

RIVIERA RESIDENCE

6312 RIVIERA DRIVE
CORAL GABLES, FL 33146
FOLIO:03-4129-028-0920

BOARD OF ARCHITECTS
JUNE 30, 2022



STUDIO ANDA
WWW.STUDIOANDA.COM

PROJECT DATA

SCOPE	ADDITION
ADDRESS	6312 RIVIERA DR
FOLIO	03-4129-028-0920
LEGAL	CORAL GABLES RIVIERA SEC 11 PB 28-23 LOTS 8 THRU 11 & PT OF UNDUG W/W LYG ADJ THERETO BLK 257 LOT SIZE 68860 SQ FT
SURVEY	-
FLOOD ZONE	-
CODES	FBC 2020 & CITY OF CORAL GABLES CODE OF ORDINANCE
CONSTRUCTION	CONCRETE MASONRY WALLS WITH WOOD TRUSS ROOFING
OCCUPANCY	RESIDENTIAL

GRAPHICAL SYMBOLS

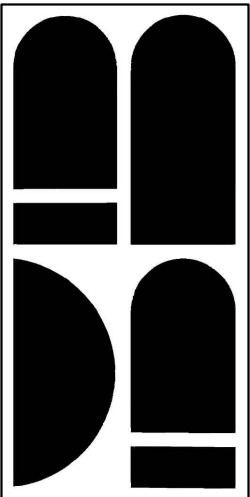
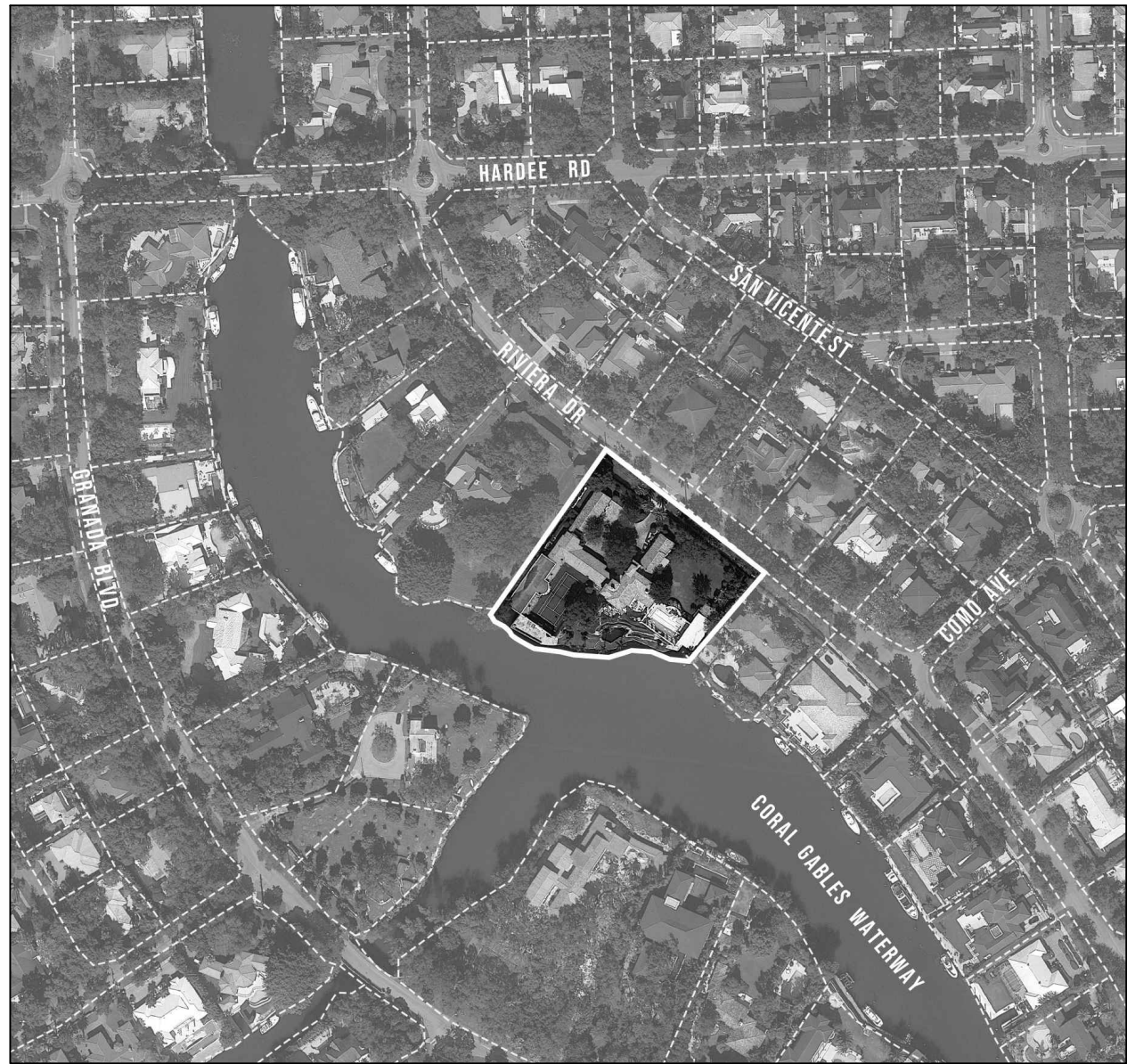
	SECTION LETTER / LETTER
	DETAIL NUMBER
	DETAIL REFERENCE
	DETAIL REFERENCE
	LARGE SCALE REFERENCE
	ELEVATION MARK
	ROOM NAME ROOM NUMBER
	FINISH CEILING HEIGHT
	DOOR TAG
	WINDOW TAG
	REVISION TAG
	KEY NOTE

INDEX OF DRAWINGS

ARCHITECTURE

A001	INDEX AND DATA
A002	CONTEXT IMAGES
A003	SITE PHOTOS
A004	SURVEY
A100	SITE PLAN AND DATA
A100b	ZONING DIAGRAMS
A101	FLOOR PLANS
A102	ROOF PLAN
A201	PROPOSED ELEVATIONS
A202	PROPOSED ELEVATIONS
A300	BUILDING SECTIONS
AR200	EXISTING & PROPOSED SITE ELEVATION
AR201	EXISTING & PROPOSED ELEVATIONS
AR202	EXISTING & PROPOSED ELEVATIONS
AR203	EXISTING & PROPOSED ELEVATIONS

LOCATION:



PROJECT TITLE:
RIVIERA RESIDENCE

PROJECT LOCATION:
6312 RIVIERA DRIVE
CORAL GABLES, FL 33146

PROJECT CLIENT/OWNER(S):
6312 LAND TRUST
SERVICES LLC TRS

ARCHITECT:
ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454
STRUCTURAL ENGINEERING:
ROCHELL ENGINEERING, INC
FL P.E. #60735
1500 NW 86 COURT, SUITE 212
DORAL, FL 33172
PH: (305)649-4049
MEP ENGINEERING:
ARPE ENGINEERING INC.
FL P.E. #60236
2020 PONCE DE LEONBLVD SUITE 1002
CORAL GABLES, FL 33134
PH: (305)444 9809
LANDSCAPE ARCHITECT:
JUNGLES
2964 AVIATION AVENUE,
MIAMI, FL 33133
PH: (305) 858-677



NO. DATE DESCRIPTION
SHEET ISSUE/ REVISION LOG

This drawing is the property of Studio Anda LLC unless otherwise provided for by contract. The contents of this drawing are confidential and shall not be transmitted to any other party except as agreed to by the architect.
*In my professional judgement and to the best of my knowledge and belief, these plans and specifications comply with F.B.C. 7th Edition (2020).

PROJECT ID: 1015	DRAWN BY: AB
PRINT DATE: 06/30/22	SCALE:

DRAWING TITLE:

INDEX & DATA

SHEET NO.

A001

KEY MAP:



6619 GRANADA BLVD
Scale: N.T.S.

6



6325 RIVIERA DRIVE
Scale: N.T.S.

5



6319 RIVIERA DRIVE
Scale: N.T.S.

4



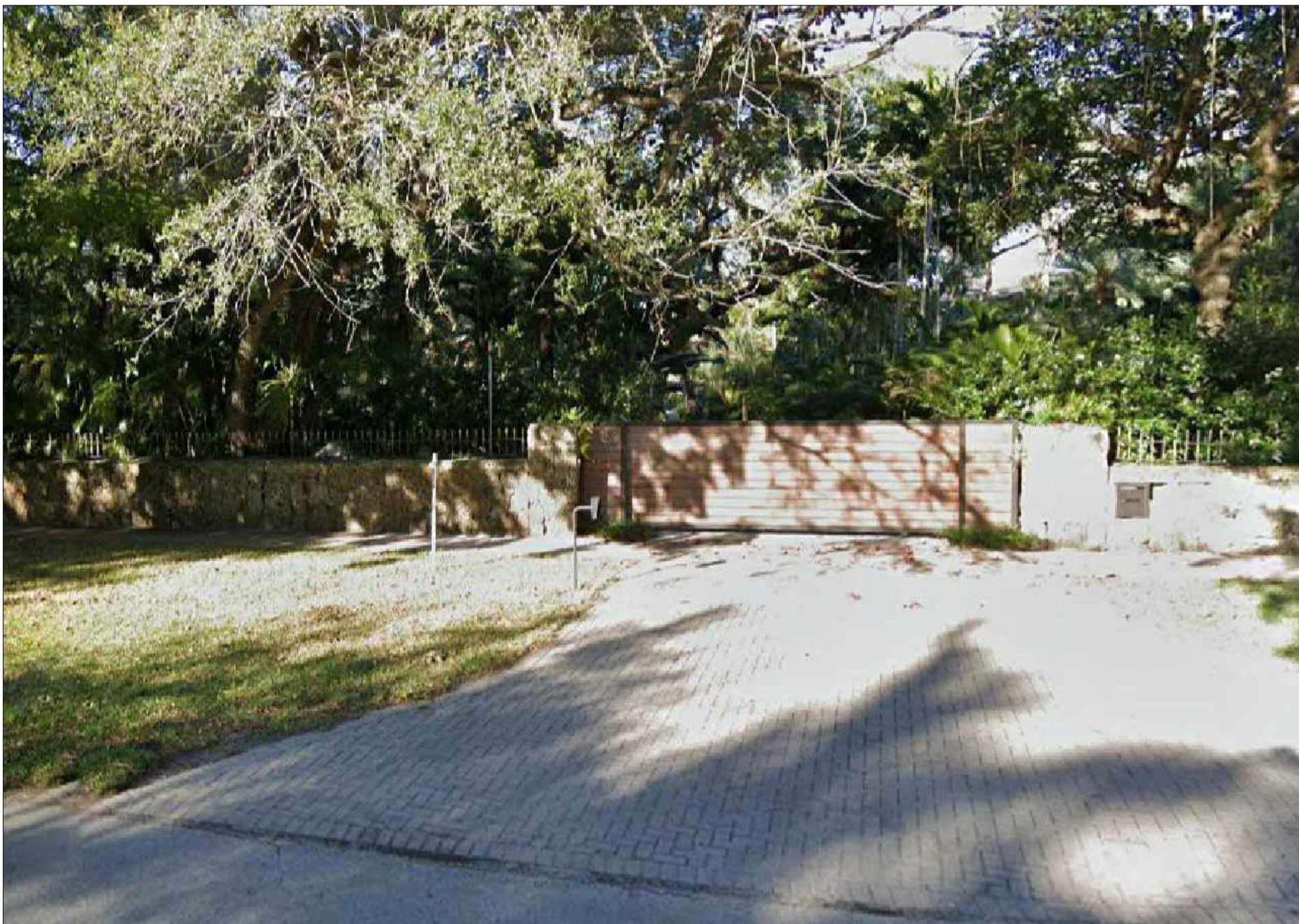
6311 RIVIERA DRIVE
Scale: N.T.S.

