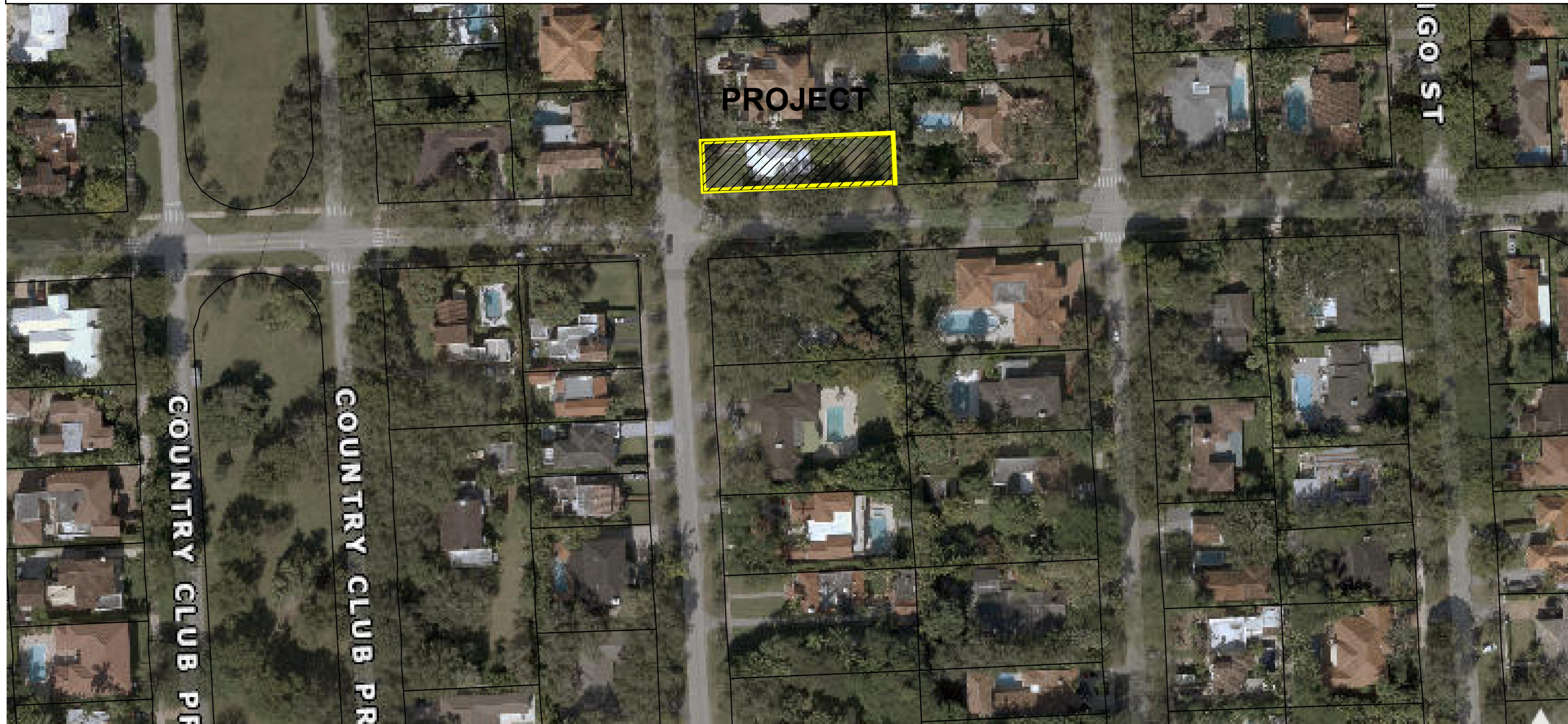




SOUTH ELEVATION ALONG VALENCIA AVENUE



LOCATION MAP

THIS PROJECT IS CLASSIFIED AS PER FBC, SECTION 604, ALTERATION LEVEL 3.
LEGAL DESCRIPTION: 18 54 41 PB 25-74 CORAL GABLES SEC D REV PL LOT 17 BLK II LOT SIZE 48,950 X 180 OR 13178-2377 0386 5
FLOOD ZONE THIS PROPERTY IS LOCATED FLOOD ZONE "X", HAVING A MINIMUM FLOOD ELEVATION N/A

APPLICABLE CODES	
FLORIDA BUILDING CODE 2020 EDITION FLORIDA RESIDENTIAL CODE 2020 NATIONAL ELECTRICAL CODE 2020 FLORIDA PLUMBING CODE 2020 FLORIDA MECHANICAL CODE 2020 FLORIDA ENERGY CODE 2020	FLORIDA FIRE PREVENTION CODE 2020
SCOPE OF WORK	
ADDITION TO EXISTING RESIDENCE CONSISTING OF TWO NEW BEDROOMS AND POOL COURTYARD ON FIRST FLOOR AND MASTER BEDROOM ON SECOND FLOOR. INTERIOR AND EXTERIOR IMPROVEMENTS OF EXISTING STRUCTURE. INTERIOR CHANGES INCLUDE A RECONFIGURATION OF SPACE. EXTERIOR MODIFICATIONS INCLUDE MINOR CHANGES TO EXTERIOR WINDOWS AND GARAGE DOOR.	
CODE CLASSIFICATION:	
A. OCCUPANCY GROUPS.....	RESIDENTIAL GROUP R-3 SECTION 310.5
B. CLASSIFICATION OF WORK.....	FBC 2020 604; EXISTING BUILDING LEVEL 3 ALTERATION
C. COMPLIANCE METHOD.....	FBC 301.3; WORK AREA COMPLIANCE METHOD, ALTERATIONS COMPLYING WITH CHAPTERS 6 THROUGH 13
D. ZONING CODE.....	SFR

CONSTRUCTION NOTES

INSULATION:
INSULATION SHALL BE AS FOLLOWS:
A. ALL EXTERIOR WALLS OR FIRST FLOOR SPACE TO HAVE R7.8 RIGID INSULATION
B. ALL CEILINGS OR ROOF RAFTERS TO HAVE MIN. R-30 SPRAY FOAM INSULATION.
C. INSULATION OF BUILDING ENVELOPE SHALL BE CONTINUOUS.
D. REFER TO FLORIDA STATE ENERGY CODE FOR ANY ADDITIONAL INSULATION. ADDITIONAL INSULATION REQUIREMENTS. REFER TO MECHANICAL DRAWINGS FOR CHECKLIST.
GENERAL CONSTRUCTION:
1. ALL INTERIOR PARTITIONS TO HAVE 1/2" GYPSUM BOARD. ALL BATHROOMS AND AREA SUBJECT TO HIGH MOISTURE SHALL HAVE DUROCK BOARD OR GREENBOARD WHERE REQUIRED.
2. ALL FRAMING SHALL BE DONE IN A WORKMAN-LIKE MANNER BE SKILLED LABOR. ALL NAILING AND CUTTING OF WOOD STRUCTURAL MEMBERS SHALL BE IN COMPLIANCE W/ FLORIDA BUILDING CODE
3. ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED.
4. PROVIDE 4" WIDE CONTINUOUS MESH CROSS VENTILATION UNDER EAVES OR ON CMU WALLS AS APPLICABLE.
5. INSTALL MILLWORK ACCURATELY WITH TIGHT JOINTS AND TRUE SURFACES WELL SANDED AND FREE OF DEFECT.
6. ALL INTERIOR AND EXTERIOR DOORS TO HAVE TWO COATS OF TOP QUALITY LATEX SEMI-GLOSS ENAMEL PAINT. ALL WALLS TO RECEIVE TWO COATS OF EG SHELL PAINT. ALL INTERIOR DOORS TO RECEIVE TWO COATS OF SEMI-GLOSS PAINT.
7. SEPARATE PERMIT REQUIRED FOR ROOF ING. RAILINGS, WINDOWS AND DOORS.

FLOOR PLAN GENERAL NOTES

1. **SURVEYOR NOTE:**
CONTRACTOR SHALL FIELD VERIFY, PRIOR TO CONSTRUCTION, THAT ALL SETBACKS ARE MET PER SITE PLAN AND THAT RESIDENCE AND ITS AMENITIES SIT ON SITE EXACTLY AS PER SITE PLAN PROVIDED. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT OF RECORD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. **SEPARATE PERMIT NOTE:**
RAILINGS - GUARDRAILS, FIREPLACES, ELEVATOR, POOL, WATER FEATURES, EXTERIOR DOORS AND WINDOWS ARE UNDER A SEPARATE PERMIT. GLASS EXTERIOR GUARDRAIL SHALL BE TESTED TO COMPLY WITH FBC 1618.4.6.1, ANSI Z97.1, AND IMPACT TEST TAS201 6.1
3. **SLAB AND BEAM PENETRATION NOTE:**
ALL SLAB & BEAM PENETRATION ARE TO BE SLEEVED. GC TO COORDINATE PENETRATIONS WITH STRUCTURAL PLANS AND NOTIFY ARCHITECT OF RECORD OF ANY CONFLICTS.
4. **RAILINGS NOTE:**
ALL GUARDRAILS ARE TO BE 42" HIGH ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED IN THESE DRAWINGS. RAILINGS SHALL BE CONSTRUCTED TO RESIST A CONCENTRATED LOAD OF 200 LBS APPLIED AT ANY POINT IN ANY DIRECTION. GLASS RAILINGS TO BE SEAMLESS TEMPERED SAFETY GLASS. VERTICAL PICKETS TO REJECT A 4" DIA. SPHERE & BOTTOM RAIL TO REJECT A 2" DIA. SPHERE. MANUFACTURER TO PROVIDE SHOP DRAWINGS PRIOR TO MANUFACTURING FOR ARCHITECT'S REVIEW AND BUILDING DEPARTMENT APPROVAL.

MEAN OF EGRESS NOTE

ALL EGRESS WINDOWS TO COMPLY W/ F.B.C. AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDEX24" HIGH AND 5.7 S.Q.FT. IN AREA THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET EVERY BATHROOM DOOR SHALL BE DESIGNED TO ALLOW OPENING FROM THE OUTSIDE DURING AN EMERGENCY WHEN LOCKED

SAFETY & DEBRIS PREVENTION NOTES:

- GENERAL: ALL WORK TO BE DONE IN COMPLIANCE WITH BLDG. CODES AND REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.
- MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR OWNER TO BE MAINTAINED CLEAR & FREE OF ALL OBSTRUCTIONS SUCH AS BUILDING MATERIALS ETC.
- FIRE SAFETY: ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREAS AND/OR IN ANY AREAS OF THE BUILDING ARE TO BE STORED IN A LOCKED SECURED AREA. ACCESS TO SUCH AREA TO BE CONTROLLED BY OWNER AND/OR GENERAL CONTRACTOR.
- DUST CONTROL: DEBRIS DIRT & DUST BE DEPT TO A MIN & CONFINED TO THE IMMEDIATE CONSTRUCTIONS AREA AND TO BE CLEANED UP & CLEARED FROM BLDG. DAILY TO AVOID EXCESSIVE ACCUMULATION.
- NOISE AFTER HOURS: GC TO CONTACT TOWN OF SURFSIDE FOR CONFIRMATION OF WORK HOURS AND OPERATIONAL REQUIREMENTS.
- DEMO OR CONSTRUCTION OPERATIONS WILL NOT INTERRUPT HEATING, WATER OR ELECTRICAL SERVICES TO OWNER UNLESS APPROVED.
- DEMO OR CONSTRUCTION MUST BE CONFINED TO GRND. GC MUST LIMIT DIR, DUST OR OTHER CREATED TO ALL OTHER AREAS OF HOME.
- DEMO OR CONSTRUCTION MUST NOT BLOCK MEANS OF EGRESS. ALL EXISTS SHALL MEET MIN. WIDTH & MIN. HEADROOM OF +80" AFF.
- REMOVAL OF DEBRIS & WATER: GC SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND CONSTRUCTION MATERIAL FROM SITE IN A LAWFUL MANNER.
- UNUSED MATERIALS, PAINT & CLEANING PRODUCTS: SHALL BE SORTED & DISPOSED OF IN A MANNER ALLOWED BY FEDERAL LAW. PROVISIONS SHALL BE MADE TO ALLEVIATE THE SPREAD OF DEBRIS, DIRT, DUST TO EXIST AREAS OR ADJACENT PROPERTIES, WHICH SHALL BE DEPT CLEAN AS POSSIBLE AT ALL TIMES.
- STAGING & STORAGE: GC SHALL SEEK APPROVAL FOR ANY STAGING, STORAGE AREAS AND ACCESS ROUTES IN OR OUT OF SITE. PLAN MUST BE REVIEWED AND APPROVED BY THE OWNER PRIOR TO COMMENCEMENT.
- ENVIRONMENTAL: GC SHALL SUBMIT REQUIRED UTILITY, AIR QUALITY AND ENVIRONMENT DOCUMENTATION TO COUNTY AUTHORITIES FOR PERMIT REVIEW AND APPROVAL. CONTACT THE COUNTY'S ENVIRONMENTAL AIR SECTION FOR MORE INFO.
- OCCUPATION VS VACANCY: GC SHALL FIELD-SURVEY ALL EXIST AREAS PRIOR TO WORK AND VERIFY ALL PERSONS HAVE BEEN VACATED. GC RESPONSIBLE FOR TURNING-OFF WATER, GAS OR OTHER UTILITY EQUIPMENT OR SOURCES PRIOR TO WORK.
- PROTECTION REQUIRED: PEDESTRIANS SHALL BE PROTECTED DURING CONSTRUCTION, ALTERATION, REMODELING, OR DEMOLITION ACTIVITIES. SIGNS SHALL BE PROVIDED TO DIRECT PEDESTRIANS OR TRAFFIC WHEN REQUIRED.



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ALHAMBRA CIRCLE RESIDENCE
2523 ALHAMBRA CIRCLE, CORAL GABLES, FL 33134

OWNER:
JACQUES ULVERT &
JOANNA ULVERT

DRAWN BY:
C.B.

