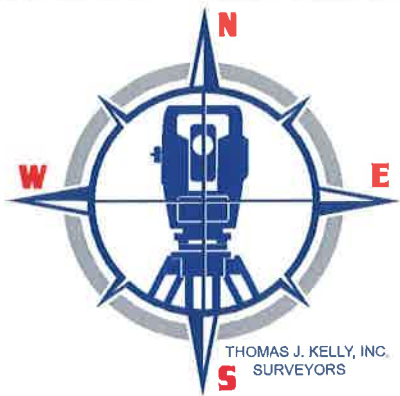




**MAS+**  
 MIAMI ARCHITECTURAL STUDIO, LLC  
 1717 MADRID ST  
 CORAL GABLES, FL

| BA-SHEET LIST    |  | BA-SHEET LIST                             |  |
|------------------|--|-------------------------------------------|--|
| BA0 COVER SHEET  |  | BA5 MATERIALS                             |  |
| S-PH SITE PHOTOS |  | BA6 FLOOR PLAN, EXISTING & PROPOSED       |  |
| SP-1 SITE PLAN   |  | BA7 ROOF PLAN, EXISTING & PROPOSED        |  |
| BA1 RENDERINGS   |  | BA8 ELEVATIONS, EXISTING & PROPOSED       |  |
| BA2 RENDERINGS   |  | BA9 ELEVATIONS, EXISTING & PROPOSED       |  |
| BA3 RENDERINGS   |  | BA10 SIDE ELEVATIONS, EXISTING & PROPOSED |  |
| BA4 RENDERINGS   |  |                                           |  |





**CERTIFY TO:**  
ADAM J LOTTERMAN AND  
DEBORAH LYNN KOCH

**PROPERTY ADDRESS:**  
1717 MADRID STREET  
CORAL GABLES, FLORIDA 33134

SURVEYOR'S NOTATIONS: NONE

**FLOOD ZONE INFORMATION:**  
THE NFIP FLOOD MAPS HAVE DESIGNATED THE  
HEREIN DESCRIBED LAND TO BE SITUATED IN:

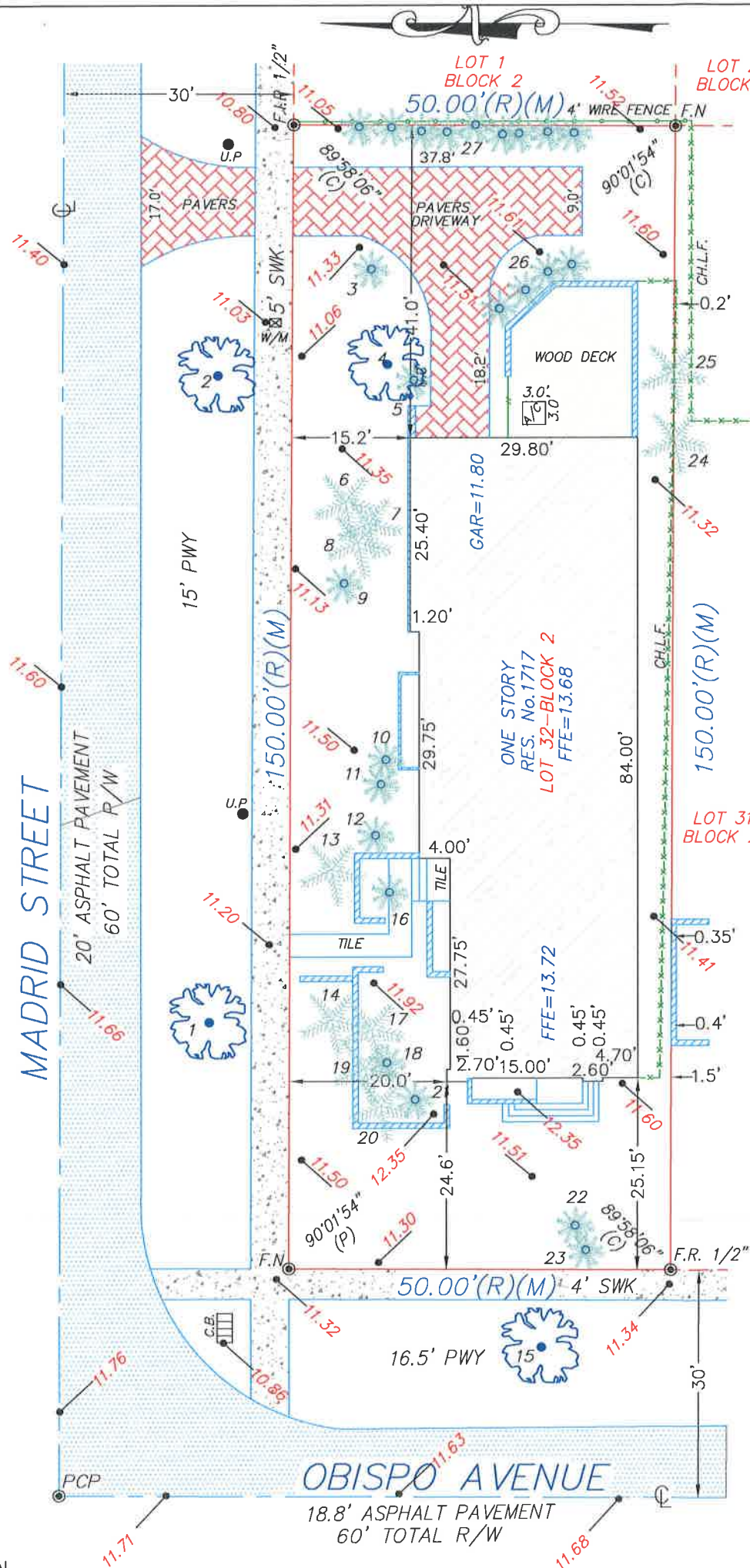
FLOOD ZONE: X  
PANEL NO/SUFFIX: 293/L  
COMMUNITY NO.: 120639  
DATE OF FIRM: 09/11/2009

THE SUBJECT PROPERTY DOES NOT  
LIE IN A SPECIAL FLOOD HAZARD AREA

Notes:  
A) All Clearances and / or encroachments shown  
hereon are of apparent nature, fences ownership  
by visual means, Legal ownership of fences not  
determined.  
B) This survey is intended for use by those to  
whom it is certified.  
C) Code restriction and title search are not reflected  
on this survey.  
D) The flood information shown hereon does not imply  
that the referenced property will or will not be free  
from flooding or damage and does not create liability  
on the part of the firm, any officer or employee  
thereof for any damage that results from reliance on  
said information.  
E) The lands depicted hereon were surveyed per the  
legal description and no claims as to ownership or  
matters of title are made or implied.  
F) Underground encroachments, if any, not located.  
G) I hereby certify that the survey represented  
hereon meets the minimum technical standards  
set forth by the Board of Land Surveyors  
in Chapter 5J-17.050 to 17.052 Florida  
Administrative Code pursuant  
to Section 472.027 Fla. Statutes.  
H) If shown, bearings are to an assumed meridian  
(by plat)  
I) If shown, elevations are referred to N.G.V.D. 1929  
J) This is a boundary survey