3



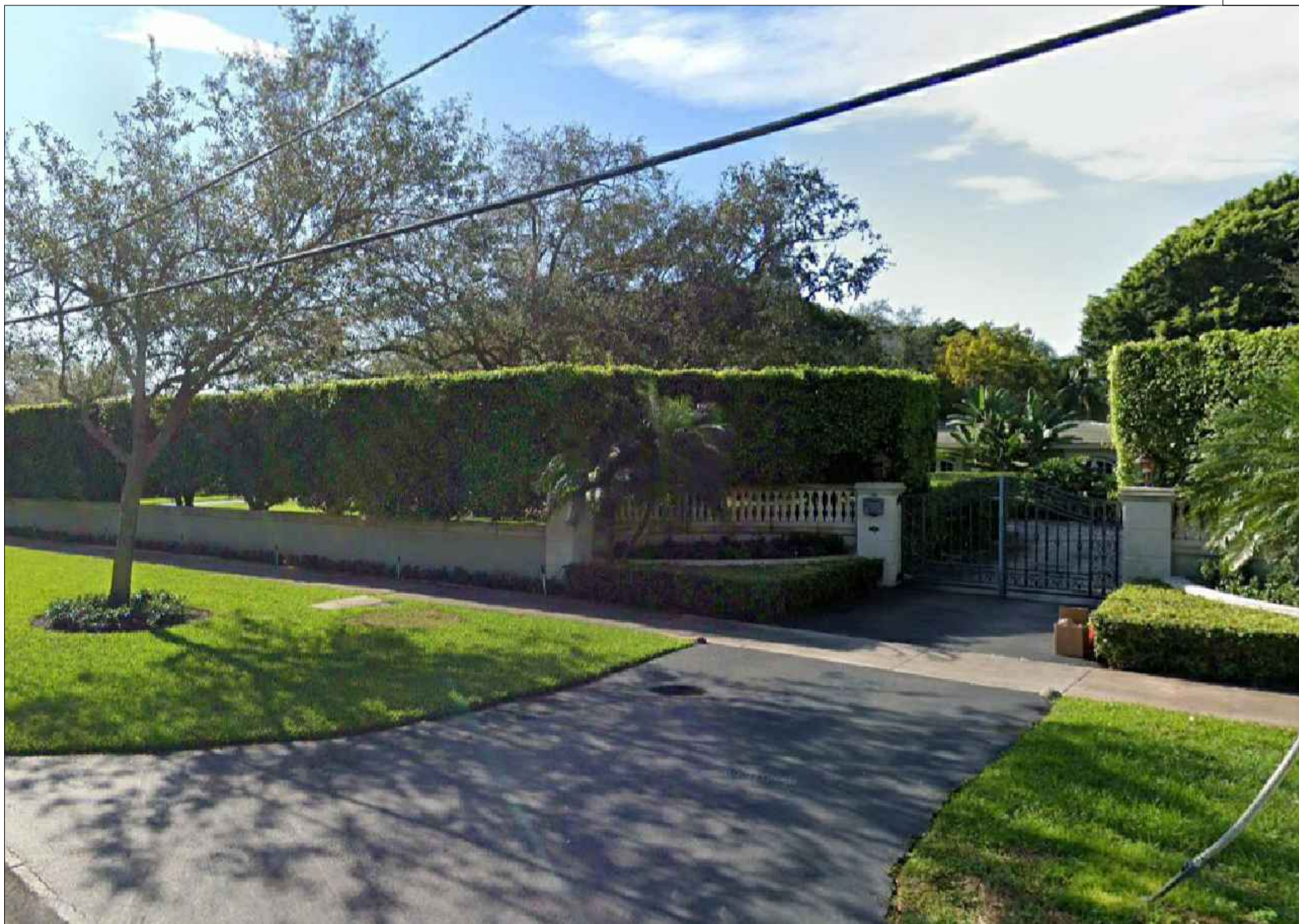
6340 RIVIERA DRIVE
Scale: N.T.S.

2



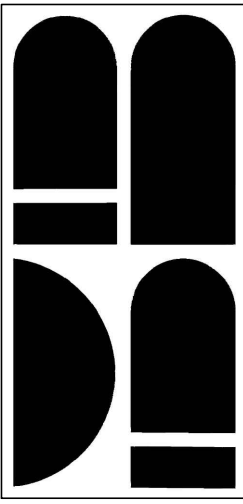
6801 GRANADA BLVD
Scale: N.T.S.

7



6300 RIVIERA DRIVE
Scale: N.T.S.

1



STUDIO ANDA

PROJECT TITLE:

RIVIERA RESIDENCE

PROJECT LOCATION:

6312 RIVIERA DRIVE
CORAL GABLES, FL 33146

PROJECT CLIENT/OWNER(S):

6312 LAND TRUST
SERVICES LLC TRS

ARCHITECT:

ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING:

ROCHELL ENGINEERING, INC
FL P.E. #60735
1500 NW 86 COURT, SUITE 212
DORAL, FL 33172
PH: (305)649-4049

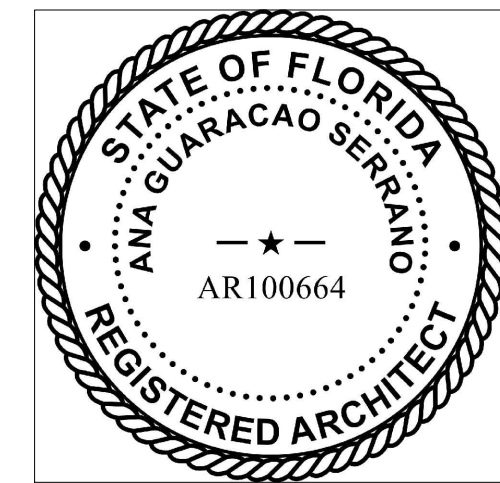
MEP ENGINEERING:

ARPE ENGINEERING INC.
FL P.E. #60236
2020 PONCE DE LEONBLVD SUITE 1002
CORAL GABLES, FL 33134
PH: (305)444 9809

LANDSCAPE ARCHITECT:

JUNGLES
2964 AVIATION AVENUE,
MIAMI, FL 33133
PH: (305) 858-677

PROFESSIONAL SEALS:



NO. DATE DESCRIPTION

SHEET ISSUE/ REVISION LOG

This drawing is the property of Studio Anda LLC unless otherwise provided for by contract. The contents of this drawing are confidential and shall not be transmitted to any other party except as agreed to by the architect.

"In my professional judgement and to the best of my knowledge and belief, these plans and specifications comply with F.B.C. 7th Edition (2020).

PROJECT ID:

1015

DRAWN BY:

AB

PRINT DATE:

06/30/22

SCALE:

DRAWING TITLE:

CONTEXT IMAGES

SHEET NO.

A002



6312 RIVIERA DRIVE
Scale: N.T.S.

6



6312 RIVIERA DRIVE
Scale: N.T.S.

3



6312 RIVIERA DRIVE
Scale: N.T.S.

5



6312 RIVIERA DRIVE
Scale: N.T.S.

2



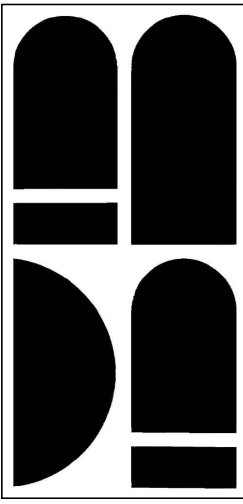
6312 RIVIERA DRIVE
Scale: N.T.S.

4



6312 RIVIERA DRIVE
Scale: N.T.S.

1



STUDIO ANDA

PROJECT TITLE:

RIVIERA RESIDENCE

PROJECT LOCATION:

6312 RIVIERA DRIVE
CORAL GABLES, FL 33146

PROJECT CLIENT/OWNER(S):

6312 LAND TRUST
SERVICES LLC TRS

ARCHITECT:

ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING:

ROCHELL ENGINEERING, INC
FL P.E. #60735

1500 NW 86 COURT, SUITE 212
DORAL, FL 33172

PH: (305)649-4049

MEP ENGINEERING:

ARPE ENGINEERING INC.
FL P.E. #60236

2020 PONCE DE LEONBLVD SUITE 1002
CORAL GABLES, FL 33134

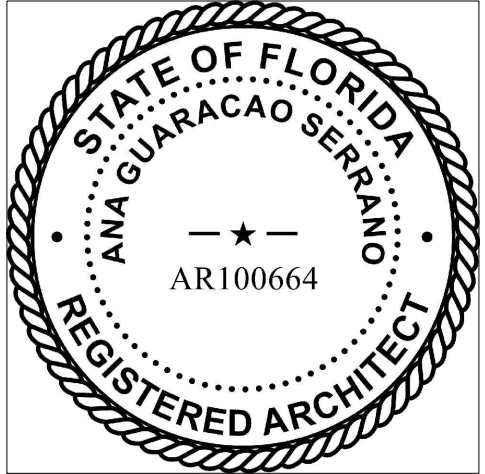
PH: (305)444 9809

LANDSCAPE ARCHITECT:

JUNGLES
2964 AVIATION AVENUE,
MIAMI, FL 33133

PH: (305) 858-677

PROFESSIONAL SEALS:



NO. DATE DESCRIPTION

SHEET ISSUE/ REVISION LOG

This drawing is the property of Studio Anda LLC unless otherwise provided for by contract. The contents of this drawing are confidential and shall not be transmitted to any other party except as agreed to by the architect.

*In my professional judgement and to the best of my knowledge and belief, these plans and specifications comply with F.B.C. 7th Edition (2020).

PROJECT ID:

1015

DRAWN BY:

AB

PRINT DATE:

06/30/22

SCALE:

DRAWING TITLE:

SITE PHOTOS

SHEET NO.

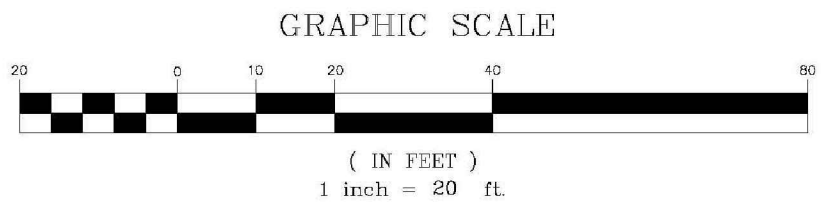
A003

ALTA / NSPS LAND TITLE SURVEY



ABBREVIATIONS AND LEGEND:

- F.E. = FLOOR ELEVATION
- C.L. = CENTER LINE
- B.L.G. = BUILDING
- CL. = CLEAR
- CONC. = CONCRETE
- R. = RADIUS
- SEC. = SECTION
- RES. = RESIDENCE
- R/W = RIGHT OF WAY
- DI. = DIAMETER
- F.I.P. = FOUND IRON PIPE
- P.B. = PLAT BOOK
- P.G. = PAGE
- COL. = COLUMN
- PL. = PROPERTY LINE
- NO ID = NO IDENTIFICATION NUMBER
- = CHAIN LINK FENCE
- = C.B.S. WALL
- = MEASURED
- ID = IDENTIFICATION
- ORB = OFFICIAL RECORDS BOOK
- U.E. = UTILITY EASEMENT
- W.V. = WATER VALVE
- S.C. = SANITARY CLEAOUT
- E.B. = ELECTRIC BOX
- G.V.A. = Guy Valve Anchor
- = SIGN
- MB = MAILBOX
- W.H. = WOOD HUBER PULL
- PH = Fire Hydrant
- W.M.V. = WATER METER VALVE
- Y.D. = YARD DRAIN
- L.P. = LIGHT POLE
- = LINE LIMITED FLOOD ZONE
- = PHONE BOX
- G.T. = GAS TANK
- B.F.P. = BACK FLOW PREVENTER
- = EXISTING ELEVATION
- = LINE LIMITED FLOOD ZONE



LEVEL TECH SURVEYORS, LLC
Professional Engineer and Mapper
STATE OF FLORIDA

LEVEL-TECH SURVEYORS, LLC
777 NW 72ND AVENUE
SUITE 3002, MIAMI,
FL 33126
TEL: (305) 261-8483
FAX: (305) 261-8781
LB # 7154

DRAWINGS ARE THE PROPERTY
OF LEVEL-TECH SURVEYORS,
LLC, AND MAY NOT BE USED BY
ANY OTHER PARTY WITHOUT THE
WRITING AND WITH THE
APPROPRIATE PERMISSION TO
LEVEL-TECH SURVEYORS, LLC

RECORD OF REVISIONS	
DATE	DESCRIPTION

NAME AND TYPE OF PROJECT	ALTA/NSPS LAND TITLE SURVEY
PROJECT LOCATION	6312 RIVIERA DR, FL 33146
CLIENT	CLIENT ADDRESS
CLIENT	CLIENT TELEPHONE
FILE PATH	FILE PATH

SCALE:	AS SHOWN
DATE:	03/17/2021
DRAWN BY:	J.P.
FIELD BOOK:	PH 21-02-9544
PROJECT No:	LT- 21-02-9544
SHEET:	1
OF 2 SHEETS	

PROJECT TITLE:
RIVIERA RESIDENCE

PROJECT LOCATION:
6312 RIVIERA DRIVE
CORAL GABLES, FL 33146

PROJECT CLIENT/OWNER(S):
6312 LAND TRUST
SERVICES LLC TRS

ARCHITECT:
ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING:
ROCHELL ENGINEERING, INC
FL P.E. #60735
1500 NW 86 COURT, SUITE 212
DORAL, FL 33172
PH: (305)649-4049

MEP ENGINEERING:
ARPE ENGINEERING INC.
FL P.E. #60236
2020 PONCE DE LEON BLVD SUITE 1002
CORAL GABLES, FL 33134
PH: (305)444 9809

LANDSCAPE ARCHITECT:
JUNGLES
2964 AVIATION AVENUE,
MIAMI, FL 33133
PH: (305) 858-677

PROFESSIONAL SEALS:

NO.	DATE	DESCRIPTION
SHEET ISSUE/ REVISION LOG		
This drawing is the property of Studio Anda LLC unless otherwise provided for by contract. The contents of this drawing are confidential and shall not be transmitted to any other party except as agreed to by the architect.		
*In my professional judgement and to the best of my knowledge and belief, these plans and specifications comply with F.B.C. 7th Edition (2020).		
PROJECT ID:	1015	DRAWN BY: AB
PRINT DATE:	06/30/22	SCALE:

DRAWING TITLE:
SURVEY

SHEET NO.
A004



PROJECT & ZONING DATA

SITE INFORMATION:

TYPE :SFR
FOLIO NUMBER :03-4129-028-0920
LOT AREA :66,649 Sq.Ft
LEGAL DESCRIPTION :

Lot 8, 9, 10, and 11, Block 257, Revised Plat of Coral Gables Riviera Section Part 11, according to the Plat thereof, as recorded in Plat Book 28, Page 23, of the Public Records of Miami-Dade County, Florida, together with all the land lying between the Southwest boundary of Lots 8, 9, 10 and 11, and between the Northwestern boundary line of Lot 8 and the Southeastern Boundary line of Lot 11, these last two lines projected to the water's edge of channel of the Coral Gables Waterway Yacht Basin;

FEMA FIRM ZONE : X - BASE FLOOR ELEVATION 0'-0"
AE - BASE FLOOD ELEVATION 11'-0"

