



Level

1

Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134

Email: planning@coralgables.com

Phone: 305.460.5211

Preamble

The Development Review Committee (DRC) is an administrative and technical committee which reviews policy and technical issues raised by a development project. The DRC is intended to streamline and coordinate the review of the development process by identifying, addressing, providing input, advice and comments regarding all applicable provisions and regulations. The review of the projects and comments on development proposals by the DRC shall not be construed to be an approval of any project presented to the Committee.

Application review request

The undersigned applicant(s)/agent(s)/property owner(s) request(s) Level One (1) Development Review Committee consideration and review for the following application(s) (please check all that apply):

- ☐ Abandonment and Vacations
- ☐ Comprehensive Plan Map Amendment - Small Scale
- ☐ Comprehensive Plan Map Amendment - Large Scale
- ☐ Comprehensive Plan Text Amendment
- ☒ Conditional Use with Site Plan
- ☐ Conditional Use without Site Plan
- ☐ Coral Gables Mediterranean Architectural Design Special Locational Site Plan
- ☐ Development Agreement
- ☐ Development of Regional Impact
- ☐ Development of Regional Impact - Notice of Proposed Change
- ☒ Mixed Use Site Plan
- ☐ Planned Area Development Designation and Site Plan
- ☐ Planned Area Development Major Amendment
- ☐ Separation/Establishment of a Building Site
- ☐ Site Plan
- ☐ Subdivision Review for a Tentative Plat and Variance
- ☒ Transfer of Development Rights Receiving Site Plan
- ☐ University Campus District Modification to the Adopted Campus Master Plan
- ☐ Zoning Code Map Amendment
- ☐ Zoning Code Text Amendment
- ☐ Other: _____ See attached _____

Coral Gables Mediterranean Architecture Bonus

- ☒ Coral Gables Mediterranean Style Bonus - Table 1
- ☒ Coral Gables Mediterranean Style Bonus - Table 2
- ☒ Coral Gables Mediterranean Style Bonus - Table 3
- ☐ None



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Property information

Street address of the subject property: 351 San Lorenzo Avenue

Property/project name: The Avenue

Current land use classification(s): Industrial

Current zoning classification(s): MX2

Proposed land use classification(s) (if applicable): No change

Proposed zoning classification(s) (if applicable): No change

Previous use(s)/current use(s) of the property/building(s): Sales Office for Residential Development

Proposed use(s) of the property/building(s): Mixed Use Development (residential, retail, restaurant)

Size of property (square feet/acres) 11,000 sf

Total non-residential (i.e, commercial, office, etc.) floor area (total square feet/FAR): 3,849 sf

Total number of residential units per acre and total number of unit's 54 units

Estimated cost of the existing/proposed building/project: Approximately \$7.8 Million

Application(s) and date(s) of all previous City of Coral Gables submittals and type of actions related to existing/proposed building/project:

See attached.

Project Legal Description: Lot(s): 8, 9, 10 and 11

Block(s): 9

Section(s): Revised Plat of Coral Gables Industrial Section, Plat Book 28, Page 22, Miami-Dade County

Listing of all folio numbers for subject property:

03-4120-017-1570



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Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134
Email: planning@coralgables.com Phone: 305.460.5211

General information

Applicant(s)/Agent(s) Name(s): Mario Garcia-Serra, Esq.

Telephone Contact No: 305-376-6061 Fax No. 786-425-4104 Email mgarcia-serra @ gunster.com

Mailing Address: 600 Brickell Avenue, Suite 3500, Miami, FL 33131
(City) (State) (ZIP Code)

Property Owner(s) Name(s): San Lorenzo Property, LLC

Telephone Contact No: 305-448-4091 Fax No. 305-448-4916 Email oroger @ rogerdevelopment.com

Mailing Address: 782 NW 42nd Avenue, Suite 550, Miami, FL 33126
(City) (State) (ZIP Code)

Property Owner(s) Name(s): _____

Telephone Contact No: _____ Fax No. _____ Email _____ @ _____

Mailing Address: _____
(City) (State) (ZIP Code)

Project Architect(s) Name(s): Bermello Ajamil & Partners

Telephone Contact No: 305-859-2050 Fax No. _____ Email wbermello @ bermelloajamil.com

Mailing Address: 4711 South LeJeune Road, Coral Gables, FL 33146
(City) (State) (ZIP Code)

Provide the date(s) and type(s) of application(s) previously filed with the City of Coral Gables and type of reviews, approvals, actions related to this request:

None.



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Application requirements and supporting information

Application submittal dates and meeting dates. Applications for the DRC shall be submitted in no later the first Friday of each month to be scheduled for the same monthly DRC meeting. DRC meetings are held the last Friday of each month, 9:30 a.m. City Commission Chambers, City Hall, 405 Biltmore Way, Coral Gables, Florida 33134. Applicants and/or agents shall be required to attend the meeting to present the application request and respond to City Staff questions. All applications shall be complete at time of submittal.

Preapplication Conference Requirements. A Pre-application Conference is required with the Planning and Zoning Division in advance of application submittal to determine the information necessary to be filed with the application(s). The City reserves the right to request additional information as necessary.

Application submittal (order of documents). The order of the documents for the application submittal shall be as follows (required documents will be determined at pre-application meeting):

- ☒ Table of Contents with page numbers identifying all below documents.
- ☒ DRC Application.
- ☒ Statement of use and/or cover letter.
- ☒ Aerial.
- ☒ Photographs of property, adjacent uses and/or streetscape.
- ☒ Property survey and legal description.
- ☒ Zoning chart and supporting information.
- ☒ Site Plan.
- ☒ Landscape plan and vegetation assessment.
- ☒ Tree survey and relocation plan.
- ☒ Architectural/building elevations.
- ☒ Building floor plans.
- ☒ Pedestrian amenities and streetscape plan.
- ☐ On-street parking analysis.
- ☒ Art in Public Places plan and/or statement.
- ☐ Lighting plan and signage plan.
- ☒ Underground utilities plan and/or statement.
- ☒ Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- ☐ Historical significance letter.
- ☒ City Concurrency Impact Statement (CIS).
- ☒ Traffic study.
- ☒ Name and contact information for property owner, applicant, architect, attorney, etc.
- ☒ City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- ☒ Warranty deed.
- ☒ Application fee equal to one tenth of one percent (.001) of the estimated total building construction cost as determined by the City (\$100.00 minimum fee and \$10,000.00 maximum fee). Payment shall be in check form, payable to the City of Coral Gables.
- ☐ Other: _____

 City of Coral Gables, Florida	Level 1	Development Review Committee Application	
	Review	Address: 427 Biltmore Way, 2 nd Floor, Coral Gables, Florida 33134 Email: planning@coralgables.com Phone: 305.460.5211	

Posting of the property. The City will post the subject property with a sign in accordance with the requirements of the Zoning Code indicating the DRC meeting date and location. The sign will be installed ten (10) days prior to the meeting and shall not be removed until after the meeting has been held, at which time it is the applicant's responsibility to remove the sign.

Application submittal requirements

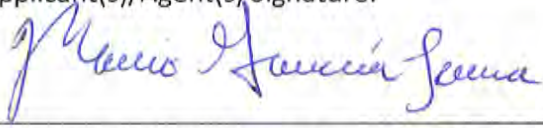
1. Hard copies. Three (3) hard copies of the entire application shall be submitted including all the items identified in the pre-application conference. Plans and drawings shall be in 11" x 17" format.
2. Electronic copy. One (1) PDF of the entire application shall be submitted including all items provided within the hard copies. The documents provided in the electronic copy shall be the same size (11" x 17" maximum for plans and drawings) and in the same order as the hard copy submittal. The total file size shall not exceed 30 MB.

Applicant/agent/property owner/architect affirmation and consent

(I) (We) affirm and certify to all of the following:

1. Submission of the following:
 - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
 - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.
5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. The subject property will be posted by the City in accordance with Zoning Code requirements. The sign shall be installed by the City ten (10) days prior to the meeting and shall not be removed until after the meeting, at which time it is the applicant's responsibility to remove the sign.
9. The application will not be heard unless the Applicant and/or agent is present at the DRC meeting.

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Applicant(s)/Agent(s) Signature: 	Applicant(s)/Agent(s) Print Name: Mario Garcia-Serra, Esq.
Address: 600 Brickell Avenue, Suite 3500, Miami, FL 33131	
Telephone: 305-376-6061	Fax: 786-425-4104
Email: mgarcia-serra@gunster.com	

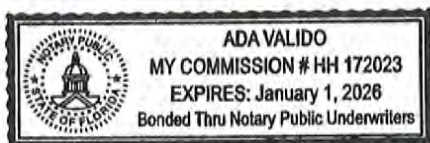
NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 10th day of October, 2022 by


 (Signature of Notary Public - State of Florida)

Mario Garcia-Serra



(Print, Type or Stamp Commissioned Name of Notary Public)

☒ Personally Known OR ☐ Produced Identification; Type of Identification Produced



Level

1

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Phone: 305.460.5211

Property Owner(s) Signature:

San Lorenzo Property, LLC Manager
[Signature]
Manager

Property Owner(s) Print Name:

San Lorenzo Property, LLC

Oscar Roger

Property Owner(s) Signature:

Property Owner(s) Print Name:

Property Owner(s) Signature:

Property Owner(s) Print Name:

Address: 782 NW 42nd Avenue, Suite 550, Miami, FL 33126

Telephone: 305-448-4091

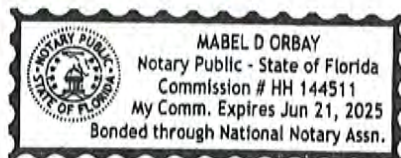
Fax: 305-448-4916

Email: oroger@rogerdevelopment.com**NOTARIZATION**

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 6 day of Oct. by*Oscar Roger*

(Signature of Notary Public - State of Florida)

[Signature]

(Print, Type or Stamp Commissioned Name of Notary Public)

☒ Personally Known OR ☐ Produced Identification; Type of Identification Produced



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Email: planning@coralgables.com Phone: 305.460.5211

Architect(s) Signature:

Architect(s) Print Name:

Bermello Ajamil & Partners

Address: 4711 South LeJeune Road, Coral Gables, FL 33146

Telephone: 305-859-2050

Fax:

Email: wbermello@bermelloajamil.com



SEAL

NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 06 day of OCTOBER by

(Signature of Notary Public - State of Florida)



JISSETTE JIMENEZ

10/06/2022

(Print, Type or Stamp Commissioned Name of Notary Public)

☒ Personally Known OR ☐ Produced Identification; Type of Identification Produced



City of
Coral Gables,
Florida

Level

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Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134

Email: planning@coralgables.com

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June 2019

November 4, 2022

VIA ELECTRONIC SUBMISSION

Ms. Jennifer Garcia
Chairperson
Development Review Committee
427 Biltmore Way, 2nd Floor
Coral Gables, FL 33134

Re: The Avenue - 351 San Lorenzo Avenue, Coral Gables, Florida / Development Review Committee ("DRC") / Amended Statement of Use

Dear Ms. Garcia:

On behalf of San Lorenzo Property, LLC, (the "Applicant"), the owner of the property located at 351 San Lorenzo Avenue, Coral Gables, Florida, (the "Property"), we respectfully submit this Amended Statement of Use. The Applicant is modifying its DRC application to change the proposed project's use from multi-family residential to a Hotel and Residences (the "Project").

The Property consists of approximately 11,000 square feet and is located east of LeJeune Road at the intersection of San Lorenzo Avenue and Laguna Street, directly across from the Shops at Merrick Park. There is currently a one story modular structure on the Property, constructed circa 2016, which was used as a sales office for a previously approved project on the Property.



The Applicant is proposing a new hotel and residences development tentatively named "The Avenue", which will consist of 54 units/hotel keys and 3,861 square feet of first floor retail and restaurant space in a beautifully designed, Mediterranean-styled structure, located within the Design and Innovation District, (the "Project"). The Project will provide visitors to the City and residents with the opportunity to live, stay, work, shop, dine and play all within walking distance.

The Applicant is requesting the following for the development of the Project: (1) Conditional Use approval for remote off-street parking; (2) Receiving Site Plan Approval for a Transfer of Development Rights to the Property to increase the Floor Area Ratio (“FAR”) to 4.375; and (3) Mediterranean Architecture Bonuses to achieve the proposed FAR of 48,073.64 square feet. While subject to further study and consideration, it is anticipated that (4) a variance to permit encroachments into the setback required above 45 feet may also be requested.

Land Use and Zoning

Pursuant to the City’s Future Land Use Map (“FLUM”), the Property has a land use designation of Industrial. See, Figure 1 below. Additionally, the Property is zoned MX2 and is located within the Design and Innovation Overlay District (“DIO”). See, Figure 2 below.



Figure 1

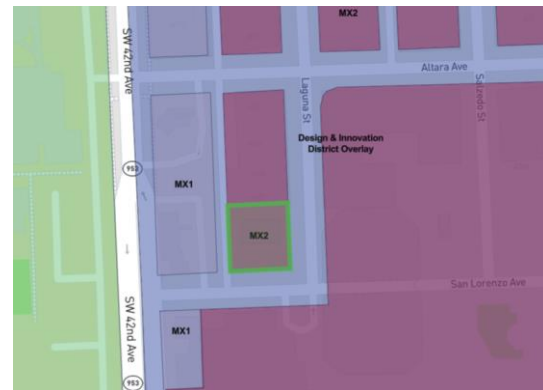


Figure 2

The Project is consistent with both the Mixed Use District regulations of the Comprehensive Plan and the Zoning Code of the City of Coral Gables (“City”), which permits overnight accommodations as a permitted use for the Property.

The Project

The Avenue is a unique development in the heart of the Merrick Park neighborhood consisting of a seven (7) story building with 54 units/hotel keys and 3,861 square feet of new ground floor retail/restaurant space. The Project will activate this area and provide a pedestrian-friendly urban environment, bringing together the activities of overnight accommodations and daily living, and reducing dependence on vehicular mobility. This vibrant area of the City is lacking a much needed hotel use at present. The Project will improve the public realm and activate the streets with street level amenities, retail and restaurants and design elements contributing to the pedestrian experience. The Project is compatible with the surrounding neighborhood and with the City’s vision for redevelopment within the Design and Innovation District and will comply with the Zoning Code requirements for overnight accommodations per Section 3-415.

Conditional Use for Remote Off-Street Parking

In order to preserve the beautiful architectural design of The Avenue and to not overwhelm the Property with structured podium parking within the Project, the Applicant is proposing pursuant to Section 10-109(B) of the Zoning Code to use remote off-street parking to meet the Project's off-street parking requirements. Conditional uses are permitted in MX Districts per Section 3-101. The Project is designed with 100 percent valet parking and the valet attendants will park the vehicles in the adjacent Shops at Merrick Park parking garage. Valet parking will be operated 24 hours/seven days a week and the valet station will be located within the internal driveway of the Project's footprint, not utilizing City rights-of-way. To satisfy the parking requirement for the Project, the Applicant is in the process of securing the required amount of parking within the Shops at Merrick Park parking garage, which is located less than 1,000 feet from the Project. Both the Project and the remote off-street parking spaces are within the Design and Innovation District. Pursuant to Section 10-109(b)(2)(f), Applicant is requesting a Conditional Use approval for the use of this remote off-street parking for the new construction of the Project.

Transfer of Development Rights ("TDRs")

Pursuant to Section 14-204.5, the Applicant is requesting to receive TDRs, as the receiving site is within the boundaries of the Design and Innovation District and designated mixed-use zoning. The Applicant is requesting an increase of up to 25% of permitted gross FAR to 4.375 for a total of 48,073.64 square feet.

Mediterranean Bonus

The Applicant is seeking additional bonuses for FAR based on The Project's Mediterranean design, which complies with the requirements of the City's Mediterranean Design Ordinance.

The Project's design is inspired by some of the most cherished buildings in the City such as The Fink Studio, The Biltmore, City Hall and the San Sebastian Apartments. The Avenue's showcase corner at the intersection of San Lorenzo and Laguna Street takes inspiration from The Fink Studio's main entry with its stone detailing and luxury architectural elements. City Hall's Biltmore Way pergola design is incorporated as a crown on the roof of the Project to create an elegant landmark at this corner in both day and night, when it will be illuminated. The windows and balconies are designed in Mediterranean style respecting the details found in The Biltmore Hotel, and the base of the building is reminiscent of European hotels and buildings. All of these Mediterranean architectural elements create this beautifully designed structure, which will add to the City Beautiful's Mediterranean heritage.

In summary, the Project (1) provides substantial additional public benefit in the form of a new high quality hotel with residences, ground floor retail and an upscale restaurant; (2) provides for an improved public realm; and (3) uses a variety of architectural features to promote Mediterranean architectural attributes, including variations in bulk and massing, and urban design

Ms. Jennifer Garcia

November 4, 2022

Page 4

amenities. An updated Zoning Data Table and the Mediterranean Design Bonus Tables are included as part of this submission.

We look forward to working with you to make this exciting Project a reality and to taking another step in completing the City's vision to convert what was previously a forgotten and neglected industrial area into a vibrant mixed use neighborhood. Thank you for your attention to this matter.

Sincerely,



Mario Garcia-Serra

Enclosures

CONTACT INFORMATION

Property Owner:

San Lorenzo Property, LLC

351 San Lorenzo Avenue
Coral Gables, Florida 33146
PH: 302 448 4091

Applicant:

San Lorenzo Property, LLC

351 San Lorenzo Avenue
Coral Gables, Florida 33146
PH: 302 448 4091

Architect:

Bermello Ajamil & Partners

4711 South LeJeune Road
Coral Gables, Florida 33146
PH: 305 249 1028

Attorney:

Gunster

Mario Garcia-Serra
600 Brickell Avenue
Suite 3500
Miami Florida 33131
PH: 305 376 6061



ARCHITECT:
Bermello Ajamil & Partners
4711 South LeJeune Road,
Coral Gables, FL 33146
P. 305.855.2050

MEP ENGINEER:
Louis J. Aguirre & Associates, P.A.
9150 South Dadeland Blvd., Suite 900
Miami, Florida 33156
305.670.0141

CIVIL ENGINEER:
Graef-USA Inc.
9400 South Dadeland Boulevard
Suite 601, Miami, FL 33156
305.378.5555

STRUCTURAL ENGINEER:
Bliss & Nyitray, Inc.
5835 Blue Lagoon Drive, Suite 400
Miami, Florida 33126
305.442.7089

LANDSCAPE ARCHITECT:
Greenspacestrategies Inc.
7995 SW 17th Street
Palmetto, Bay FL 33157
561.460.8499

OWNER:
San Lorenzo Property, LLC
782 NW 42nd Avenue, Suite 550
Miami, Florida 33126

THE AVENUE
351 SAN LORENZO AVE, CORAL
GABLES, FL 33146

PHASE:
DRC

Note: This drawing is protected by
copyright. It shall not be transmitted to
any other except as agreed to by the
Architect/Engineers



REVISIONS:		
No.	DESCRIPTION	DATE

TITLE:
**AERIAL / PROJECT
LOCATION**

Project No: The Avenue
Date: 2022.10.07
Scale: 12" = 1'-0"
Format: 24" x 36"
Drawn: Author
Checked: Checker

SHEET:
G002.1

CONTACT PHONE NUMBERS:

MIAMI-DADE COUNTY DEVELOPMENT SERVICES
DIVISION: (305)375-2800
MIAMI-DADE COUNTY
LAND DEVELOPMENT DIVISION: (305) 375-2141
CITY OF CORAL GABLES
DEVELOPMENT SERVICES DEPARTMENT: (305)460-5245

PROPERTY ADDRESS:

351 SAN LORENZO AVE
CORAL GABLES, FL 33146

FOLIO NUMBER:

03-4120-017-1570

LAND AREA:

10,988± SQ.FT. (0.25± acres)

ZONED:

M - INDUSTRIAL - LIGHT MANUFACTURING

(PER MIAMIDADE.GOV-PROPERTY APPRAISER)

I - INDUSTRIAL DISTRICT (PER CITY OF CORAL GABLES PLANNING AND

ZONING DIVISION ZONING MAP - PLATE 9)

MX2 - MIXED USE DISTRICT (PER CORAL GABLES ZONING MAP)

SITE RESTRICTIONS:

ALL SITE RESTRICTIONS WERE OBTAINED ON APRIL 4, 2022 PER CORAL GABLES ZONING CODE - ARTICLE 2. ZONING DISTRICTS - SECTION 2-200. MIXED USE DISTRICTS (MX). FOR OFFICIAL INFORMATION, PLEASE REFER TO THE CORAL GABLES ZONING CODE.

Section 2-200 Mixed Use Districts Table

Use categories	MX1	MX2	MX3
A. Lot occupation			
1 Building Site Area Minimum (square feet)	2,500	10,000	2,500
2 Building Site Width Minimum (feet)	25	100	25
3 Ground Coverage Minimum	NA	NA	NA
4 Open Space Minimum	10%	10%	10%
B. Density			
1 Density (DU/Acre)	125	125	125
2 Unit Size Minimum (square feet)	500	500	500
3 Floor Area Ratio (FAR)	3.0	3.0	3.0
4 FAR Med. Bonus I	3.2	3.2	3.2
5 FAR Med. Bonus II	3.5	3.5	3.5
C. Setback minimums (feet)			
1 Principal Front	0	0	0
2 Side Interior	0	0	0
3 Side Street	0	0	0
4 Rear	10	10	10
5 Rear at Alley	0	0	0
6 Waterway	35	35	35
D. Stepback minimums (feet)			
1 Stepback Front	NA	10	10
2 Stepback Side	NA	15	15
3 Stepback Side Street	NA	10	10
4 Stepback Rear	NA	10	10

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4/5/22, 11:07 AM

Print

Use categories	MX1	MX2	MX3
5 Stepback Rear at Alley	NA	3	3
E. Building height maximums (stories/feet)			
1 Principal Building	45	45	45
2 Mediterranean Bonus I	NA	5 stories /63.5	7 stories /83.5
3 Mediterranean Bonus II	NA	6 stories /77	8 stories /97

General Notes:

- Additional story limitations for Principal Building heights shall apply to properties identified in Appendix A Site Specifics.
- Additional requirements may apply according to Section 6-105, Landscape Requirements for Zoning Districts or other regulations in Article 6.
- Additional requirements and exceptions may apply according to Section 2-201, and Section 2-400, Overlay Districts or other regulations in Article 2.
- There shall be no density limitation in the CBD and Design & Innovation District Overlays.
- Deviation from required setbacks may be permitted pursuant to Section 5-201, Coral Gables Mediterranean style design standards.

LEGEND

WATER METER	WATER VALVE
CATCH BASIN	GAS VALVE
FIRE HYDRANT	UTILITY POLE
CLEAN OUT	CONCRETE UTILITY POLE
SANITARY MANHOLE	TRAFFIC BOX
STORM MANHOLE	TREE
FPL MANHOLE	P.B. PLAT BOOK
DRAINAGE MANHOLE	PG. PAGE
INLET	O.R.B. OFFICIAL RECORDS BOOK
SQ.FT. SQUARE FEET	± MORE OR LESS
ELEV. ELEVATION	INV. INVERT
CENTERLINE	PROPERTY LINE
ENCRO. ENCROACHMENT	ENCRO. ENCROACHMENT
(M) MEASURED	(P) PLAT
(C) CALCULATED	(B.O.B.) BASIS OF BEARING
OVERHEAD POWER LINES	WATER MAIN
SEWER MAIN	TELEPHONE LINE
CHAIN LINK FENCE	BACKFLOW PREVENTER
HANDICAP PARKING	ELECTRIC BOX
COLUMN	TEMPORARY BENCH MARK
STREET LIGHT POLE	

THE PROPERTY HAS DIRECT PHYSICAL ACCESS TO SAN LORENZO AVENUE AND LAGUNA STREET, DEDICATED PUBLIC STREETS.

PARKING NOTE

THE TOTAL NUMBER OF STRIPED PARKING SPACES REQUIRED BY LOCAL ZONING ORDINANCE IS INCLUDING DESIGNATED AS HANDICAPPED SPACES. THE NUMBER OF ACTUAL STRIPED PARKING SPACES LOCATED ON THE SUBJECT PROPERTY IS SIX INCLUDING ONE DESIGNATED AS HANDICAPPED SPACES.

UTILITY COMPANIES:

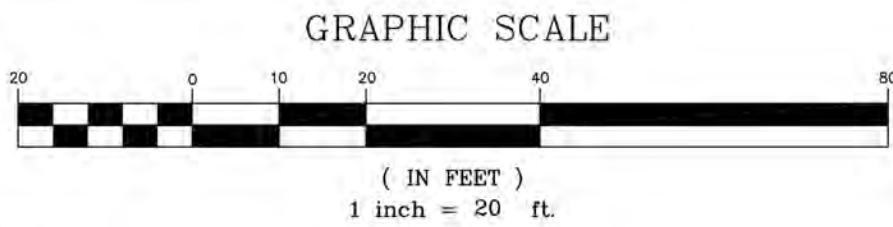
Florida Power & Light — 305-377-6108
AT&T — 786-489-6418
Water & Sewer — 786-268-5360

STATEMENT OF ENCROACHMENTS:

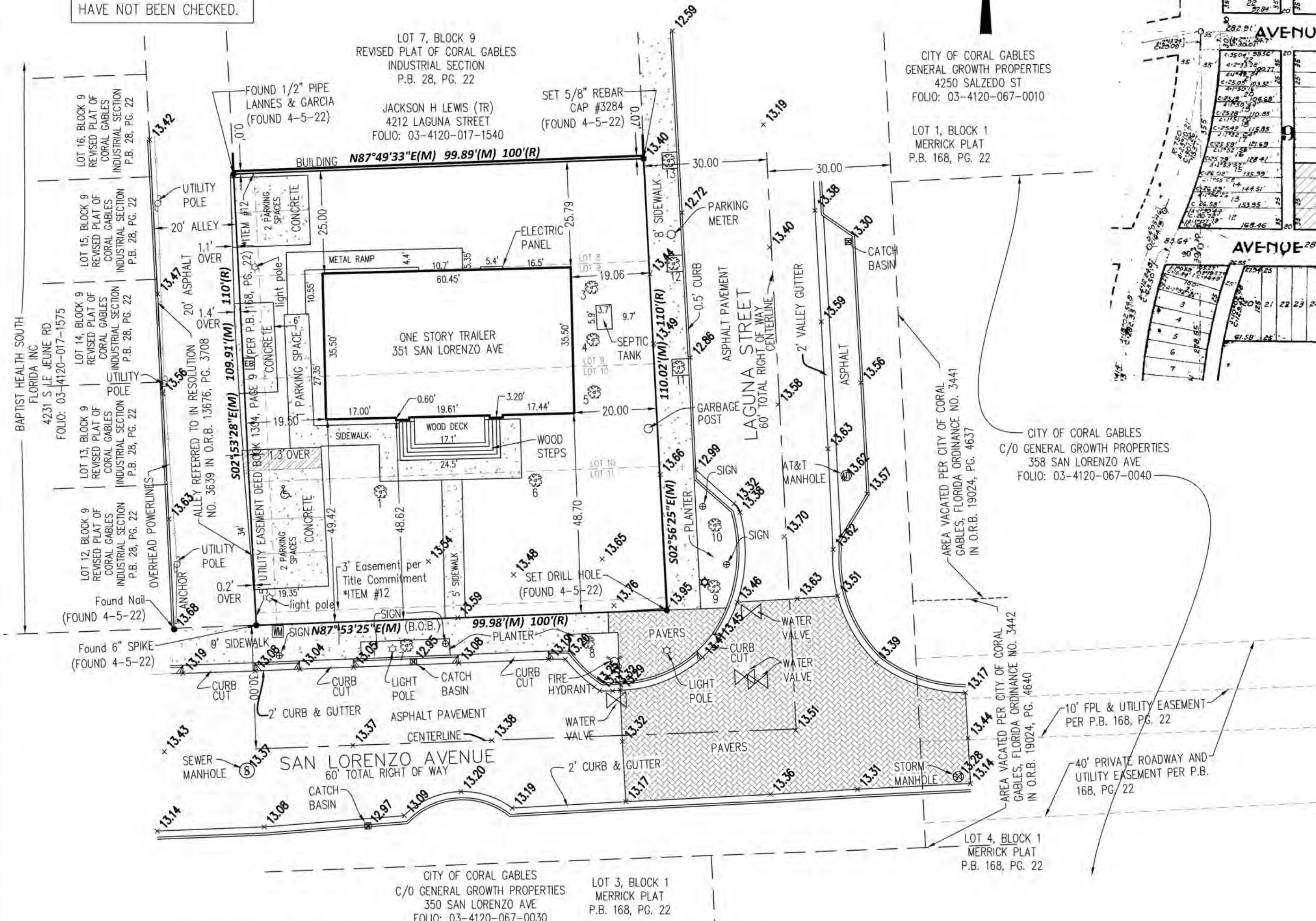
THERE ARE NO VISIBLE ENCROACHMENTS.

NO EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS HAVE BEEN NOTICED.

THERE IS NO PHYSICAL EVIDENCE THAT THE SITE WAS EVER USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.



NOTE: ELEVATIONS SHOWN HEREON HAVE NOT BEEN CHECKED.



TITLE COMMITMENT PER OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, AMERICAN LAND TITLE ASSOCIATION COMMITMENT
COMMITMENT NUMBER: FILE NO.: 22043377
COMMITMENT EFFECTIVE DATE: APRIL 20, 2022 AT 08:00AM, REVISED DATE: MAY 20, 2022 8:00 am

SCHEDULE B-II EXCEPTIONS

- ITEM NO. 1 NOT A SURVEYING MATTER NOT PLOTTABLE
- ITEM NO. 2 SURVEY SHOWN ON THIS PAGE
- ITEM NO. 3 NOT A SURVEYING MATTER NOT PLOTTABLE
- ITEM NO. 4 NOT A SURVEYING MATTER NOT PLOTTABLE
- ITEM NO. 5 ANY EASEMENTS WHICH HAVE BEEN PROVIDED TO SURVEYOR HAVE BEEN PLOTTED.
- ITEM NO. 6 NOT A SURVEYING MATTER NOT PLOTTABLE
- ITEM NO. 7 NOT A SURVEYING MATTER NOT PLOTTABLE
- ITEM NO. 8 REVISED PLAT OF CORAL GABLES INDUSTRIAL SECTION P.B. 28, PG. 22 AFFECTS PROPERTY BLANKET IN NATURE
- ITEM NO. 9 EASEMENT DEED BOOK 839, PG. 106 AFFECTS PROPERTY AS TO: "...IN, UPON, ALONG, ACROSS, OVER AND UNDER THE REAR PROPERTY LINES OF LOTS NOW OR HEREAFTER PLATTED OR THE SIDE LINES OF SAID LOTS"
- ITEM NO. 10 EASEMENT DEED BOOK 939, PG. 435 NOT LEGIBLE
- ITEM NO. 11 EASEMENT DEED BOOK 939, PG. 443 AFFECTS PROPERTY AS TO "...ALL PROPERTY OF EVERY KIND, NATURE OR DESCRIPTION USED OR USEFUL IN THE BUSINESS OF SUPPLYING AND DISTRIBUTING WATER IN AND ABOUT CORAL GABLES" NOT PLOTTABLE
- ITEM NO. 12 WARRANTY DEED DEED BOOK 1304, PG. 1 -NOT PROVIDED TO SURVEYOR DEED BOOK 1304, PG. 9 - AFFECTS PROPERTY BLANKET IN NATURE AND PLOTTED AS SHOWN RELEASE OF REVERTER DEED BOOK 1315, PG. 126 -NOT PROVIDED TO SURVEYOR
- ITEM NO. 13 INTENTIONALLY DELETED
- ITEM NO. 14 INTENTIONALLY DELETED
- ITEM NO. 15 INTENTIONALLY DELETED
- ITEM NO. 16 INTENTIONALLY DELETED
- ITEM NO. 17 AGREEMENT O.R.B. 29648, PG. 2537 AFFECTS PROPERTY BLANKET IN NATURE
- ITEM NO. 18 AGREEMENT O.R.B. 29687, PG. 915 AFFECTS PROPERTY BLANKET IN NATURE
- ITEM NO. 19 RESTRICTIVE COVENANT O.R.B. 30245, PG. 2235 AFFECTS PROPERTY BLANKET IN NATURE
- ITEM NO. 20 AGREEMENT O.R.B. 30323, PG. 3280 AFFECTS PROPERTY AS TO RIGHT-OF-WAY BLANKET IN NATURE
- ITEM NO. 21 NOT A SURVEYING MATTER NOT PLOTTABLE

CERTIFICATION

To: San Lorenzo Property, LLC
Laguna Merrick, LLC
C Bridge, Inc.
FLEITAS PLLC
Old Republic National Title Insurance Company
Greenberg Traurig, P.A.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(c), 8, 9, 13, 18, and 19 of Table A thereof. The fieldwork was completed on 03-08-2022. Date of Plat or Map: 04-05-2022

Waldo F Paez
By: Waldo F. Paez, Professional Surveyor and Mapper No. LS3284 State of Florida

DELTA MAPPING AND SURVEYING, INC.
13301 S.W. 132ND AVENUE
SUITE 117
MIAMI, FL 33186
LB No. 7950
TEL: 786-429-1024
FAX: 786-592-1152

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED & SEALED BY WALDO F. PAEZ, LS3284 ON MAY 23, 2022 USING A DIGITAL SIGNATURE CERTIFIED BY IDENTRUST.