*[Signature]*

JULIO S. PITA, P.S. & M. # 5789  
STATE OF FLORIDA  
NOT VALID UNLESS IMPRINTED WITH EMBOSSED SURVEYOR'S SEAL



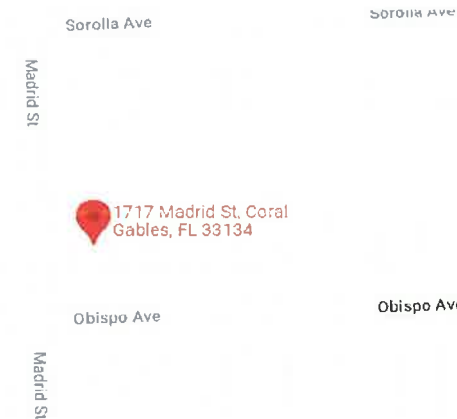
| TREE SURVEY |                |        |         |         |
|-------------|----------------|--------|---------|---------|
| No.         | TYPE           | DIAM." | HEIGHT' | SPREAD' |
| 1           | TREE           | 7.0"   | 12.0'   | 8.0'    |
| 2           | TREE           | 28.0"  | 32.0'   | 20.0'   |
| 3           | AREKA CLOBSTER | 36.0"  | 18.0'   | 8.0'    |
| 4           | TREE           | 6.0"   | 9.0'    | 10.0'   |
| 5           | AREKA CLOBSTER | 16.0"  | 20.0'   | 8.0'    |
| 6           | PALM           | 10.0"  | 20.0'   | 12.0'   |
| 7           | PALM           | 17.0"  | 30.0'   | 10.0'   |
| 8           | PALM           | 22.0"  | 12.0'   | 8.0'    |
| 9           | AREKA CLOBSTER | 40.0"  | 18.0'   | 16.0'   |
| 10          | AREKA          | 40.0"  | 20.0'   | 8.0'    |
| 11          | AREKA          | 12.0"  | 24.0'   | 6.0'    |
| 12          | AREKA          | 18.0"  | 24.0'   | 6.0'    |
| 13          | PALM           | 16.0"  | 8.0'    | 7.0'    |
| 14          | PALM           | 16.0"  | 8.0'    | 8.0'    |
| 15          | TREE           | 36.0"  | 46.0'   | 42.0'   |
| 16          | AREKA          | 30.0"  | 22.0'   | 12.0'   |
| 17          | PALM           | 6.0"   | 23.0'   | 6.0'    |
| 18          | AREKA          | 20.0"  | 24.0'   | 8.0'    |
| 19          | PALM           | 12.0"  | 25.0'   | 10.0'   |
| 20          | PALM           | 10.0"  | 28.0'   | 10.0'   |
| 21          | AREKA          | 24.0"  | 17.0'   | 8.0'    |
| 22          | AREKA          | 38.0"  | 28.0'   | 16.0'   |
| 23          | AREKA          | 24.0"  | 20.0'   | 12.0'   |
| 24          | PALM           | 9.0"   | 20.0'   | 8.0'    |
| 25          | PALM           | 10.0"  | 16.0'   | 10.0'   |
| 26          | AREKA CLOBSTER | 12.0"  | 18.0'   | 12.0'   |
| 27          | AREKA CLOBSTER | 40.0"  | 24.0'   | 6.0'    |

## TOPOGRAPHIC SURVEY

SCALE: 1"= 20'

### BENCHMARK INFORMATION:

CORAL GABLES BENCHMARK # 19  
COLUMBUS BOULEVARD 37.0 WEST OF CENTERLINE  
SOROLLA AVENUE 29.1' SOUTH OF CENTERLINE  
SOUTHWEST CORNER  
PKBW AT CORNER OF BSW  
ELEVATION = 11.48' NGVD 1929



### VICINITY MAP

#### LEGEND OF SYMBOLOLOGY

|                         |                  |
|-------------------------|------------------|
| MAN HOLE SANITARY SEWER | WATER METER      |
| CATCH BASIN             | WATER VALVE      |
| FIRE HYDRANT            | ELECTRIC BOX     |
| SIGN                    | T.V. BOX         |
| HANDICAP PARKING        | ELECTRIC METER   |
| CONC. LIGHT POLE        | WOOD LIGHT POLE  |
|                         | METAL LIGHT POLE |
|                         | UTILITY POLE     |

#### LEGEND OF SURVEY ABBREVIATIONS

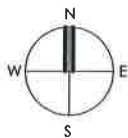
|                                            |                                           |
|--------------------------------------------|-------------------------------------------|
| ADJ. ADJACENT                              | (M) MEASURED                              |
| A/C AIR CONDITIONER                        | N NORTH                                   |
| ASPH. PAV. ASPHALT PAVEMENT                | N/D NAIL AND DISC                         |
| B/C BLOCK CORNER                           | N.G.V.D. NATIONAL GEODETIC VERTICAL DATUM |
| B.L.D. BUILDING                            | N.T.S. NOT TO SCALE                       |
| BLK. BLOCK                                 | O/H OVER HANG                             |
| B.M. BENCH MARK                            | O.R.B. OPTICAL RECORD BOOK                |
| B.C.R. BROWARD COUNTY RECORD               | O.U.L. OVERHEAD UTILITY LINE              |
| C/G CURB AND GUTTER                        | (P) PLAT                                  |
| CB CATCH BASIN                             | P.B. PLAT BOOK                            |
| CH CHORD DISTANCE                          | P.C. POINT OF CURVATURE                   |
| CH.L.F. CHAIN LINK FENCE                   | P.O.B. POINT OF BEGINNING                 |
| CLP CONC. LIGHT POLE                       | P.O.C. POINT OF COMMENCEMENT              |
| C/L CENTER LINE                            | P.R.C. POINT OF REVERSE CURVATURE         |
| (C) CALCULATED                             | P.T. POINT OF TANGENCY                    |
| C.B.S. CONCRETE BLOCK AND STUCCO           | PG. PAGE                                  |
| CL CLEAR                                   | P.I. Point of Intersection                |
| C.M.E. CANAL MAINTENANCE EASEMENT          | P.K. PARKER KALON                         |
| CONC. CONCRETE                             | PKWY. PARKWAY                             |
| COR. CORNER                                | P.L.S. PROFESSIONAL LAND SURVEYOR         |
| CT. COURT                                  | P/L PROPERTY LINE                         |
| D.B. DEED BOOK                             | P.O.B. POINT OF BEGINNING                 |
| D.C.R. DADE COUNTY RECORD                  | P.O.C. POINT OF COMMENCEMENT              |
| D.E. DRAINAGE EASEMENT                     | P.R.C. POINT OF REVERSE CURVATURE         |
| D & M.E. DRAINAGE AND MAINTENANCE EASEMENT | P.R.M. PERMANENT REFERENCE MONUMENT       |
| D/H DRILL HOLE                             | P.T. POINT OF TANGENCY                    |
| D/W DRIVEWAY                               | (R) RECORD                                |
| E. EAST                                    | RE-BAR REINFORCEMENT BAR                  |
| ENC. ENCROACHMENT                          | (R/M) RECORD AND MEASURED                 |
| E.O.W. EDGE OF WATER                       | RES. RESIDENCE                            |
| F. FENCE                                   | R/W RIGHT-OF-WAY                          |
| FD. FOUND                                  | S. SOUTH                                  |
| F.H. FIRE HYDRANT                          | SEC. SECTION                              |
| FD.I.P. FOUND IRON PIPE                    | S.I.P. SET IRON PIPE                      |
| F.F.ELEV. FINISH FLOOR ELEVATION           | SWK. SIDEWALK                             |
| F.P.L. FLORIDA POWER AND LIGHT CO.         | TERR. TERRACE                             |
| L. LENGTH                                  | U.E. UTILITY EASEMENT                     |
| L.M.E. LAKE MAINTENANCE EASEMENT           | U.P. UTILITY POLE                         |
| M.E. MAINTENANCE EASEMENT                  | W.F. WOOD FENCE                           |
| M.F. METAL FENCE                           | W.M. WATER METER                          |
| M.H.S. MANHOLE SANITARY SEWER              | W. WEST                                   |
| M/L MONUMENT LINE                          | 0.00 DENOTES ELEVATION                    |

