

Location Map: NTS

Client
Mr. & Mrs. Guiteras
 800 Coral Way
 Miami, FL 33134

architect
Hf Architect
 7296 SW 48 Street
 Miami, FL 33155

structural engineering
U.S. Structures, Inc.
 4444 Southwest 71st Avenue
 suite 103
 Miami, FL 33155

m.e.p. engineering
Guerrero / Gonzalez
 780 Tamiami Canal Rd.
 Miami, FL 33144

index of drawings

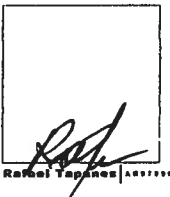
- architectural**
- a.000 - cover sheet
 - a.001 - general notes | site data
 - a.002 - ID sheets | details
 - 4.100 - doors | sbs
 - 4.101 - doors | sbs
 - 4.101a - doors plan
 - a.100 - proposed sbs plan
 - a.101a - proposed floor plan
 - a.101b - proposed floor plan
 - a.102 - proposed ceiling plan
 - a.201 - east and south elevations
 - a.202 - west and north elevations
 - a.201 - sections
 - a.202 - sections
 - a.203 - details
 - a.204 - details
 - a.201 - wall types

Scope of work:

Proposed new Addition on Historic Property.

Hf

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Guiteras Residence
 800 Coral Way | Coral Gables, Fl. 33134

2016 NOV 23

RECEIVED
 CITY OF CORAL GABLES
 HISTORICAL RESOURCES

DATE	01/05/16
BY	RAFAEL TAPIA
REVISION	1
DESCRIPTION	PROPOSED NEW ADDITION ON HISTORIC PROPERTY
DATE	01/15/16
BY	RAFAEL TAPIA
REVISION	2
DESCRIPTION	REVISIONS
DATE	01/15/16
BY	RAFAEL TAPIA
REVISION	3
DESCRIPTION	REVISIONS

ITEM NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	DEMOLITION				
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ITEM NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
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WALL LEGEND

- Existing walls to be demolished
- Proposed Partition to underside of structure
- Existing areas to be demolished
- New Masonry Wall
- Existing exterior doors and windows to be removed and replaced with Impact Resistant units.

DEMOLITION NOTES

D-1. Existing roof to be removed. All trusses and ceiling areas to be removed.

D-2. Existing floor joists and flooring to be removed throughout. Refer to structural for additional demo notes to stem walls.

D-2a. All existing partitions and finish surfaces to be removed and stripped.

D-3. Existing appliances to be removed and stored for owner.

D-4. Existing windows and doors to be removed and stored as instructed by owner.

D-5. Existing garage slab to remain. Refer to structural for new slab and addition.

D-6. All finish on floors to be removed in all rooms.

D-7. Remove kitchen soffits and ceiling.

D-8. General contractor shall provide all shoring and bracing prior to any demolition of the portion of the structure.

D-9. Existing trees to be relocated.

D-10. Existing trees to be removed.

D-11. Contractor to verify openings for new windows and doors.

D-12. Existing electrical meter, combi panel and disconnect to be undergrounded as shown. New electrical services to be required.

D-13. Existing air compressor tube relocated to location shown in site plan.

D-14. Existing Air compressor to be removed. New compressors to replace existing unit at location shown on site plan.

D-15. Existing trees to remain unless otherwise noted.

D-16. All plumbing fixtures that are removed to be capped off.

D-17. General contractor to perform all work according to all applicable codes and as per manufacturer specifications.

D-18. General contractor to patch and repair all disturbed areas as per code and to match adjacent finishes.

D-19. All areas having portions of walls, floor, and ceilings and conditions.

D-20. General contractor to verify all dimensions in the field and demolition or construction.

D-21. Area of proposed demolition.

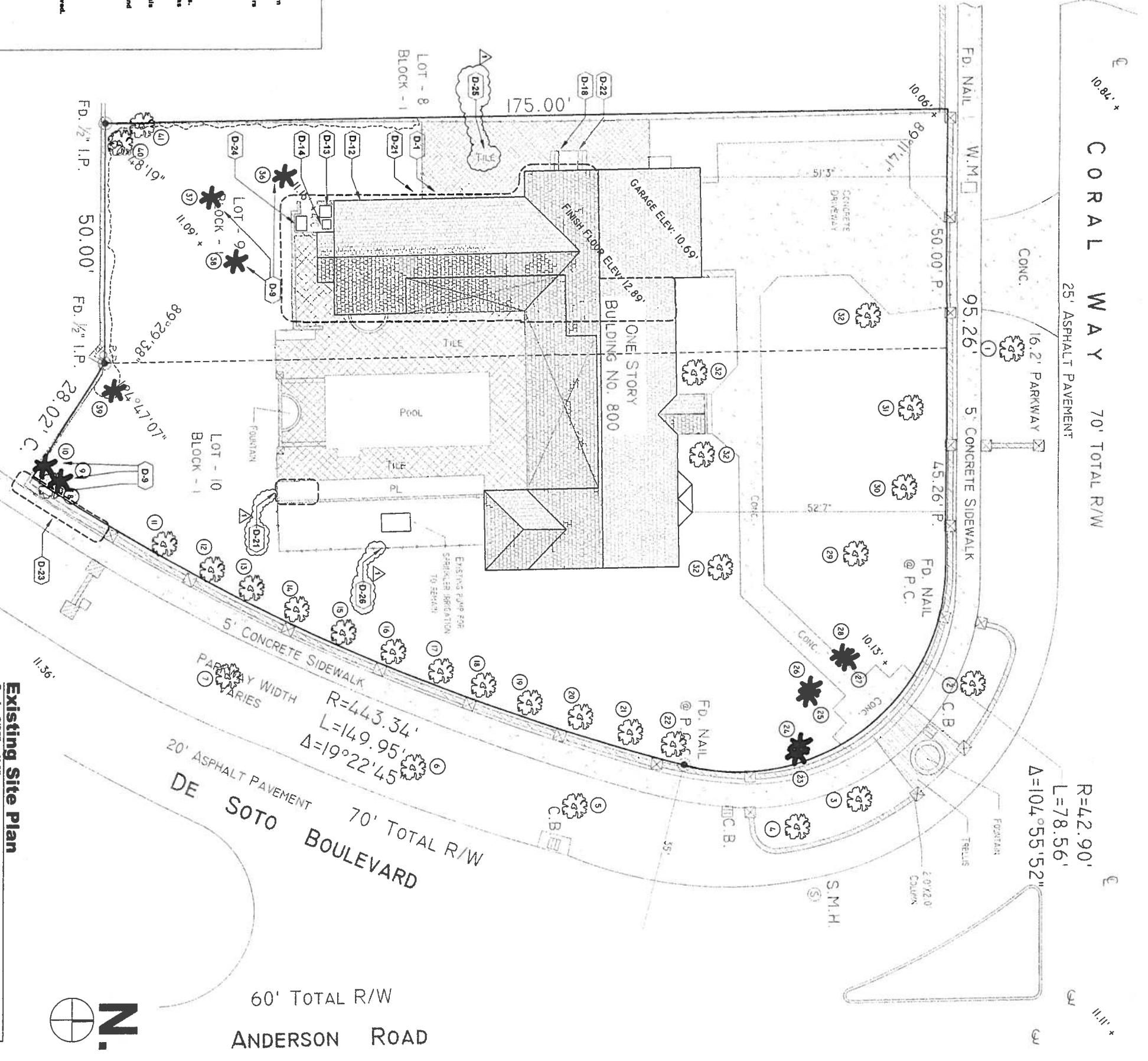
D-22. Remove stoop/ concrete steps.

D-23. Existing perimeter wall, non historic section to be removed.

D-24. Existing pool equipment to be relocated as per plan.

D-25. Existing Tile to be removed and replaced with SDD.

D-26. Remove existing Metal Fence and Gates.



Existing Site Plan
Scale: 3/32" = 1'-0"