DIGITALLY SIGNED PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY WALDO F. PAEZ, LS3284 ON MAY 23, 2022.

LOCATION SKETCH N.T.S.

#	TREE NAME	DIAMETER (IN)	HEIGHT (FT)±	SPREAD (FT)±
1	ROYAL PALM TREE	20	40	15
2				
3	FISHTAIL PALM	20	30	15
4	FISHTAIL PALM	20	30	15
5	FISHTAIL PALM	20	30	15
6	ROYAL PALM TREE	20	40	15
7	BLACK OLIVE TREE	9	20	20
8	BLACK OLIVE TREE	9	20	20
9	OAK TREE	10	25	20
10	OAK TREE	10	25	20
11	OAK TREE	10	25	20
12	OAK TREE	10	25	20
13	OAK TREE	10	25	20

LEGAL DESCRIPTION

Lots 8, 9, 10 and 11, Block 9, of REVISED PLAT OF CORAL GABLES INDUSTRIAL SECTION, according to the Plat thereof, as recorded in Plat Book 28, Page 22, of the Public Records of Miami-Dade County, Florida.

SURVEYOR'S NOTES

- SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X", BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 12086C0457L, WITH A DATE OF IDENTIFICATION OF 09-11-09, FOR COMMUNITY NUMBER 120639, IN MIAMI-DADE COUNTY, STATE OF FLORIDA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
- THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY
- LOCATION AND IDENTIFICATION OF UTILITIES, IF ANY ARE SHOWN IN ACCORDANCE WITH RECORDED PLAT
- OWNERSHIP IS SUBJECT TO OPINION OF TITLE
- TYPE OF SURVEY: ALTA/NSPS LAND TITLE SURVEY
- LEGAL DESCRIPTION: FURNISHED BY CLIENT
- THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTIES
- UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON. CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
- THE SURVEYOR OF RECORD DOES NOT DETERMINE OWNERSHIP OF FENCES. MEASUREMENTS SHOWN HEREON DEPICT PHYSICAL LOCATION OF FENCES
- WELL-IDENTIFIED FEATURES IN THIS SURVEY AND MAP HAVE BEEN MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 1:10,000FT.
- IN SOME INSTANCES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHOWN SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
- NO ATTEMPT HAS BEEN MADE TO LOCATE ANY FOUNDATION BENEATH THE SURFACE OF THE GROUND.
- BEARINGS HEREON REFER TO AN ASSUMED VALUE OF N87°53'25"E FOR THE NORTH RIGHT-OF-WAY LINE OF SAN LORENZO AVENUE.

IF ELEVATIONS ARE SHOWN, THEY ARE BASED ON A CLOSED LEVEL LOOP USING THIRD ORDER PROCEDURE AND ARE RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM OF MEAN SEA LEVEL OF 1929.
+0.0' DENOTES EXISTING ELEVATION
BENCHMARK: P-710 ELEVATION: +14.21'(NGVD29)
LOCATOR: 4143 W
LOCATION: SW 40 ST-61' NORTH OF C/L, PONCE DE LEON BLVD-39' EAST OF C/L
DESCRIPTION: PK NAIL AND ALUMINUM WASHER IN CONC DRIVE OF GAS STATION.

Delta Mapping and Surveying, INC
EST. 2012
13301 SW 132ND AVENUE MIAMI, FL 33186
SUITE 117 PHONE: (786) 429-1024

Surveyors,
Land Planners &
Mappers

ALTA/NSPS SURVEY

REVISIONS

DATE:	05-09-2022
SCALE:	1"= 20'
DRAWN BY:	M.G.
DRAWING NO:	22-0156
SHEET NO.	1 OF 1

ARCHITECT:
Bermello Ajamil & Partners

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Suite 601, Miami, FL 33156
305-378-5555

STRUCTURAL ENGINEER:

Bliss & Nyitray, Inc.

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Miami, Florida 33126
305-442-7086

LANDSCAPE ARCHITECT:

Greenspacestrategies Inc.

7995 SW 170th Street
Palmetto, Bay FL 33157
561-460-8499

OWNER:

San Lorenzo Property, LLC

782 NW 42nd Avenue, Suite 550
Miami, Florida 33126

THE AVENUE

351 SAN LORENZO AVE, CORAL GABLES, FL, 33146

PHASE:

DRC

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SEAL:

REVISIONS:

No.:	DESCRIPTION	DATE:

TITLE:

SURVEY

Project No: The Avenue
Date: 2022.10.07
Scale:
Format: 24" x 36"
Drawn: Author
Checked: Checker
SHEET:

G001



SITE PLAN
3/32" = 1'-0"



ARCHITECT:
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THE AVENUE
351 SAN LORENZO AVE, CORAL
GABLES, FL 33146

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REVISIONS:		
No.:	DESCRIPTION	DATE:

TITLE:
SITE PLAN

Project No: The Avenue
Date: 2022.10.07
Scale: 3/32" = 1'-0"
Format: 24" x 36"
Drawn: Author
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SHEET:

SP001

DRAWING INDEX	
SHEET NUMBER	SHEET NAME
G000	COVER SHEET
G000.1	INDEX OF DRAWINGS
G001	SURVEY
G002	ZONING INFO
G002.1	AERIAL / PROJECT LOCATION
G002.2	SITE CONTEXT
G002.3	REMOTE PARKING LOCATION / ON STREET PARKING ANALYSIS
G003.1	FAR DIAGRAMS & CALCULATIONS
G003.2	LANDSCAPE OPEN SPACE DIAGRAM
G008	MED BONUS
G008.1	MED BONUS
G008.2	MED BONUS
G008.3	MED BONUS
G008.4	MED BONUS
G008.5	MED BONUS
G008.6	MED BONUS
SP001	SITE PLAN
A001	GROUND LEVEL
A002	MEZZANINE LEVEL
A003	SECOND LEVEL
A004	TYP. RES. LEVELS 3RD TO 7TH
A005	ROOF DECK LEVEL
A400	BUILDING SECTION
A500	SOUTH ELEVATION
A501	EAST ELEVATION
A502	NORTH ELEVATION
A503	WEST ELEVATION
A900	PERSPECTIVE
A901	PERSPECTIVE
A902	PERSPECTIVE
A903	PERSPECTIVE
A904	PERSPECTIVE



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THE AVENUE
351 SAN LORENZO AVE, CORAL
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SEAL:

REVISIONS:

No.:	DESCRIPTION	DATE:

TITLE:

INDEX OF DRAWINGS

Project No: The Avenue
Date: 2022.10.07
Scale:
Format: 24" x 36"
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SHEET:

G000.1

The Avenue

General Lot Information

Municipality	City of Coral Gables
Zone	MX2
Overlay	Design & Innovation District
Property Address & Folio	351 San Lorenzo Avenue, Coral Gables 33146 - Lots 8 Through 11 of Block 9, Revised Plat of Coral Gables Industrial Section, According to the Plot thereof, as Recorded in Plat Book 28 page 22 of Folio No. 03-4120-017-1570
Lot Area	10,988.26 SF (0.25 +/- Acres)
FEMA Zone	Zone X
Architecture	Coral Gables Mediterranean Architecture

Lot Occupation	Required / Allowed	Provided	
Building Site Area Minimum	10,000 sf	10,988.26 SF (0.25 +/- Acres)	
Building Site Width Minimum	100 ft	108.5 ft	
Ground Coverage Minimum	N/A	N/A	

Density	Required / Allowed	Provided	Remarks
Density	N/A	N/A	Section 2-406. Design & Innovation District Overlay
Unit Size Minimum	N/A	N/A	
Floor Area Ratio (FAR)	3	32,964.78 sf	
FAR Med. Bonus II	3.5	38,458.91 sf	
FAR with TDR	4.375 *	48,073.64 sf (10,988.26 sf x 4.375 FAR)	MX2 (3.0) + Med Bonus II (+0.5) + TDR (25%) = 4.375

Building Setbacks /Stepbacks	Required / Allowed	Provided	
Principal Front	0'-0" Setback at Ground Level 10'-0" Stepback Above 45'-0"	0'-0" Setback at Ground Level 7'-4" Stepback Above 45'-0"	
Side Interior	0'-0" Setback at Ground Level 15'-0" Stepback Above 45'-0"	0'-0" Setback at Ground Level 6'-7" Stepback Above 45'-0"	
Side Street	0'-0" Setback at Ground Level 10'-0" Stepback Above 45'-0"	0'-0" Setback at Ground Level 7'-5" Stepback Above 45'-0"	
Rear at Alley	0'-0" Setback at Ground Level 0'-0" Stepback Above 45'-0"	0'-0" Setback at Ground Level 0'-0" Stepback Above 45'-0"	Section 2-406. Design & Innovation District Overlay

Building Height	Required / Allowed	Provided	
Principal Building	70'-0" height	-	
Med. Bonus II	8 stories / 97'-0" height	7 stories/ 83'-0" height (T.O. Roof Slab)	

Parking	Required / Allowed	Provided	
Overnight Accommodations	61 parking spaces (1 1/8 ps x 54 units) 1 parking space per unit	Parking provided Offsite	
Retail	13 parking spaces (3,861 sf/ 300 x 1 ps) 1 parking space per 300 sf		

Bicycle Storage	Required / Allowed	Provided	
Residential - Bicycle Parking Space	14 parking spaces (54 units/ 4 x 1 ps) 1 parking space per 4 units		Section 10-110. Amount of required parking.
Retail - Bicycle Parking Space	0 parking spaces (1 ps x 20,000 sf)		

Loading Spaces	Required / Allowed	Provided	
	NA	-	

Landscape Open Space	Required / Allowed	Provided	
	1,099 sf (10% of Site Area) (10,988.26 x 0.1)	1,398 sf	Section 6-105.B



ARCHITECT:
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THE AVENUE
351 SAN LORENZO AVE, CORAL
GABLES, FL, 33146

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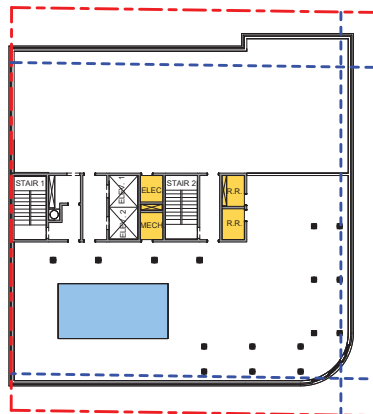
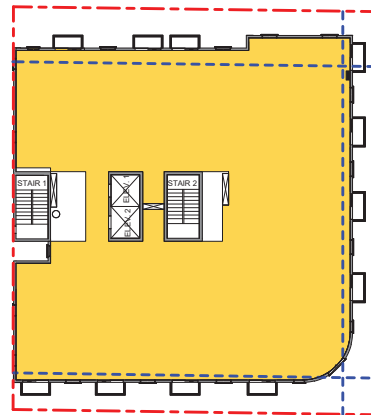
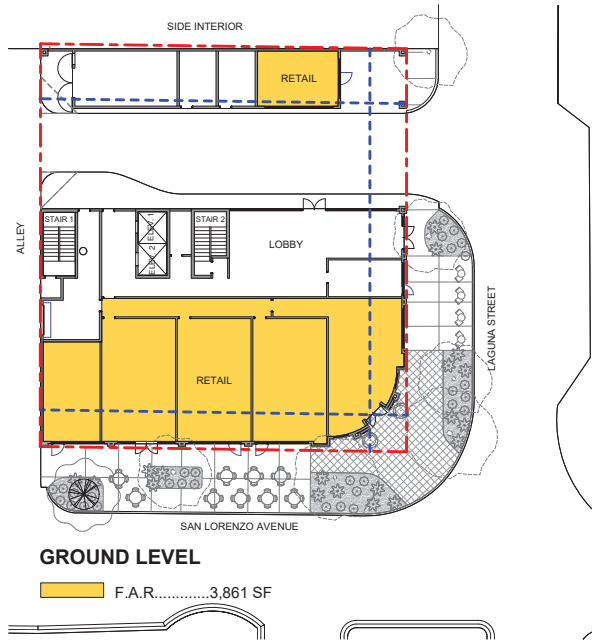
TITLE:

ZONING INFO

Project No: The Avenue
Date: 2022.10.07
Scale: 12" = 1'-0"
Format: 24" x 36"
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Checked:

SHEET:

G002



PROPOSED F.A.R CALCULATIONS

GROUND LEVEL.....	3,861 SF
2ND TO 7TH LEVELS.....	44,004 SF
ROOF LEVEL.....	205 SF
TOTAL F.A.R.....	48,073.64 SF
LOT AREA.....	10,988.26 SF
PROPOSED FLOOR AREA RATIO.....	4.375
(MED. BONUS + TDR)	

ALLOWED F.A.R CALCULATIONS

LOT AREA.....	10,988.26 SF
ALLOWED FLOOR AREA RATIO.....	4.375
ALLOWED FLOOR AREA.....	48,073.64 SF

F.A.R SUMMARY

LOT AREA.....	10,988.26 SF
ALLOWED F.A.R RATIO.....	4.375
ALLOWED FLOOR AREA.....	48,073.64 SF
PROPOSED FLOOR AREA.....	48,072 SF
BALANCE.....	0 SF



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THE AVENUE
351 SAN LORENZO AVE, CORAL
GABLES, FL 33146

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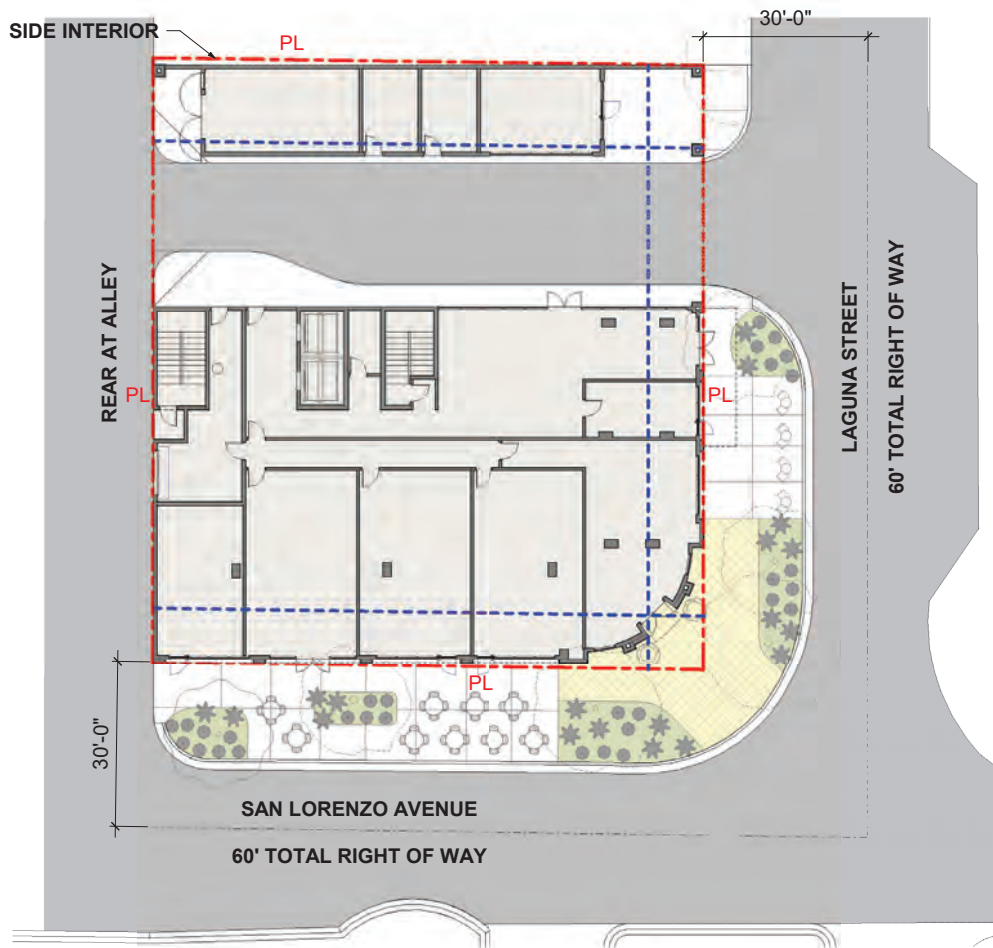
REVISIONS:

No.:	DESCRIPTION	DATE:

TITLE:
FAR DIAGRAMS & CALCULATIONS

Project No: The Avenue
Date: 2022.10.07
Scale: As indicated
Format: 24" x 36"
Drawn: Author
Checked: Checker

SHEET:
G003.1



1 LANDSCAPE OPEN SPACE DIAGRAM - GROUND LEVEL
G003.2 3/32" = 1'-0"

LANDSCAPE OPEN SPACE LEGEND

- PROVIDED LANDSCAPE OPEN SPACE
- PROVIDED HARDSCAPE AREA (PERVIOUS)

LANDSCAPE OPEN SPACE REQ. (MX2) CALCULATIONS

SITE AREA10,988.26 SF

REQ. LANDSCAPE OPEN SPACE1,099 SF (10% OF SITE AREA)

PROVIDED LANDSCAPE OPEN SPACE:

LANDSCAPE AREAS 758 SF

HARDSCAPE (PERVIOUS) AREAS 640 SF

TOTAL LANDSCAPE OPEN SPACE 1,398 SF



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THE AVENUE
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REVISIONS:		
No.:	DESCRIPTION	DATE:

TITLE:

**LANDSCAPE OPEN
SPACE DIAGRAM**

Project No: The Avenue
Date: 2022.10.07
Scale: As indicated
Format: 24" x 36"
Drawn: Author
Checked: Checker

SHEET:
G003.2



FAR - TABLE	
UNIT TYPE	FAR
LEVEL 5	
1 BED. DEN	2,733 SF
1 BEDROOM	3,811 SF
B.O.H.	102 SF
CORRIDOR	689 SF
	7,334 SF
LEVEL 6	
1 BED. DEN	2,733 SF
1 BEDROOM	3,811 SF
B.O.H.	102 SF
CORRIDOR	689 SF
	7,334 SF
LEVEL 7	
1 BED. DEN	2,733 SF
1 BEDROOM	3,811 SF
B.O.H.	102 SF
CORRIDOR	689 SF
	7,334 SF
ROOF DECK	
ELECT.	49 SF
MECH	50 SF
R.R.	106 SF
	205 SF
TOTAL	48,072 SF

BA

A001

SIDE INTERIOR

PL

OPEN TO BELOW

20'

15'-0"
STEPBACK
ABOVE 45'-0"

PL

REAR AT ALLEY

GENERATOR
311 SF

EMERGENCY
SWITCH GEAR
101 SF

OPEN TO BELOW

10'-0"
STEPBACK
ABOVE 45'-0"

10'-0"
STEPBACK
ABOVE 45'-0"

LAGUNA STREET
(PRINCIPAL FRONT)

60' TOTAL RIGHT OF WAY

SAN LORENZO AVENUE
(SIDE STREET)

60' TOTAL RIGHT OF WAY

1
A002
1/8" = 1'-0"

LEVEL MEZZANINE



ARCHITECT:
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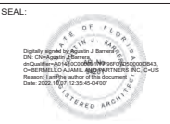
LANDSCAPE ARCHITECT:
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THE AVENUE
351 SAN LORENZO AVE, CORAL
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PHASE:
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REVISIONS:		
No.:	DESCRIPTION	DATE:

TITLE:

MEZZANINE LEVEL

Project No: The Avenue
Date: 2022.10.07
Scale: 1/8" = 1'-0"
Format: 24" x 36"
Drawn: Author
Checked: Checker

SHEET:

A002





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2 ROOF DECK
1/8" = 1'-0"

UNIT MIX - TABLE		
UNIT TYPE	COUNT	SF
LEVEL 2		
1 BED. DEN	3	2,733 SF
1 BEDROOM	6	3,811 SF
	9	6,544 SF
LEVEL 3		
1 BED. DEN	3	2,733 SF
1 BEDROOM	6	3,811 SF
	9	6,544 SF
LEVEL 4		
1 BED. DEN	3	2,733 SF
1 BEDROOM	6	3,811 SF
	9	6,544 SF
LEVEL 5		
1 BED. DEN	3	2,733 SF
1 BEDROOM	6	3,811 SF
	9	6,544 SF
LEVEL 6		
1 BED. DEN	3	2,733 SF
1 BEDROOM	6	3,811 SF
	9	6,544 SF
LEVEL 7		
1 BED. DEN	3	2,733 SF
1 BEDROOM	6	3,811 SF
	9	6,544 SF
TOTAL	54	39,261 SF

BA

ARCHITECT:
Bermello Ajamil & Partners
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OWNER:
San Lorenzo Property, LLC
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THE AVENUE
351 SAN LORENZO AVE, CORAL
GABLES, FL 33146

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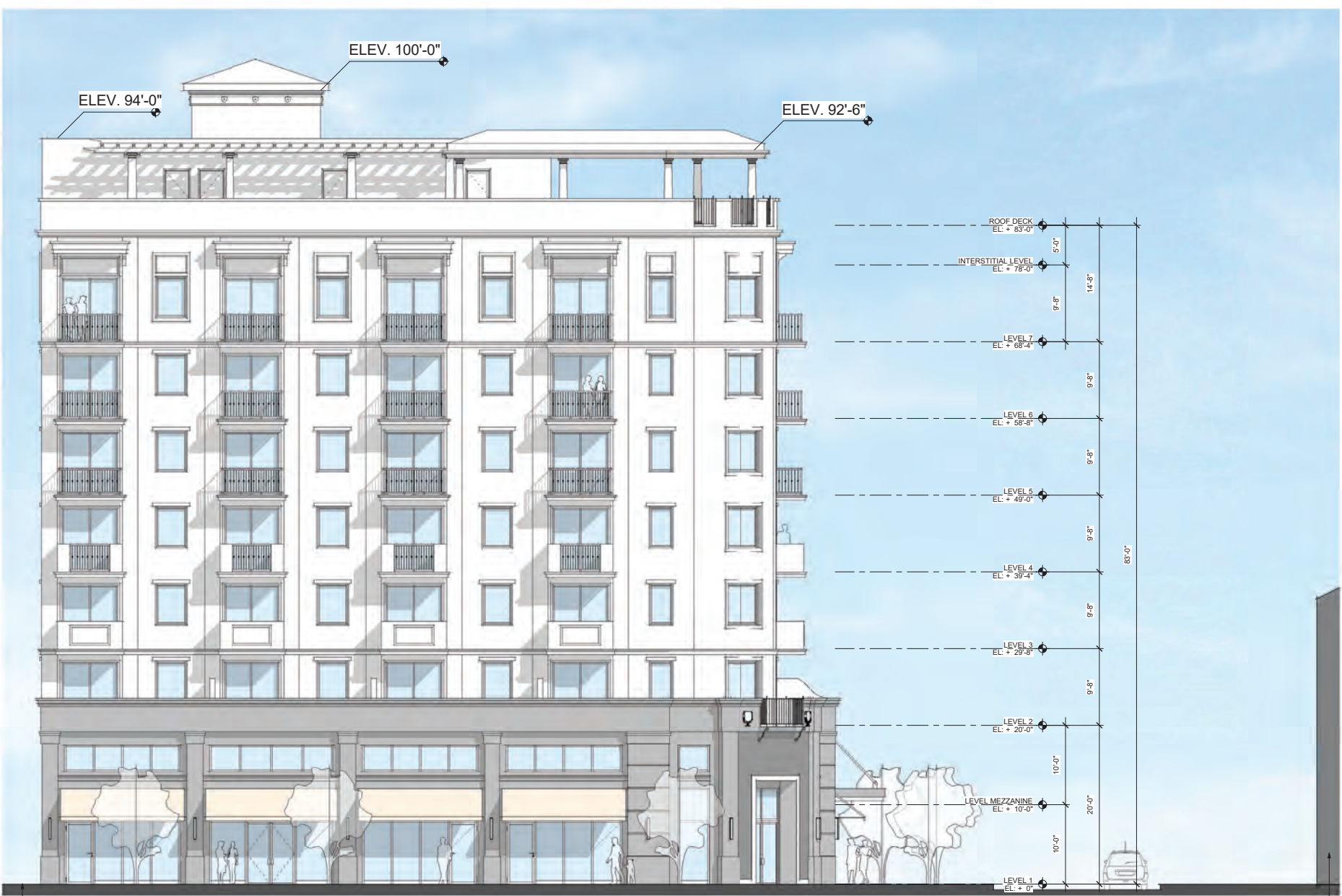
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TITLE:

ROOF DECK LEVEL

Project No: The Avenue
Date: 2022.10.07
Scale: 1/8" = 1'-0"
Format: 24" x 36"
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A005



20' ALLEY

OVERALL SOUTH ELEVATION

1/4" = 1'-0"

LAGUNA STREET

MERRICK PARK
350 SAN LORENZO AVE.



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SOUTH ELEVATION

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A500



SAN LORENZO AVE.

4212 LAGUNA ST.

1 OVERALL EAST ELEVATION
A501 3/16" = 1'-0"



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EAST ELEVATION

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A501



MERRICK PARK 350 SAN LORENZO AVE. OVERALL NORTH ELEVATION

LAGUNA STREET

20' ALLEY

1
A502
3/16" = 1'-0"

BA

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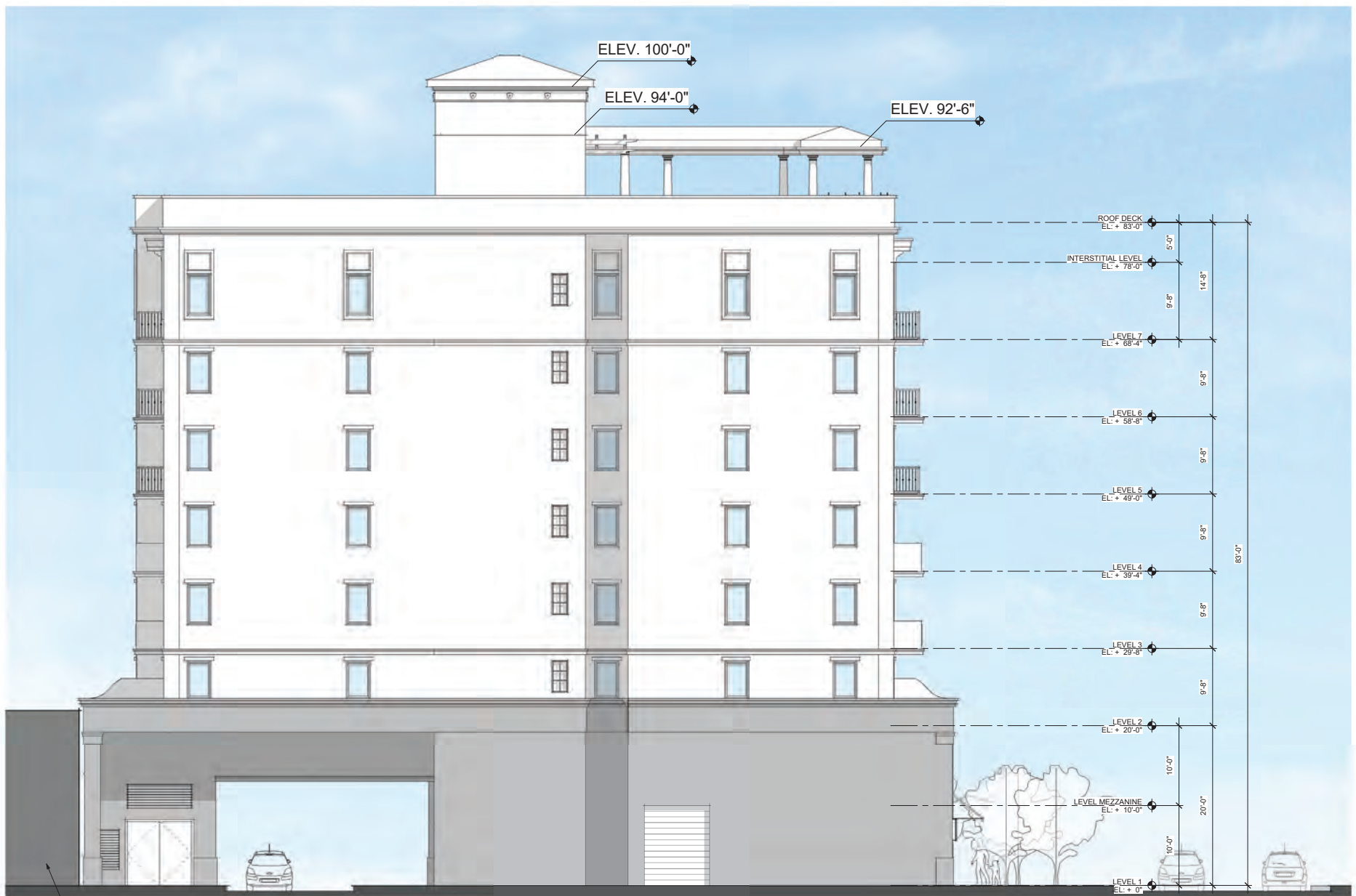
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TITLE:
NORTH ELEVATION

Project No: The Avenue
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A502

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4212 LAGUNA ST.

