

Riviera Country Club



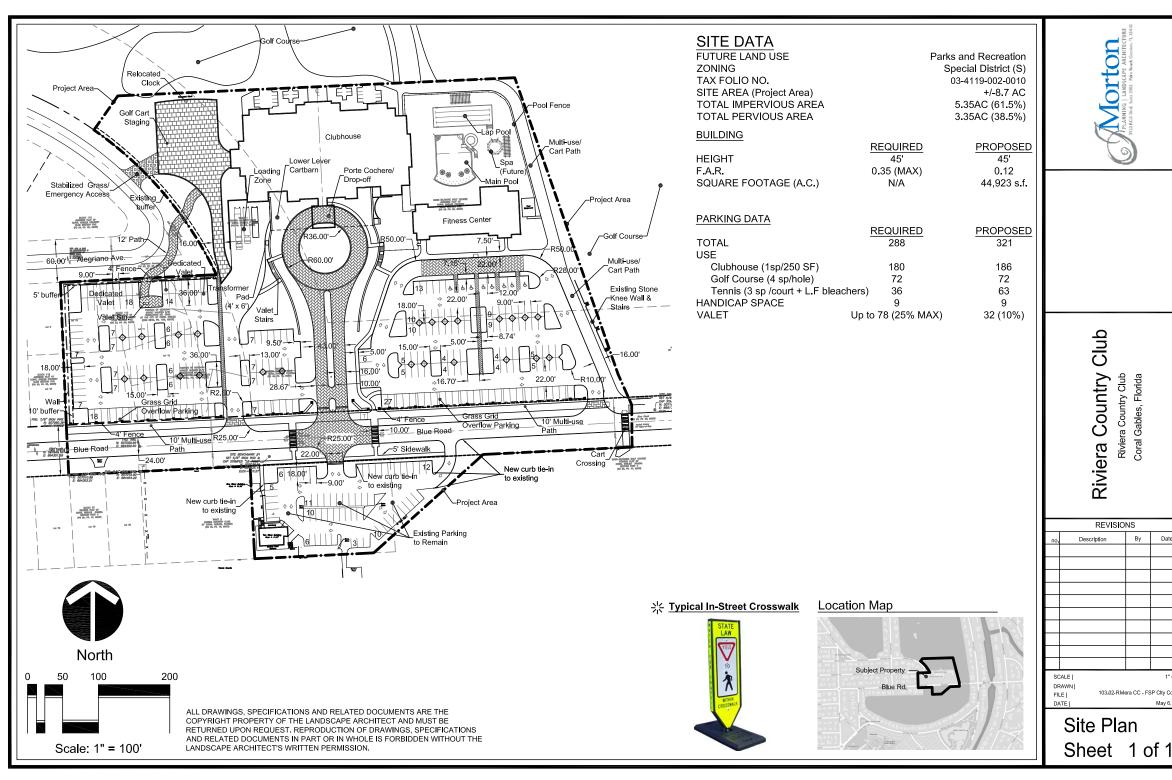
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1. Site Plan Amendment request to Site Plan included in Ordinance No. 2016-34

- Change the paving material on Blue Road from concrete pavers to asphalt
- Improvements added in lieu of pavers. Refer to Item #3 and subsequent pages of this document.
- Previously approved by Staff:
 - Change concrete pavers on the east and west parking lot entrances to Coral Gables Beige concrete
 - Eliminate two (2) on-site parking spaces to allow for new FPL switch cabinets

2. Site Plan included in Ordinance 2016-34



Club

Riviera Country

REVISIONS

103.02-Riviera CC - FSP City Council

3. Proposed Added Improvements in lieu of pavers

- Landscaping enhancements
- Street lighting enhancements
- FPL/AT&T/Comcast overhead utility undergrounding

(See attached newly revised civil drawings for reference)

4. Landscaping added improvements

- Add understory plantings North side of Blue Road
- Add understory plantings South side of Blue Road

(See attached typical road section & plan view)
(See attached renderings showing view looking west from Blue Road)

5. Street Lighting added improvements

- Add decorative post-top lighting North side of Blue Road
- Add decorative post-top lighting South side of Blue Road
- Lighting levels must satisfy Miami-Dade County roadway lighting requirements

(See attached cut sheets for selected fixtures/poles) (See rendering with post-top lighting shown)

