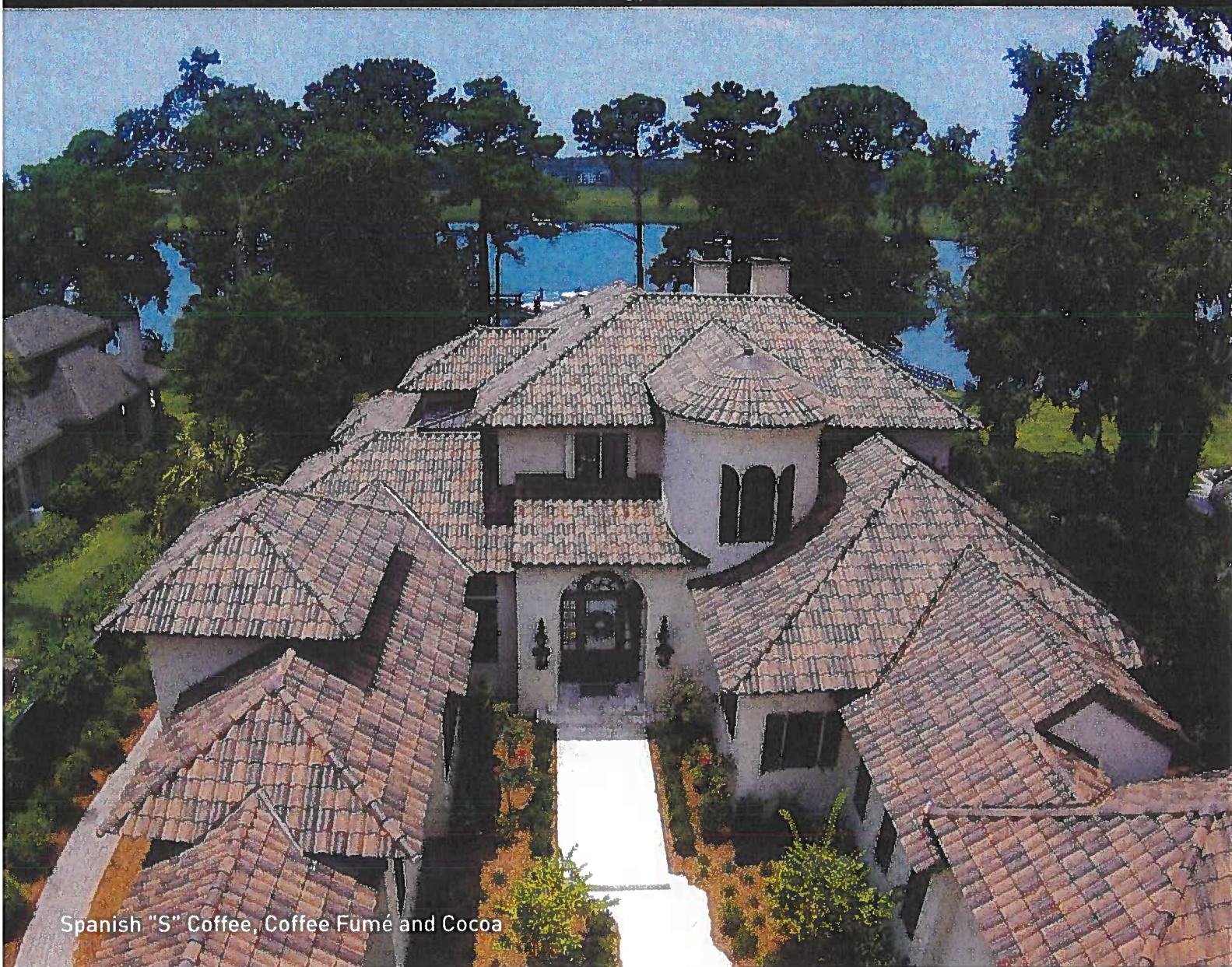






SPANISH "S"

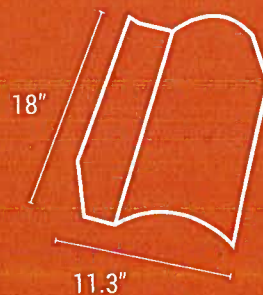


Spanish "S" Coffee, Coffee Fumé and Cocoa

Influenced by Spanish and Mediterranean architecture, the Spanish S tile emulates a traditional clay roof tile with only one piece. This makes it an affordable and easy to install product.