CHECKED BY:
JSR

ISSUE DATE:
06/21/24 HISTORIC PRESERVATION BOARD REVIEW SET

REVISIONS:
NO. DATE DESCRIPTION

PROJECT NO: 107.01

SHEET TITLE:

SCOPE OF WORK & NOTES.



VIEW FROM SOUTHEAST ON VALENCIA AVENUE



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SHEET TITLE:

**REAR
PERSPECTIVE**



**ALHAMBRA CIRCLE
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SHEET TITLE:

PERSPECTIVE

VIEW FROM SOUTHWEST / INTERSECTION OF ALHAMBRA CIRCLE & VALENCIA AVE.

**ALHAMBRA CIRCLE
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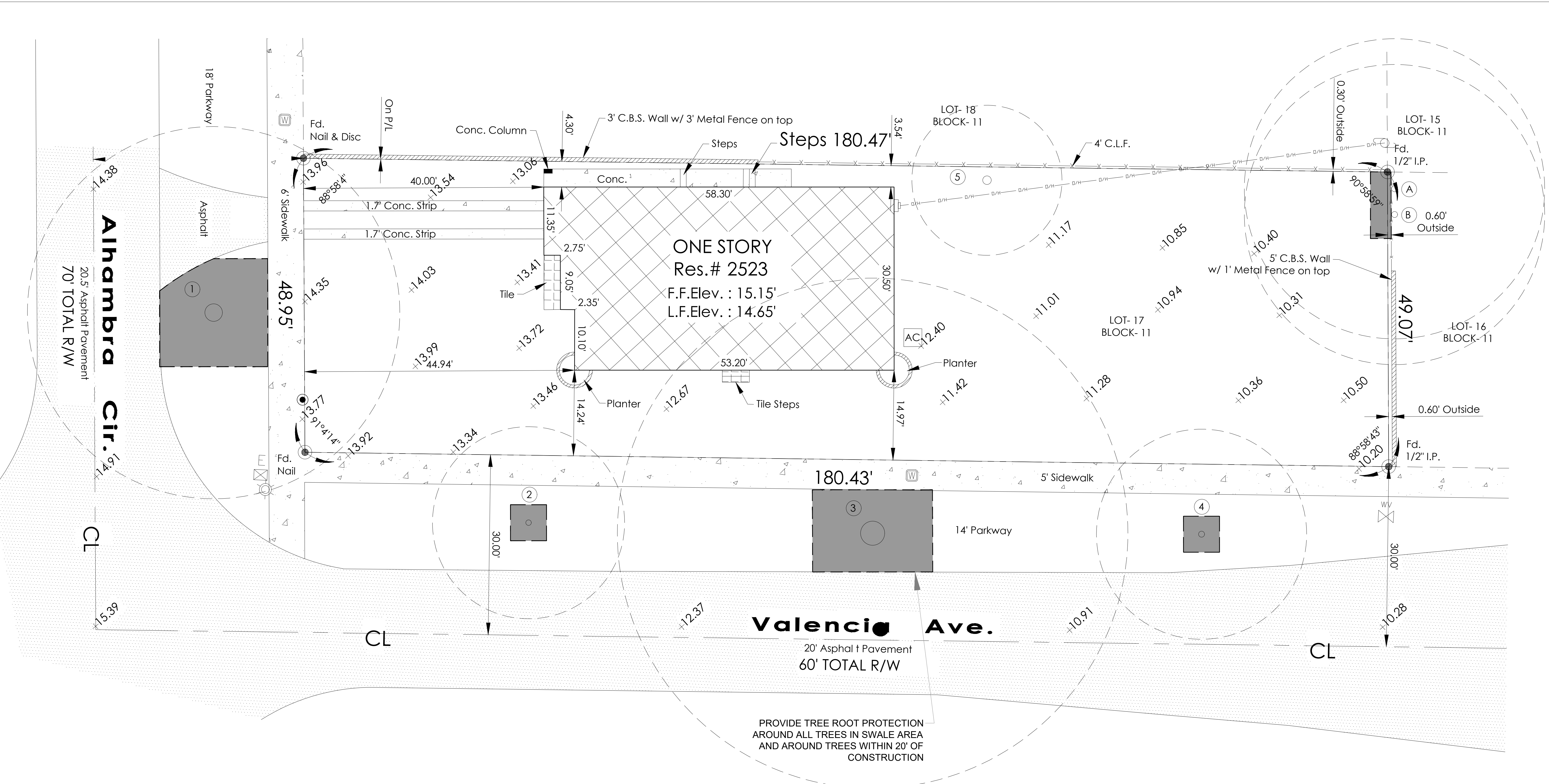
PROJECT NO: 107.01

SHEET TITLE:

PERSPECTIVE



SOUTH ELEVATION FROM VALENCIA AVENUE



PROVIDE TREE ROOT PROTECTION
AROUND ALL TREES IN SWALE AREA
AND AROUND TREES WITHIN 20' OF
CONSTRUCTION

TREE DISPOSITION

No.	Scientific Name	Common Name	DBH	H/CI	Canopy	Condition	TPZ	PROPOSED STATUS
1	Swietenia Mahagoni	Mahogany	35"	90'	62'	Good	18'	TO REMAIN
2	Quercus Virginiana	Live Oak	11"	35'	32'	Good	6'	TO REMAIN
3	Quercus Virginiana	Live Oak	48"	60'	85'	Good	20'	TO REMAIN
4	Quercus Virginiana	Live Oak	12"	40'	35'	Good	6'	TO REMAIN
5	Blighia Sapida	Ackee	17"	30'	45'	Poor	10'	TO BE REMOVED
A	Broussonetia Papyrifera	Paper Mulberry	18"	35'	25'	N/A	8'	TO REMAIN
B	Broussonetia Papyrifera	Paper Mulberry	6"	35'	25'	N/A	8'	TO REMAIN

EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"

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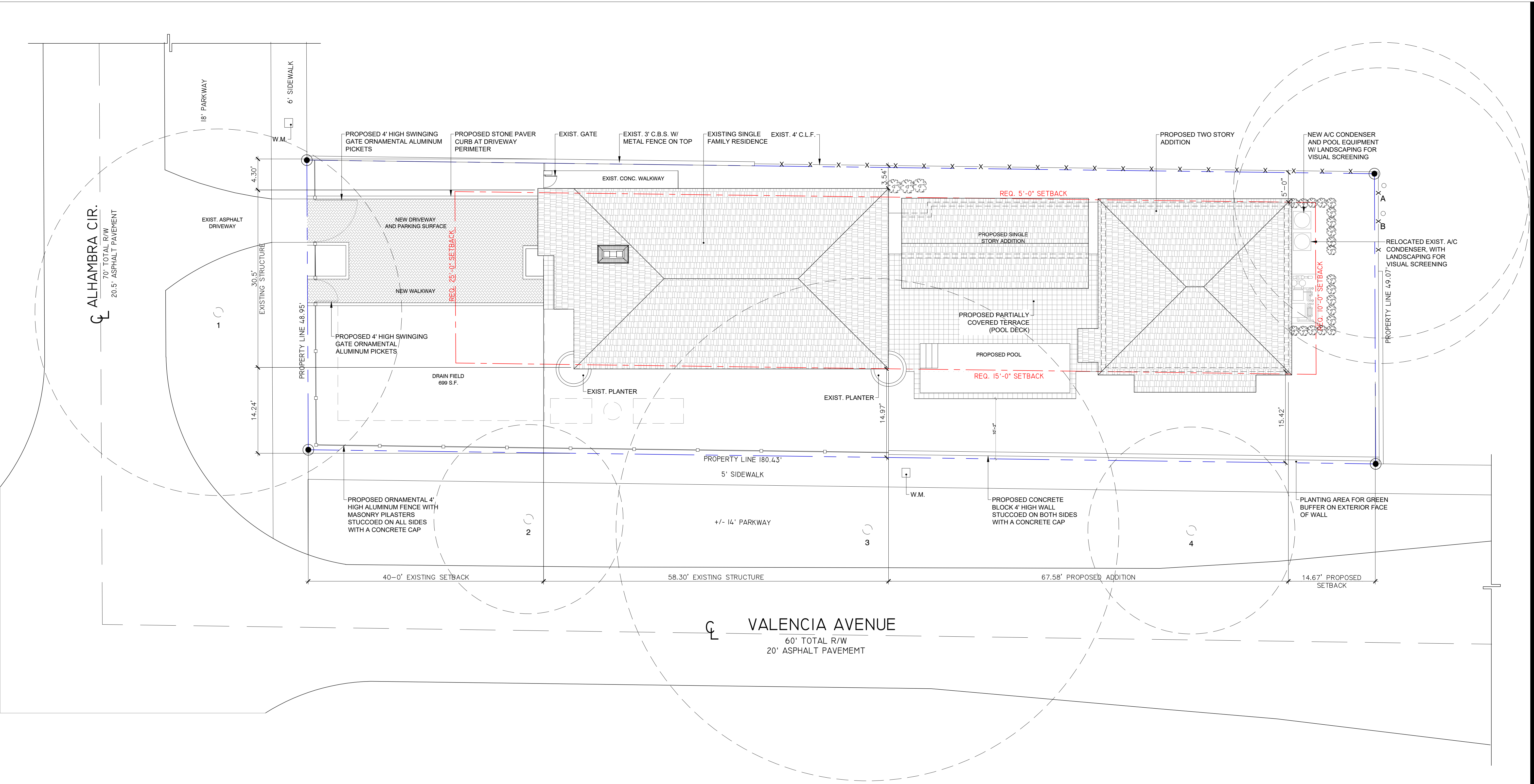
REVISIONS:
NO. DATE DESCRIPTION

PROJECT NO: 107.01

SHEET TITLE:

**PROPOSED SITE
PLAN**

SP2



1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

ZONING DATA

ADDRESS
2523 ALHAMBRA CIR. CORAL GABLES, FLORIDA 33134

FOLIO:
03-4116-002-0870

LEGAL DESCRIPTION:

18 54 41 PB 25-74
CORAL GABLES SEC D REV PL
LOT 17 BLK 11
LOT SIZE 48.950 X 180
OR 13178-2377 0386 5

SCOPE OF WORK

- ADDITION TO EXISTING RESIDENCE CONSISTING OF TWO NEW BEDROOMS AND POOL COURTYARD ON FIRST FLOOR AND MASTER BEDROOM ON SECOND FLOOR.
- INTERIOR RENOVATION OF EXISTING STRUCTURE.

CLASSIFICATION DATA

OCCUPANCY PER FBC CHAPTER 3:
THIS SPACE IS CLASSIFIED AS: RESIDENTIAL (GROUP R-3)

BUILDING CLASSIFICATION:

LIGHT-COMBUSTIBLE (UN-PROTECTED)

CONSTRUCTION TYPE:

CATEGORY OF REHABILITATION WORK:

SCOPE OF WORK IS CATEGORIZED AS A: ADDITION

ALTERATION LEVEL

PROPOSED SCOPE OF WORK IS CLASSIFIED AS AN:
ALTERATION-LEVEL 3(PER F.B.C. 403.1 EXISTING BUILDINGS)

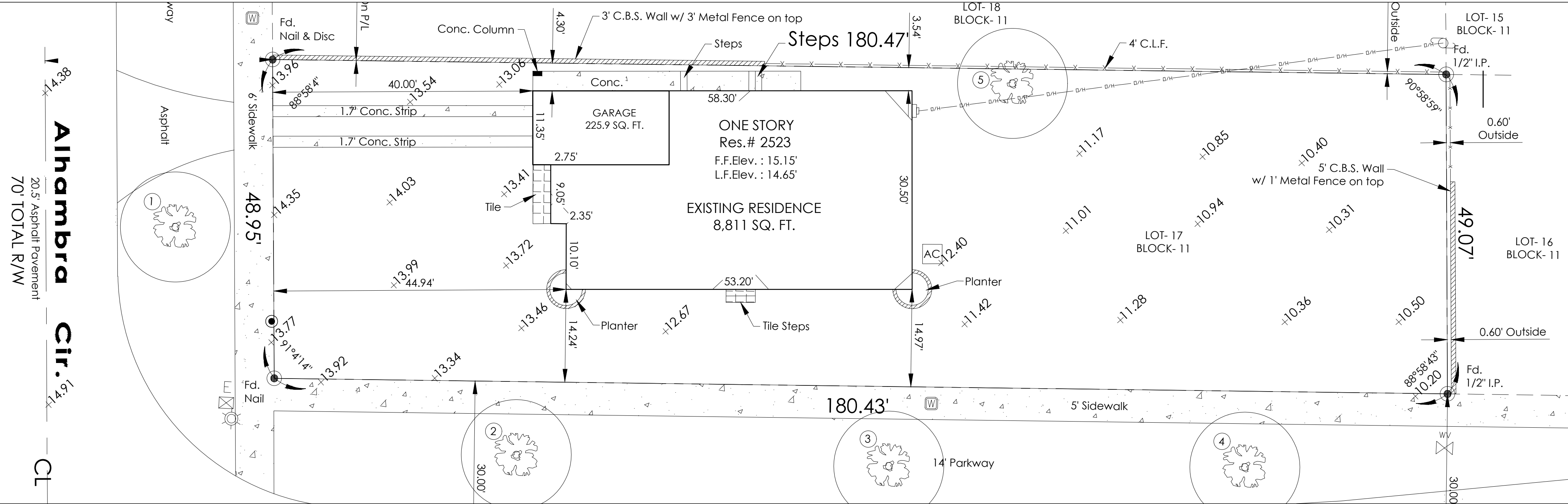
APPLICABLE CODES

- 2020 FLORIDA BUILDING CODE - 7TH EDITION - RESIDENTIAL
- 2020 FLORIDA BUILDING CODE - 7TH EDITION - EXISTING BUILDINGS
- 2020 FLORIDA BUILDING CODE - 7TH EDITION - PLUMBING
- 2020 FLORIDA BUILDING CODE - 7TH EDITION - MECHANICAL
- 2020 FLORIDA BUILDING CODE - 7TH EDITION - ELECTRICAL
- 2020 FLORIDA BUILDING CODE - 7TH EDITION - ENERGY CONSERVATION
- 2017 NATIONAL ELECTRICAL CODE (N.E.C.)