Guiteras Residence
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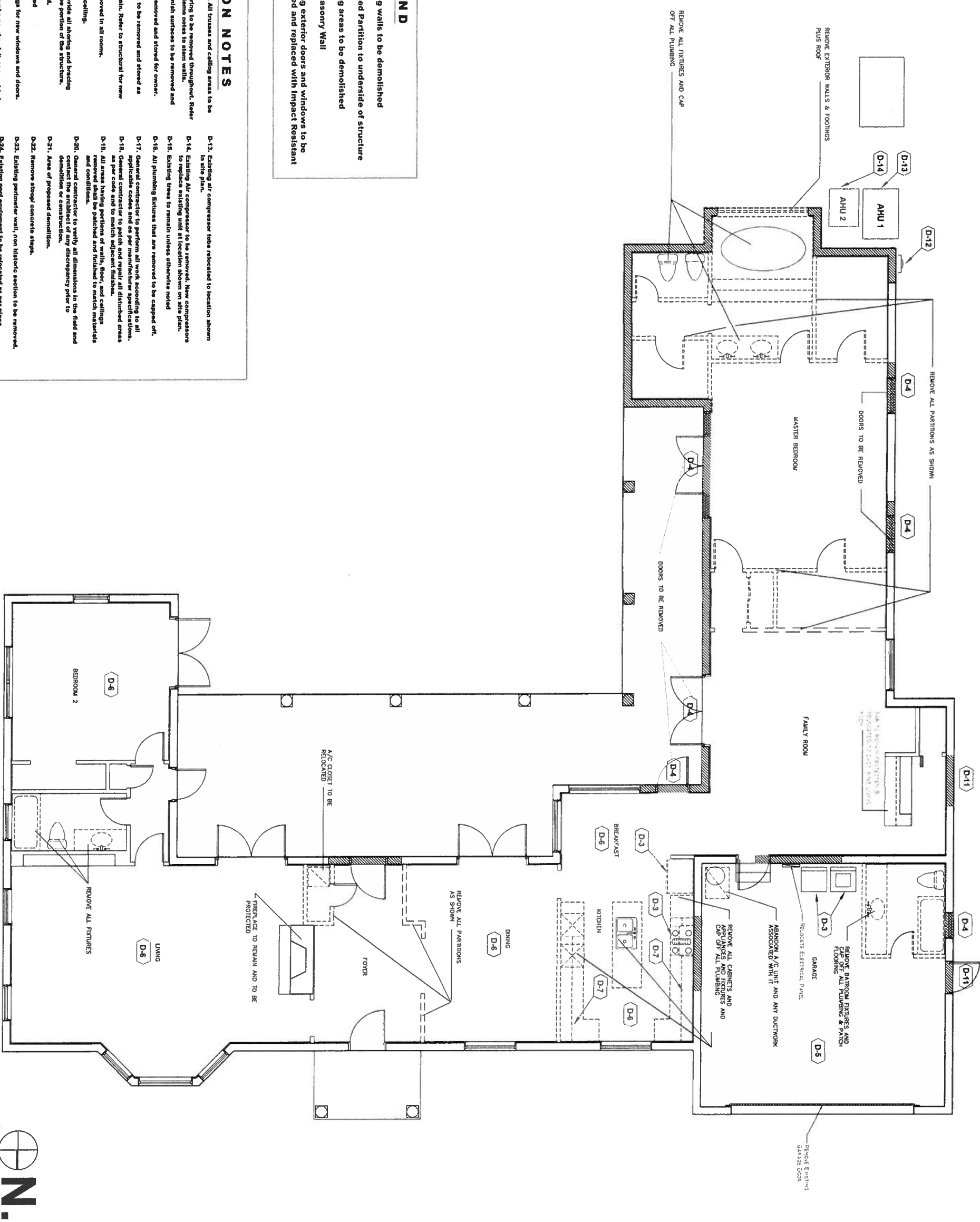
date	08/10/16
drawn by	RM
designed by	RM
checked by	
approved by	
scale	3/32" = 1'-0"
sheet no.	D-100

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WALL LEGEND

-  Existing walls to be demolished
-  Proposed Partition to underside of structure
-  Existing areas to be demolished
-  New Masonry Wall
-  Existing exterior doors and windows to be removed and replaced with Impact Resistant units.

- DEMOLITION NOTES**
- D-1. Existing roof to be removed. All trusses and ceiling areas to be removed.
 - D-2. Existing floor joists and flooring to be removed throughout. Refer to structural for additional demo notes to stem walls.
 - D-2a. All existing partitions and finish surfaces to be removed and stripped.
 - D-3. Existing appliances to be removed and stored for owner.
 - D-4. Existing windows and doors to be removed and stored as instructed by owner.
 - D-5. Existing Garage slabs to remain. Refer to structural for new slabs and addition.
 - D-6. All finish on floors to be removed in all rooms.
 - D-7. Remove kitchen soffits and ceilings.
 - D-8. General contractor shall provide all shoring and bracing prior to any demolition of the portion of the structure.
 - D-9. Existing trees to be removed.
 - D-10. Existing trees to be relocated.
 - D-11. Contractor to verify openings for new windows and doors.
 - D-12. Existing electrical meter combi panel and disconnect to be removed. Existing electrical conduits, wires, and tv as undergrounded for electrical and phone slabs, and tv as required.
 - D-13. Existing air compressor to be relocated to location shown in site plan.
 - D-14. Existing air compressor to be removed. New compressors to replace existing unit at location shown on site plan.
 - D-15. Existing trees to remain unless otherwise noted.
 - D-16. All plumbing fixtures that are removed to be capped off.
 - D-17. General contractor to perform all work according to all applicable codes and as per manufacturer specifications.
 - D-18. General contractor to patch and repair all disturbed areas as per code and to match adjacent finishes.
 - D-19. All areas having portions of walls, floor, and ceilings removed shall be patched and finished to match materials and conditions.
 - D-20. General contractor to verify all dimensions in the field and contact the architect of any discrepancy prior to demolition or construction.
 - D-21. Area of proposed demolition.
 - D-22. Remove sloped concrete steps.
 - D-23. Existing perimeter wall, non historic section to be removed.
 - D-24. Existing pool equipment to be relocated as per plans.
 - D-25. Existing Tile to be removed and replaced with SOD.
 - D-26. Remove existing Metal Fence and Gates



Demolition Plan
Scale: 1/4" = 1'-0"

RECEIVED
CITY OF CORAL GABLES
HISTORICAL RESOURCES

2016 NOV 23	DATE
23	REV
SS	BY

Guiteras Residence
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d.101

finishes

- exterior**
- ▲1. New terrace flooring to be either mud or gravel set. Material to be selected by owner.
 - ▲2. Smooth stucco finish. Exterior grade Sherwin Williams or equal. (paint color by owner)
 - ▲3. Replace exterior doors and windows with Impact resistant units. (MOA Product Approvals to be submitted by Installer)
 - ▲4. Wood members to be Pressure Treated (Pine from creosote). All connections for member sizes and connections (Exterior paint grade finish color by owner)
 - ▲5. New stucco sill. Exterior grade Sherwin Williams or equal paint. (paint color by owner).
 - ▲6. New Fin Cement Board Tile.
 - ▲7. New overhang and fascia trim painted finish color selected by owner.
 - ▲8. New structural columns to grade and be wrapped with wood and painted to match fascia color and finish.
 - ▲9. New Driveway or deck pavers set on compacted subgrade and bed material to be selected by owner.
- interior**
- ▲10. New 7' drywall with one coat primer and two coat painted finish (color by owner) board on exterior walls and ceiling.
 - ▲11. New "Durock" 1/2" wet areas to accept tile.
 - ▲12. New "Green board" painted with epoxy paint in wet areas.
 - ▲13. Ceramic tile flooring and on shower or tub walls only (to be selected by owner).
 - ▲14. New wood flooring to be selected by owner. Stain and finish to be selected by owner.
 - ▲15. New ceramic tile flooring to be selected by owner.
 - ▲16. Painted 1x4 wood casing. Wood sill to match. (Refer to details pictures)
 - ▲17. Painted copings, 1x6 painted wood base board and shoe molding
 - ▲18. Framed glass shower enclosure.
 - ▲19. Cabinets and countertops as per shop drawings to be supplied by owner.
 - ▲20. RESERVED

- HVAC legend**
- linear diffuser
 - linear RAG
 - ceiling diffuser
 - ceiling RAG

- electrical legend**
- duplex receptacle (pl as indicated)
 - 220 outlet
 - telephone jack
 - wall mounted sconce light
 - recessed 1x4x4 ceiling light fixture
 - light switch
 - pendant or flush mounted light fixture
 - box for future ceiling fan

BUILDING ELEVATIONS:

Existing Crown of Road: 10.84' NGVD
 New Garage: 11.39' NGVD
 New House Fin. Fl.: 12.89' NGVD

Refer to survey for any additional information regarding spot elevations or flood designation

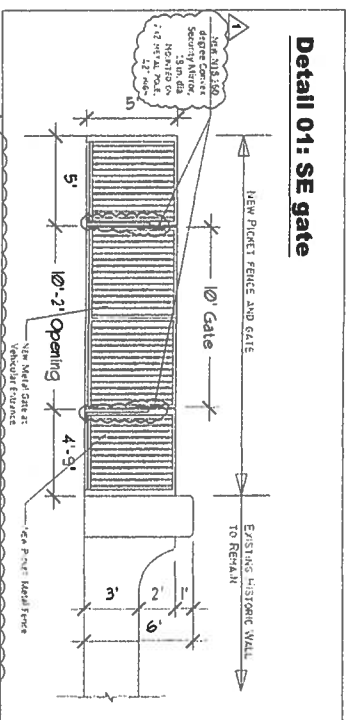
zoning legend RU-1 Single Family Residential (SFR)