Santafé The Masters in Clay offers one of the widest color selections in this profile, enabling the creation of unique roof tile designs. Options include single colors or exclusive pre-blends.

SPECIFICATIONS



Height: 3.5"	Pieces/Sq: 96
Weight: 6.9 lb	Pieces/ Pallet: 600

Santafé Prestige Collection is ideal for those living in regions of extreme cold temperatures. Prestige clay roof tiles meet and exceed the international ASTM C1167-96 norms for Grade 1 tiles and pass the freeze-thaw resistance tests. These tiles are offered in Spanish S and Báltica collection profiles.



Red



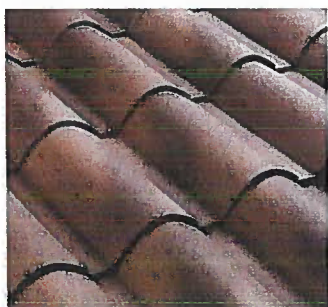
Red Fumé



Cocoa



Coffee



Coffee Fumé



Galeras



Galeras Fumé

TERRA-MATTE COLORS

Inspired by Mother Nature, this particular color palette is a customer favorite in both traditional and contemporary styles.



Red



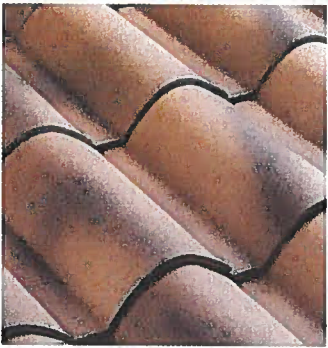
Red Fumé



Terra Nova



Peach



Peach Fumé



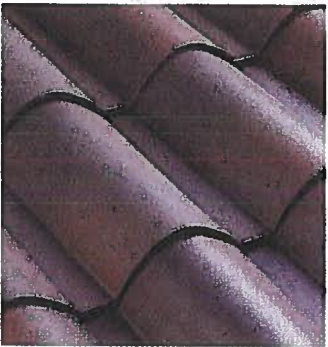
Coffee



Coffee Fumé



Galeras



Galeras Fumé



Oak



Red Matte



Cocoa



Pewter



River Rock



Charcoal



OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 6/22/2022

Property Information	
Folio:	03-4107-017-0560
Property Address:	2103 COUNTRY CLUB PRADO Coral Gables, FL 33134-2128
Owner	JUAN E ORAMAS
Mailing Address	2103 COUNTRY CLUB PRADO CORAL GABLES, FL 33134 USA
PA Primary Zone	0100 SINGLE FAMILY - GENERAL
Primary Land Use	0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
Beds / Baths / Half	5 / 3 / 0
Floors	2
Living Units	1
Actual Area	3,573 Sq.Ft
Living Area	3,067 Sq.Ft
Adjusted Area	3,037 Sq.Ft
Lot Size	13,000 Sq.Ft
Year Built	1925



Assessment Information			
Year	2022	2021	2020
Land Value	\$546,000	\$507,000	\$507,000
Building Value	\$757,671	\$512,494	\$519,327
XF Value	\$28,050	\$28,350	\$28,650
Market Value	\$1,331,721	\$1,047,844	\$1,054,977
Assessed Value	\$1,331,721	\$1,047,844	\$1,054,977

Benefits Information				
Benefit	Type	2022	2021	2020
Homestead	Exemption	\$25,000		
Second Homestead	Exemption	\$25,000		

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).

