



BERCOW RADELL FERNANDEZ & LARKIN
ZONING, LAND USE AND ENVIRONMENTAL LAW

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VIA ELECTRONIC DELIVERY

October 2, 2019

Mr. Ramon Trias
Planning and Zoning Director
City of Coral Gables
427 Biltmore Way, 2nd Floor
Coral Gables, FL 33134

RE: Amended Variance Application for 7140 Lago Drive W, Coral Gables, Florida

Dear Mr. Trias:

This law firm represents Francisco and Joan Jimenez (the "Applicant") in connection with the property located at 7140 Lago Drive West (the "Property") in the City of Coral Gables (the "City"). This letter shall serve as the letter of intent in support of the accompanying application for Variances of the City of Coral Gables Zoning Code to permit (a) a boat lift to be attached to an existing dock and maintain less than the required seventy-five (75) feet minimum navigable waterway, and (2) allow an existing dock to maintain a side setback of thirteen feet and six inches (13'6") where fifteen feet (15) feet is required.

Natural Landscape Restrictions.

The dock is an existing legal non-conforming dock that was approved by DERM and the City in 1983 and built in 1987. The approved plan included davits that projected into the waterway from the dock. The davits were replaced with a lift in 1988. The Property has been in its present state with reduced width across the waterway since 1979. Due to the narrow slope of the canal, the dock could not be built to meet the DERM required four (4) foot water depth. Instead, the original owner was required to dredge along the shoreline to ensure the water depth was deep enough to dock a boat. Pursuant to the DERM Final Inspection, the dock was constructed slightly larger than what was shown on the original plans as a result of the dredging and the surrounding mangrove. As part of the construction, the owner was required to provide limestone riprap and mangrove mitigation around the dock.

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The dock with the existing lift projects twenty-eight (28) feet out from the property line leaving between fifty (50) and forty-seven (47) feet of navigable waterway. See Sheet S-2. This condition has existed since 1987.

The proposed modifications will reduce the existing projection and increase the navigable waterway by five (5) feet. The new lift, extending seven feet and ten inches (7'10") from the dock, will replace the lift that extends out thirteen (13) feet. It is important to note that the boat width is greater than eight (8) feet, therefore, navigable waterway will be the same whether the boat is on the lift or on the approved davits. This is very common in the canals and in the boat lift industry. For reference we have included images of different boats on similar lifts. See Exhibit C, Boat lifts. Approval of the variance will allow the navigable waterway to be fifty-four (54) feet from edge of the boat lift to the opposite bank. See S3A.

In addition to the narrow width of the waterway preventing the Applicant from meeting the seventy-five (75) foot requirement, the mangroves on either side of the dock and throughout the waterway, provide a substantially smaller navigable waterway. As is common in this waterway and throughout the Coral Gables waterways, the mangroves reduce the navigable waterway well beyond the required seventy-five (75) feet.

On the southern side of the dock, the mangroves project out a significant distance and provide only thirty-one (31) feet of navigable waterway. See Exhibit A. On the northern side of the dock, the mangroves on either side of the canal project out to provide only nineteen (19) feet of navigable waterway. See Exhibit B. This problem is seen in the surrounding canals as well as the main access canals providing bay access to Lago Monaco and Lago Maggiore. See Exhibit C. As a result, the restriction caused by the lift and boat is actually less than that caused by the existing mangroves.

Throughout Cocoplum the canals are very narrow and providing seventy-five (75) feet of navigable waterway is impossible due to the natural landscape. In this case, the Applicant is reducing the projection of the lift and dock by five (5) feet to provide a greater navigable waterway than what currently exists. Moreover, the Applicant will provide a greater distance than what is currently possible due to the mangrove obstructions throughout the canal in question.

Legal Non-Conforming Side Setbacks.

The dock was built pursuant to DERM and City approved plans and has been existing in its current footprint since it was built. The dock support pilings were

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constructed within the fifteen (15) foot side setback as was an access path. The pilings were constructed in the current location due to the mangroves that were present on either side of the dock. In fact, even with the adjustments to the construction, three (3) mangroves were damaged during construction of the south end of the dock which required mitigation in the form of mangrove plantings.

Today, the dock is surrounded by mangroves, including under the dock and providing a buffer from the neighboring properties. The Applicant is requesting the side setback variance to maintain the dock as it was built and has existed since 1987 and avoid any damage to the beautiful mangroves along the water bank.

In order to bring the property closer to compliance with the side setback regulations, the Applicant will be reducing the width of the upland path and dock access path. The upland path and access path will both be reduced by five (5) feet and will no longer encroach on the side setback.

Conclusion. The Applicant's proposed dock renovation is not only consistent with the other docks on the same canal and the surrounding neighborhood, but it would have no added detriment to the neighbors since the dock has been in place for 30 years. Additionally, the proposal brings the existing walkway into conformity with the existing Code, which enhances the neighborhood by improving the safety and aesthetic value of the dock and walkway, which enhance the surrounding community. Based on the foregoing, we respectfully request a favorable recommendation of the requested Variances.

Very truly yours,



Melissa Tapanes Llahues



7140 West Lago Drive

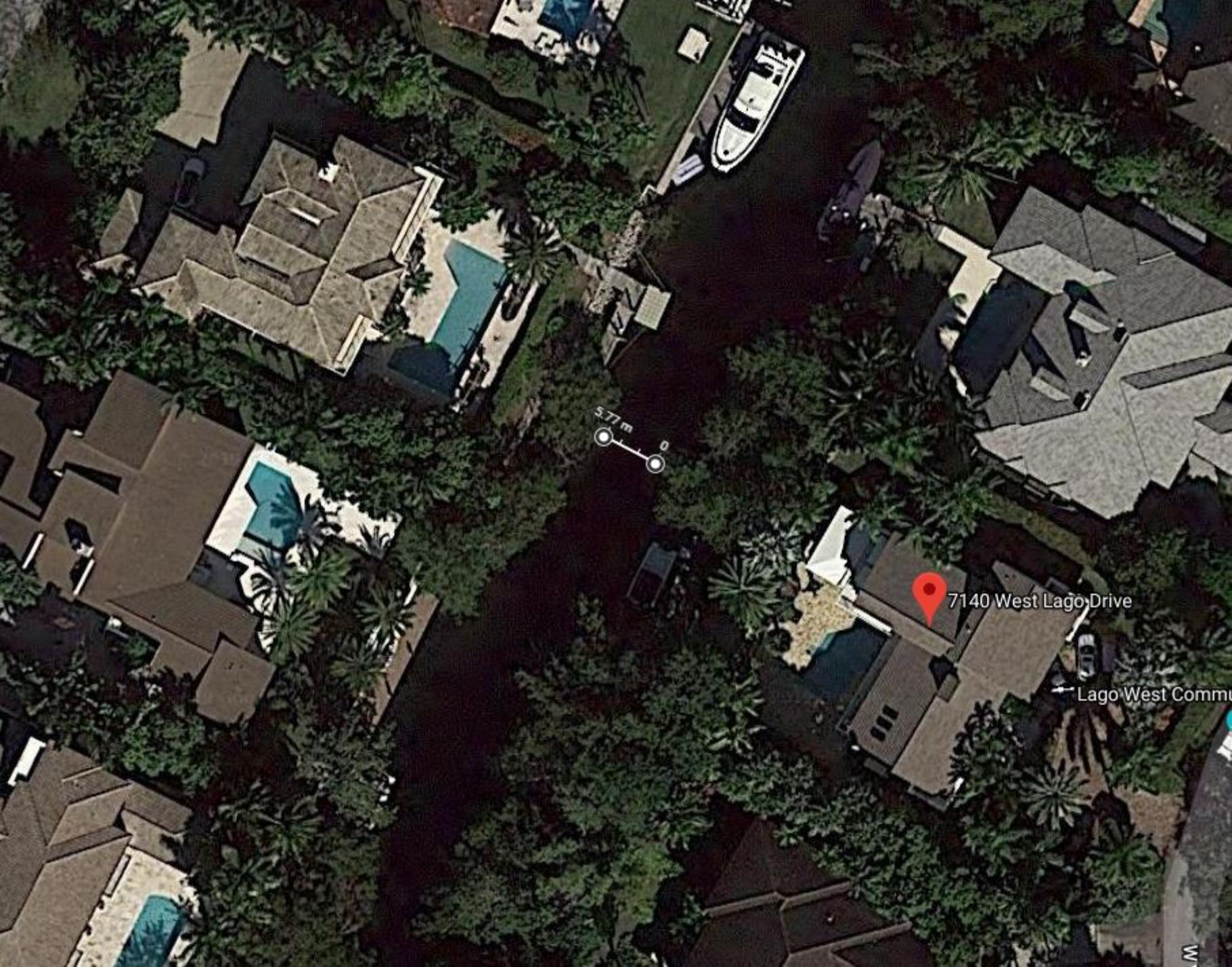


Lago West Community



W Lago Dr

W Lago Dr



7140 West Lago Drive

Lago West Comm



W



A10552313

144 E Sunrise

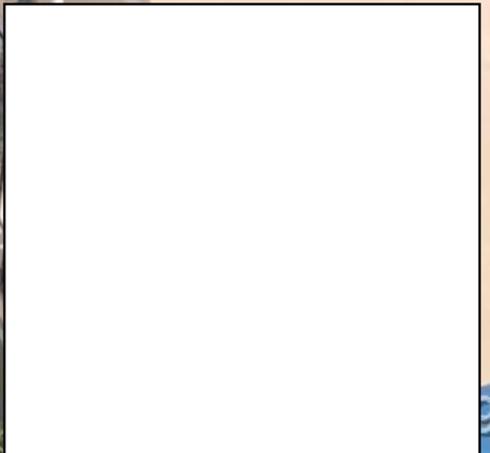


5711 Granada



A10715256

6815 Edgewater





6840 Sunrise



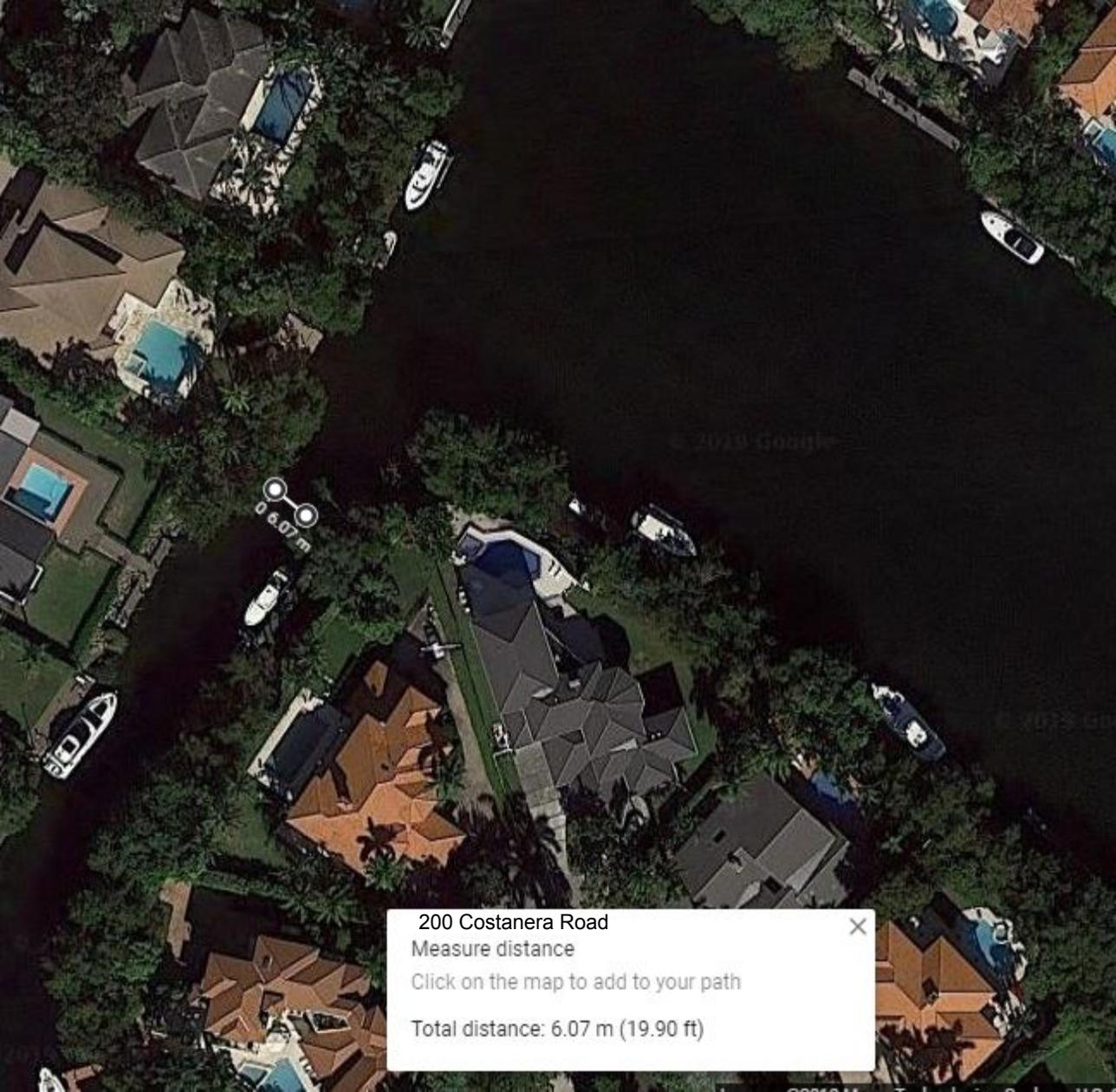
11905 Marin St

Coral Gables
Waterway

0 15.12 m

Tahiti

Cocoplum Yacht Club ✕
Measure distance
Click on the map to add to your path
Total distance: 15.12 m (49.59 ft)