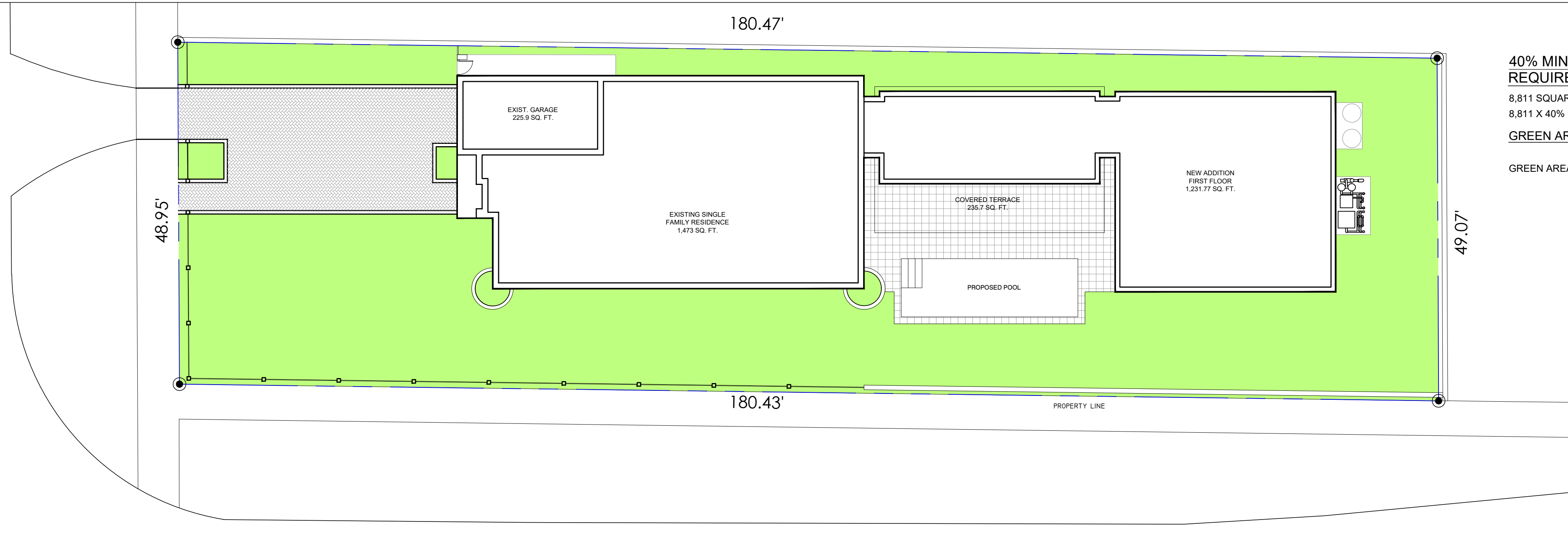
SETBACKS

	REQUIRED - EXISTING	REQUIRED - PROPOSED
FRONT	25'-0"	40'-0"
50' LOT WITH X 20% = 10'-0" UNEVENLY DISTRIBUTED		
INTERIOR SIDE (NORTH)	5'-0"	5'-0"
STREET SIDE (SOUTH)	15'-0"	15'-5"
REAR SETBACK	10'-0"	14'-8"

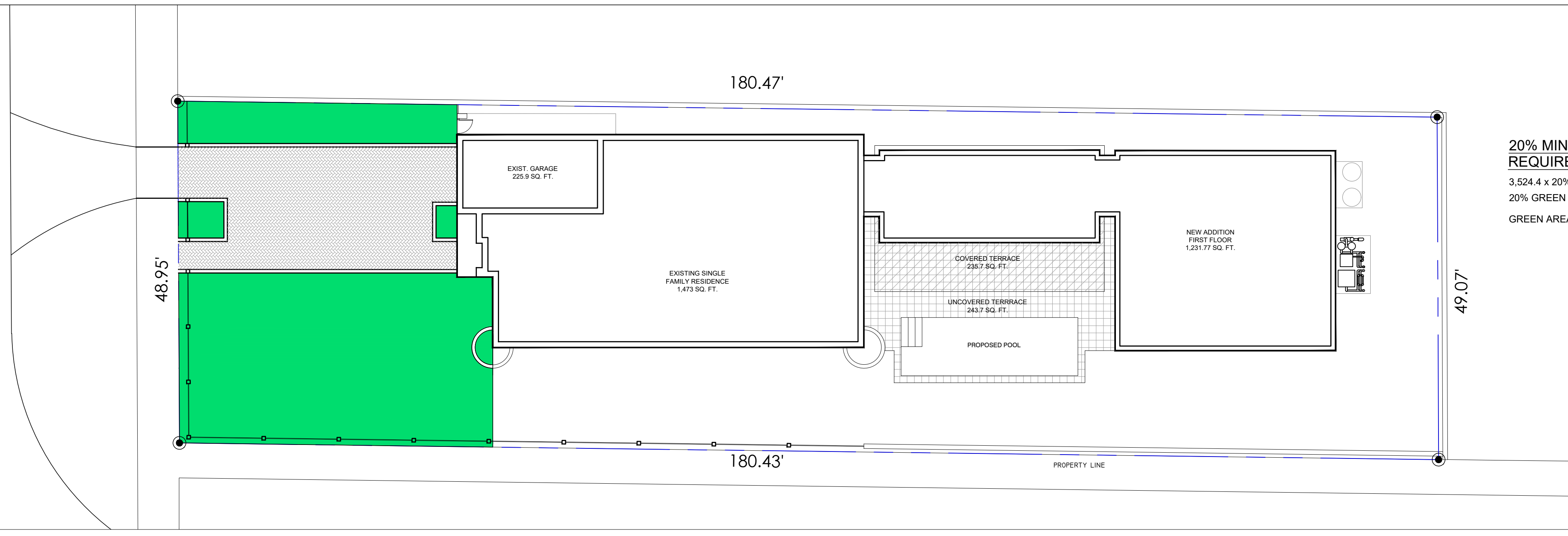
LOT SIZE



40% LANDSCAPE MINIMUM



20% FRONT YARD LANDSCAPE MINIMUM



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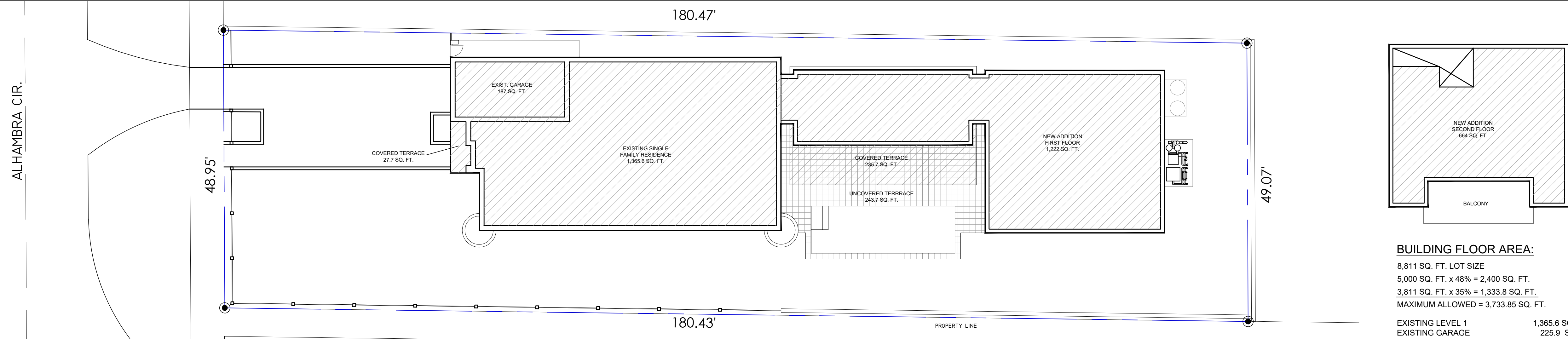
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PROJECT NO: 107.01

SHEET TITLE:

SITE DIAGRAMS & CALCULATIONS

FLOOR AREA RATIO

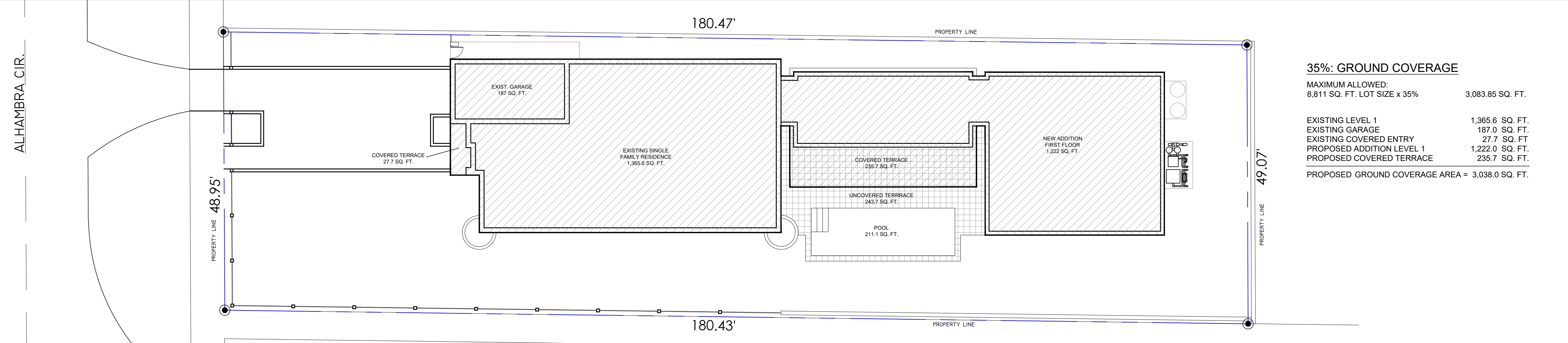


BUILDING FLOOR AREA:

8,811 SQ. FT. LOT SIZE
 5,000 SQ. FT. x 48% = 2,400 SQ. FT.
 3,811 SQ. FT. x 35% = 1,333.8 SQ. FT.
 MAXIMUM ALLOWED = 3,733.85 SQ. FT.

EXISTING LEVEL 1	1,365.6 SQ. FT.
EXISTING GARAGE	225.9 SQ. FT.
PROPOSED ADDITION LEVEL 1	1,222.0 SQ. FT.
PROPOSED ADDITION LEVEL 2	664.0 SQ. FT.
PROPOSED	= 3,477.5 SQ. FT.

35% GROUND COVERAGE

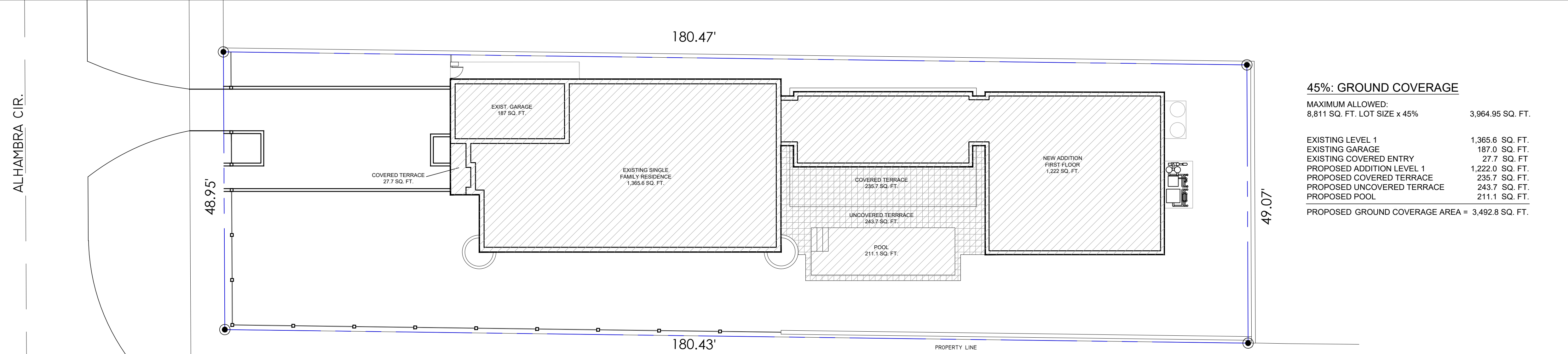


35%: GROUND COVERAGE

MAXIMUM ALLOWED:
 8,811 SQ. FT. LOT SIZE x 35% = 3,083.85 SQ. FT.

EXISTING LEVEL 1	1,365.6 SQ. FT.
EXISTING GARAGE	187.0 SQ. FT.
EXISTING COVERED ENTRY	27.7 SQ. FT.
PROPOSED ADDITION LEVEL 1	1,222.0 SQ. FT.
PROPOSED COVERED TERRACE	235.7 SQ. FT.
PROPOSED GROUND COVERAGE AREA =	3,038.0 SQ. FT.

45% GROUND COVERAGE



45%: GROUND COVERAGE

MAXIMUM ALLOWED:
 8,811 SQ. FT. LOT SIZE x 45% = 3,964.95 SQ. FT.

EXISTING LEVEL 1	1,365.6 SQ. FT.
EXISTING GARAGE	187.0 SQ. FT.
EXISTING COVERED ENTRY	27.7 SQ. FT.
PROPOSED ADDITION LEVEL 1	1,222.0 SQ. FT.
PROPOSED COVERED TERRACE	235.7 SQ. FT.
PROPOSED UNCOVERED TERRACE	243.7 SQ. FT.
PROPOSED POOL	211.1 SQ. FT.
PROPOSED GROUND COVERAGE AREA =	3,492.8 SQ. FT.