GROUND COVERAGE:	MAX ALLOWED	EXISTING	PROPOSED
MAIN STRUCTURE	:35% (23,327 Sq.FT)	:14,421 Sq.FT	EXISTING TO REMAIN
AUX. STRUCTURE	:45% (10,497 Sq.FT)	:1,761 Sq.FT	:1,136 Sq.FT
TENNIS COURT		:5,516 Sq.FT	EXISTING TO REMAIN
TOTAL	:33,824 Sq.FT	:21,698 Sq.FT	:22,834 Sq.FT

F.A.R.	MAX ALLOWED	EXISTING	PROPOSED
48% OF 5,000	:2,400 Sq.FT		
35% OF NEXT 5,000	:1,750 Sq.FT		
30% OF REMAINING	:16,995 Sq.FT		
TOTAL	:21,145 Sq.FT Max	:17,819 Sq.FT	:20,753 Sq.FT

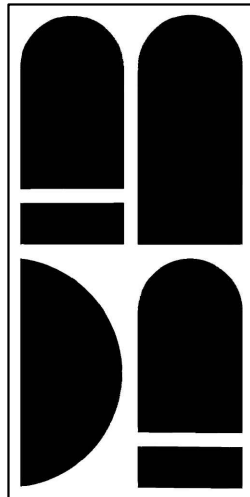
LANDSCAPE OPEN SPACE	MIN. REQUIRED	PROPOSED
40% OF BUILDING SITE	:26,660 Sq.FT	:40,049 Sq.FT
20% FRONT YARD SPACE	:5,332 Sq.FT	:7,495 Sq.FT

MAIN BUILDING

SETBACKS:	REQUIRED	PROPOSED
FRONT	:25'	EXISTING TO REMAIN
SIDE INTERIOR	:20% / 5'	EXISTING TO REMAIN
WATERWAY	:35'	EXISTING TO REMAIN

BUILDING HEIGHT:

MAX ALLOWED	MAX PROPOSED
:25' (TO EAVE)	EXISTING TO REMAIN



STUDIO ANDA

PROJECT TITLE:

RIVIERA RESIDENCE

PROJECT LOCATION:

6312 RIVIERA DRIVE
CORAL GABLES, FL 33146

PROJECT CLIENT/OWNER(S):

6312 LAND TRUST
SERVICES LLC TRS

ARCHITECT:

ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING:

ROCHELL ENGINEERING, INC
FL P.E. #60735
1500 NW 86 COURT, SUITE 212
DORAL, FL 33172
PH: (305)649-4049

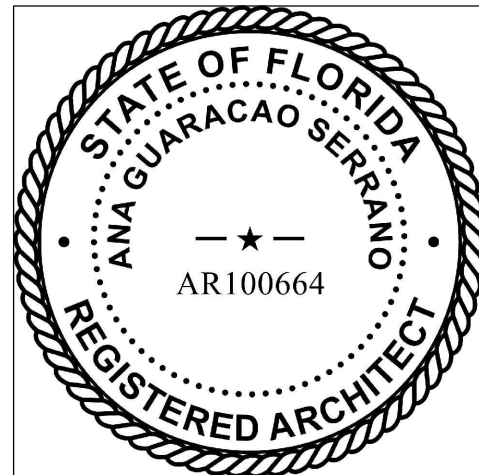
MEP ENGINEERING:

ARPE ENGINEERING INC.
FL P.E. #60236
2020 PONCE DE LEONBLVD SUITE 1002
CORAL GABLES, FL 33134
PH: (305)444 9809

LANDSCAPE ARCHITECT:

JUNGLES
2964 AVIATION AVENUE,
MIAMI, FL 33133
PH: (305) 858-677

PROFESSIONAL SEALS:



NO. DATE DESCRIPTION

SHEET ISSUE/ REVISION LOG

This drawing is the property of Studio Anda LLC unless otherwise provided for by contract. The contents of this drawing are confidential and shall not be transmitted to any other party except as agreed to by the architect.

"In my professional judgement and to the best of my knowledge and belief, these plans and specifications comply with F.B.C. 7th Edition (2020).

PROJECT ID: 1015
DRAWN BY: AB

PRINT DATE: 06.30.22
SCALE: 3/16"-1'-0"

DRAWING TITLE:

SITE
PLAN

SHEET NO.

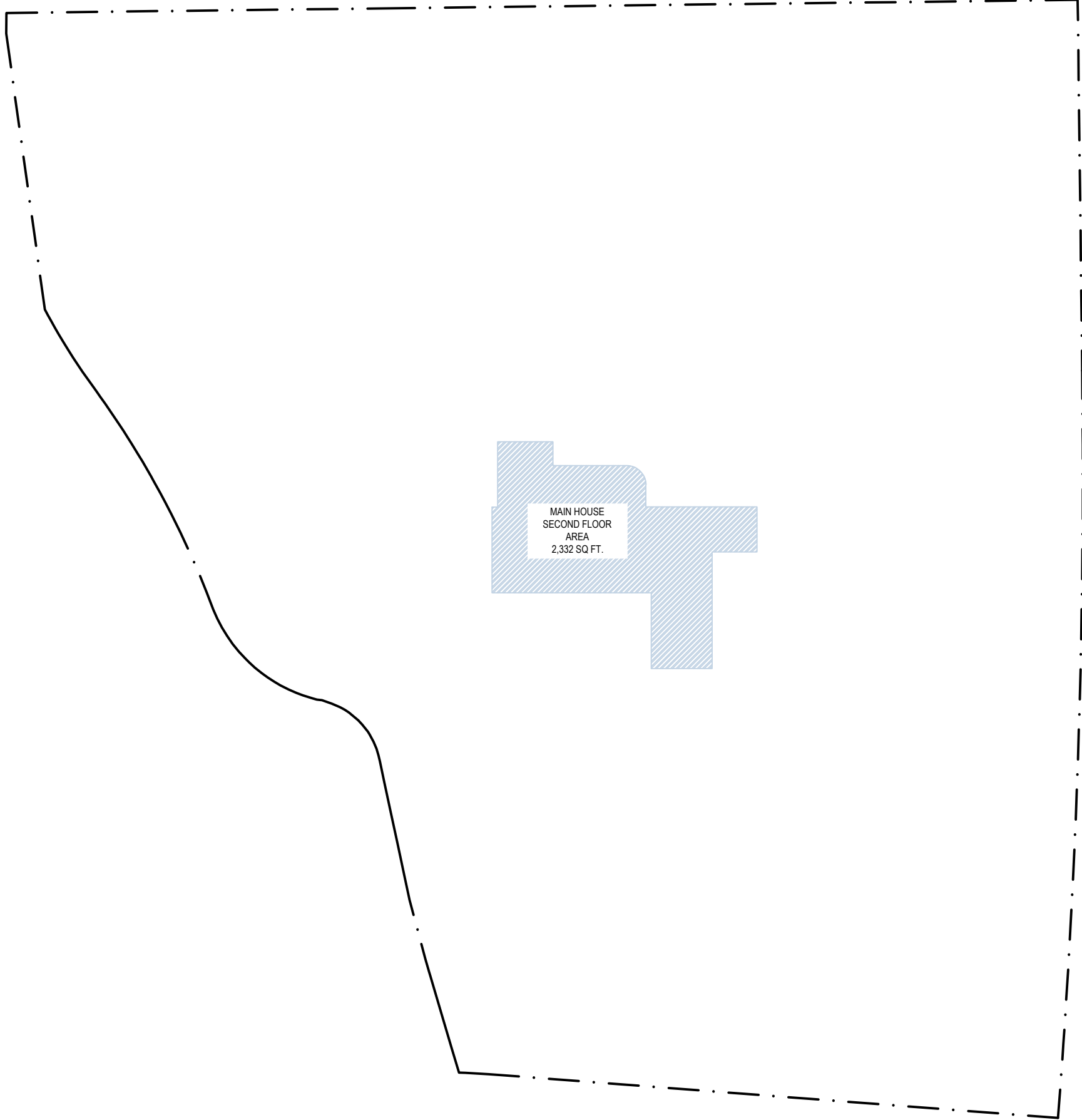
A100



SITE PLAN

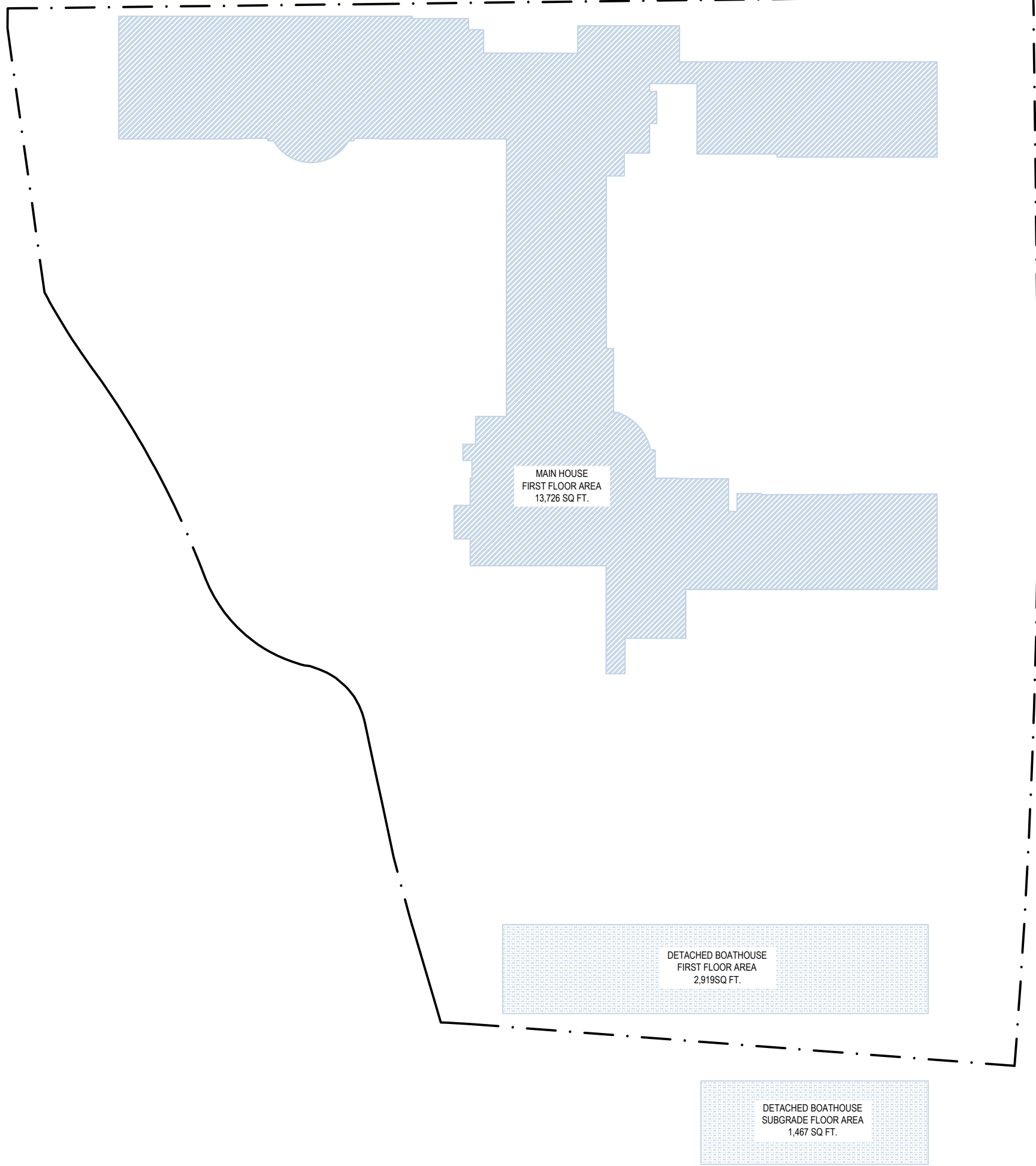
Scale: 1/16" = 1'-0"