BY APPT. ONLY: 9495 SW 99 STREET, MIAMI, FLA. 33176  
MAILING ADDRESS: P.O. BOX. 160399, MIAMI, FLORIDA 33116  
TEL: (786) 242-7692 DAD, (954) 779-3288 BRWD  
E-MAIL: tjksurveys@gmail.com

THOMAS J. KELLY INC  
SURVEYORS-MAPPERS  
LAND PLANNERS  
L.B. # 8077

BOUNDARY SURVEY

DATE 01/11/2022  
SCALE 1"=20'  
DRAWN BY R.R.R.  
ORDER No. 21-2330  
SHEET 1 OF 1



LOCATION MAP  
N.T.S

EXISTING HOUSE  
N.T.S

NEIGHBORING HOUSES



7910 NW 25TH STREET  
SUITE 200  
DORAL FL 33122  
(305) 593-9798  
WWW.MAS.MIAMI

MAS+  
MIAMI ARCHITECTURAL STUDIO, LLC

SINGLE FAMILY RESIDENCE  
1717 MADRID ST  
CORAL GABLES, FL

| REVISIONS |  |
|-----------|--|
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SITE PHOTOS

SCALE 1/2" = 1'-0"

JOB: Project Number

SHEET

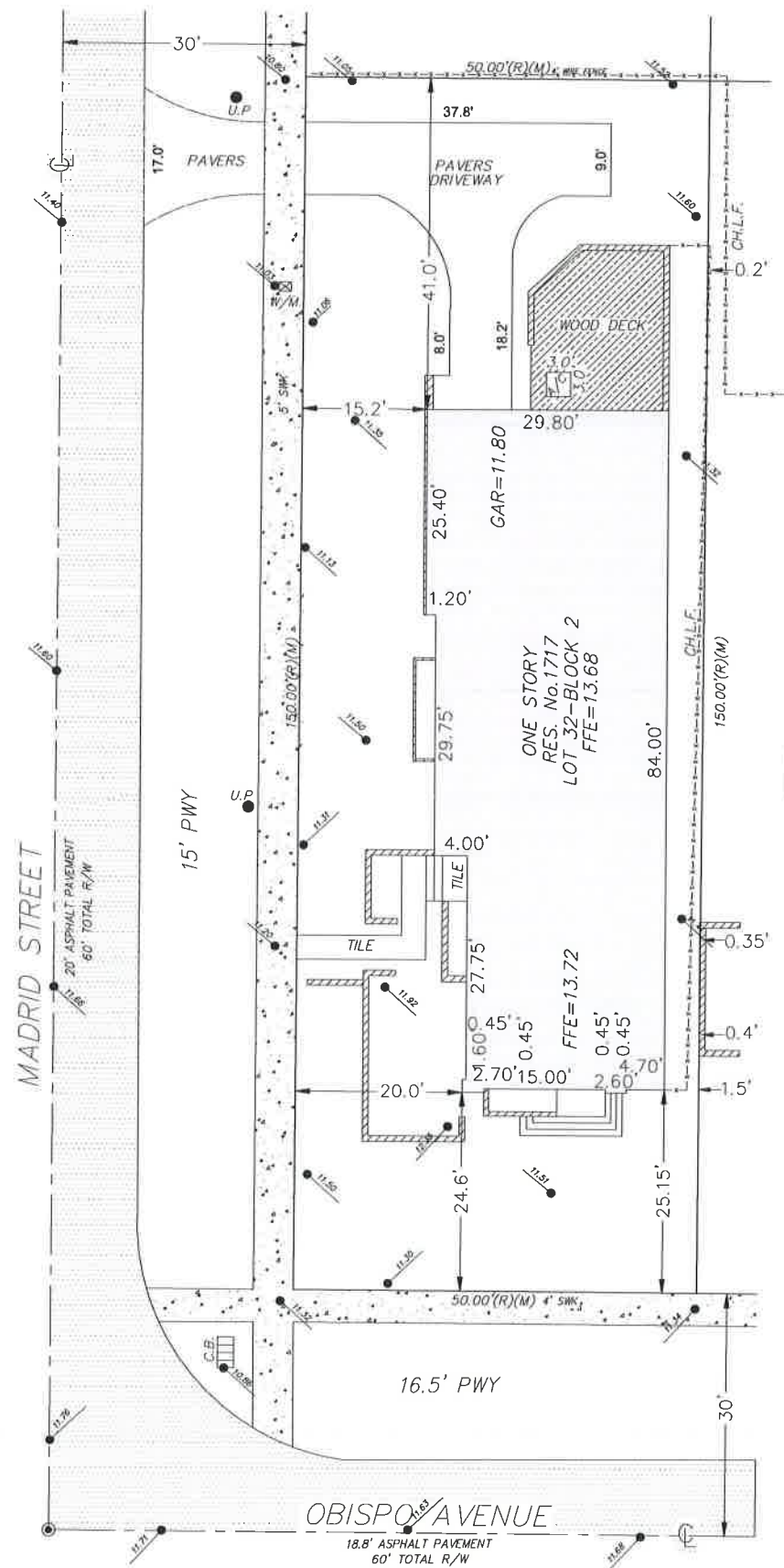
S-PH

7/13/2022  
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REGISTERED ARCHITECT