Short Legal Description	
CORAL GABLES SEC E PB 8-86 LOTS 26 & 27 BLK 23 LOT SIZE 100.000 X 130 OR 20439-2002 05/2002 1 COC 22788-3459 10 2004 1	

Taxable Value Information			
	2022	2021	2020
County			
Exemption Value	\$50,000	\$0	\$0
Taxable Value	\$1,281,721	\$1,047,844	\$1,054,977
School Board			
Exemption Value	\$25,000	\$0	\$0
Taxable Value	\$1,306,721	\$1,047,844	\$1,054,977
City			
Exemption Value	\$50,000	\$0	\$0
Taxable Value	\$1,281,721	\$1,047,844	\$1,054,977
Regional			
Exemption Value	\$50,000	\$0	\$0
Taxable Value	\$1,281,721	\$1,047,844	\$1,054,977

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description
10/15/2021	\$100	32830-0960	Corrective, tax or QCD; min consideration
04/14/2021	\$1,795,000	32499-2346	Qual by exam of deed
12/28/2015	\$100	30597-2332	Corrective, tax or QCD; min consideration
04/29/2015	\$1,650,000	29645-4645	Qual by exam of deed

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>

Version:

Customer Information:

Ph: 305-986-3270

2103 Country Club, Prado Coral Gables, FL 33134

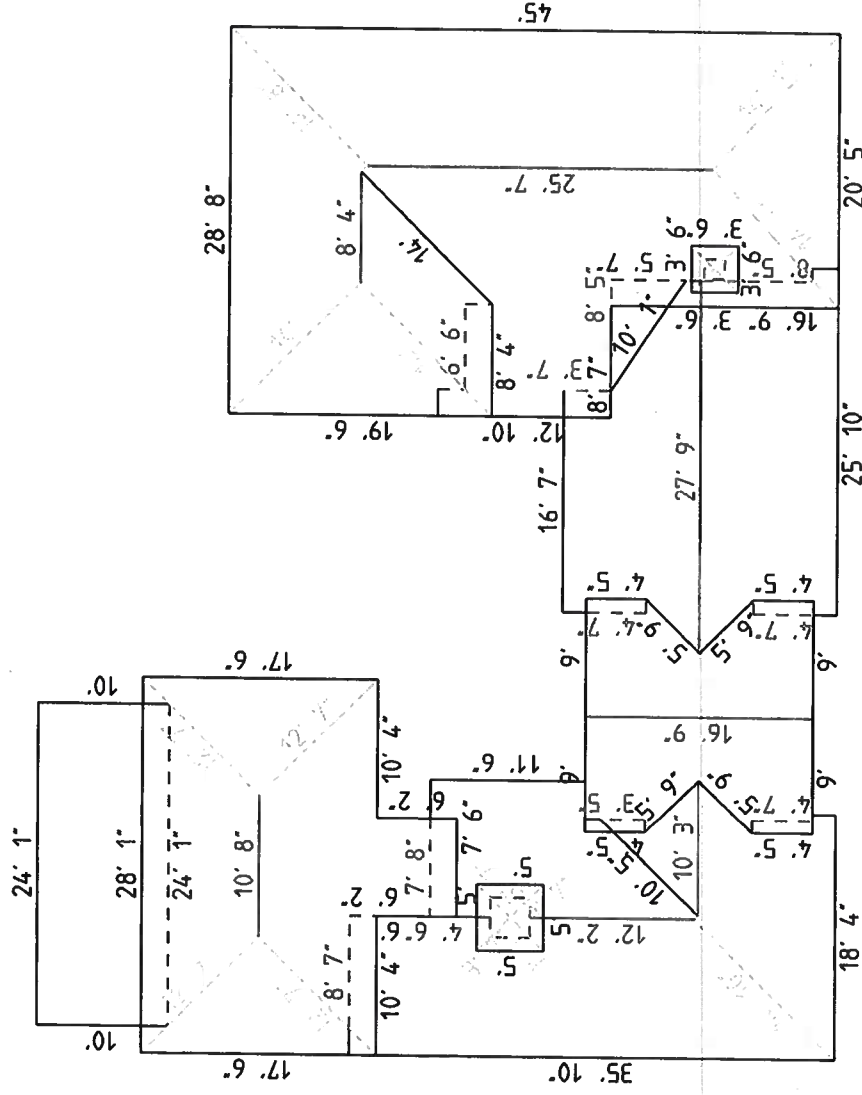
Email: ronaldm@topsealservices.com

Residential Roof Report

Order Number: 1000039715

Tuesday, April 19, 2022

Length Plan



Legend

Eaves = 427ft

Rakes = 91ft

Ridges = 116ft

Hips = 161ft

Valleys = 58 ft

Apron Flashing= 54

Step Flashing= 74

 $\text{Parab: length} = 0.01$



DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER)
BOARD AND CODE ADMINISTRATION DIVISION

**MIAMI-DADE COUNTY
PRODUCT CONTROL SECTION**

11805 SW 26 Street, Room 208
Miami, Florida 33175-2474
T (786) 315-2590 F (786) 315-2599
www.miamidade.gov/economy

NOTICE OF ACCEPTANCE (NOA)

Santafe Tile Corporation
8825 NW 95th Street
Medley, FL 33178

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County RER - Product Control Section to be used in Miami-Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (in Miami-Dade County) and/or the AHJ (in areas other than Miami-Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. RER reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code including the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Santafe Spanish 'S' Clay Roof Tile