Total Site Area	21,000 S.F.
Ground Area Coverage (Net Lot Area)	7,350 sq.ft. (35%)
Existing Covered Structure	3,623 S.F.
New Addition, Covered Walkway & New Garage	2,163 S.F.
Auxiliary Structures including pool and deck	9,450 sq.ft. (45%)
Minimum Lot Dimensions	50' Width 100' Depth
Green Area	8,400 sf (40%) 4,200 sf (20%)
Front Yard Area	10,680 sf (51%) 4,917 sf (23.6%)
Building Setbacks	Front: 50' Rear: 10'-4" Side Setbacks: East Side: 25', West Side: 10'
Building Heights	Max height: 28' Above Grade 18' Above Grade

legal description

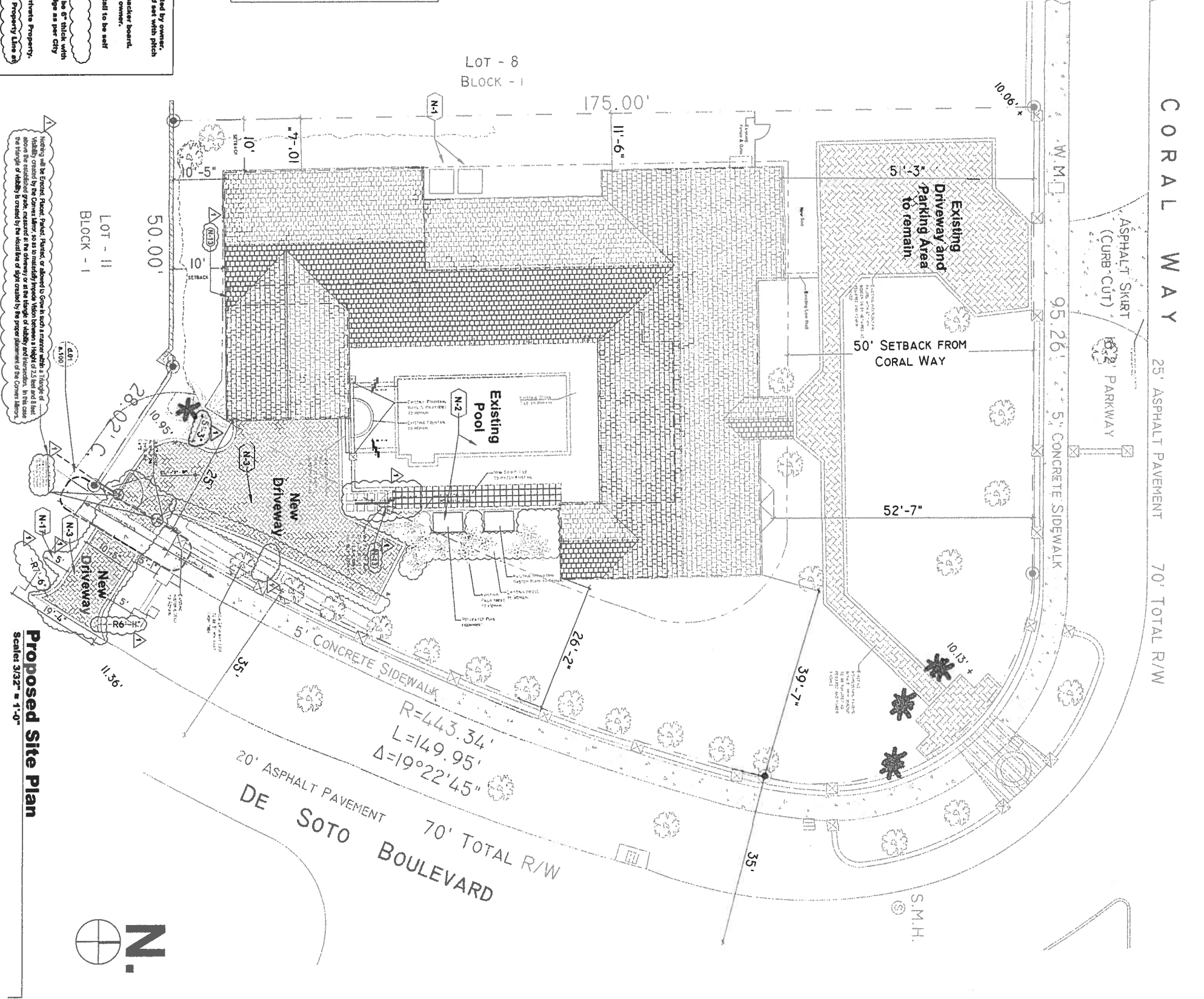
Lots 9 and 10, Block 1, CORAL GABLES SECTION A, according to the plat thereof, as recorded in Plat Book 5, Page 102 of the Public Records of Miami-Dade County, Florida.

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION:
 FLOOD INSURANCE NUMBER: 12053V
 SPECIAL FLOOD HAZARD IDENTIFICATION: FLOOD NUMBER: 017
 SPECIAL FLOOD HAZARD IDENTIFICATION: FLOOD ZONE: X
 DATE REVISION DATE: 09/11/2009
 CARRIED TO: FLOOD ZONE: X
 GEOMETRY: CURVES: (HORIZONTAL CURVE DATA: 110' RADIUS, 11.31' CHORD, 1.00' ARC, 10' PER 10' CHORD)



PROJECT NOTES

- M-1. Existing A New A/C compressors to be relocated
- M-2. Existing Pool to remain. Balconets pool equipment as shown.
- M-3. New driveway to be set on compact sand and gravel bed. With Concrete Perimeter of Approach to be constructed. Interlocking pavers to be selected by owner.
- M-4. Existing exterior doors and windows to be replaced with Impact Resistant County Product for units.
- M-5. Existing electrical panel to be upgraded and relocated as shown.
- M-6. Existing electrical service is underground. Contractor to verify existing service prior to demolition.
- M-7. Property is on sewer, refer to MEP.
- M-8. New Inset-shot water heater/plf. Refer to MEP.
- M-9. Existing the beam to remain. Refer to structural for new tie to existing structure to remain. All existing roof area to be demolished.
- M-10. Existing wood joist floor structure to be removed. "Ledge" support for floor joists to be clipped out. New data on filed grade to be constructed. Refer to structural for details.
- M-11. New Terrace flooring to be selected by owner. Material to be either gravel or mud set with picket to green grass system.
- M-12. All new areas to receive durack backer board. Finish material to be selected by owner.
- M-13. Allow painted alum. grs. 4" (feet) tall to be self closing and self latching.
- M-14. New 1/2" mesh galvanized steel mesh 5' x 11' with 1/2" mesh color coral Gables beige as per City Specs.
- M-15. All Rainwater to be retained on Private Property.
- M-17. Minimum 5' setback from Side Property Line of New Approach.



Proposed Site Plan
 Scale: 1/32" = 1'-0"

DATE:	09/15/16
DRAWN BY:	RT
DESIGNED BY:	RT

Guiteras Residence
 800 Coral Way | Coral Gables, Fl. 33134

Hf architect

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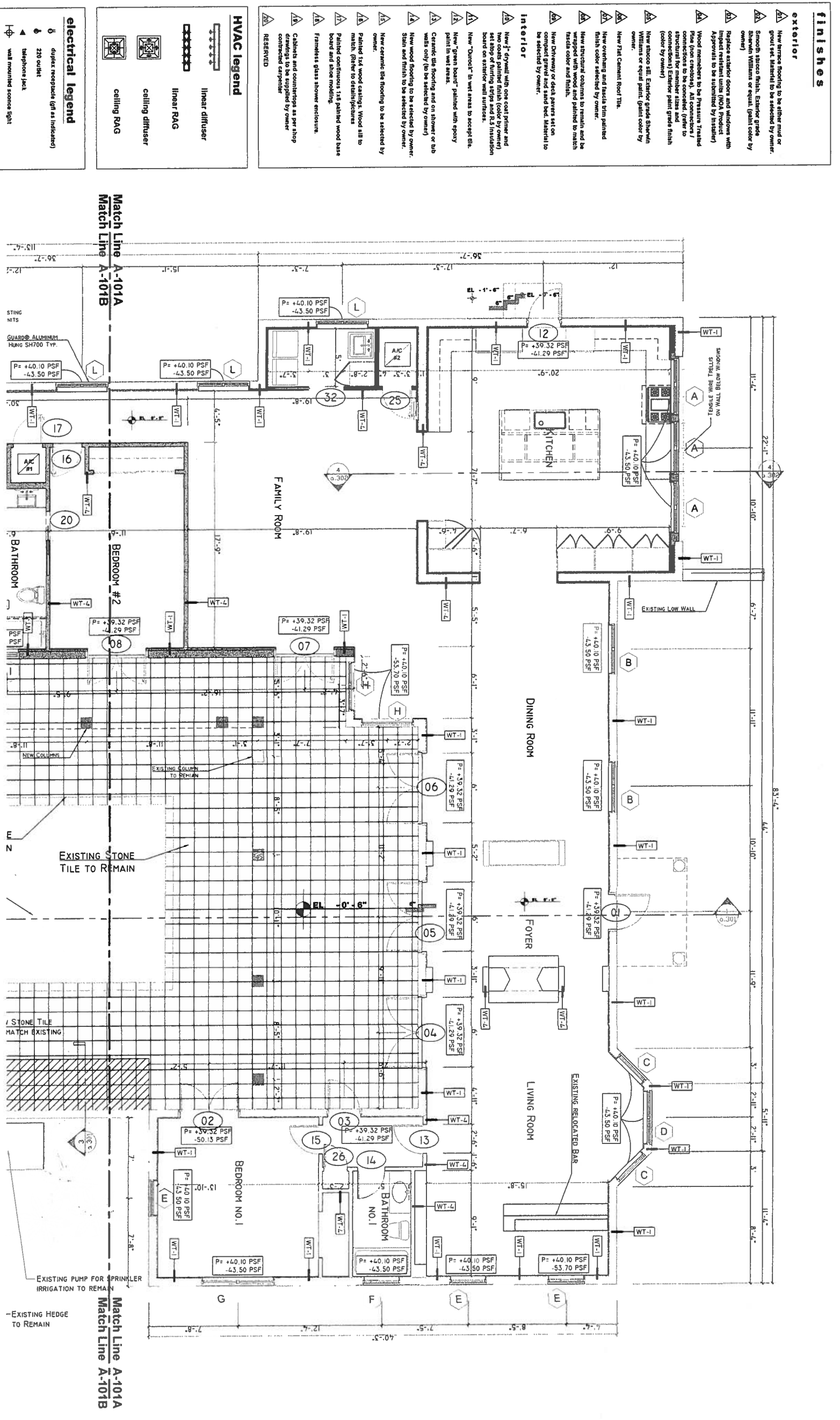
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Reuel Tapines
 Reuel Tapines

Guiteras Residence

800 Coral Way | Coral Gables, Fl. 33134

2016 NOV 23
 CITY OF CORAL GABLES
 HISTORICAL RESOURCES
 a.101A



Proposed Floor Plan
 Scale: 1/4" = 1'-0"

WALL LEGEND

- Existing walls to be demolished
- Proposed Partition to underside of structure
- Existing areas to be demolished
- New Masonry Wall
- Existing exterior doors and windows to be removed and replaced with Impact Resistant units.