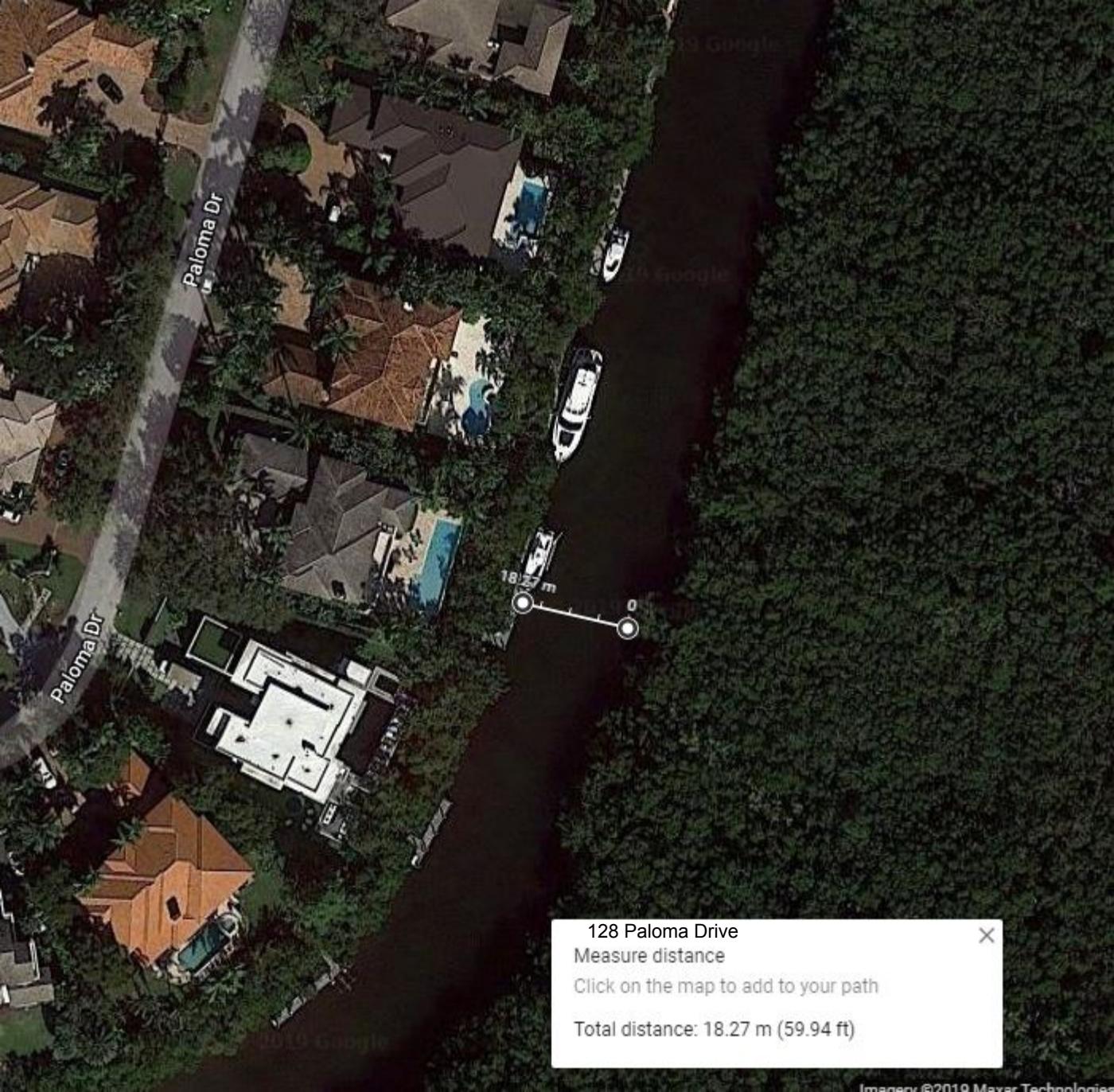
200 Costanera Road



Measure distance

Click on the map to add to your path

Total distance: 6.07 m (19.90 ft)



Paloma Dr

Paloma Dr

18.27 m

0

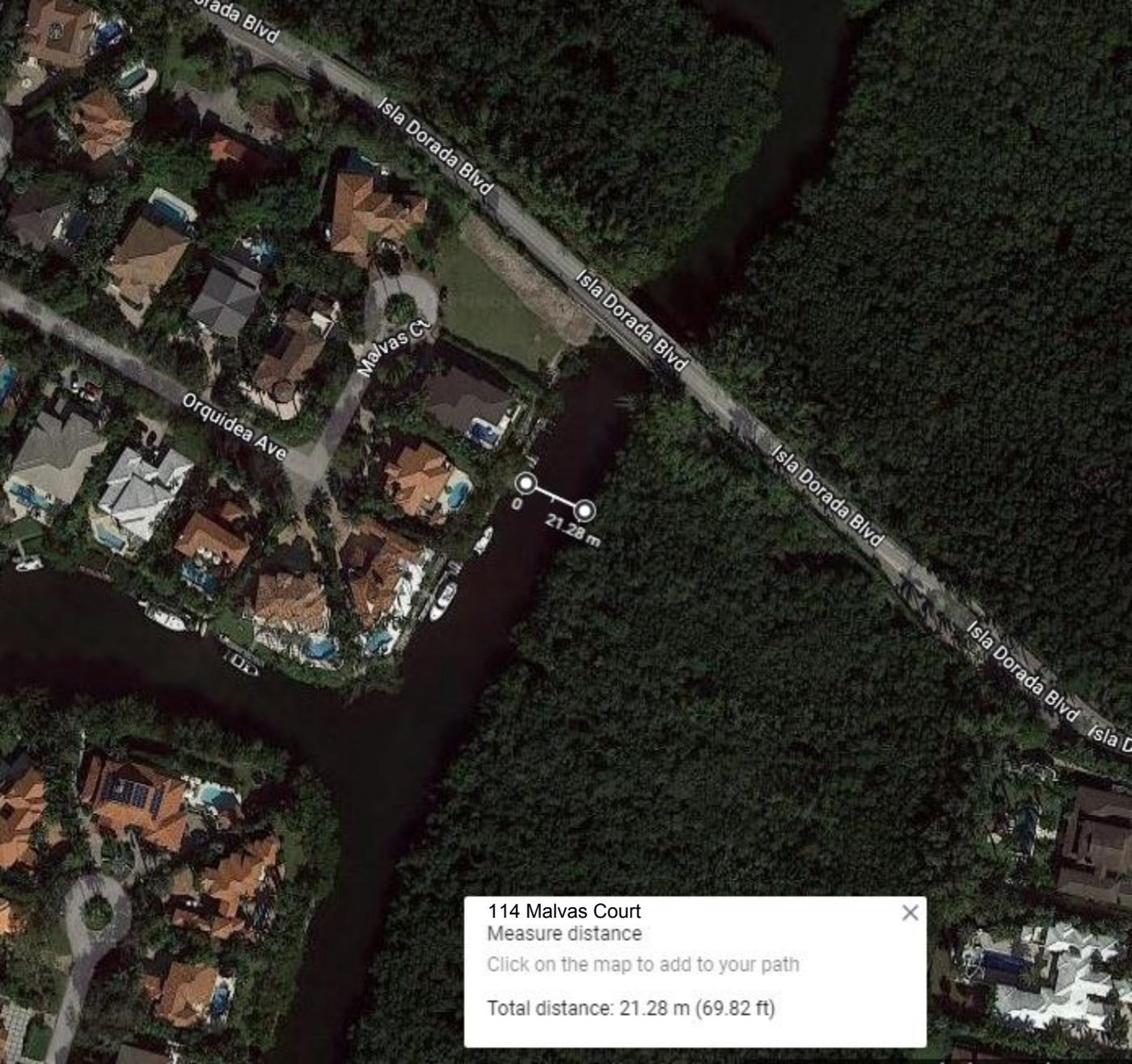
128 Paloma Drive

Measure distance

Click on the map to add to your path

Total distance: 18.27 m (59.94 ft)





Isla Dorada Blvd

Isla D

Malvas Ct

Orquidea Ave

0 21.28 m

114 Malvas Court ✕
Measure distance
Click on the map to add to your path
Total distance: 21.28 m (69.82 ft)



19.07 m

Canal East of Cocoplum Yacht Club
Measure distance
Click on the map to add to your path
Total distance: 19.07 m (62.58 ft)





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VIA HAND DELIVERY

May 14, 2019

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Planning and Zoning Director
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427 Biltmore Way, 2nd Floor
Coral Gables, FL 33134

RE: Amended Variance Application for 7140 Lago Drive W, Coral Gables, Florida

Dear Mr. Trias:

This law firm represents Francisco and Joan Jimenez (the "Applicant") in connection with the property located at 7140 Lago Drive West (the "Property") in the City of Coral Gables (the "City"). This letter shall serve as the amended letter of intent in support of the accompanying application for Variances of the City of Coral Gables Zoning Code to permit (a) an existing dock's waterward projection beyond the permitted five (5) feet, and (b) with less than seventy-five (75) feet of navigable waterway.

Property Description. The Property is located in Cocoplum on Lago Drive West. The Property sits on Lago Monaco, just north of the Lago Maggiore and Lago Monaco canal intersection. See Exhibit A, Boundary Survey. The Miami-Dade County Property Appraiser's Office identifies the Property through tax folio identification number 03-4132-025-0280. See Exhibit B, Property Appraiser Summary. Based on the Property Appraiser records, the Property is approximately 16,400 square feet in size. Pursuant to the City's Future Land Use Map the Property is designated Residential Single Family Low Density and is zoned SFR - Single Family Residential. See Land Use Map Plate 14 and Zoning Map Plate 14.

Property History. In 1983, pursuant to Resolution No. R-1154-83, the installation of a marginal dock was approved by the Board of County Commissioners. See Exhibit C, Resolution R-1154-83. The installation of the dock did not occur until 1987 when the new owners were issued a permit. The permit approved the installation of a five (5) foot wide by fifty (50) foot long wood dock with a five (5) foot wide by 16.5 long wood access

walkway. See Exhibit D, Original Plans. Additionally, the permit required 15 cubic yards of riprap to be installed under the dock. See Exhibit E, Final Inspection. At the time of final inspection by the Miami-Dade County Department of Environmental Resources Management (“DERM”), inspectors determined that the dock was constructed 5.7 feet wide by 53.6 feet long with a 5.7 foot wide walkway. See Exhibit E, Final Inspection, Exhibit F, DERM File Review. In 1988, the approved davits were removed to install a boatlift. The existing aluminum boatlift extends thirteen (13) feet waterward from the dock. The canal width is approximately sixty-five (65) feet wide at the narrowest point between the Property and the property across the canal and begins to widen at the southern property boundary line.

Project. The Applicant proposes removing the existing wood dock, access walkway and aluminum boatlift, and installing a new higher quality wood dock, access walkway, and an aluminum boatlift with a reduced waterward projection of three (3) feet (the “Project”). See Exhibit G, Proposed Plans. The Project will reduce the waterward projection, while updating the deteriorating dock to improve the quality, safety, and aesthetic value of the dock within the current configuration. The Project was approved by the City’s Board of Architects and the Cocoplum Homeowners Association in December 2017. See Exhibit G, Proposed Plans.

Compliance. As part of the proposed work, the Applicant proposes reducing the size of the existing upland paving walkway to comply with current zoning regulations. Section 5-118 of the Code allows for walkways to be a maximum of five (5) feet. The walkway in its current condition is ten (10) feet wide. As such, the Applicant will reduce the walkway by five (5) feet under a separate permit process.

Variance Requests. The Applicant respectfully requests two Variances of sections 5-802(A), and 5-802(C).

- (1) The dock’s waterward projection beyond the permitted 5’; and
- (2) The boatlift’s waterward projection leaving less than 75’ of navigable waterway.

Variance Criteria. Approval of these requests comply with the standards set forth in Section 3-806 of the Coral Gables Zoning Code. Specifically, an application for a Variance shall be approved only if it demonstrates all of the following:

- 1) *That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district.*

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The configuration of the Property and the existing dock justifies the variances requested. Lago Monaco, the canal where the Property is located, ranges from sixty (60) feet wide to 250 feet wide. The waterway section where the Property sits is approximately sixty-five (65) feet wide. See Exhibit G, Proposed Plans. The seventy-five (75) foot requirement is not possible due to the natural size of the canal and the location of the Property on the canal.

Further, the dock was built in 1987 and is being updated in a manner consistent with the existing structure and footprint. The existing dock was permitted and built in 1987, long before the previous code, from 2006, was adopted as part of the current City Zoning Code in 2017, and is legally nonconforming to the current Code. Failure to grant the variance would deny the Applicant the opportunity to utilize the Property in a manner consistent with the surrounding area. As such, special conditions and circumstances exists which are peculiar to the land and which are not applicable to other structures in the same zoning district.

- 2) *That the special conditions and circumstances do not result from the actions of the applicant.*

The Property has been in its present state with approximately sixty-five (65) to seventy (70) feet of width across the waterway since its platting. The Applicant purchased the Property with the existing dock in place and added the lifts in 1988. As mentioned above, the dock was permitted and built in 1987 pursuant to approved plans by the City and DERM prior to the adoption of the current City Code in 2017 and the previous code in 2006. See Exhibit C, Resolution No. R-1154-83, D, Original Plans. The special conditions are a result of the width of the waterway as originally created.

- 3) *That granting the variance requested will not confer on the applicant any special privilege that is denied by these regulations to other lands, buildings or structures in the same zoning district.*

The granting of the variances requested will not confer on the Applicant any special privilege that is denied by these regulations to other lands, buildings, or structures in same zoning district. The variances will simply permit a reduction and improvement of the existing dock configuration that has existed in the same location and with the same footprint since 1987. The use of a dock is common on Lago Monaco, the Cocoplum neighborhood, and the surrounding area as it is permitted in this zoning district. There are approximately twelve (12) similarly situated docks with a waterward projection within 500 feet of the Property. See Exhibit H, Aerial photograph. Moreover, the property owner across the canal will have the same opportunity to build a dock as there is sufficient navigable waterway to build a dock. As such, granting the variance will allow

the Applicant to utilize the Property in a manner consistent with the neighborhood and not confer special privileges to the Applicant.