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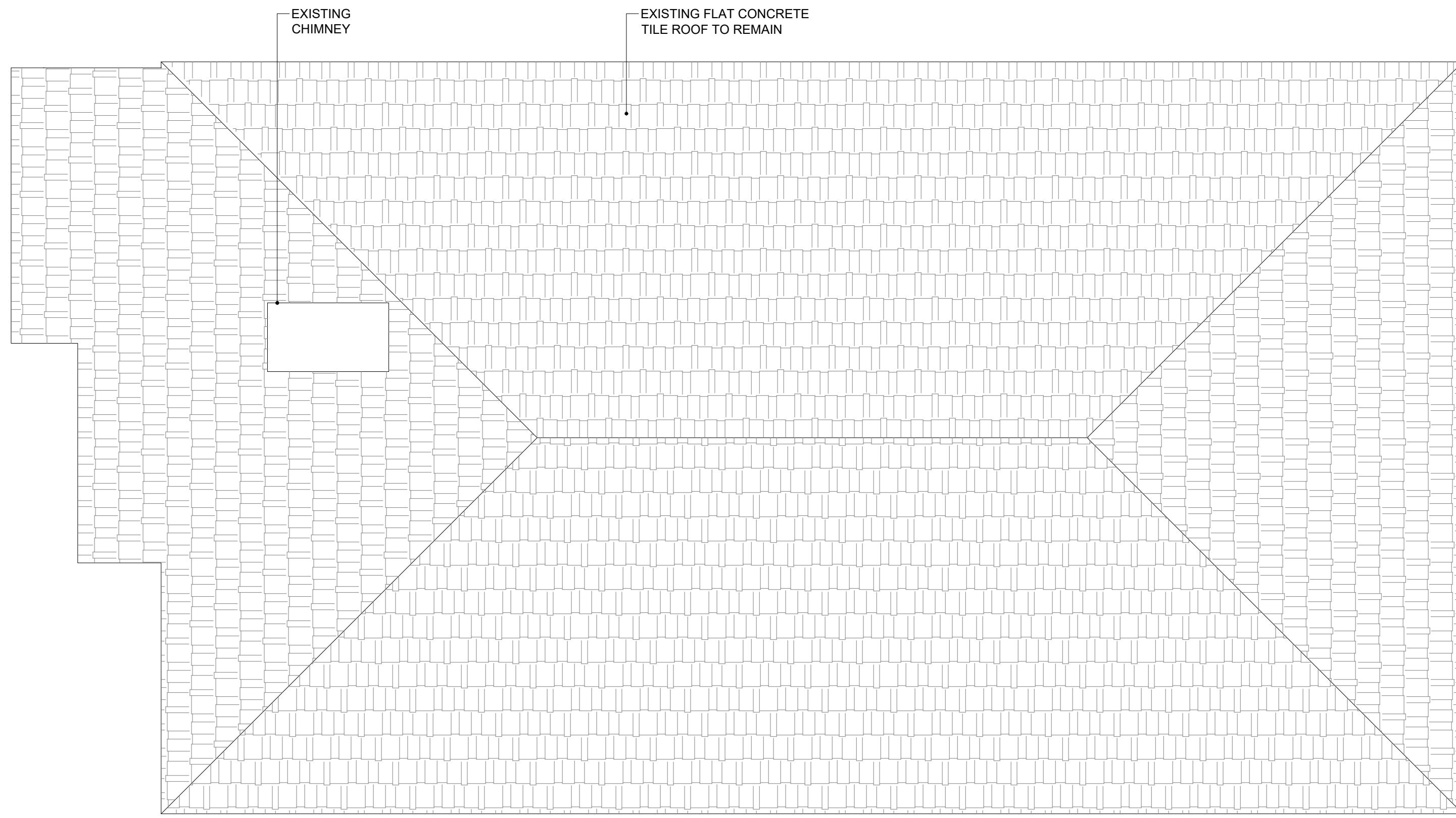
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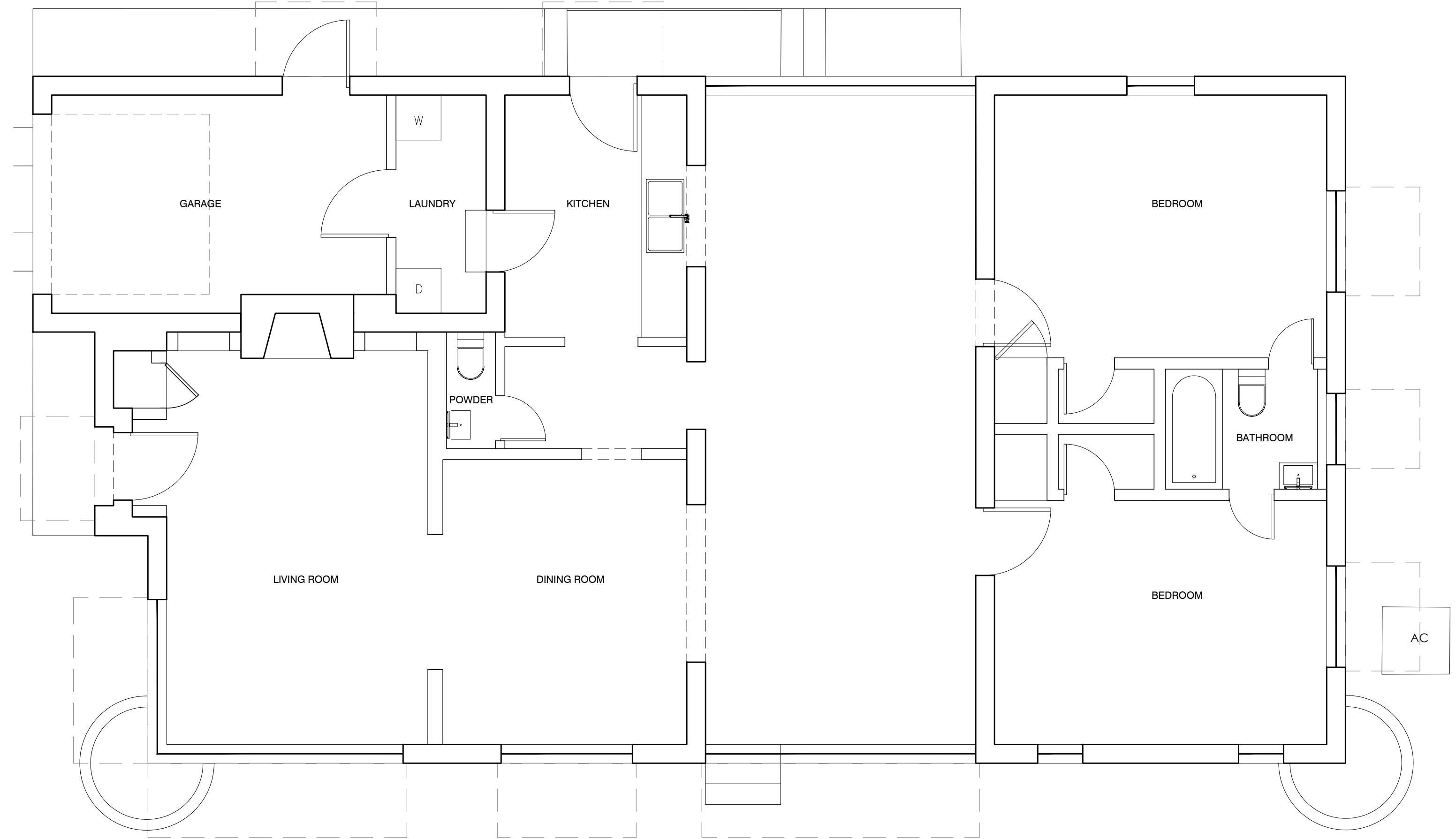
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SHEET TITLE:
SITE DIAGRAMS & CALCULATIONS

SP4



3 EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"



2 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION NOTES:

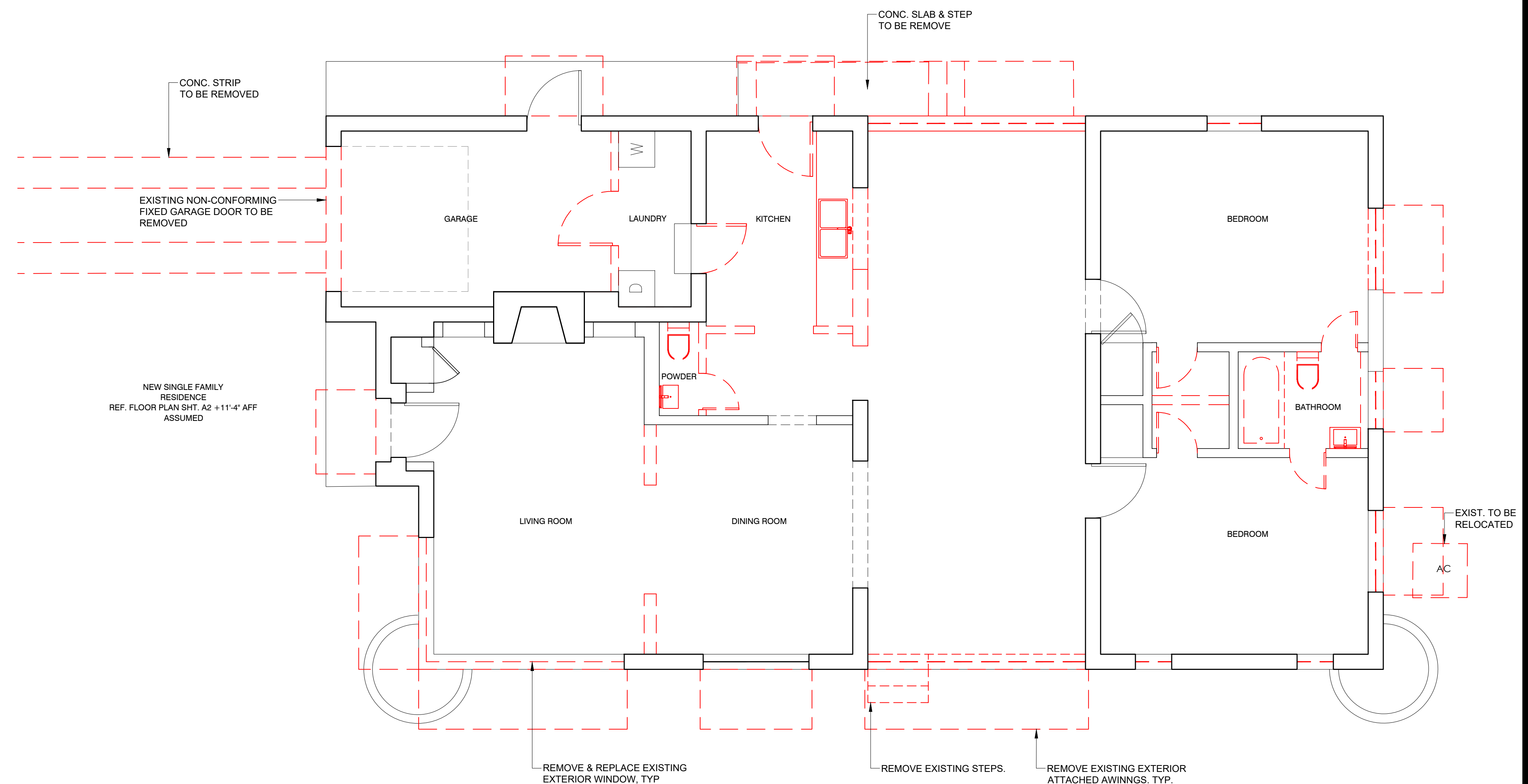
- THE GENERAL CONTRACTOR (GC) SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, EQUIPMENT & SERVICES TO PROPERLY EXECUTE THE DEMO WORK INDICATED.
- THE GC SHALL VISIT THE SITE, INSPECT & VERIFY THAT ALL ITEMS INDICATED TO BE EXIST & SO MARKED ON DWGS ARE IN-PLACE & CORRECT.
- ALL WORK SHALL BE PERFORMED WITHOUT CAUSING DAMAGE TO EXIST WORK TO REMAIN. IT SHALL BE RECOGNIZED THAT THE UTMOST CARE BE TAKEN WHEN PERFORMING WORK.
- PROVISIONS SHALL BE MADE TO ALLEVIATE THE SPREAD OF DEBRIS, DIRT & DUST TO EXIST OR NEIGHBORING AREAS. THE PROPERTY SHALL BE KEPT CLEAN AS POSSIBLE AT ALL TIMES.
- ALL DEBRIS & MATERIALS FROM THE SITE SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO RECLAIMED LUMBER OR MATERIALS SHALL BE RE-USED EXCEPT AS SPECIFICALLY APPROVED BY ARCHITECT OR OWNER.
- WHERE DEMO OR CUTTING WORK HAS OCCURRED OR WHERE EXIST SURFACES, MATERIALS OR OTHER ITEMS HAVE BEEN DAMAGED OR DISTURBED AS A RESULT OF THIS CONTRACT, THE SAID SURFACES & AREAS SHALL BE CAREFULLY CLOSED-UP, PATCHED, REFINISHED, AND/OR RESTORED AS REQ TO BE CONTIGUOUS TO EXIST SURROUNDING SURFACES.
- GC SHALL SORT ALL MATERIALS, DISPOSE OF AS ALLOWED BY LOCAL & FEDERAL LAW. ALL MATERIALS ELIGIBLE FOR RECYCLING SHALL BE SORTED & DISTRIBUTED SAFELY.
- WHERE DEMO & CUTTING WORK HAS OCCURRED OR WHERE EXIST SURFACES, MATERIALS OR OTHER ITEMS HAVE BEEN DAMAGED OR DISTURBED AS A RESULT OF THIS CONTRACT, THE SAID SURFACES & AREAS SHALL BE CAREFULLY CLOSED-UP, PATCHED, FINISHED & OR RESTORED TO BE CONTIGUOUS TO EXIST SURFACES.
- STRUCTURAL:** IF THERE IS ANY CONCERN WHETHER A PORTION OF WALL IS BEARING OR NOT, CONTACT ARCHITECT IMMEDIATELY TO SCHEDULE SITE VISIT.
- EXIST EXT WALLS THAT ARE TO REMAIN SHALL BE PATCHED, REPAIRED, TAPED, SANDED & PAINTED. CLCS SHALL BE FLUSH, SMOOTH & CONTIGUOUS WITH SURROUNDING SURFACES.
- *IN THE EVENT ANY MOLD, MILDEW OR CONTAMINANTS ARE DISCOVERED, CONTACT ARCHITECT IMMEDIATELY.