PROJECT NOTES

- M-1. Existing A/C compressors to be relocated
- M-2. Existing Pool to Remain. Relocate pool equipment as shown.
- M-3. New driveway to be set on compact sand and gravel bed. With Concrete perimeter of Approach 6'-7" x 6" with 8# continuous rebar. Interlocking pavers to be selected by owner.
- M-4. Existing exterior doors and windows to be replaced with "Miami Dade County Product Approved" Impact units. Installer to submit MDA's for units.
- M-5. Existing electrical panel to be upgraded and relocated as shown.
- M-6. Existing electrical services is underground. Contractor to verify existing service prior to demolition.
- M-7. Property is on Sewer, refer to MEP
- M-8. New hot-tub water heater(1), refer to MEP.
- M-9. Existing the beam to remain. Refer to Structural for new 18 in to existing structure to remain. All existing roof area to be demolished.
- M-10. Existing wood light beam structure to be removed. "Tadpole" support for floor joists to be clipped out. New slab on floor grade to be constructed. Refer to Structural for details.
- M-11. New Terrace flooring to be selected by owner. Material to be either gravel or mud set with pitch to drain rain water.
- M-12. All wet areas to receive through hanger board. Finish material to be selected by owner.
- M-13. New painted alum. gate 4' (steel) tall to be set in to existing structure.
- M-14. Sidewalk at New Approach must be 6" thick with 3# rebar. New Green Color Coral Gables Sidewalk as per city specs
- M-15. All Reinwater to be retained on Private Property.

electrical legend

- duplex receptacle (light as indicated)
- 220 outlet
- telephone jack
- wall mounted sconce light
- recessed hi-hat ceiling light fixture
- pendant or flush mounted light fixture
- 1-box for future ceiling fan

HVAC legend

- linear diffuser
- linear RAAG
- ceiling diffuser
- ceiling RAAG

finishes

- exterior**
- A1. New terrace flooring to be either mud or great set. Material to be selected by owner.
 - A2. Smooth texture Block. Exterior grade. Smooth texture or equal (paint color by owner)
 - A3. Replace exterior doors and windows with Impact resistant units (MDA Product Approved) to be selected by owner.
 - A4. Wood members to be Pressure Treated Pine (non crosscut). All connectors / connections to be concealed (refer to connections) Exterior paint grade finish (color by owner)
 - A5. New masonry wall. Exterior grade shower in owner.
 - A6. New masonry or equal paint. (paint color by owner)
 - A7. New Flat Cement Floor Tile.
 - A8. New wetroom and facade trim painted finish color selected by owner.
 - A9. New structural columns to remain and be wrapped with wood and painted to match facade color and finish.
 - A10. New driveway or deck pavers set on compact gravel and sand bed. Material to be selected by owner.
- interior**
- B1. New 7' dropceil with oak coat primer and two coats painted finish (color by owner) set atop of furring strips and R.5 insulation board on exterior wall surfaces.
 - B2. New "Durock" in wet areas to accept tile. New "green board" painted with epoxy paint in wet areas.
 - B3. Ceramic tile flooring and on shower or tub walls only to be selected by owner.
 - B4. New wood flooring to be selected by owner. Stain and finish to be selected by owner.
 - B5. New ceramic tile flooring to be selected by owner.
 - B6. Painted 1x4 wood casing. Wood sill to match. Refer to details pictures
 - B7. Painted continuous 1x8 painted wood base board and shoe molding.
 - B8. Framless glass shower enclosure.
 - B9. Cabinets and countertops as per shop drawings to be supplied by owner.
 - B10. RESERVED

finishes

- Exterior**
- ▲ New barns flooring to be either mud or grout set. Material to be selected by owner.
 - ▲ Smooth stucco finish. Exterior grade. Smooth Williams or equal. (paint color by owner)
 - ▲ Replace exterior doors and windows with Impact resistant units (NOA Product Approval to be submitted by installer)
 - ▲ Wood members to be Pressure Treated Pine (iron creosote). All connectors / connections to be concealed. (Refer to commercial Exterior Fasteners finish (color by owner))
 - ▲ New stucco all. Exterior grade Sherwin Williams or equal. (paint color by owner)
 - ▲ New Flat Cement Roof Tile.
 - ▲ New overhang and fascia trim painted. Finish color selected by owner.
 - ▲ New structural columns to remain and be wrapped with wood and painted to match facade color and finish.
 - ▲ New Driveway or deck pavers set on compact gravel and sand bed. Material to be selected by owner.
- Interior**
- ▲ New 1/2" drywall with one coat primer and two coats painted finish (color by owner) set atop of furring strips and R-2 insulation board on exterior wall surfaces.
 - ▲ New "Turnout" in wet areas to accept tile.
 - ▲ New "Green board" painted with epoxy paint in wet areas.
 - ▲ Ceramic tile flooring and on shower or tub walls only (to be selected by owner)
 - ▲ New wood flooring to be selected by owner. Stain and finish to be selected by owner.
 - ▲ New ceramic tile flooring to be selected by owner.
 - ▲ Painted 1x4 wood castings. Wood sill to match. Grates to detachable.
 - ▲ Painted continuous 1x6 painted wood base board and shoe molding.
 - ▲ Frenchless glass shower enclosure.
 - ▲ Cabinets and countertops as per shop drawings to be supplied by owner
 - ▲ RESERVED

- HVAC legend**
- linear diffuser
 - linear RAQG
 - ceiling diffuser
 - ceiling RAQG

- electrical legend**
- ⊕ duplex receptacle (qt as indicated)
 - ⊕ 220 outlet
 - ⊕ telephone jack
 - ⊕ wall mounted sconce light
 - ⊕ recessed hi-hat ceiling light fixture
 - ⊕ light switch
 - ⊕ pendant or flush mounted light fixture
 - ⊕ Job for future ceiling fan