JENNIFER KALECHA SALAMANCA - AD-17181

LICENSE # AA 3400191

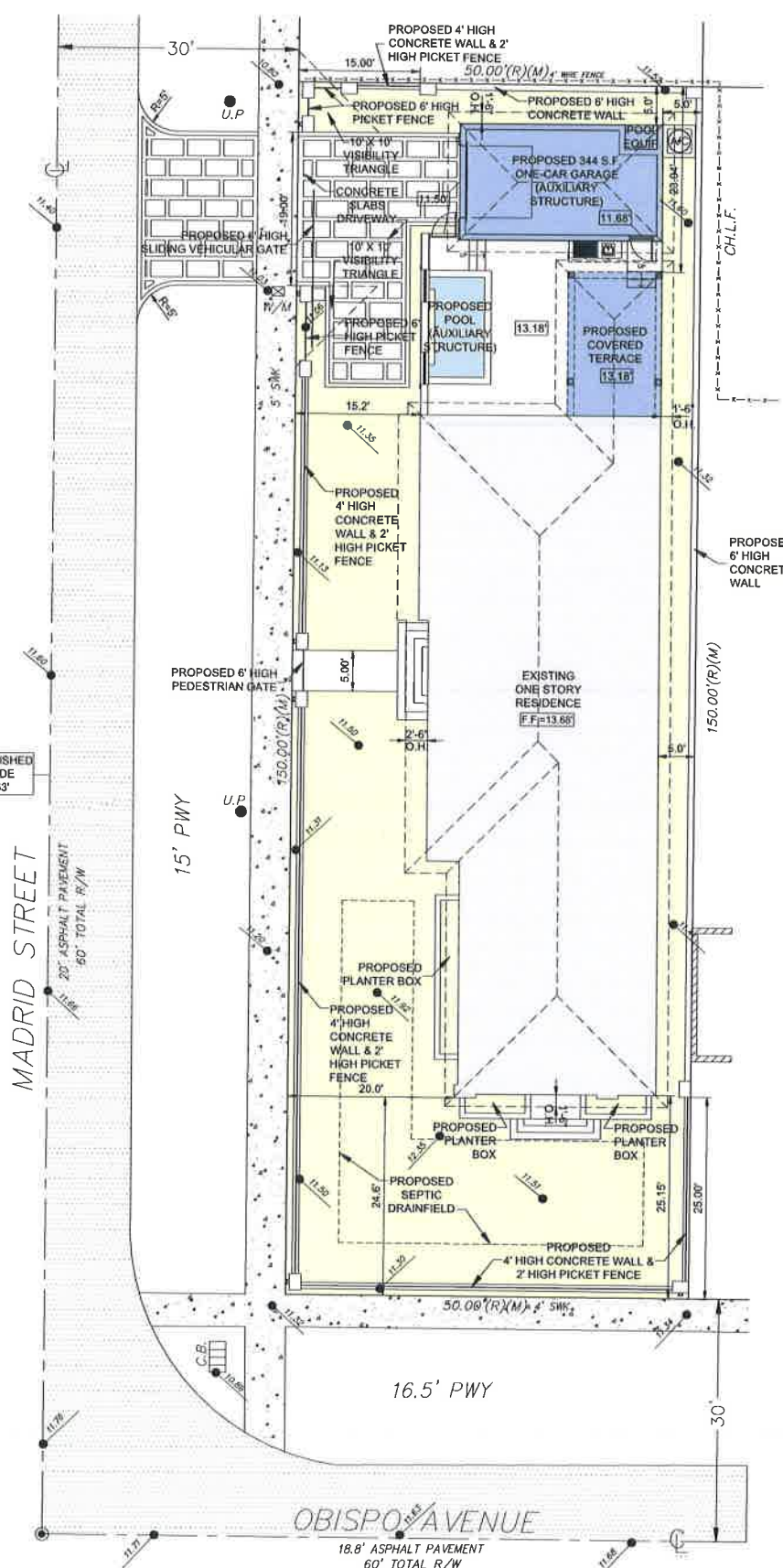


EXISTING SITE PLAN

LEGEND:

EXISTING SPOT ELEVATION PROVIDED BY SURVEYOR (NGVD)

SCALE: 1" = 10'-0"



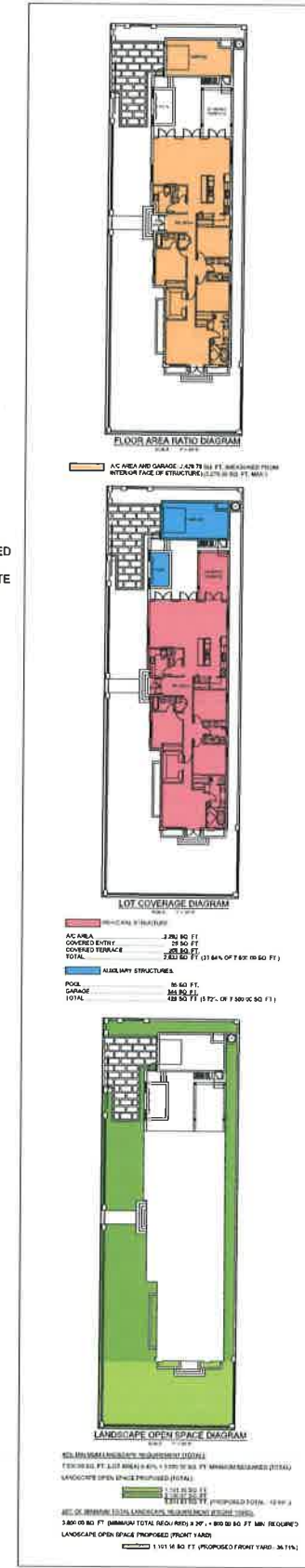
PROPOSED SITE PLAN

LEGEND:

EXISTING SPOT ELEVATION PROVIDED BY SURVEYOR (NGVD)

PROPOSED ELEVATION (NGVD)

EXISTING ROOFED AREA  
PROPOSED ROOFED AREA



| AREA SUMMARY            |          |
|-------------------------|----------|
| AC AREA                 | 2,292.37 |
| COV. DRIVE              | 2,092.37 |
| COVERED TERRACE         | 206.34   |
| GARAGE (AUX. STRUCTURE) | 344.31   |
| NO AC AREA              | 875.31   |
| GRAND TOTAL             | 2,867.37 |



LOCATION MAP  
N.T.S.

FOLIO NUMBER:  
03-4107-016-0250

LEGAL DESCRIPTION:  
Lot 32 Block 2 of "CORAL GABLES SECTION E" according to the plat thereof as recorded in Plat Book 8 at Page 13, of the Public Records of Miami-Dade County, Florida.

FLOOD ZONE INFORMATION:  
National Flood Insurance Program  
FEMA Elev. Reference to NGVD 1929  
Community No.: 120639  
Panel Number: 263L  
Flood Zone: X  
Base Flood Elev.: N/A  
Date of Firm: 09-11-2009

SFR ZONING DISTRICT DATA

MAXIMUM ALLOWED BUILDING HEIGHT (FROM FINISHED FLOOR TO THE BEAM): 25'-0"  
PROPOSED BUILDING HEIGHT (FROM FINISHED FLOOR TO THE BEAM): 11'-0"  
PROPOSED BUILDING HEIGHT (FROM EST. GRADE TO TOP OF BEAM): 15'-0"  
LOT AREA: 7,500.00 SQ. FT.

F.A.R. CALCULATIONS

LOT AREA: 7,500.00 SQ. FT.  
MAXIMUM ALLOWED:  
40% OF 7,500.00 SQ. FT. = 3,000.00 SQ. FT.  
95% OF 3,000.00 SQ. FT. = 2,850.00 SQ. FT.  
MAXIMUM ALLOWED = 2,850.00 SQ. FT.

PROVIDED:  
TOTAL AREA = 2,428.78 SQ. FT.

GROUND AREA COVERAGE CALCULATIONS

MAXIMUM ALLOWED PRINCIPAL STRUCTURE:  
7,500.00 SQ. FT. (LOT AREA) X 35% = 2,625.00 SQ. FT.

PROVIDED PRINCIPAL STRUCTURE: 2,523.50 SQ. FT. (33.64%)

MAXIMUM ALLOWED AUXILIARY STRUCTURES:  
7,500.00 SQ. FT. (LOT AREA) X 10% = 750.00 SQ. FT.

PROPOSED AUXILIARY STRUCTURES: 85 SQ. FT. (POOL)  
344.31 SQ. FT. (GARAGE)  
429.31 SQ. FT. TOTAL (57.2%)

MAXIMUM TOTAL ALLOWED GROUND AREA COVERAGE:  
7,500.00 SQ. FT. (LOT AREA) X 45% = 3,375.00 SQ. FT.

TOTAL PROVIDED GROUND AREA COVERAGE = 2,952.81 SQ. FT. (39.36%)

LANDSCAPE OPEN SPACE CALCULATIONS

MINIMUM REQUIRED:  
7,500.00 SQ. FT. (LOT AREA) X 40% = 3,000.00 SQ. FT.