1
A503
OVERALL WEST ELEVATION
3/16" = 1'-0"



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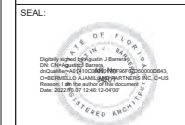
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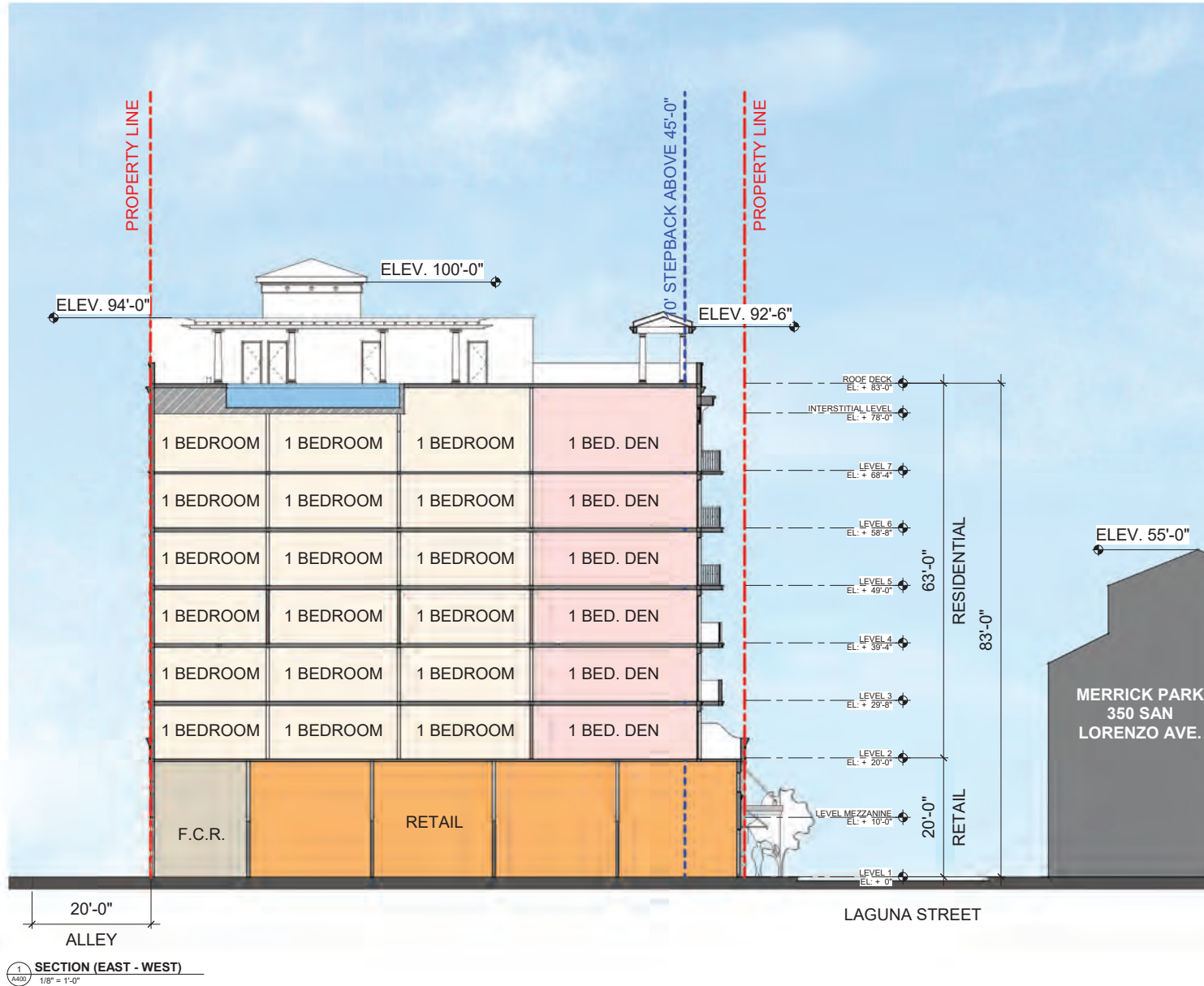
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WEST ELEVATION

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BUILDING SECTION

Project No: The Avenue
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A400



1 SAN LORENZO AVE
A900



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A900



1 CORNER SAN LORENZO & LAGUNA



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A901



1 CORNER VIEW AERIAL
A902



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A902



1 LAGUNA STREET
A903



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A903



1 ENTRANCE AT CORNER OF SAN LORENZO AVE. & LAGUNA ST.



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THE AVENUE
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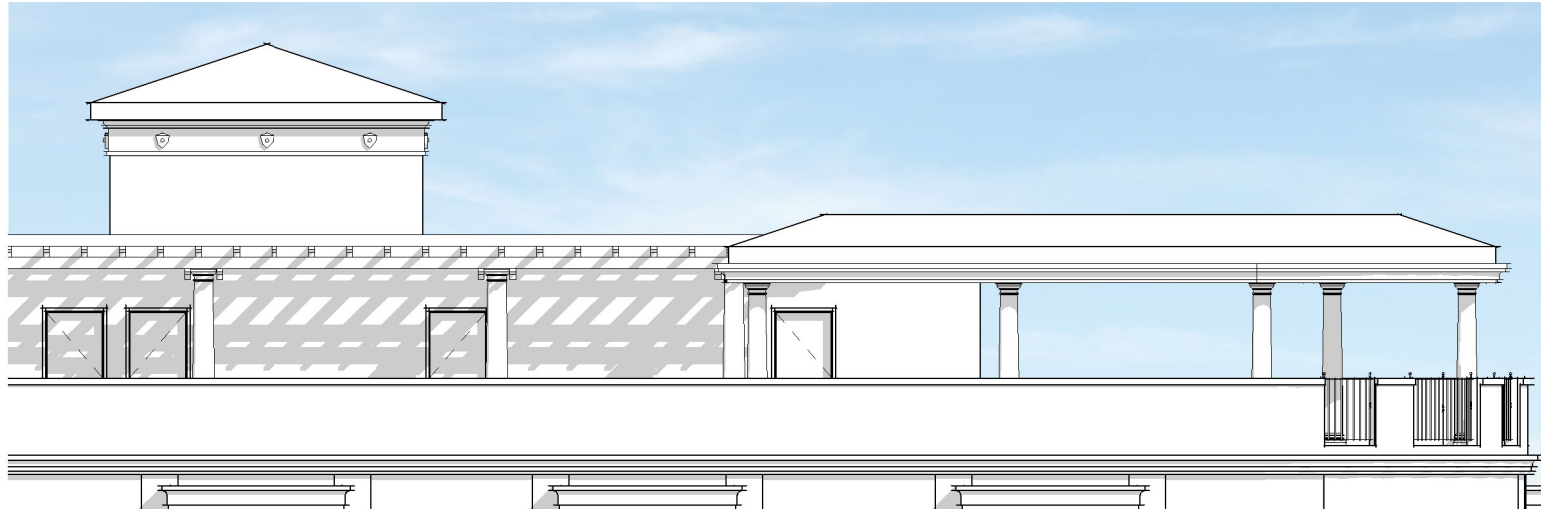

PERSPECTIVE

Project No: The Avenue
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A904

351 SAN LORENZO AVENUE
CORAL GABLES, FL

TABLE 1. REQUIRED STANDARDS

NUMBER	MIXED USE	TYPE	QUALIFICATIONS	COMPLIANCE RESPONSE	DETAILS	MEDITERRANEAN REFERENCE
1	X	ARCHITECTURAL ELEMENTS ON BUILDING FACADES.	SIMILAR EXTERIOR ARCHITECTURAL RELIEF ELEMENTS SHALL BE PROVIDED ON ALL SIDES OF ALL BUILDINGS. NO BLANK WALLS SHALL BE PERMITTED UNLESS REQUIRED PURSUANT TO APPLICABLE CITY, STATE AND FEDERAL REQUIREMENTS (E.G., FIRE AND LIFE SAFETY CODE, OR OTHER APPLICABLE CODE). PARKING GARAGES SHALL INCLUDE EXTERIOR ARCHITECTURAL TREATMENTS COMPATIBLE WITH BUILDINGS OR STRUCTURES THAT OCCUPY THE SAME PROPERTY AND/OR STREET.	✓		
2	X	ARCHITECTURAL RELIEF ELEMENTS AT STREET LEVEL.	ON ANY BUILDING FACADES FRONTING STREETS, WHERE AN ADJOINING PEDESTRIAN SIDEWALK IS LOCATED, ONE (1) OR MORE OF THE FOLLOWING DESIGN FEATURES SHALL BE INCLUDED AT THE STREET LEVEL: a. DISPLAY WINDOWS OR RETAIL DISPLAY AREA. b. LANDSCAPING; AND/OR c. ARCHITECTURAL RELIEF ELEMENTS OR ORNAMENTATION.	✓		
3	X	ARCHITECTURAL ELEMENTS LOCATED ON THE TOP OF BUILDINGS.	EXCLUSION FROM HEIGHT. THE FOLLOWING SHALL BE EXCLUDED FROM COMPUTATION OF BUILDING HEIGHT IN MX DISTRICTS: a. AIR-CONDITIONING EQUIPMENT ROOM. b. ELEVATOR SHAFTS. c. ELEVATOR MECHANICAL EQUIPMENT ROOMS. d. PARAPETS. ROOF STRUCTURES USED ONLY FOR ORNAMENTAL AND AESTHETIC PURPOSES NOT EXCEEDING A COMBINED AREA OF TWENTY-FIVE (25%) PERCENT OF THE FLOOR AREA IMMEDIATELY BELOW. SUCH EXCLUSION SHALL BE SUBJECT TO THE PROVISIONS THAT NO SUCH STRUCTURE SHALL EXCEED A HEIGHT OF MORE THAN TWENTY-FIVE (25) FEET ABOVE THE ROOF, EXCEPT FOR COMMERCIAL BUILDINGS IN THE CENTRAL BUSINESS DISTRICT (CBD) WHERE NO SUCH STRUCTURE SHALL EXCEED ONE-THIRD (1/3) OF THE ALLOWABLE TOTAL BUILDING HEIGHT.	✓		
4	X	BICYCLE STORAGE.	TO ENCOURAGE THE USE OF BICYCLES, BICYCLE STORAGE FACILITIES (RACKS) SHALL BE PROVIDED. A MINIMUM OF FIVE (5) BICYCLE STORAGE SPACES SHALL BE PROVIDED FOR EACH TWO HUNDRED AND FIFTY (250) PARKING SPACES OR FRACTION THEREOF.	✓	BICYCLE PARKING AT GROUND LEVEL (15 PARKING SPACES PROVIDED)	
5	X	BUILDING FACADES.	FACADES IN EXCESS OF ONE HUNDRED AND FIFTY (150) FEET IN LENGTH SHALL INCORPORATE VERTICAL BREAKS, STEPBACKS OR VARIATIONS IN BULK/MASSING AT A MINIMUM OF ONE HUNDRED (100) FOOT INTERVALS.	✓	BUILDING FACADES DO NOT EXCEED 150'-0" IN LENGHT.	
6	X	BUILDING LOT COVERAGE.	NO MINIMUM OR MAXIMUM BUILDING LOT OR GROUND COVERAGE IS REQUIRED.	✓		

COMPLY



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THE AVENUE
351 SAN LORENZO AVE, CORAL
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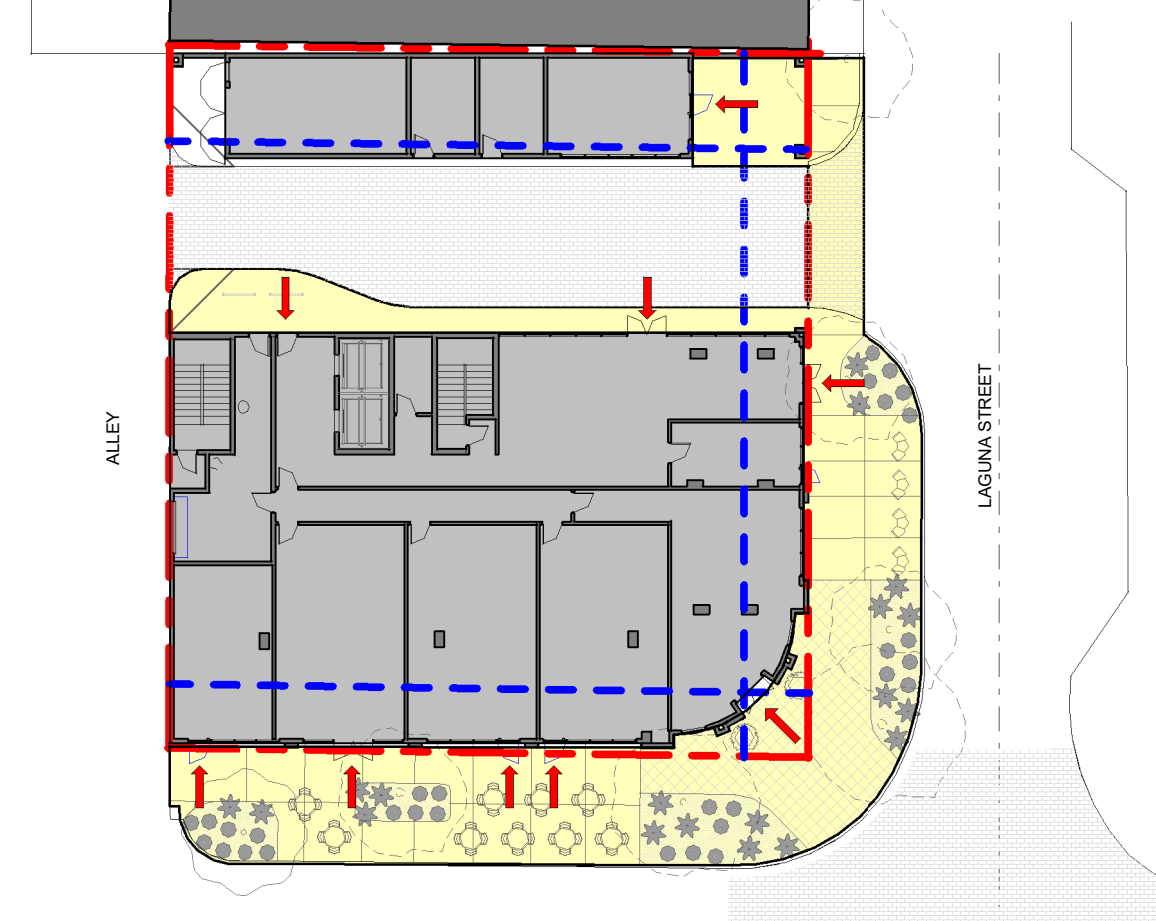
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G008

351 SAN LORENZO AVENUE
CORAL GABLES, FL

TABLE 1. REQUIRED STANDARDS

NUMBER	MIXED USE	TYPE	QUALIFICATIONS	COMPLIANCE RESPONSE	DETAILS	MEDITERRANEAN REFERENCE
7	X	DRIVE THROUGH FACILITIES.	DRIVE THROUGH FACILITIES INCLUDING BANKING FACILITIES, RESTAURANTS, PHARMACIES, DRY CLEANERS, OR OTHER DRIVE-THROUGH BUSINESSES ARE PROHIBITED ACCESS TO/FROM PONCE DE LEON BOULEVARD FROM S.W. 8 TH STREET TO BIRD ROAD, MIRACLE MILE FROM DOUGLAS AVENUE TO LEJEUNE ROAD, AND ALHAMBRA CIRCLE FROM DOUGLAS AVENUE TO LEJEUNE ROAD.			
8	X	LANDSCAPE OPEN SPACE AREA.	EACH PROPERTY SHALL PROVIDE THE FOLLOWING MINIMUM GROUND-LEVEL LANDSCAPE OPEN AREA (PERCENTAGE BASED UPON TOTAL LOT AREA): a. FIVE (5%) PERCENT FOR NONRESIDENTIAL PROPERTIES; b. TEN (10%) PERCENT FOR MIXED USE PROPERTIES; AND c. TWENTY-FIVE (25%) PERCENT FOR RESIDENTIAL PROPERTIES. THE TOTAL AREA SHALL BE BASED UPON THE TOTAL LOT AREA. THIS LANDSCAPE AREA CAN BE PROVIDED AT STREET LEVEL, WITHIN THE PUBLIC RIGHT-OF-WAY, PLANTER BOXES, PLANTERS, AND OTHER GROUND-FLOOR LOCATIONS.	✓	SEE SHEET G003.2	
9	X	LIGHTING, STREET.	STREET LIGHTING SHALL BE PROVIDED AND LOCATED ON ALL STREETS/RIGHTS-OF-WAY. THE TYPE OF FIXTURE SHALL BE THE APPROVED CITY OF CORAL GABLES LIGHT FIXTURE. THE LOCATION, SPACING, AND OTHER SPECIFICATIONS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS.	✓		
10	X	PARKING GARAGES.	GROUND FLOOR PARKING AS A PART OF A MULTI-USE BUILDING SHALL NOT FRONT ON A PRIMARY STREET. ADA PARKING IS PERMITTED ON THE GROUND FLOOR. GROUND FLOOR PARKING IS PERMITTED ON SECONDARY/SIDE STREETS AND SHALL BE FULLY ENCLOSED WITHIN THE STRUCTURE AND/OR SHALL BE SURROUNDED BY RETAIL USES AND/OR RESIDENTIAL UNITS. GROUND FLOOR PARKING IS PERMITTED ON ALLEY FRONTAGES. PARKING FACILITIES SHALL STRIVE TO ACCOMMODATE PEDESTRIAN ACCESS TO ALL ADJACENT STREET(S) AND ALLEYS	✓	THERE IS NO GROUND FLOOR PARKING	
11	X	PORTE-COCHERES.	PORTE-COCHERES ARE PROHIBITED ACCESS TO/FROM PONCE DE LEON BOULEVARD FROM S.W. 8 TH STREET TO BIRD ROAD, MIRACLE MILE FROM DOUGLAS AVENUE TO LEJEUNE ROAD, AND ALHAMBRA CIRCLE FROM DOUGLAS AVENUE TO LEJEUNE ROAD.		 <div><div>PEDESTRIAN PATHWAYS / SIDEWALKS</div><div>PEDESTRIAN ENTRANCE</div></div>	
12	X	SIDEWALKS/ PEDESTRIAN ACCESS.	ALL BUILDINGS, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE THEIR MAIN PEDESTRIAN ENTRANCES ORIENTED TOWARDS ADJOINING STREETS. PEDESTRIAN PATHWAYS OR SIDEWALKS SHALL BE PROVIDED FROM ALL PEDESTRIAN ACCESS POINTS AND SHALL CONNECT TO ONE ANOTHER TO FORM A CONTINUOUS PEDESTRIAN NETWORK FROM BUILDINGS, PARKING FACILITIES, PARKING GARAGES ENTRANCES, AND OTHER STRUCTURES. WHEREVER POSSIBLE PATHWAYS SHALL BE SEPARATED FROM VEHICULAR TRAFFIC.	✓		

COMPLY



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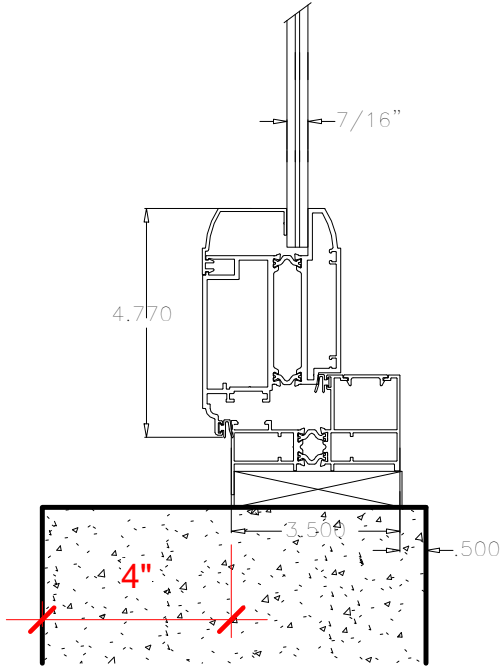
Project No: The Avenue
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351 SAN LORENZO AVENUE
CORAL GABLES, FL

TABLE 1. REQUIRED STANDARDS

NUMBER	MIXED USE	TYPE	QUALIFICATIONS	COMPLIANCE RESPONSE	DETAILS	MEDITERRANEAN REFERENCE
13	X	SOIL, STRUCTURAL.	STRUCTURAL SOIL SHALL BE UTILIZED WITHIN ALL RIGHTS-OF-WAY FOR ALL STREET LEVEL PLANTING AREAS WITH ROOT BARRIERS APPROVED BY THE PUBLIC WORKS LANDSCAPE DIVISION.	✓		
14	X	WINDOWS ON MEDITERRANEAN BUILDINGS.	MEDITERRANEAN BUILDINGS SHALL PROVIDE A MINIMUM WINDOW CASING DEPTH OF FOUR (4) INCHES AS MEASURED FROM THE FACE OF THE BUILDING.	✓		

COMPLY



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OWNER:
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THE AVENUE
351 SAN LORENZO AVE, CORAL
GABLES, FL, 33146

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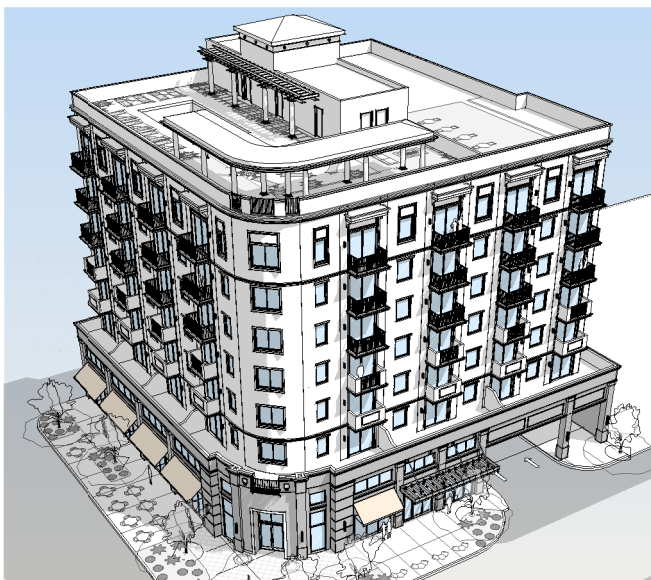


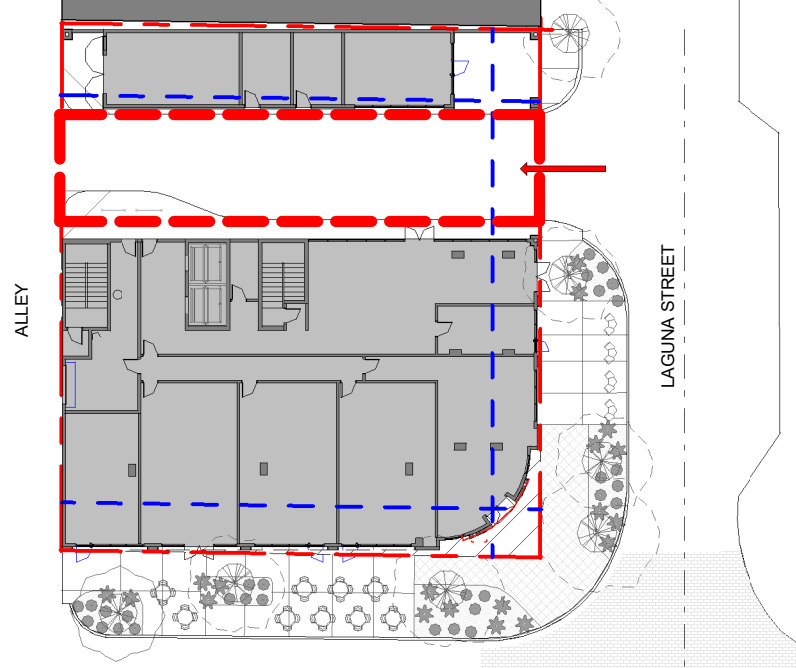
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351 SAN LORENZO AVENUE
CORAL GABLES, FL

TABLE 2. REQUIRED STANDARDS

NUMBER	MIXED USE	TYPE	QUALIFICATIONS	COMPLIANCE RESPONSE	DETAILS	MEDITERRANEAN REFERENCE
1	X	ARCADES AND/OR LOGGIAS.	ARCADES, LOGGIAS OR COVERED AREAS CONSTRUCTED ADJACENT, PARALLEL, OR PERPENDICULAR TO BUILDING TO PROVIDE COVER AND PROTECTION FROM THE ELEMENTS FOR PEDESTRIAN PASSAGEWAYS, SIDEWALKS, AND OTHER WALKWAYS THEREBY PROMOTING PEDESTRIAN PASSAGE/USE. LIMITATIONS OF ENCROACHMENTS ON CORNERS OF BUILDINGS MAY BE REQUIRED TO CONTROL VIEW CORRIDORS AND GROUND STORIES BUILDING BULK AND MASSING. AWNINGS OR OTHER SIMILAR ITEMS DO NOT SATISFY THESE PROVISIONS.			
2	X	BUILDING ROOFLINES.	INCORPORATION OF HORIZONTAL AND VERTICAL CHANGES IN THE BUILDING ROOFLINE.	✓		
3	X	BUILDING STEPBACKS.	STEPBACKS ON BUILDING FACADES OF THE BUILDING BASE, MIDDLE AND/OR TOP FACADE TO FURTHER REDUCE THE POTENTIAL IMPACTS OF THE BUILDING BULK AND MASS.	✓		
4	X	BUILDING TOWERS.	THE USE OF TOWERS OR SIMILAR MASSES TO REDUCE THE MASS AND BULK OF BUILDINGS.			
5	X	DRIVEWAYS.	CONSOLIDATION OF VEHICULAR ENTRANCES FOR DRIVE-THROUGH FACILITIES, GARAGE ENTRANCES, SERVICE BAYS AND LOADING/UNLOADING FACILITIES INTO ONE (1) CURB CUT PER STREET TO REDUCE THE AMOUNT OF VEHICULAR PENETRATION INTO PEDESTRIAN SIDEWALKS AND ADJOINING RIGHTS-OF-WAY.	✓		
6	X	LIGHTING OF LANDSCAPING	UPLIGHTING OF LANDSCAPING WITHIN AND ADJACENT TO PEDESTRIAN AREAS (E.G., SIDEWALKS, PLAZAS, OPEN SPACES, AND OTHER PUBLIC SPACES).	✓		

 COMPLY



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351 SAN LORENZO AVENUE
CORAL GABLES, FL

TABLE 2. REQUIRED STANDARDS

NUMBER	MIXED USE	TYPE	QUALIFICATIONS	COMPLIANCE RESPONSE	DETAILS	MEDITERRANEAN REFERENCE
7	X	MATERIALS ON EXTERIOR BUILDING FACADES	THE USE OF NATURAL MATERIALS SHALL BE INCORPORATED INTO THE BASE OF THE BUILDING ON EXTERIOR SURFACES OF BUILDING. THIS INCLUDES THE FOLLOWING: MARBLE, GRANITE, KEYSTONE, AND OTHER TYPES OF NATURAL STONE	✓	REFER TO MATERIAL BOARD	
8	X	OVERHEAD DOORS.	IF OVERHEAD DOORS ARE UTILIZED, THE DOORS ARE NOT DIRECTED TOWARDS RESIDENTIALLY ZONED PROPERTIES.	✓	OVERHEAD DOOR FOR TRASH ROOM LOCATED AT ALLEY	
9	X	PAVER TREATMENTS.	INCLUSION OF PAVER TREATMENTS IN ALL OF THE FOLLOWING LOCATIONS: a. DRIVEWAY ENTRANCES MINIMUM OF TEN (10%) PERCENT OF TOTAL PAVING SURFACE. b. SIDEWALKS. MINIMUM OF TWENTY-FIVE (25%) PERCENT OF TOTAL GROUND LEVEL PAVING SURFACE. THE TYPE OF PAVER SHALL BE SUBJECT TO PUBLIC WORKS DEPARTMENT REVIEW AND APPROVAL. POURED CONCRETE COLOR SHALL BE CORAL GABLES BEIGE.	✓		
10	X	PEDESTRIAN AMENITIES.	PEDESTRIAN AMENITIES ON BOTH PRIVATE PROPERTY AND/OR PUBLIC OPEN SPACES INCLUDING A MINIMUM OF FOUR (4) OF THE FOLLOWING: a. BENCHES. b. EXPANDED SIDEWALK WIDTHS BEYOND THE PROPERTY LINE. c. FREESTANDING INFORMATION KIOSK (NO ADVERTISING SHALL BE PERMITTED). d. PLANTER BOXES. e. REFUSE CONTAINERS. f. PUBLIC ART. g. WATER FEATURES, FOUNTAINS AND OTHER SIMILAR WATER FEATURES. GROUND AND/OR WALL MOUNTED. ABOVE AMENITIES SHALL BE CONSISTENT IN DESIGN AND FORM WITH THE CITY OF CORAL GABLES MASTER STREETScape PLAN.	✓		
11	X	PEDESTRIAN PASS-THROUGHS/ PASEOS ON PROPERTIES CONTIGUOUS TO ALLEYS AND/OR STREETS.	PEDESTRIAN PASS-THROUGH PROVIDED FOR EACH TWO HUNDRED AND FIFTY (250) LINEAR FEET OR FRACTION THEREOF OF BUILDING FRONTAGE PROVIDED ON PROPERTIES CONTIGUOUS TO ALLEYS AND/OR STREETS OR OTHER PUBLICLY OWNED PROPERTIES. BUILDINGS LESS THAN TWO HUNDRED AND FIFTY (250) FEET IN SIZE SHALL PROVIDE A MINIMUM OF ONE (1) PASS THROUGH. THE PASS-THROUGHS SHALL BE SUBJECT TO THE FOLLOWING: a. MINIMUM OF TEN (10) FEET IN WIDTH. b. INCLUDE PEDESTRIAN AMENITIES AS DEFINED HEREIN. IN LIEU OF PROVIDING ONE (1) PASS-THROUGH OF TEN (10) FEET IN WIDTH EVERY TWO HUNDRED AND FIFTY (250) FEET OF BUILDING FRONTAGE, TWO (2) PASS-THROUGHS CAN BE COMBINED TO PROVIDE ONE (1) TWENTY (20) FOOT WIDE PASS-THROUGH.			
12	X	UNDERGROUND PARKING	THE USE OF UNDERGROUND (BELOW GRADE LEVEL) PARKING, EQUAL IN FLOOR AREA OF A MINIMUM OF SEVENTY-FIVE (75%) PERCENT OF THE TOTAL SURFACE LOT AREA. UNDERGROUND PARKING SHALL BE LOCATED ENTIRELY BELOW THE ESTABLISHED GRADE AS MEASURED FROM THE TOP OF THE SUPPORTING STRUCTURE AND INCLUDES ALL AREAS UTILIZED FOR THE STORAGE OF VEHICLES AND ASSOCIATED A CIRCULATION FEATURES.			

COMPLY

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THE AVENUE
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351 SAN LORENZO AVENUE
CORAL GABLES, FL

TABLE 3. REQUIRED STANDARDS

NUMBER	MIXED USE	TYPE	QUALIFICATIONS	COMPLIANCE RESPONSE	DETAILS	MEDITERRANEAN REFERENCE
1	X	BUILDING SETBACK REDUCTIONS.	REDUCTION IN SETBACKS. SETBACKS MAY BE REDUCED TO ZERO (0) FOOT SETBACKS ON ALL PROPERTY LINES SUBJECT TO THE FOLLOWING STANDARDS: a. MINIMUM OPEN SPACE. A MINIMUM OF TWENTY-FIVE (25%) PERCENT OF THE TOTAL GROUND STORIES SQUARE FOOTAGE RECEIVED FROM THE SETBACK REDUCTION IS PROVIDED AS PUBLICLY ACCESSIBLE STREET LEVEL OPEN SPACE AND LANDSCAPE AREA ON PRIVATE PROPERTY. b. THE MINIMUM SQUARE FOOTAGE OF ALLOWABLE GROUND STORIES OPEN SPACE (I.E. PLAZAS) SHALL BE FOUR HUNDRED (400) SQUARE FEET. c. TYPES OF OPEN SPACE. TYPES OF OPEN SPACE SHALL BE IN THE FORM OF COURTYARDS, PLAZAS, ARCADES/LOGGIAS, AND PEDESTRIAN PASS-THROUGHS ADJACENT/CONTIGUOUS TO THE ADJACENT RIGHTS-OF-WAY. d. APPLICANTS, PROPERTY OWNERS, SUCCESSORS OR ASSIGNS DESIRING TO DEVELOP PURSUANT TO THESE REGULATIONS MAY NOT SEEK A VARIANCE FOR RELIEF OR REDUCTION IN BUILDING SETBACKS. REDUCTIONS IN SETBACKS ARE ONLY PERMITTED SUBJECT TO THESE REGULATIONS.			
2	X	ENCROACHMENT OR LOGGIAS AND/OR ARCADES LOCATED AS A PART OF AN ADJACENT BUILDING WITHIN RIGHTS-OF-WAY.	ENCROACHMENTS UP TO A MAXIMUM OF TEN (10) FEET INTO PUBLIC RIGHTS-OF-WAY (NOT INCLUDING ALLEYS) MAY BE PERMITTED FOR THE PLACEMENT OF A STREET LEVEL PEDESTRIAN ARCADE/LOGGIA AS A PART OF AN ADJACENT BUILDING SUBJECT SHALL SATISFY THE FOLLOWING REGULATIONS: a. ENCROACHMENT. THE TOTAL AMOUNT OF ENCROACHMENT SHALL BE EVALUATED BASED UPON THE TOTAL WIDTH OF THE CONTIGUOUS RIGHTS-OF-WAY. RIGHTS-OF-WAY LESS THAN SIXTY (60) FEET OR LESS MAY BE APPROVED FOR LESS THAN THE MAXIMUM TEN (10) FEET. b. MINIMUM PERCENTAGE OF OPEN SPACE. A MINIMUM FIFTY (50%) PERCENT OF THE TOTAL GROUND STORIES SQUARE FOOTAGE ENCROACHMENT REQUESTED MUST BE PROVIDED AS PUBLICLY ACCESSIBLE OPEN SPACE AND LANDSCAPE AREA ON PRIVATE PROPERTY. THE OPEN SPACE IS SUBJECT TO THE FOLLOWING: ● TYPES OF OPEN SPACE. TYPES OF OPEN SPACE SHALL BE IN THE FORM OF OPEN ARCADES/LOGGIA, COURTYARDS, PLAZAS, PEDESTRIAN PASS-THROUGHS OR OPEN ATRIUMS ADJACENT/CONTIGUOUS TO THE ADJACENT RIGHTS-OF-WAY. ● MINIMUM AREA. MINIMUM SQUARE FOOTAGE OF ALLOWABLE OPEN SPACE SHALL BE FIVE HUNDRED (500) SQUARE FEET. ● LANDSCAPE. INCLUDE BOTH HARD AND SOFTSCAPE LANDSCAPE IMPROVEMENTS AND PEDESTRIAN AMENITIES AS DEFINED HEREIN. ● VERTICAL VOLUME. AS A MINIMUM INCLUDE A VERTICAL VOLUME OF SPACE EQUAL FROM STREET LEVEL TO THE FIRST STORY'S HEIGHT OR EIGHTEEN (18) FEET, WHICHEVER IS GREATER. INCREASE/DECREASE IN HEIGHT MAY BE REVIEWED/APPROVED AS A PART OF APPROVAL. ● MAXIMUM ARCADE/LOGGIA LENGTHS. ENCROACHMENTS OF UP TO EIGHTY (80%) PERCENT OF THE ENTIRE LINEAR LENGTH OF THE BUILDING ARE PERMITTED. ENCROACHMENT OF THE ENTIRE LENGTH MAY BE REQUESTED SUBJECT TO REVIEW AND APPROVAL AT THE TIME OF SITE PLAN REVIEW. LIMITATIONS OF ENCROACHMENTS ON CORNERS OF BUILDINGS MAY BE REQUIRED TO CONTROL VIEW CORRIDORS AND GROUND STORIES BUILDING BULK AND MASS. ● VERTICAL ENCROACHMENT. STRUCTURE SHALL BE LIMITED TO THE FOLLOWING: ● FORTY-FIVE (45) FEET ON SIXTY (60) FOOT RIGHTS-OF-WAY. ● EIGHTEEN (18) FEET ON RIGHTS-OF-WAY LESS THAN THIRTY (30) FEET. ● THE ENCROACHMENT SHALL BE STRUCTURALLY SUPPORTED ENTIRELY FROM THE ADJOINING PRIVATE PROPERTY. c. ALL APPLICABLE COSTS FOR IMPROVEMENTS AND/OR RELOCATION TO UTILITIES, SANITARY SEWER, STORM WATER, AND OTHER ASSOCIATED INFRASTRUCTURE IMPROVEMENTS AS A RESULT OF THE REQUEST SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. d. ON STREET PARKING DISPLACED AS A RESULT OF THE ENCROACHMENT SHALL BE PROVIDED AS PUBLIC PARKING SPACES WITHIN THE PROPOSED DEVELOPMENT AND COMPENSATION FOR THE REMOVED SPACES SHALL BE SUBJECT TO THE ESTABLISHED CITY PROVISIONS. THE BUILDING SHALL INCLUDE CITY'S PUBLIC PARKING SIGNAGE ON THE EXTERIOR PORTIONS OF THE BUILDING TO CLEARLY IDENTIFY PUBLIC PARKING SPACES ARE AVAILABLE WITHIN THE FACILITY. THE TOTAL NUMBER AND LOCATION OF THE SIGNAGE SHALL BE DETERMINED AT THE TIME OF APPLICATION REVIEW.ANY ENCROACHMENTS. CONSTRUCTION AND PENETRATION INTO THE RIGHTS-OF-WAY SHALL BE SUBJECT TO THE FOLLOWING: e. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF ALL ENCROACHMENTS AND PROPERTY OF ALL SURROUNDING PUBLIC RIGHTS-OF-WAY, INCLUDING THE FOLLOWING: LANDSCAPING; (HARD AND SOFTSCAPE); BENCHES; TRASH RECEPTACLES; IRRIGATION; KIOSKS; PLAZAS; OPEN SPACES; RECREATIONAL FACILITIES; PRIVATE STREETS; AND OTHER ELEMENTS ARE SUBJECT TO ALL THE PROVISIONS FOR WHICH THE DEVELOPMENT WAS APPROVED AS MAY BE AMENDED. f. RESPONSIBLE FOR LIABILITY INSURANCE, LOCAL TAXES, AND THE MAINTENANCE OF THE ENCROACHMENT AND/OR PROPERTY. g. IN THE EVENT THAT THE OWNER OR ANY ASSIGN AND SUCCESSOR SHALL AT ANY TIME AFTER APPROVAL OF THE SITE PLAN FAIL TO MAINTAIN THE AREAS IN REASONABLE ORDER AND CONDITION IN ACCORDANCE WITH THE APPROVAL, THESE REGULATIONS, CITY CODE OR OTHER APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS, THE CITY SHALL IMPLEMENT APPROPRIATE MEASURES PURSUANT TO APPLICABLE CITY PROVISIONS. E. ENCROACHMENTS AND THE TOTAL AMOUNT OF ENCROACHMENT SHALL REQUIRE REVIEW AND APPROVAL PURSUANT TO APPLICABLE CITY PROVISIONS.			