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA# 19-1021.30 and consists of pages 1 through 5.
The submitted documentation was reviewed by Alex Tigera.



NOA No.: 21-0614.05
Expiration Date: 02/01/26
Approval Date: 07/01/21
Page 1 of 5

ROOFING ASSEMBLY APPROVAL

Category: Roofing
Sub-Category: Roofing Tiles
Material: Clay
Deck Type: Wood

1. SCOPE

This approves a roofing system using Santa Fe "Santafe 'S'" Clay Roof Tile, as manufactured by Ladrillera Santafe S.A. in Bogota, Colombia and distributed by Santafe Tile Corporation as described in Section 2 of this Notice of Acceptance. For locations where the pressure requirements, as determined by applicable Building Code, do not exceed the design pressure values obtained by calculations in compliance with RAS 127 using the values listed in section 4 herein. The attachment calculations shall be done as a moment based system.

2. PRODUCT DESCRIPTION

<u>Manufactured by</u> <u>Applicant</u>	<u>Dimensions</u>	<u>Test</u> <u>Specifications</u>	<u>Product</u> <u>Description</u>
Santafé 'S' Clay Roof Tile	L = 18" W = 11.1" Thickness = 0.39"	TAS 112 Type I Grade 1	One piece high profile clay roof tile equipped with two nail holes. For nail-on, batten (4/12 min slope); and mortar set and adhesive set applications.
Trim Pieces	l = varies w = varies varying thickness	TAS 112	Accessory trim, clay roof pieces for use at hips, rakes, ridges and valley terminations. Manufactured for each tile profile.

2.1 MANUFACTURING LOCATION

1. Bogota, Colombia

2.2 SUBMITTED EVIDENCE

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
The Center for Applied Engineering, Inc.	94-156-8	TAS 101	Aug. 1994
	94-156-9	TAS 102	
	25-7205-1	TAS 101	March 1995
	Project: 07-07-00-91 (307023)	TAS 100	Sept. 1994
Redland Technologies	7161-03	TAS 108	Dec. 1991
	Appendix II	(Nail-On)	
	7161-03	Static Uplift Testing	Dec. 1991
	Appendix III	TAS 102 & TAS 102(A)	
	P 0402	Withdrawal Resistance	Sept. 1993
		Testing of Screw vs smooth shank nails	
	P 0647-01	TAS 108	Aug. 1994
		(Mortar Set)	
	P 0631-01	PA 108	July. 1994
		(Mortar Set)	



NOA No.: 21-0614.05
Expiration Date: 02/01/26
Approval Date: 07/01/21
Page 2 of 5