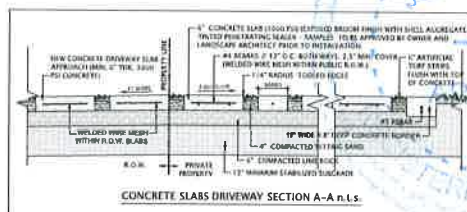
PROVIDED:  
3,201.83 SQ. FT. OR 42.69%

MINIMUM REQUIRED IN FRONT YARD:  
3,000.00 SQ. FT. (TOTAL REQUIRED) X 20% = 600.00 SQ. FT.

PROVIDED:  
1,101.16 SQ. FT. OR 36.71%

NOTES

- LOT WILL BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORMWATER INTO ADJACENT PROPERTY. GRADING WILL REMAIN LEVELED TO NEIGHBORING PROPERTY GRADE.
- TRIANGLES OF VISIBILITY SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF 2.5 FEET AND 6 FEET ABOVE THE ESTABLISHED GRADE.



7910 NW 25TH STREET  
SUITE 200  
DORAL, FL 33122  
(305) 593-9798  
WWW.MAS.MIAMI



SINGLE FAMILY RESIDENCE  
1717 MADRID STREET  
CORAL GABLES, FLORIDA 33134

| REVISION DATE | BY |
|---------------|----|
|               |    |
|               |    |
|               |    |
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SITE PLAN

SCALE: 1" = 10'-0"  
DATE: 06-15-22  
JOB: 2209  
SHEET: SP-1



| REVISIONS |  |
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PROPOSED  
RENDERINGS

SCALE  
JOB Project Number  
SHEET

BA1

AR# 17181  
7/13/2022  
1:33:38 PM  
JENNIFER MALCOLM SALMAN • AR 17181

MAS+  
MIAMI ARCHITECTURAL STUDIO, LLC  
7910 NW 25TH STREET  
SUITE 200  
DORAL, FL 33122  
(305) 593-9798  
WWW.MAS.MIAM

SINGLE FAMILY RESIDENCE  
1717 MADRID ST  
CORAL GABLES, FL

PA PROJECTS/Koch, Lotman/Rev/06.10.22 Koch, Lotman Residence Proposed - Historic Comments.v1

LICENSE # A-200191



7910 NW 25TH STREET  
SUITE 200  
DORAL FL 33122  
(305) 593-9798  
WWW.MAS.MIAM



SINGLE FAMILY RESIDENCE  
1717 MADRID ST  
CORAL GABLES, FL

| REVISIONS |  |
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PROPOSED  
RENDERINGS

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JOB Project Number  
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7/13/2022  
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AR# 17191  
7/13/2022  
1:33:53 PM  
AR# 17191

P:\PROJECTS\Koch Letterman\Rev\106.10.22 Koch Letterman Residence Proposed - Historic Comments.rvt

LICENSE # A-A-262119



7910 NW 25TH STREET  
SUITE 200  
DORAL FL 33122  
(305) 593-9798  
WWW.MAS-MIAMI



SINGLE FAMILY RESIDENCE  
1717 MADRID ST  
CORAL GABLES, FL

| REVISIONS |  |
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PROPOSED  
RENDERINGS

SCALE  
JOB: Project Number  
SHEET

BA3

7/18/2022  
1:33:34 PM

JENNIFER MATHIAS-SALAS • AP-12183

PA\PROJECTS\Koch, Latham\Rev\106.10.22 Koch Latham Residence Proposed - Historic Comments.rvt

DO NOT REUSE WITHOUT WRITTEN PERMISSION AND CONSENT OF MAS ARCHITECTURAL STUDIO, LLC. NOT BE USED TO BE ASSIGNED TO ANY PARTY WITHOUT WRITTEN PERMISSION AND CONSENT.



PROJECT: 1717 Madrid St, Coral Gables, FL 33134  
DATE: 7/13/2022  
TIME: 1:33 PM

| REVISIONS |  |
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PROPOSED  
RENDERINGS

SCALE:  
JOB: Project Number  
SHEET

BA4  
7/13/2022  
1:33 PM  
ARCHITECTURAL STUDIO, LLC  
7910 NW 25TH STREET  
SUITE 200  
DORAL, FL 33122  
(305) 593-9798  
WWW.MAS.MIAM

MAS+  
MIAMI ARCHITECTURAL STUDIO, LLC  
7910 NW 25TH STREET  
SUITE 200  
DORAL, FL 33122  
(305) 593-9798  
WWW.MAS.MIAM

SINGLE FAMILY RESIDENCE  
1717 MADRID ST  
CORAL GABLES, FL



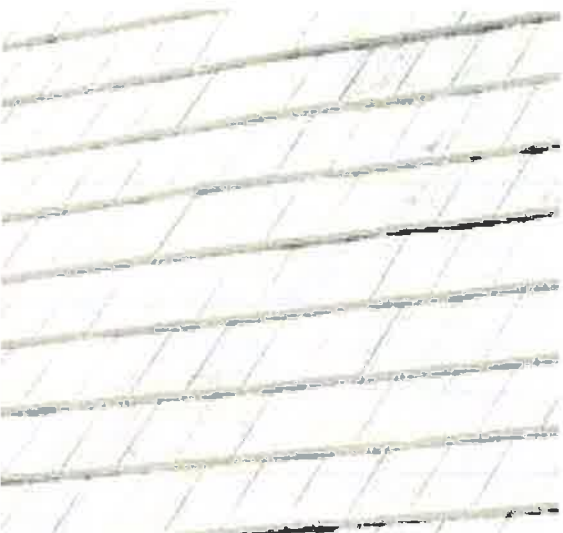
EXTERIOR WALL MOUNT LIGHT  
SINGLE LIGHT FIXTURE



WHITE BRICK  
PAINT EXTRA WHITE SW 7006



CEILING COVER TERRACE  
TONGUE AND GROOVE



EXISTING FLAT TILE ROOF  
PAINT WHITE



BAHAMA SHUTTERS  
PAINT SW 6225 - SLEEPY BLUE



COVER TERRACE FLOOR  
KEYSTONE SQUARE CUT



DRIVEWAY  
CONCRETE PATHS



ACCENT PAINT COLOR  
SW 6225 - SLEEPY BLUE



PAINT COLOR  
SW 7006 - EXTRA WHITE

FRAMES (WINDOWS/DOORS)  
WHITE MATTE ALUMINUM

7910 NW 25TH STREET  
SUITE 200  
DORAL FL 33122  
(305) 593-9798  
WWW.JMAS-MIAMI

MAS+  
MIAMI ARCHITECTURAL STUDIO, LLC

SINGLE FAMILY RESIDENCE  
1717 MADRID ST  
CORAL GABLES, FL

| REVISIONS |
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MATERIALS

SCALE 1/2" = 1'-0"