GC SHALL REPORT ANY IRREGULARITIES OR NON-CONFORMITIES TO FBC. GC SHALL SEEK APPROVAL FOR ANY STAGING, STORAGE AREAS & ACCESS ROUTES IN OR OUT OF SITE. PLAN MUST BE REVIEWED & APPROVED BY THE OWNER PRIOR TO COMMENCEMENT.

GC SHALL SUBMIT ALL REQ UTILITY & ASBESTOS DOCUMENTATION TO MUNICIPAL AUTHORITIES FOR NECESSARY BLDG PERMIT REVIEW & APPROVAL. CONTACT BROWARD COUNTY AIR SECTION FOR MORE INFO.

GC SHALL FIELD SURVEY ALL EXIST CONDITIONS PRIOR TO ANY WORK & SHALL VERIFY ALL PERSONS HAVE BEEN VACATED. DO RESPONSIBILITY SHALL ALSO INCLUDE THE REMOVAL OF GAS EQUIPMENT & LINES TO THEIR SOURCE.

REF STRU DWGS FOR REINFORCING, MEMBER SIZES, LOCATIONS & ROOF STRUCTURE. MEMBERS DEPICTED ON ARCH DRAWINGS FOR CONCEPTUAL PURPOSES ONLY.



1 DEMOLITION FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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ISSUE DATE:
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REVISIONS:

NO.	DATE	DESCRIPTION

PROJECT NO: 107.01

SHEET TITLE:
EXISTING AND DEMOLITION FIRST FLOOR PLAN

**ALHAMBRA CIRCLE
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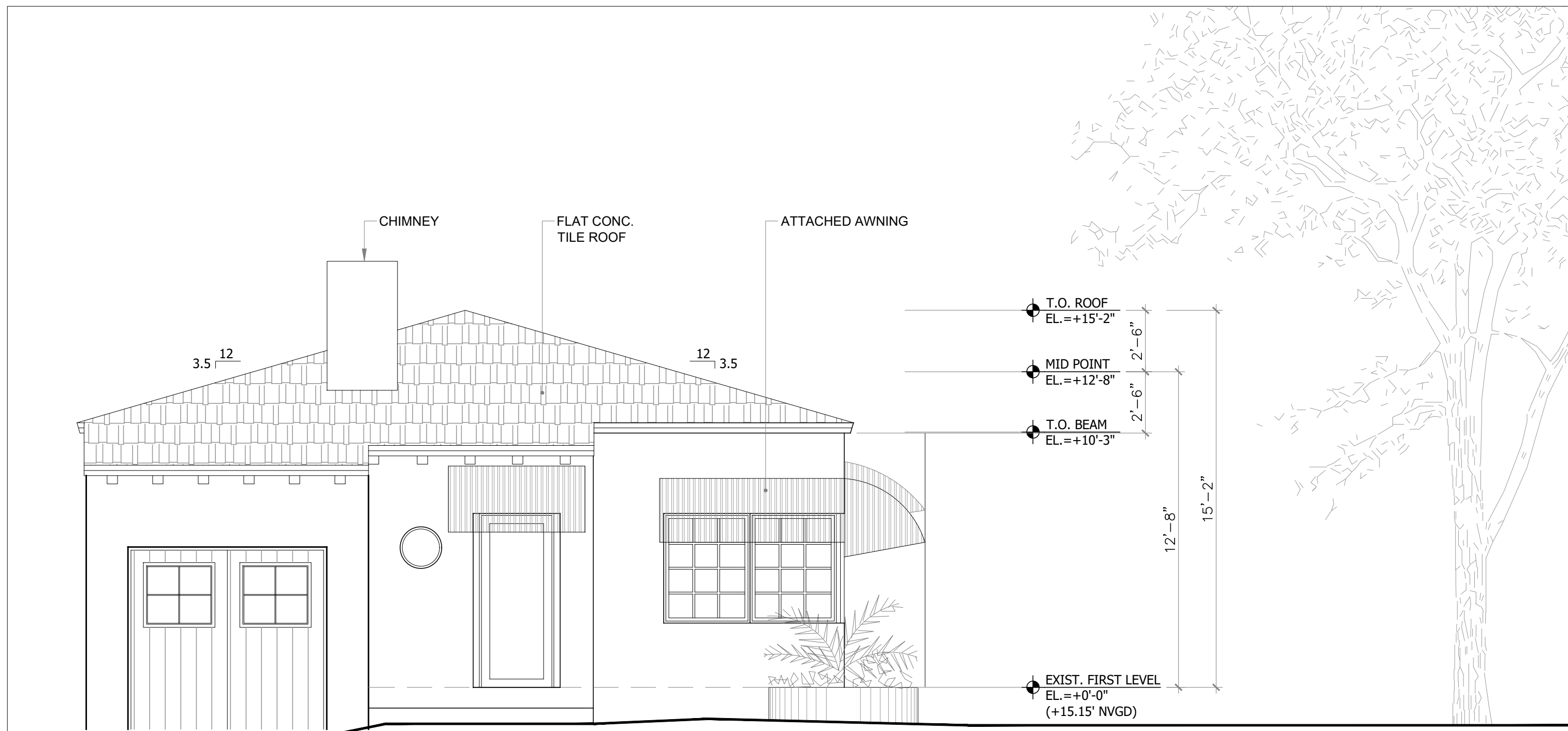
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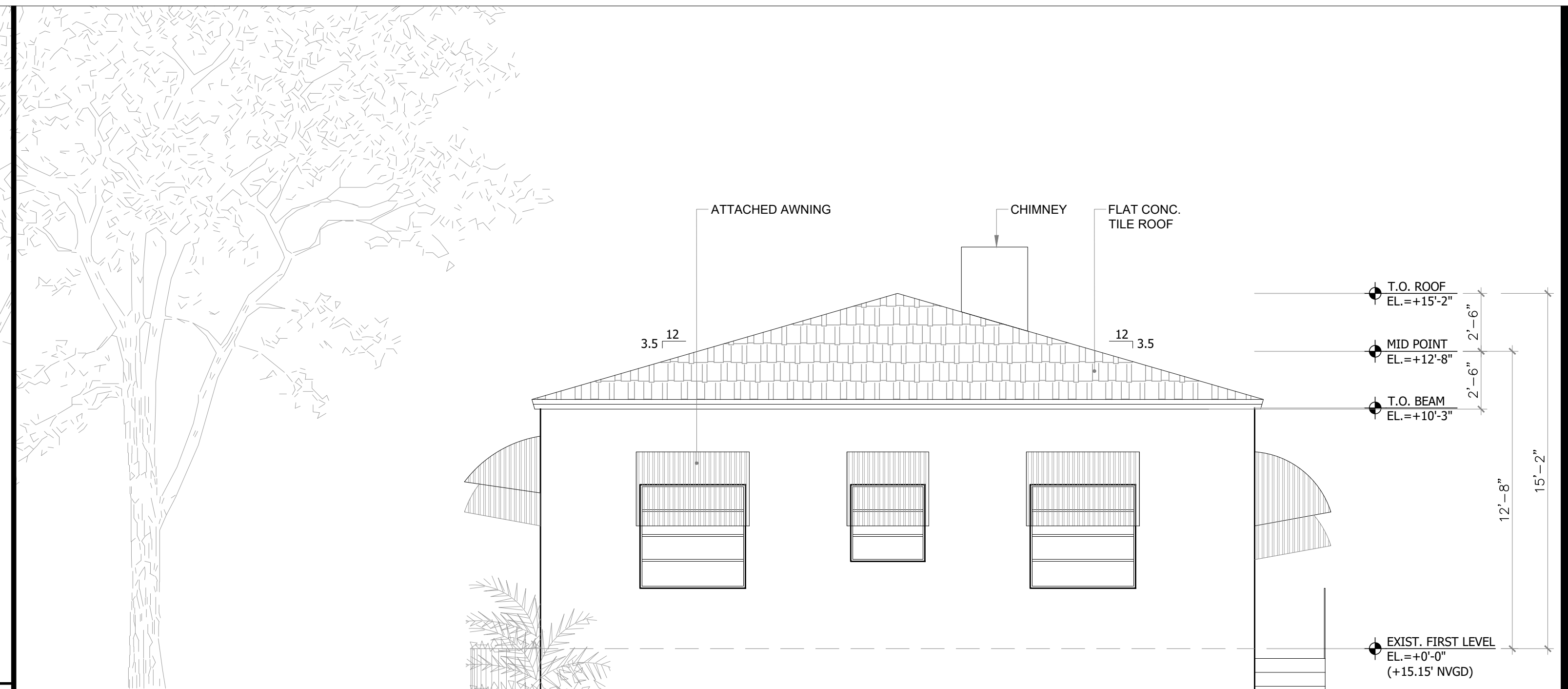
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EXISTING
ELEVATIONS

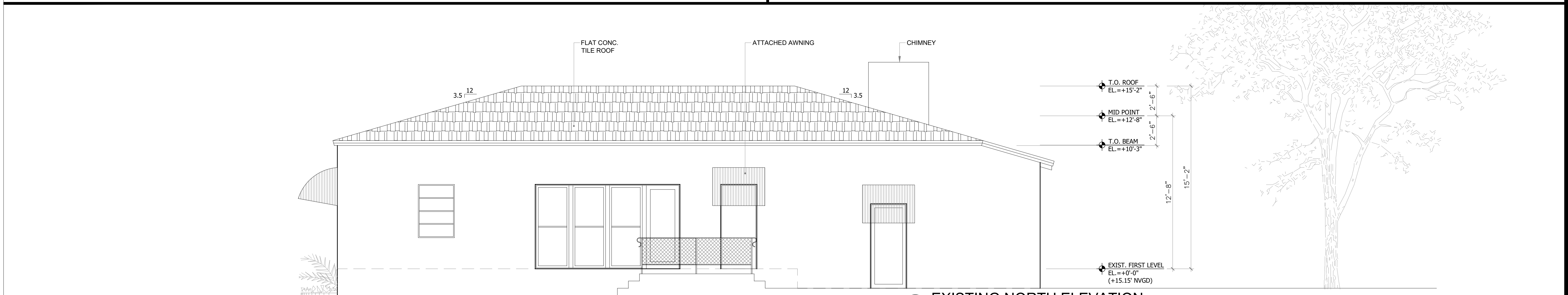
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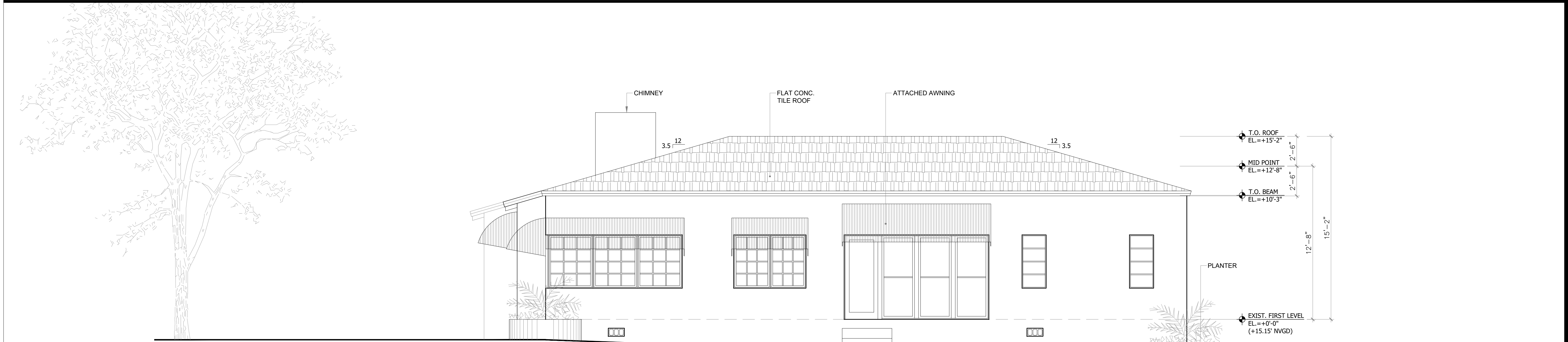
4 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

**ALHAMBRA CIRCLE
RESIDENCE**
2523 ALHAMBRA CIRCLE, CORAL GABLES, FL 33134

OWNER:
JACQUES ULVERT &
JOANNA ULVERT

DRAWN BY:
C.B.