- 4) *That the literal interpretation of the provisions of these regulations would deprive the applicant of right commonly enjoyed by other properties in the same zoning district under the terms of these regulations and would work unnecessary and undue hardship on the applicant.*

Throughout Cocoplum and Lago Monaco, property owners commonly enjoy docks with and without lifts that extend well beyond fifteen (15) feet waterward and reduce the navigable waterway to less than seventy-five (75) feet. See Exhibit H, Aerial photographs. There are approximately twelve (12) similar situated docks within 500 feet. See Exhibit H, Aerial Photographs. Since 2009, at least eight (8) variances have been granted for docks similar to the Applicants. See Exhibit I, Variances. It is important to note that the addition of lifts does not alter the waterward projection, as the vessel moored to the dock would project an equal distance. However, mooring a vessel on the water provides additional safety hazards, and ultimately leads to a buildup of debris that gets caught on the vessel and restricts waterflow. The neighborhood is one with high property values, and the accessory uses should be up to par to preserve that value. Creating safety hazards and diminishing the aesthetic value will work unnecessary and undue hardship on the Applicant as well as be injurious to the zoning district, surrounding neighborhood, and City overall.

Moreover, there are multiple examples of canals with docks that project waterward to create less than seventy-five (75) feet of navigable waterway, as evidenced by the canals between Sunrise Place and Sunrise Court, and between Sunrise Drive and Sunrise Terrace. See Exhibit J, Canals. Some canals have as little as approximately sixty feet of navigable waterway, such as the canal between Cocoplum Road and Prado Boulevard. See Exhibit J, Canals. As such, the literal interpretation of the Code would deprive the Applicant of rights commonly enjoyed by other properties in the same zoning district.

- 5) *That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.*

The Applicant is proposing a dock that simply improves the degrading wood supports that have been in place for nearly 30 years. The Applicant is not expanding or altering the configuration of the dock - the variances are simply improving the integrity and aesthetics of the structure. The proposed variances are not asking for a deviation from the Code to build a new structure that is unlike anything else in the area, or one that is bigger than what is currently in place. The Applicant is reducing the waterward projection by three (3) feet to improve the safety and aesthetic value of the structure that has been in place since 1988. Without approval of the Variances, the Applicant would

likely have to cease using the dock in the near future due to safety concerns leading it to become dilapidated. The Variances are the minimum variances that will allow the Applicant to improve the safety and quality of the dock in order to make possible the reasonable use of the Property.

- 6) *That granting the variance will not change the use to one that is not permitted in the zoning district or different from other land in the same district.*

A dock and a boatlift already exists on the Property and are common throughout the Cocoplum neighborhood and surrounding area. See Exhibit H, Aerial Photographs. On the same section of Lago Monaco there are nine (9) docks. In the Board of Adjustments records, there are at least sixteen (16) variances relating to docks, including eight (8) that are to allow for less than seventy-five (75) feet of navigable waterway, or fifteen (15) feet waterward projection. See Exhibit I, Variances. As such, granting these Variances will not change the use to one that is not permitted in the zoning district as docks are an allowed use in the zoning district.

- 7) *That the granting of the variance will be in harmony with the general intent and purpose of these regulations, and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.*

Since the dock has been built in its current form since 1988, the intent and purpose of the applicable regulations are less significant. The proposed dock and lift will not only have minimal impact on the homeowners throughout the canal, across the canal, or anyone who passes through the canal yet the impact will be positive in nature: it will create a safer and larger navigable waterway by reducing the waterward projection. Many canals have docks, lifts, and vessels that require maneuverability by those navigating the canal. See Exhibit H, Aerial photographs. Additionally, the existing dock and boatlift is a legally nonconforming dock that matches adjacent docks. See Exhibit H, Aerial photographs. Granting the Variances will not be injurious to the area or detrimental to the public as these Variances will allow the dock to conform to what has been existing since 1988.

- 8) *That the granting of the variance is appropriate for the continued preservation of an historic landmark or historic landmark district.*

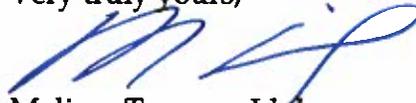
The Property is not a historic landmark or in a historic district.

The Applicant's proposed dock renovation is not only consistent with the other docks on the same canal and the surrounding neighborhood, but it would have no added detriment to the neighbors since the dock has been in place for 30 years. Additionally, the proposal brings the existing walkway into conformity with the existing Code, which enhances the neighborhood by improving the safety and aesthetic value of the dock and

Mr. Ramon Trias
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Page 6

walkway, which enhance the surrounding community. Based on the foregoing, we respectfully request a favorable recommendation and approval of the requested variances. Should you have any questions or comments, please do not hesitate to phone me at 305.377.6227.

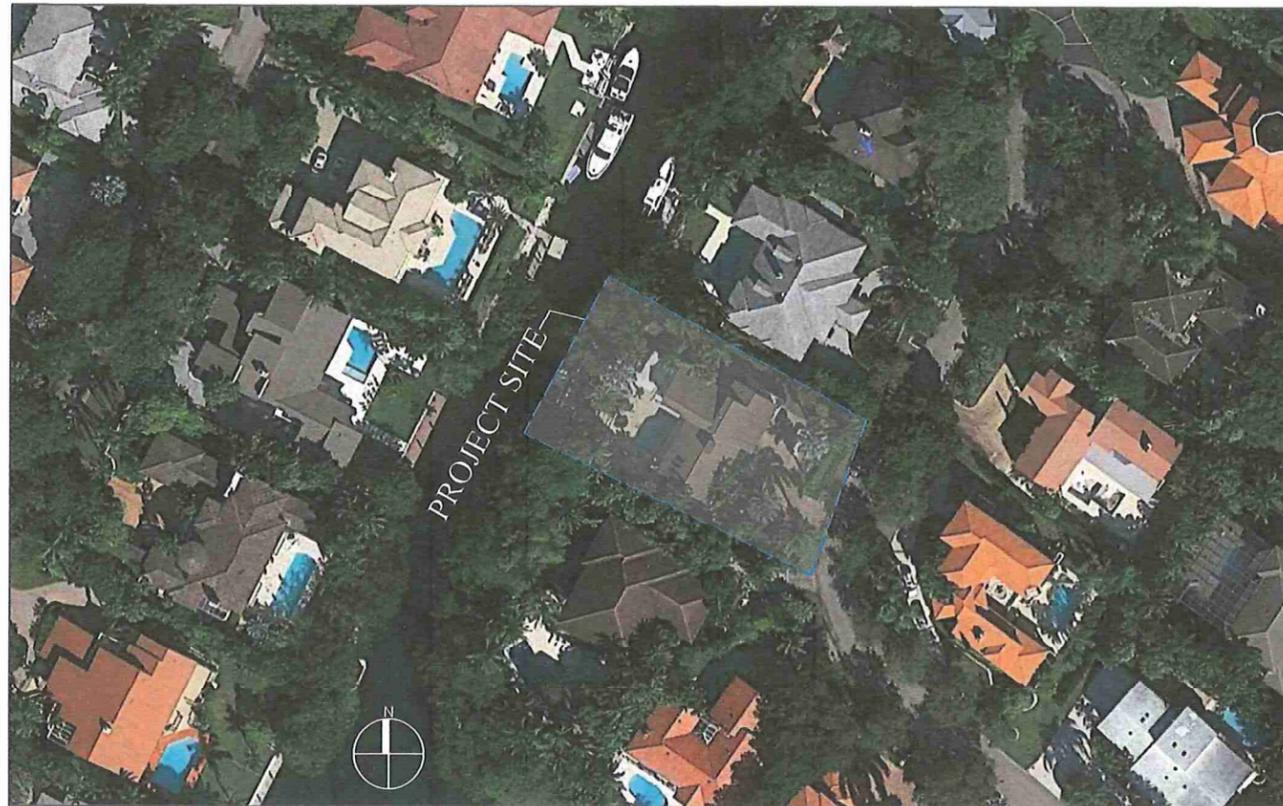
Very truly yours,



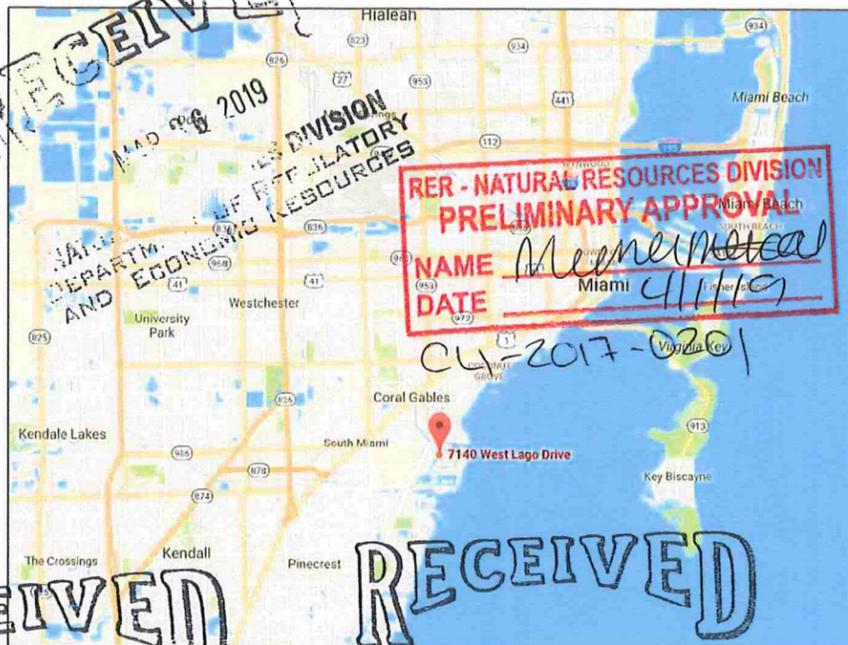
Melissa Tapanes Llahues

Enclosures

CC: Thomas Robertson
Robert Behar



LOCATION MAP AND LEGAL DESCRIPTION



PROJECT SITE LOCATION:
7140 W. Lago Drive
Coral Gables, FL 33134

LATITUDE: 25°41'0.35"N
LONGITUDE: 80°10'23.70"W

FOLIO No.: 03-4132-025-0280

LEGAL DESCRIPTION:
COCOPLUM SEC 2 PLAT B
PB 115-84
LOT 28 BLK 13
LOT SIZE 16400 SQ FT
OR 18761-0417-0419 0899 4

GENERAL NOTES:

- ELEVATIONS SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.
- ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD.
- IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH WORK. CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR ALL LINES, ELEVATIONS, AND MEASUREMENTS IN CONNECTION WITH THEIR WORK.
- IT IS THE INTENT OF THESE PLANS AND THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH LOCAL, STATE, AND FEDERAL ENVIRONMENTAL PERMITS ISSUED FOR THIS PROJECT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE AND GOVERN HIMSELF BY ALL PROVISIONS OF THESE PERMITS.
- APPLICABLE BUILDING CODE: FLORIDA BUILDING CODE, 2014 EDITION (AND CURRENT ADDENDUMS).
- APPROVED CONTRACTOR TO DETERMINE THE SUITABILITY OF EXISTING STRUCTURES AND VERIFY ALL DIMENSIONS. THE APPROVED CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, MEANS, SEQUENCES AND PROCEDURES OF WORK.
- DO NOT SCALE DRAWINGS FOR DIMENSIONS.
- CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING WORK.
- CONTRACTOR TO PROPERLY FENCE AND SECURE AREA WITH BARRICADES.
- ANY DEVIATION AND/OR SUBSTITUTION FROM THE INFORMATION PROVIDED HEREIN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
- ALL NEW MATERIALS AND/OR PATCHWORK SHALL BE PROVIDED TO MATCH EXISTING MATERIALS AND/OR ADJOINING WORK WHERE PRACTICAL EXCEPT AS SPECIFICALLY NOTED HEREIN.
- LICENSED CONTRACTOR SHALL USE ALL POSSIBLE CARE TO PROTECT ALL EXISTING MATERIALS, SURFACES, AND FURNISHINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.
- THE LICENSED CONTRACTOR TO INSTALL AND REMOVE ALL SHORING AND BRACING AS REQUIRED FOR THE PROPER EXECUTION OF THE WORK.
- ALL NEW WORK AND/OR MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF EACH ADMINISTRATIVE BODY HAVING JURISDICTION IN EACH PERTAINING CIRCUMSTANCE.
- THE CONTRACTOR WILL EMPLOY AND MAINTAIN ADEQUATE SEDIMENT AND EROSION CONTROL MEASURES TO PROTECT BISCAYNE BAY FROM SEDIMENT AND CONSTRUCTION DEBRIS.

DOCK: LL 60 PSF

BOLTS

- ALL BOLTS SHALL BE 316 GAUGE STAINLESS STEEL, UNLESS OTHERWISE NOTED.

WOOD

- PRIMARY WOOD FRAMING MEMBERS SHALL BE NUMBER 1 PRESSURE TREATED MARINE GRADE SOUTHERN PINE OR BETTER.
- ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD.

CONCRETE

- CONCRETE SHALL CONFORM TO ACI 318 (LATEST ED.) AND SHALL BE REGULAR WEIGHT, SULFATE RESISTANT, WITH A DESIGN STRENGTH OF 5,000 PSI AT 28 DAYS W/ A MAX WATER-CEMENTIOUS MATERIALS RATIO, BY WEIGHT, NORMAL WEIGHT AGGREGATE CONCRETE OF 0.40.
- OWNER SHALL EMPLOY AND PAY FOR TESTING SERVICES FROM AN INDEPENDENT TESTING LABORATORY FOR CONCRETE SAMPLING AND TESTING IN ACCORDANCE W/ ASTM.
- LICENSED CONTRACTOR IS RESPONSIBLE FOR THE ADEQUACY OF FORMS AND SHORING AND FOR SAFE PRACTICE IN THEIR USE AND REMOVAL.
- CONCRETE COVER SHALL BE 3" UNLESS OTHERWISE NOTED ON APPROVED DRAWINGS.
- REINFORCING STEEL SHALL BE IN CONFORMANCE WITH THE LATEST VERSION OF ASTM A615 GRADE 60 SPECIFICATIONS. ALL REINFORCEMENT SHALL BE PLACED IN ACCORDANCE W/ ACI 315 AND ACI MANUAL OF STANDARD PRACTICE.
- SPLICES IN REINFORCING BARS SHALL NOT BE LESS THAN 48 BAR DIAMETERS AND REINFORCING SHALL BE CONTINUOUS AROUND ALL CORNERS AND CHANGES IN DIRECTION. CONTINUITY SHALL BE PROVIDED AT CORNERS OR CHANGES IN DIRECTION BY BENDING THE LONGITUDINAL STEEL AROUND THE CORNER 48 BAR DIAMETERS.

