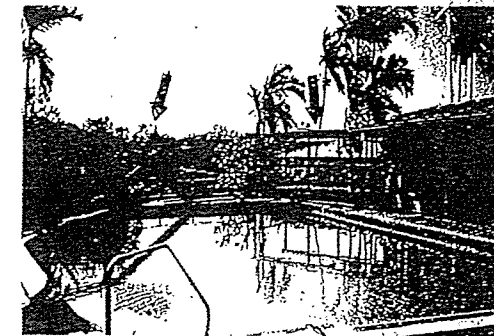
1 FRONT ELEVATION OF RESIDENCE



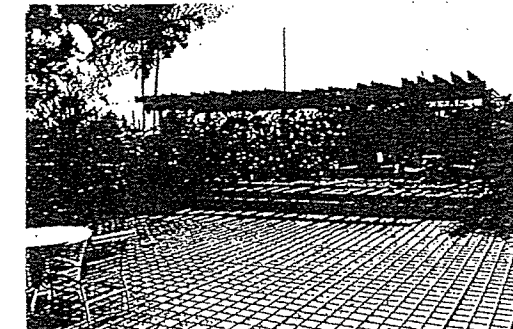
2 SOUTHEAST REAR ELEVATION



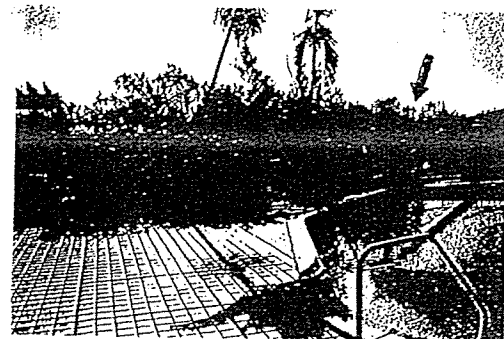
3 SOUTHWEST REAR ELEVATION



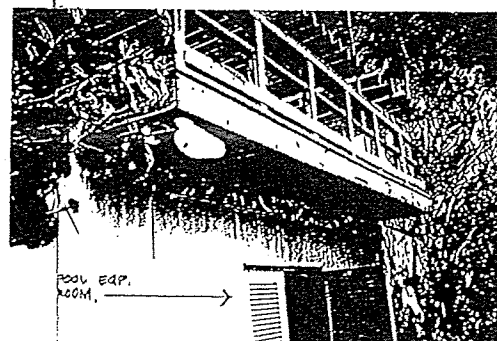
4 VIEW OF DAMAGED WOOD DECK & TRELLIS STRUCTURE TO BE REMOVED, (GAZEBO No. 2 LOCATION)



5 VIEW OF DAMAGED WOOD DECK & TRELLIS STRUCTURE TO BE REMOVED, (GAZEBO No. 1 LOCATION)



6 VIEW OF DAMAGED TRELLIS STRUCTURE



7 VIEW OF DAMAGED WOOD DECK & TRELLIS STRUCTURE TO BE REMOVED



8 VIEW OF DOCK AREA



9 VIEW OF DOCK AREA



10 VIEW OF BOAT GARAGE @ ADJ. PROPERTY



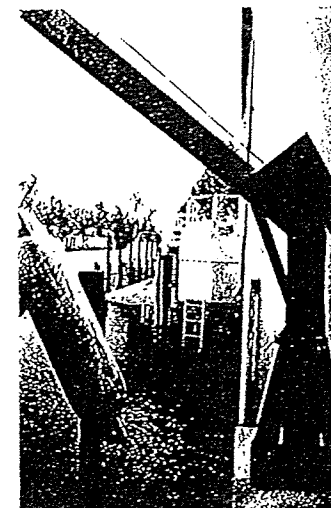
11 VIEW OF WOOD DECK TO BE REMOVED



12 VIEW OF DOCK AREA W/ BOAT GARAGE (BEYOND)



13 VIEW OF DAMAGED WOOD DECK & TRELLIS



14 VIEW OF BOAT GARAGE & DOCK AREA @ ADJ. PROPERTY

PHOTO DESCRIPTION
LEGEND NOTE:
REFER TO ENCLOSED
COLOR PHOTOGRAPHS
ATTACHED TO APPLICATION
WHEN USING THIS PHOTO
DESCRIPTION LEGEND.

BAITINGER RESIDENCE
PROPOSED
GAZEBO ADDITIONS
& POOL DECK RENOVATION
311 GRANADA BLVD.
CORAL GABLES, FLORIDA

ROGER FRY
ARCHITECT P.A.
2791 Bird Avenue
Coconut Grove, FL 33133
305-446-7787

NOV 05 1992

Date 4.23.93 Sheet Number A-4