JOB Project Number

SHEET

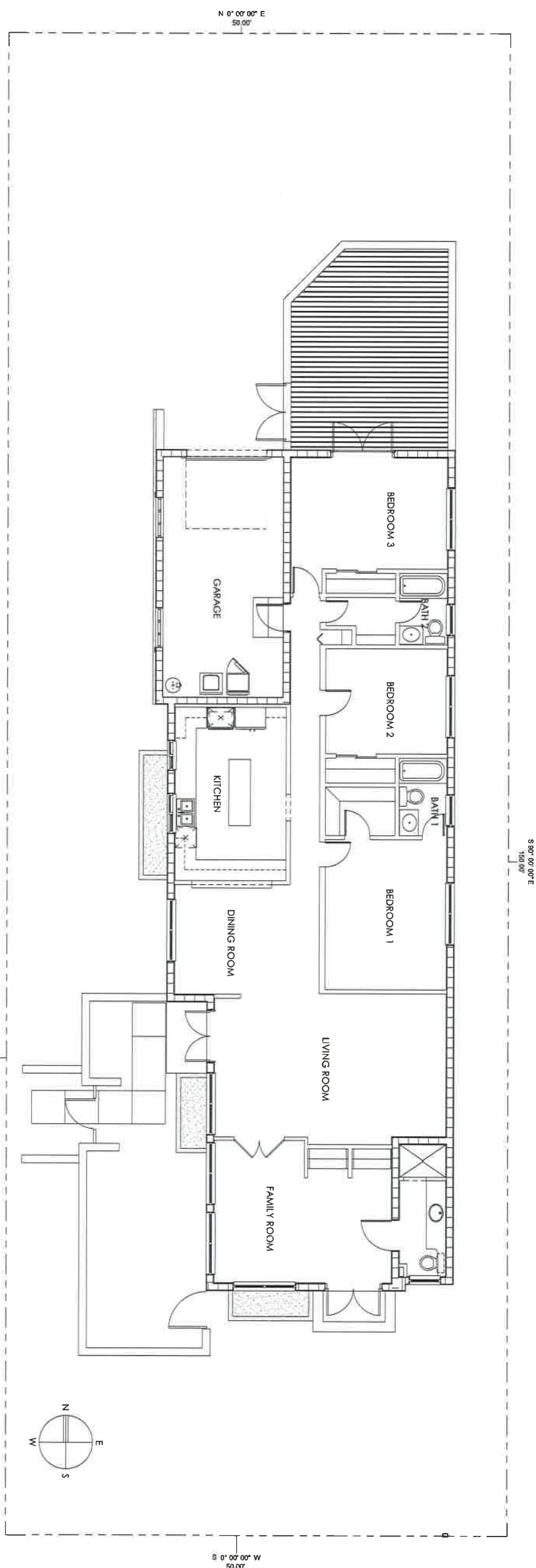
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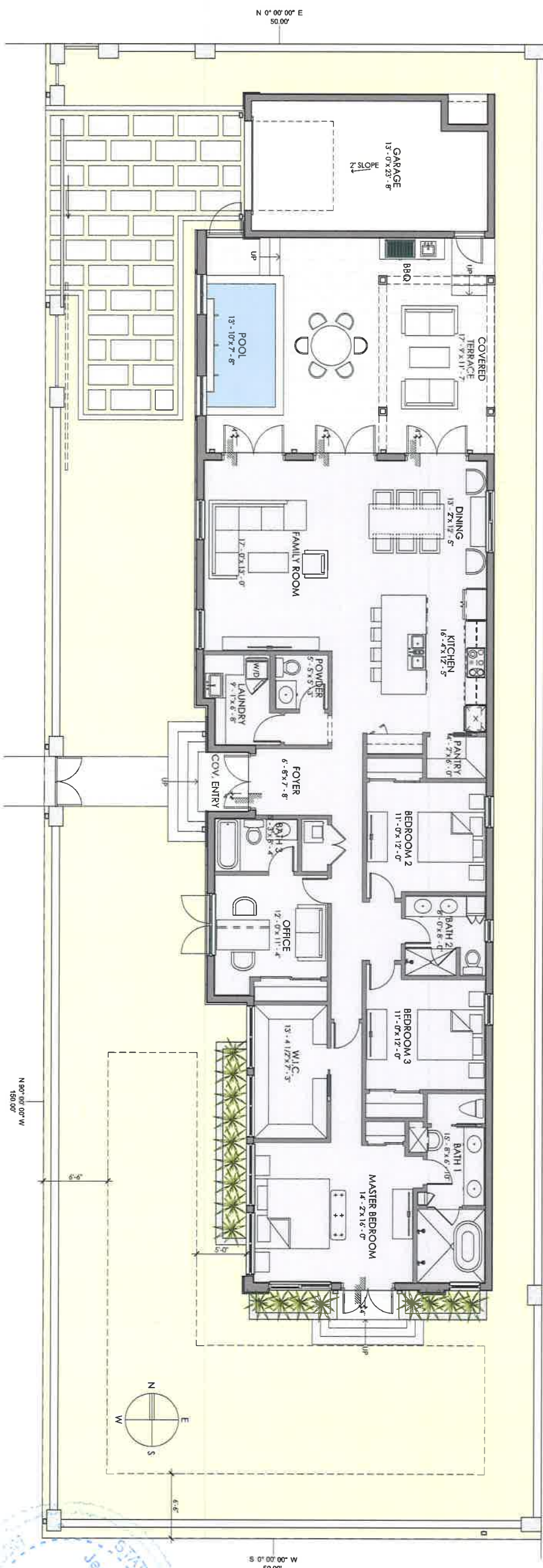
BY:PAUL KALICH SAHABH • AB-17181

P:\PROJECTS\Koch Lotterman\Rev\10.10.22 Koch Lotterman Residence Proposed - Historic Comments.rvt

LICENSE # AA-260191



EXISTING FLOOR PLAN  
3/16" = 1'-0"



## PROPOSED FLOOR PLAN

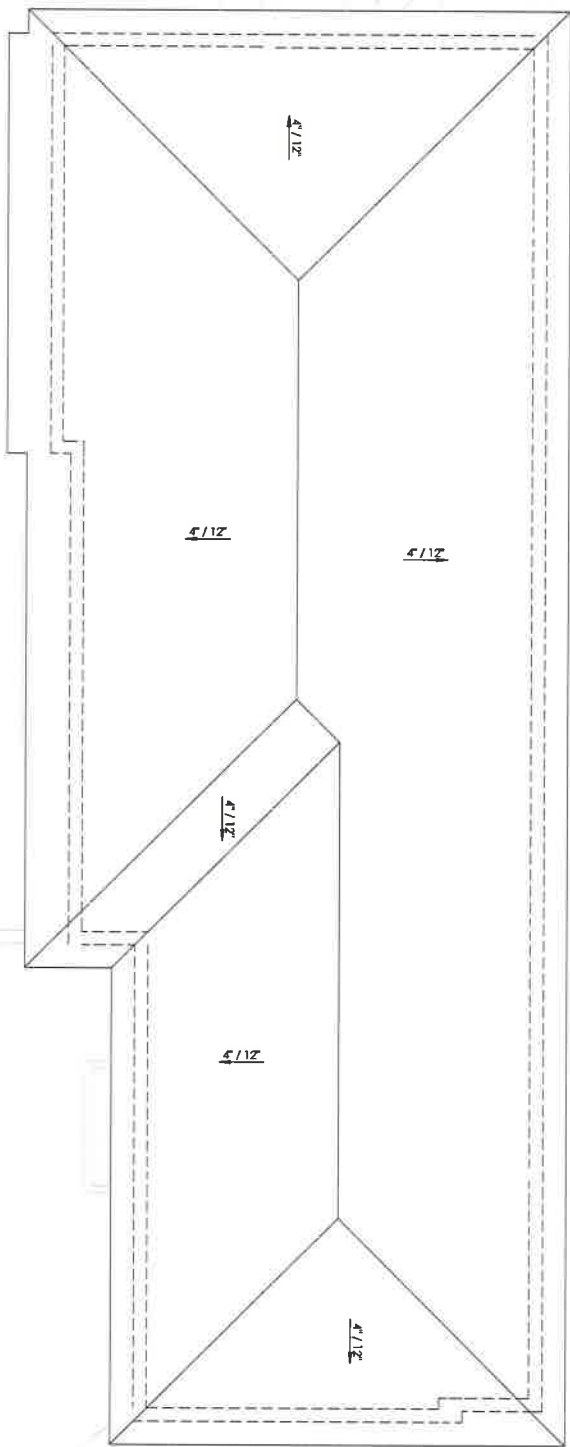
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SINGLE FAMILY RESIDENCE  
1717 MADRID ST  
CORAL GABLES, FL