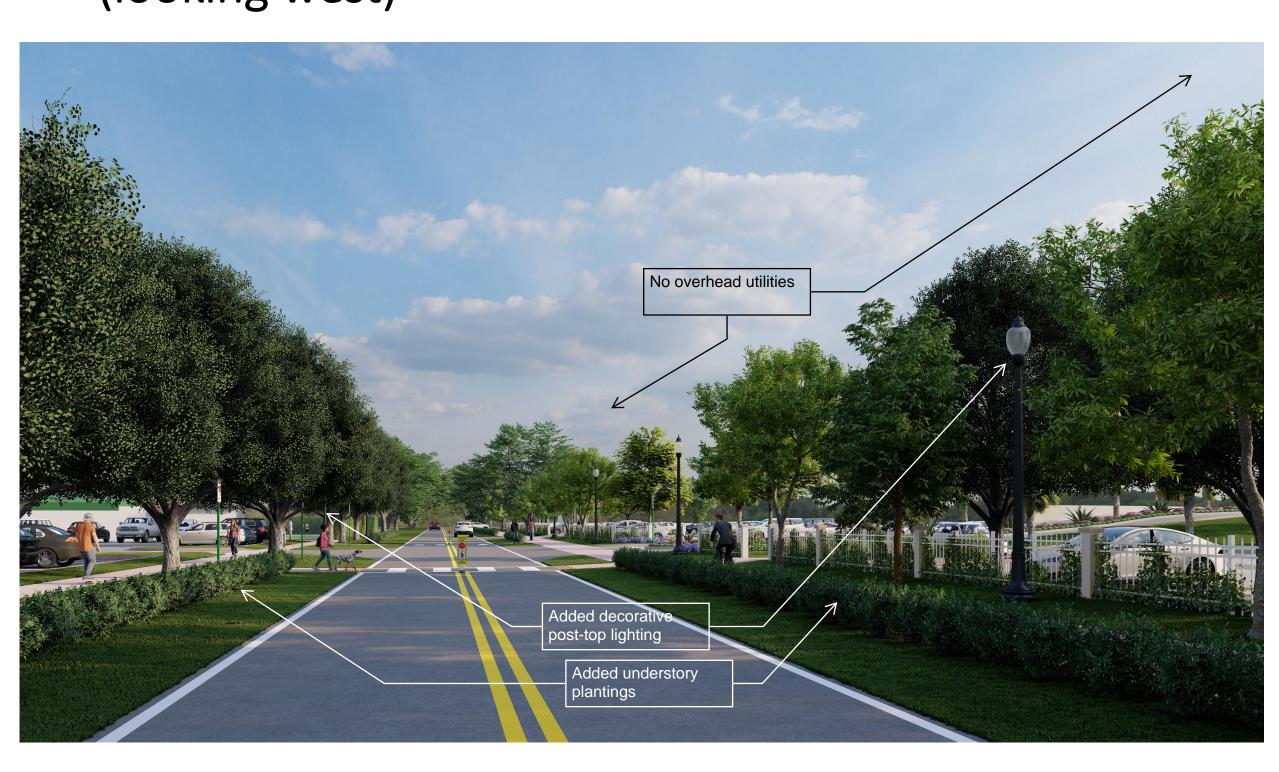
6. FPL/AT&T/Comcast overhead utility undergrounding

 The existing overhead utility wires and poles will be replaced with all underground services.

(See existing overhead utility wires and poles below, and attached rendering with lack of overhead utilities)