COMPLY



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THE AVENUE
351 SAN LORENZO AVE, CORAL GABLES, FL, 33146

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351 SAN LORENZO AVENUE
CORAL GABLES, FL

TABLE 3. REQUIRED STANDARDS

NUMBER	MIXED USE	TYPE	QUALIFICATIONS	COMPLIANCE RESPONSE	DETAILS	MEDITERRANEAN REFERENCE
3	X	PARKING REQUIREMENT EXEMPTION FOR MEDITERRANEAN ARCHITECTURAL DESIGN BUILDINGS OF 1.45 FAR OR LESS (CENTRAL BUSINESS DISTRICT ONLY).	ANY NEW BUILDING CONSTRUCTION OR RESTORATION/RENOVATION OF A BUILDING LOCATED IN THE CENTRAL BUSINESS DISTRICT WHICH IS DESIGNED AS CORAL GABLES MEDITERRANEAN ARCHITECTURAL DESIGN AS PROVIDED FOR IN ARTICLE 5-201. AND SATISFIES ALL OTHER PROVISIONS OF THIS ARTICLE, MAY BE EXEMPTED FROM OFF-STREET PARKING REQUIREMENTS IF THE FAR OF SUCH BUILDING(S) DOES NOT EXCEED 1.45. PROPERTY OWNERS, SUCCESSORS OR ASSIGNS SHALL BE LIMITED TO THE ABOVE USE RESTRICTION IN PERPETUITY. THE ABOVE PROVISIONS SHALL BE ENFORCED VIA A RESTRICTIVE COVENANT OR OTHER ACCEPTABLE MEANS AS DETERMINED BY THE CITY ATTORNEY, SUBJECT TO CITY ATTORNEY REVIEW AND FINAL APPROVAL PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE BUILDING			
4	X	MULTI-FAMILY RESIDENTIAL DENSITY BONUS FOR MEDITERRANEAN ARCHITECTURAL DESIGN BUILDINGS.	A TWENTY-FIVE (25%) PERCENT RESIDENTIAL DENSITY BONUS MAY BE AWARDED TO THE PERMITTED RESIDENTIAL DENSITY IF THE PROPOSED BUILDING IS DESIGNED AS CORAL GABLES MEDITERRANEAN ARCHITECTURAL DESIGN AS PROVIDED FOR IN ARTICLE 5-201. AND SATISFIES ALL OTHER PROVISIONS OF THIS ARTICLE.			

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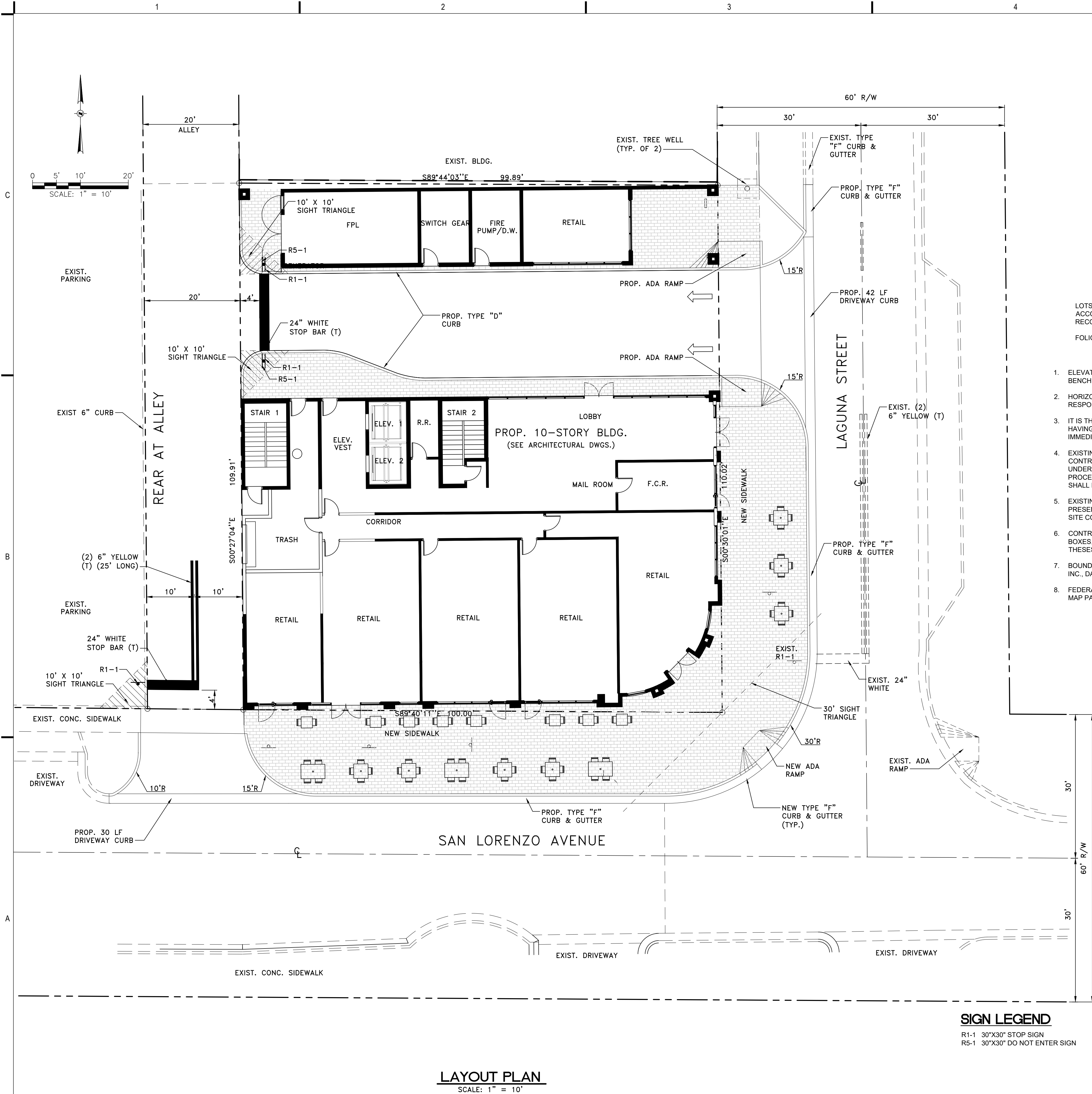
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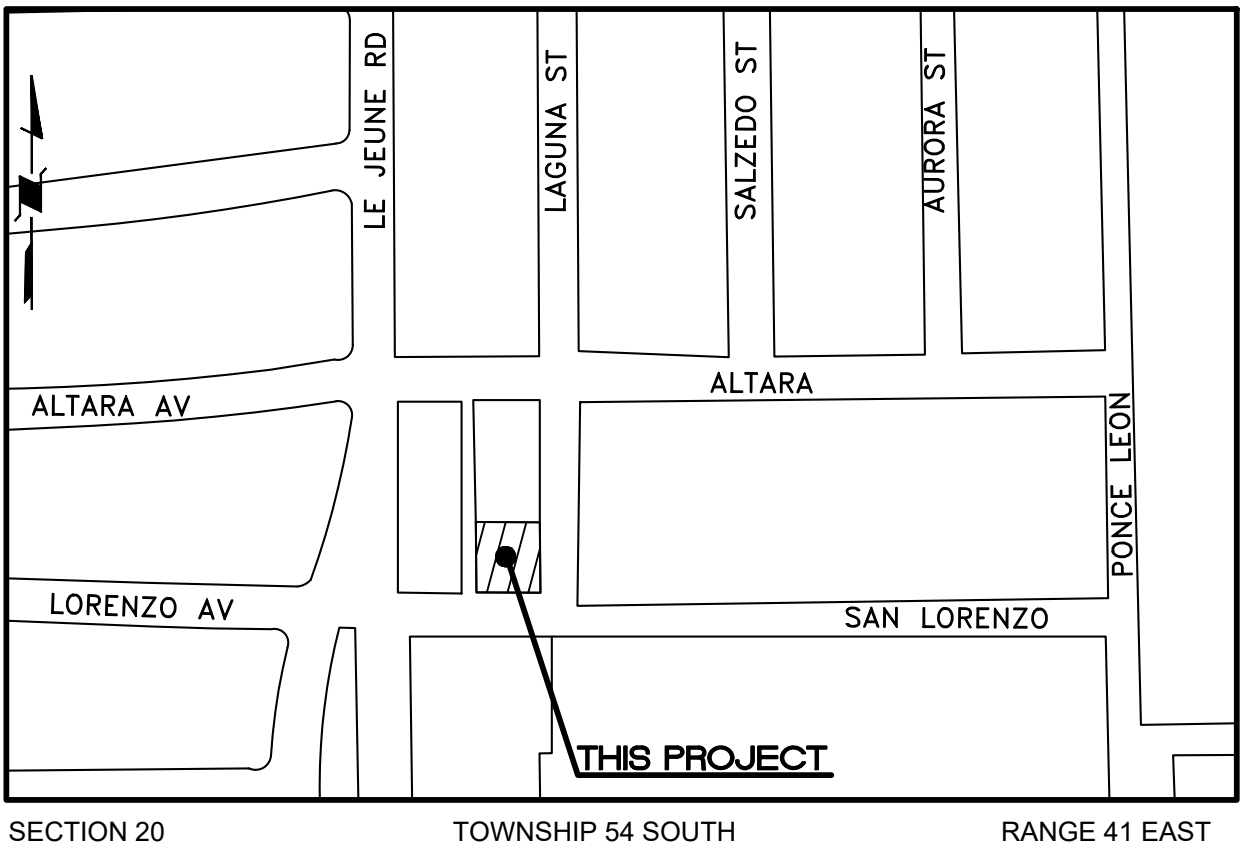
LAYOUT PLAN
SCALE: 1" = 10'

SIGN LEGEND

R1-1 30"X30" STOP SIGN
R5-1 30"X30" DO NOT ENTER SIGN

INDEX OF DRAWINGS

SHT. NO.	TITLE
C-1	LAYOUT PLAN AND NOTES
C-2	PAVING-GRADING-DRAINAGE PLAN AND NOTES
C-3	SITE AND DRAINAGE DETAILS
C-4	DRAINAGE WELL DETAILS
WS-1	WATER AND SEWER NOTES
WS-2	WATER AND SEWER PLAN
SWPPP	STORMWATER POLLUTION PREVENTION PLAN AND NOTES



LOCATION SKETCH

SCALE: 1" = 300'

LEGAL DESCRIPTION

LOTS 8, 9, 10 AND 11, BLOCK 9, OF REVISED PLAT OF CORAL GABLES INDUSTRIAL SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 28, PAGE 22 OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA.

FOLIO NO. 03-4120-017-1570

GENERAL NOTES

- ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929. MIAMI-DADE COUNTY BENCHMARK NUMBER P-710; ELEVATION: +14.21 FEET.
- HORIZONTAL AND VERTICAL CONTROL SHALL BE PROVIDED BY THE CONTRACTOR. LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- IT IS THE INTENT OF THESE DRAWINGS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES. HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- EXISTING UTILITIES SHOWN ARE BASED ON INFORMATION SUPPLIED BY OTHERS. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO MEET WITH ALL APPLICABLE UTILITY COMPANIES TO VERIFY ALL UNDERGROUND FACILITIES PRIOR TO THE START OF CONSTRUCTION. ALL TRENCH EXCAVATION SHALL PROCEED WITH EXTREME CAUTION AT ALL TIMES. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE ALL SUCH DAMAGE.
- EXISTING GRADES WERE TAKEN FROM THE BEST AVAILABLE DATA AND MAY NOT ACCURATELY REFLECT PRESENT CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH CURRENT SITE CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO STARTING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTling ALL DISTURBED EXISTING MANHOLE COVERS, VALVE BOXES, BLOW-OFF RISERS, ETC. TO NEW ELEVATIONS, AS REQUIRED, WHETHER SPECIFICALLY SHOWN ON THESE DRAWINGS OR NOT.
- BOUNDARY AND TOPOGRAPHIC DATA BASED UPON SURVEY PREPARED BY DELTA MAPPING AND SURVEYING, INC., DATED MAY 9, 2022, LAST UPDATED MAY 18, 2022.
- FEDERAL FLOOD ZONE INFORMATION; FLOOD ZONE: X; COMMUNITY NUMBER 120639 (CITY OF CORAL GABLES), MAP PANEL No. 12086C0457L; MAP DATE: 9/11/09.

ADA COMPLIANCE NOTES

- THIS SET OF DOCUMENTS HAS BEEN DESIGNED TO COMPLY WITH FBC 7TH EDITION (2020) AND THE 2012 FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION AND PER APPLICABLE FOOT INDEXES 304, 310 & 515. ALL RELATED SECTIONS OF THE CODE ARE NOTED WITHIN THESE DOCUMENTS AND STRICT COMPLIANCE IS REQUIRED BY ALL CONSTRUCTION TRADES. CONSTRUCTION QUALITY AND COMPLIANCE OF THE FINAL PRODUCT ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL ACCESSIBLE ROUTES MUST NOT EXCEED A SLOPE OF 1:20 (5.00%). CURB CUT RAMPS AND RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.33%). RAMPS THAT EXCEED 6 FEET IN LENGTH REQUIRE HANDRAILS. ALL CROSS SLOPES MUST NOT EXCEED A SLOPE OF 1:50 (2.00%). RAMPS MUST ALSO COMPLY WITH FBC BUILDING 1010 AND FBC ACCESSIBILITY 405.
- PLANTERS, TREE GRATES AND OTHER ELEMENTS MUST BE FLUSH AND ADA COMPLIANT. PAVERS ON PEDESTRIAN PATH MUST BE FLUSH, FIRM, STABLE AND HAVE NO OPEN JOINTS.
- ALL DETECTABLE WARNINGS TO BE IN ACCORDANCE WITH MIAMI-DADE COUNTY ARTICLE 527 TESTED MATERIAL, TYPE & COLOR, LATEST EDITION (7/7/16).

STRIPING AND SIGNAGE NOTES

- ALL STRIPING IN RIGHT-OF-WAY AND ALL ON-SITE STOP BARS APPLIED TO ASPHALTIC PAVEMENT SHALL BE THERMOPLASTIC WITH A MIXTURE OF 50 PERCENT GLASS SPHERES AND 50 PERCENT SHARP SILICA SAND APPLIED AT A RATE OF 0.20 PSF IN ACCORDANCE WITH FDOT SECTION 711.
- ALL ON-SITE STRIPING APPLIED TO CONCRETE PAVEMENT SHALL BE TRAFFIC PAINT IN ACCORDANCE WITH FDOT SECTION 917.
- ALL SIGNAGE SHALL BE IN ACCORDANCE WITH "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
- SIGN POSTS SHALL BE STEEL CHANNEL IN ACCORDANCE WITH MIAMI-DADE COUNTY/CITY OF MIAMI PUBLIC WORKS DEPARTMENT STANDARDS AND SHALL BE BREAK-A-WAY.
- STOP SIGNS SHALL BE MOUNTED WITH 7' CLEAR FROM SIGN BOTTOM TO GRADE. WHERE INDICATED, ADDITIONAL SIGNAGE SHALL BE MOUNTED BELOW STOP SIGN.
- PROVIDE REFLECTIVE PAVEMENT MARKERS, AS REQUIRED BY MIAMI-DADE COUNTY/CITY OF MIAMI PUBLIC WORKS DEPARTMENTS.

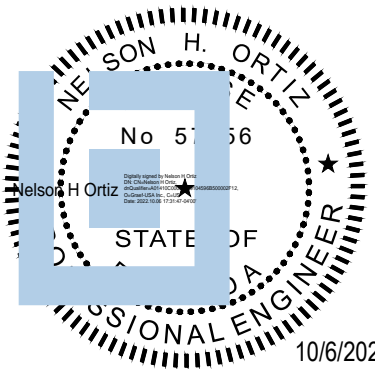


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FOR THE FIRM :
PE-57556

NELSON H. ORTIZ
(CIVIL)

PROJECT TITLE:

THE AVENUE

351 SAN LORENZO AVENUE,
CORAL GABLES, FLORIDA, 33146

Folio No.: 03-4120-017-1570

SAN LORENZO PROPERTY, LLC
782 N.W. 42nd AVENUE, SUITE 550
MIAMI, FLORIDA 33126

ISSUE:
NO. DATE REVISIONS BY

PROJECT INFORMATION:

PROJECT NUMBER: 2022-7023

DATE: 08/09/2022

DRAWN BY: S.D.

CHECKED BY: N.H.O.

APPROVED BY: N.H.O.

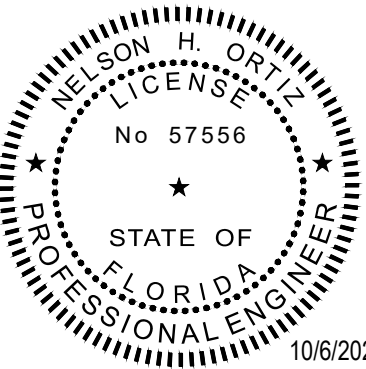
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SHEET TITLE:

LAYOUT PLAN
AND NOTES

SHEET NUMBER:

C-1



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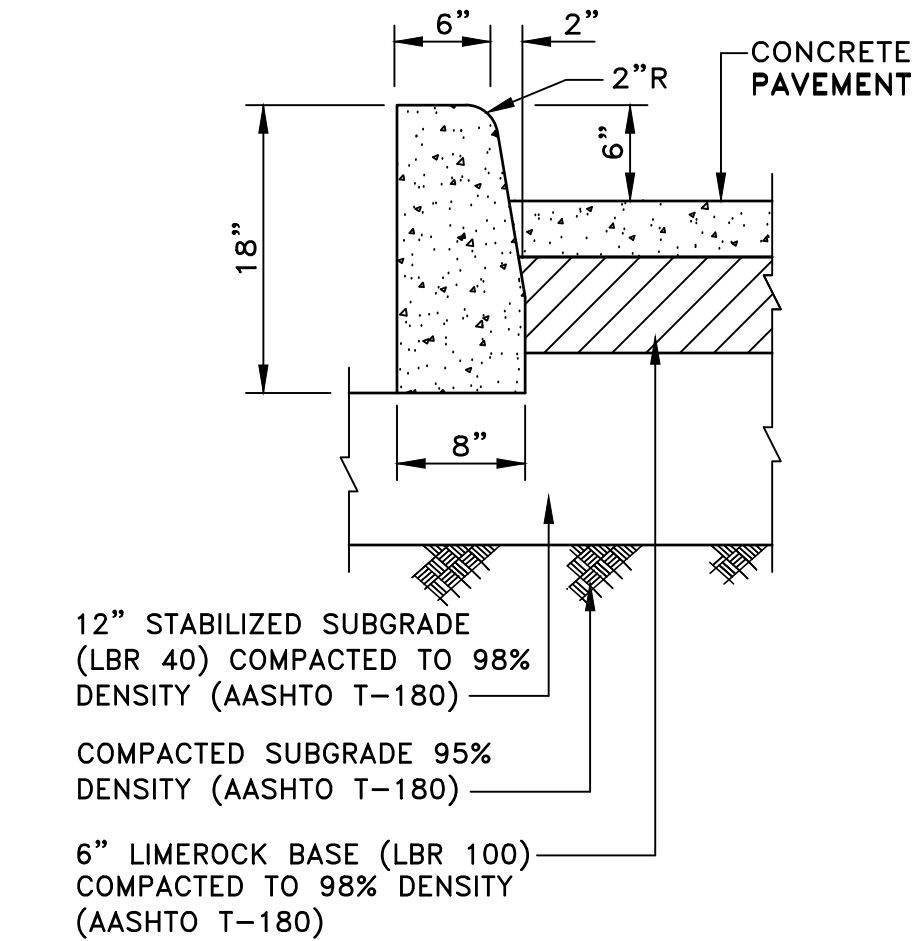
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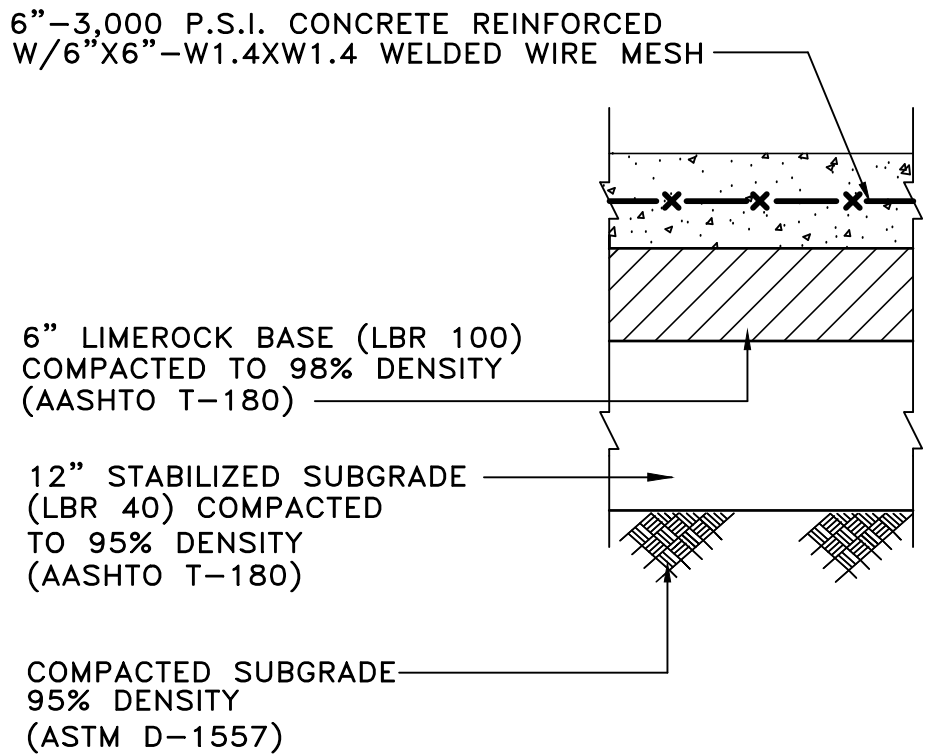
SITE & DRAINAGE
DETAILS

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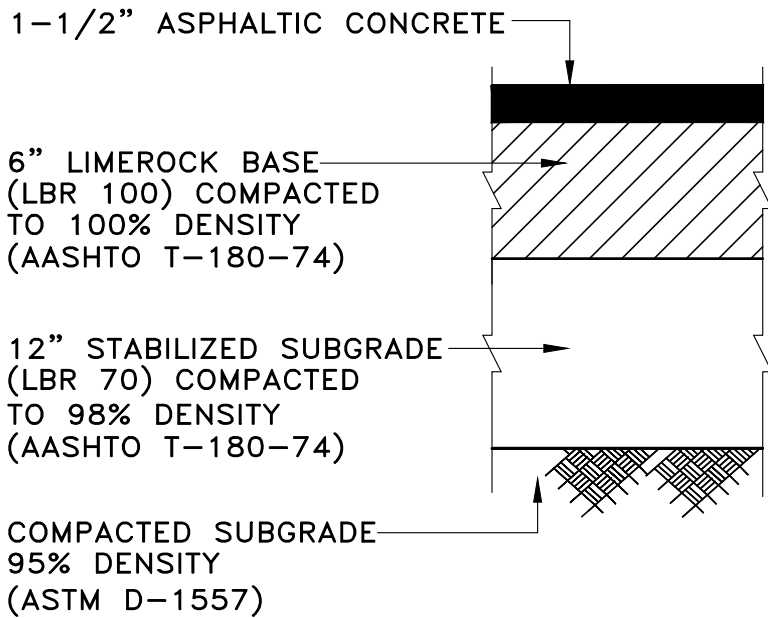
C-3



TYPE "D" CONC. CURB DETAIL
SCALE: 1" = 1'-0"

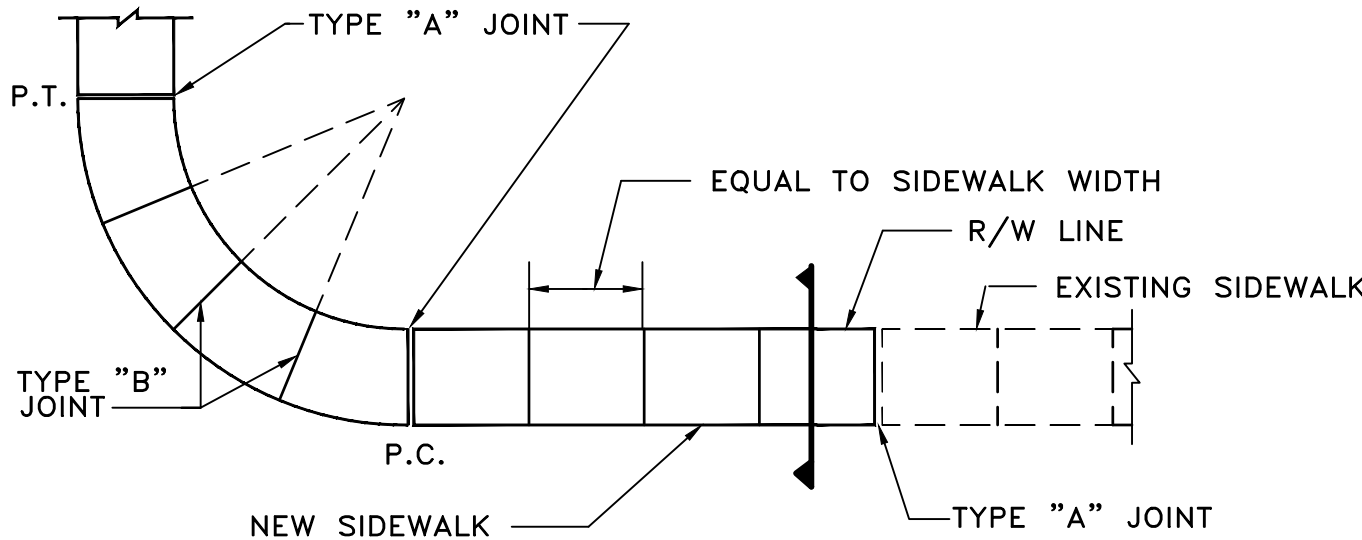


CONCRETE PAVEMENT
N.T.S.



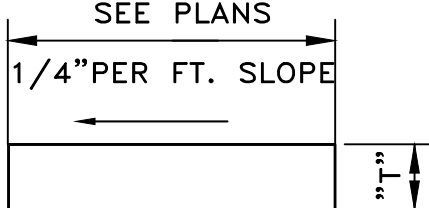
ASPHALTIC PAVEMENT
N.T.S.