PROJECT NOTES

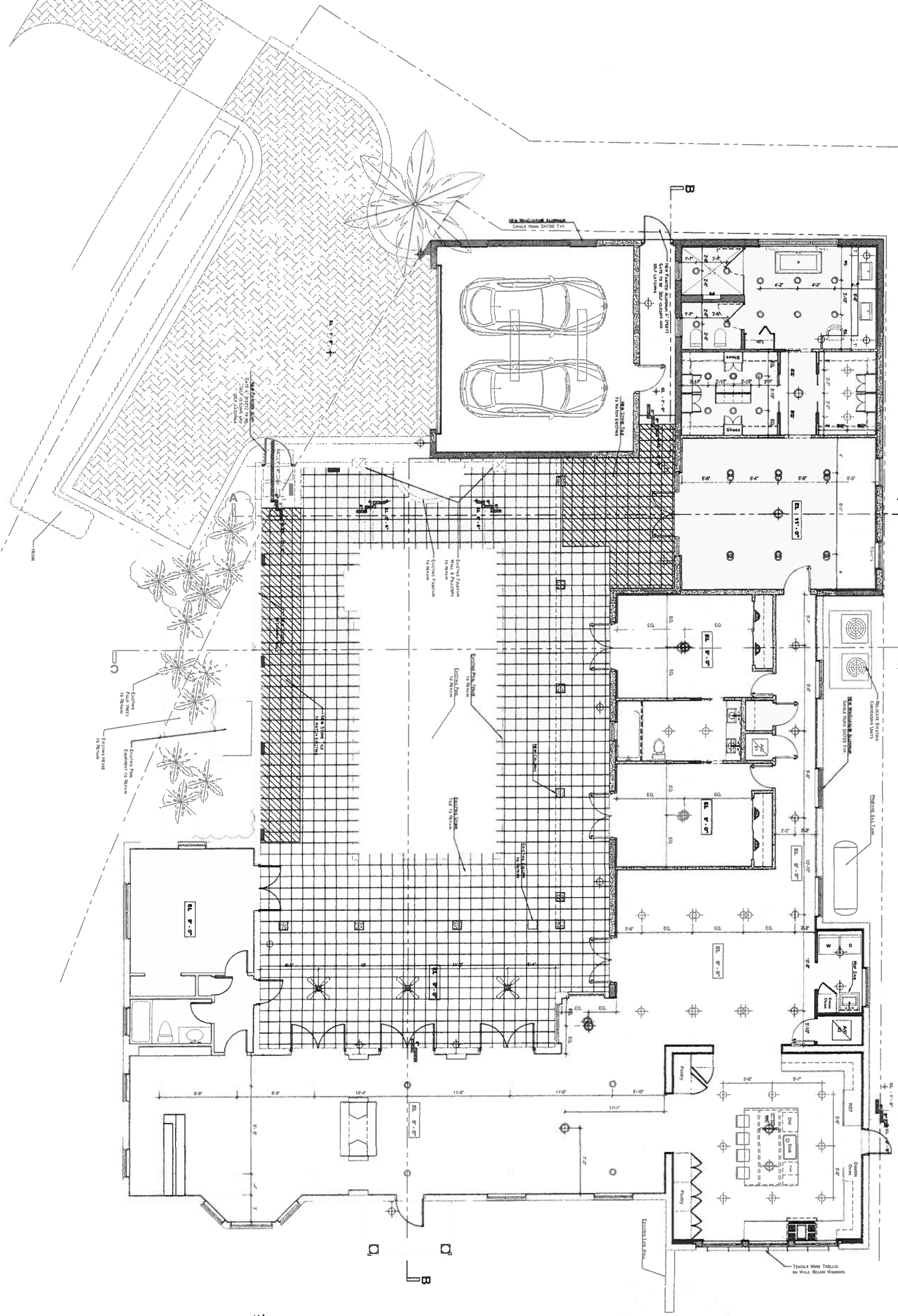
- M-1. Existing A. New A/C compressors to be relocated
- M-2. Existing Pool to Remain. Relocate pool equipment as shown.
- M-3. New driveway to be set on compact sand and gravel bed. With Concrete curb and 6" x 6" with 66 continuous rebar. Interlocking pavers to be selected by owner.
- M-4. Existing exterior doors and windows to be replaced with "Impact Resistant" units. Installer to submit NOA's for units.
- M-5. Existing electrical panel to be upgraded and relocated as shown.
- M-6. Existing electrical service is underground. Contractor to verify existing service prior to demolition.
- M-7. Property is on Sewer, refer to MEP
- M-8. New In-slab water heater(s). Refer to MEP.
- M-9. Existing tile beam to remain. Refer to Structural for new tile in to existing structure to remain. All existing roof area to be demolished.
- M-10. Existing wood joist floor structure to be removed. "Judge" grade to be constructed. Refer to Structural for details.
- M-11. New Terrace Flooring to be selected by owner. Material to be either grout or mud set with pish to drain rain water.
- M-12. All wet areas to receive grout backer board. Finish material to be selected by owner.
- M-13. New painted alum. gate w/ (steel) sill to be set closing and self latching.
- M-14.
- M-15. Sidewalk at New Approach must be 6" thick with Wire Mesh color Coral Gables beige as per City Specs
- M-16. All Rainwater to be retained on Private Property.

WALL LEGEND

- Existing walls to be demolished
- Proposed Partition to underside of structure
- Existing areas to be demolished
- New Masonry Wall
- Existing exterior doors and windows to be removed and replaced with Impact Resistant units.

Reflected Ceiling Plan

Scale: 3/16" = 1'-0"



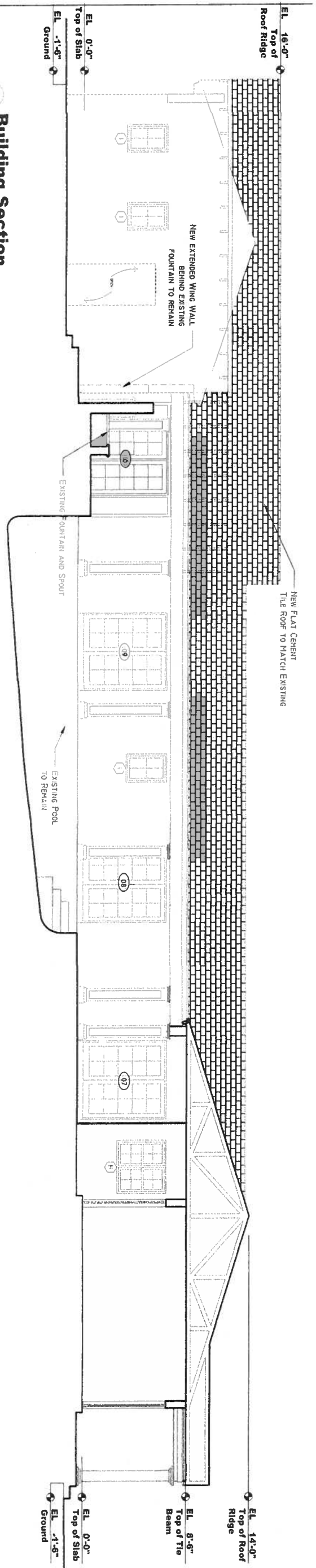
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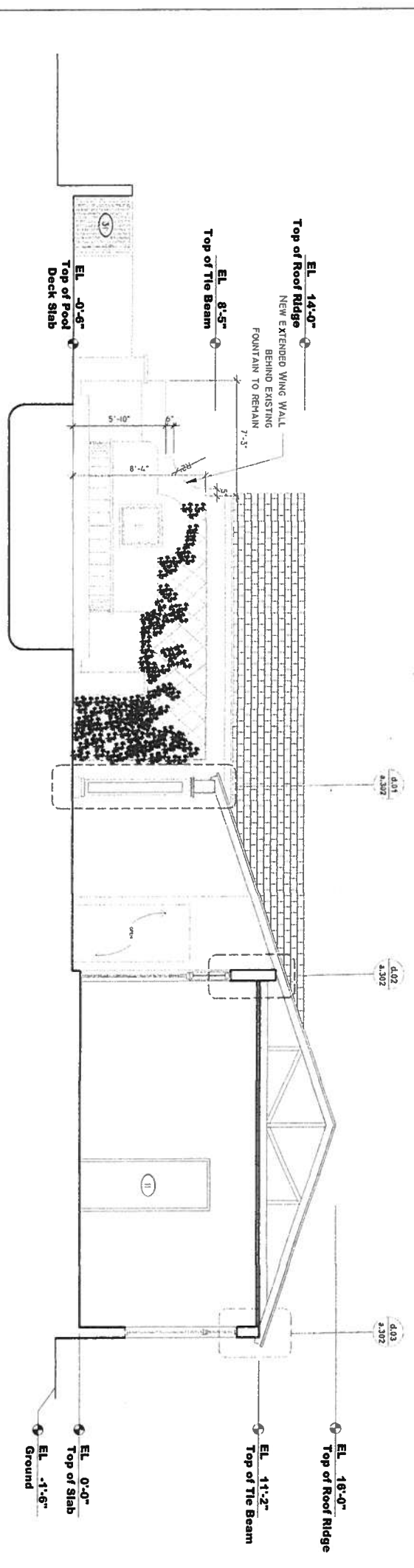
date: 08/12/16
 drawn by: RT
 designed by: RT

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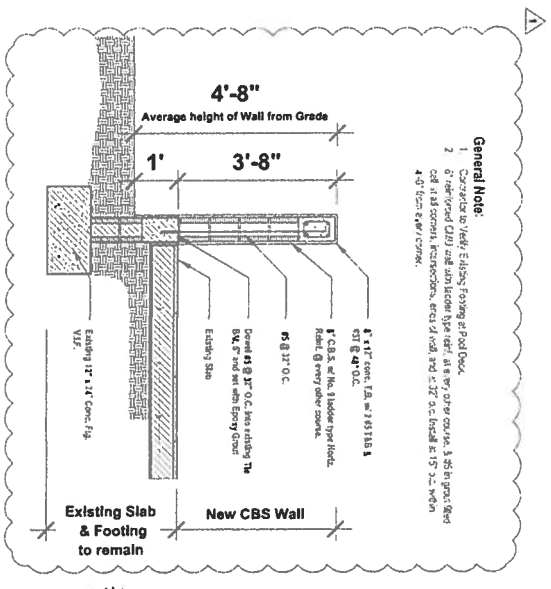
a.102



Building Section
Scale: 1/4" = 1'-0"



Building Section
Scale: 1/4" = 1'-0"



Pool Deck Wall Section
Scale: 1/2" = 1'-0"

- PROJECT NOTES**
- M-1. Existing A/C compressors to be relocated.
 - M-2. Existing Pool to be demolished.
 - M-3. New driveway to be set on compact sand and gravel. New concrete driveway to be 4" thick with #3 rebar. Refer to Structural for details.
 - M-4. Existing exterior doors and windows to be replaced with Miami Dade County Product. Impact strikes. Installer to submit MOA's for units.
 - M-5. Existing electrical panel to be upgraded and relocated as shown.
 - M-6. Existing electrical service is underground. Contractor to verify existing service prior to demolition.
 - M-7. Property is on Sewer. Refer to MEP.
 - M-8. New brashnet water heater. Refer to MEP.
 - M-9. Existing tie beam to remain. Refer to Structural for new tie beam. Existing structure to remain. All existing roof area to be demolished.
 - M-10. Existing wood joist floor structure to be removed. "Ledge" support for floor joists to be clipped out. New slab on filled grade to be constructed. Refer to Structural for details.
 - M-11. New Terrace flooring to be selected by owner. Material to be either granite or mud set with pitch to drain rain water.
 - M-12. All wet areas to receive durlock backer board. Finish material to be selected by owner.
 - M-13. New painted alum. gate 4' (wide) tall to be set closing and self latching.
 - M-14. Sidewalk at New Approach must be 6" thick with Wire Mesh color Coral Gables Beige as per City Specs.
 - M-15. All Reinforcement to be retained on Private Property.