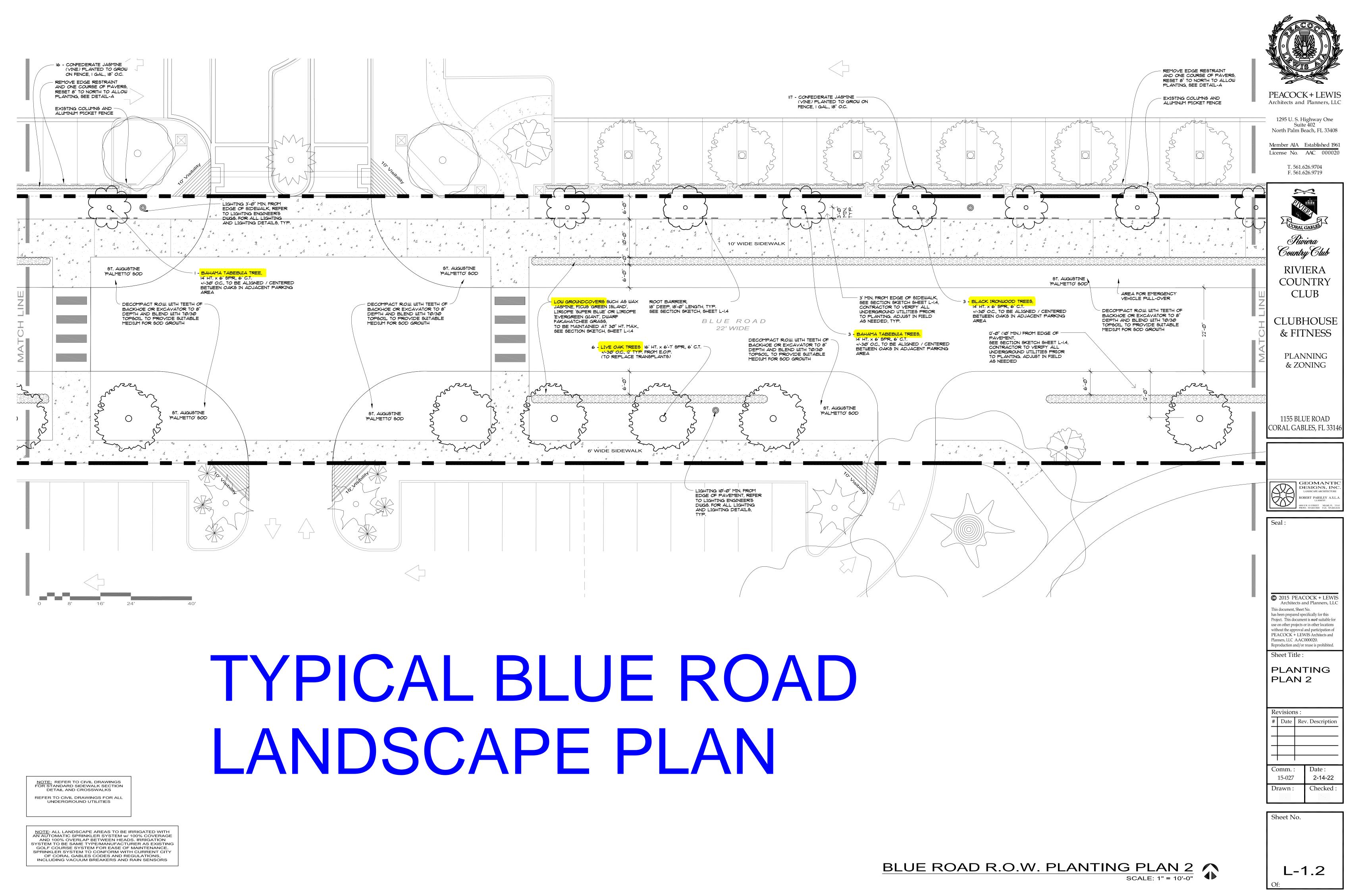
Blue Road Rendering 1 (looking west)



Blue Road Rendering 2

(looking west, from multi-use path)