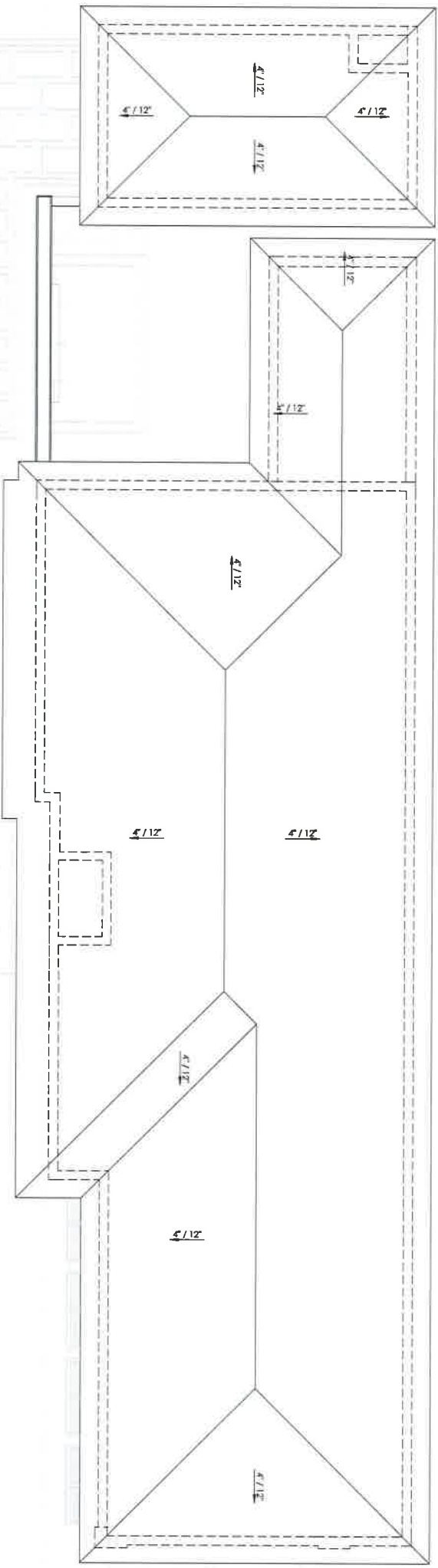
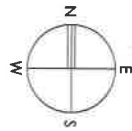


7910 NW 25TH STREET  
SUITE 200  
DORAL FL 33122

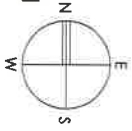
(305) 593-9798  
WWW.MAS.MIAMI



EXISTING ROOF PLAN  
3/16" = 1'-0"



PROPOSED ROOF PLAN  
3/16" = 1'-0"



SINGLE FAMILY RESIDENCE  
1717 MADRID ST  
CORAL GABLES, FL

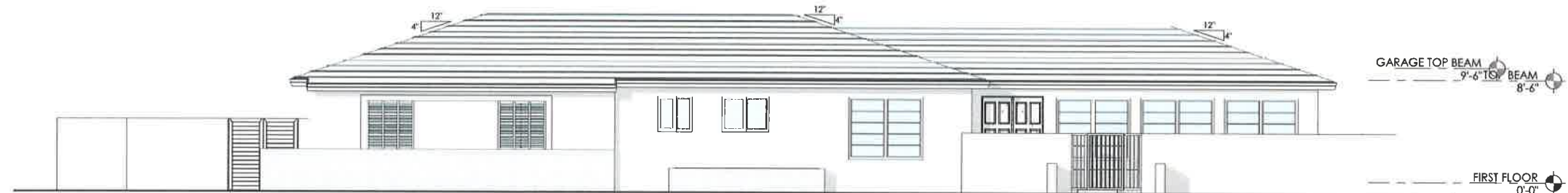
**MAS+**  
MIAMI ARCHITECTURAL STUDIO, LLC

7910 NW 25TH STREET  
SUITE 200  
DORAL FL 33122  
  
(305) 593-9798  
WWW.MAS.MIAMI

| REVISIONS |
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| ROOF PLAN            |
| EXISTING & PROPOSED  |
| SCALE: 3/16" = 1'-0" |
| JOB: Project Number  |
| SHEET: THREE         |
| BA7                  |





EXISTING FRONT ELEVATION  
3/16" = 1'-0"



PROPOSED FRONT ELEVATION  
3/16" = 1'-0"



PROPOSED FRONT ELEVATION W/ ENTRY WALL  
3/16" = 1'-0"

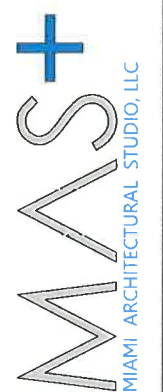
KEYNOTES

1. CEMENT FLAT TILE
2. SMOOTH FINISH STUCCO (PAINT: EXTRA WHITE SW 7006)
3. KEYSTONE TREADS, RISERS AND OUTDOOR FLOORING
4. BRICK PAINTED WHITE TO MATCH EXISTING SLUMP BRICK
5. STEEL COLUMN W/ WOOD CLADDING
6. PLANTER
7. 1" REVEAL
8. EXTERIOR WALL MOUNT LIGHT
9. DECORATIVE RESIN SHUTTERS (PAINT: SW 6225 SLEEPY BLUE)
10. DECORATIVE BAHAMA SHUTTERS (PAINT: SW 6225 SLEEPY BLUE)
11. 4" SMOOTH STUCCO BAND (PAINT: EXTRA WHITE SW 7006)
12. FIXED DECORATIVE ALUMINUM LOUVER (PAINT: SW 6225 SLEEPY BLUE)
13. 6" SMOOTH STUCCO BAND (PAINT: EXTRA WHITE SW 7006)

ROOFTILE - (BORAL SAXONY 900 SPLIT SHAKE CHARCOAL BLEND)  
BRICK - (WHITE FINISH)  
POOL DECK - KEYSTONE SQUARE CUT (RUNNING BOND PATTERN)

ENTRY DOOR - WOOD FINISH, IMPACT  
FRENCH DOORS - ALUMINUM WHITE FINISH, IMPACT  
SLIDING DOORS - ALUMINUM WHITE FINISH, IMPACT  
WINDOWS - ALUMINUM WHITE FINISH, IMPACT

7910 NW 25TH STREET  
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SINGLE FAMILY RESIDENCE  
1717 MADRID ST  
CORAL GABLES, FL