1



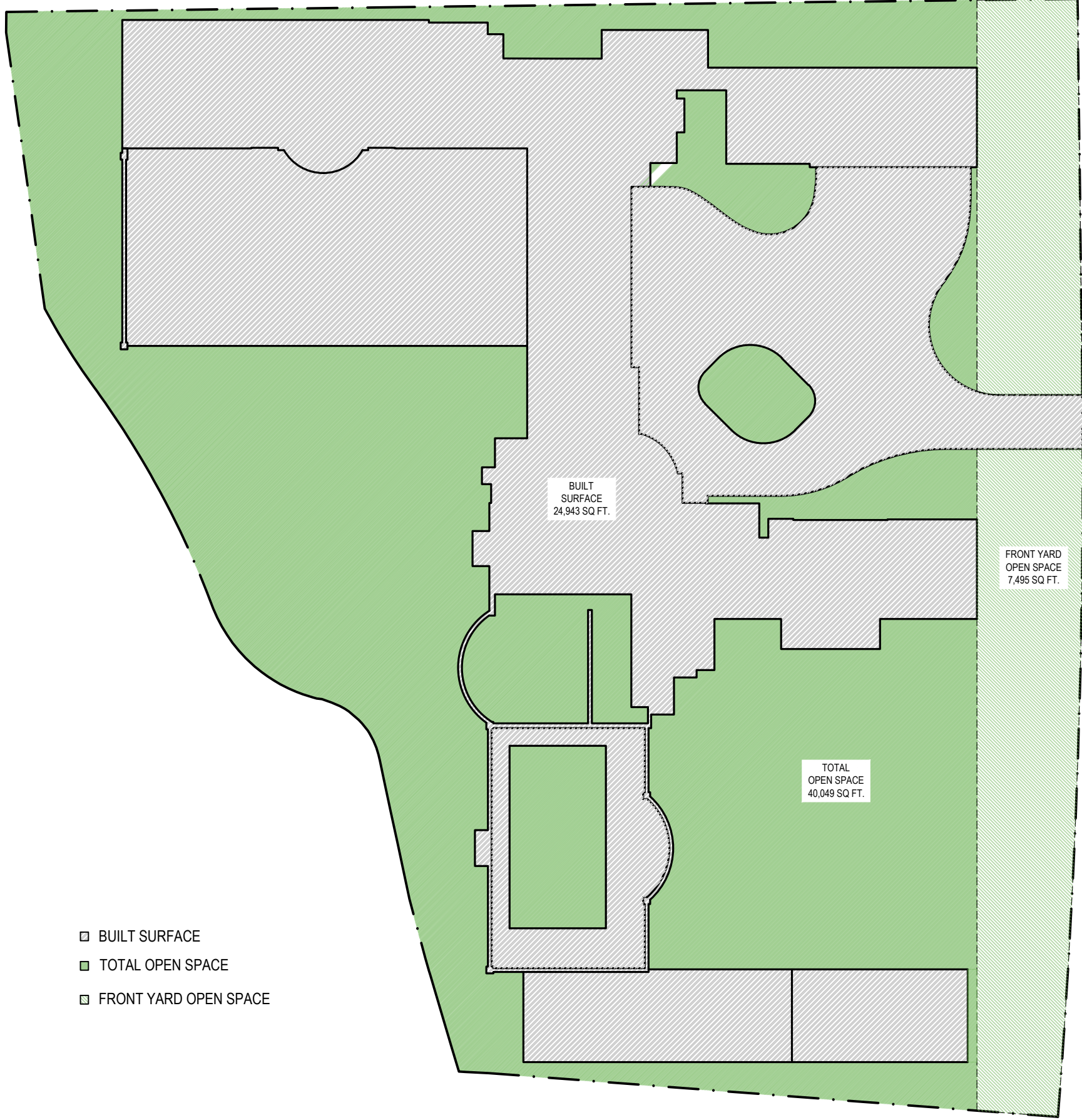
FLOOR AREA CALCULATIONS - SECOND FLOOR
Scale: 1/32" = 1'-0"

4



FLOOR AREA CALCULATIONS - FIRST FLOOR
Scale: 1/32" = 1'-0"

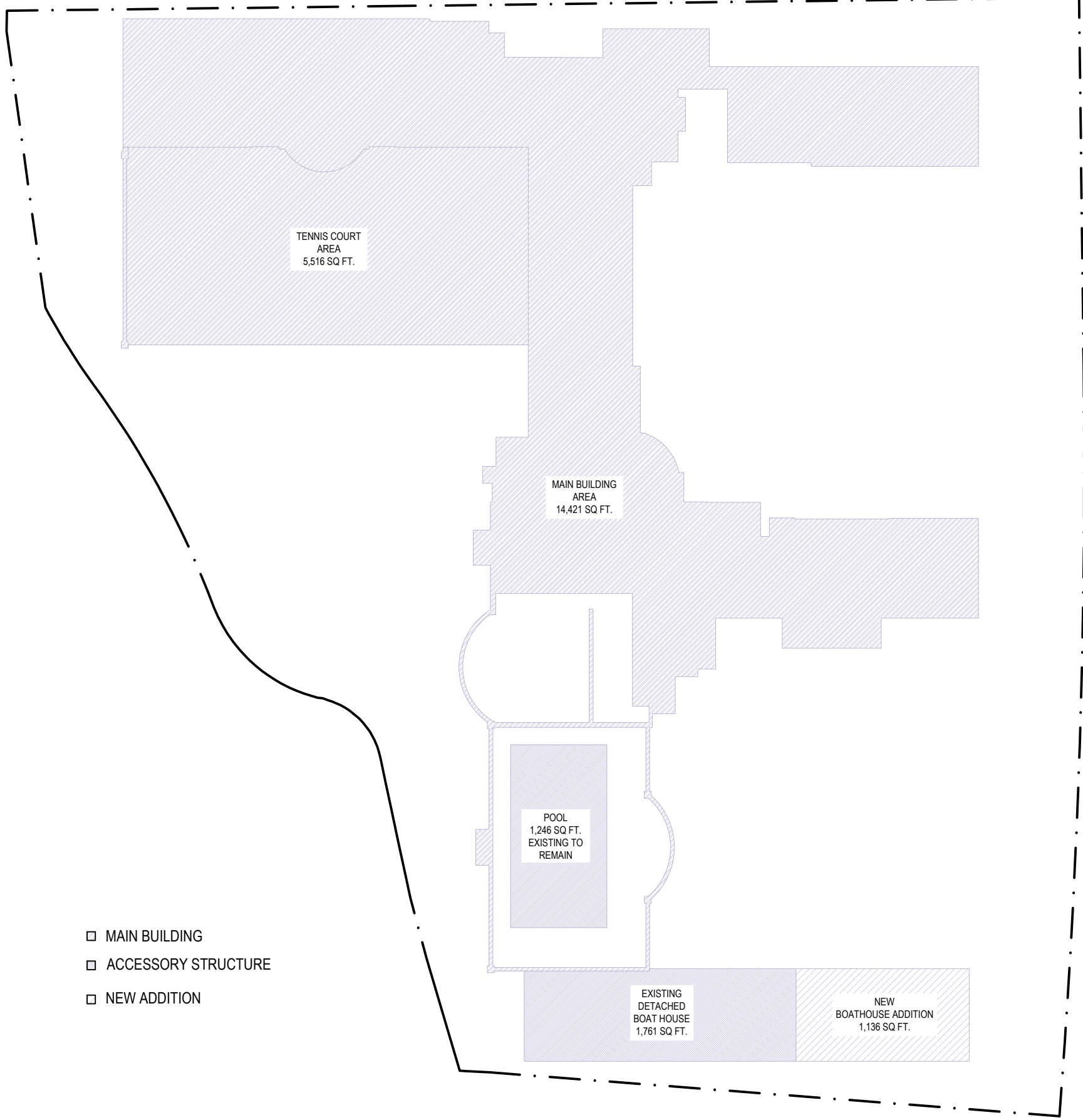
3



- BUILT SURFACE
- TOTAL OPEN SPACE
- FRONT YARD OPEN SPACE

OPEN SPACE DIAGRAMS
Scale: 1/32" = 1'-0"

2



- MAIN BUILDING
- ACCESSORY STRUCTURE
- NEW ADDITION

GROUND COVERAGE DIAGRAMS
Scale: 1/32" = 1'-0"

1

PROJECT & ZONING DATA

SITE INFORMATION:
TYPE :SFR
FOLIO NUMBER :03-4129-028-0920
LOT AREA :66,649 Sq.Ft
LEGAL DESCRIPTION :

Lot 8, 9, 10, and 11, Block 257, Revised Plat of Coral Gables Riviera Section Part 11, according to the Plat thereof, as recorded in Plat Book 28, Page 23, of the Public Records of Miami-Dade County, Florida, together with all the land lying between the Southwest boundary of Lots 8, 9, 10 and 11, and between the Northwestern boundary line of Lot 8 and the Southeastern Boundary line of Lot 11, these last two lines projected to the water's edge of channel of the Coral Gables Waterway Yacht Basin;

FEMA FIRM ZONE : X - BASE FLOOR ELEVATION 0'-0"
AE - BASE FLOOD ELEVATION 11'-0"

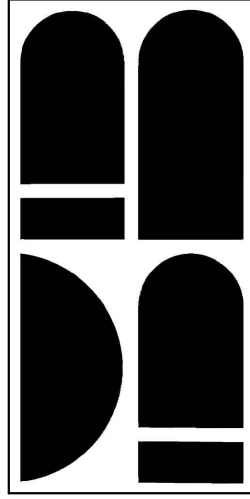
GROUND COVERAGE:	MAX ALLOWED	EXISTING	PROPOSED
MAIN STRUCTURE	:35% (23,327 Sq.FT)	:14,421 Sq.FT	EXISTING TO REMAIN
AUX. STRUCTURE	:45% (10,497 Sq.FT)	:1,761 Sq.FT	:1,136 Sq.FT
TENNIS COURT		:5,516 Sq.FT	EXISTING TO REMAIN
TOTAL	:33,824 Sq.FT	:21,698 Sq.FT	:22,834 Sq.FT

F.A.R.	MAX ALLOWED	EXISTING	PROPOSED
48% OF 5,000	:2,400 Sq.FT		
35% OF NEXT 5,000	:1,750 Sq.FT		
30% OF REMAINING	:16,995 Sq.FT		
TOTAL	:21,145 Sq.FT Max	:17,819 Sq.FT	:20,753 Sq.FT

LANDSCAPE OPEN SPACE	MIN. REQUIRED	PROPOSED
40% OF BUILDING SITE	:26,660 Sq.FT	:40,049 Sq.FT
20% FRONT YARD SPACE	:5,332 Sq.FT	:7,495 Sq.FT

MAIN BUILDING SETBACKS:	REQUIRED	PROPOSED
FRONT	:25'	EXISTING TO REMAIN
SIDE INTERIOR	:20% / 5'	EXISTING TO REMAIN
WATERWAY	:35'	EXISTING TO REMAIN

BUILDING HEIGHT:	MAX ALLOWED	MAX PROPOSED
	:25' (TO EAVE)	EXISTING TO REMAIN



STUDIO ANDA

PROJECT TITLE:
RIVIERA RESIDENCE

PROJECT LOCATION:
6312 RIVIERA DRIVE
CORAL GABLES, FL 33146

PROJECT CLIENT/OWNER(S):
6312 LAND TRUST
SERVICES LLC TRS

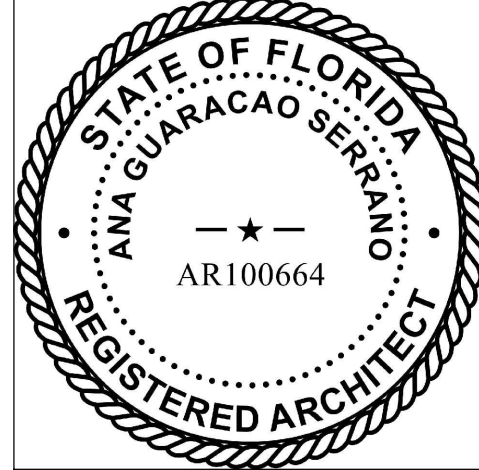
ARCHITECT:
ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING:
ROCHELL ENGINEERING, INC
FL P.E. #60735
1500 NW 86 COURT, SUITE 212
DORAL, FL 33172
PH: (305)649-4049

MEP ENGINEERING:
ARPE ENGINEERING INC.
FL P.E. #60236
2020 PONCE DE LEONBLVD SUITE 1002
CORAL GABLES, FL 33134
PH: (305)444 9809

LANDSCAPE ARCHITECT:
JUNGLES
2964 AVIATION AVENUE,
MIAMI, FL 33133
PH: (305) 858-677

PROFESSIONAL SEALS:



NO. DATE DESCRIPTION

SHEET ISSUE/ REVISION LOG

This drawing is the property of Studio Anda LLC unless otherwise provided for by contract. The contents of this drawing are confidential and shall not be transmitted to any other party except as agreed to by the architect.

*In my professional judgement and to the best of my knowledge and belief, these plans and specifications comply with F.B.C. 7th Edition (2020).

PROJECT ID: 1015
DRAWN BY: AB

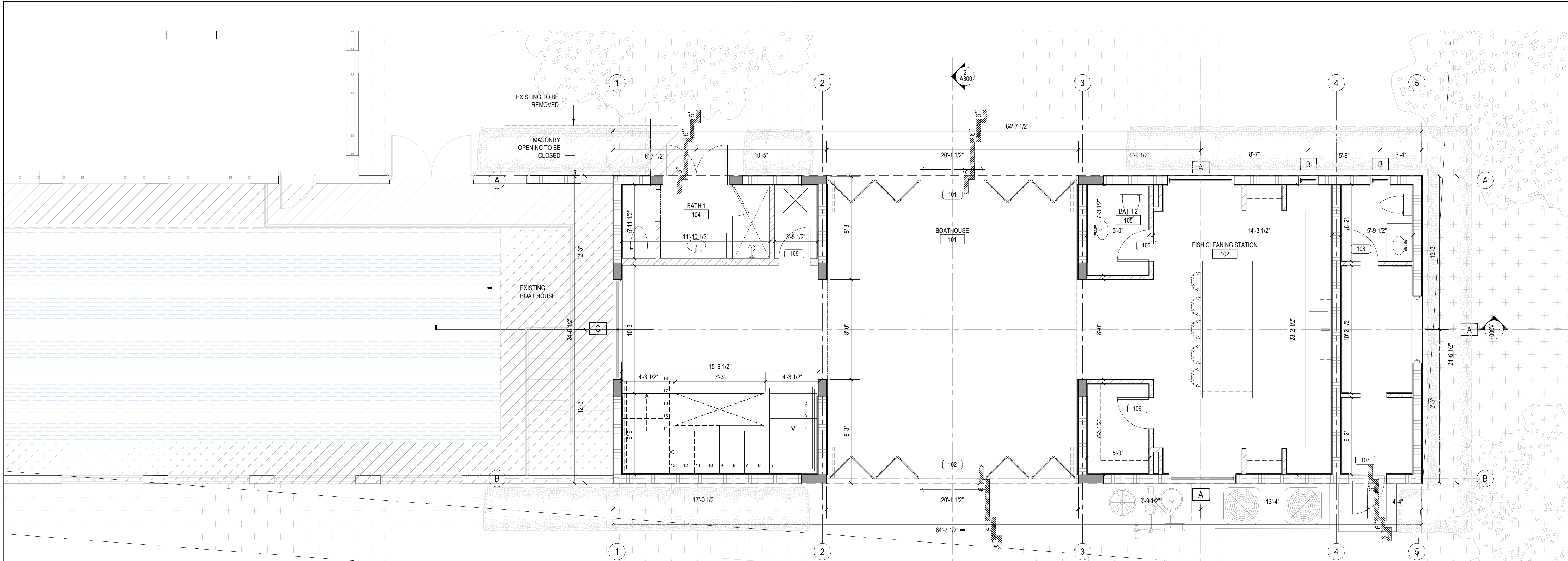
PRINT DATE: 06.30.22
SCALE:

DRAWING TITLE:

ZONING
DATA

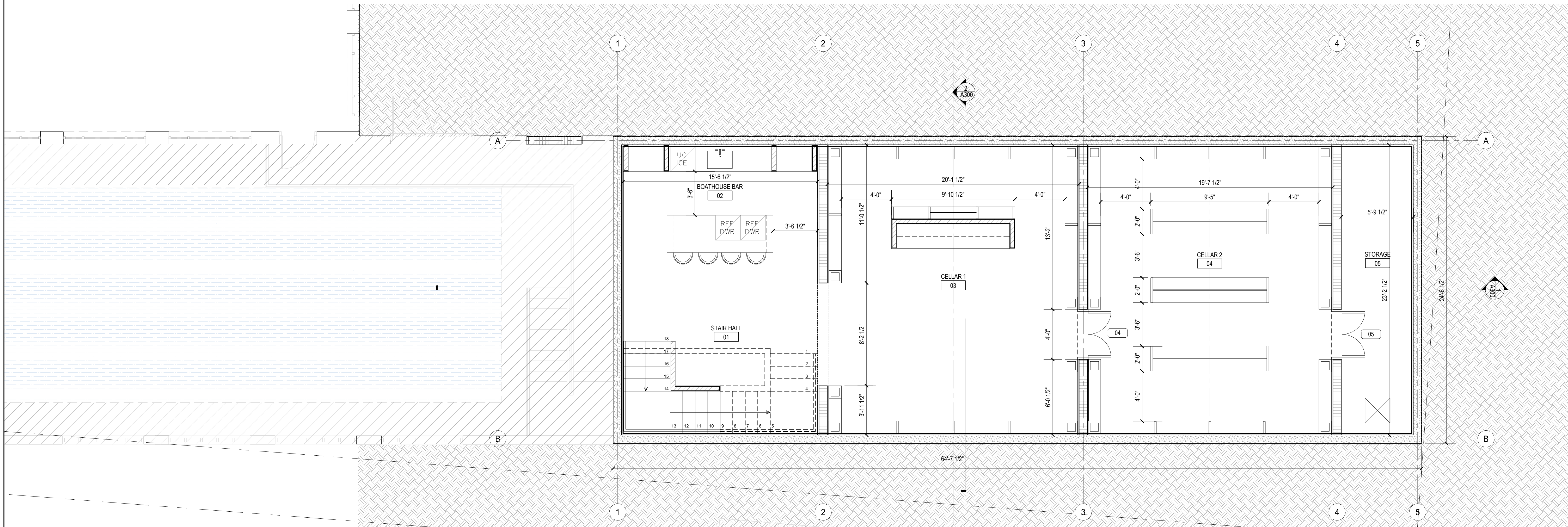
SHEET NO.

A100B



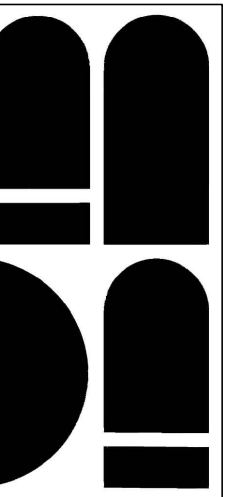
PROPOSED FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

2



PROPOSED UNDERGROUND PLAN
Scale: 1/4" = 1'-0"

1



STUDIO ANDA

PROJECT TITLE:

RIVIERA RESIDENCE

PROJECT LOCATION:

6312 RIVIERA DRIVE
CORAL GABLES, FL 33146

PROJECT CLIENT/OWNER(S):

6312 LAND TRUST
SERVICES LLC TRS

ARCHITECT:

ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING:

ROCHELL ENGINEERING, INC
FL P.E. #60735
1500 NW 86 COURT, SUITE 212
DORAL, FL 33172
PH: (305)649-4049

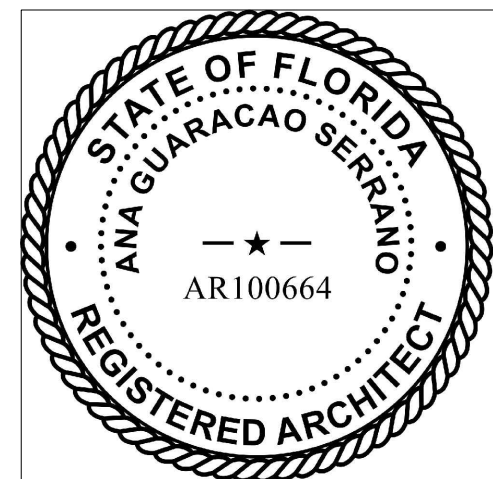
MEP ENGINEERING:

ARPE ENGINEERING INC.
FL P.E. #60236
2020 PONCE DE LEON BLVD SUITE 1002
CORAL GABLES, FL 33134
PH: (305)444 9809

LANDSCAPE ARCHITECT:

JUNGLES
2964 AVIATION AVENUE,
MIAMI, FL 33133
PH: (305) 858-677

PROFESSIONAL SEALS:



NO. DATE DESCRIPTION

SHEET ISSUE/ REVISION LOG

This drawing is the property of Studio Anda LLC unless otherwise provided for by contract. The contents of this drawing are confidential and shall not be transmitted to any other party except as agreed to by the architect.

"In my professional judgement and to the best of my knowledge and belief, these plans and specifications comply with F.B.C. 7th Edition (2020).

PROJECT ID:

1015

DRAWN BY:

AB

PRINT DATE:

06.30.22

SCALE:

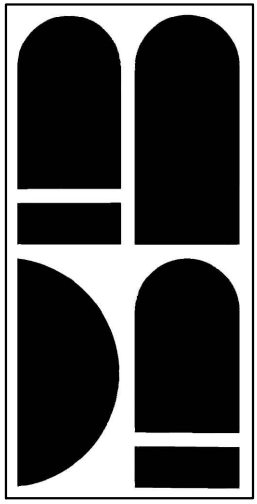
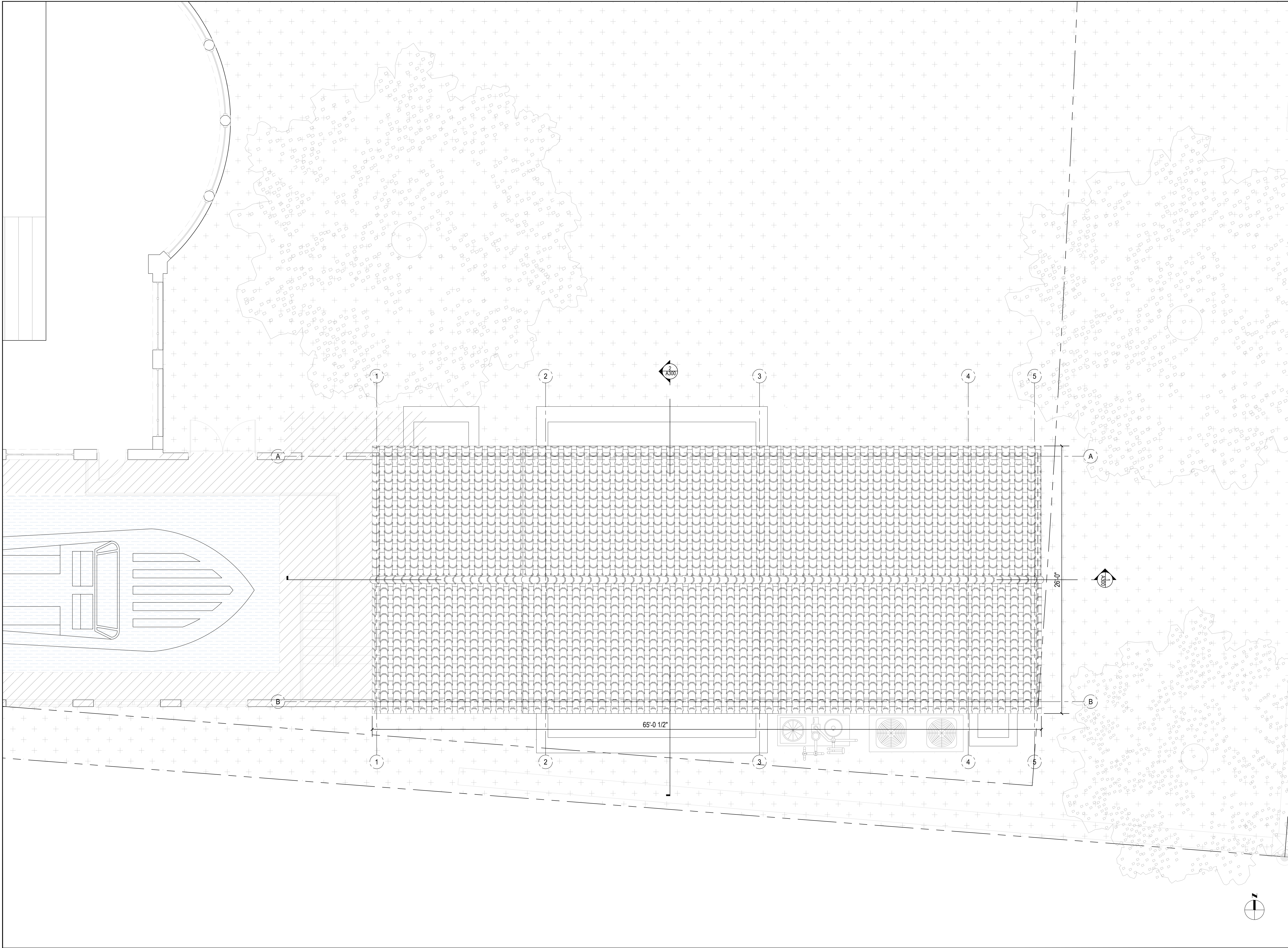
1/4"-1'-0"

DRAWING TITLE:

FLOOR PLANS

SHEET NO.

A101



STUDIO ANDA

PROJECT TITLE:

RIVIERA RESIDENCE

PROJECT LOCATION:

6312 RIVIERA DRIVE
CORAL GABLES, FL 33146

PROJECT CLIENT/OWNER(S):

6312 LAND TRUST
SERVICES LLC TRS

ARCHITECT:

ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING:

ROCHELL ENGINEERING, INC
FL P.E. #60735
1500 NW 86 COURT, SUITE 212
DORAL, FL 33172
PH: (305)649-4049

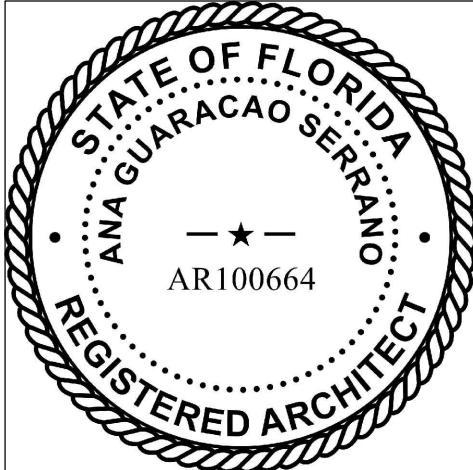
MEP ENGINEERING:

ARPE ENGINEERING INC.
FL P.E. #60236
2020 PONCE DE LEONBLVD SUITE 1002
CORAL GABLES, FL 33134
PH: (305)444 9809

LANDSCAPE ARCHITECT:

JUNGLES
2964 AVIATION AVENUE,
MIAMI, FL 33133
PH: (305) 858-677

PROFESSIONAL SEALS:



NO. DATE DESCRIPTION

SHEET ISSUE/ REVISION LOG

This drawing is the property of Studio Anda LLC unless otherwise provided for by contract. The contents of this drawing are confidential and shall not be transmitted to any other party except as agreed to by the architect.

"In my professional judgement and to the best of my knowledge and belief, these plans and specifications comply with F.B.C. 7th Edition (2020).