- WALL LEGEND**
- Existing walls to be demolished
 - Proposed Partition to underside of structure
 - Existing areas to be demolished
 - New Masonry Wall
 - Existing exterior doors and windows to be removed and replaced with Impact Resistant units.

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date: 06/16/2018
drawn by: RT
designed by: RT
05-12-15
a.301



Rafael Torres

Guiteras Residence

800 Coral Way | Coral Gables, Fl. 33134

DATE	DESCRIPTION
DESIGNED BY	RT
DRAWN BY	RT
ISSUED BY	RT
09-12-15	

Roof covering

Tiled roof
Provide 30# fiberglass paper not mopped over 30# asphalt paper fastened as per mechanical fastener schedule, over 2" CDX plywood fastened to wood trusses with 10d nails at 6" o.c. at hems/edges supports and 4" o.c. at eaves and panel edges.

Mechanical fasteners
Mechanical fasteners and tin caps shall be spaced in a minimum pattern of 12" o.c. on a 4" over/rid and 18" o.c. in two staggered rows in the field area of the roof. Perimeter areas shall be fastened 6" in the top and 12" in the field.

Roofing details
All trusses shall be secured to bearing partitions and fit beams with hurricane straps as scheduled or as indicated by the truss manufacturer. Stagger trusses as required to achieve proper bearing (4" min.)

Coordinate all roof slopes and location of all chases, mechanical and mechanical drawings.
Coordinate truss layout with truss manufacturer shop drawings.
All truss for gilder connections by truss manufacturer.

Soffits and overhangs to match existing conditions.
Plywood sheathing shall be attached under the valley gut trusses. Valley gut trusses shall be attached with galv. metal straps to the main roof trusses.

GC to provide shop drawings for Trusses prior to manufacturing.
All wood truss bracing shall be 2x6 wood horizontal bracing spaced at 6' or o.c. max. along bottom chord. Fastened with (4) 10d nails as per connection.

GC to saw cut existing overhang to allow for new addition. GC to provide continuous flashing between connections of existing structures and new structures. GC to patch existing roof as required. Refer to structural for all new supports for existing roof structure.

soffit ventilation
Ventilation of attic spaces to comply with F.B.C. The ratio of total net free ventilation area to the area of the ceiling shall not be less than 1/150.

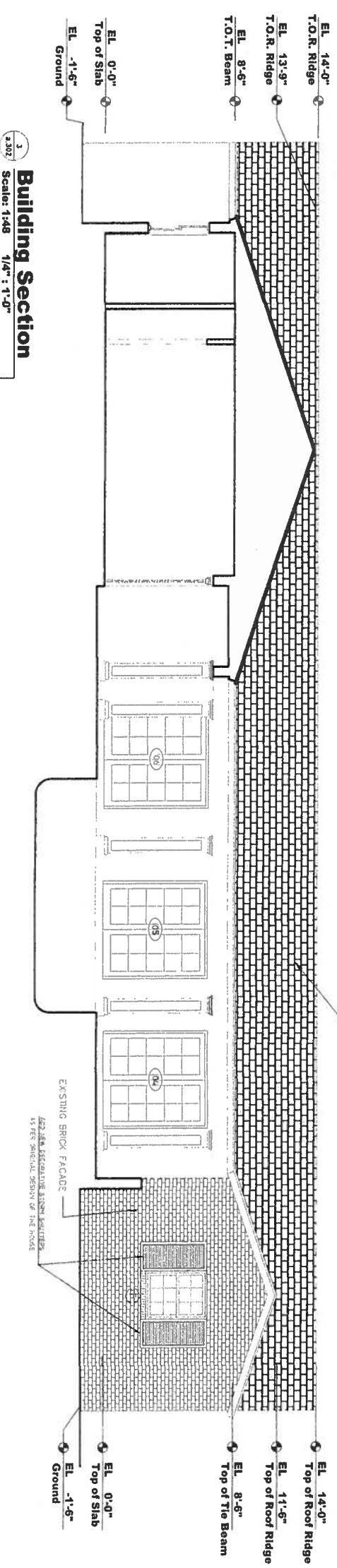
finishes

exterior

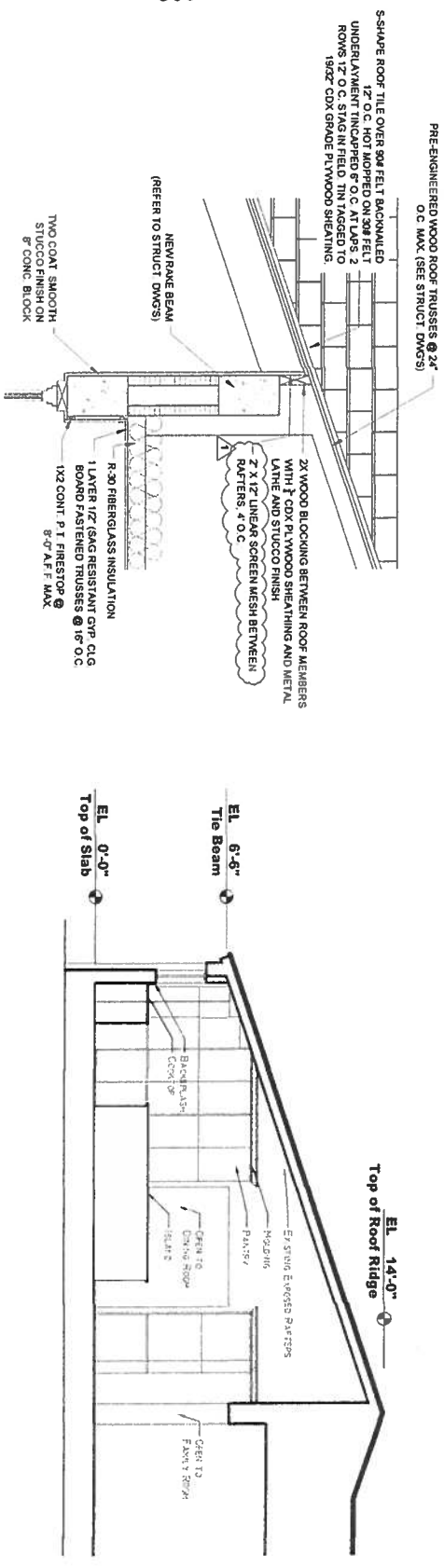
- ▲ New terrace flooring to be either mid or grey slate. Material to be selected by owner.
- ▲ Smooth stucco finish. Exterior grade. Smooth. Uniform or equal (paint color by owner)
- ▲ Replace exterior doors and windows with impact resistant units (MCA Product Approvals to be submitted by installer)
- ▲ Wood members to be Pressure Treated Pine (from creosote). All connectors / connections to be concealed. (refer to construction) Exterior paint and finish (color by owner)
- ▲ New stucco sill. Exterior grade Sherwin Williams or equal paint. (paint color by owner)
- ▲ New Flat Cement Roof Tile.
- ▲ New overhang and fascia trim painted finish color selected by owner.
- ▲ New structural columns to remain and be wrapped with wood and painted to match fascia color and finish.
- ▲ New Driveway or deck pavers set on compact gravel and sand bed. Material to be selected by owner.

interior

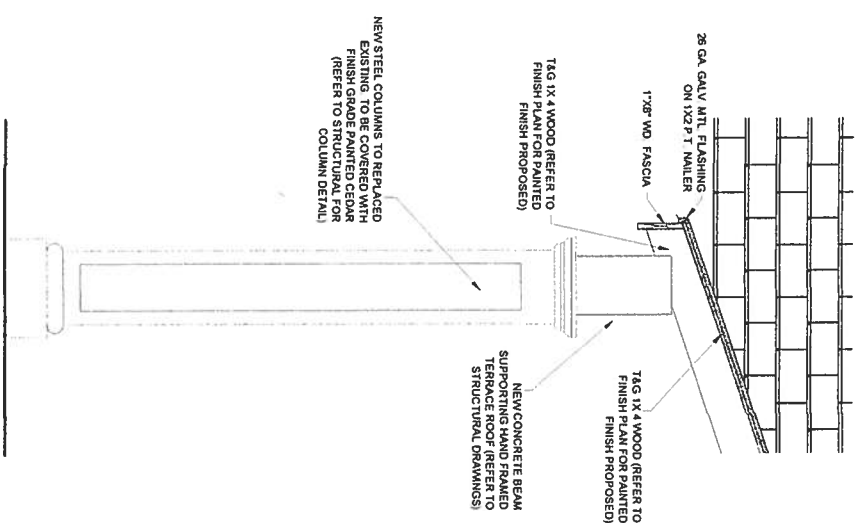
- ▲ New 1" drywall with joint coat paper and 2 coats of painting finish. (color by owner) set atop of furring strips and R-13 insulation based on exterior wall surfaces.
- ▲ New "Turnout" in wet areas to accept tile. New "Green Board" patch with epoxy paint in wet areas.
- ▲ Ceramic tile flooring and on shower or tub walls only (to be selected by owner).
- ▲ New wood flooring to be selected by owner. Stain and finish to be selected by owner.
- ▲ New concrete tile flooring to be selected by owner.
- ▲ Painted 1st wood casings. Wood sill to match. (color to be selected by owner)
- ▲ Painted continuous 1st painted wood base board and shoe molding.
- ▲ Frameless glass shower enclosure.
- ▲ Cabinets and countertops as per shop drawings to be supplied by owner contractor/carpenter
- ▲ RESERVED