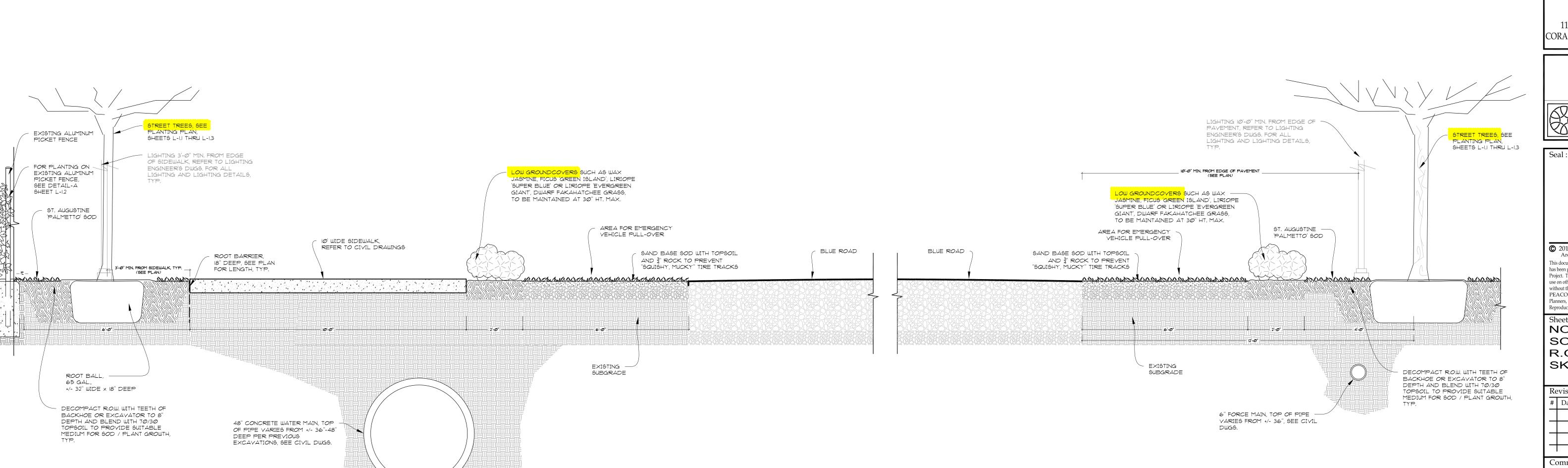


TYPICAL BLUE ROAD LANDSCAPE SECTION

NOTE: REFER TO CIVIL DRAWINGS FOR STANDARD SIDEWALK SECTION DETAIL AND CROSSWALKS

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND UTILITIES

NOTE: ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC SPRINKLER SYSTEM w/ 100% COVERAGE AND 100% OVERLAP BETWEEN HEADS IRRIGATION SYSTEM TO BE SAME TYPE/MANUFACTURER AS EXISTING GOLF COURSE SYSTEM FOR EASE OF MAINTENANCE SPRINKLER SYSTEM TO CONFORM WITH CURRENT CITY OF CORAL GABLES CODES AND REGULATIONS INCLUDING VACUUM BREAKERS AND RAIN SENSORS



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RIVIERA COUNTRY CLUB

CLUBHOUSE & FITNESS

> PLANNING & ZONING

1155 BLUE ROAD CORAL GABLES, FL 3314



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Sheet Title : NORTH & SOUTH R.O.W. SKETCH

Revisions:			
#	Date	Rev. Description	
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Comm.: 2-14-22 Checked: Drawn:

Sheet No.



Post Top Lighting

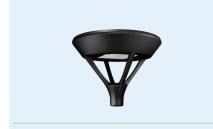
Making a Great First Impression



AEL – Contemporary (Contempo)