2.2 SUBMITTED EVIDENCE

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Celotex Corporation Testing Services	520305-01 thru 05	PA 102	June 1999
PRI Asphalt Technologies, Inc.	SFTC-003-02-01	TAS 101	12/06/02
IBA Consultants, Inc.	2353-70	TAS 101	09/22/03
	2353-71	TAS 101	09/22/03
	2353-93	ASTM C 1167	07/18/05
	2353-4	Restoring Moment	Aug. 1999
American Test Lab of South Florida	RT0624.01-15	ASTM C1167-03	07/01/15
	RT1008.01-20	ASTM C1167	10/16/20
PRI Construction Material Technologies	COPO-002-02-08	TAS 101	10/12/16

3. LIMITATIONS

- 3.1 Fire classification is not part of this acceptance.
- 3.2 For mortar or adhesive set tile applications, a static field uplift test shall be performed in accordance with TAS 106.
- 3.3 Applicant shall retain the services of a Miami-Dade County Certified Laboratory to perform quarterly test in accordance with TAS 112, appendix 'A'. Such testing shall be submitted to the Miami-Dade County Product Control Section for review.
- 3.4 Minimum underlayment shall be in compliance with the applicable Roofing Applications Standards listed section 4.1 herein.
- 3.5 Mechanically attached tile; minimum slope 4/12.
- 3.6 30/90 hot mopped underlayment applications may be installed perpendicular to the roof slope unless stated otherwise by the underlayment material manufacturers published literature.
- 3.7 This acceptance is for wood deck applications. Minimum deck requirements shall be in compliance with applicable building code.
- 3.8 May be installed on slopes 7:12 and greater.

4. INSTALLATION

- 4.1 Santafe 'S' and its components shall be installed in strict compliance with Roofing Application Standard RAS 118, RAS 119 and RAS 120.
- 4.2 Data For Attachment Calculations



NOA No.: 21-0614.05
Expiration Date: 02/01/26
Approval Date: 07/01/21
Page 3 of 5

Table 1: Average Weight (W) and Dimensions (l x w)			
Tile Profile	Weight-W (lbf)	Length-l (ft)	Width-w (ft)
Santafe 'S'	6.7	1.5	0.958

Table 2: Aerodynamic Multipliers- λ (ft ³)		
Tile Profile	λ (ft ³) Batten Application	λ (ft ³) Direct Deck
Santafe 'S'	0.274	0.297

Table 3: Restoring Moments due to Gravity - M _g (ft.-lbf)												
Tile Profile	2":12"		3":12"		4":12"		5":12"		6":12"		7":12" or greater	
	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck
Santafe 'S'	N/A	5.90	N/A	5.82	5.73	5.69	5.56	5.53	5.32	5.29	5.03	5.00

Table 4: Attachment Resistance Expressed as a Moment - M _r (ft.-lbf) for Nail-On Systems			
Tile Profile	Fastener Type	Direct Deck	Battens
Santafe 'S'	2-10d Ring Shank Nails	21.8	N/A
	One #8 Screw	29.16 ^{1,2}	N/A
	Two #8 Screws	38.28 ¹	N/A
	One #8 Screw w/ Clip	57.31 ^{1,2}	N/A
	Two #8 Screws w/ Clip	57.60 ¹	61.77 ¹
1. Approved screws as noted 'Product manufactured by others'. 2. When using one screw it must be installed in the inside hole located nearest to the hump of the tile.			