TABLE OF SIDEWALK THICKNESS "T"	
LOCATION	"T"
RESIDENTIAL AND INTERIOR AREAS	4"
AT DRIVEWAYS AND OTHER AREAS	6"

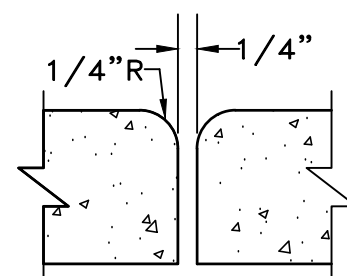


SIDEWALK PLAN

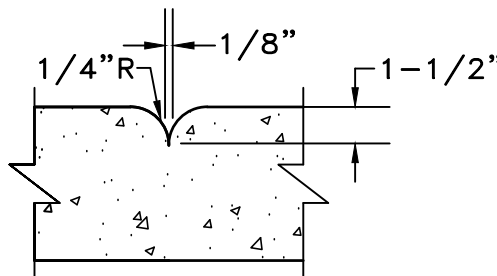
TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
"A"	P.C. AND P.T. OF CURVES, JUNCTION OF EXISTING AND NEW SIDEWALKS.
"B"	6'-0" CENTER TO CENTER ON SIDEWALKS
"C"	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES ALSO, EVERY 50 FEET OF CONTINUOUS SIDEWALK



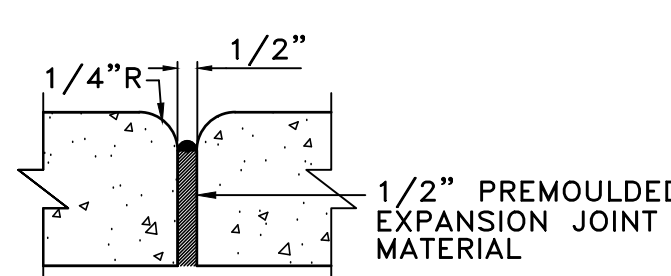
SECTION



TYPE "A"



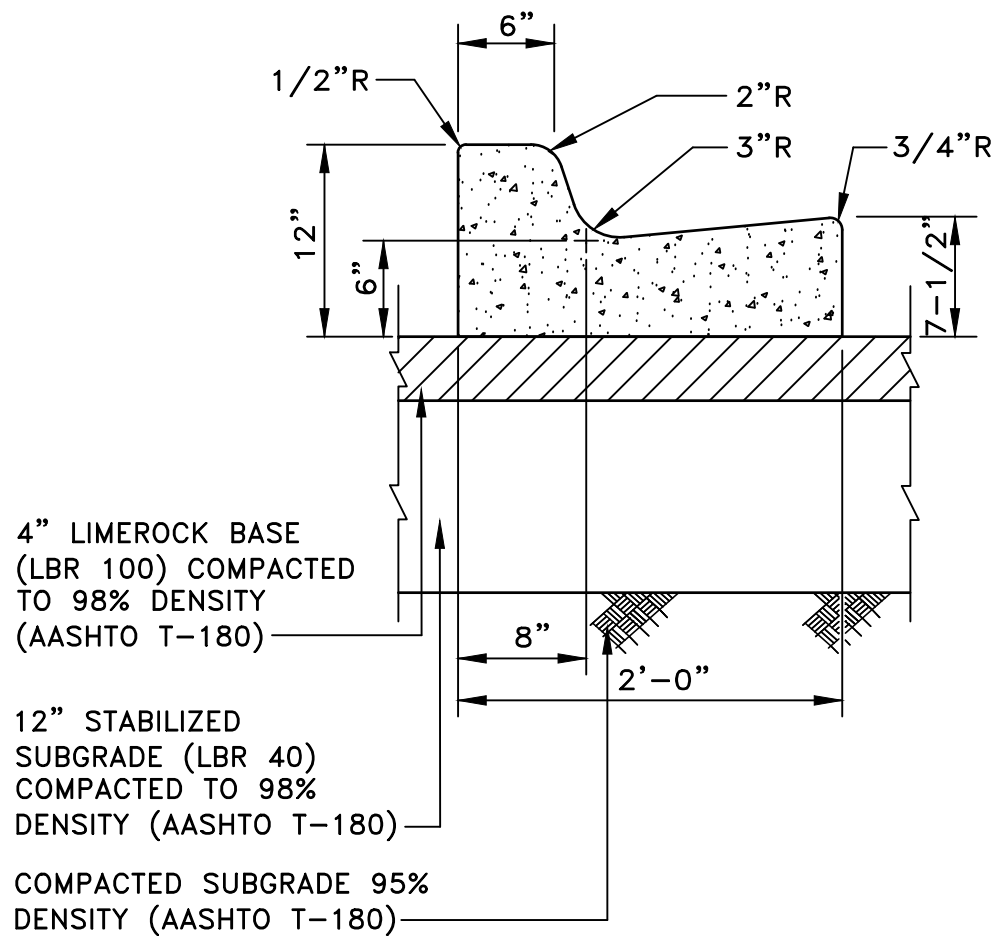
TYPE "B"



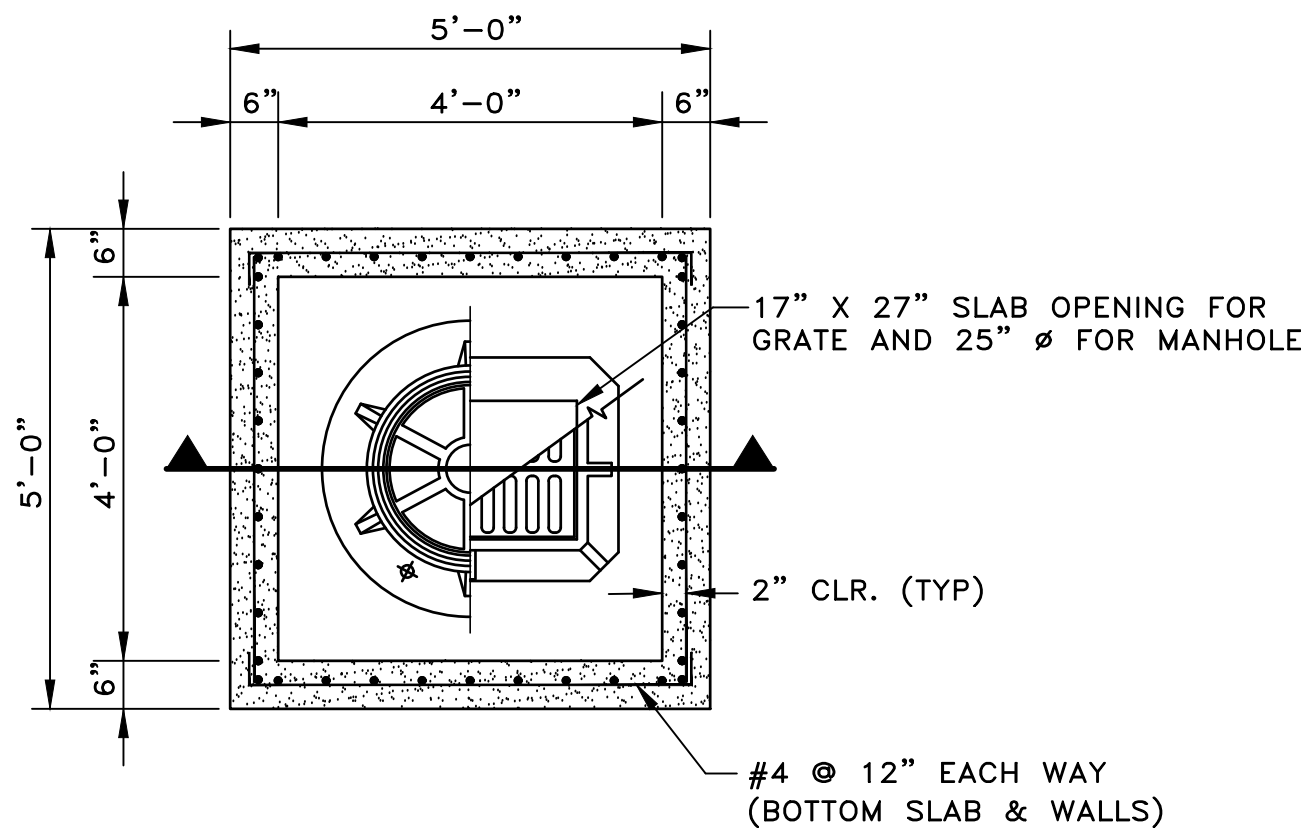
TYPE "C"

SIDEWALK JOINTS

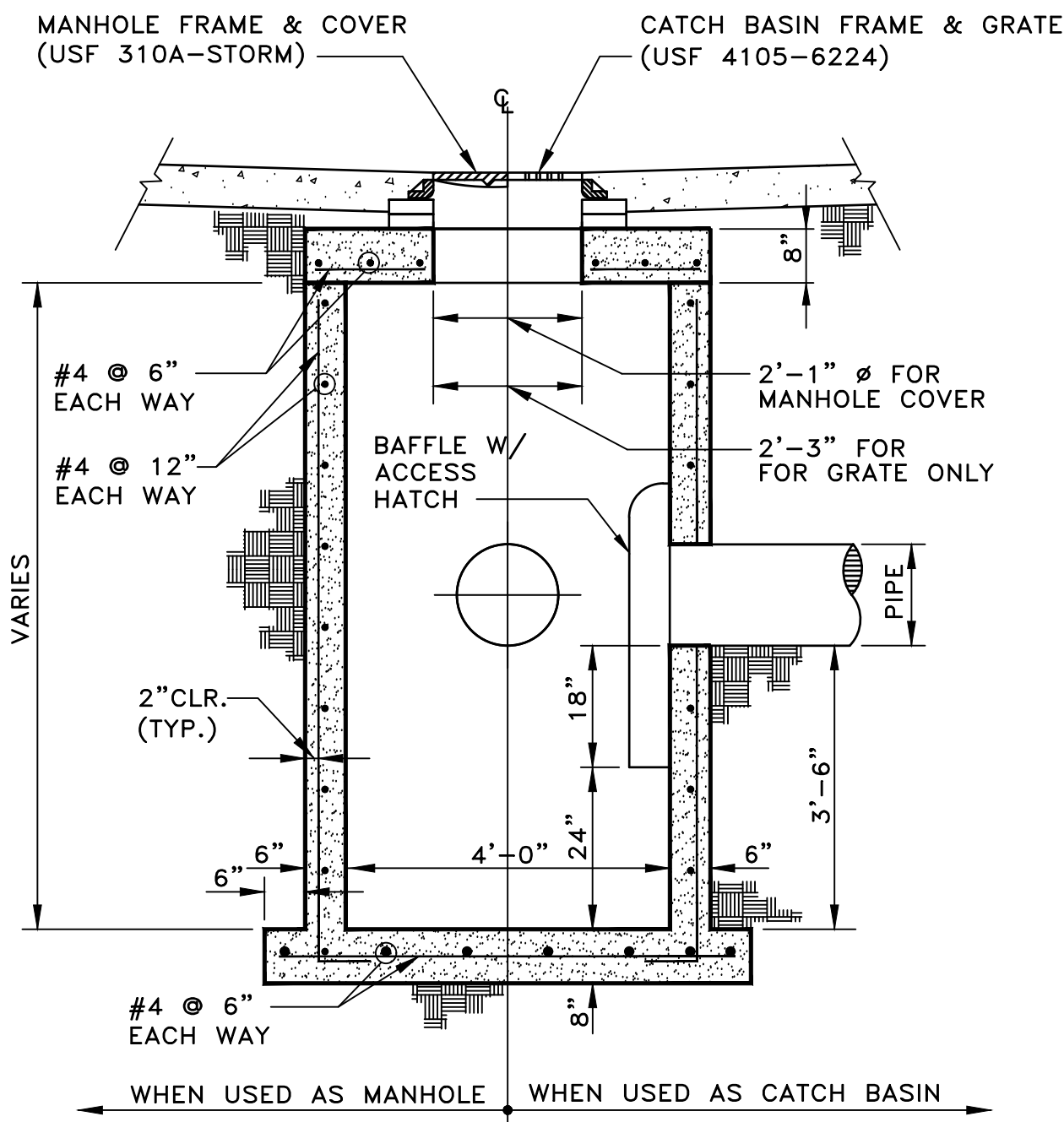
STANDARD SIDEWALK CONSTRUCTION
N.T.S.



TYPE "F" CURB AND GUTTER DETAIL
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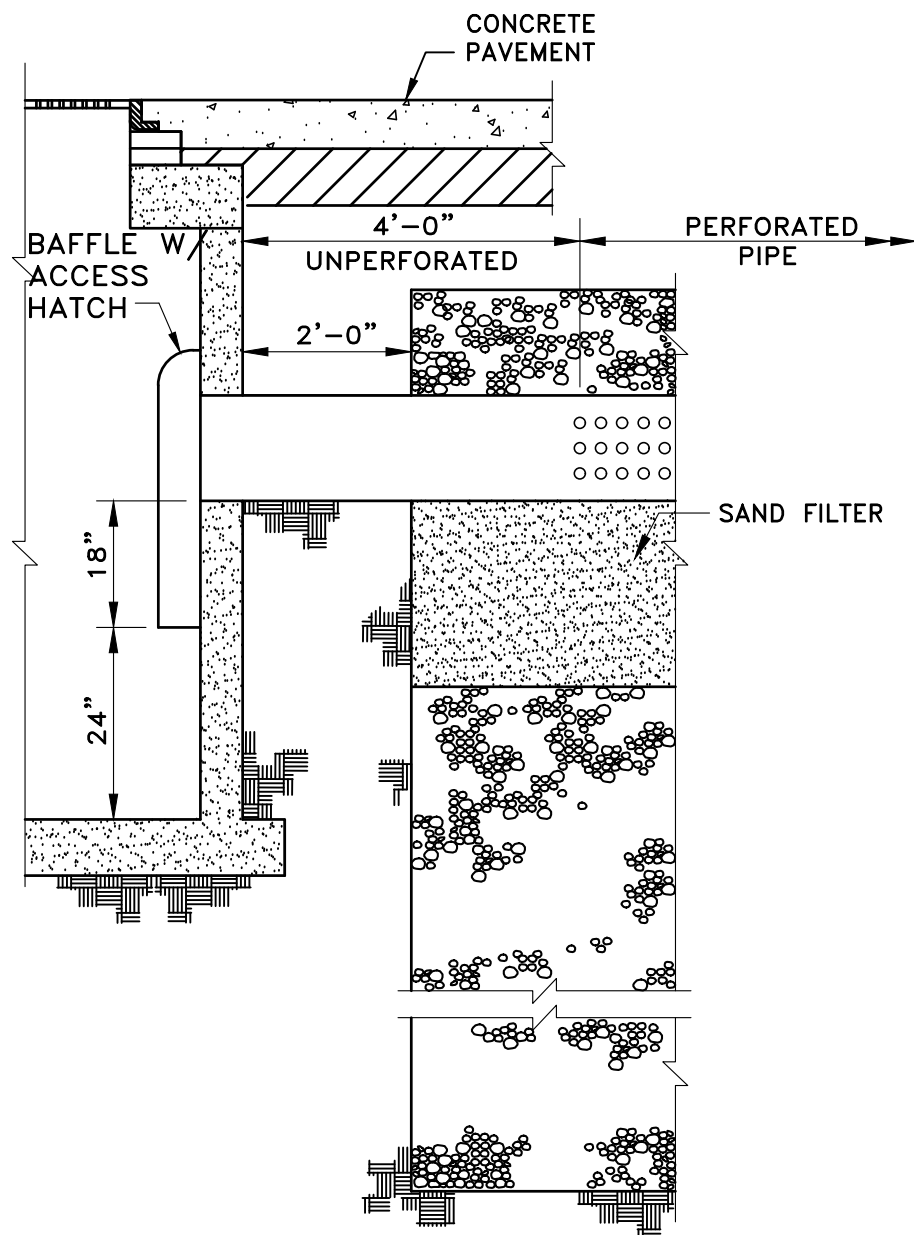


PLAN



SECTION

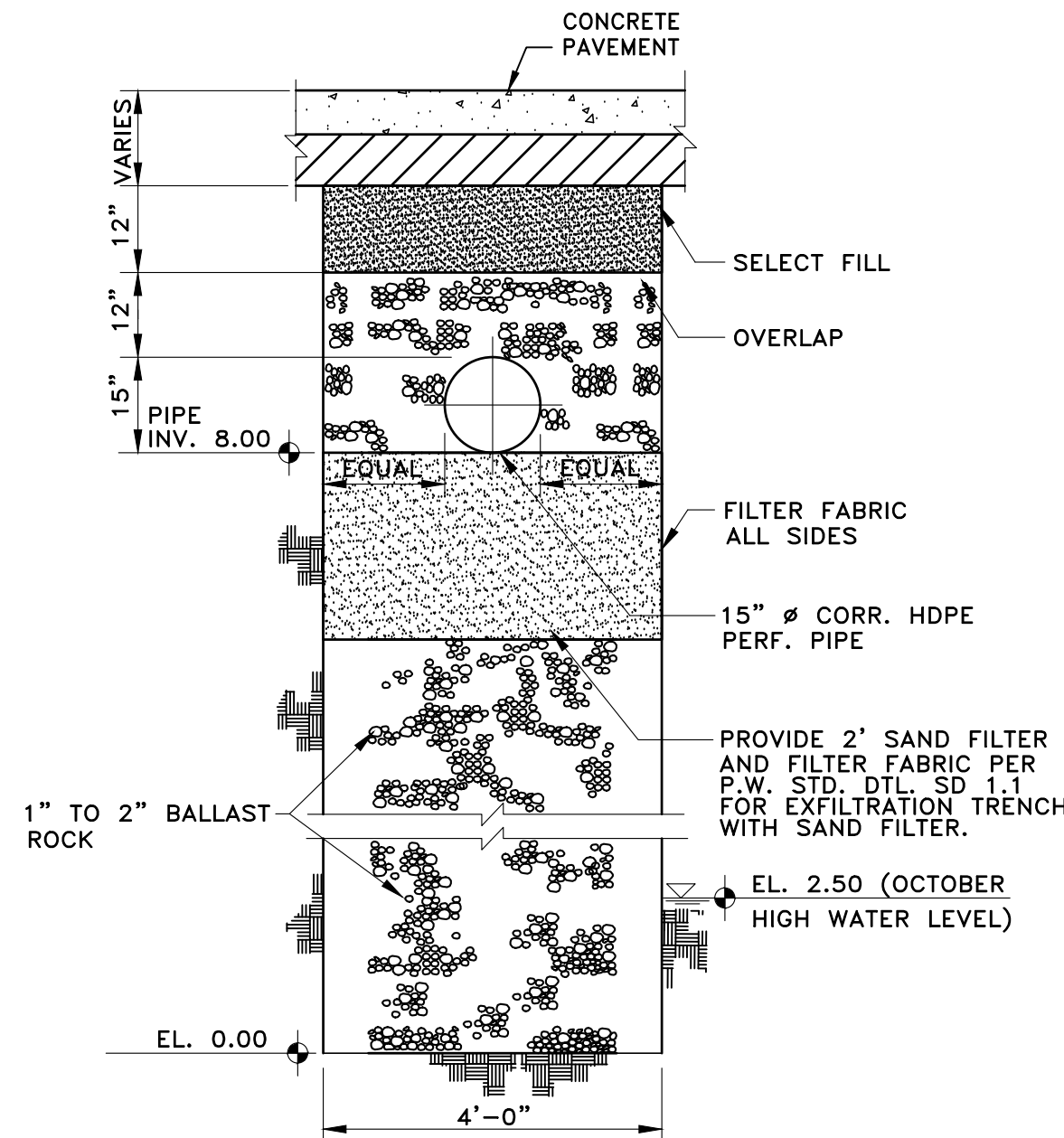
CATCH BASIN/MANHOLE DETAIL
N.T.S.



NOTES:

1. PROVIDE BAFFLE W/ ACCESS HATCH WHEREVER PIPE ENTERS FRENCH DRAIN.
2. BAFFLE W/ ACCESS HATCH SHALL BE TYPE S-15 HYDRO-BAFFLE AS MANUFACTURED BY GEOTECHNICAL MARINE CORP. OR APPROVED EQUAL.

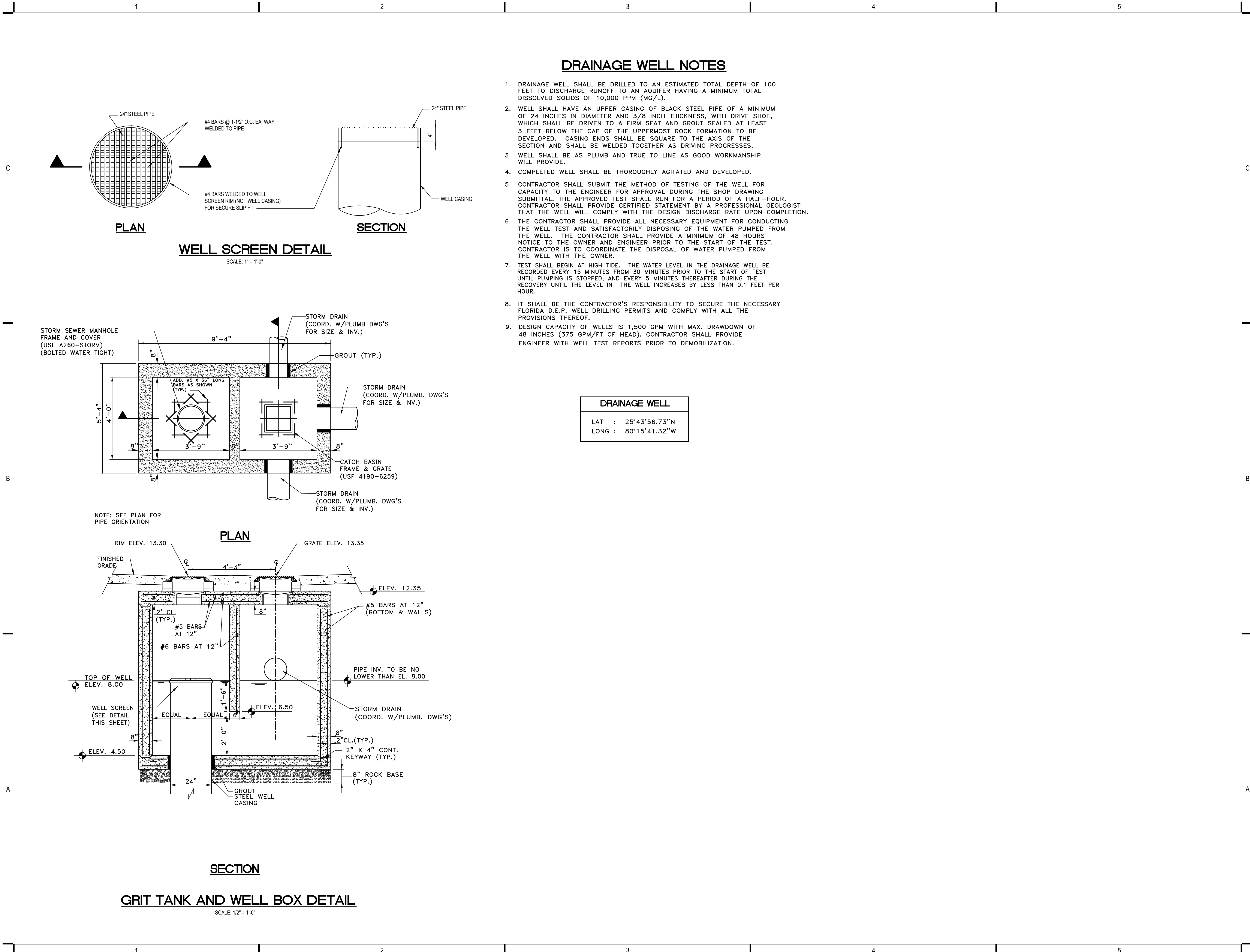
EXFILTRATION TRENCH CONNECTION DETAIL
N.T.S.



N.T.S.

EXFILTRATION TRENCH SECTION W/ SAND FILTER
N.T.S.

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10/6/2022 3:26 PM
NOT FOR CONSTRUCTION
FILE LOCATION: X:\MIA\2022\20227023\Design\Drawings

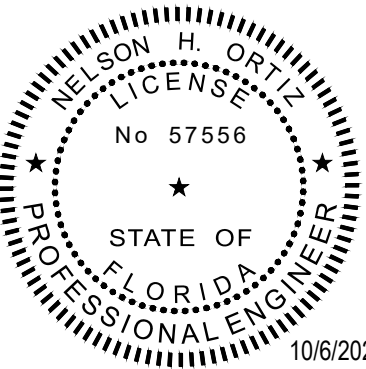


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FOR THE FIRM :
PE-57556

NELSON H. ORTIZ
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Folio No.: 03-4120-017-1570

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MIAMI, FLORIDA 33126

ISSUE:

NO. DATE

REVISIONS

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SCALE: AS SHOWN

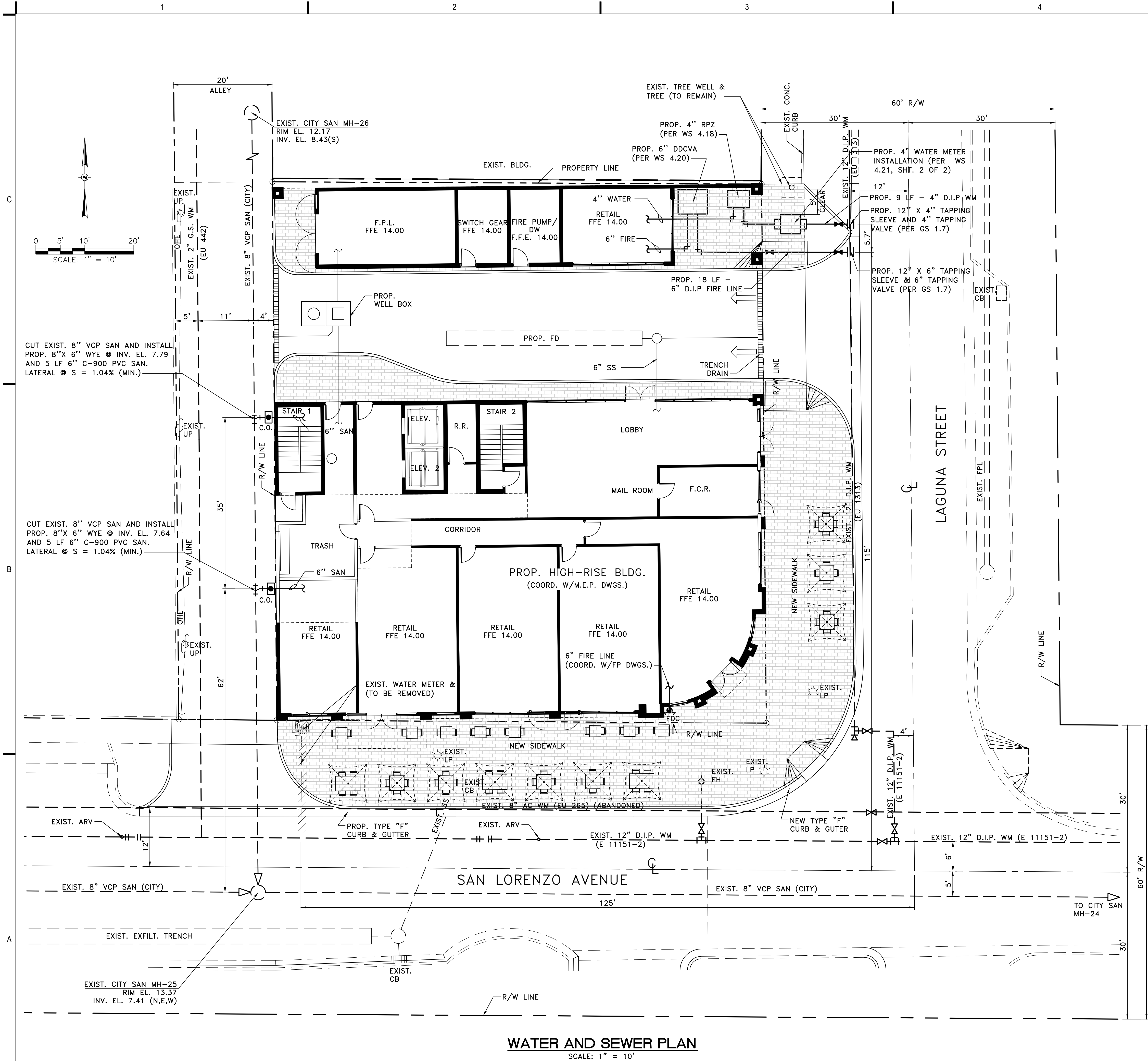
SHEET TITLE:

DRAINAGE WELL
DETAILS

SHEET NUMBER:

C-4

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DATE: 10/6/2022
TIME: 10:06:26 AM
USER: JLD
PROJECT: 2022-7023
SHEET: WS-2
SCALE: 1" = 10'



LEGEND	
EXISTING	PROPOSED
WM	WM
SAN	SAN
N/A	CO

WATER SERVICE PROVIDED BY:
MIAMI-DADE WATER & SEWER DEPARTMENT
3575 SOUTH LE JEUNE ROAD
MIAMI, FLORIDA 33130
(305) 665-7471

SEWER SERVICE PROVIDED BY:
CITY OF CORAL GABLES SEWER DEPARTMENT
2800 S.W. 72nd AVENUE
MIAMI, FLORIDA 33155
(305) 460-5005

Sunshine811

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!

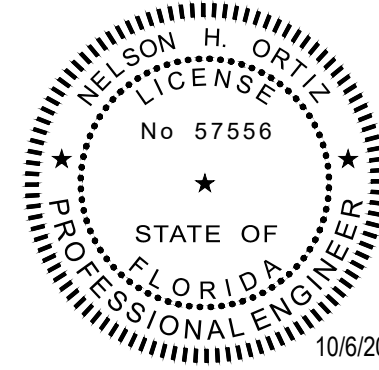


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SCALE: AS SHOWN

SHEET TITLE:

WATER & SEWER
PLAN

SHEET NUMBER:

WS-2

M-DWASD AGREEMENT ID# 22314

STORMWATER POLLUTION PREVENTION PLAN (SWPPP) NOTES

A. GENERAL NOTES

1. ENVIRONMENTAL CONTROL FEATURES AS PROVIDED IN PLANS ARE TO BE INSTALLED AT ALL AREAS OF EXCAVATION OR FILL FOR DRAINAGE SYSTEM OR STRUCTURE CONSTRUCTION PRIOR TO SUCH EXCAVATION OR FILL. INLET ENTRANCES ARE ALSO TO BE PROTECTED FROM SILTATION AS DETAILED IN THE FDOT STANDARDS.
2. ALL ENVIRONMENTAL CONTROL FEATURES ARE TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT IN ACCORDANCE WITH FDEP's NPDES REQUIREMENTS. THE CONTRACTOR MUST ENSURE THAT ALL EROSION CONTROL FEATURES FUNCTION PROPERLY AT ALL TIMES.
3. ALL EROSION AND MATERIAL DEPOSITS MUST BE CONTAINED WITHIN THE PROJECT LIMITS.
4. CONTRACTOR'S SUBMITTALS:
THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE FOLLOWING ITEMS TO FDEP IN ORDER FOR THE NPDES PERMIT TO BE PROCESSED:
- a. IF THIS SWPPP IS ADOPTED BY THE CONTRACTOR, THE SWPPP SHEETS AND OTHER PLAN SHEETS SHALL BE INCLUDED BY REFERENCE IN THE NOTICE OF INTENT (NOI) SUBMITTAL. THE CONTRACTOR MAY ELECT TO SUBMIT A REVISED SWPPP THAT IS IN COMPLIANCE WITH THE STORM WATER REGULATIONS AT 40 CFR 122.26(b)(14) AND STATE WATER QUALITY STANDARDS.
- b. SIGNED CONTRACTOR CERTIFICATION FORMS (2). THESE FORMS MUST BE SIGNED BY BOTH THE PRIME CONTRACTOR AND SUB-CONTRACTOR (IF APPLICABLE) PERFORMING SOIL-DISTURBING ACTIVITIES.
- c. HAZARDOUS MATERIAL SPILL CONTROL PLAN.
- d. STAGING AREAS, STOCKPILE LOCATIONS AND STABILIZATION PRACTICES.
- e. BRIDGE CONSTRUCTION METHOD AND SEQUENCING (IF APPLICABLE).
- f. DEWATERING PLAN (IF APPLICABLE).
5. NO SOIL DISTURBING ACTIVITIES CAN BE CONDUCTED UNTIL THE NPDES PACKAGE HAS BEEN MAILED TO THE FDEP.
6. ANY DAMAGED OR INEFFECTIVE BAGS ARE TO BE REPLACED WITH NEW ONES. THE LOCATION OF ROCK BAG INSTALLATION IS AS MENTIONED IN EROSION CONTROL PLANS. THE PROJECT ENGINEER MAY SPECIFY OTHER AREAS AS NECESSARY.
7. DITCH BOTTOM INLETS SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL PROJECT IS COMPLETE. ELEVATION OF GROUND OUTSIDE INLET TOP SHALL NOT BE HIGHER THAN INLET TOP. ROCK BAGS SHALL BE INSTALLED AROUND INLET TOP.
8. COMPLETED INLETS IN PAVED AREAS SHALL ALSO BE PROTECTED WITH ROCK BAGS TO PREVENT SEDIMENT INTAKE FROM OTHER AREAS.
9. CURB INLETS ALSO SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL THE PROJECT IS COMPLETE. ALL FILL EMBANKMENT AND GRADED AREAS SHALL BE PROTECTED AGAINST EROSION BY METHODS STATED IN "SECTION ID4" FDOT STANDARDS SPECIFICATIONS FOR BRIDGE AND ROAD CONSTRUCTION.
10. STOCKPILED MATERIALS SHALL NOT BE LEFT IN EROSION PRONE AREAS UNLESS PROTECTED BY COVER AND/OR OTHER APPROPRIATE EROSION CONTROL MEASURES.
11. INSPECTION OF EROSION CONTROL MEASURES AND CONDITION OF ADJACENT PROPERTIES SHALL BE PERFORMED DAILY BY THE CONTRACTOR'S REPRESENTATIVE AND THE PROJECT ENGINEER. DEFICIENCIES SHALL BE NOTED AND CORRECTED.
12. ANY OFFSITE SEDIMENT DISCHARGE TO A MUNICIPALLY SEPARATE STORM SEWER SYSTEM ARISING FROM THE CONTRACTOR'S ACTIVITIES SHALL HAVE EROSION CONTROLS PROVIDED FOR THOSE INLETS.
13. THE AGGREGATE LAYER OF ALL CONSTRUCTION ENTRANCE GRAVEL BEDS MUST BE AT LEAST 6 INCHES THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 50 FEET. THE ENTRANCE MUST WIDEN AT ITS CONNECTION TO THE ROADWAY IN ORDER TO ACCOMMODATE THE TURNING RADIUS OF LARGE TRUCKS.