Cooper - Arbor



Cooper - Mesa



GE - EPTC



GE - Traditional Carriage (Town & Country) - No Side Panels



GE - Traditional Carriage (Town & Country) - W/Side Panels



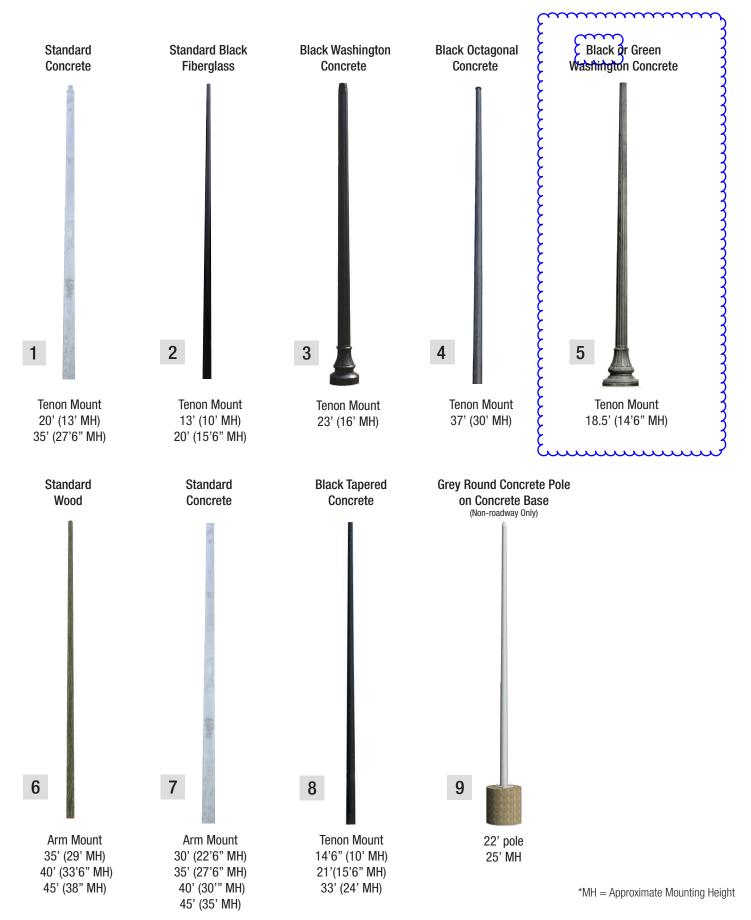


Holophane - Granville

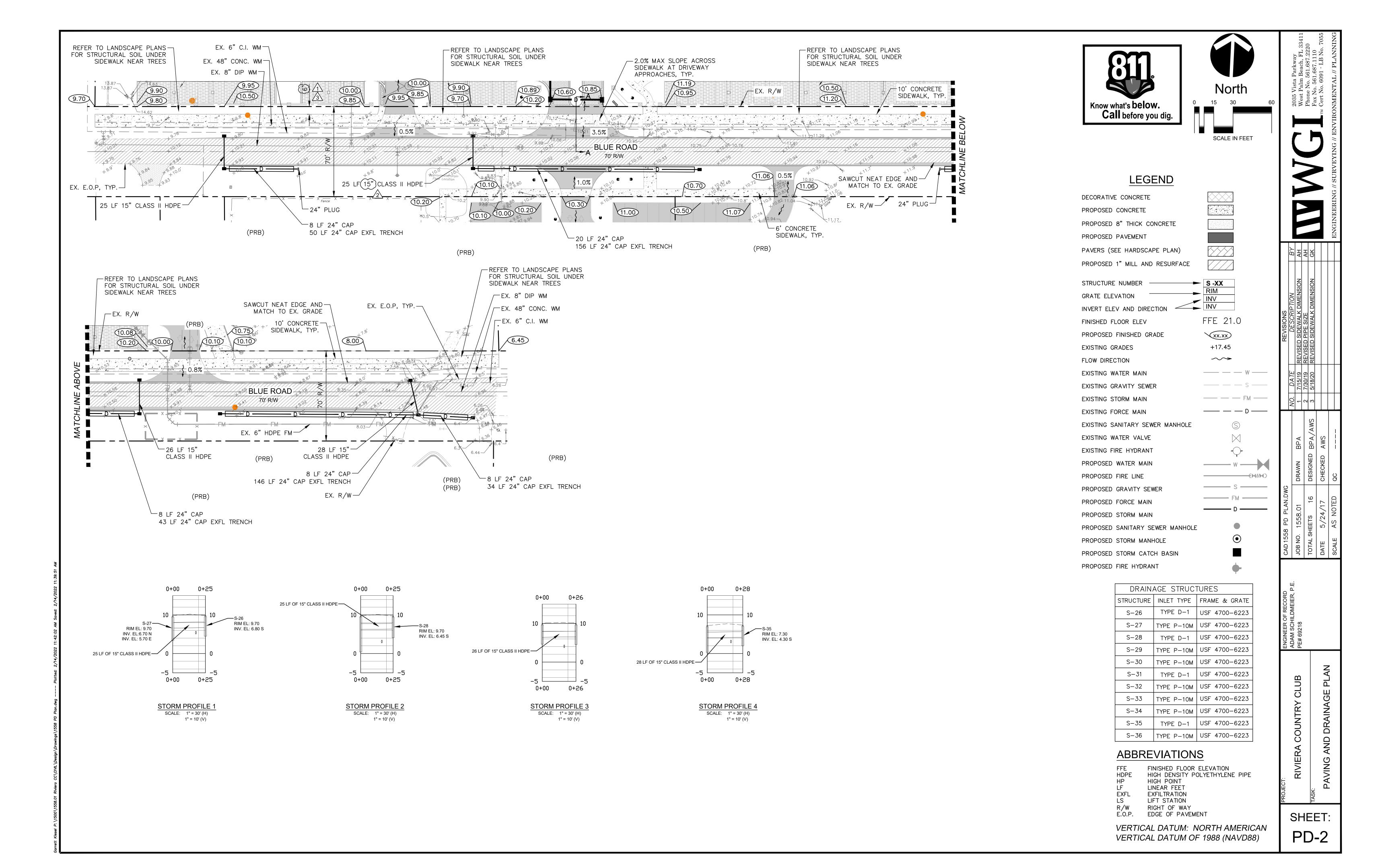


Holophane - Granville

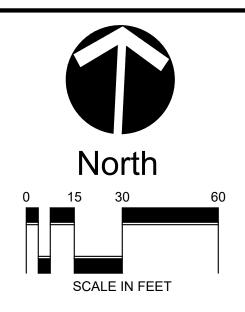
FPL.com/LED 844-4-FPL-LED Post Top A - 8/24/21