PROJECT ID:

1015

DRAWN BY:

AB

PRINT DATE:

06.30.22

SCALE:

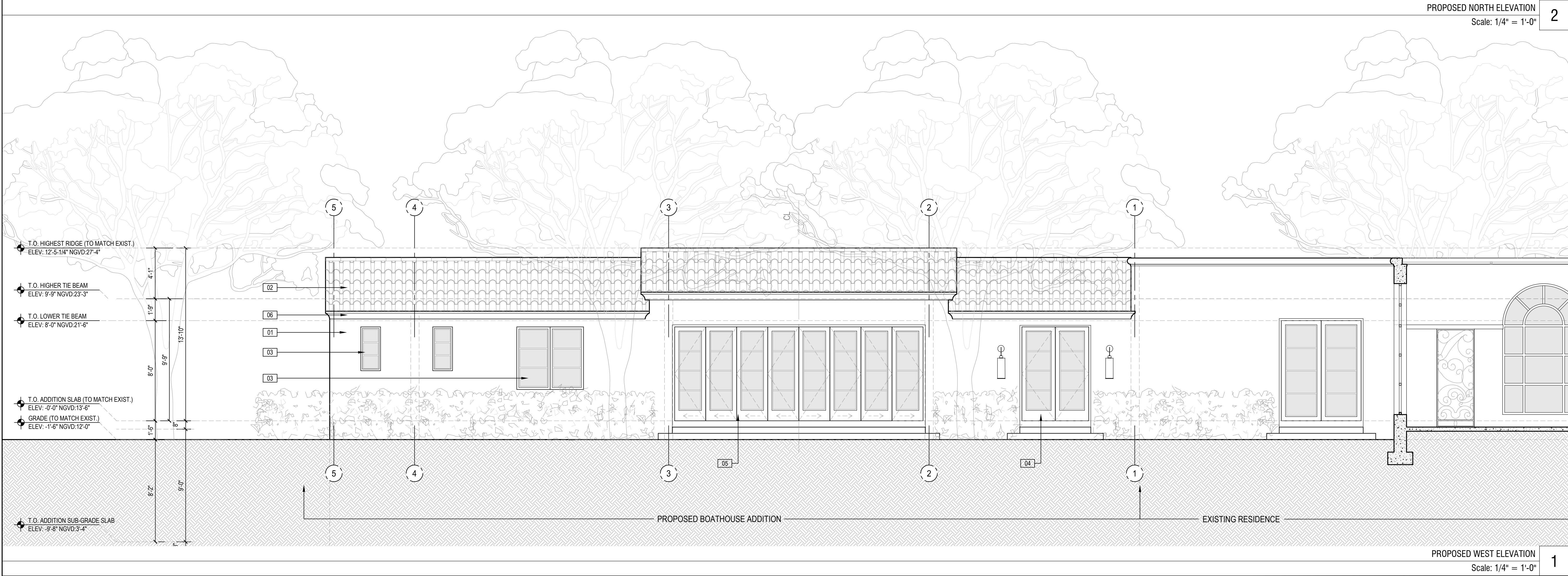
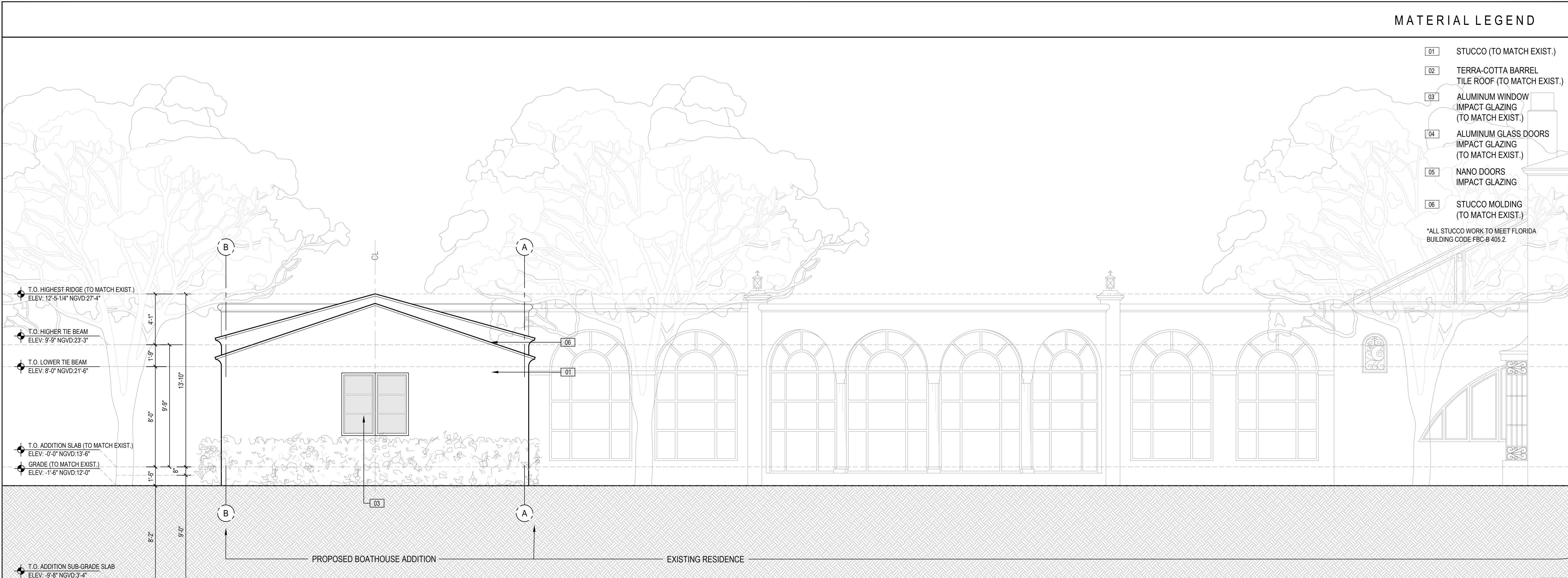
3/16"=1'-0"

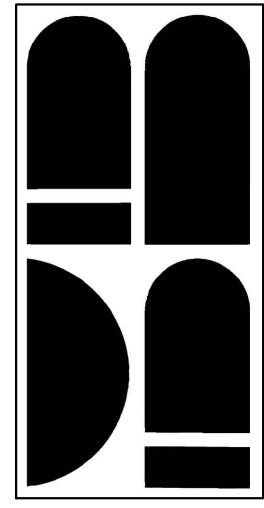
DRAWING TITLE:

ROOF
PLAN

SHEET NO.

A102





STUDIO ANDA

PROJECT TITLE:

RIVIERA RESIDENCE

PROJECT LOCATION:

6312 RIVIERA DRIVE
CORAL GABLES, FL 33146

PROJECT CLIENT/OWNER(S):

6312 LAND TRUST
SERVICES LLC TRS

ARCHITECT:

ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING:

ROCHELL ENGINEERING, INC
FL P.E. #60735
1500 NW 86 COURT, SUITE 212
DORAL, FL 33172
PH: (305)649-4049

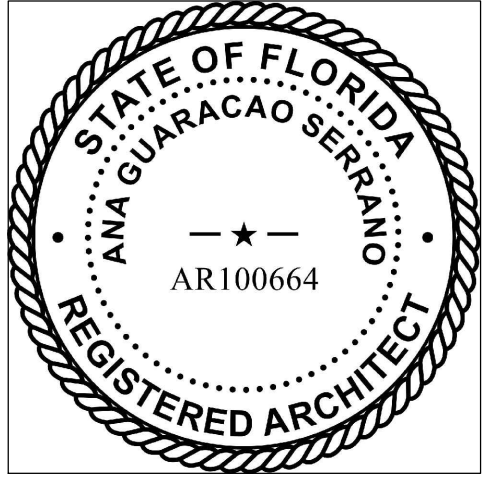
MEP ENGINEERING:

ARPE ENGINEERING INC.
FL P.E. #60236
2020 PONCE DE LEONBLVD SUITE 1002
CORAL GABLES, FL 33134
PH: (305)444 9809

LANDSCAPE ARCHITECT:

JUNGLES
2964 AVIATION AVENUE,
MIAMI, FL 33133
PH: (305) 858-677

PROFESSIONAL SEALS:



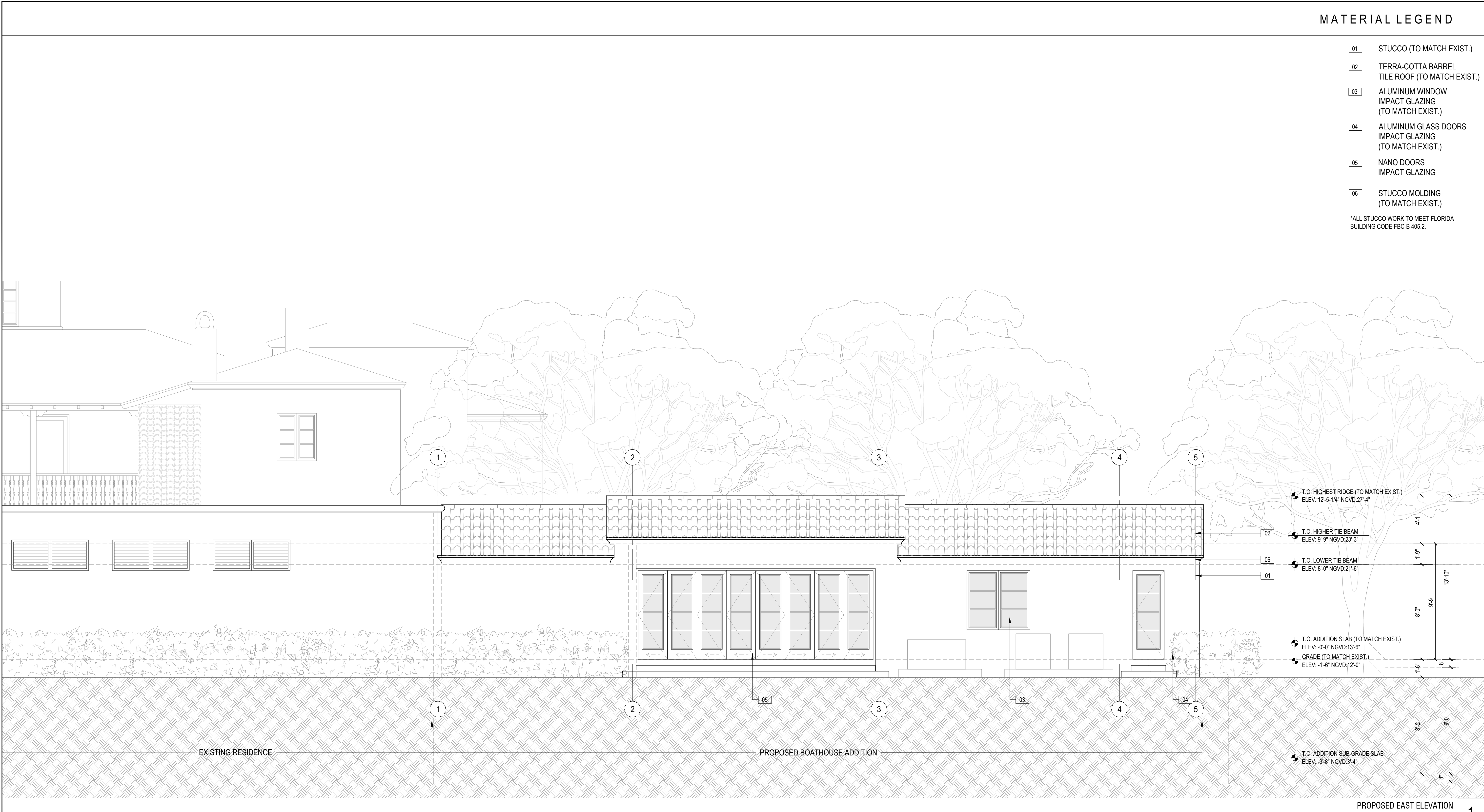
NO.	DATE	DESCRIPTION
SHEET ISSUE/ REVISION LOG		
This drawing is the property of Studio Anda LLC unless otherwise provided for by contract. The contents of this drawing are confidential and shall not be transmitted to any other party except as agreed to by the architect.		
*In my professional judgement and to the best of my knowledge and belief, these plans and specifications comply with F.B.C. 7th Edition (2020).		
PROJECT ID:	1015	DRAWN BY: AB
PRINT DATE:	06.30.22	SCALE: 3/16"-1'-0"

DRAWING TITLE:

PROPOSED
ELEVATION

SHEET NO.

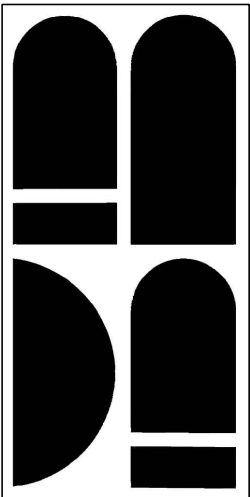
A201



MATERIAL LEGEND

- 01 STUCCO (TO MATCH EXIST.)
- 02 TERRA-COTTA BARREL TILE ROOF (TO MATCH EXIST.)
- 03 ALUMINUM WINDOW IMPACT GLAZING (TO MATCH EXIST.)
- 04 ALUMINUM GLASS DOORS IMPACT GLAZING (TO MATCH EXIST.)
- 05 NANO DOORS IMPACT GLAZING
- 06 STUCCO MOLDING (TO MATCH EXIST.)

*ALL STUCCO WORK TO MEET FLORIDA BUILDING CODE FBC-B 405.2.



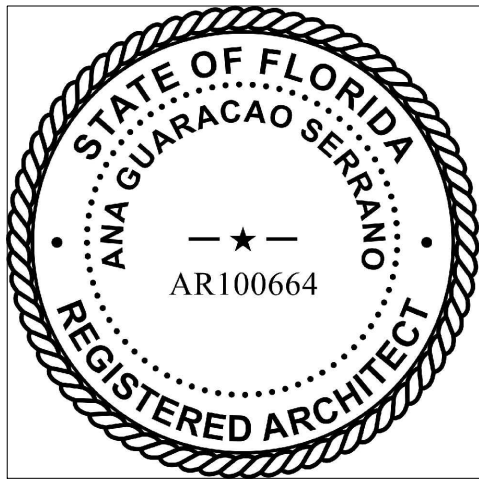
PROJECT TITLE:
RIVIERA RESIDENCE

PROJECT LOCATION:
6312 RIVIERA DRIVE
CORAL GABLES, FL 33146

PROJECT CLIENT/OWNER(S):
6312 LAND TRUST
SERVICES LLC TRS

ARCHITECT:
ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454
STRUCTURAL ENGINEERING:
ROCHELL ENGINEERING, INC
FL P.E. #60735
1500 NW 86 COURT, SUITE 212
DORAL, FL 33172
PH: (305)649-4049
MEP ENGINEERING:
ARPE ENGINEERING INC.
FL P.E. #60236
2020 PONCE DE LEON BLVD SUITE 1002
CORAL GABLES, FL 33134
PH: (305)444 9809
LANDSCAPE ARCHITECT:
JUNGLES
2964 AVIATION AVENUE,
MIAMI, FL 33133
PH: (305) 858-677

PROFESSIONAL SEALS:



NO.	DATE	DESCRIPTION
SHEET ISSUE/ REVISION LOG		

This drawing is the property of Studio Anda LLC unless otherwise provided for by contract. The contents of this drawing are confidential and shall not be transmitted to any other party except as agreed to by the architect.