B. SITE DESCRIPTION

1. CONSTRUCTION ACTIVITY:
DEMOLITION, DRAINAGE AND UTILITY INSTALLATION, NEW BUILDING, LAND DEVELOPMENT.
- PROJECT LIMITS:
351 SAN LORENZO AVENUE, CORAL GABLES, FLORIDA.
- PROJECT DESCRIPTION:
LAND DEVELOPMENT AT THE ONE MERRICK PARK PROJECT WILL INCLUDE A NEW MULTI-STORY BUILDING WITH AT-GRADE AND INTERIOR PARKING. THE PROPOSED DRAINAGE SYSTEM WILL CONSIST OF RAINWATER LEADERS, AREA DRAINS, CATCH BASINS, EXFILTRATION TRENCH AND A DRAINAGE WELL.
2. MAJOR SOIL DISTURBING ACTIVITIES:
CLEARING AND GRUBBING; EXCAVATION FOR FOUNDATIONS, STORMWATER FACILITIES AND OTHER UTILITIES; AND, SITE GRADING.
3. TOTAL PROJECT AREA: 0.25 ACRES
TOTAL AREA TO BE DISTURBED: 0.25 ACRES
4. LOCATIONS OF DRAINAGE AREAS AND OUTFALLS:
SEE ATTACHED PLAN.
5. THE DRAINAGE SYSTEM FOR THIS PROJECT IS A CLOSED SYSTEM. RECEIVING WATERS IN THE EVENT OF A MAJOR STORM EVENT WILL BE A LOCAL CANAL AT LATITUDE AND LONGITUDE 25°43'47.83" N/80°15'51.86" W.
6. AREA OF DISCHARGE FOR THIS PROJECT IS 0.25 ACRES = 11,000 SF
7. SOILS ARE CLASSIFIED AS URBAN LAND AND QUALITY OF DISCHARGE IS LIMEROCK FILL AND SAND.
8. LATITUDE AND LONGITUDE OF DIRECT DISCHARGE POINT IS NOT APPLICABLE SINCE THIS IS A CLOSED SYSTEM WITH NO DIRECT DISCHARGE TO ADJACENT SURFACE WATERS. HOWEVER, LATITUDE AND LONGITUDE OF THIS PROJECT AS INDICATED IN THE NOI IS 25°43'56.51" N/80°15'40.91" W AND LATITUDE AND LONGITUDE OF THE LOCAL CANAL IS 25°43'47.83"N/80°15'51.86" W.

C. CONTROLS

NARRATIVE - SEQUENCE OF SOIL DISTURBING ACTIVITIES AND IMPLEMENTATION OF CONTROLS.

CONSTRUCTION OF THE ONE MERRICK PARK PROJECT AT 351 SAN LORENZO AVENUE, CORAL GABLES, AND ASSOCIATED DRAINAGE SYSTEM WILL INCLUDE RAINWATER LEADERS, ARE DRAINS, CATCH BASINS EXFILTRATION TRENCHES AND A DRAINAGE WELL.

PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES, ALL EROSION CONTROLS MUST BE IMPLEMENTED.

TEMPORARY STABILIZATION:
DISTURBED PORTIONS OF THE SITE (E.G. EMBANKMENT AT TEMPORARY RAMPS) WHERE CONSTRUCTION ACTIVITY CEASES FOR AT LEAST 21 DAYS, SHALL BE STABILIZED WITH TEMPORARY SOD OR TEMPORARY SEEDING AND MULCHING NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA.

PERMANENT STABILIZATION:
DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY PERMANENTLY CEASES SHALL BE STABILIZED WITH SOD NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY.

1. EROSION AND SEDIMENT CONTROLS:

- (1) STABILIZATION PRACTICES:
☒ TEMPORARY SODDING
☒ TEMPORARY GRASSING
☒ PERMANENT SODDING, SEEDING OR SEED & MULCH
☒ TEMPORARY MULCHING
☒ ARTIFICIAL COVERING
☒ BUFFER ZONES
☒ PRESERVATION OF NATURAL RESOURCES

OTHER:

- (2) STRUCTURAL PRACTICES:
☒ SAND BAGGING
☒ SILT FENCES
☒ ROCK BAGS
☒ BERMS
☒ DIVERSION, INTERCEPTOR, OR PERIMETER DITCHES
☒ PIPE SLOPE DRAINS
☒ FLUMES
☒ ROCK BEDDING AT CONSTRUCTION EXIT
☒ TIMBER BEDDING AT CONSTRUCTION EXIT
☒ DITCH LINER
☒ SEDIMENT TRAPS (DURING DE-WATERING)
☒ SEDIMENT BASINS
☒ STORM INLET SEDIMENT TRAP
☒ STONE OUTLET STRUCTURES
☒ CURBS AND GUTTERS
☒ STORM SEWERS
☒ VELOCITY CONTROL DEVICES
☒ TURBIDITY BARRIER
☒ RIP RAP

2. DESCRIPTION OF STORM WATER MANAGEMENT:

THE STORMWATER MANAGEMENT SYSTEM CONSISTS OF RAINWATER LEADERS, AREA DRAINS AND CATCH BASINS THAT CONVEY STORMWATER INTO THE EXFILTRATION TRENCHES THAT TREAT THE WATER QUALITY AND WATER QUANTITY REQUIREMENTS.

OTHER CONTROLS

- (1) WASTE DISPOSAL:
IN APPROVED OFFSITE AREAS PROVIDED BY THE CONTRACTOR.

- (2) OFFSITE VEHICLE TRACKING:
☒ HAUL ROADS DAMPENED FOR DUST CONTROL
☒ LOADED HAUL TRUCKS TO BE COVERED WITH TARPAULIN
☒ EXCESS DIRT ON ROAD REMOVED DAILY
☒ STABILIZED CONSTRUCTION ENTRANCE

OTHER:

- (3) SANITARY WASTE:
ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NECESSARY OR AS REQUIRED BY LOCAL REGULATION OF A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

- (4) FERTILIZERS AND PESTICIDES:
FERTILIZER TO BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. IF STORED ON-SITE, STORAGE WILL BE IN COVERED SHED. THE CONTENT OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEPARATE PLASTIC BIN TO AVOID SPILLS.

- (5) NON-STORM WATER DISCHARGE (INCLUDING SPILL REPORTING) THE CONTRACTOR IS RESPONSIBLE FOR REPORTING SPILLS TO MIAMI-DADE COUNTY DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER). DEWATERING IS NOT ANTICIPATED.

REMARKS:
IF CONTAMINATED SOIL OR GROUNDWATER IS ENCOUNTERED OR HAZARDOUS SPILLS OCCUR DURING CONSTRUCTION THE MIAMI-DADE COUNTY DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER) SHALL BE CONTACTED AT THEIR HOTLINE: (305) 372-6955.

4. APPROVED STATE, LOCAL PLANS, OR STORM WATER PERMITS:
VILLAGE OF PALMETTO BAY BUILDING DEPARTMENT FLORIDA DEPARTMENT OF TRANSPORTATION AND MIAMI-DADE COUNTY RER.

D. MAINTENANCE

ITEM:
SILT FENCE

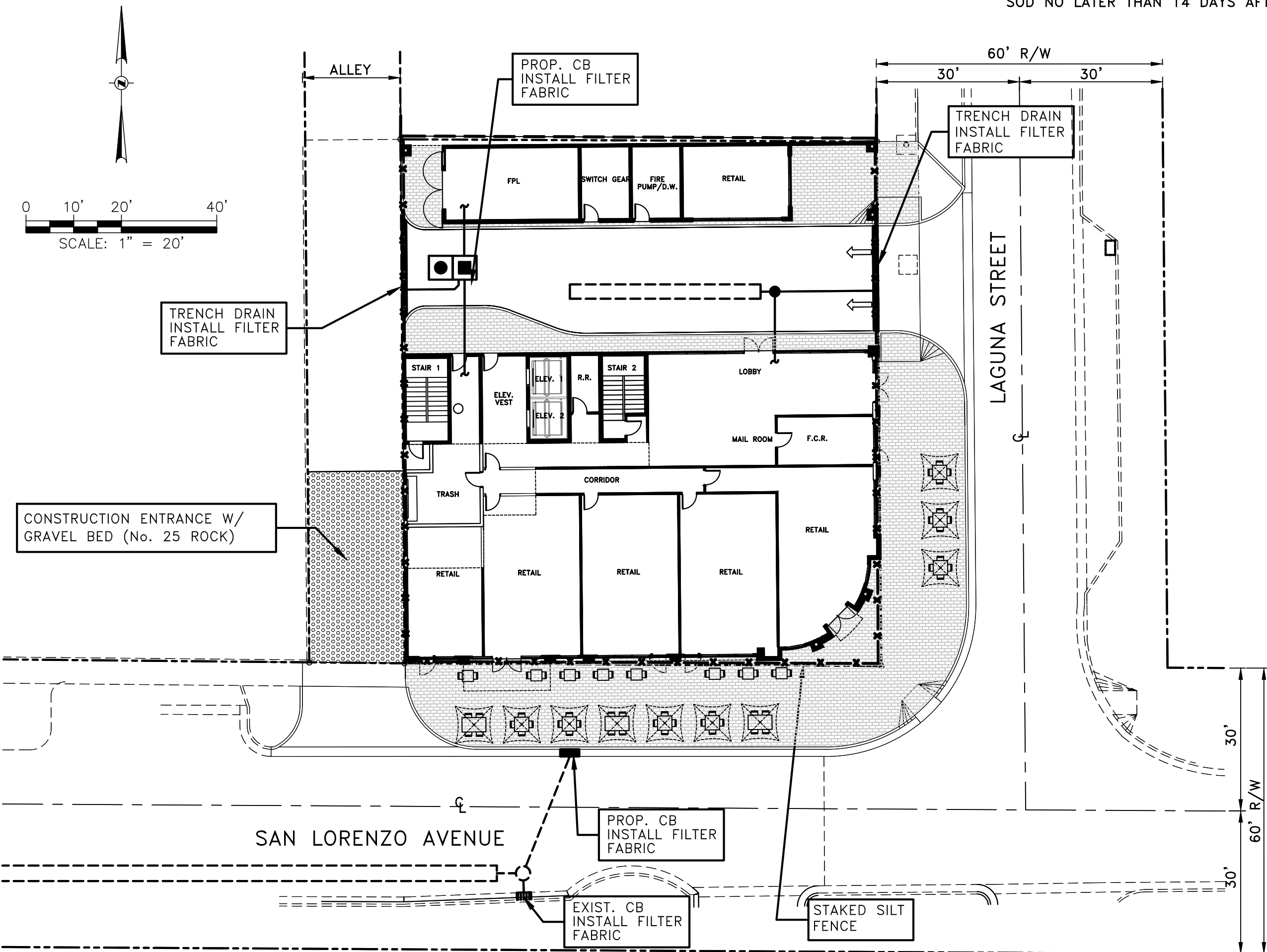
MAINTENANCE:
ALL CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES DURING CONSTRUCTION. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF BEING NOTED IN CONTRACTOR'S DAILY INSPECTION REPORT.

CONSTRUCTION ENTRANCE
GRAVEL BED

WHEN THE CONSTRUCTION ENTRANCE GRAVEL BEDS BECOME LOADED WITH SEDIMENTS, REWORK BEDS TO DISPLACE SEDIMENT LOAD AND RE-ESTABLISH EFFECTIVENESS OF THE GRAVEL BEDS.

E. INSPECTION

THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL FEATURES AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.5" OR GREATER. IN ADDITION, A DAILY REVIEW OF THE LOCATION OF SILT FENCES SHALL BE MADE IN AREAS WHERE CONSTRUCTION ACTIVITIES HAVE CHANGED THE NATURAL CONTOUR AND DRAINAGE RUNOFF. IN ORDER TO INSURE THAT SILT FENCES AND OTHER EROSION CONTROL DEVICES ARE PROPERLY LOCATED FOR EFFECTIVENESS. A FORM ACCEPTABLE TO THE FDEP WILL BE USED TO REPORT ALL INSPECTION FINDINGS AND CORRECTIVE ACTIONS TAKEN AS A RESULT OF THE INSPECTION. EACH INSPECTION REPORT SHALL BE SIGNED AND SUBMITTED WEEKLY TO THE PROJECT ENGINEER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF BEING NOTED IN CONTRACTOR'S INSPECTION REPORT.



- GRAVEL BED (No. 25 ROCK)
STAKED SILT FENCE

NOTES:

1. PERIMETER CONSTRUCTION FENCE SHALL BE PROVIDED WITH WIND SCREEN TO MAINTAIN SUFFICIENT DUST CONTROL.
2. INSTALLATION OF EROSION AND SEDIMENT CONTROLS SHALL BE IN ACCORDANCE WITH FDOT 2010, INDEX No. 102.

STORMWATER POLLUTION PREVENTION PLAN

SCALE: 1" = 20'

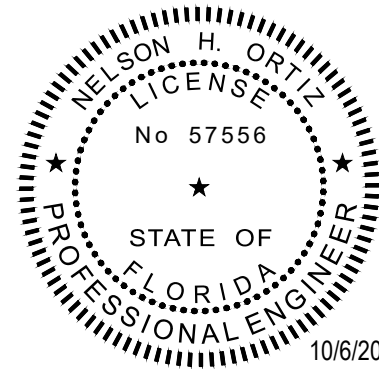


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CERTIFICATE OF AUTHORIZATION NO. 4270

SEAL / SIGNATURE:



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY NELSON H. ORTIZ, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FOR THE FIRM :
PE-57556

NELSON H. ORTIZ
(CIVIL)

PROJECT TITLE:

THE AVENUE

351 SAN LORENZO AVENUE,
CORAL GABLES, FLORIDA, 33146

Folio No.: 03-4120-017-1570

SAN LORENZO PROPERTY, LLC
782 N.W. 42nd AVENUE, SUITE 550
MIAMI, FLORIDA 33126

ISSUE:
NO. DATE REVISIONS BY

PROJECT INFORMATION:

PROJECT NUMBER: 2022-7023

DATE: 08/09/2022

DRAWN BY: S.D.

CHECKED BY: N.H.O.

APPROVED BY: N.H.O.

SCALE: AS SHOWN

SHEET TITLE:

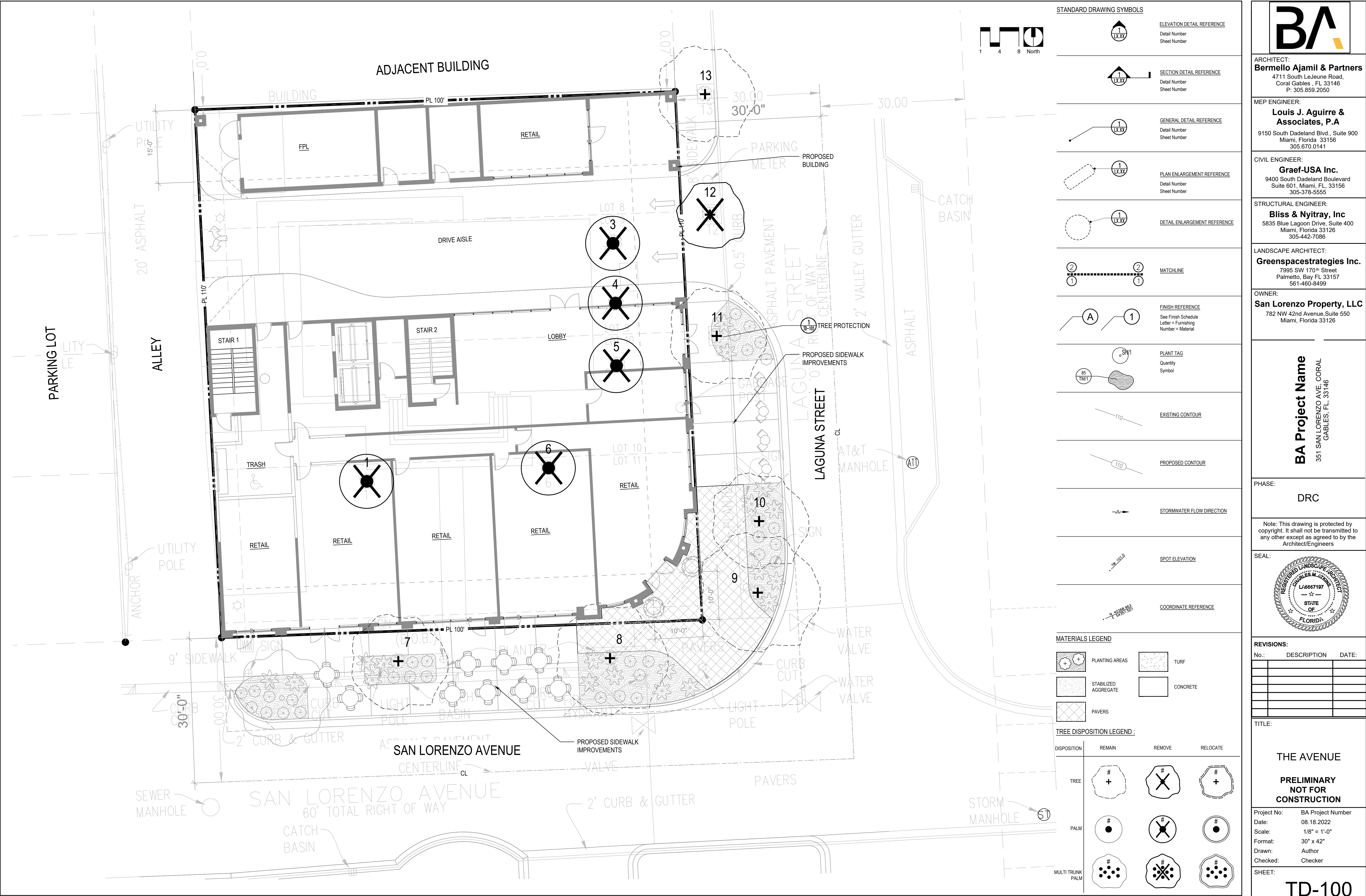
STORMWATER POLLUTION
PREVENTION PLAN AND
NOTES

SHEET NUMBER:

SWPPP



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked. Check positive response codes before you dig!



Tree Disposition List

Trees / Palms to Remain		DBH (inches)	Latin Name	Common Name	Height (feet)	Spread (feet)	Location	Disposition	Mitigation Required (Y/N)
1		20	<i>Roystonea regia</i>	Royal Palm	40	15	LOT	REMOVE	Y
2		-	-	-	-	-	-	-	-
3		20	<i>Caryota mitis</i>	Fishtail Palm	30	15	LOT	REMOVE	Y
4		20	<i>Caryota mitis</i>	Fishtail Palm	30	15	LOT	REMOVE	Y
5		20	<i>Caryota mitis</i>	Fishtail Palm	30	15	LOT	REMOVE	Y
6		20	<i>Roystonea regia</i>	Royal Palm	40	15	LOT	REMOVE	Y
7		9	<i>Bucida buceras</i>	Shady Lady	20	20	ROW	REMAIN	N
8		9	<i>Bucida buceras</i>	Shady Lady	20	20	ROW	REMAIN	N
9		10	<i>Quercus virginiana</i>	Live Oak	25	20	ROW	REMAIN	N
10		10	<i>Quercus virginiana</i>	Live Oak	25	20	ROW	REMAIN	N
11		10	<i>Quercus virginiana</i>	Live Oak	25	20	ROW	REMAIN	N
12		10	<i>Quercus virginiana</i>	Live Oak	25	20	ROW	REMAIN	N
12		10	<i>Quercus virginiana</i>	Live Oak	25	20	ROW	REMAIN	N

Tree Removal and Relocation Summary / Replacement Requirements

DBH= diamater at breast height, in inches
CT= clear trunk, measured to frond heart, in feet
CD= canopy diameter, in square/feet

Total regular trees and palms CD to be removed requiring replacement (sq/ft):	884
Total specimen CD to be removed requiring replacement (sq/ft):	0
Total CD to be relocated (sq/ft):	0
Total CD to be replaced (sq/ft):	0
Total proposed CD (sq/ft):	0
Total remaining CD to replace (sq/ft):	0

Tree Disposition Canopy Replacement Worksheet

Project: San Lorenzo - Coral Gables
Date: 6-Oct-22

Total SF canopy removed:		884
Replacement SF required:		884

Canopy and Palm Trees: REMOVED REQUIRING REPLCEMENT				Canopy Dia. (CD) (ft)	Canopy Removed CD (sq ft)
ID No.	Latin Name	Common Name	DBH (in)		
1	<i>Roystonea regia</i>	Royal Palm	20	15	177
3	<i>Caryota mitis</i>	Fishtail Palm	20	15	177
4	<i>Caryota mitis</i>	Fishtail Palm	20	15	177
5	<i>Caryota mitis</i>	Fishtail Palm	20	15	177
6	<i>Roystonea regia</i>	Royal Palm	20	15	177

Total SF specimen canopy removed:		0
Replacement SF required:		0

Canopy Trees: SPECIMENS REMOVED REQUIRING REPLCEMENT				Canopy Dia. (CD) (ft)	Canopy Removed CD (sq ft)	Specimen Multiplier (x2)
ID No.	Latin Name	Common Name	DBH (in)			
-	-	-	-	0	0	

Total SF invasive canopy removed:		0
Replacement SF required:		0

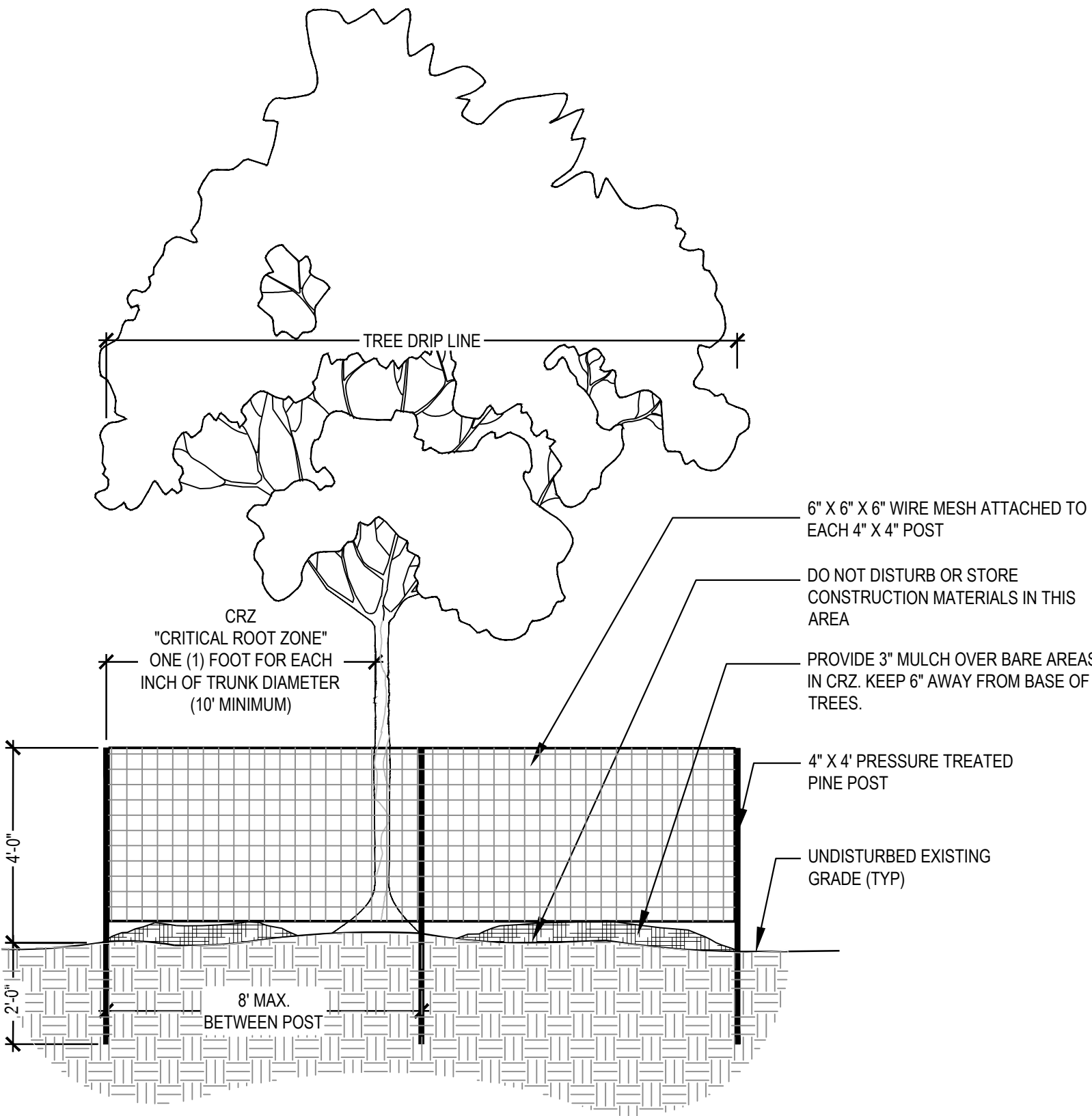
Canopy Trees: REMOVED INVASIVE				Canopy Dia. (CD) (ft)	Canopy Removed CD (sq ft)
ID No.	Latin Name	Common Name	DBH (in)		
-	-	-	-	-	-

Total SF canopy relocated:		0
Replacement SF required:		0

Canopy Trees: RELOCATED REQUIRING REPLCEMENT				Canopy Dia. (CD) (ft)	Canopy Removed CD (sq ft)
ID No.	Latin Name	Common Name	DBH (in)		
-	-	-	-	0	0

Total SF canopy relocated:		0
Replacement SF required:		0

Palm Trees: RELOCATED REQUIRING REPLCEMENT				Canopy Dia. (CD) (ft)	Canopy Removed CD (sq ft)
ID No.	Latin Name	Common Name	DBH (in)		
-	-	-	0	0	0



NOTE:

1. THE TREE PROTECTION BARRICADE SHALL BE AT LEAST FOUR (4) FEET HIGH. THE BARRIER SHALL BE 6" X 6" X 6" WIRE MESH. WOOD POST SHALL BE INSTALLED AT 8' O.C. THE BARRICADE SHALL BE AT LEAST ONE FOOT IN DIAMETER FOR EACH INCH OF TRUNK DIAMETER. LOCATE FENCING AT THE EDGE OF THE CRZ, OR AGAINST PAVEMENT EDGES AS PER DISPOSITION PLAN.
2. TREES LESS THAN 10" DBH, THE MINIMUM BARRICADE SHALL BE PLACED AT LEAST SIX (6) FEET AWAY FROM THE BASE OF THE TREE.
3. HAND WORK ONLY WITHIN TREE BARRICADES
4. TREE BARRICADE APPROVAL: OBTAIN CITY / COUNTY APPROVAL OF TREE BARRICADES BEFORE BEGINNING CLEARING OPERATIONS OR ANY SITE DEVELOPMENT.

1 TREE PROTECTION DETAIL N.T.S.



ARCHITECT:
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Coral Gables , FL 33146
P: 305.859.2050

MEP ENGINEER:
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305.670.0141

CIVIL ENGINEER:
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9400 South Dadeland Boulevard
Suite 601, Miami, FL, 33156
305-378-5555

STRUCTURAL ENGINEER:
Bliss & Nyitray, Inc
5835 Blue Lagoon Drive, Suite 400
Miami, Florida 33126
305-442-7086

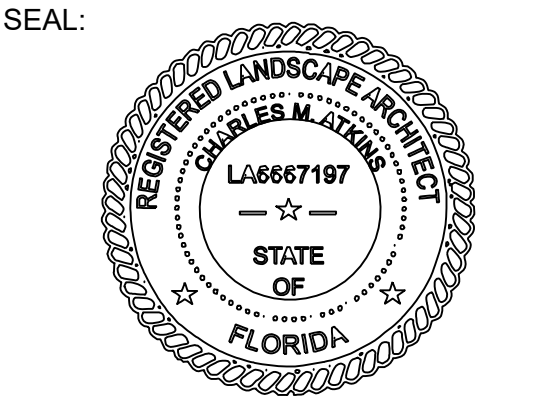
LANDSCAPE ARCHITECT:
Greenspacestrategies Inc.
7995 SW 170th Street
Palmetto, Bay FL 33157
561-460-8499

OWNER:
San Lorenzo Property, LLC
782 NW 42nd Avenue, Suite 550
Miami, Florida 33126

BA Project Name
351 SAN LORENZO AVE, CORAL
GABLES, FL, 33146

PHASE:
DRC

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REVISIONS:		
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TITLE:

THE AVENUE

PRELIMINARY
NOT FOR
CONSTRUCTION

Project No: BA Project Number
Date: 08.18.2022
Scale: 1/8" = 1'-0"
Format: 30" x 42"
Drawn: Author
Checked: Checker

SHEET:



STANDARD DRAWING SYMBOLS

ELEVATION DETAIL REFERENCE
Detail Number
Sheet Number

SECTION DETAIL REFERENCE
Detail Number
Sheet Number

GENERAL DETAIL REFERENCE
Detail Number
Sheet Number

PLAN ENLARGEMENT REFERENCE
Detail Number
Sheet Number

DETAIL ENLARGEMENT REFERENCE
Detail Number
Sheet Number

MATCHLINE

FINISH REFERENCE
See Finish Schedule
Letter = Furnishing
Number = Material

PLANT TAG
Quantity
Symbol

EXISTING CONTOUR

PROPOSED CONTOUR

STORMWATER FLOW DIRECTION

SPOT ELEVATION

COORDINATE REFERENCE

MATERIALS LEGEND

PLANTING AREAS

TURF

STABILIZED AGGREGATE

CONCRETE

PAVERS

TREE DISPOSITION LEGEND:

DISPOSITION	REMAIN	REMOVE	RELOCATE
TREE			
PALM			
MULTI TRUNK PALM			

ARCHITECT:
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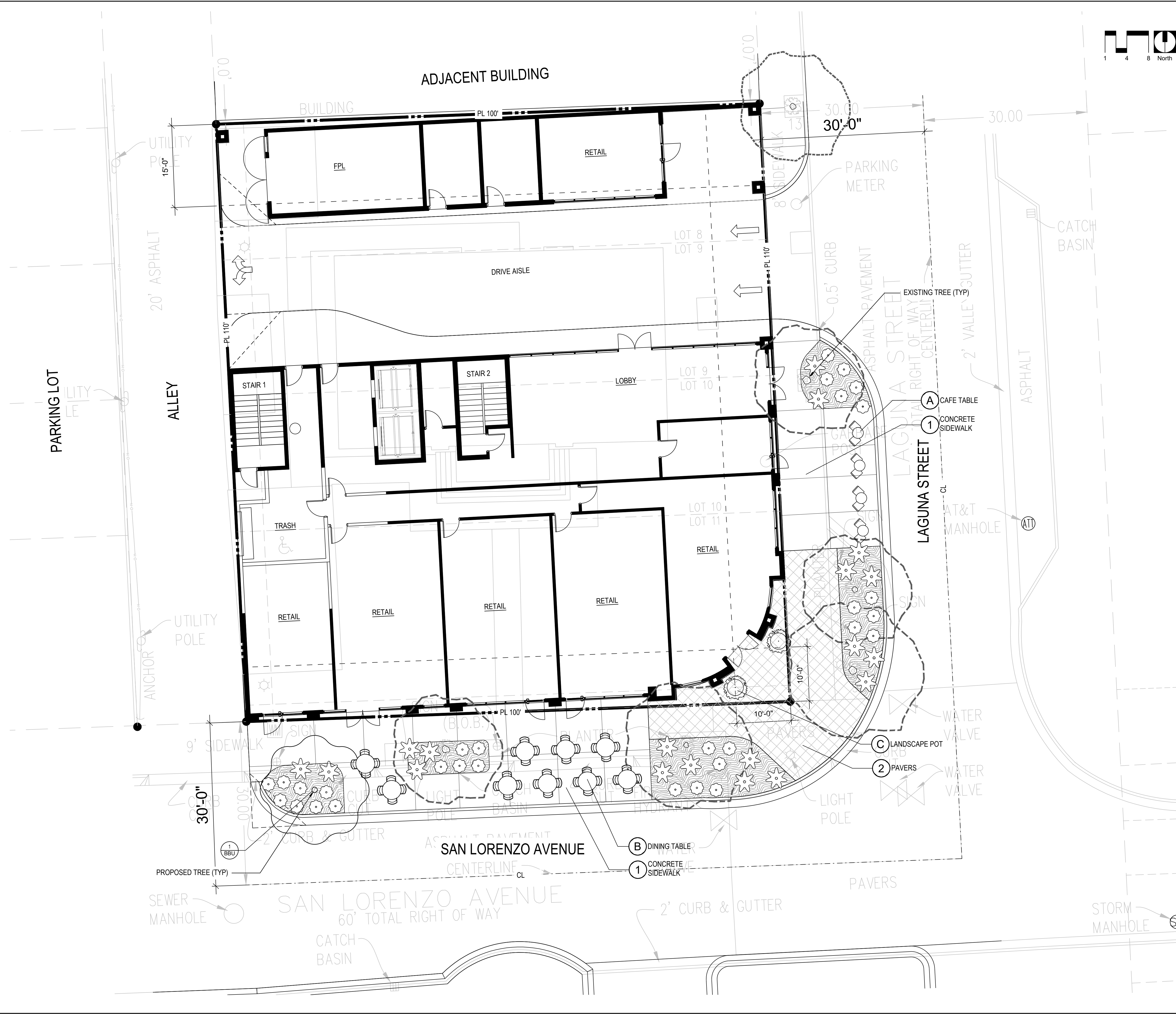
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	PLANTING AREAS		TURF
	STABILIZED AGGREGATE		CONCRETE
	PAVERS		

TREE DISPOSITION LEGEND:

DISPOSITION	REMAIN	REMOVE	RELOCATE
TREE			
PALM			
MULTI TRUNK PALM			

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GENERAL NOTES

1. SEE CIVIL ENGINEERING DRAWINGS FOR GENERAL GRADING OF THE SITE, INCLUDING FINISH GRADES FOR PARKING LOTS, ROADWAYS, SIDEWALKS, AND PLANTING AREAS.
2. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE PROJECT SITE PRIOR TO BIDDING THE WORK. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND LOCATION OF PROPOSED IMPROVEMENTS PRIOR TO INITIATING ANY CONSTRUCTION.
3. LOCATION OF ALL UTILITIES AND BASE INFORMATION IS APPROXIMATE. CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES AND OBSTRUCTIONS PRIOR TO INITIATING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ANY DAMAGE TO EXISTING ELEMENTS ABOVE OR BELOW GROUND TO ITS ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
4. THE OWNER'S REPRESENTATIVE SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATIONS, TO REJECT ANY AND ALL WORK AND MATERIAL WHICH, IN HIS OPINION, DO NOT MEET WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS.
5. ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON-SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE PRIOR TO START OF CONSTRUCTION AND/OR FABRICATION. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
7. REPORT ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND FIELD CONDITIONS TO THE OWNER'S REPRESENTATIVE.
8. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY MEASURES DURING CONSTRUCTION OPERATIONS TO PROTECT THE PUBLIC ACCORDING TO ALL APPLICABLE CODES AND RECOGNIZED LOCAL PRACTICES.
9. THE CONTRACTOR SHALL COORDINATE ACCESS AND STAGING AREAS WITH THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION AND SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION, PROVIDE ADDITIONAL MEASURES AS NECESSARY TO MINIMIZE ADVERSE IMPACTS IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES.
10. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER'S REPRESENTATIVE. DURING THE COURSE OF THIS WORK, EXCESS WASTE MATERIAL SHALL BE REMOVED DAILY FROM THE SITE.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATION OF WORK WITH OTHER TRADES AND THE OWNER'S REPRESENTATIVE.
12. THE CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HRS MINIMUM PRIOR TO DIGGING FOR FIELD VERIFICATION OF ALL UNDERGROUND UTILITIES.
13. ALL EXISTING SITE ROADS, PARKING LOTS, CURBS, UTILITIES, SEWERS, AND OTHER ELEMENTS TO REMAIN SHALL BE FULLY PROTECTED FROM ANY DAMAGE UNLESS OTHERWISE NOTED.