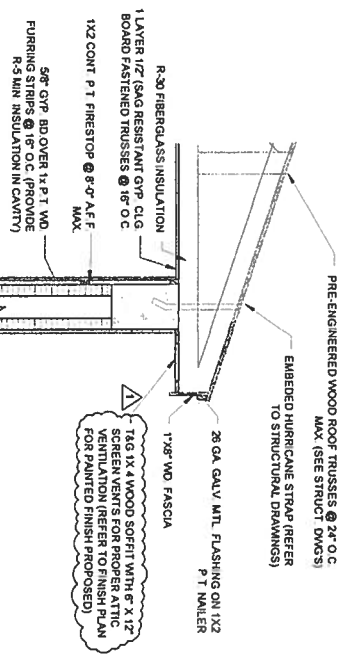
Building Section
Scale: 1/4" = 1'-0"



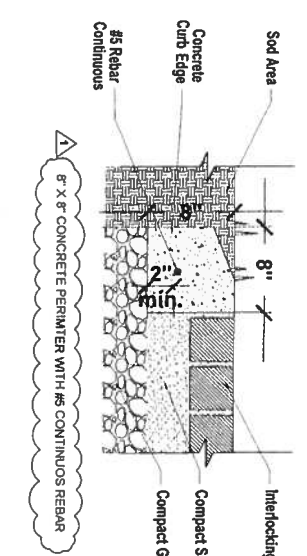
Partial Section
Scale: 1/4" = 1'-0"



Detail 01
Scale: 1:16 3/4" = 1'-0"



Detail 02
Scale: 1:16 3/4" = 1'-0"



Detail 03
Scale: 1:8 1 1/2" = 1'-0"

PROJECT NOTES

- M-1. Existing & New A/C compressor to be relocated
- M-2. Existing Pool to remain. Relocate pool equipment as shown.
- M-3. New driveway to be set on compact sand and gravel bed. With Concrete Perimeter of Approach as shown. Interlocking
- M-4. Existing exterior doors and windows to be replaced with "Miami Dade County Product Approach" Impact units. Installer to submit MCA's for review.
- M-5. Existing electrical panel to be upgraded and relocated as shown.
- M-6. Existing electrical services to underground. Contractor to verify existing service prior to demolition.
- M-7. Property is on Sevens, refer to MEP.
- M-8. New in-slab water heater(s). Refer to MEP.
- M-9. Existing the beam to remain. Refer to Structural for new tie beam to be added. All existing roof areas to be demolished.
- M-10. Existing wood joist floor structure to be removed. "Ledge" support for floor joists to be clipped out. New slab on filled grade to be constructed. Refer to Structural for details.
- M-11. New Terrace flooring to be selected by owner. to drain rain water.
- M-12. All wet areas to receive durrock becker board. Finish material to be selected by owner.
- M-13. New painted alum. gate or (steel) wall to be set in existing concrete. Refer to Structural for details.
- M-14.
- M-15. Sidewalk at New Approach must be 6" thick with wire mesh color Coral Gables Bldg as per City Spec.
- M-16. All rainwater to be retained on Private Property.

WALL LEGEND

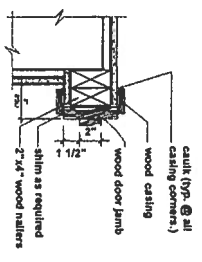
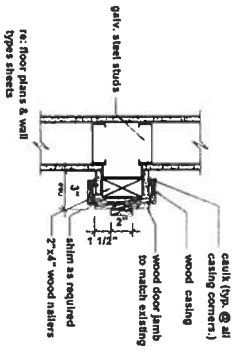
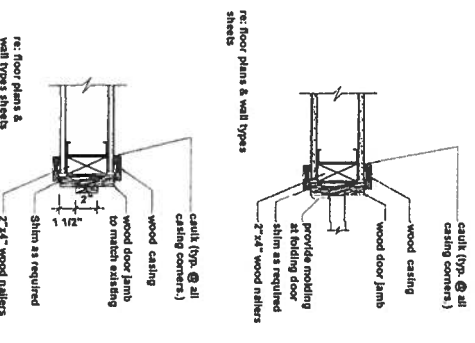
- Existing walls to be demolished
- Proposed Partition to underside of structure
- Existing areas to be demolished
- New Masonry Wall
- Existing exterior doors and windows to be removed and replaced with Impact Resistant units.

electrical legend

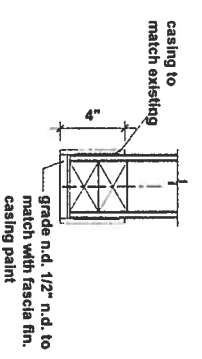
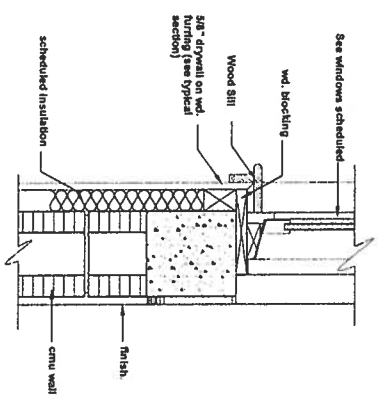
- ⊕ duplex receptacle (if as indicated)
- ⊕ 220 outlet
- ⊕ telephone jack
- ⊕ wall mounted sconce light
- ⊕ recessed track ceiling light fixture
- ⊕ light switch
- ⊕ pendant or flush mounted light fixture
- ⊕ -xxx for future ceiling fan

HVAC legend

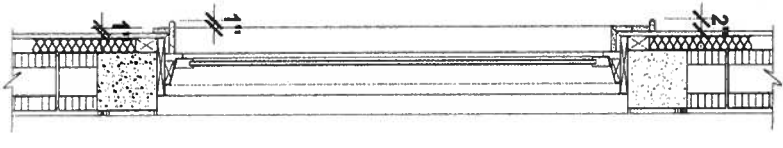
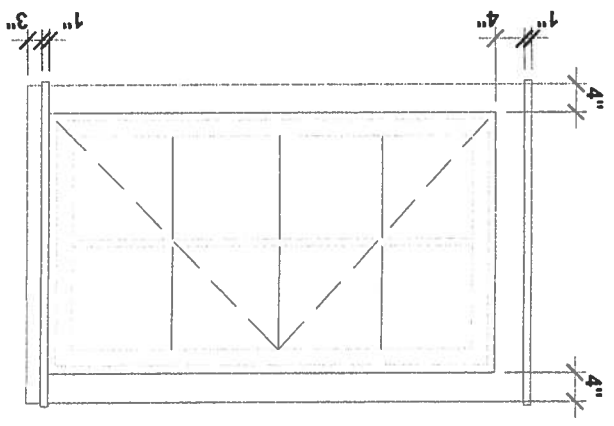
- linear diffuser
- linear RAAG
- ceiling diffuser
- ceiling RAAG



Detail | Int. Door
Scale: NTS



Detail | Window Sill
Scale: 1:6



Elevation

Section

Detail | Window Sill
Scale: 1:12

PROJECT NOTES

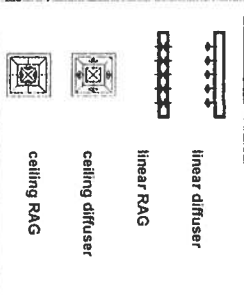
- M-1. Existing & New A/C compressors to be relocated.
- M-2. Existing Panel to remain. Relocate pool equipment as shown.
- M-3. New driveway to be set on compact sand and gravel bed. With Concrete Perimeter or Approach 6" x 8" with 2" continuous rebar. Interlocking pavers to be selected by owner.
- M-4. Existing exterior doors and windows to be replaced with "Miami Dade County Product Approved" Impact units. Installer to submit MCA's for units.
- M-5. Existing electrical panel to be upgraded and relocated as shown.
- M-6. Existing electrical service is underground. Contractor to verify existing service prior to demolition.
- M-7. Property is on sewer, refer to MEP.
- M-8. New In-slab water heater/fish. Refer to MEP.
- M-9. Existing the beam to remain. Refer to Structural for new tie in to existing structure to remain. All existing foot area to be demolished.
- M-10. Existing wood joist floor structure to be removed. "Ledger" support for floor joists to be clipped out. New slab on filled grade to be constructed. Refer to Structural for details.
- M-11. New Terrace flooring to be selected by owner. Material to be either grout or mud set with pitch to drain rain water.
- M-12. All wet areas to receive drippack backer board. Finish material to be selected by owner.
- M-13. New painted aluminum, 4" x 4" (4" tall) sill to be set during and self-installing.
- M-14.
- M-15. Sidewalk at New Approach must be 6" thick with wire mesh color Coral Gables as per City Specs.
- M-16. All Rebar to be retained on Private Property.

finishes

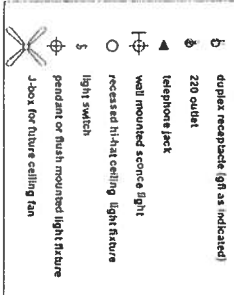
- exterior
 - ▲ New terrace flooring to be either mud or grout set. Material to be selected by owner.
 - ▲ Smooth stucco finish. Exterior grade Sherwin Williams or equal latex color by owner.
 - ▲ Replace exterior doors and windows with wood or aluminum. Material to be selected by owner. Approvals to be submitted by installer.
 - ▲ Wood members to be Pressure Treated Pine (non crosscut). All connectors / structural for member sizes and connections) Exterior paint grade finish (color by owner).
 - ▲ New stucco sill. Exterior grade Sherwin Williams or equal latex paint color by owner.
 - ▲ New Flat Cement Floor/Tile
 - ▲ New overhead and fascia trim painted finish color selected by owner.
 - ▲ New structural columns to remain and be wrapped with wood and painted to match fascia color and finish.
 - ▲ New Driveway or deck pavers set on compact gravel and sand bed. Material to be selected by owner.