Brackets and Poles B - 8/24/21







PAVEMENT MARKING LEGEND

LETTER DESIGNATIONS USED IN THE PLANS INDICATE THE TYPE OF STRIPE TO BE PLACED ARE:

 \bigcirc = 6" SOLID WHITE

(B) = 8" SOLID WHITE

 \bigcirc = 12" SOLID WHITE \bigcirc = 18" SOLID WHITE

©= 24" SOLID WHITE

 \bigcirc = 6" SKIP WHITE (10'-30')

 $\bigcirc = 6$ " SKIP WHITE (6'-10') $\mathbb{H} = 6$ " SKIP WHITE (2'-4')

 \bigcirc = 6" SOLID YELLOW

 \bigcirc = 18" SOLID YELLOW \bigcirc = 6" DOUBLE YELLOW

 $\bigcirc = 6" \text{ SKIP YELLOW } (10'-30')$ $\mathbf{M} = 6$ " SKIP YELLOW (6'-10')

 $\mathbb{N} = 6$ " SKIP YELLOW (2'-4') \bigcirc = RPM BI-DIRECTIONAL AMBER/AMBER

(R) = FDP WHITE

S = FDP YELLOW

T = RPM BI-DIRECTIONAL WHITE/RED

(V) = 4" SOLID WHITE FOR PARKING SPACES W = HANDICAP PARKING MARKINGS

 \otimes = WHITE DIRECTIONAL ARROW

PAVEMENT MARKING NOTES

1. PAVEMENT MARKINGS - ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.

2. CONFLICTING AND/OR MISLEADING PAVEMENT MARKINGS SHALL BE REMOVED BY WATER BLASTING. ALL EXISTING PAVEMENT MARKINGS SHALL BE REPLACED UPON COMPLETION OF THE PROJECT.

3. PAVEMENT MARKINGS SHOULD BE PLACED AS SHOWN IN THE TRAFFIC DESIGN STANDARDS.

4. ALL PAVEMENT MARKINGS AND STRIPING EXCLUDING PARKING STALLS, SHALL BE INSTALLED WITH THERMOPLASTIC MATERIALS.

6 4

SIGN LEGEND

DESIGNATIONS USED IN THE PLANS TO INDICATE THE TYPE OF SIGN TO BE INSTALLED ARE:

1 R1-1 STOP SIGN

2 R4-7 KEEP RIGHT OF MEDIAN SIGN



STOP

3 R4-7A KEEP RIGHT SIGN



4 FTP-25 HANDICAP PARKING SIGN



5 R3-2 NO LEFT TURN SIGN



6 R1-6 IN-STREET PEDESTRIAN CROSSING SIGN



7 W11-2 WITH W16-7P



NO PARKING ANY TIME SIGN



9 R5-1 DO NOT ENTER SIGN



ANY TIME
DO NO

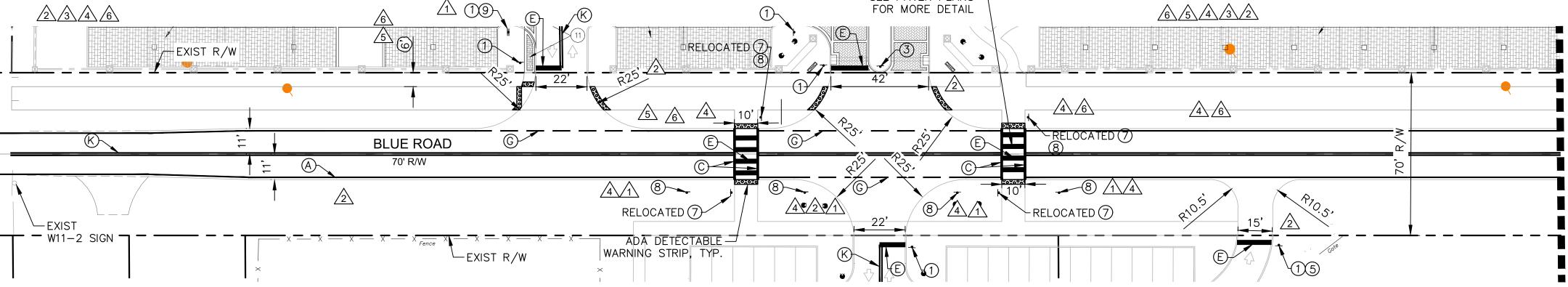
SHEET: PM-2

RIVIERA COUNTRY CLUB

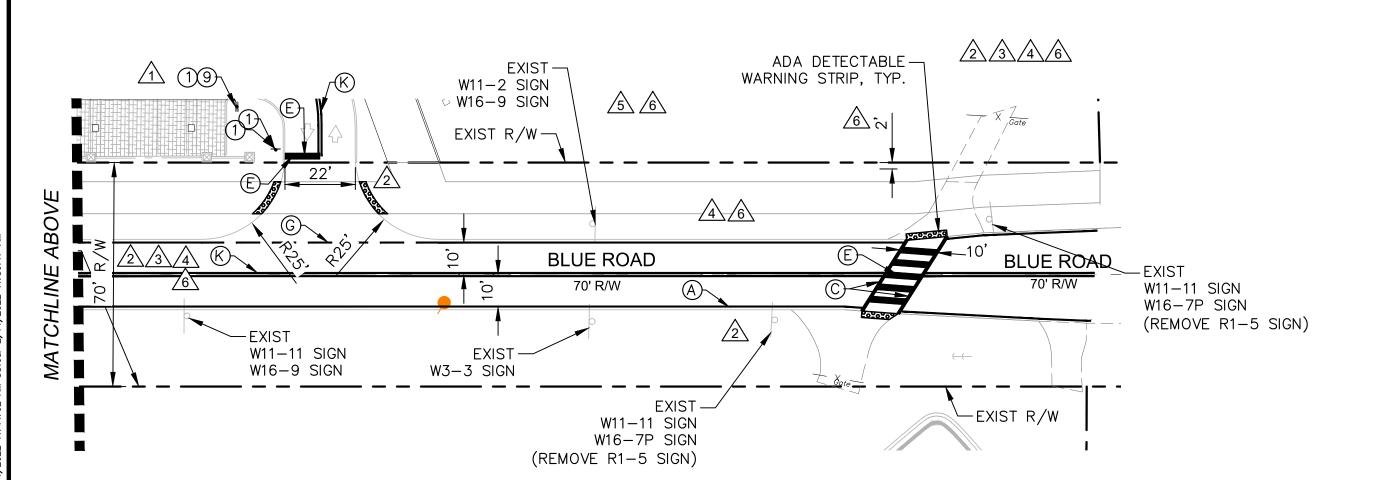
PAVEMENT MARKING AND SIGNING PLAN

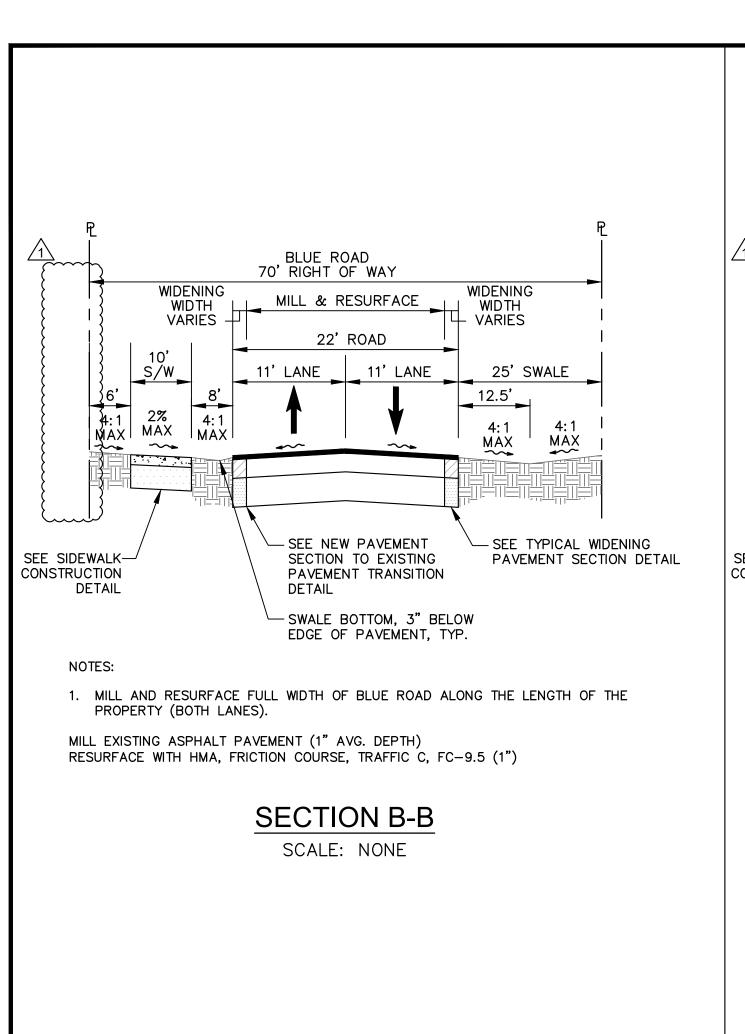
<u>2</u> 3 <u>4</u> 6	<u>(A)</u> (19) (E) (K)	SEE PAVER PLANS FOR MORE DETAIL