LANDSCAPE NOTES

1. THE CONTRACTOR SHALL REVIEW ARCHITECTURE/ENGINEERING PLANS TO BECOME THOROUGHLY FAMILIAR WITH SURFACE AND SUBSURFACE UTILITIES.
2. THE PLANT QUANTITIES SHOWN ON THE LANDSCAPE CONTRACT DOCUMENTS ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND REPORTING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO CONTRACT AWARD AND COMMENCEMENT OF WORK.
3. ALL INSTALLATION OF PLANT MATERIAL SHALL COMPLY WITH APPLICABLE JURISDICTIONAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS ASSOCIATED WITH THIS WORK.
4. PRIOR TO PLANTING INSTALLATION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF ALL THE SPECIFIED PLANT MATERIALS. SUBMIT DATED PHOTOGRAPHS OF TREE MATERIAL AND SPECIMEN PLANT MATERIAL TO THE OWNER'S REPRESENTATIVE FOR REVIEW.
5. ALL PLANT MATERIAL SIZES SPECIFIED ARE MINIMUM SIZES. CONTAINER SIZE SHALL BE INCREASED IF NECESSARY TO PROVIDE OVERALL PLANT SIZE SPECIFIED.
6. IF PLANT MATERIAL DOES NOT COMPLY WITH THE REQUIREMENTS AS SPECIFIED HEREIN, THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT SUCH PLANTS AND REQUIRE THE CONTRACTOR TO REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL REINSPECTED AND FOUND TO BE ACCEPTABLE.
7. THE CONTRACTOR SHALL PROVIDE AN APPROVED PLANTING SOIL MIXTURE FOR ALL PLANT MATERIAL. SEE SPECIFICATIONS FOR REQUIREMENTS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILITY AND PLUMB CONDITION OF ALL TREES AND SHRUBS, AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS. STAKING OF TREES OR SHRUBS SHALL BE DONE IN ACCORDANCE WITH PLANS AND SPECIFICATIONS.
10. THE CONTRACTOR SHALL VERIFY ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS AS FOLLOWS:

A. WITH A SHOVEL OR POSTHOLE DIGGER, DIG HOLE 18" TO 24" DEEP. THE DIAMETER OF THE HOLE SHOULD BE UNIFORM FROM TOP TO BOTTOM WITH THE BOTTOM BEING FLAT.

B. FILL HOLE WITH WATER TO THE TOP AND LET STAND FOR AT LEAST AN HOUR TO PRE-WET THE SOIL.

C. REFILL HOLE TO WITHIN A COUPLE INCHES OF THE TOP. DON'T OVERFLOW THE HOLE.

D. ALLOW THE HOLE TO DRAIN FOR A MINIMUM OF ONE HOUR.

E. DETERMINE AVERAGE DROP IN WATER LEVEL PER HOUR. FOR WELL DRAINED SOIL, WATER LEVEL SHOULD DROP MORE THAN ONE (1) INCH PER HOUR. IF INADEQUATE VERTICAL DRAINAGE IS ENCOUNTERED, THE CONTRACTOR SHALL SUBMIT RECOMMENDATIONS FOR PROVIDING ADEQUATE DRAINAGE TO THE LANDSCAPE ARCHITECT.
11. PEG SOD ON SLOPES GREATER THAN 3:1.

THE CONTRACTOR SHALL ENGAGE A QUALIFIED TREE SURGEON WHO HAS SUCCESSFULLY COMPLETED TREE PROTECTION AND TREE TRIMMING WITH FIVE YEARS OR MORE EXPERIENCE, TO PERFORM THE FOLLOWING WORK:

A. REMOVE BRANCHES FROM TREES THAT ARE TO REMAIN, IF REQUIRED, AS DIRECTED BY OWNER'S REPRESENTATIVE.

B. PERFORM INITIAL PRUNING OF BRANCHES AND STIMULATION OF ROOT GROWTH WHERE REMOVED TO ACCOMMODATE NEW CONSTRUCTION.

C. PERFORM TREE REPAIR WORK FOR DAMAGE INCURRED BY NEW CONSTRUCTION.
12. CONTRACTOR SHALL PROVIDE TEMPORARY IRRIGATION SYSTEM FOR RELOCATED TREES.
13. CONTRACTOR SHALL PROTECT EXISTING VEGETATION TO REMAIN AS SHOWN ON DRAWINGS OR BY MEANS APPROVED BY THE OWNER'S REPRESENTATIVE.
14. CONTRACTOR TO CLEAN, PRUNE, AND SHAPE EDGES OF EXISTING VEGETATION AS DIRECTED BY OWNER'S REPRESENTATIVE. CREATE SMOOTH BED LINES AROUND EXISTING VEGETATION.
15. THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK. SEE SPECIFICATIONS FOR ADDITIONAL TESTING REQUIREMENTS.
16. CONTRACTOR SHALL FIELD-ADJUST LOCATION OF PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE.
17. ALL PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE WITH FLORIDA NO. 1 GRADE, ACCORDING TO THE "GRADES AND STANDARDS FOR NURSERY PLANTS" PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
18. ALL PLANTING BEDS SHALL BE TOP-DRESSED WITH A 3" LAYER OF MULCH AS SPECIFIED. ALL TREES SHALL HAVE A 3" THICK, 24" RADIUS (FROM THE TRUNK) MULCH RING PLACED AROUND THE BASE OF THE TRUNK.
19. SHRUB AND GROUND COVER BED QUANTITIES ARE INDICATED ON THE PLANT LIST. PLANT ACCENT SHRUBS AND TREES AS SHOWN ON THE LANDSCAPE PLANTING PLANS WHEN INDIVIDUAL PLANTS ARE DELINEATED.
20. PALM HEIGHTS, AS INDICATED ON THE PLANS, REFER TO CLEAR TRUNK (C.T.), GRAY WOOD (G.W.), OR OVERALL HEIGHT (O.A.) AS SPECIFIED ON THE PLANT LIST.
21. CONTRACTOR SHALL COORDINATE ALL PLANTING WORK WITH IRRIGATION WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAND WATERING AS REQUIRED TO SUPPLEMENT IRRIGATION WATERING AND RAINFALL.
22. CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING IN ALL PLANTING AREAS, REGARDLESS OF THE STATUS OF EXISTING OR PROPOSED IRRIGATION.
23. CONTRACTOR SHALL REGRADE ALL AREAS DISTURBED BY PLANT REMOVAL, RELOCATION, AND/OR INSTALLATION WORK.
24. CONTRACTOR SHALL REPLACE (BY EQUAL SIZE AND QUALITY) ANY AND ALL EXISTING PLANT MATERIAL DISTURBED OR DAMAGED BY PLANT REMOVAL, RELOCATION, AND/OR INSTALLATION WORK.
25. MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL THE DATE OF SUBSTANTIAL COMPLETION. MAINTENANCE INCLUDES WATERING, PRUNING, WEEDING, MULCHING, REPLACEMENTS OF SICK OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT MATERIAL.
26. UPON COMPLETION OF ALL LANDSCAPING, AN INSPECTION FOR SUBSTANTIAL COMPLETION OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
27. CONTRACTOR SHALL SUBMIT WRITTEN GUARANTEE OF SURVIVABILITY OF ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
28. CONTRACTOR MUST APPROVE ALL GRADED AREAS PRIOR TO THE COMMENCEMENT OF PLANTING.

FINISH / MATERIALS SCHEDULE		
SYM	ITEM	SPECIFICATIONS
①	GROUND LEVEL CONCRETE SIDEWALK	TYPE: POURED CONCRETE COLOR: TBD FINISH: TROWEL / BROOM FINISH SOURCE: TBD
②	GROUND LEVEL PAVER	TYPE: PEDESTRIAN CONCRETE PAVERS COLOR: TBD FINISH: SIZE VARIES SOURCE: TBD
Ⓐ	CAFE TABLE & CHAIRS	TYPE: TBD COLOR: TBD FINISH: TBD SOURCE: TBD
Ⓑ	DINING TABLE & CHAIRS	TYPE: TBD COLOR: TBD FINISH: TBD SOURCE: TBD
Ⓒ	LANDSCAPE POTS	TYPE: TBD COLOR: TBD FINISH: TBD SOURCE: TBD
NOTE: CONTRACTOR MUST SUBMIT SAMPLES AND/OR OBTAIN SHOP DRAWING APPROVAL FOR ALL FINISH SCHEDULE ITEMS. FINISH SCHEDULE NUMBERS REPRESENT MATERIALS AND LETTERS REPRESENT FURNISHINGS.		

Plant Materials Schedule

Trees and Palms											
Symbol	Qty	Latin Name	Common Name	Size	Category	Spacing	Native	Drought Tolerant	Replacement Medium Tree	Replacement Trees - Cat. 2	Canopy Diameter (CD)
BBU		Bucida buceras	Shady Lady	20' HT. X 20' SPD. MIN.	Large Shade Tree	AS SHOWN	Y	Y	-	-	-
Shrubs & Groundcovers											
Symbol	Qty	Latin Name	Common Name	Size		Spacing					
AO		Alcantarea 'Odorata' Bromeliad	Silver Bromeliad	TBD		AS SHOWN	N	Y	-	-	-
PB		Psychotria bahamensis	Bahama Wild Coffee	TBD		AS SHOWN	Y	Y	-	-	-
TA		Trachelospermum asiaticum 'Minima'	Asian Jasmin	TBD		18"	N	Y	-	-	-
Sod											
Symbol	Qty (sf)	Latin Name	Common Name	Size		Spacing					
-	-	-	-			-	-	-	-	-	-

* INDICATES TREES THAT COUNT TOWARD MITIGATION REQUIREMENTS: TOTAL SF REPLACEMENT CANOPY PROVIDED =
** INDICATES TREES THAT COUNT TOWARD LOT ZONING REQUIREMENTS: TOTAL PROVIDED =
*** INDICATES TREES THAT COUNT TOWARD STREET TREE REQUIREMENTS: TOTAL PROVIDED =
**** INDICATES SHRUBS THAT COUNT TOWARD SHRUB REQUIREMENTS: TOTAL PROVIDED =



ARCHITECT:
Bermello Ajamil & Partners
4711 South LeJeune Road,
Coral Gables , FL 33146
P: 305.859.2050

MEP ENGINEER:
Louis J. Aguirre & Associates, P.A
9150 South Dadeland Blvd., Suite 900
Miami, Florida 33156
305.670.0141

CIVIL ENGINEER:
Graef-USA Inc.
9400 South Dadeland Boulevard
Suite 601, Miami, FL, 33156
305-378-5555

STRUCTURAL ENGINEER:
Bliss & Nyitray, Inc
5835 Blue Lagoon Drive, Suite 400
Miami, Florida 33126
305-442-7086

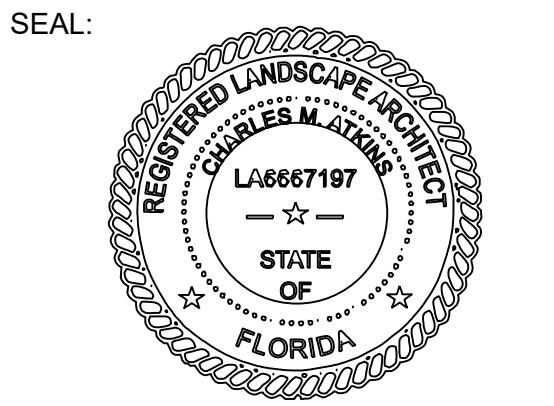
LANDSCAPE ARCHITECT:
Greenspacestrategies Inc.
7995 SW 170th Street
Palmetto, Bay FL 33157
561-460-8499

OWNER:
San Lorenzo Property, LLC
782 NW 42nd Avenue, Suite 550
Miami, Florida 33126

BA Project Name
351 SAN LORENZO AVE, CORAL
GABLES, FL, 33146

PHASE:
DRC

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REVISIONS:		
No.:	DESCRIPTION	DATE:

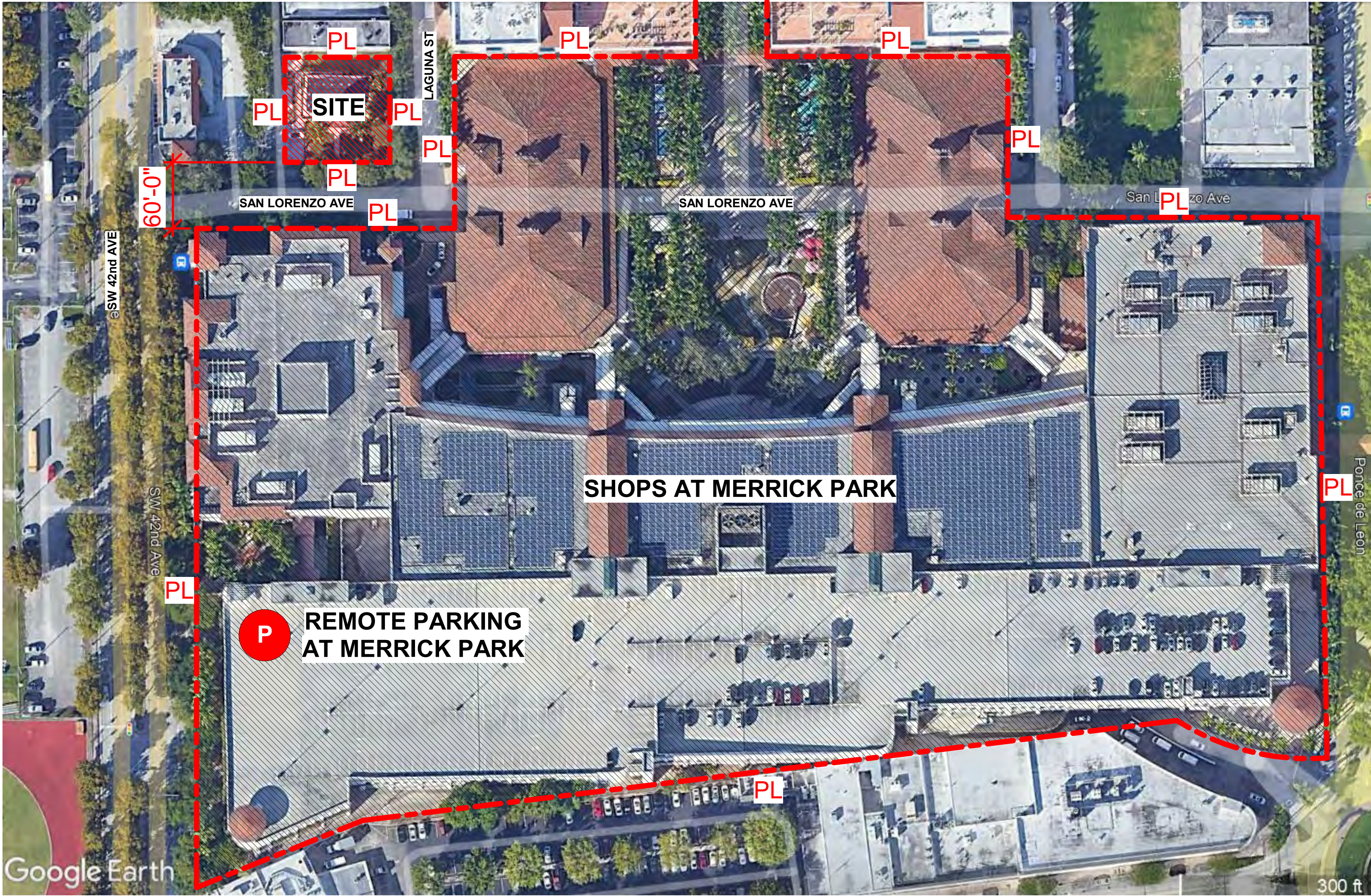
TITLE:

THE AVENUE

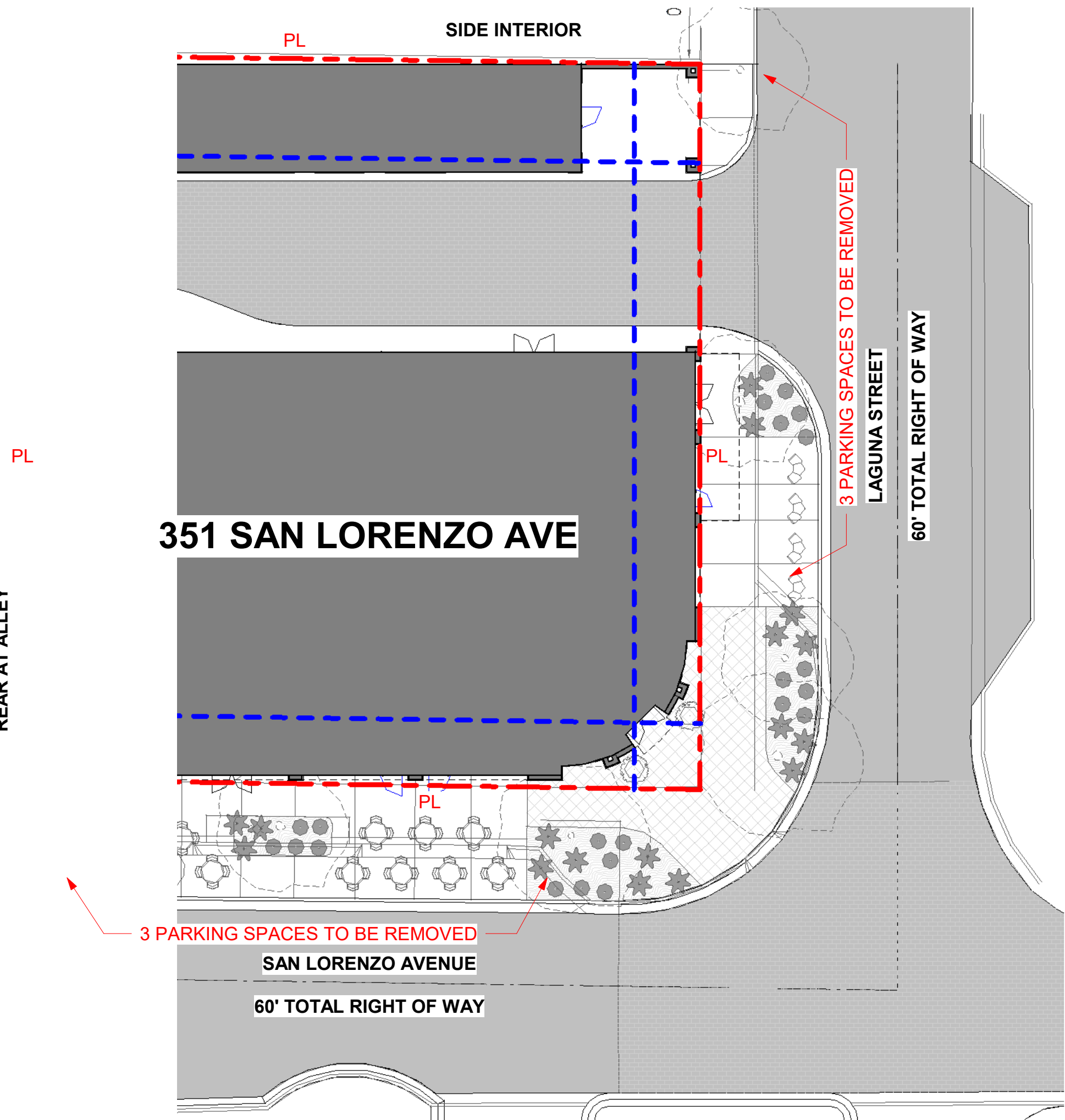
**PRELIMINARY
NOT FOR
CONSTRUCTION**

Project No: BA Project Number
Date: 08.18.2022
Scale: 1/8" = 1'-0"
Format: 30" x 42"
Drawn: Author
Checked: Checker

SHEET:
L-101



1 REMOTE PARKING LOCATION
12" = 1'N.T.S.



2 ON STREET PARKING ANALYSIS
1/16" = 1'-0"



ARCHITECT:
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Coral Gables, FL 33146
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782 NW 42nd Avenue, Suite 550
Miami, Florida 33126

THE AVENUE
351 SAN LORENZO AVE, CORAL
GABLES, FL, 33146

PHA
Digitally signed by Luis J. Aguirre, DN: cn=Luis J. Aguirre, o=Bermello Ajamil & Partners Inc., ou=Engineering, email=ljaguirre@bermelloajamil.com, c=US
Date: 2022.10.07 12:28:54 -0400
COJ
ar
ted by
nitted to
by the

SEAL:

REVISIONS:		
No.:	DESCRIPTION	DATE:

TITLE:

**REMOTE PARKING
LOCATION / ON
STREET PARKING
ANALYSIS**

Project No: The Avenue
Date: 2022.10.07
Scale: As indicated
Format: 24" x 36"
Drawn: Author
Checked: Checker

SHEET:

G002.3



Client Number: 39592.00001
Writer's Direct Dial Number: (305) 376-6061
Writer's E-Mail Address: mgarcia-serra@gunster.com

October 7, 2022

Mr. Ramon Trias
Chairman
Development Review Committee
City of Coral Gables
405 Biltmore Way, 1st Floor
Coral Gables, FL 33134

Re: **The Avenue – 351 San Lorenzo Avenue, Coral Gables, Florida (the “Property”) / Art in Public Places Statement**

Dear Mr. Trias:

As required by Coral Gables Zoning Code Section 9-103.B.1, and on behalf of 351 San Lorenzo Property, LLC (the “Applicant”), please be advised that as part of the proposed mixed-use development to be located on the Property, the Applicant intends to acquire or commission artwork with an appraised value equal or greater to 1% of the Aggregate Project Value, and incorporate it as part of The Avenue project. If you have any questions, please do not hesitate to contact me at (305) 376-6061.

Sincerely,

Mario Garcia-Serra



LOBBYIST REGISTRATION CERTIFICATE
CITY OF CORAL GABLES
CITY CLERK'S OFFICE

405 Biltmore Way - Coral Gables, FL 33134
305-460-5210 cityclerk@coralgables.com

LOBBYIST NAME: Mario Garcia-Serra

LOBBYIST ADDRESS: 600 Brickell Ave, Suite 3500, Miami, FL 33131

PRINCIPAL NAME: San Lorenzo Property, LLC

PRINCIPAL ADDRESS: 782 NW 42nd Avenue, Suite 550, Miami, FL 33126

PRINCIPAL ISSUE: Obtaining the necessary zoning & parking approvals for the proposed development of a mixed use multifamily residential project at property located at 351 San Lorenzo Ave in Coral Gables, Florida

REGISTERED DATE: 8/17/2022

EXPIRATION DATE: 12/31/2022

State of Florida, City of Coral Gables

I HEREBY CERTIFY, that the foregoing is an official copy
of a lobbyist record electronically filed in this office.

This 17th day of August AD 2022

Billy Y Urquia, City Clerk

OATH

I do solemnly swear that all facts contained on this Annual Lobbyist Registration form and principal are true and correct; and that I have read and am familiar with the Ordinance 2017-44 of the Code of City of Coral Gables.



City of Coral Gables
Development Services Department
Public School Concurrency

Application Information

Application Type:*	Level 1 DRC
Application Sub-type:	
Application Name:*	The Avenue
Telephone number:*	305-448-4091
E-mail address: *	oroger@rogerdevelopment.com
Project address:*	351 San Lorenzo Avenue

Contact Information

Contact Information	Mario Garcia-Serra, Esq.
Telephone number:*	305-376-6061
E-mail address: *	mgarcia-serra@gunster.com
Local Government Name:	City of Coral Gables
Local Government Telephone Number:	305-460-5235
Local Government E-mail:	Schoolconcurrency@coralgables.com
Local Government Application Number:	(OFFICE USE ONLY)

Property Details

Master Parcel/Folio Number:*(No dashes)	03-4120-017-1570
Additional Parcel/Folio Numbers: (Separate by a comma ,)	N/A
Total Acreage:*	0.25 acre
Previous Use.	Commercial
Total Number of Existing Units:	0
Demolition Permit#: _____ Date: _____	
Proposed Use:	Mixed Use - residential/retail/restaurant
Single Family Detached Increase in Units:*	0
Single Family Attached Increase in Units:*	0
Multi-Family Attached Increase in Units:*	54
Total Number of Units increased:*	54

 Owner/Architect/Contractor Name (Please circle one)

STATE OF FLORIDA

COUNTY OF MIAMI-DADE

The foregoing was acknowledge before me this 06 day of Oct, 2022 by Agustin J. BARRERA

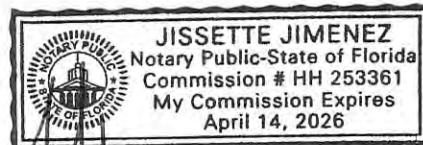
☒ is personally known to me,

() has produced a _____ as identification.

 NOTARY PUBLIC

10/06/2022

(SEAL)



10/06/2022

Effective April 25, 2008, all residential development must be reviewed for compliance with Public School Concurrency. This requirement is pursuant to the 2005 Growth Management Legislation enacted under Chapters 163 and 1013, Florida Statutes.

Applications are available at the Development Review Committee, Board of Architects, Concurrency offices or on our web site at www.coralgables.com.

For additional questions, please contact Miami-Dade Public Schools Board at (305) 995-7634 or e-mail at concurrency@dadeschools.net

Required for:

This process will be required for all projects having a residential component of 2 or more residential units. Applicants will submit applications at the Development Review Committee (if applicable) and the Board of Architects Offices and must have obtained the MDCPS approval prior to concurrency's plan review.

Re-development of an improved property which has been demolished for no longer than one year will receive credit for demolished residential units. For example if the demolished property had 20 units and the new re-development is proposed to have 50 units; please enter an increase of 30 units on the "Total Number of Units increased" field on the application.

School Concurrency Review Process:

1. Applications must be submitted to the local government who will transmit applications electronically to Miami-Dade Public Schools for Public School Concurrency review.
2. Applicants will receive an e-mail from MDCPS (Miami-Dade County Public Schools) acknowledging receipt, providing the MDCPS application number and the link to the website where fees can be paid. An application will not be processed without the required payments
3. School Concurrency Reviews will be processed and completed within 10 days from receipt of payment.

DAVID PLUMMER & ASSOCIATES

TRAFFIC ENGINEERING • CIVIL ENGINEERING • TRANSPORTATION PLANNING

1750 PONCE DE LEON BOULEVARD | CORAL GABLES, FLORIDA 33134
305•447•0900 | DPA@DPLUMMER.COM

October 6, 2022

Ms. Melissa Mojarena De Zayas, P.E.
Senior Transportation Engineer
City of Coral Gables
Public Works Department
2800 SW 72 Ave
Miami, Florida 33155
305.460.5128
mdezayas@coralgables.com

RE: The Avenue Trip Generation - #22216

Dear Melissa,

David Plummer & Associates has been retained by San Lorenzo Property, LLC to perform a trip generation analysis for the proposed The Avenue development. Contact information for the developer is as follows:

Mr. Oscar Roger
San Lorenzo Property, LLC
782 NW 42 Avenue, Suite 550
Miami, FL 33126
(305) 448-4091
oroger@rogerdevelopment.com

The proposed The Avenue development project is located at 351 San Lorenzo Avenue in Coral Gables, Florida. The project is proposing to replace a 2,100 SF office building with a mixed-use development consisting of 54 dwelling units and 3,861 SF of retail space. Pedestrian access to the site will be provided via the lobby and retail entrances located along Laguna Street and San Lorenzo Avenue. Vehicular access to the site will be provided via a one-way inbound driveway located on Laguna Street. The project is offering full valet services for the residential and retail uses. The valet will park at the adjacent Shops at Merrick Park parking garage. The proposed site plan is provided in Attachment A.



Trip generation calculations for the proposed development were performed using the *Institute of Transportation Engineers' (ITE) Trip Generation Manual*, 11th Edition. ITE Land Use Code (LUC) 221 (Multifamily Housing – Mid Rise) and LUC 822 (Strip Retail Plaza – <40k) were utilized for the proposed trip generation. ITE LUC 712 (Small Office Building) was utilized for the existing trip generation.

The proposed development plan incorporates residential and retail land uses, which can satisfy the work trip and retail needs for some residents, employees, and visitors without making a trip off-site. An internalization matrix was developed to establish the appropriate number of internal project trips. ITE research shows that a certain percent of retail trips are “*pass-by*” trips. These are described as trips “attracted from the traffic passing the site on an adjacent street.” These are not new trips, but trips already using the existing roadway network that stop at the proposed use and go back to their original path. Pass-by trips for this use were established based on guidelines provided in ITE’s *Trip Generation Handbook*, 3rd Edition.

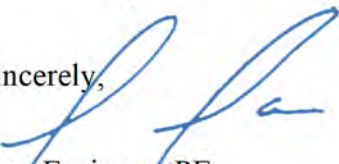
Based on U.S. Census Bureau data (tract 74.03), a 6.9% deduction was applied for other modes of transportation. A trip generation summary is provided in Table 1. Detailed trip generation calculations are provided in Attachment B.

Table 1: Trip Generation Summary			
Development Plan	Total Weekday	A.M. Peak Hour	P.M. Peak Hour
Existing	30	4	5
Proposed	604	28	30
ΔTrips	574	24	25

As shown in Table 1, the results of the trip generation analysis indicate that the proposed development represents an increase of 574 daily, 24 AM peak hour trips, and 25 PM peak hour trips when compared to the existing development. Since the project will generate less than 50 net new (two-way) vehicle trips during the AM and PM peak hours, we are requesting that the project be exempt from conducting a Traffic Impact Study.

We stand ready to provide any support needed for this project. Should you have any questions or comments, please call me at (305) 447-0900.