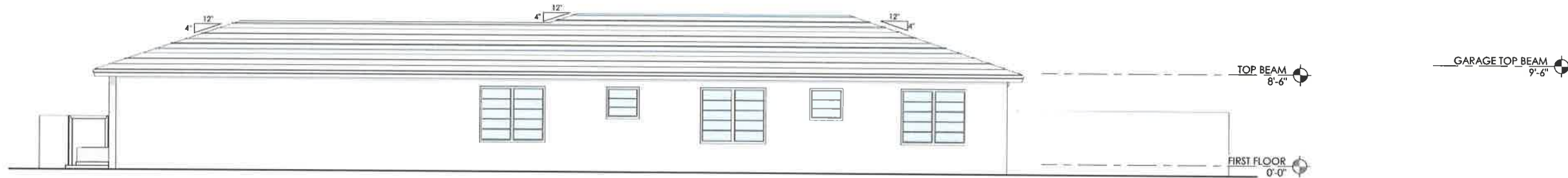
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ELEVATIONS  
EXISTING  
& PROPOSED

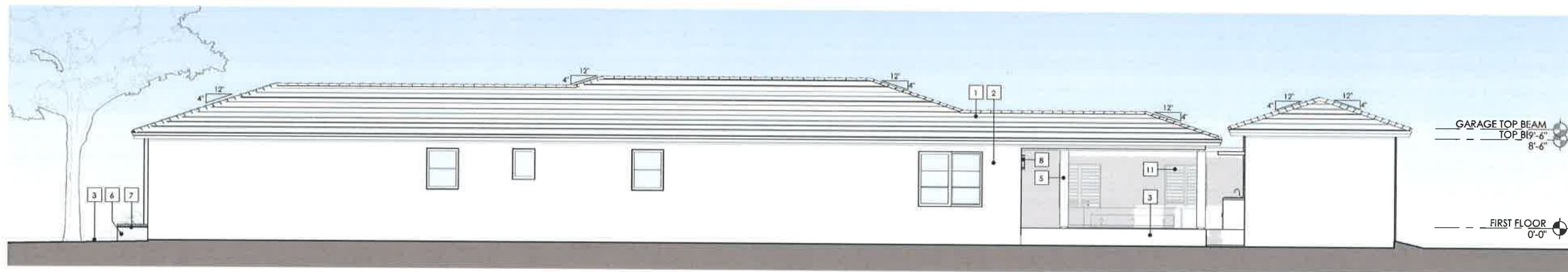
SCALE As Indicated  
SHEET

BA8

JENNIFER MALLON-SALMAN, AR 17181  
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EXISTING REAR ELEVATION  
3/16" = 1'-0"



PROPOSED REAR ELEVATION  
3/16" = 1'-0"

KEYNOTES

1. CEMENT FLAT TILE
2. SMOOTH FINISH STUCCO (PAINT: EXTRA WHITE SW 7006)
3. KEYSTONE TREADS, RISERS AND OUTDOOR FLOORING
4. BRICK PAINTED WHITE TO MATCH EXISTING SLUMP BRICK
5. STEEL COLUMN W/ WOOD CLADDING
6. PLANTER
7. 1" REVEAL
8. EXTERIOR WALL MOUNT LIGHT
9. DECORATIVE RESIN SHUTTERS (PAINT: SW 6225 SLEEPY BLUE)
10. DECORATIVE BAHAMA SHUTTERS (PAINT: SW 6225 SLEEPY BLUE)
11. 4" SMOOTH STUCCO BAND (PAINT: EXTRA WHITE SW 7006)
12. FIXED DECORATIVE ALUMINUM LOUVER (PAINT: SW 6225 SLEEPY BLUE)
13. 6" SMOOTH STUCCO BAND (PAINT: EXTRA WHITE SW 7006)

ROOF TILE - (BORAL SAXONY 900 SPLIT SHAKE CHARCOAL BLEND)  
BRICK - (WHITE FINISH)  
POOL DECK - KEYSTONE SQUARE CUT (RUNNING BOND PATTERN)

ENTRY DOOR - WOOD FINISH, IMPACT  
FRENCH DOORS - ALUMINUM WHITE FINISH, IMPACT  
SLIDING DOORS - ALUMINUM WHITE FINISH, IMPACT  
WINDOWS - ALUMINUM WHITE FINISH, IMPACT

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MIAMI ARCHITECTURAL STUDIO, LLC

SINGLE FAMILY RESIDENCE  
1717 MADRID ST  
CORAL GABLES, FL

| REVISIONS |  |
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ELEVATIONS  
EXISTING  
& PROPOSED

SCALE: As Indicated

JOB Project Number

BA9

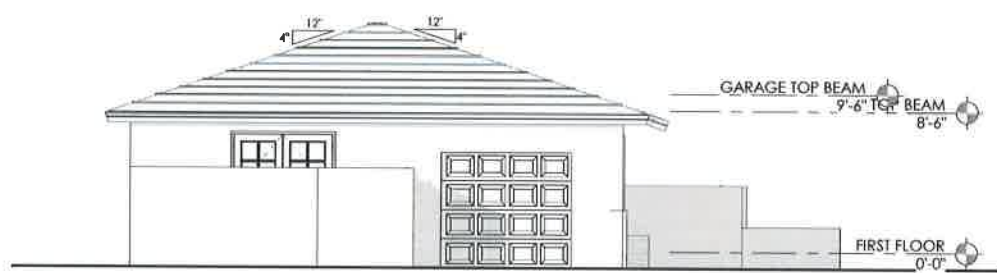
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JENNIFER MALICH SAUJANI - AP-17181

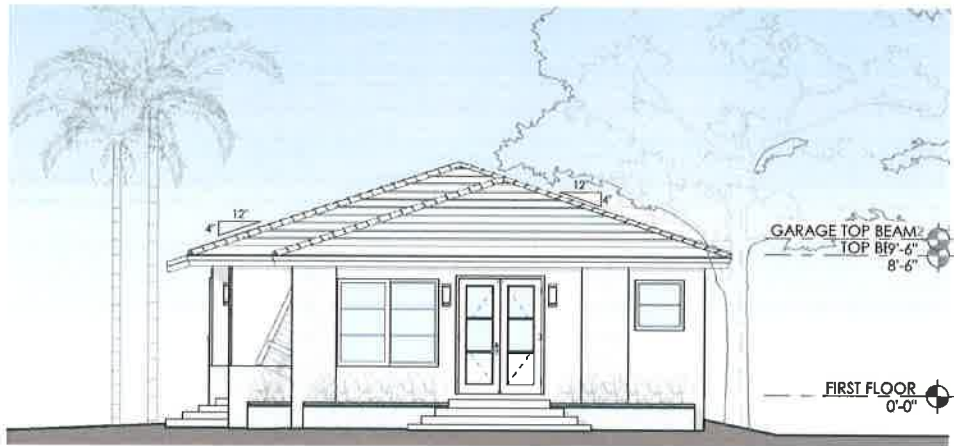
LICENSE # AA-260191



EXISTING RIGHT ELEVATION  
3/16" = 1'-0"



EXISTING LEFT ELEVATION  
3/16" = 1'-0"



PROPOSED RIGHT ELEVATION  
3/16" = 1'-0"



PROPOSED LEFT ELEVATION  
3/16" = 1'-0"

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SINGLE FAMILY RESIDENCE  
1717 MADRID ST  
CORAL GABLES, FL

| REVISIONS |
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ELEVATIONS  
EXISTING  
& PROPOSED

SCALE - 3/16" = 1'-0"  
JOB Project Number

SHEET  
BA10

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REGISTERED ARCHITECT  
AR# 17181