- interior
 - ▲ New 1" drywall with one coat primer and two coats painted finish (color by owner) set atop of furring strips and R-5 insulation board on exterior wall surfaces.
 - ▲ New "Shower" in wet areas to accept tile.
 - ▲ New "green board" painted with epoxy paint in wet areas.
 - ▲ Ceramic tile flooring and on shower or tub walls only (to be selected by owner).
 - ▲ New wood flooring to be selected by owner. Stain and finish to be selected by owner.
 - ▲ New ceramic tile flooring to be selected by owner.
 - ▲ Painted 1x4 wood casing. Wood sill to match. Refer to detail pictures.
 - ▲ Painted continuous 1x6 painted wood base board and shoe molding.
 - ▲ Framesless glass shower enclosure.
 - ▲ Cabinets and countertops as per shop drawings to be supplied by owner. contractor or permit.
 - ▲ RESERVED

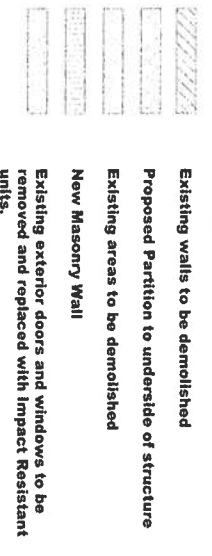
HVAC legend



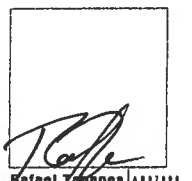
electrical legend



WALL LEGEND



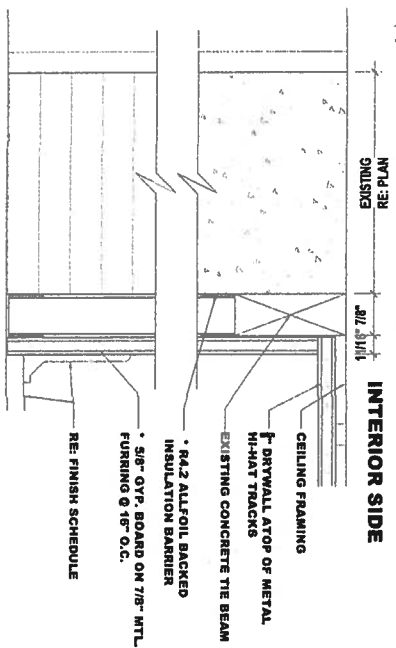
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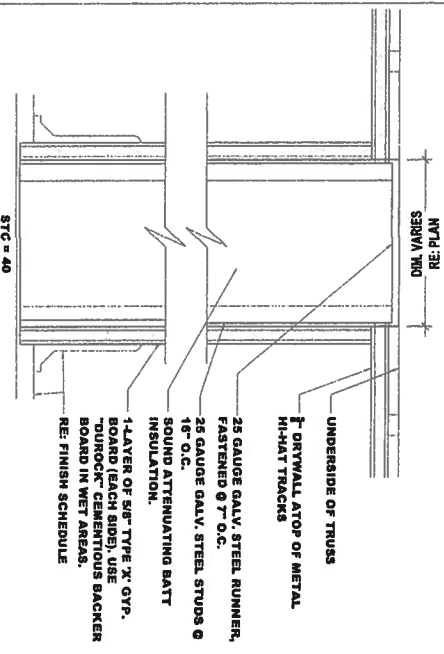
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designed by
RIT

06/12/16
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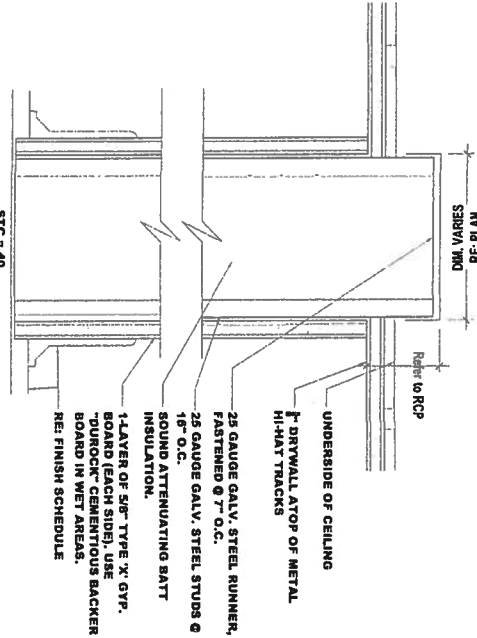
Wt-1

furred masonry wall



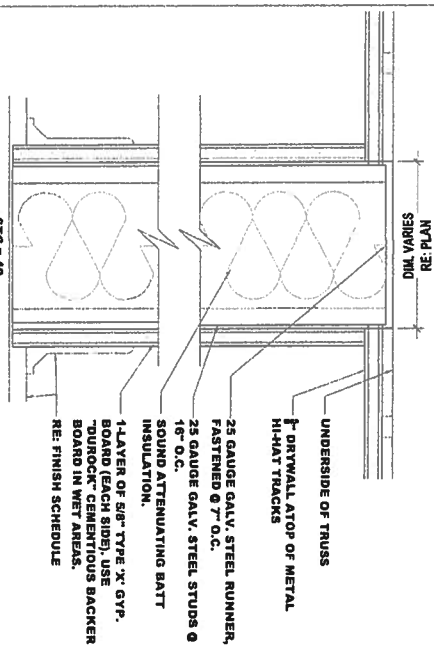
Wt-2

typical interior partition non-insulated



Wt-3

typical interior partition non-insulated



Wt-4

typical interior partition insulated

Framing general notes:

1. Provide cont. Sealer between wall and fin. Cigs. (w/oncest, gyp. Bd., etc.)
2. Provide perimeter caulking at all bathrooms.
3. Provide sound attenuation blanket at all offsetting rainwater leaders and sanitary lines.
4. Provide water resistant drywall at all bathrooms, toilet rooms.
5. Use cement board at all walls receiving tile or stone finish, and at all whirlpool or roman tub decks.
6. Provide sound bat insulation around bathrooms.
7. Add r-4.1 rigid insulation to interior face of conc./concrete block wall @ all exterior walls.
8. Coordinate all wall types with finish schedule and Design Standards Manual.
9. Use m.l.b. (mildew resistant) board at all exterior walls & skirt walls.
10. Partitions requiring backing are to use minimum 20 gauge metal stud framing.
11. All framing to run to underside of building structure.
12. Continuous horizontal framing between metal studs req. On partitions with framing taller than 10'.
13. Staggered stud framing to be used in new sound insulated partitions.
14. Refer to Finish Plan, Finish notes, Furniture Plan, and Design Standards Manual for additional information and requirements.

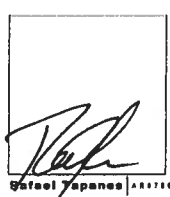
RATED JOINT NOTE: AS PER UL HW-Q-0016, MAX SEPARATION BETWEEN BOTTOM OF FLOOR AND TOP OF WALL IS 1". JOINT SYSTEM CONSISTS OF PACKING MATERIAL AND FILL MATERIAL BETWEEN THE TOP OF THE WALLBOARD AND THE BOTTOM OF THE FLOOR AS FOLLOWS:

A. PACKING MATERIAL: FOR 2HR FIRE RATED SYSTEMS, TWO LAYERS OF NOM. 1/2" DIAM POLYURETHANE BACKER ROD FRICTION FITTED ON TOP OF EACH OTHER INTO THE GAP BETWEEN THE TOP OF THE GYPSUM WALL BOARD AND THE BOTTOM OF THE CONCRETE FLOOR ON BOTH SIDERS OF THE WALL AND RECESSED FROM EACH SURFACE OF WALL TO ACCOMMODATE THE NEED. THICKNESS OF FILL MATERIAL FOR IHR FIRE RATED SYSTEMS, BOND BREAKER TAPE TO BE APPLIED TO CEILING RUNNER ON EACH SIDE OF WALL.

B. FILL: VOID OR CAVITY MATERIAL - A MIN. 1/2" THICKNESS OF FILL MATERIAL INSTALLED ON EACH SIDE OF THE WALL BETWEEN THE TOP OF THE WALLBOARD AND THE BOTTOM OF THE CONCRETE FLOOR. TREMSTOP ACRYLIC BY TREMCO INC.



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2016 NOV 23
DATE 09/2016
BY
BY
BY

PROJECT NO. 12-18
DATE 11-15-16
BY AS

a.601