Table 5: Attachment Resistance Expressed as a Moment M _r (ft.-lbf) for Two Patty Adhesive Set Systems		
Tile Profile	Tile Application ³	Minimum Attachment Resistance
Santafe 'S'	Tile Bond	38.9 ⁴
	Polyset AH 160™	33.1 ⁵
3. See manufactures component approval for installation requirements.		
4. Paddy placement of 10.4 grams of DuPont de Nemours, Inc. Tile Bond Roof Tile Adhesive		
5. Paddy placement of 9.4 grams of ICP Adhesives Polypro AH 160™		

Table 5A: Attachment Resistance Expressed as a Moment - M _r (ft.-lbf) for Single Patty Adhesive Set Systems		
Tile Profile	Tile Application ³	Minimum Attachment Resistance
Santafe 'S'	Polyset AH 160™	66.5 ⁶
	Polyset AH 160™	63.8 ⁷
	DAP Foam Touch N Seal Storm Bond 2	100 ⁸
6. Paddy placement of 63 grams of ICP Adhesives Polypro AH 160™.		
7. Paddy placement of 24 grams of ICP Adhesives Polypro AH 160™.		
8. Paddy placement of 45 grams DAP Foam Touch N Seal Storm Bond 2		



Table 6: Attachment Resistance Expressed as a Moment - M_r (ft-lbf) for Mortar or Adhesive Set Systems		
Tile Profile	Tile Application	Attachment Resistance
Santafe 'S'	Mortar Set	23.6

5. LABELING

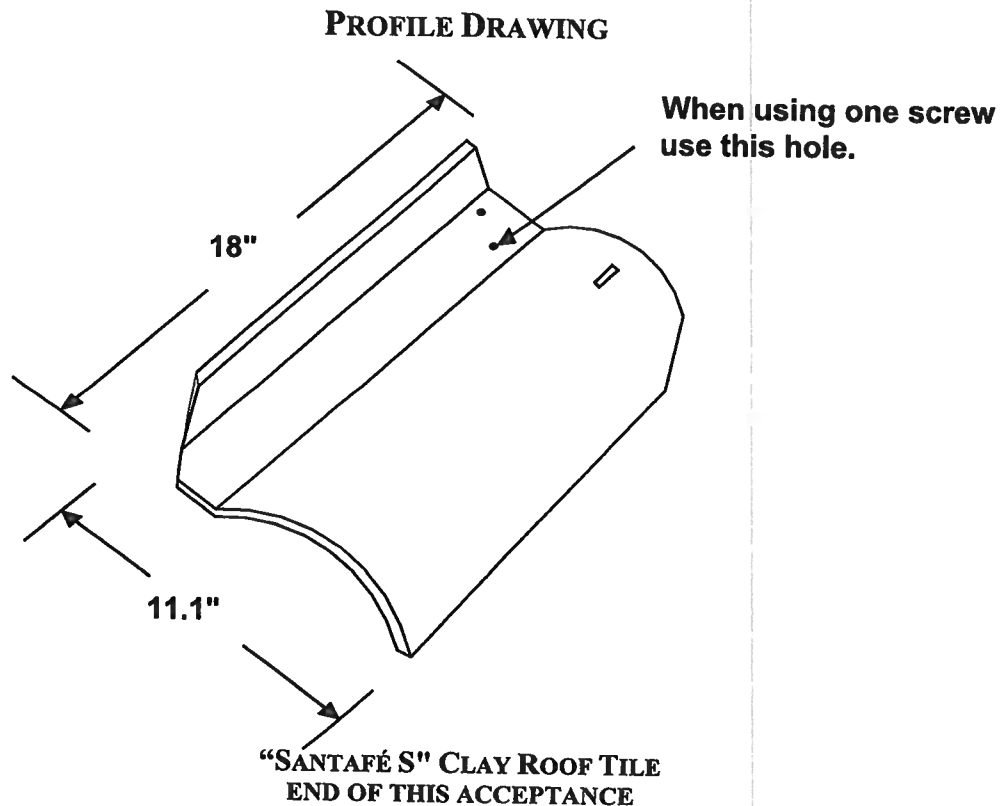
- 5.1 All tiles shall bear the imprint or identifiable marking of the manufacturer's name or logo as shown below, or following statement: "Miami-Dade County Product Control Approved".

SANTA FE TM MADE IN COLOMBIA

LABEL FOR SANTA FE SPANISH "S" CLAY ROOF TILE

6. BUILDING PERMIT REQUIREMENTS

- 6.1 Application for building permit shall be accompanied by copies of the following:
- 6.1.1 This Notice of Acceptance.
 - 6.1.2 Any other documents required by the Building Official or applicable building code in order to properly evaluate the installation of this system.