CHECKED BY:
JSR

ISSUE DATE:
06/21/24 HISTORIC PRESERVATION
BOARD REVIEW SET

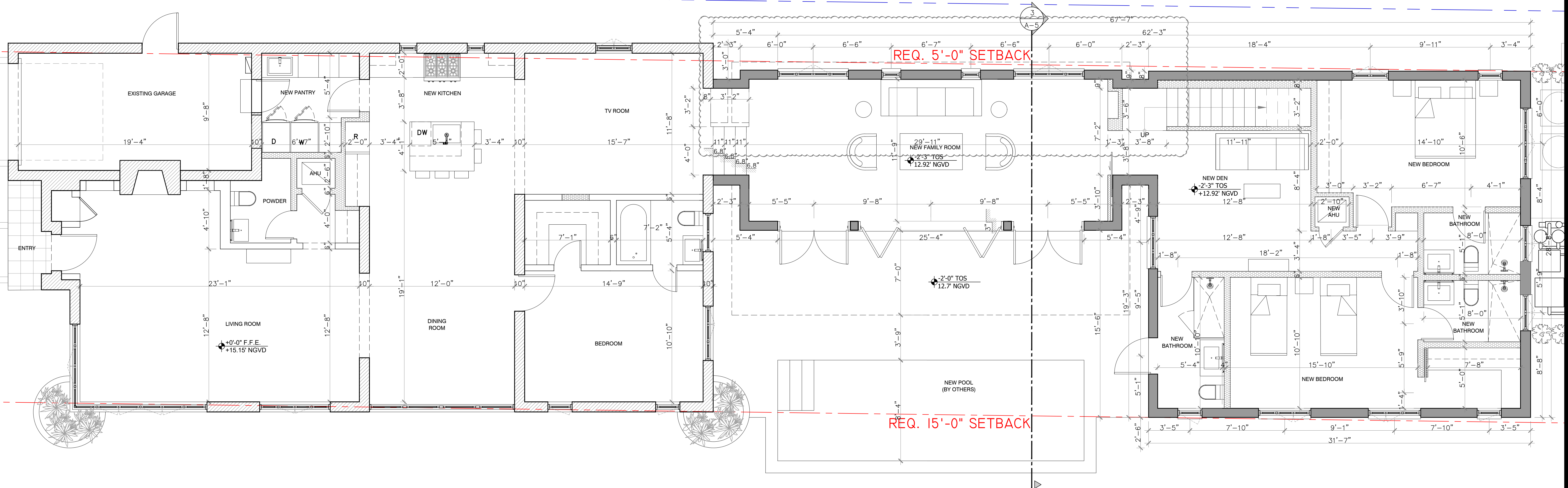
REVISIONS:
NO. DATE DESCRIPTION

PROJECT NO: 107.01

SHEET TITLE:

**PROPOSED
FIRST
FLOOR PLAN**

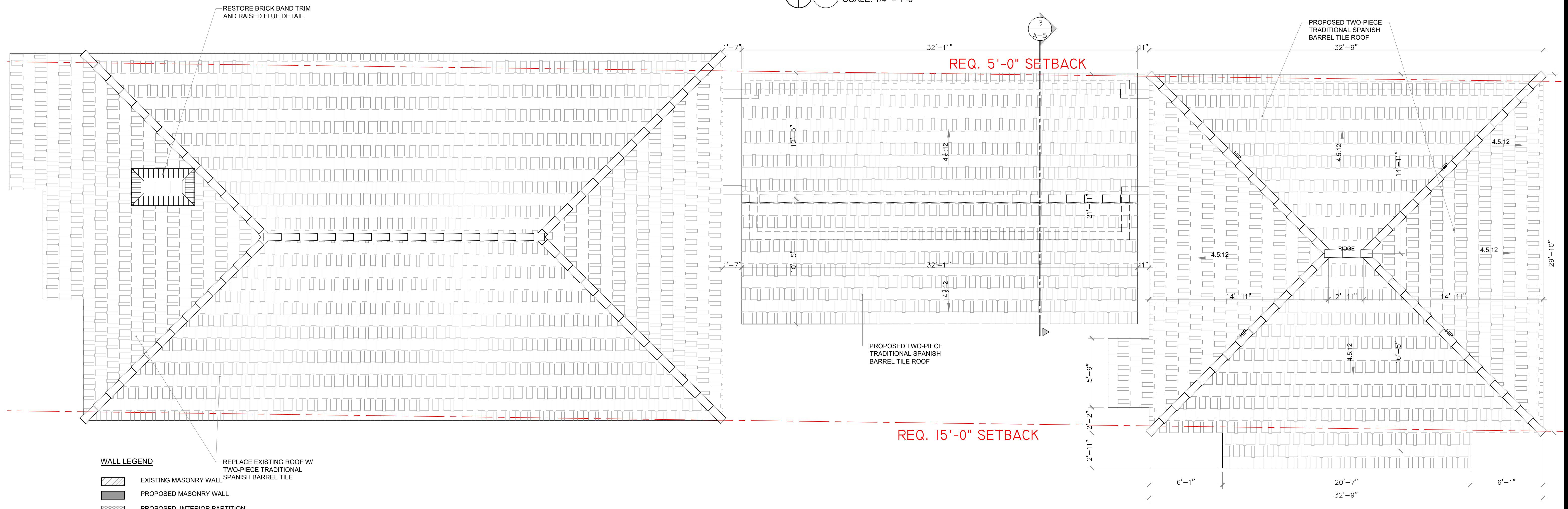
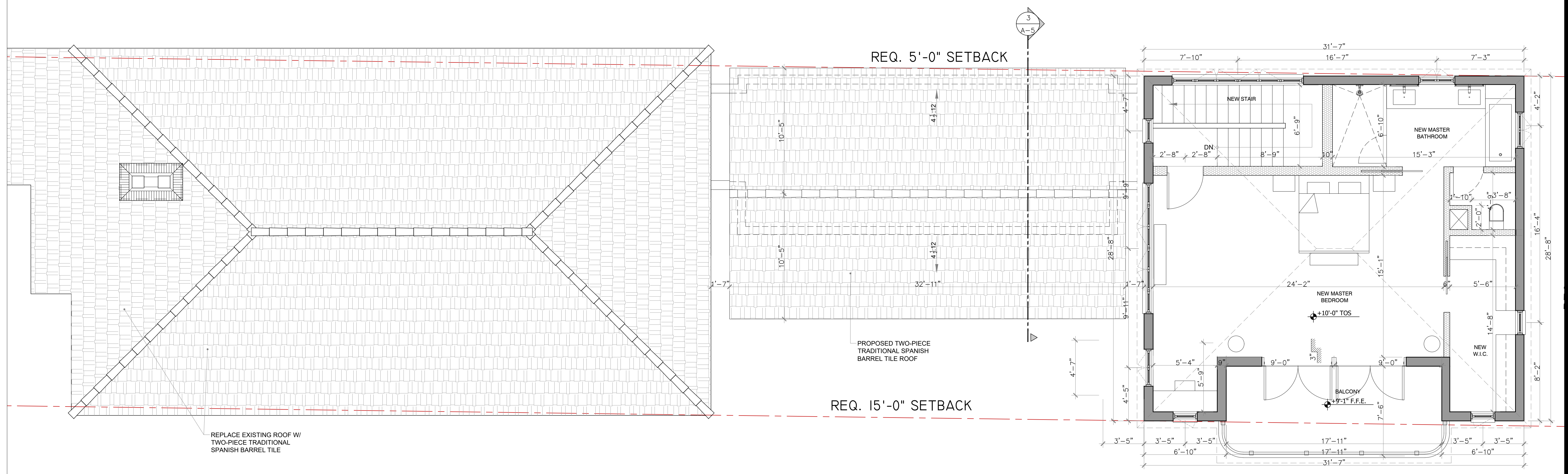
A3







WALL LEGEND

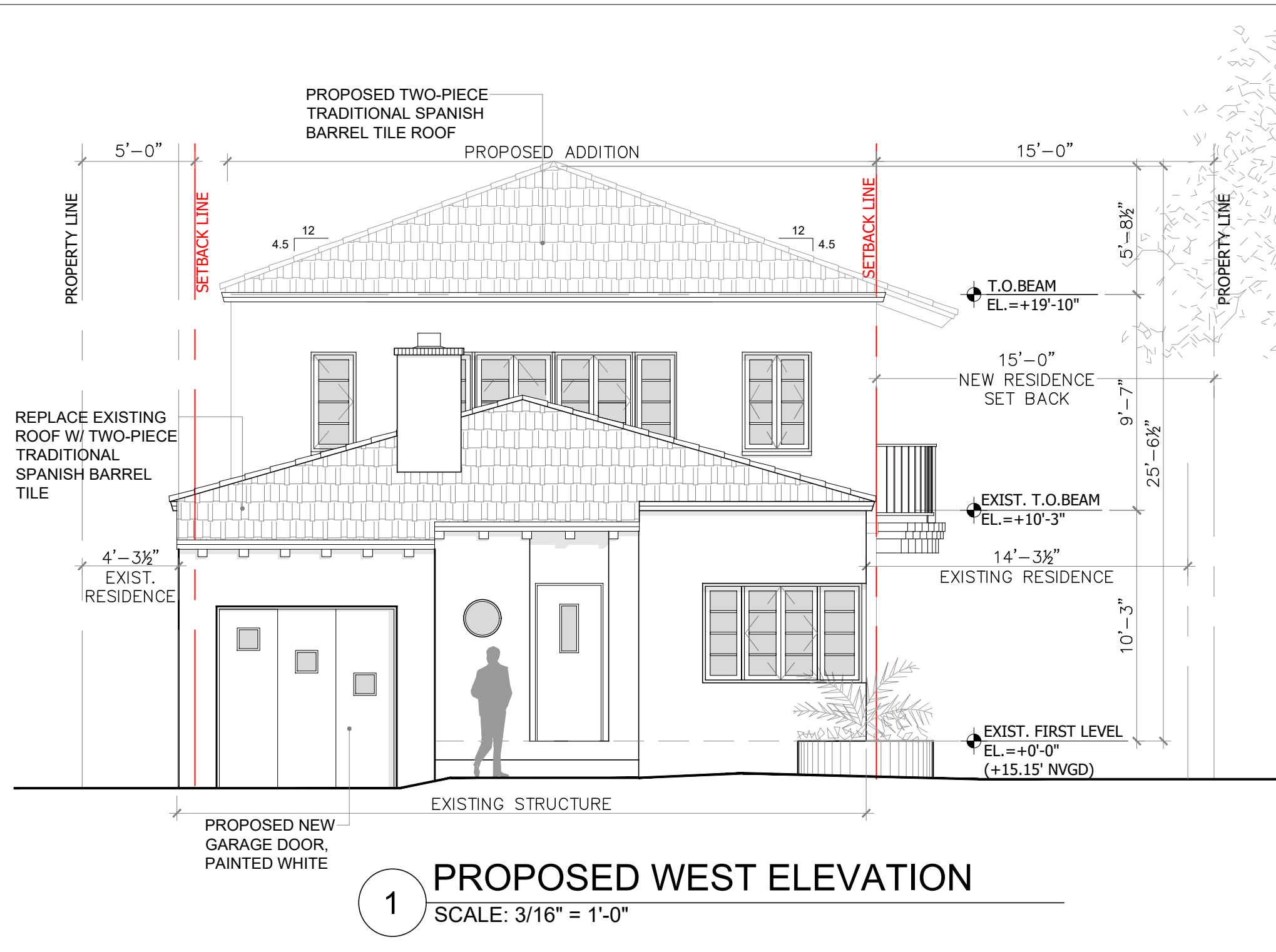
- EXISTING MASONRY WALL
- PROPOSED MASONRY WALL
- PROPOSED INTERIOR PARTITION
- EXISTING INTERIOR PARTITION