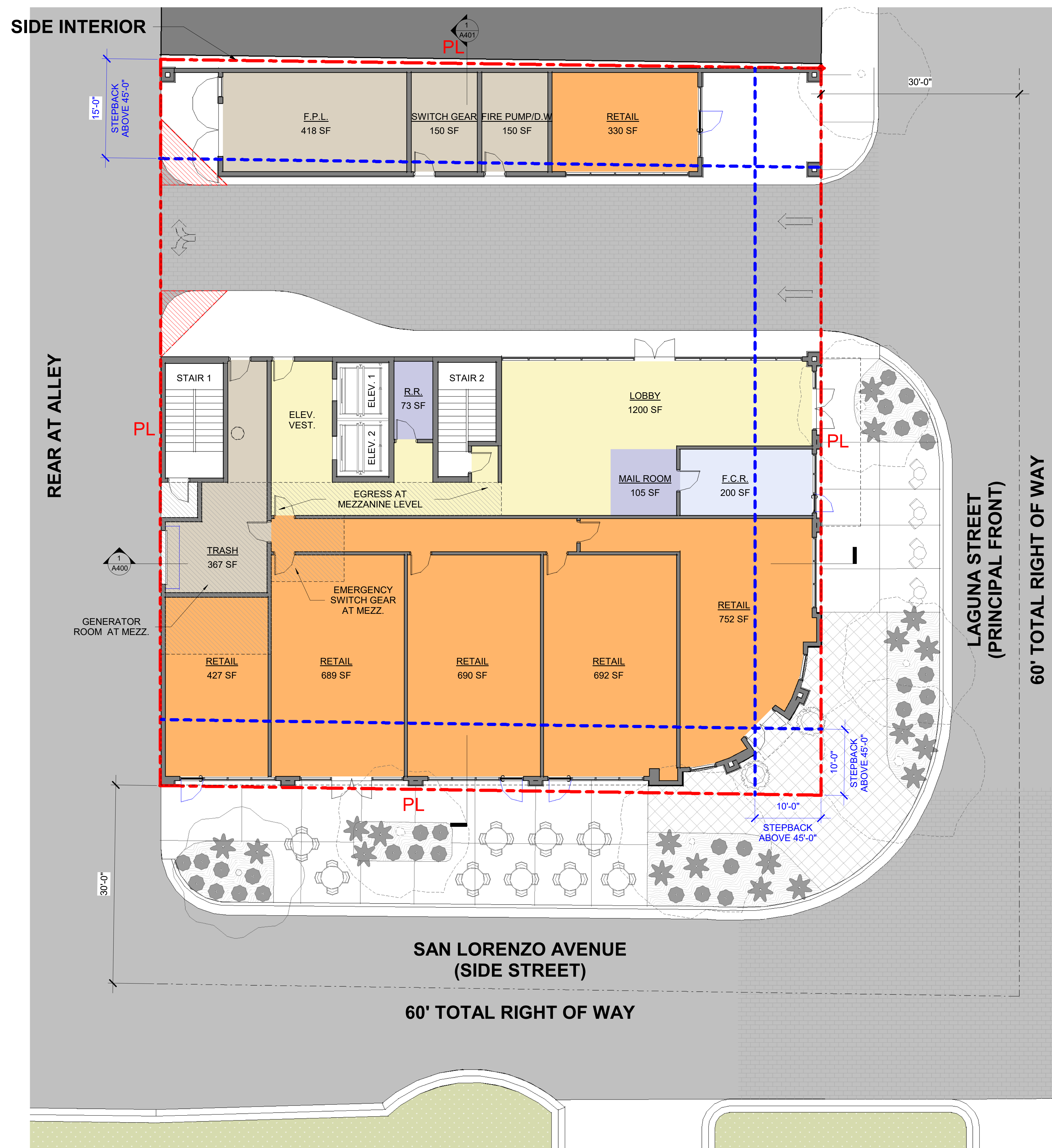
Sincerely,



Juan Espinosa, PE

W:\22\22216\Trip Gen\The Avenue Trip Gen Letter -cg.docx

Attachment A



FAR - TABLE	
UNIT TYPE	FAR
LEVEL 1	
RETAIL	3,861 SF
	3,861 SF
LEVEL 2	
1 BED. DEN	2,733 SF
1 BEDROOM	3,811 SF
B.O.H.	102 SF
CORRIDOR	689 SF
	7,334 SF
LEVEL 3	
1 BED. DEN	2,733 SF
1 BEDROOM	3,811 SF
B.O.H.	102 SF
CORRIDOR	689 SF
	7,334 SF
LEVEL 4	
1 BED. DEN	2,733 SF
1 BEDROOM	3,811 SF
B.O.H.	102 SF
CORRIDOR	689 SF
	7,334 SF

FAR - TABLE	
UNIT TYPE	FAR
LEVEL 5	
1 BED. DEN	2,733 SF
1 BEDROOM	3,811 SF
B.O.H.	102 SF
CORRIDOR	689 SF
	7,334 SF
LEVEL 6	
1 BED. DEN	2,733 SF
1 BEDROOM	3,811 SF
B.O.H.	102 SF
CORRIDOR	689 SF
	7,334 SF
LEVEL 7	
1 BED. DEN	2,733 SF
1 BEDROOM	3,811 SF
B.O.H.	102 SF
CORRIDOR	689 SF
	7,334 SF
ROOF DECK	
ELECT.	49 SF
MECH	50 SF
R.R.	106 SF
	205 SF
TOTAL	48,072 SF

MAX. ALLOW FAR = 48,073.64 SF



The Avenue

General Lot Information

Municipality	City of Coral Gables
Zone	MX2
Overlay	Design & Innovation District
Property Address & Folio	351 San Lorenzo Avenue, Coral Gables 33146 - Lots 8 Through 11 of Block 9, Revised Plat of Coral Gables Industrial Section, According to the Plot thereof, as Recorded in Plat Book 28 page 22 of Folio No. 03-4120-017-1570
Lot Area	10,988.26 SF (0.25 +/- Acres)
FEMA Zone	Zone X
Architecture	Coral Gables Mediterranean Architecture

Lot Occupation	Required / Allowed	Provided	
Building Site Area Minimum	10,000 sf	10,988.26 SF (0.25 +/- Acres)	
Building Site Width Minimum	100 ft	108.5 ft	
Ground Coverage Minimum	N/A	N/A	

Density	Required / Allowed	Provided	Remarks
Density	N/A	N/A	Section 2-406. Design & Innovation District Overlay
Unit Size Minimum	500 sf	598 sf	
Floor Area Ratio (FAR)	3	32,964.78 sf	
FAR Med. Bonus II	3.5	38,458.91 sf	
FAR with TDR	4.375 *	48,073.64 sf (10,988.26 sf x 4.375 FAR)	MX2 (3.0) + Med Bonus II (+0.5) + TDR (25%) = 4.375

Building Setbacks /Stepbacks	Required / Allowed	Provided	
Principal Front	0'-0" Setback at Ground Level 10'-0" Stepback Above 45'-0"	0'-0" Setback at Ground Level 7'-4" Stepback Above 45'-0"	
Side Interior	0'-0" Setback at Ground Level 15'-0" Stepback Above 45'-0"	0'-0" Setback at Ground Level 6'-7" Stepback Above 45'-0"	
Side Street	0'-0" Setback at Ground Level 10'-0" Stepback Above 45'-0"	0'-0" Setback at Ground Level 7'-5" Stepback Above 45'-0"	
Rear at Alley	0'-0" Setback at Ground Level 0'-0" Stepback Above 45'-0"	0'-0" Setback at Ground Level 0'-0" Stepback Above 45'-0"	Section 2-406. Design & Innovation District Overlay

Building Height	Required / Allowed	Provided	
Principal Building	70'-0" height	-	
Med. Bonus II	8 stories / 97'-0" height	7 stories/ 83'-0" height (T.O. Roof Slab)	

Parking	Required / Allowed	Provided	
Residential	54 parking spaces (1 ps x 54 du) 1 parking space per duelling unit	Parking provided Offsite	
Retail	13 parking spaces (3,861 sf/ 300 x 1 ps) 1 parking space per 300 sf		

Bicycle Storage	Required / Allowed	Provided	
Residential - Bicycle Parking Space	14 parking spaces (54 du/ 4 x 1 ps) 1 parking space per 4 duelling units		Section 10-110. Amount of required parking.
Retail - Bicycle Parking Space	0 parking spaces (1 ps x 20,000 sf)		

Loading Spaces	Required / Allowed	Provided	
	NA	-	

Landscape Open Space	Required / Allowed	Provided	
	1,099 sf (10% of Site Area) (10,988.26 x 0.1)	1,133 sf	Section 6-105.B



ARCHITECT:
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PHASE:

DRC

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SEAL:

REVISIONS:		
No.:	DESCRIPTION	DATE:

TITLE:

ZONING INFO

Project No: BA Project Number
Date: 2022.10.07
Scale: 12" = 1'-0"
Format: 24" x 36"
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SHEET:

G002

Attachment B

Scenario - 1

Scenario Name: Proposed

User Group:

Dev. phase: 1

No. of Years to Project 0

Traffic :

Warning: The time periods among the land uses do not appear to match.

VEHICLE TRIPS BEFORE REDUCTION

Land Use & Data Source	Location	IV	Size	Time Period	Method	Entry	Exit	Total
					Rate/Equation	Split%	Split%	
221 - Multifamily Housing (Mid-Rise) - Not Close to Rail Transit Data Source: Trip Generation Manual, 11th Ed	General Urban/Suburban	Dwelling Units	54	Weekday	Best Fit (LIN) $T = 4.77(X) - 46.46$	106 50%	106 50%	212
221(1) - Multifamily Housing (Mid-Rise) - Not Close to Rail Transit Data Source: Trip Generation Manual, 11th Ed	General Urban/Suburban	Dwelling Units	54	Weekday, Peak Hour of Adjacent	Average 0.37	5 23%	15 77%	20
221(2) - Multifamily Housing (Mid-Rise) - Not Close to Rail Transit Data Source: Trip Generation Manual, 11th Ed	General Urban/Suburban	Dwelling Units	54	Weekday, Peak Hour of Adjacent	Best Fit (LIN) $T = 0.39(X) + 0.34$	13 61%	8 39%	21
822 - Strip Retail Plaza (<40k) Data Source: Trip Generation Manual, 11th Ed	General Urban/Suburban	1000 Sq. Ft. GLA	3.86	Weekday	Best Fit (LIN) $T = 42.20(X) + 229.68$	196 50%	196 50%	392
822(1) - Strip Retail Plaza (<40k) Data Source: Trip Generation Manual, 11th Ed	General Urban/Suburban	1000 Sq. Ft. GLA	3.86	Weekday, Peak Hour of Adjacent	Average 2.36	5 60%	4 40%	9
822(2) - Strip Retail Plaza (<40k) Data Source: Trip Generation Manual, 11th Ed	General Urban/Suburban	1000 Sq. Ft. GLA	3.86	Weekday, Peak Hour of Adjacent Street Traffic, One	Best Fit (LOG) $\ln(T) = 0.71\ln(X) + 2.72$	20 50%	20 50%	40

Scenario - 2

Scenario Name: Existing

User Group:

Dev. phase: 1

No. of Years to Project 0

Traffic :

Warning: The time periods among the land uses do not appear to match.

VEHICLE TRIPS BEFORE REDUCTION

Land Use & Data Source	Location	IV	Size	Time Period	Method	Entry	Exit	Total
					Rate/Equation	Split%	Split%	
712 - Small Office Building Data Source: Trip Generation Manual, 11th Ed	General Urban/Suburban	1000 Sq. Ft. GFA	2.1	Weekday	Average 14.39	15 50%	15 50%	30
712(1) - Small Office Building Data Source: Trip Generation Manual, 11th Ed	General Urban/Suburban	1000 Sq. Ft. GFA	2.1	Weekday, Peak Hour of Adjacent	Average 1.67	3 82%	1 18%	4
712(2) - Small Office Building Data Source: Trip Generation Manual, 11th Ed	General Urban/Suburban	1000 Sq. Ft. GFA	2.1	Weekday, Peak Hour of Adjacent	Average 2.16	2 34%	3 66%	5

The Avenue Proposed

Proposed ITE Land Use Designation ¹	Number of Units	Daily Vehicle Trips	AM Peak Hour Vehicle Trips			PM Peak Hour Vehicle Trips		
			In	Out	Total	In	Out	Total
Multifamily Housing (Mid-Rise) <i>Land Use Code: 221</i>	54 DU	212	5	15	20	13	8	21
Strip Retail Plaza (<40k) <i>Land Use Code: 822</i>	3,861 SF	392	5	4	9	20	20	40
Total Gross Trips		604	10	19	29	33	28	61
Internalization ²		AM 0.0%	0	0	0	-7	-7	-14
		PM 23.0%						
Passby Retail (PM) ³		45.0%	0	0	0	-7	-7	-14
Other Modes of Transportation ⁴		6.9%	0	-1	-1	-2	-1	-3
Net Proposed Trips			10	18	28	17	13	30

¹ Based on ITE Trip Generation Manual, 11th Edition.

² Based on ITE Trip Generation Handbook, 3rd Edition.

³ Based on two ITE studies the average pass-by rate for shopping centers <40k SF is 66%, a 45% reduction was used for a more conservative analysis.

⁴ Based on US census data for census tract 74.03 and local characteristics.

Existing

Existing ITE Land Use Designation ¹	Number of Units	Daily Vehicle Trips	AM Peak Hour Vehicle Trips			PM Peak Hour Vehicle Trips		
			In	Out	Total	In	Out	Total
Small Office Building <i>Land Use Code: 712</i>	2,100 SF	30	3	1	4	2	3	5
Total Gross Trips		30	3	1	4	2	3	5
Other Modes of Transportation ²		6.9%	0	0	0	0	0	0
Net Existing Trips			3	1	4	2	3	5

¹ Based on ITE Trip Generation Manual, 11th Edition.

² Based on US census data for census tract 74.03 and local characteristics.

Trip Difference

	Daily Vehicle Trips	AM Peak Hour Vehicle Trips			PM Peak Hour Vehicle Trips		
		In	Out	Total	In	Out	Total
Proposed	604	10	18	28	17	13	30
Existing	30	3	1	4	2	3	5
Difference	574	7	17	24	15	10	25

AM Peak Hour Trip Generation and Internalization

The Avenue

Multifamily Housing Land Use 221 54 Units		Strip Retail Plaza Land Use 822 3,861 SF		
In	Out	In	Out	
5	15	5	4	29 ITE Trips
UNBALANCED INTERNALIZATION				
<div> <div>1%</div> <div>0</div> <div>2%</div> <div>0</div> </div>		<div> <div>17%</div> <div>1</div> <div>14%</div> <div>1</div> </div>		
0		0		
Multifamily Housing		Strip Retail Plaza		
In	Out	In	Out	
5	15	5	4	29 Vehicle Trips
BALANCED INTERNALIZATION				
0		0		
0		0		
0	0	0	0	0 Internal
5	15	5	4	29 External Trips
	0.0%		0.0%	0.0% % Internal
5	15	5	4	0 -45% Passby
				29
0	-1	0	0	-1 -6.9% Transit/Pedestrian
5	14	5	4	28 Net New External Trips

PM Peak Hour Trip Generation and Internalization

The Avenue

Multifamily Housing Land Use 221 54 Units		Strip Retail Plaza Land Use 822 3,861 SF		
In	Out	In	Out	
13	8	20	20	61 ITE Trips
UNBALANCED INTERNALIZATION				
<div> <div>42%</div> <div>3</div> <div>46%</div> <div>6</div> </div>		2	<div> <div>10%</div> <div>2</div> <div>26%</div> <div>5</div> </div>	
		5		
Multifamily Housing		Strip Retail Plaza		
In	Out	In	Out	
13	8	20	20	61 Vehicle Trips
BALANCED INTERNALIZATION				
<div> <div>-2</div> <div>-5</div> </div>			<div> <div>-2</div> <div>-5</div> </div>	
-5	-2	-2	-5	-14 Internal
8	6	18	15	47 External Trips
	33.3%		17.5%	23.0% % Internal
		-7	-7	-14 -45% Passby
8	6	11	8	33
-1	0	-1	-1	-3 -6.9% Transit/Pedestrian
7	6	10	7	30 Net New External Trips

COMMUTING CHARACTERISTICS BY SEX



Note: This is a modified view of the original table produced by the U.S. Census Bureau. This download or printed version may have missing information from the original table.

Census Tract 74.03, Miami-Dade County, Florida				
		Total	Male	Female
Label	Estimate	Estimate	Estimate	
Workers 16 years and over	1,369	512	857	
MEANS OF TRANSPORTATION TO WORK				
Car, truck, or van	61.4%	66.8%	58.2%	
Drove alone	58.4%	58.8%	58.2%	
Carpooled	3.0%	8.0%	0.0%	
In 2-person carpool	3.0%	8.0%	0.0%	
In 3-person carpool	0.0%	0.0%	0.0%	
In 4-or-more person carpool	0.0%	0.0%	0.0%	
Workers per car, truck, or van	1.03	1.07	1.00	
Public transportation (excluding taxicab)	2.9%	4.1%	2.2%	
Walked	1.1%	0.0%	1.8%	
Bicycle	2.9%	7.8%	0.0%	
Taxicab, motorcycle, or other means	0.3%	0.8%	0.0%	
Worked from home	31.3%	20.5%	37.8%	
PLACE OF WORK				
Workers 16 years and over who did not work from home	940	407	533	
VEHICLES AVAILABLE				
PERCENT ALLOCATED				

Table Notes

COMMUTING CHARACTERISTICS BY SEX

Survey/Program: American Community Survey

Year: 2020

Estimates: 5-Year

Table ID: S0801

Although the American Community Survey (ACS) produces population, demographic and housing unit estimates, for 2020, the 2020 Census provides the official counts of the population and housing units for the nation, states, counties, cities, and towns. For 2016 to 2019, the Population Estimates Program provides estimates of the population for the nation, states, counties, cities, and towns and intercensal housing unit estimates for the nation, states, and counties.

Source: U.S. Census Bureau, 2016-2020 American Community Survey 5-Year Estimates

When information is missing or inconsistent, the Census Bureau logically assigns an acceptable value using the response to a related question or questions. If a logical assignment is not possible, data are filled using a statistical process called allocation, which uses a similar individual or household to provide a donor value. The "Allocated" section is the number of respondents who received an allocated value for a particular subject.

2019 ACS data products include updates to several categories of the existing means of transportation question. For more information, see: [Change to Means of Transportation](#).

Data are based on a sample and are subject to sampling variability. The degree of uncertainty for an estimate arising from sampling variability is represented through the use of a margin of error. The value shown here is the 90 percent margin of error. The margin of error can be interpreted roughly as providing a 90 percent probability that the interval defined by the estimate minus the margin of error and the estimate plus the margin of error (the lower and upper confidence bounds) contains the true value. In addition to sampling variability, the ACS estimates are subject to nonsampling error (for a discussion of nonsampling variability, see ACS Technical Documentation). The effect of nonsampling error is not represented in these tables.

The 12 selected states are Connecticut, Maine, Massachusetts, Michigan, Minnesota, New Hampshire, New Jersey, New York, Pennsylvania, Rhode Island, Vermont, and Wisconsin.

Workers include members of the Armed Forces and civilians who were at work last week.

The 2016-2020 American Community Survey (ACS) data generally reflect the September 2018 Office of Management and Budget (OMB) delineations of metropolitan and micropolitan statistical areas. In certain instances, the names, codes, and boundaries of the principal cities shown in ACS tables may differ from the OMB delineation lists due to differences in the effective dates of the geographic entities.

Estimates of urban and rural populations, housing units, and characteristics reflect boundaries of urban areas defined based on Census 2010 data. As a result, data for urban and rural areas from the ACS do not necessarily reflect the results of ongoing urbanization.

Explanation of Symbols:

-

The estimate could not be computed because there were an insufficient number of sample observations. For a ratio of medians estimate, one or both of the median estimates falls in the lowest interval or highest interval of an open-ended distribution.

N

The estimate or margin of error cannot be displayed because there were an insufficient number of sample cases in the selected geographic area.

(X)

The estimate or margin of error is not applicable or not available.

median-

The median falls in the lowest interval of an open-ended distribution (for example "2,500-")

median+

The median falls in the highest interval of an open-ended distribution (for example "250,000+").

**

The margin of error could not be computed because there were an insufficient number of sample observations.

The margin of error could not be computed because the median falls in the lowest interval or highest interval of an open-ended distribution.

A margin of error is not appropriate because the corresponding estimate is controlled to an independent population or housing estimate. Effectively, the corresponding estimate has no sampling error and the margin of error may be treated as zero.

Supporting documentation on code lists, subject definitions, data accuracy, and statistical testing can be found on the American Community Survey website in the Technical Documentation section.

Sample size and data quality measures (including coverage rates, allocation rates, and response rates) can be found on the American Community Survey website in the Methodology section.



OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 10/4/2022

Property Information	
Folio:	03-4120-017-1570
Property Address:	351 SAN LORENZO AVE Coral Gables, FL 33146-1822
Owner	SAN LORENZO PROPERTY LLC
Mailing Address	782 NW 42 AVE SUITE #550 MIAMI, FL 33126 USA
PA Primary Zone	7100 INDUSTRIAL - LIGHT MFG
Primary Land Use	1713 OFFICE BUILDING - ONE STORY : OFFICE BUILDING
Beds / Baths / Half	0 / 0 / 0
Floors	1
Living Units	0
Actual Area	2,100 Sq.Ft
Living Area	2,100 Sq.Ft
Adjusted Area	2,100 Sq.Ft
Lot Size	11,000 Sq.Ft
Year Built	2016



Assessment Information			
Year	2022	2021	2020
Land Value	\$2,420,000	\$2,420,000	\$2,420,000
Building Value	\$346,500	\$346,500	\$346,500
XF Value	\$0	\$0	\$0
Market Value	\$2,766,500	\$2,766,500	\$2,766,500
Assessed Value	\$2,766,500	\$2,766,500	\$2,766,500

Benefits Information				
Benefit	Type	2022	2021	2020
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				

Short Legal Description	
CORAL GABLES INDUSTRIAL SEC PB 28-22 LOTS 8 THRU 11 BLK 9 LOT SIZE 11000 SQ FT M/L OR 19518-3167 0201 6(3)	

Taxable Value Information			
	2022	2021	2020
County			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$2,766,500	\$2,766,500	\$2,766,500
School Board			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$2,766,500	\$2,766,500	\$2,766,500
City			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$2,766,500	\$2,766,500	\$2,766,500
Regional			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$2,766,500	\$2,766,500	\$2,766,500

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description
05/26/2022	\$5,100,000	33224-3430	Qual by exam of deed
05/20/2015	\$2,400,000	29648-2534	Qual on DOS, multi-parcel sale
02/01/2001	\$2,695,000	19518-3167	Other disqualified
03/01/1997	\$410,000	17572-2250	Deeds that include more than one parcel

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>

Version:

CITY OF CORAL GABLES, FLORIDA

RESOLUTION NO. 2015-251

A RESOLUTION OF THE CITY COMMISSION OF CORAL GABLES, FLORIDA REQUESTING MIXED USE SITE PLAN REVIEW PURSUANT TO ZONING CODE ARTICLE 4, "ZONING DISTRICTS", DIVISION 2, "OVERLAY AND SPECIAL PURPOSE DISTRICTS", SECTION 4-201, "MIXED USE DISTRICT (MXD)," FOR THE MIXED USE PROJECT REFERRED TO AS "ONE MERRICK PARK" ON THE PROPERTY LEGALLY DESCRIBED AS LOTS 8-11, BLOCK 9, INDUSTRIAL SECTION (351 SAN LORENZO AVENUE), CORAL GABLES, FLORIDA; INCLUDING REQUIRED CONDITIONS; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an Application was submitted requesting mixed use site plan review pursuant to Zoning Code Section 4-201 for the mixed-use project referred to as "One Merrick Park" on the property legally described as Lots 8-11, Block 9, Industrial Section (351 San Lorenzo Avenue), Coral Gables, Florida; and

WHEREAS, the Application requires City of Coral Gables mixed use site plan review and public hearing consideration pursuant to the Zoning Code Mixed Use District (MXD) provisions and Comprehensive Plan Mixed Use Overlay District (MXOD) provisions; and

WHEREAS, after notice of public hearing duly published and courtesy notifications of all property owners of record within one-thousand-five-hundred (1500) feet, a public hearing was held before the Planning and Zoning Board of the City of Coral Gables on September 9, 2015, at which hearing all interested persons were afforded the opportunity to be heard; and

WHEREAS, at the Planning and Zoning Board's September 9, 2015 meeting, the Board recommended approval of the proposed mixed use site plan (vote: 5-0) subject to conditions of approval; and

WHEREAS, a public hearing was held before the City Commission on October 13, 2015, at which hearing this item was presented and all interested persons were afforded the opportunity to be heard; and

WHEREAS, the City Commission on October 13, 2015, approved the requested mixed use project (Majority Vote: 4-0); and

WHEREAS, public hearings have been completed as indicated herein by the Coral Gables City Commission in consideration of a request for mixed use site plan review as required by the Zoning Code, and including careful consideration of written and oral comments by members of the public;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF CORAL GABLES THAT:

SECTION 1. The foregoing "WHEREAS" clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of the Resolution upon adoption hereof.

SECTION 2. The proposed mixed use site plan review for the mixed-use project referred to as "One Merrick Park" on Lots 8-11, Block 9, Industrial Section (351 San Lorenzo Avenue), Coral Gables, Florida shall be and is hereby approved subject to all of the following conditions:

1. Application/supporting documentation. Construction of the proposed project shall be in substantial conformance with the following:
 - a. Applicant's Planning and Zoning Board submittal package plans dated 08.04.15, prepared by architecture firm PGAL.
 - b. Traffic Impact Study, dated April 2015, prepared by David Plummer & Associates.
 - c. All representations proffered by the Applicant's representatives as a part of the review of the Application at public hearings.
2. Restrictive covenant. Within thirty (30) days of City Commission approval of the Application, the Applicant, property owner(s), its successors or assigns shall submit a restrictive covenant for City Attorney review and approval outlining all conditions of approval as approved by the City Commission. It is recognized that the requirements contained in the restrictive covenant constitute regulatory conditions of approval and shall survive as regulatory conditions of approval even if the restrictive covenant is later found to be void or unenforceable. Failure to submit the draft restrictive covenant within the specified time frame shall render the approval void unless said time frame for submittal of the draft restrictive covenant is extended by the City Attorney after good cause as to why the time frame should be extended.
3. Prior to the issuance of a City Building Permit for the project, the Applicant, property owner(s), its successors or assigns, shall satisfy the following conditions:
 - a. Remove the two (2) curb cuts along the sidewalk on San Lorenzo Avenue from Laguna Street to the alley.
 - b. On-street parking. Payment shall be provided by Applicant, its successors or assigns according to established City requirements for the loss of two (2) on-street parking spaces as a result of the project.
 - c. All outstanding landscaping issues as identified by the Public Service Department shall be satisfactorily resolved, subject to review and approval by the Director of Public Service.
 - d. Construction information/contact. Provide written notice to all properties within five-hundred (500) feet of the "One Merrick Park" project (351 San Lorenzo Ave), providing a specific liaison/contact person for the project including the contact name, contact telephone number and email, to allow communication between adjacent neighbors or interested parties of construction activities, project status, potential concerns, etc.
 - e. Comply with all City requirements for Art in Public Places, public art must be reviewed by the Arts Advisory Panel and Cultural Development Board, and receive Board of Architects approval before being submitted to the City Commission. The Applicant's compliance with all requirements of the Art in Public Places program shall be coordinated by the Director of Historical Resources and Cultural Arts.
4. Written notice. Provide a minimum of seventy-two (72) hour written notice to all properties within five-hundred (500) feet of the "One Merrick Park" (351 San Lorenzo Ave) project boundaries of any proposed partial street closures as a result of the project's construction activity. Complete street closure shall be prohibited.

5. Prior to the issuance of a Temporary Certificate of Occupancy (CO) for the project, the Applicant, property owner, its successors or assigns shall complete the following:
- a. Right-of-way and public realm improvements. Installation of all right-of-way improvements and all landscaping, public realm and streetscape improvements identified on the Applicant's approved plans, subject to review and approval by the Directors of Public Works, Public Service and Planning and Zoning. Any changes to and departures from the right-of-way and public realm improvements identified on the Applicant's approved plans and associated detail plans and specifications via the permitting process shall be subject to review and approval by Directors of Public Works, Public Service, Planning and Parking.
 - b. Undergrounding of overhead utilities. In accordance with Zoning Code Article 4 "Zoning Districts", more specifically, Section 4-201, "Mixed use District (MXD)," and Article 4, "Zoning Districts," Table 1, sub-section L, "Utilities", the Applicant shall submit all necessary plans and documents, and shall complete the undergrounding of all overhead utilities along all public rights-of-way surrounding and abutting the project boundary, including the alley, subject to review and approval by the Directors of Public Works, Public Service and Planning and Zoning.

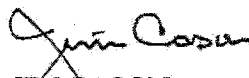
SECTION 3. That the applicant shall further be required to comply with all applicable zoning regulations and any changes to the application herein granted shall be in conformance with the requirements of Zoning Code Section 3-410, "Changes to conditional use approvals."

SECTION 4. That this Resolution shall become effective upon the date of its passage and adoption herein.

PASSED AND ADOPTED THIS THIRTEENTH DAY OF OCTOBER, A.D., 2015.

(Moved: Lago / Seconded: Quesada)
(Yeas: Lago, Quesada, Slesnick, Cason)
(Majority: (4-0) Vote)
(Absent: Keon)
(Agenda Item: E-2)

APPROVED:


JIM CASON
MAYOR

ATTEST:


WALTER J. FOEMAN
CITY CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:


CRAIG E. LEEN
CITY ATTORNEY

This instrument prepared by:

Ricardo L. Fraga
Greenberg Traurig, P.A., 44th Floor
333 Avenue of the Americas
Miami, FL 33131

Tax Folio No. 03-4120-017-1570

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED is made and entered into as of the 26 day of May, 2022 by **LAGUNA MERRICK, LLC, a Florida limited liability company** (the "**Grantor**"), whose mailing address is 782 NW 42nd Avenue, Suite 550, Miami, Florida 33126 to **San Lorenzo Property, LLC, a Florida limited liability company** (the "**Grantee**"), whose mailing address is 782 NW 42nd Avenue, Suite 550, Miami, Florida 33126. Wherever used herein, the terms "**Grantor**" and "**Grantee**" shall include all of the parties to this instrument and their successors and assigns.

WITNESSETH:

GRANTOR, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration paid by Grantee, the receipt and sufficiency of which is hereby acknowledged, has granted, bargained and sold, and by these presents does grant, bargain, alien, remise, transfer, release, convey, confirm and sell, to Grantee, and Grantee's heirs, successors and assigns forever, the following property located in Miami-Dade County, Florida (the "**Property**"), more particularly described in Exhibit "A" attached hereto and made part hereof.

THIS CONVEYANCE is subject to: (a) taxes and assessments for the year 2022 and subsequent years; and (b) easements, conditions, restrictions, matters, limitations and reservations of public record, if any, but this reference shall not operate to reimpose same.

TOGETHER WITH all the tenements, hereditaments, easements and appurtenances thereunto belonging or in anywise appertaining to the Property.

TO HAVE AND TO HOLD unto Grantee and Grantee's heirs, successors and assigns in fee simple forever.

GRANTOR hereby covenants with said Grantee that Grantor is lawfully seized of the Property in fee simple; that Grantor has good right and lawful authority to sell and convey the Property; and that Grantor hereby fully warrants the title to the Property and will defend the same against the lawful claims of all persons whomsoever claiming by, through or under Grantor but against none other.


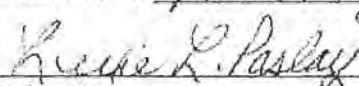
[Signature Page Follows]

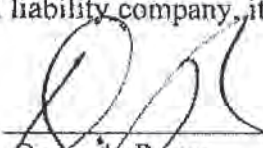
IN WITNESS WHEREOF, Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered
in presence of:

LAGUNA MERRICK, LLC
a Florida limited liability company

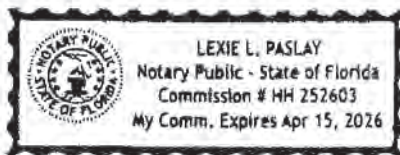
By: LM MANAGER, LLC, a Florida
limited liability company, its Manger

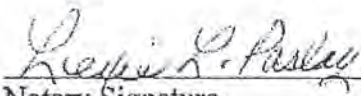

Print Name: Ricardo Fraga

Print Name: LEXIE L. PASLAY

By: 
Name: Oscar A. Roger
Title: Manager

STATE OF FLORIDA)
) SS:
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, on this 20th day of May, 2022 by Oscar A. Roger, as the sole Manager of LM Manager, LLC, a Florida limited liability company, the sole manager of LAGUNA MERRICK, LLC, a Florida limited liability company (<) who is personally known to me OR () who produced _____ as identification.




Notary Signature
LEXIE L. PASLAY
Print Notary Name

NOTARY SEAL

Exhibit "A"

(Property Legal Description)

Lots 8, 9, 10 and 11, Block 9, of REVISED PLAT OF CORAL GABLES INDUSTRIAL SECTION, according to the Plat thereof, as recorded in Plat Book 28, Page 22, of the Public Records of Miami-Dade County, Florida.