PILE DRIVING NOTES

- PILE DRIVING OPERATIONS SHALL BE OBSERVED BY A SPECIAL INSPECTOR, INCLUDING TEST PILES SUFFICIENT TO DETERMINE THE APPROXIMATE LENGTH REQUIRED TO MEET DESIGN CAPACITY.
- PILES SHALL BE DRIVEN USING AN APPROVED CUSHION BLOCK CONSISTING OF MATERIAL SO ARRANGED SO AS TO PROVIDE THE TRANSMISSION OF THE HAMMER ENERGY.
- PILES SHALL BE DRIVEN TO REQUIRED CAPACITY A MIN 12. INTO BERM.
- PILES SHALL BE DRIVEN WITH A DROP HAMMER OR GRAVITY HAMMER PROVIDED THE HAMMER SHALL WEIGH NO LESS THAN 3,000 POUNDS, AND THE FALL OF THE HAMMER SHALL NOT EXCEED 6 FT.
- PILES SHALL BE DRIVEN WITH A VARIATION OF NOT MORE THAN 1/4" PER FOOT FROM THE VERTICAL, OR FROM THE BATTER LINE INDICATED, WITH A MAX VARIATION OF THE HEAD OF THE PILE FROM THE POSITION SHOWN ON THE PLANS OF NOT MORE THAN 3".
- WHERE PILING MUST PENETRATE STRATA OFFERING HIGH RESISTANCE TO DRIVING, THE STRUCTURAL ENGINEER OF RECORD OR SPECIAL INSPECTOR MAY REQUIRE THAT PILES BE SET IN PRE-DRILLED OR PUNCHED HOLES. THE PILES SHALL REACH THEIR FINAL PENETRATION BY DRIVING.

JIMENEZ ATF DOCK AND BOATLIFT PROJECT

Coral Gables, Florida

CLIENT:

MRS. JOAN JIMENEZ

7140 W. Lago Drive
Coral Gables, FL 33134

ENVIRONMENTAL CONSULTANT:

OCEAN CONSULTING, LLC

340 Minorca Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

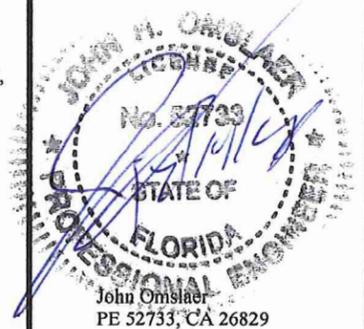
CONTRACTOR:

PROJECT ENGINEER:

DYNAMIC ENGINEERING SOLUTIONS, INC.

351 S. Cypress Road, Suite 303
Pompano Beach, FL 33060
Office - 954-545-1740
Fax - 954-545-1721

SEAL / SIGNATURE / DATE



PERMIT DRAWINGS

Issue #	Issue Date
①	December 6, 2018

PROJECT: #17-6335

PROJECT LOCATION & NOTES

SCALE: AS SHOWN
SHEET NO.

S-1

RECEIVED
FEB 04 2019
NATURAL RESOURCES DIVISION
DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES

RECEIVED
DEC 17 2018
NATURAL RESOURCES DIVISION
DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES

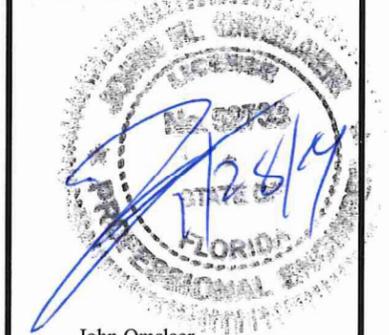
JIMENEZ ATF DOCK AND BOATLIFT PROJECT
Coral Gables, Florida

CLIENT:
MRS. JOAN JIMENEZ
7140 W. Lago Drive
Coral Gables, FL 33134

ENVIRONMENTAL CONSULTANT:
OCEAN CONSULTING, LLC
340 Minorca Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254
CONTRACTOR:

PROJECT ENGINEER:
DYNAMIC ENGINEERING SOLUTIONS, INC.
351 S. Cypress Road, Suite 303
Pompano Beach, FL 33060
Office - 954-545-1740
Fax - 954-545-1721

SEAL / SIGNATURE / DATE



John Omslaer
PE 52733, CA 26829

PERMIT DRAWINGS

Issue #	Issue Date
①	December 6, 2018

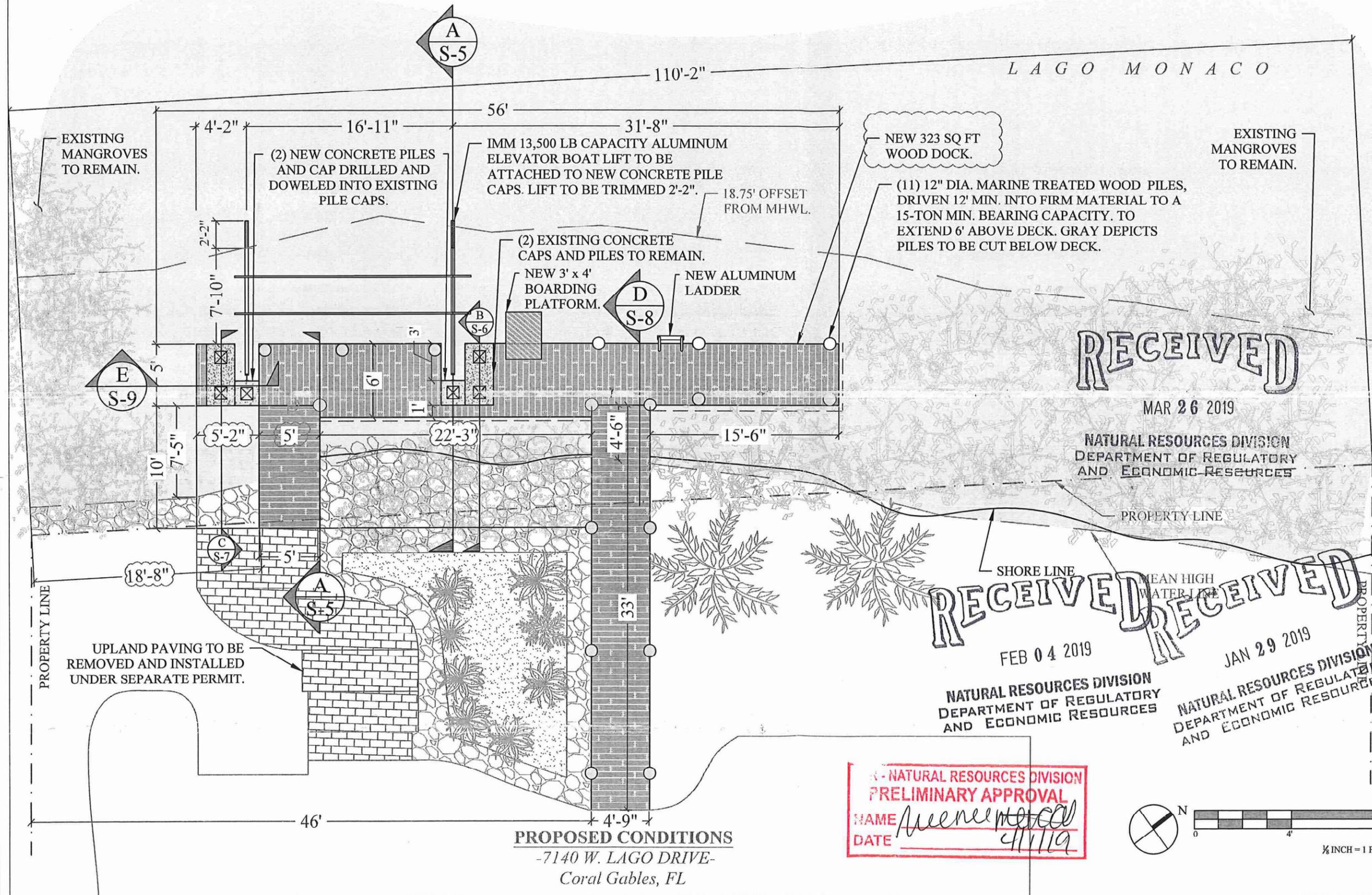
PROJECT: #17-6335

PROPOSED CONDITIONS

SCALE: AS SHOWN
SHEET NO.

S-3

RIP-RAP ON OPPOSING BANK



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MAR 26 2019

NATURAL RESOURCES DIVISION
DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES

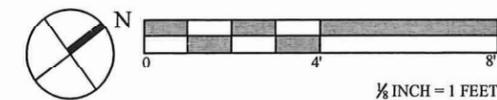
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FEB 04 2019

NATURAL RESOURCES DIVISION
DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES

JAN 29 2019
NATURAL RESOURCES DIVISION
DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES

N - NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL
NAME *Joan Jimenez*
DATE *4/11/19*



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JAN 29 2019

NATURAL RESOURCES DIVISION
DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES

**JIMENEZ ATF DOCK
AND BOATLIFT
PROJECT**
Coral Gables, Florida

CLIENT:
MRS. JOAN JIMENEZ
7140 W. Lago Drive
Coral Gables, FL 33134

ENVIRONMENTAL CONSULTANT:
**OCEAN
CONSULTING, LLC**
340 Minorca Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:

PROJECT ENGINEER:
**DYNAMIC ENGINEERING
SOLUTIONS, INC.**
351 S. Cypress Road, Suite 303
Pompano Beach, FL 33060
Office - 954-545-1740
Fax - 954-545-1721

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DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES

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NATURAL RESOURCES DIVISION
DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES

SEAL / SIGNATURE / DATE



John Omslaer
PE 52733, CA 26829

PERMIT DRAWINGS

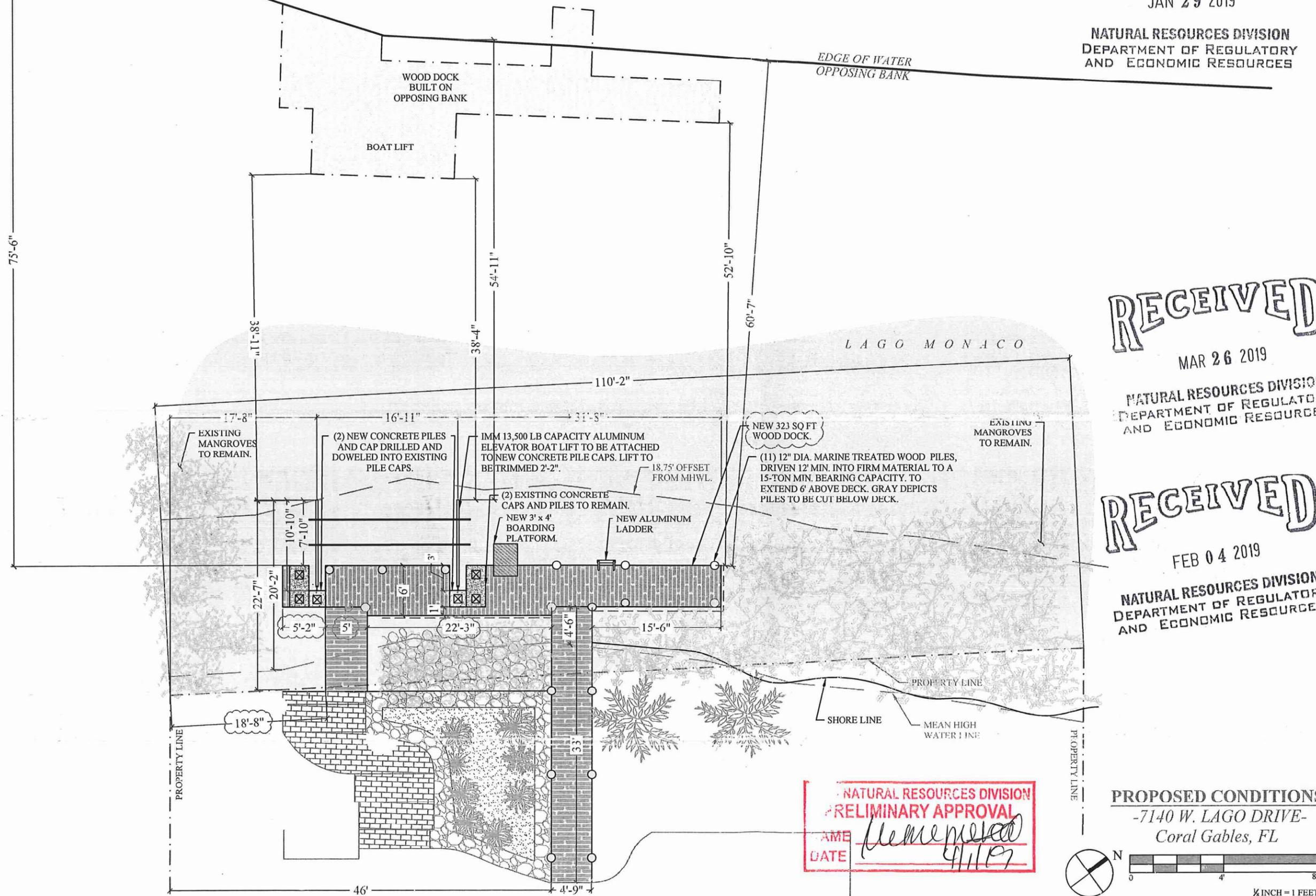
Issue #	Issue Date
①	December 6, 2018

PROJECT: #17-6335

PROPOSED CONDITIONS
NAVIGABLE WATERWAY

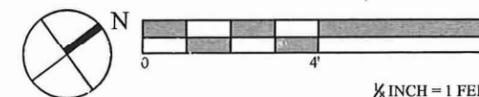
SCALE: AS SHOWN
SHEET NO.