NOA No.: 21-0614.05
Expiration Date: 02/01/26
Approval Date: 07/01/21
Page 5 of 5



Board of Architects Review Application

Phone: 305.460.5245

Email: boardofarchitects@coralgables.com

04

Application Request

The undersigned Agent/Owner request(s) Board of Architects review of the following application(s):
(Choose one (1) from Section #1 and choose all applicable from Section #2)

1. ☐ New Building OR ☐ Alterations / Additions OR ☐ Color Palette Review
2. ☐ Preliminary Approval
☐ Coral Gables Mediterranean Style Design Standards Bonus Approval
☐ Final Approval

Property Information

Street Address of the Subject Property: 2103 COUNTRY CLUB PRADO

Property/Project Name: JUAN ORANAS

Legal description: Lot(s)

Block(s) Section(s)

Folio No. 03-4107-017-0560

Owner(s): JUAN ORANAS

Mailing Address: 2103 COUNTRY CLUB PRADO

Telephone: 305 632 6904 Fax

Other Email

Architect(s)/Engineer(s)/Contractor(s):

Architect(s)/Engineer(s)/Contractor(s) Mailing Address:

Telephone: Business Fax

Other Email

Project Information

Project Description(s): RE-ROOF TILE
SANTA FE SPANISH S, COLOR: COCON.

Estimated project cost*: \$61,000
(*Estimated cost shall be +/- 10% of actual cost)

Date(s) of Previous Submittal(s) and Action(s):



Board of Architects Review Application

Applicant/Owner/Architect/Engineer Affirmation and Consent

(I) (We) acknowledge, affirm, and certify to all of the following:

1. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
2. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
3. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.
4. All application representatives have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
5. Understand that under Florida Law, all the information submitted as part of the application are public records.
6. Failure to provide the information required for submittal/necessary for review by the Board of Architects may cause the application to be deferred without review.
7. That applications for the Board of Architects review require the presence of the applicant and/or architect/engineer at the Board of Architects meeting unless otherwise notified.
8. That plans submitted to this office are required to be picked up at the Board of Architects counter, by the Applicant, within fourteen (14) days after the Board of Architects meeting unless the plans have received Final Approval by the Board of Architects in which case, they will automatically be processed for a building permit. Plans which are not picked up within fourteen (14) days will be discarded.
9. All fees shall be paid by 12-midnight, three (3) days prior to the meeting date (ie. Monday before a Thursday meeting) to secure placement on the meeting's docket (agenda)
10. I have received consent from the owner of the property to file this application.

NOTE: ONLY ONE SIGNATURE OR AFFIRMATION/CONSENT IS REQUIRED

Agent/Owner Print Name: JUAN ORDANES		Agent/Owner Signature: 	
Address: 2301 COUNTRY CLUB PRADO.			
Telephone:		Fax:	Email:
ARCHITECT'S/ENGINEER'S SEAL	Architect(s)/Engineer(s)/Contractor(s) Print Name:		Architect(s)/Engineer(s)/Contractor(s) Signature:
	Address:		
	Telephone:		Fax:
	Email:		
STATE OF FLORIDA) ss COUNTY OF MIAMI-DADE) Sworn to or affirmed and subscribed before me this <u>20</u> day of <u>June</u> in the year 20 <u>22</u> by <u>JUAN ORDANES</u> who has taken an oath and is personally known to me or has produced _____ as Identification.		STATE OF FLORIDA) ss COUNTY OF MIAMI-DADE) Sworn to or affirmed and subscribed before me this _____ day of _____ in the year 20____ by _____ who has taken an oath and is personally known to me or has produced _____ as Identification.	
My Commission Expires: MARIA R. MEDINA Notary Public - State of Florida Commission # HH 013383 My Comm. Expires Jun 22, 2024 Notary Public		My Commission Expires: _____ Notary Public	