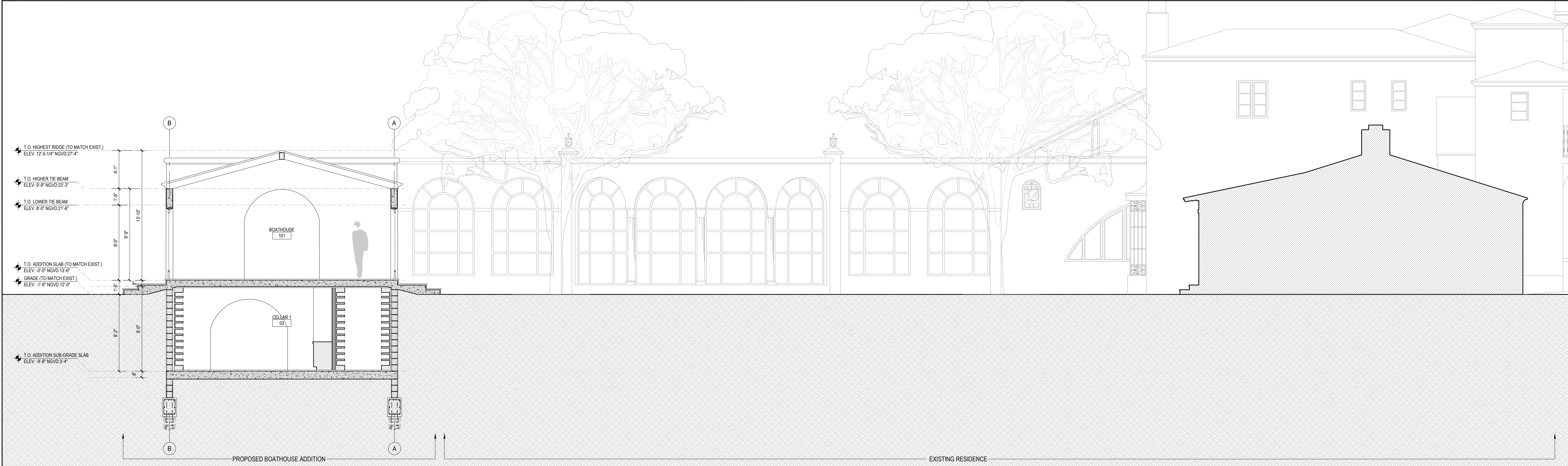
*In my professional judgement and to the best of my knowledge and belief, these plans and specifications comply with F.B.C. 7th Edition (2020).

PROJECT ID: 1015	DRAWN BY: AB
PRINT DATE: 06.30.22	SCALE: 3/16"-1'-0"

DRAWING TITLE:
PROPOSED
ELEVATION

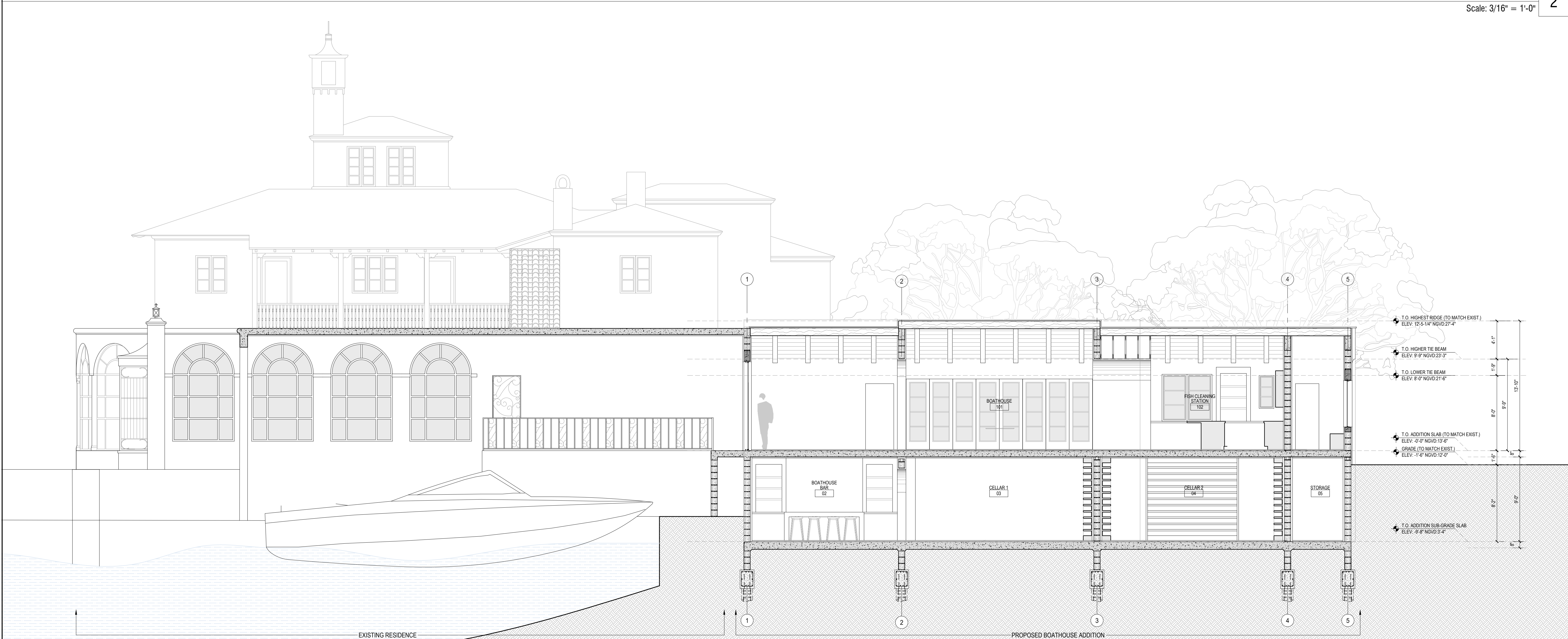
SHEET NO.

A202



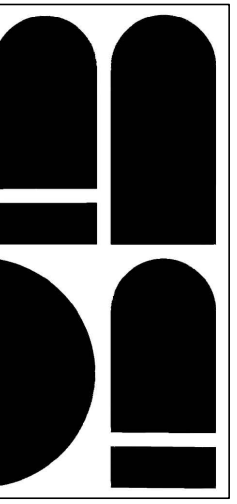
CROSS SECTION
Scale: 3/16" = 1'-0"

2



LONGITUDINAL SECTION
Scale: 3/16" = 1'-0"

1



STUDIO ANDA

PROJECT TITLE:

RIVIERA RESIDENCE

PROJECT LOCATION:

6312 RIVIERA DRIVE
CORAL GABLES, FL 33146

PROJECT CLIENT/OWNER(S):

6312 LAND TRUST
SERVICES LLC TRS

ARCHITECT:

ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING:

ROCHELL ENGINEERING, INC
FL P.E. #60735
1500 NW 86 COURT, SUITE 212
DORAL, FL 33172
PH: (305)649-4049

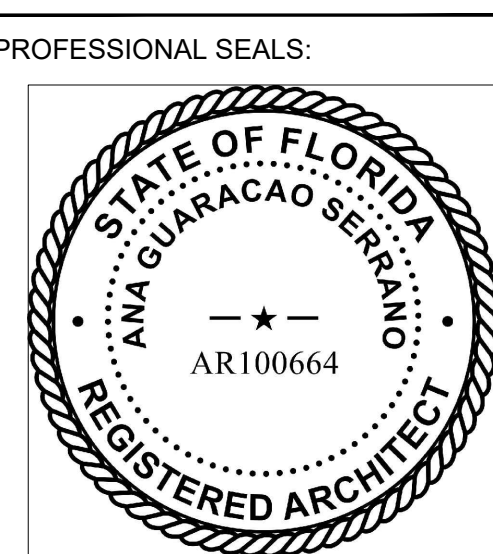
MEP ENGINEERING:

ARPE ENGINEERING INC.
FL P.E. #50236
2020 PONCE DE LEONBLVD SUITE 1002
CORAL GABLES, FL 33134
PH: (305)444 9809

LANDSCAPE ARCHITECT:

JUNGLES
2964 AVIATION AVENUE,
MIAMI, FL 33133
PH: (305) 858-677

PROFESSIONAL SEALS:



NO. DATE DESCRIPTION

SHEET ISSUE/ REVISION LOG

This drawing is the property of Studio Anda LLC unless otherwise provided for by contract. The contents of this drawing are confidential and shall not be transmitted to any other party except as agreed to by the architect.

*In my professional judgement and to the best of my knowledge and belief, these plans and specifications comply with F.B.C. 7th Edition (2020).

PROJECT ID:

1015

DRAWN BY:

AB

PRINT DATE:

06.30.22

SCALE:

1/4"=1'-0"

DRAWING TITLE:

SECTIONS

SHEET NO.

A300



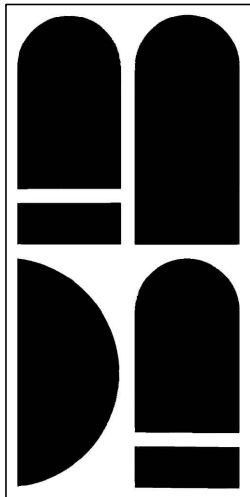
EXISTING NORTH ELEVATION
N.T.S.

2



PROPOSED NORTH ELEVATION
N.T.S.

1



STUDIO ANDA

PROJECT TITLE:

RIVIERA RESIDENCE

PROJECT LOCATION:

6312 RIVIERA DRIVE
CORAL GABLES, FL 33146

PROJECT CLIENT/OWNER(S):

6312 LAND TRUST
SERVICES LLC TRS

ARCHITECT:

ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING:

ROCHELL ENGINEERING, INC
FL P.E. #60735
1500 NW 86 COURT, SUITE 212
DORAL, FL 33172
PH: (305)649-4049

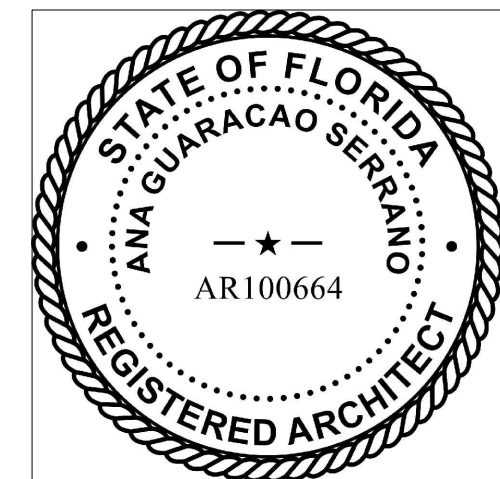
MEP ENGINEERING:

ARPE ENGINEERING INC.
FL P.E. #60236
2020 PONCE DE LEONBLVD SUITE 1002
CORAL GABLES, FL 33134
PH: (305)444 9809

LANDSCAPE ARCHITECT:

JUNGLES
2964 AVIATION AVENUE,
MIAMI, FL 33133
PH: (305) 858-677

PROFESSIONAL SEALS:



NO. DATE DESCRIPTION

SHEET ISSUE/ REVISION LOG

This drawing is the property of Studio Anda LLC unless otherwise provided for by contract. The contents of this drawing are confidential and shall not be transmitted to any other party except as agreed to by the architect.

"In my professional judgement and to the best of my knowledge and belief, these plans and specifications comply with F.B.C. 7th Edition (2020).

PROJECT ID:

1015

DRAWN BY:

AB

PRINT DATE:

06/30/22

SCALE:

3/16"-1'-0"

DRAWING TITLE:

EXIST. & PROPOSED
ELEVATIONS

SHEET NO.

AR200



MATERIAL LEGEND

- 01

STUCCO (TO MATCH EXIST.)
- 02

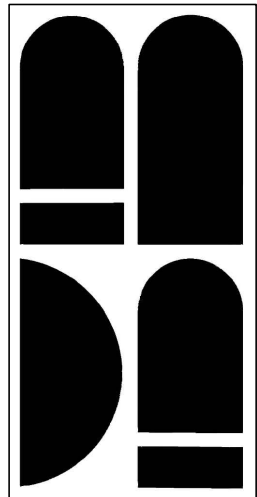
TERRA-COTTA BARREL TILE ROOF (TO MATCH EXIST.)
- 03

ALUMINUM WINDOW IMPACT GLAZING (TO MATCH EXIST.)
- 04

ALUMINUM GLASS DOORS IMPACT GLAZING (TO MATCH EXIST.)
- 05

NANO DOORS IMPACT GLAZING
- 06

STUCCO MOLDING (TO MATCH EXIST.)
- *ALL STUCCO WORK TO MEET FLORIDA BUILDING CODE FBC-B 405.2.