S-3A



NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL
NAME: *Joan Jimenez*
DATE: *1/11/19*

PROPOSED CONDITIONS
-7140 W. LAGO DRIVE-
Coral Gables, FL



**JIMENEZ ATF DOCK
AND BOATLIFT
PROJECT**
Coral Gables, Florida

CLIENT:
MRS. JOAN JIMENEZ
7140 W. Lago Drive
Coral Gables, FL 33134

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SOLUTIONS, INC.**
351 S. Cypress Road, Suite 303
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Office - 954-545-1740
Fax - 954-545-1721

SEAL / SIGNATURE / DATE



John Omslaer
PE 52723, CA 26829

PERMIT DRAWINGS

Issue #	Issue Date
①	December 6, 2018

PROJECT: #17-6335

**DOCK AND BOATLIFT
SECTION**

SCALE: AS SHOWN
SHEET NO.

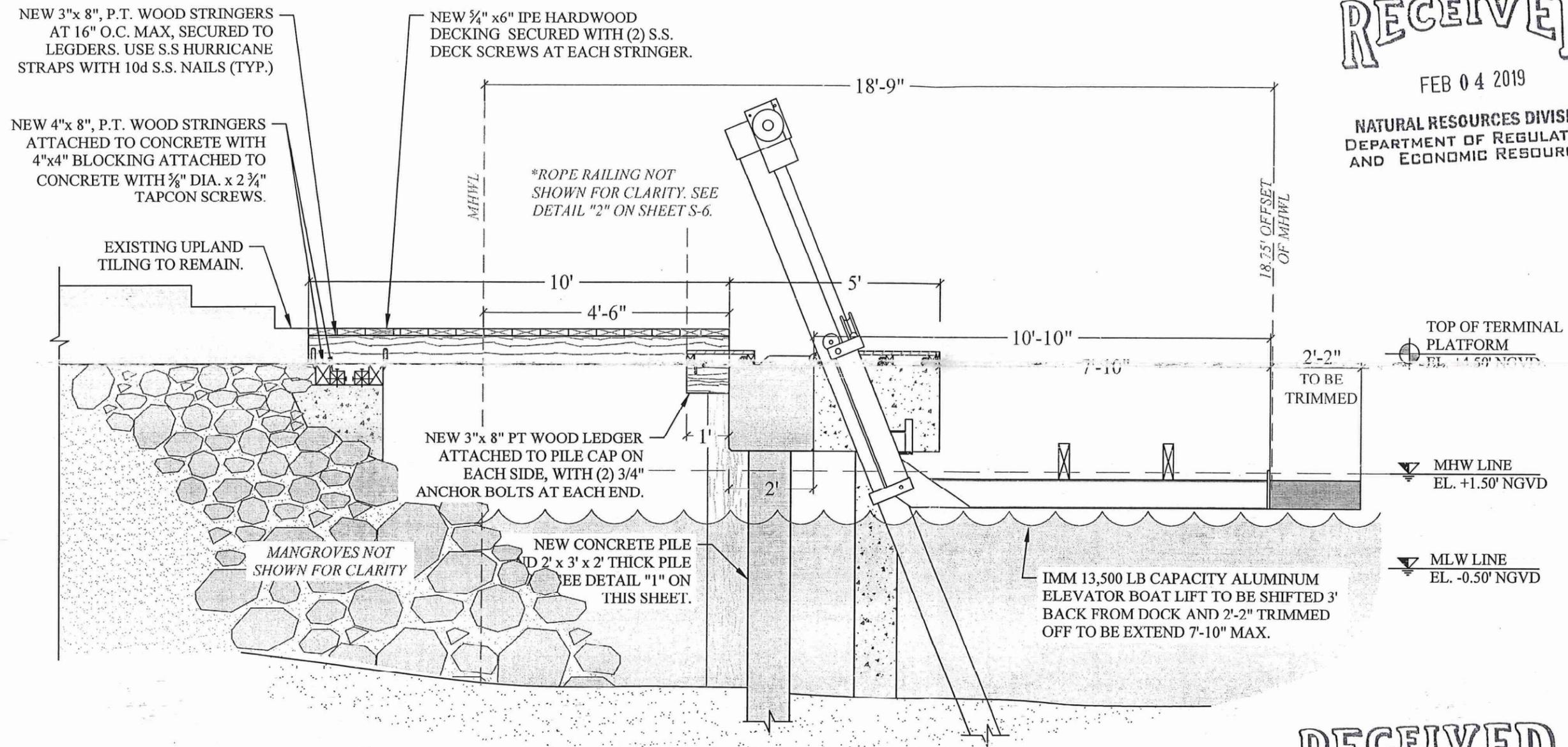
S-5

**RER - NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL**
NAME *Memoranda*
DATE *4/1/19*

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**NATURAL RESOURCES DIVISION
DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES**



BOAT LIFT SECTION A
SCALE: 3/8" = 1'-0" **S-3**

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**NATURAL RESOURCES DIVISION
DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES**

DEC 17 2018

**NATURAL RESOURCES DIVISION
DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES**

**JIMENEZ ATF DOCK
AND BOATLIFT
PROJECT**
Coral Gables, Florida

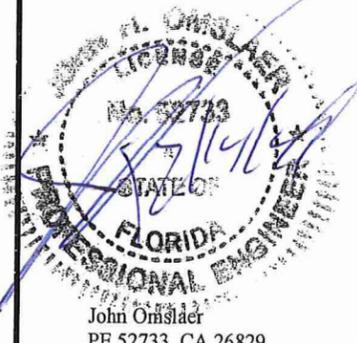
CLIENT:
MRS. JOAN JIMENEZ
7140 W. Lago Drive
Coral Gables, FL 33134

ENVIRONMENTAL CONSULTANT:
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Fax: (305) 677-3254

CONTRACTOR:

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351 S. Cypress Road, Suite 303
Pompano Beach, FL 33060
Office - 954-545-1740
Fax - 954-545-1721

SEAL / SIGNATURE / DATE



John Orndorfer
PE 52733, CA 26829

PERMIT DRAWINGS

Issue #	Issue Date
①	December 6, 2018

PROJECT: #17-6335

**DOCK AND WALKWAY
SECTION**

SCALE: AS SHOWN
SHEET NO.

S-6

**RER - NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL**
NAME *Memoranda*
DATE *4/1/19*

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NATURAL RESOURCES DIVISION
DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES

TOP OF TERMINAL
PLATFORM
EL. +4.50' NGVD

MLW LINE
EL. +1.50' NGVD

MLW LINE
EL. -0.50' NGVD

RECEIVED

MAR 26 2019

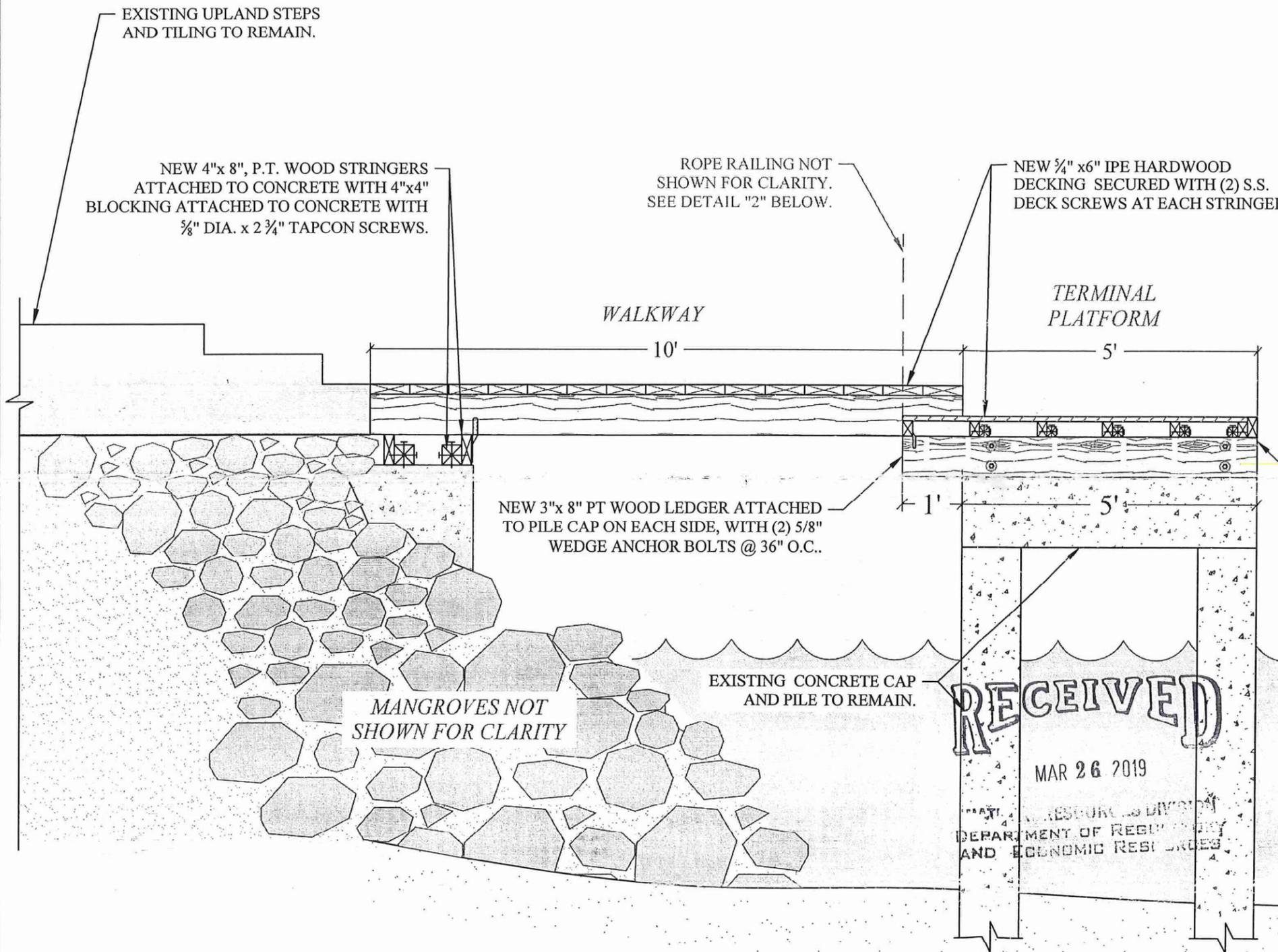
NATURAL RESOURCES DIVISION
DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES

RECEIVED

DEC 17 2018

NATURAL RESOURCES DIVISION
DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES

TYP. DOCK SECTION DETAIL **(B)**
SCALE: 1/2" = 1'-0" **(S-6)**



EXISTING UPLAND STEPS
AND TILING TO REMAIN.

NEW 4"x 8", P.T. WOOD STRINGERS
ATTACHED TO CONCRETE WITH 4"x4"
BLOCKING ATTACHED TO CONCRETE WITH
5/8" DIA. x 2 3/4" TAPCON SCREWS.

ROPE RAILING NOT
SHOWN FOR CLARITY.
SEE DETAIL "2" BELOW.

NEW 5/4" x6" IPE HARDWOOD
DECKING SECURED WITH (2) S.S.
DECK SCREWS AT EACH STRINGER.

WALKWAY
10'

TERMINAL
PLATFORM
5'

NEW 3"x 8" PT WOOD LEDGER ATTACHED
TO PILE CAP ON EACH SIDE, WITH (2) 5/8"
WEDGE ANCHOR BOLTS @ 36" O.C..

2" FASCIA BOARD

EXISTING CONCRETE CAP
AND PILE TO REMAIN.

MANGROVES NOT
SHOWN FOR CLARITY

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MAR 26 2019

NATURAL RESOURCES DIVISION
DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES

RECEIVED

DEC 17 2018

NATURAL RESOURCES DIVISION
DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES

TYP. DOCK SECTION DETAIL **(B)**
SCALE: 1/2" = 1'-0" **(S-6)**

**JIMENEZ ATF DOCK
AND BOATLIFT
PROJECT**
Coral Gables, Florida

CLIENT:
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7140 W. Lago Drive
Coral Gables, FL 33134

ENVIRONMENTAL CONSULTANT:
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Tel: (305) 921-9344
Fax: (305) 677-3254

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SOLUTIONS, INC.**
351 S. Cypress Road, Suite 303
Pompano Beach, FL 33060
Office - 954-545-1740
Fax - 954-545-1721