1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

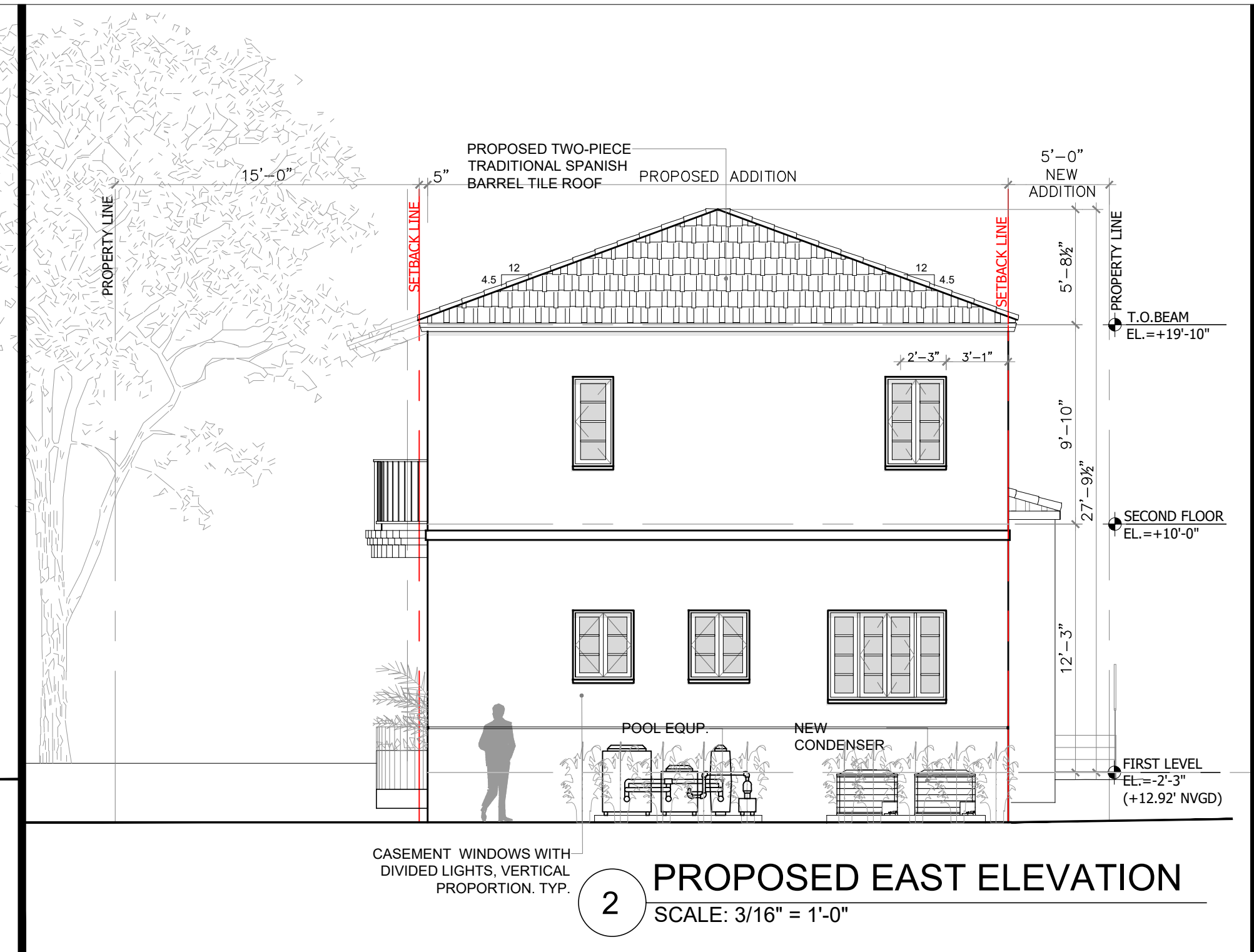


WALL LEGEND

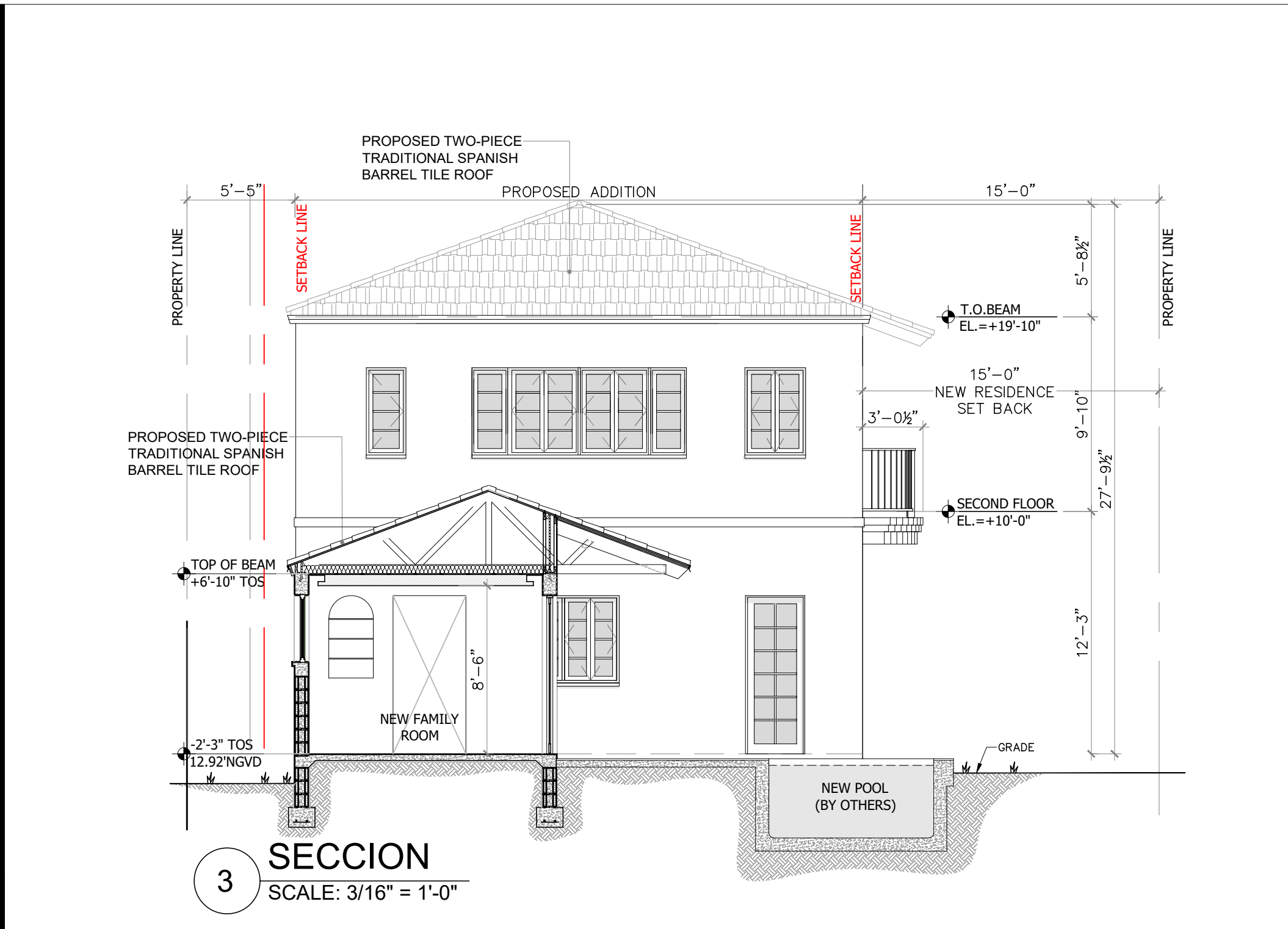
-  EXISTING MASONRY WALL
 -  PROPOSED MASONRY WALL
 -  PROPOSED INTERIOR PARTITION
 -  EXISTING INTERIOR PARTITION
- REPLACE EXISTING ROOF W/ TWO-PIECE TRADITIONAL SPANISH BARREL TILE
- RESTORE BRICK BAND TRIM AND RAISED FLUE DETAIL



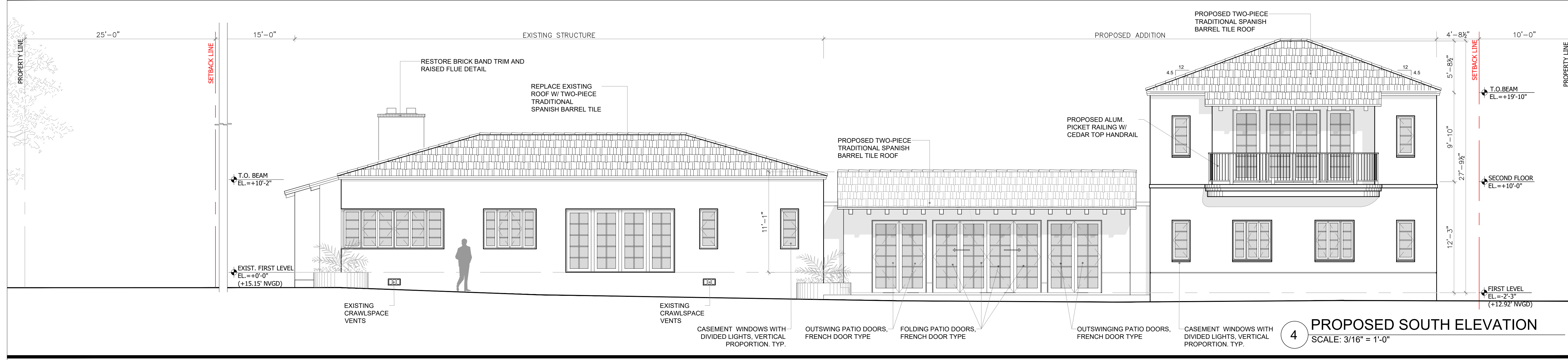
1 PROPOSED WEST ELEVATION
SCALE: 3/16" = 1'-0"



2 PROPOSED EAST ELEVATION
SCALE: 3/16" = 1'-0"



3 SECCION
SCALE: 3/16" = 1'-0"



4 PROPOSED SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



5 PROPOSED NORTH ELEVATION
SCALE: 3/16" = 1'-0"



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SHEET TITLE:

PROPOSED ELEVATIONS

A5



LEFT SIDE VIEW



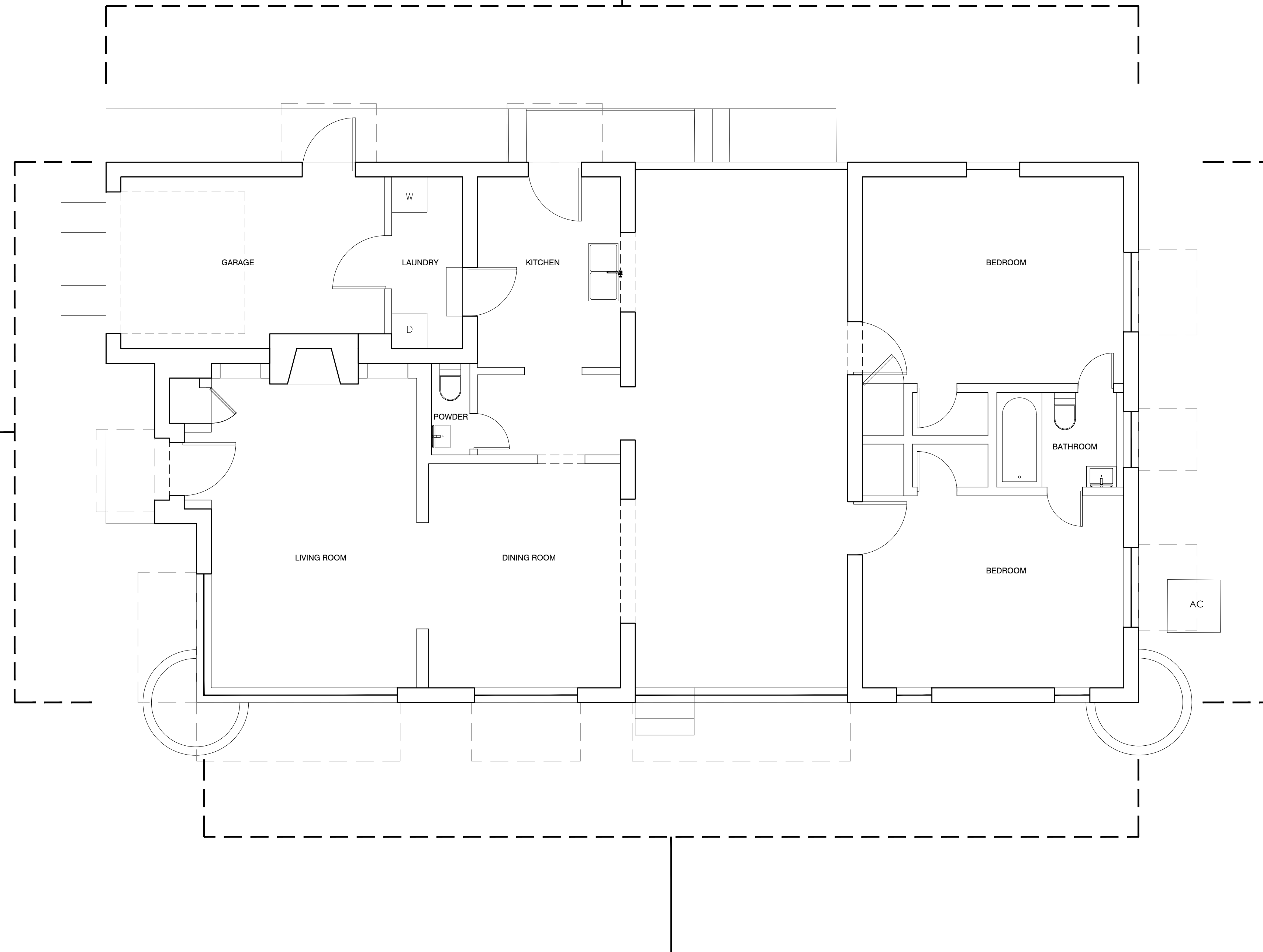
REAR VIEW



FRONT VIEW



RIGHT SIDE VIEW



1 EXISTING FIRST FLOOR PLAN AND EXTERIOR IMAGES
SCALE: 1/4" = 1'-0"



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SHEET TITLE:

IMAGES OF EXISTING
RESIDENCE

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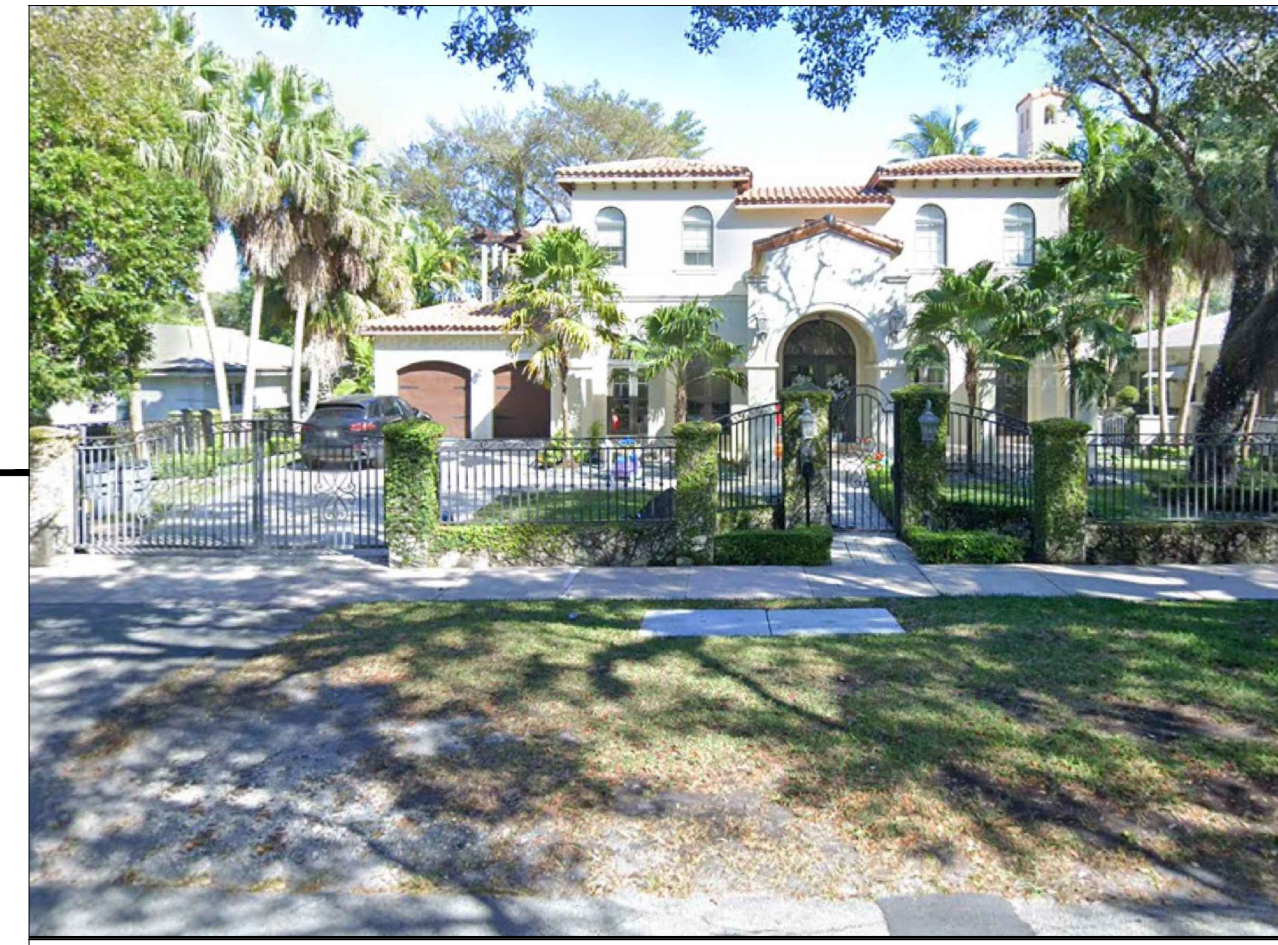
PROJECT NO: 107.01