STUDIO ANDA

PROJECT TITLE:
RIVIERA RESIDENCE

PROJECT LOCATION:
6312 RIVIERA DRIVE
CORAL GABLES, FL 33146

PROJECT CLIENT/OWNER(S):
6312 LAND TRUST
SERVICES LLC TRS

ARCHITECT:
ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING:
ROCHELL ENGINEERING, INC
FL P.E. #60735
1500 NW 86 COURT, SUITE 212
DORAL, FL 33172
PH: (305)649-4049

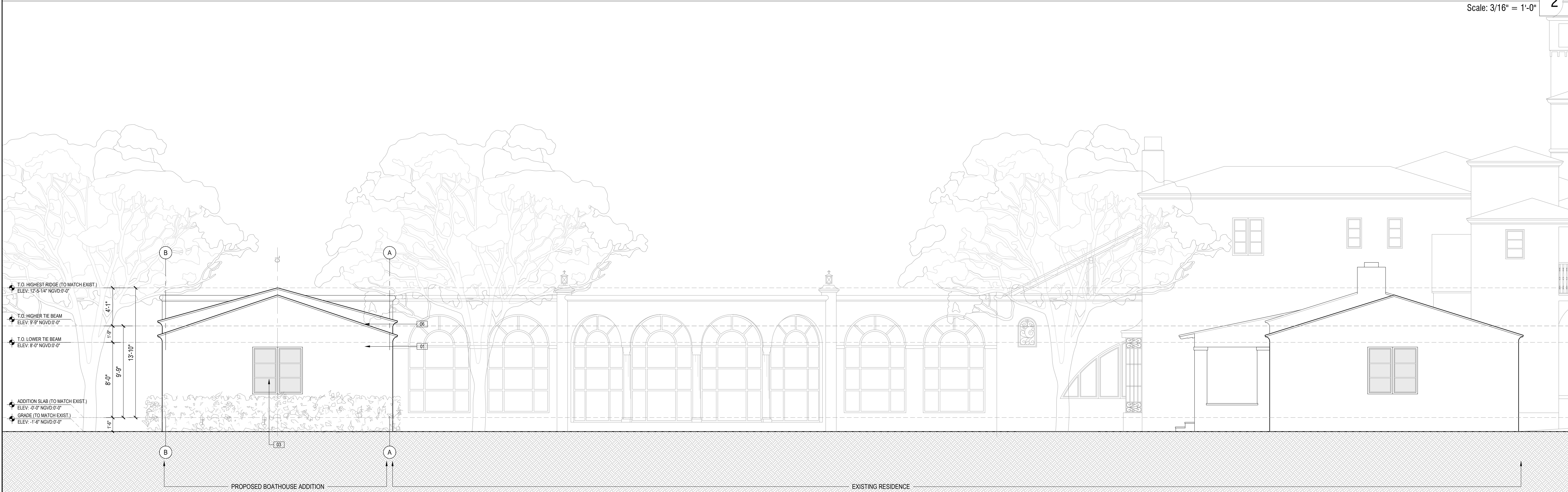
MEP ENGINEERING:
ARPE ENGINEERING INC.
FL P.E. #60236
2020 PONCE DE LEONBLVD SUITE 1002
CORAL GABLES, FL 33134
PH: (305)444 9809

LANDSCAPE ARCHITECT:
JUNGLES
2964 AVIATION AVENUE,
MIAMI, FL 33133
PH: (305) 858-677



EXISTING NORTH ELEVATION
Scale: 3/16" = 1'-0"

2



- T.O. HIGHEST RIDGE (TO MATCH EXIST.)

ELEV. 12'-5 1/4" NGVD 0'-0"
- T.O. HIGHER TIE BEAM

ELEV. 9'-9" NGVD 0'-0"
- T.O. LOWER TIE BEAM

ELEV. 8'-0" NGVD 0'-0"
- ADDITION SLAB (TO MATCH EXIST.)

ELEV. 4'-0" NGVD 0'-0"
- GRADE (TO MATCH EXIST.)

ELEV. -1'-6" NGVD 0'-0"

PROPOSED BOATHOUSE ADDITION

EXISTING RESIDENCE

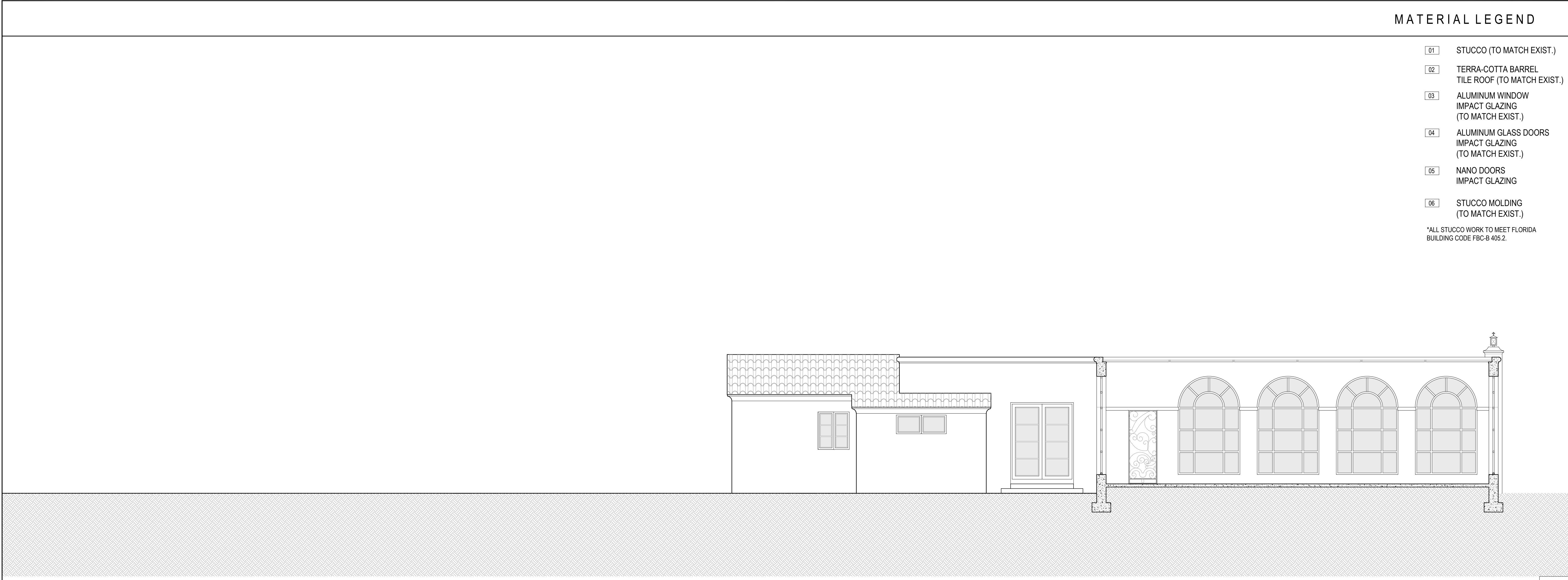
PROPOSED NORTH ELEVATION
Scale: 3/16" = 1'-0"

1

NO.	DATE	DESCRIPTION
SHEET ISSUE/ REVISION LOG		
This drawing is the property of Studio Anda LLC unless otherwise provided for by contract. The contents of this drawing are confidential and shall not be transmitted to any other party except as agreed to by the architect.		
*In my professional judgement and to the best of my knowledge and belief, these plans and specifications comply with F.B.C. 7th Edition (2020).		
PROJECT ID:	DRAWN BY:	
1015	AB	
PRINT DATE:	SCALE:	
06/30/22	3/16"-1'-0"	

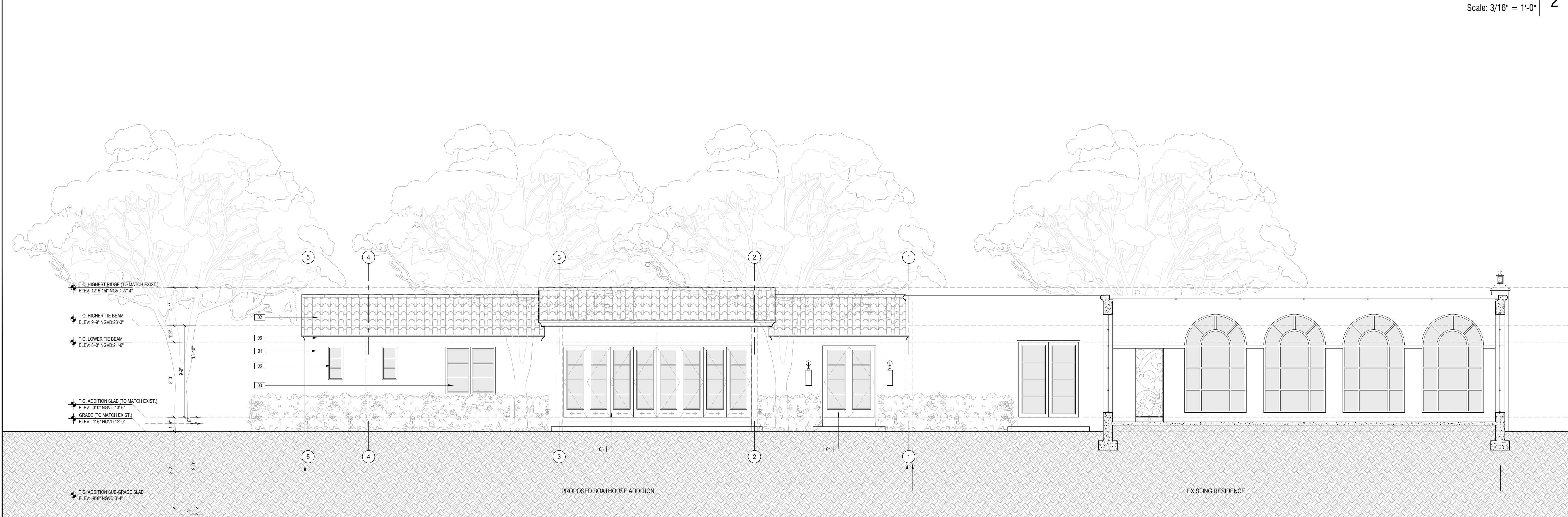
DRAWING TITLE:
EXIST. & PROPOSED ELEVATIONS

SHEET NO.
AR201



EXISTING WEST ELEVATION
Scale: 3/16" = 1'-0"

2



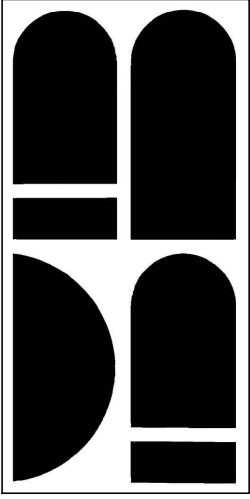
PROPOSED WEST ELEVATION
Scale: 3/16" = 1'-0"

1

MATERIAL LEGEND

- 01 STUCCO (TO MATCH EXIST.)
- 02 TERRA-COTTA BARREL TILE ROOF (TO MATCH EXIST.)
- 03 ALUMINUM WINDOW IMPACT GLAZING (TO MATCH EXIST.)
- 04 ALUMINUM GLASS DOORS IMPACT GLAZING (TO MATCH EXIST.)
- 05 NANO DOORS IMPACT GLAZING
- 06 STUCCO MOLDING (TO MATCH EXIST.)

*ALL STUCCO WORK TO MEET FLORIDA BUILDING CODE FBC-B 405.2.



STUDIO ANDA

PROJECT TITLE:

RIVIERA RESIDENCE

PROJECT LOCATION:

6312 RIVIERA DRIVE
CORAL GABLES, FL 33146

PROJECT CLIENT/OWNER(S):

6312 LAND TRUST
SERVICES LLC TRS

ARCHITECT:

ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING:

ROCHELL ENGINEERING, INC
FL P.E. #60735
1500 NW 86 COURT, SUITE 212
DORAL, FL 33172
PH: (305)649-4049

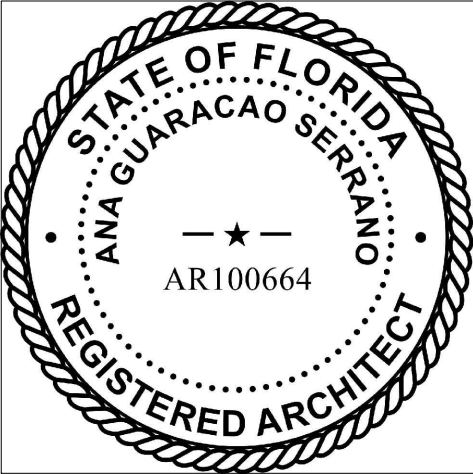
MEP ENGINEERING:

ARPE ENGINEERING INC.
FL P.E. #60236
2020 PONCE DE LEONBLVD SUITE 1002
CORAL GABLES, FL 33134
PH: (305)444 9809

LANDSCAPE ARCHITECT:

JUNGLES
2964 AVIATION AVENUE,
MIAMI, FL 33133
PH: (305) 858-677

PROFESSIONAL SEALS:



NO. DATE DESCRIPTION

SHEET ISSUE/ REVISION LOG

This drawing is the property of Studio Anda LLC unless otherwise provided for by contract. The contents of this drawing are confidential and shall not be transmitted to any other party except as agreed to by the architect.

*In my professional judgement and to the best of my knowledge and belief, these plans and specifications comply with F.B.C. 7th Edition (2020).

PROJECT ID:

1015

DRAWN BY:

AB

PRINT DATE:

06/30/22

SCALE:

3/16"-1'-0"

DRAWING TITLE:

EXIST. & PROPOSED
ELEVATION

SHEET NO.

AR202