SEAL / SIGNATURE / DATE

[Professional Engineer Seal and Signature]
John Omslaer
PE 52733, CA 26829

PERMIT DRAWINGS

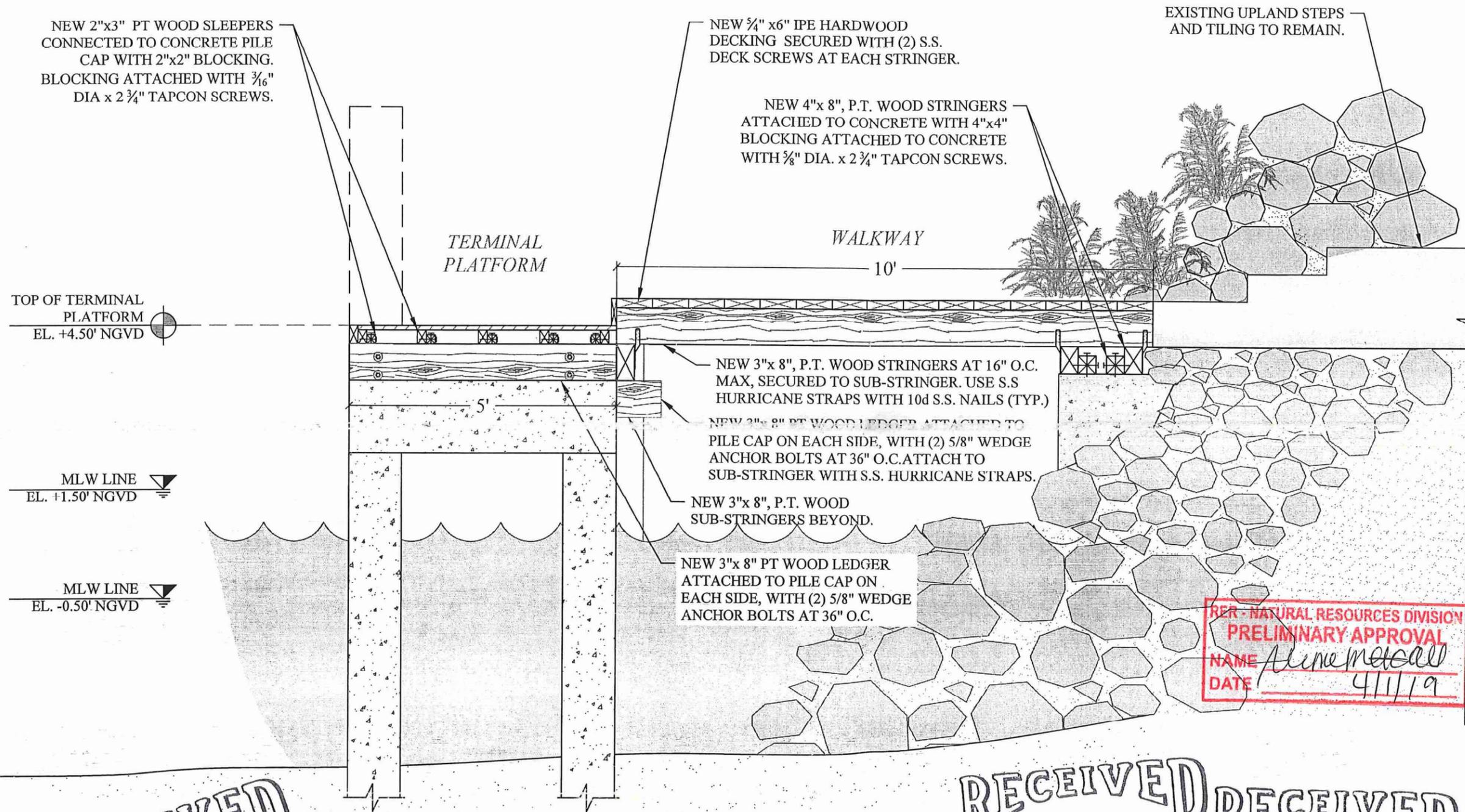
Issue #	Issue Date
①	December 6, 2018

PROJECT: #17-6335

**DOCK AND WALKWAY
SECTION**

SCALE: AS SHOWN
SHEET NO.

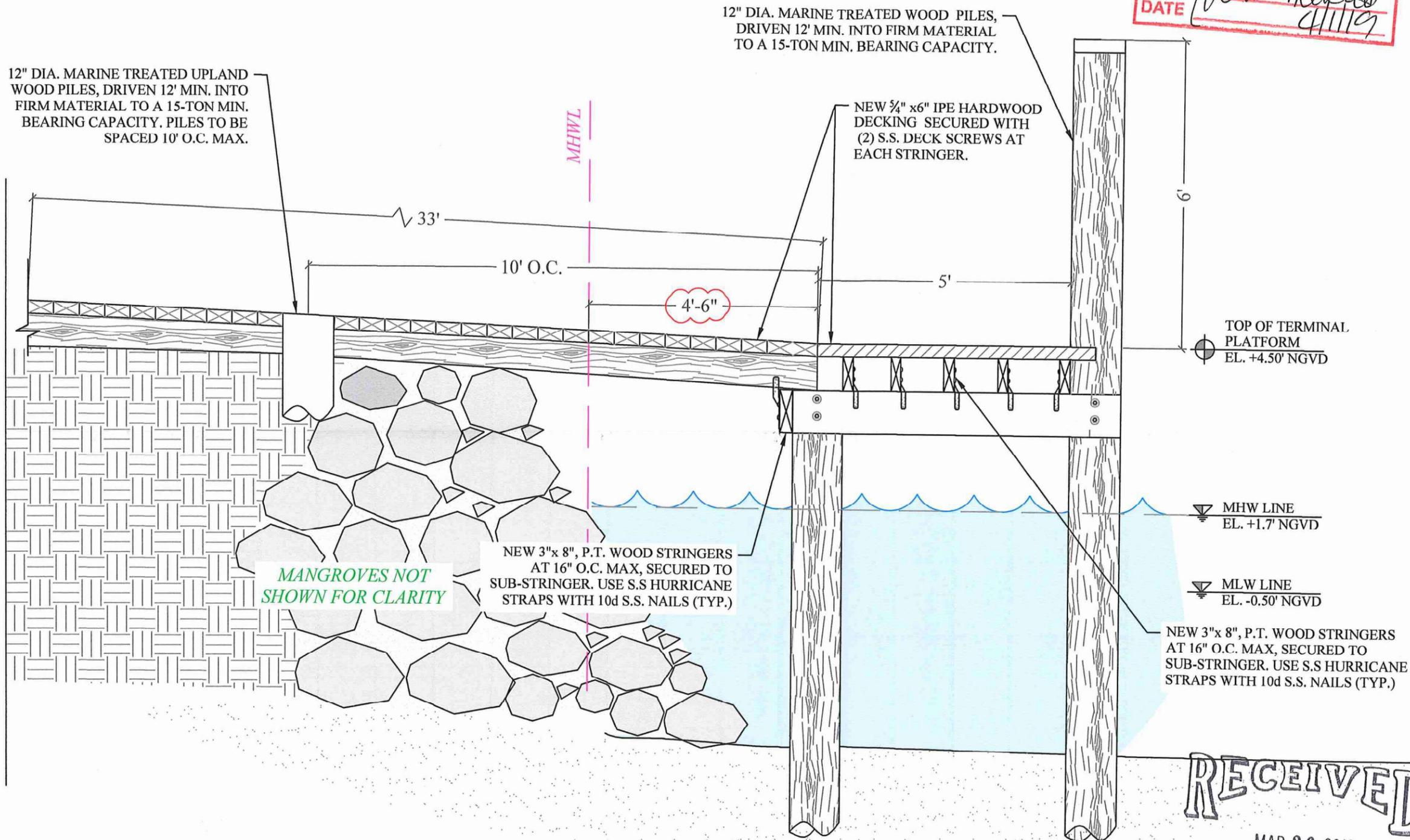
S-7



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FEB 04 2019
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AND ECONOMIC RESOURCES

DOCK SECTION **C**
SCALE: 3/8" = 1'-0" **S-7**

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MAR 26 2019
DEC 17 2018
NATURAL RESOURCES DIVISION
DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES
NATURAL RESOURCES DIVISION
DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES



12" DIA. MARINE TREATED UPLAND WOOD PILES, DRIVEN 12' MIN. INTO FIRM MATERIAL TO A 15-TON MIN. BEARING CAPACITY. PILES TO BE SPACED 10' O.C. MAX.

12" DIA. MARINE TREATED WOOD PILES, DRIVEN 12' MIN. INTO FIRM MATERIAL TO A 15-TON MIN. BEARING CAPACITY.

NEW 3/4" x 6" IPE HARDWOOD DECKING SECURED WITH (2) S.S. DECK SCREWS AT EACH STRINGER.

NEW 3"x 8", P.T. WOOD STRINGERS AT 16" O.C. MAX, SECURED TO SUB-STRINGER. USE S.S. HURRICANE STRAPS WITH 10d S.S. NAILS (TYP.)

NEW 3"x 8", P.T. WOOD STRINGERS AT 16" O.C. MAX, SECURED TO SUB-STRINGER. USE S.S. HURRICANE STRAPS WITH 10d S.S. NAILS (TYP.)

MANGROVES NOT SHOWN FOR CLARITY

RER - NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL
 NAME *John Omslacr*
 DATE *4/11/19*

TOP OF TERMINAL PLATFORM
 EL. +4.50' NGVD

MHW LINE
 EL. +1.7' NGVD

MLW LINE
 EL. -0.50' NGVD

TYP. DOCK SECTION DETAIL **D**
 SCALE: 1/2" = 1'-0" **S-8**

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MAR 26 2019
 NATURAL RESOURCES DIVISION
 DEPARTMENT OF REGULATORY
 AND ECONOMIC RESOURCES

JIMENEZ ATF DOCK AND BOATLIFT PROJECT
 Coral Gables, Florida

CLIENT:
MRS. JOAN JIMENEZ
 7140 W. Lago Drive
 Coral Gables, FL 33134

ENVIRONMENTAL CONSULTANT:
OCEAN CONSULTING, LLC
 340 Minorca Avenue, Suite 7
 Coral Gables, Florida 33134
 Tel: (305) 921-9344
 Fax: (305) 677-3254

CONTRACTOR:

PROJECT ENGINEER:
DYNAMIC ENGINEERING SOLUTIONS, INC.
 351 S. Cypress Road, Suite 303
 Pompano Beach, FL 33060
 Office - 954-545-1740
 Fax - 954-545-1721

SEAL / SIGNATURE / DATE

John Omslacr
 PE 52733, CA 26829

PERMIT DRAWINGS

Issue #	Issue Date
①	December 6, 2018
②	March 19, 2019

PROJECT: #17-6335

DOCK AND WALKWAY SECTION

SCALE: AS SHOWN
 SHEET NO.

S-8

**JIMENEZ ATF DOCK
AND BOATLIFT
PROJECT**
Coral Gables, Florida

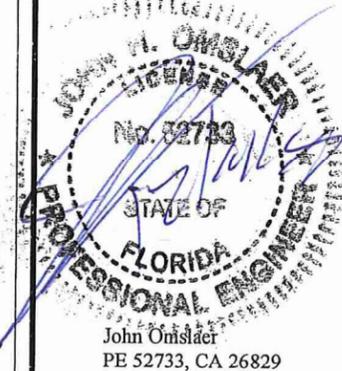
CLIENT:
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Coral Gables, FL 33134

ENVIRONMENTAL CONSULTANT:
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SEAL / SIGNATURE / DATE



PERMIT DRAWINGS

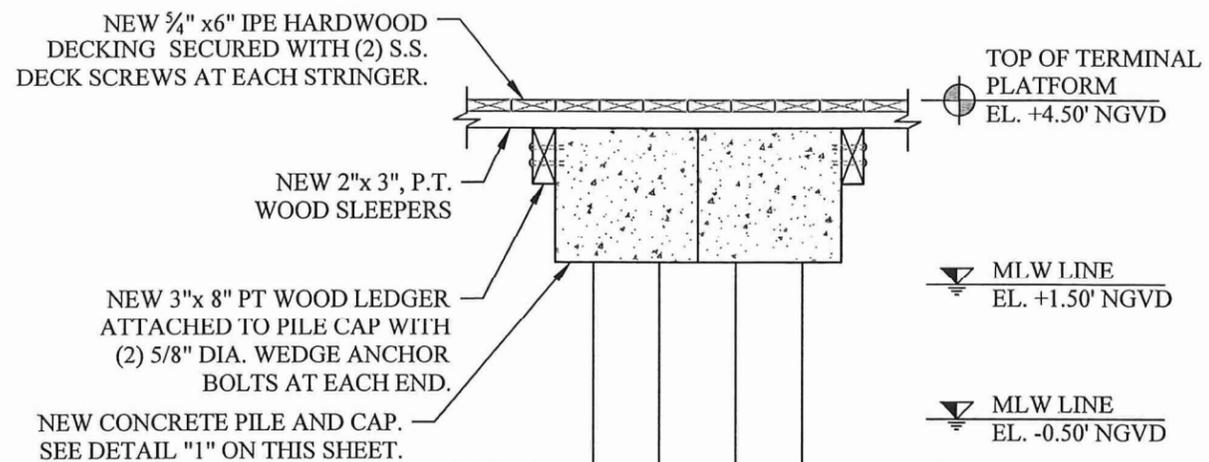
Issue #	Issue Date
①	December 6, 2018

PROJECT: #17-6335

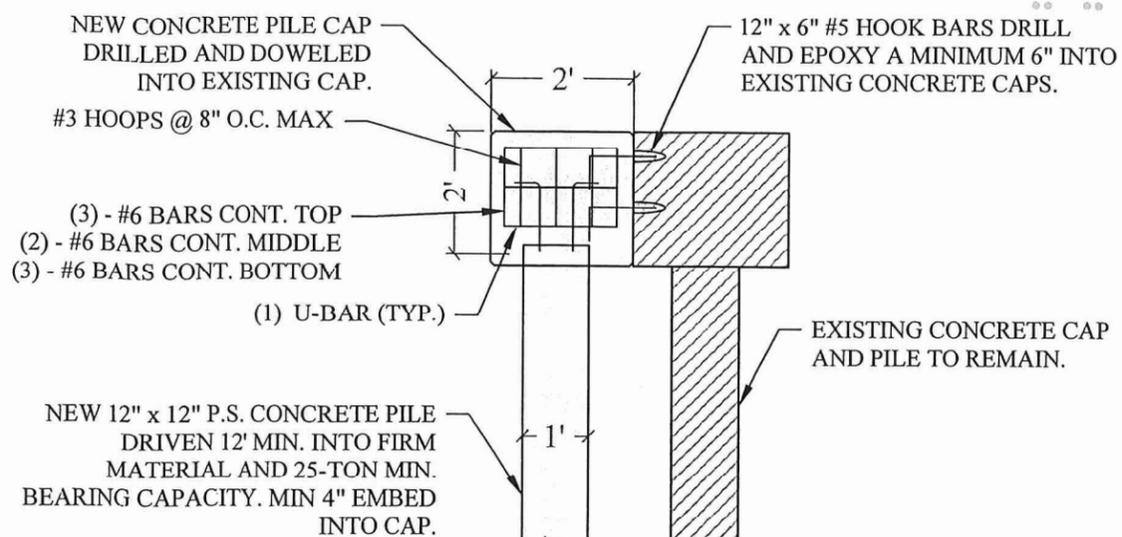
CONCRETE CAP AND PILE,
HANGER BLOCK AND ROPE
RAILING DETAILS

SCALE: AS SHOWN
SHEET NO.