SHEET TITLE:

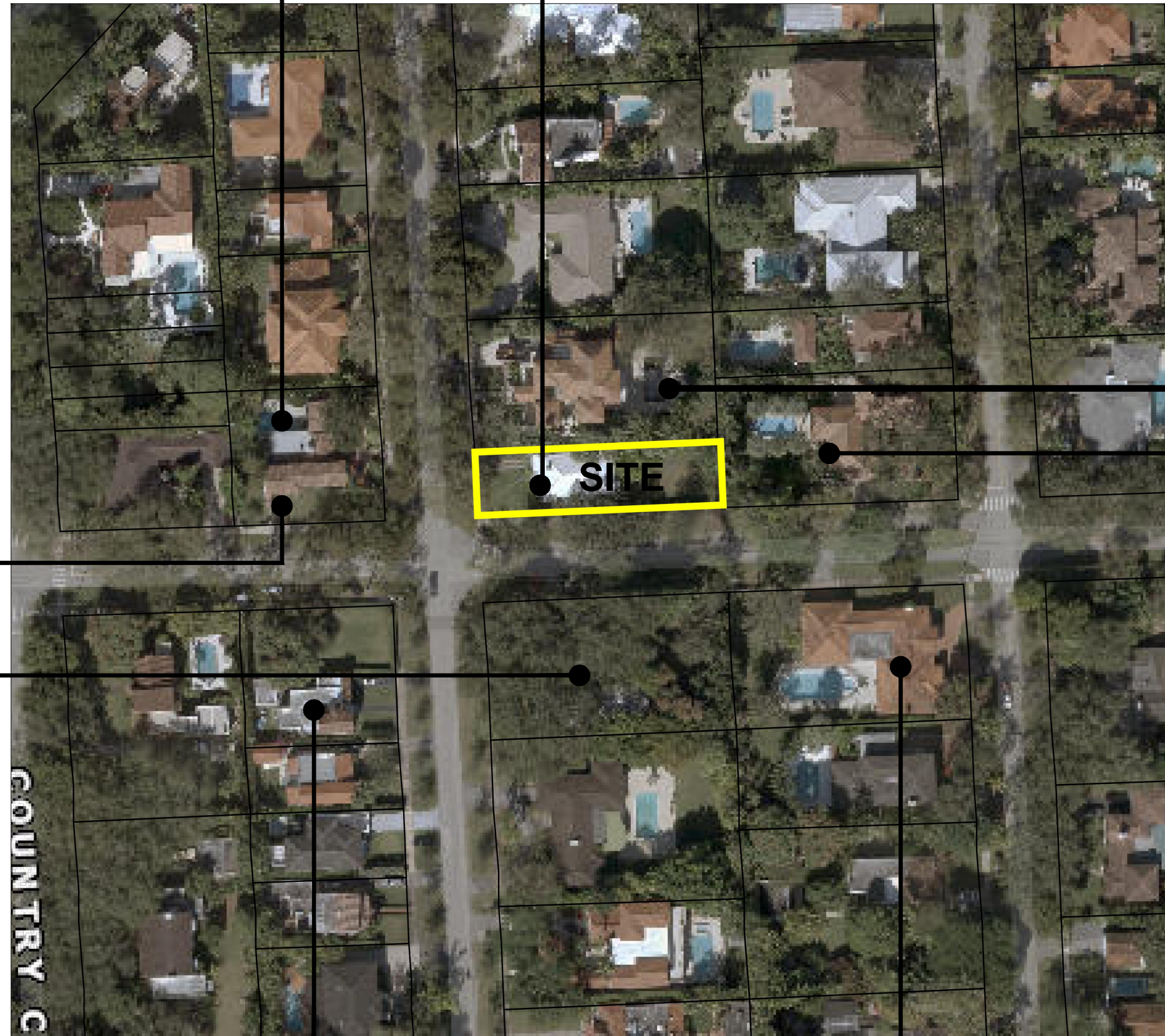
NEIGHBORHOOD
CONTEXT IMAGES



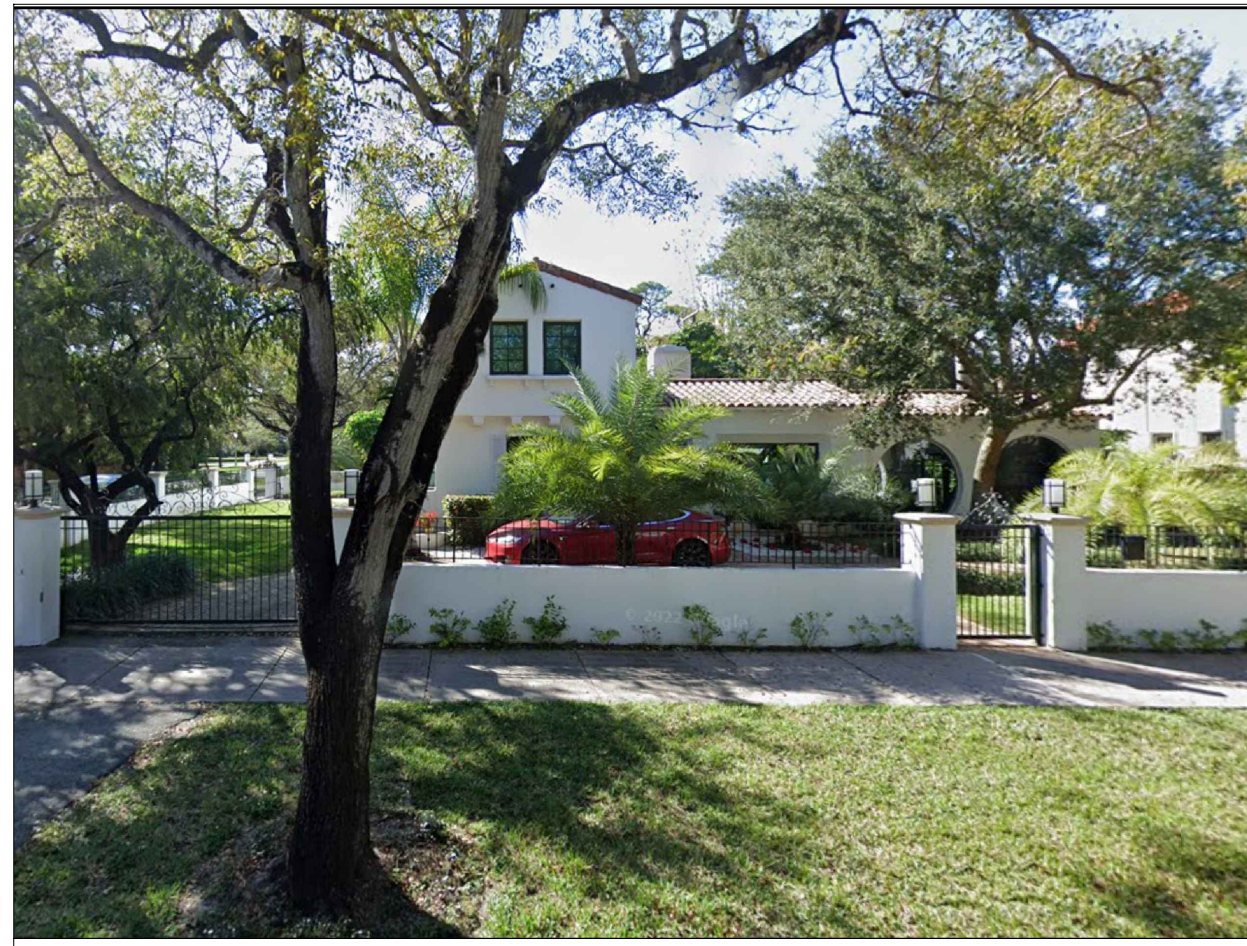
2523 ALHAMBRA CIR.



2515 ALHAMBRA CIR.



2512 ALHAMBRA CIR.



2516 ALHAMBRA CIR.



2516 GREENWAY CIR.



2601 ALHAMBRA CIR.



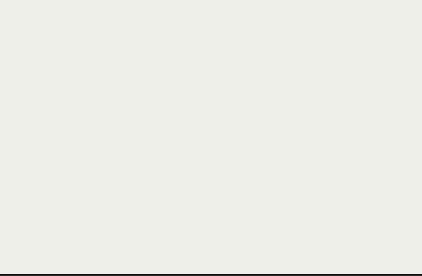
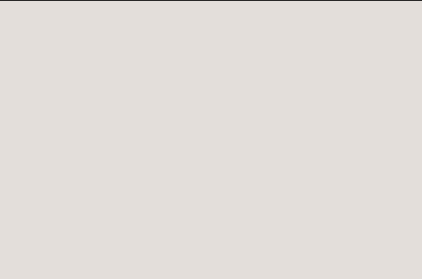

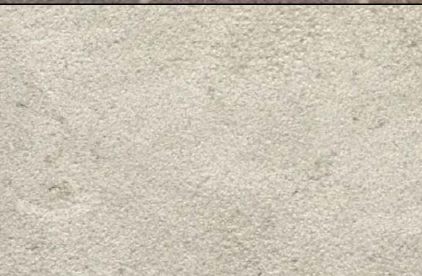

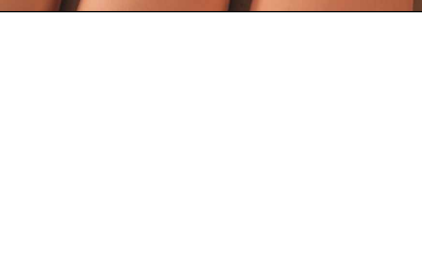
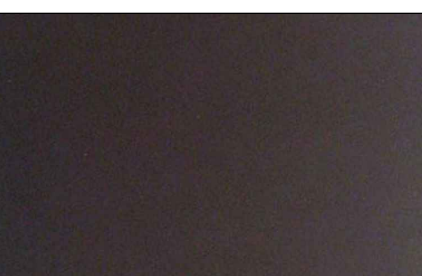


2606 ALHAMBRA CIR.



2604 N GREENWAY DR

EXTERIOR FINISH SCHEDULE:

INSTALL ONLY CITY OF CORAL GABLES APPROVED FINISHES, LUMINARIES & ACCESSORIES

ID	DESCRIPTION	SPECIFICATION		INSTRUCTIONS	QTY
W1	EXTERIOR WALLS: 7/8" SMOOTH STUCCO COMPLIES FBC R703.6, ASTM C 926 & ASTM C 1063. LATEX OR ENAMEL PAINT SHALL COMPLY WITH MATERIAL VAPOR RETARDER CLASS III PER FBC R702.7.2. REF TO ELEVATIONS FOR SCORE LINES, REFER TO FINISH NOTES THIS SHEET FOR MORE INFO.	SHERWIN WILLIAMS SW 7006 "EXTRA WHITE" TYP MAIN BODY COLOR			
W2	EXTERIOR ACCENT: ACRYLIC LATEX PAINT, REFER TO FINISH NOTES THIS SHEET FOR MORE INFO.	SHERWIN WILLIAMS SW 7077 "ORIGINAL WHITE" TYP TRIM COLOR			
A1	DRIVEWAY & WALKWAYS: MIXED RED PORPHYRY 4X4 COBBLESTONE PAVERS, REFER TO THIS SHEET FOR MORE INFO.	ARQUIGREEN MIXED RED PORPHYRY FROM ARGENTINA			
A2	EXTERIOR TERRACES, PATIO, STOOP, STEPS & RISERS: FORM & POUR ON-GRADE 3,000 PSI PUMP MIX 4" REINF CONC SLAB WITH 6X6 -W1.4/1.4 WWM. PROVIDE STONE FINISH, REQ'D BASE LAYERS, DRAINAGE & SCREED.	NATURAL STONE			
R1	MAIN ROOF: TRADITIONAL TWO-PIECE FIRE CLAY BARREL TILE, COMPLIES WITH RAS 127	TWO PIECE CLAY BARREL TILE TERRACOTTA COLOR			
R2	FLAT ROOFTOP: PROVIDE GAF SINGLE-PLY EVERGUARD TPO .060" WHEN TESTED PER ASTM D751. WHITE. TITLE 24-COMPLIANT PER ASTM D6878 OVER GAF 2" ENERGYGUARD POLYISO INSULATION.	-----			
D1	DOOR & WINDOW GLAZING:	FACTORY-FINISH BRONZE			
D2	EXTERIOR RAILING:	FACTORY-FINISH BRONZE			
D3	EXTERIOR LIGHTS:	FACTORY-FINISH BRONZE			



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SHEET TITLE:

PROPOSED
EXTERIOR
FINISHES

A8