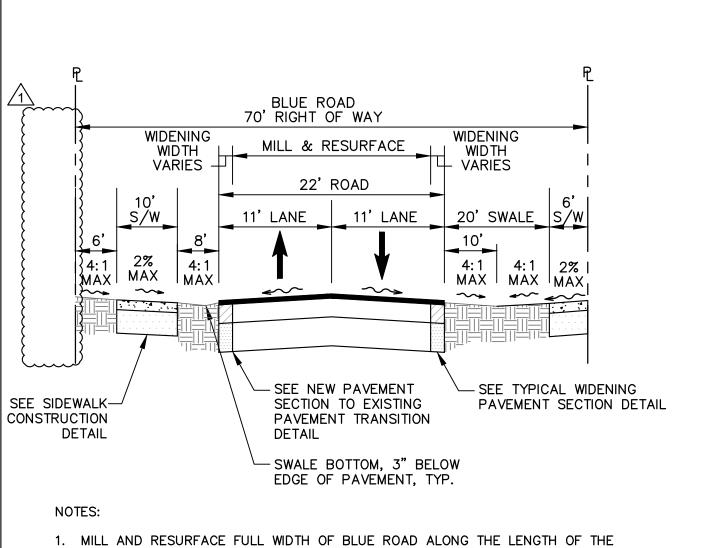
<u>/</u>5<u>/</u>6



5







PROPERTY (BOTH LANES).

MILL EXISTING ASPHALT PAVEMENT (1" AVG. DEPTH)

RESURFACE WITH HMA, FRICTION COURSE, TRAFFIC C, FC-9.5 (1")

SECTION C-C

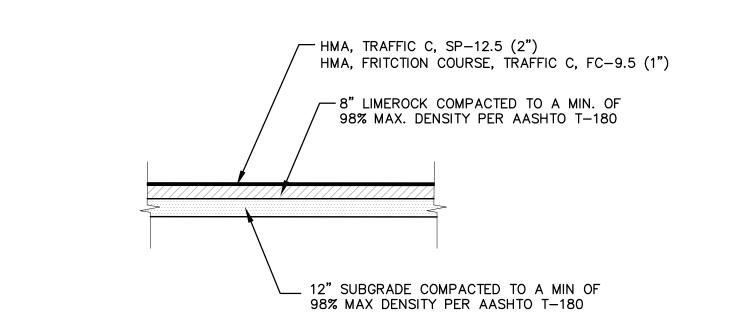
SCALE: NONE

COURSE, SAWCUT NEAT TRIM EDGE AND TACK COAT JUST PRIOR TO INSTALLATION OF NEW SURFACE COURSE. LIMIT OF PAVEMENT | 12" 12" EXISTING PAVEMENT SHOWN ON PLANS TO REMAIN PROPOSED ASPHALT -PROPOSED BASE — EXIST. BASE PROPOSED SUBBASE — EXIST. SUBBASE NOTE: REFER TO PAVEMENT EXISTING PAVEMENT SECTIONS FOR MATERIAL THICKNESS NEW PAVEMENT SECTION TO

WHERE PROPOSED PAVEMENT MEETS EXISTING PAV'T. REMOVE ASPHALTIC

CONCRETE SURFACE COURSE OR LEVELING

NEW PAVEMENT SECTION TO EXISTING PAVEMENT TRANSITION SCALE: NONE



TYPICAL PAVEMENT SECTION (BLUE ROAD)

SCALE: NONE