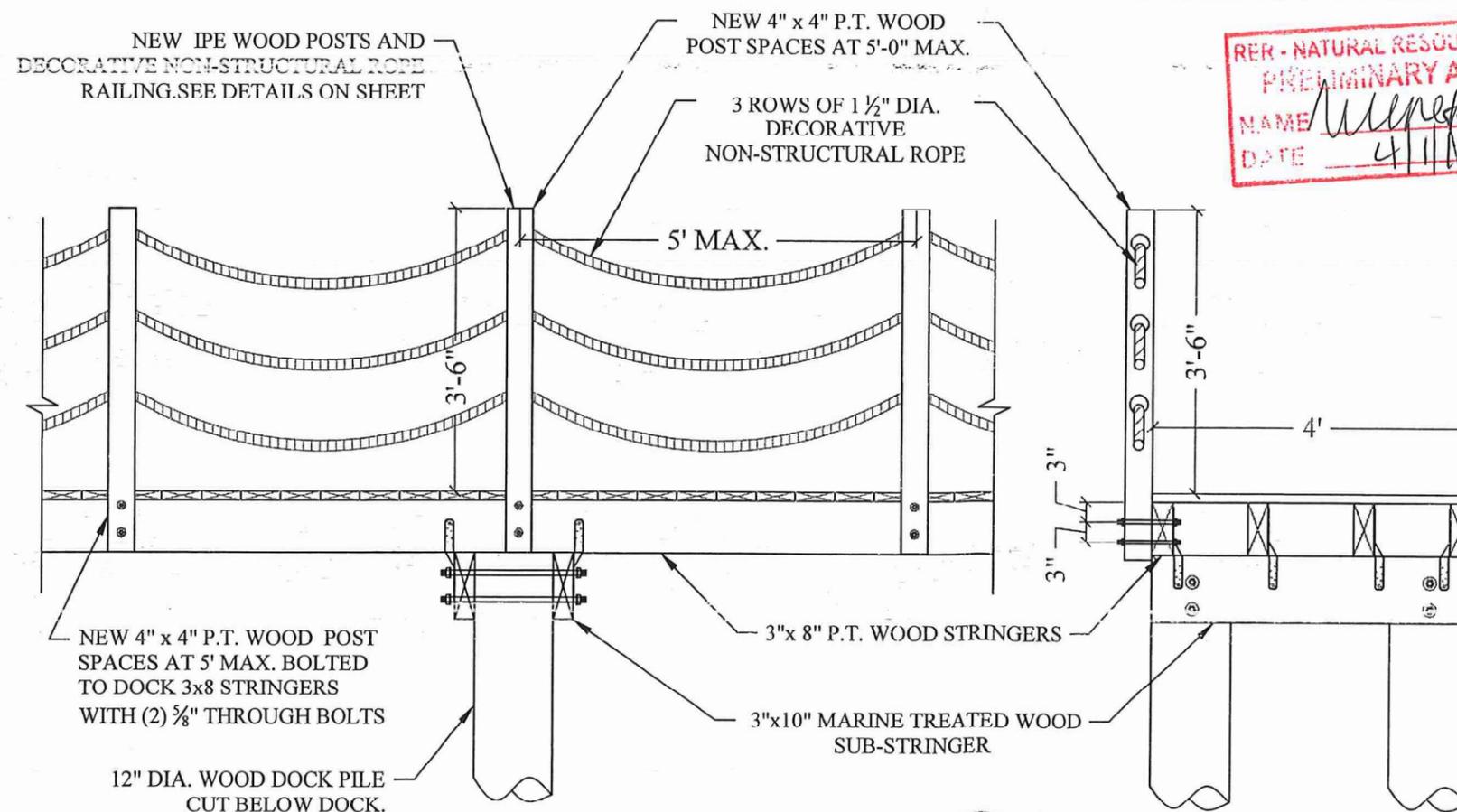
S-9



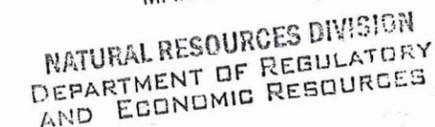
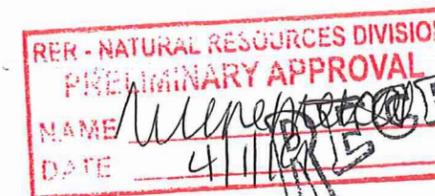
CONCRETE PILE CAP SECTION **E**
SCALE: 3/8" = 1'-0" **S-9**



CONCRETE PILE CAP DETAIL **1**
SCALE: 3/8" = 1'-0" **S-9**



TYP ROPE RAILING DETAIL **2**
SCALE: 3/8" = 1'-0" **S-9**





FINAL

Folio #: 03-4132-025-0280

Permit Description: RESIDENTIAL *REV#1
 (RESPONSE TO COMMENTS) *BOATLIFT &
 DOCK RECONFIGURATION, EXISTING
 WALKWAY TO BE REPAIRED \$10000

Section	Approved	
	By	Date
BOARD OF ARCH.		
BOARD OF ARCH.		
MED BONUS		
MED BONUS		
ADMIN APPROVAL		01M 21 MAY 19

The Board of Architects is responsible for determining whether developer applications satisfy the Design Review Standards set out in Article 4, Division 6 of the City of Coral Gables Zoning Code

□

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 APR 20 2019

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 DEPARTMENT OF REGULATION AND PLANNING RESOURCES
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 APR 20 2019

**JIMENEZ ATF DOCK
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John Omslaer
PE 52733, CA 26829

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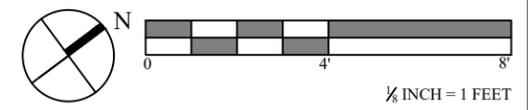
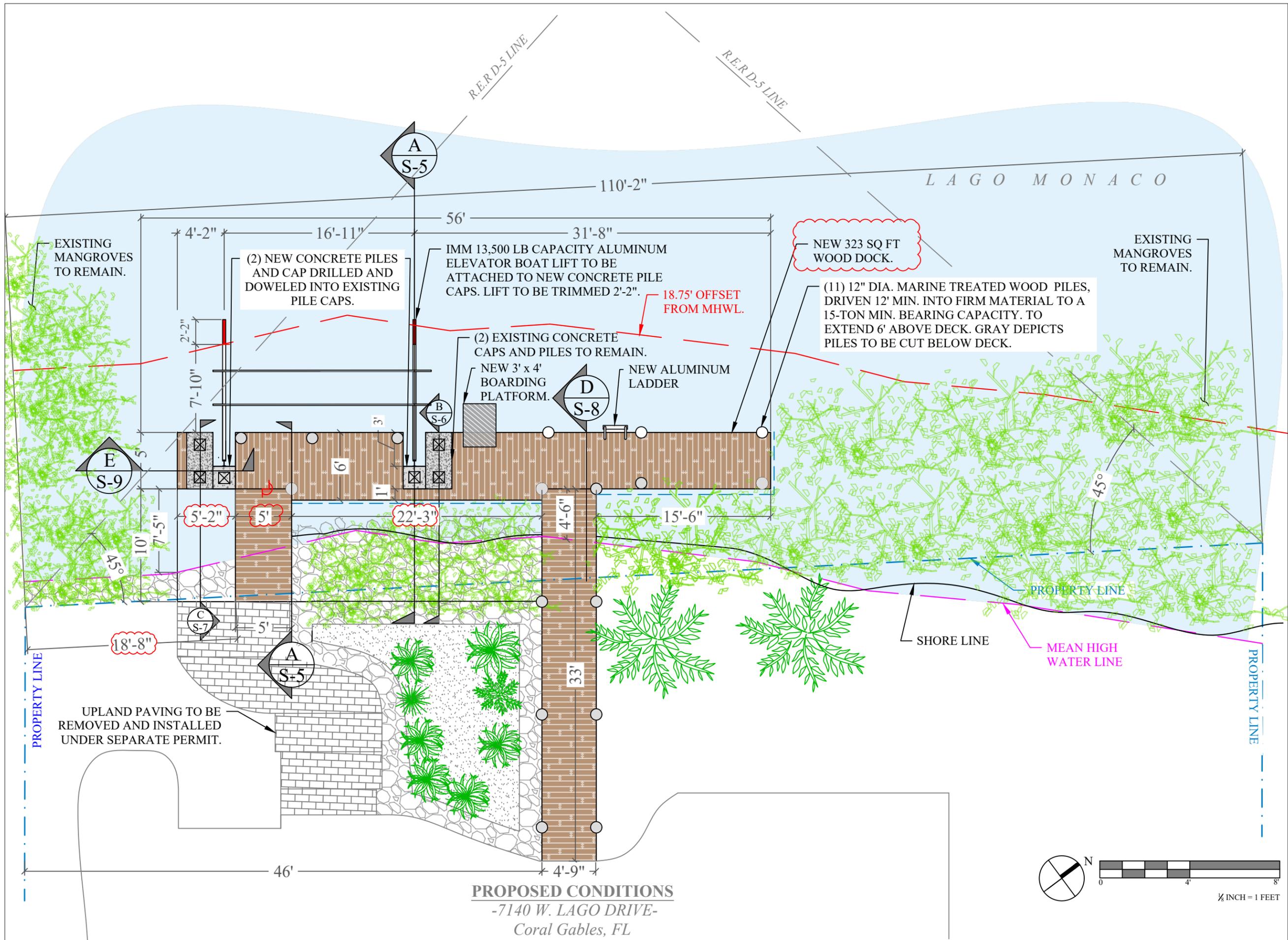
Issue #	Issue Date
①	December 6, 2018

PROJECT: #17-6335

PROPOSED
CONDITIONS

SCALE : AS SHOWN
SHEET NO.

S-3





BERCOW RADELL FERNANDEZ & LARKIN

ZONING, LAND USE AND ENVIRONMENTAL LAW

DIRECT LINE: (305) 377-6227
E-Mail: MTapanes@BRZoningLaw.com

VIA HAND DELIVERY

September 10, 2018

Mr. Ramon Trias
Planning and Zoning Director
City of Coral Gables
427 Biltmore Way, 2nd Floor
Coral Gables, FL 33134

Re: Variance Application for 7140 Lago Drive W, Coral Gables, Florida

Dear Mr. Trias:

This law firm represents Francisco and Joan Jimenez, the owners of the property located at 7140 W Lago Drive. Enclosed, please find the application and the supporting materials as listed in the table of contents below.

Table of Contents

1. Application	Page 1
2. Owners affidavit	Page 6
3. Letter of Intent	Page 7
4. CD with Plans and Photographs	Page 64
5. Full size set of plans	Page 73
6. Plans 11X17	Page 82
7. Color Photographs	Page 91
8. Signed and Sealed Survey	Page 97
9. Aerial	Page 99
10. Mailing labels	Page 100

Very truly yours,

Melissa Tapanes Llahues

Enclosures

CC: Robert Behar



Board of Adjustment Application

City of Coral Gables

Development Services Department

Phone# 305.460.5235

Preamble

Pursuant to the City Charter, and subject to those provisions, a Board of Adjustment is created to provide relief from hardships and errors in the application of the regulations.

Application review request

The undersigned applicant(s)/agent(s)/property owner(s) request(s) a Board of Adjustment hearing for the following application(s) (please check all that apply):

- Appeal
- Variance
- Other: _____

Property information

Property/project name: 7140 West Lago Dock and Boatlift

Street address of the subject property: 7140 Lago Drive W Coral Gables FL 33143

Property Legal Description: Lot(s): 28

Block(s): 13

Section(s): Cocoplum Sec 2 Plat B

Plat Book(s)/Page(s): 115-84

Has there been a Board of Adjustment hearing on the property in the last year? No

Is this request the result of a Notice of Violation? No

Is this request the result of a deviation from an approved set of plans? Yes

Has the property owner owned the property for at least one (1) year? Yes

Current land use classification(s): Residential Single Family Low Density

Current zoning classification(s): SFR - Single Family Residential

Listing of all folio numbers for subject property:

03-4132-025-0280

Board of Adjustment Application

General information

Applicant(s)/Agent(s) Name(s): Melissa Tapanes Llahues

Telephone#: (305) 377-3227 Fax#: _____ Email: Mtapanes @ BRzoninglaw.com

Mailing Address: 200 South Biscayne Boulevard, Suite 850, Miami, Florida 33131
(City) (State) (ZIP Code)

Property Owner(s) Name(s): Francisco R. Jimenez

Telephone#: _____ Fax#: _____ Email: _____ @ _____

Mailing Address: 7140 Lago Drive W Coral Gables FL 33143
(City) (State) (ZIP Code)

Property Owner(s) Name(s): Joan E. Jimenez

Telephone#: _____ Fax#: _____ Email: _____ @ _____

Mailing Address: 7140 Lago Drive W Coral Gables FL 33143
(City) (State) (ZIP Code)

Project Architect(s) Name(s): _____

Telephone#: _____ Fax#: _____ Email: _____ @ _____

Mailing Address: _____
(City) (State) (ZIP Code)

Provide the date(s) and type(s) of application(s) previously filed with the City of Coral Gables and type of reviews, approvals, actions related to this request:

Application received by: _____ Date: _____

Board of Adjustment Application

Application requirements and supporting information

The Development Services Department cannot accept applications that are not complete for any hearing before the Board of Adjustment. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.

Pre-application Meeting Requirements. A pre-application meeting is required to be held in advance of an application submittal to determine the information necessary to be filed with the application(s). The City reserves the right to request additional information as necessary.

Application submittal (order of documents). The order of the documents for the application submittal shall be as follows (required documents will be determined at pre-application meeting):

- Table of Contents with page numbers identifying all below documents.
- Completed Application.
- Applicant's proposal.
- Letter of intent.
- Standards for Variances #1 through #8.
- Owner's Affidavit.
- Proof of ownership if ownership of the property has changed in the last year.
- Full size set of plans (stamped by the Board of Architects).
- Plans in 11" x 17" size format (13 sets).
- Color photographs (35mm or digital photographs), must be labeled (13 sets).
- One (1) compact disc (CD) containing required plans and color photographs.
- Signed and sealed survey (indicate any tree disposition necessary if affected by proposed work).
- Aerial.
- Other (letter of support, rescheduling letter, etc.) _____.

Application supporting materials. The following application supporting materials shall be provided separately from the application submittal and are as follows:

- Application fees.
- One (1) original certified mailing list.
- Three (3) sets of mailing labels.
- City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.

Posting of the property. The City shall post the subject property with a City approved sign advising of the Board of Adjustment meeting date. The public notice posting shall be in accordance with the Zoning Code. The sign shall be installed ten (10) days prior to the meeting and shall not be removed until after the meeting, at which time it is the applicant's responsibility to remove the sign.

Board of Adjustment Application

Applicant/agent/property owner/architect affirmation and consent

(I) (We) affirm and certify to all of the following:

1. The application will not be heard unless the Applicant/Agent is present at the Board of Adjustment hearing.
2. The subject property will be posted with a City approved public notice sign. The sign shall be installed a minimum of ten (10) days prior to the meeting and shall not be removed until after the meeting, at which time it is the applicant's responsibility to remove the sign.
3. No application shall be accepted during the following time periods after the denial of a substantially similar application affecting the same property or any portion thereof:
 - a. Conditional uses and variances: six (6) months.
 - b. Comprehensive Plan Map Amendment, Comprehensive Plan Text Amendment, Zoning Code Map Amendment, Zoning Code Text Amendment, amendments and applications for abandonment and vacation of non-fee interests: twelve (12) months (Section 3-210. Resubmission of application affecting same property).
4. That the only variance or items being requested are those that have been specified in the written application for a variance, and any other code or plan issues will be corrected by modifying the plans to comply with the respective codes and ordinances of the City of Coral Gables.
5. That the applicant will be responsible for complying with all of the conditions and restrictions imposed by the Board of Adjustment in connection with the requested variance, and will take the necessary steps to make the variance effective if approved by the Board of Adjustment.
6. That it is the responsibility of the applicant to submit a complete application with all of the documents necessary for the Board of Adjustment to hear the applicant's request.
7. That the applicant is responsible for the submission and accuracy of a certified mailing list and three (3) sets of mailing labels according to the latest ad valorem tax record of all property owners within one-thousand (1,000) feet of the property for which a public hearing before the Board of Adjustment is being requested.
8. Any variance granted by the Board of Adjustment or the City Commission shall be in effect for twelve (12) months from the date of approval. If a permit is not issued within the twelve (12) months, and work commenced, then the variance shall become null and void. One (1) twelve (12) month extension of a variance may be granted by the Development Review Official.
9. That the application fee is not refundable or any portion thereof regardless of final resolution, deferment, or non-presentation to the Board of Adjustment.
10. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
11. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.
12. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
13. Applicant has read and understands all of the information in the City of Coral Gables Board of Adjustment Information brochure.
14. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.

Board of Adjustment Application

- 15. Understand that under Florida Law, all the information submitted as part of the application are public records.
- 16. Submission of the following:
 - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
 - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.

Applicant(s)/Agent(s) Signature: 	Applicant(s)/Agent(s) Print Name: Melissa Tapanes Llahues
Address: 200 S Biscayne Boulevard, Suite 850, Miami, Florida 33131	
Telephone: (305) 377-3227	Fax:
Email: Mtapanes@brzoninglaw.com	
NOTARIZATION	
STATE OF FLORIDA/COUNTY OF	
The foregoing instrument was acknowledged before me this <u>10</u> day of <u>Sept.</u> by <u>Melissa Tapanes Llahues</u>	
(Signature of Notary Public - State of Florida)	
	
	
(Print, Type or Stamp Commissioned Name of Notary Public)	
<input checked="" type="checkbox"/> Personally Known OR <input type="checkbox"/> Produced Identification; Type of Identification Produced _____	

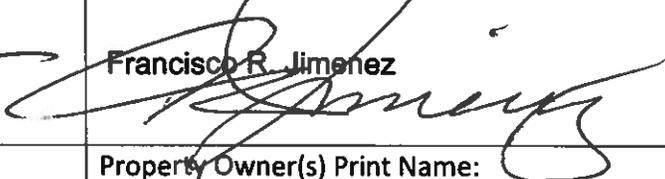
Board of Adjustment Application

Property Owner(s) Signature:



Property Owner(s) Print Name:

Francisco R. Jimenez



Property Owner(s) Signature:



Property Owner(s) Print Name:

Joan E. Jimenez

Property Owner(s) Signature:

Property Owner(s) Print Name:

Address:

7140 Lago Drive W, Coral Gables, Florida, 33143

Telephone:

786-344-9800

Fax:

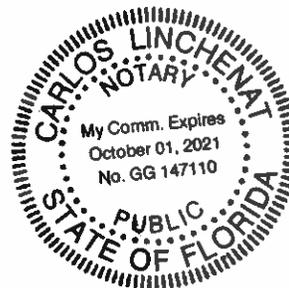
Email:

jimenezs@comcast.net

NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 27 day of July by 2018
(Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced _____



BERCOW RADELL FERNANDEZ & LARKIN

ZONING, LAND USE AND ENVIRONMENTAL LAW

Direct: 305-377-6227
E-Mail: MTapanes@BRZoningLaw.com

VIA HAND DELIVERY

September 10, 2018

Mr. Ramon Trias
Planning and Zoning Director
City of Coral Gables
427 Biltmore Way, 2nd Floor
Coral Gables, FL 33134

RE: Variance Application for 7140 Lago Drive W, Coral Gables, Florida

Dear Mr. Trias:

This law firm represents Francisco and Joan Jimenez (the "Applicant") in connection with the property located at 7140 Lago Drive West (the "Property") in the City of Coral Gables (the "City"). This letter shall serve as the letter of intent in support of the accompanying application for Variances of the City of Coral Gables Zoning Code to permit (a) an existing dock's waterward projection beyond the permitted five (5) feet, (b) with less than seventy-five (75) feet of navigable waterway, and (c) to allow the existing decking and dock structures to encroach on the Property's side setbacks by 1.5'.

Property Description. The Property is located in Cocoplum on Lago Drive West. The Property sits on Lago Minore, just north of the Lago Maggiore and Lago Minore canal intersection. See Exhibit A, Boundary Survey. The Miami-Dade County Property Appraiser's Office identifies the Property through tax folio identification number 03-4132-025-0280. See Exhibit B, Property Appraiser Summary. Based on the Property Appraiser records, the Property is approximately 16,400 square feet in size. Pursuant to the City's Future Land Use Map the Property is designated Residential Single Family Low Density and is zoned SFR - Single Family Residential. See Land Use Map Plate 14 and Zoning Map Plate 14.

Property History. In 1983, pursuant to Resolution No. R-1154-83, the installation of a marginal dock was approved by the Board of County Commissioners. See Exhibit C, Resolution R-1154-83. The installation of the dock did not occur until 1987 when new owners were issued a permit. The permit approved the installation of a five (5) foot wide by fifty (50) foot long wood dock with a five (5) foot wide by 16.5 long wood access

walkway. See Exhibit D, Original Plans. Additionally, the permit required 15 cubic yards of riprap to be installed under the dock. See Exhibit E, Final Inspection. At the time of final inspection by the Miami-Dade County Department of Environmental Resources Management (“DERM”), inspectors determined that the dock was constructed 5.7 feet wide by 53.6 feet long with a 5.7 foot wide walkway. See Exhibit E, Final Inspection, Exhibit F, DERM File Review. In 1988, the approved davits were removed to install a boatlift. The existing aluminum boatlift extends thirteen (13) feet waterward from the dock.

Project. The Applicant proposes removing the existing wood dock, access walkway and aluminum boatlift, and installing a new higher quality wood dock, access walkway, and an aluminum boatlift with a reduced waterward projection of two (2) feet (the “Project”). See Exhibit G, Proposed Plans. The Project will reduce the waterward projection, while updating the deteriorating dock to improve the quality, safety, and aesthetic value of the dock within the current configuration. The Project was approved by the City’s Board of Architects and the Cocoplum Homeowners Association in December, 2017. See Exhibit G, Proposed Plans.

Variance Requests. The Applicant respectfully requests three Variances of sections 5-802(A), 5-802(C), and A-23(D)(Plat B):

- (1) The dock’s waterward projection beyond the permitted 5’;
- (2) The boatlift’s waterward projection leaving less than 75’ of navigable waterway; and
- (3) The decking and dock structures that encroach on the side setbacks by 1.5’.

Variance Criteria. Approval of the request complies with the standards set forth in Section 3-806 of the Coral Gables Zoning Code. Specifically, an application for a Variance shall be approved only if it demonstrates all of the following:

- 1) *That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district.*

The configuration of the Property and the existing dock justifies the variances requested. Lago Minore, the canal where the Property is located, ranges from sixty (60) feet wide to 250 feet wide. The waterway section where the Property sits is approximately sixty feet wide. See Exhibit H, Aerial photographs.

Further, the dock was built in 1987 and is being updated in a manner consistent with the existing structure and footprint. The existing dock was permitted and built in 1987, long

before the previous code, from 2006, was adopted as part of the current City Zoning Code in 2017, and is legally nonconforming to the current Code. As such, special conditions and circumstances exists which are peculiar to the land and which are not applicable to other structures in the same zoning district.

- 2) *That the special conditions and circumstances do not result from the actions of the applicant.*

The Property has been in its present state with approximately sixty-five to seventy feet of width across the waterway since its platting. The Applicant purchased the Property with the existing dock in place and added the lifts in 1988. As mentioned above, the dock was permitted and built in 1987 pursuant to approved plans by the City and DERM prior to the adoption of the current City Code in 2017 and the previous code in 2006. See Exhibit C, Resolution No. R-1154-83, D, Original Plans.

- 3) *That granting the variance requested will not confer on the applicant any special privilege that is denied by these regulations to other lands, buildings or structures in the same zoning district.*

The granting of the variances requested will not confer on the Applicant any special privilege that is denied by these regulations to other lands, buildings, or structures in same zoning district. The variances will simply permit a reduction and improvement of the existing dock configuration that has existed in the same location and with the same footprint since 1987. The use of a dock is common on Lago Minore, the Cocoplum neighborhood, and the surrounding area as it is permitted in this zoning district. There are approximately twelve (12) similarly situated docks with a waterward projection within 500 feet of the Property. See Exhibit H, Aerial photograph.

- 4) *That the literal interpretation of the provisions of these regulations would deprive the applicant of right commonly enjoyed by other properties in the same zoning district under the terms of these regulations and would work unnecessary and undue hardship on the applicant.*

Throughout Cocoplum and Lago Minore, property owners commonly enjoy docks with and without lifts that extend well beyond fifteen (15) feet waterward and reduce the navigable waterway to less than seventy-five (75) feet. See Exhibit H, Aerial photographs. There are approximately twelve (12) similar situated docks within 500 feet. See Exhibit H, Aerial Photographs. Since 2009, at least eight (8) variances have been granted for docks similar to the Applicants. See Exhibit I, Variances. It is important to note that the addition of lifts does not alter the waterward projection, as the vessel moored to the dock would project an equal distance. However, mooring a vessel on the water provides additional safety hazards, and ultimately leads to a buildup of debris that gets caught on the vessel

and restricts waterflow. The neighborhood is one with high property values, and the accessory uses should be up to par to preserve that value. Creating safety hazards and diminishing the aesthetic value will work unnecessary and undue hardship on the Applicant as well as be injurious to the zoning district, surrounding neighborhood, and City overall.

Moreover, there are multiple examples of canals with docks that project waterward to create less than seventy-five (75) feet of navigable waterway, as evidenced by the canals between Sunrise Place and Sunrise Court, and between Sunrise Drive and Sunrise Terrace. See Exhibit J, Canals. Some canals have as little as approximately sixty feet of navigable waterway, such as the canal between Cocoplum Road and Prado Boulevard. See Exhibit J, Canals. As such, the literal interpretation of the Code would deprive the Applicant of rights commonly enjoyed by other properties in the same zoning district.

- 5) *That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.*

The Applicant is proposing a dock that simply improves the degrading wood supports that have been in place for nearly 30 years. The Applicant is not expanding or altering the configuration of the dock - the variances are simply improving the integrity and aesthetics of the structure. The proposed variances are not asking for a deviation from the Code to build a new structure that is unlike anything else in the area, or one that is bigger than what is currently in place. The Applicant is reducing the waterward projection by two (2) feet to improve the safety and aesthetic value of the structure that has been in place since 1988. Without approval of the Variances, the Applicant would likely have to cease using the dock in the near future due to safety concerns leading it to become dilapidated. The Variances are the minimum variances that will allow the Applicant to improve the safety and quality of the dock in order to make possible the reasonable use of the Property.

- 6) *That granting the variance will not change the use to one that is not permitted in the zoning district or different from other land in the same district.*

A dock and a boatlift already exists on the Property and are common throughout the Cocoplum neighborhood and surrounding area. See Exhibit H, Aerial Photographs. On the same section of Lago Minore there are nine (9) docks. In the Board of Adjustments records, there are at least sixteen (16) variances relating to docks, including eight (8) that are to allow for less than seventy-five (75) feet of navigable waterway, or fifteen (15) feet waterward projection. See Exhibit I, Variances. As such, granting these Variances will not change the use to one that is not permitted in the zoning district as docks are an allowed use in the zoning district.

- 7) *That the granting of the variance will be in harmony with the general intent and purpose of these regulations, and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.*

Since the dock has been built in its current form since 1988, the intent and purpose of the applicable regulations are less significant. The proposed dock and lift will not only have minimal impact on the homeowners throughout the canal, across the canal, or anyone who passes through the canal yet the impact will be positive in nature: it will create a safer and larger navigable waterway by reducing the waterward projection. Many canals have docks, lifts, and vessels that require maneuverability by those navigating the canal. See Exhibit H, Aerial photographs. Additionally, the existing dock and boatlift is a legally nonconforming dock that matches adjacent docks. See Exhibit H, Aerial photographs. Granting the Variances will not be injurious to the area or detrimental to the public as these Variances will allow the dock to conform to what has been existing since 1988.

- 8) *That the granting of the variance is appropriate for the continued preservation of an historic landmark or historic landmark district.*

The Property is not a historic landmark or in a historic district.

The Applicant's proposed dock renovation is not only consistent with the other docks on the same canal and the surrounding neighborhood, but it would have no added detriment to the neighbors since the dock has been in place for 30 years. Additionally, the proposal enhances the neighborhood by improving the safety and aesthetic value of the dock, which enhance the surrounding community. Based on the foregoing, we respectfully request a favorable recommendation and approval of the requested Variances. Should you have any questions or comments, please do not hesitate to phone me at 305.377.6227.

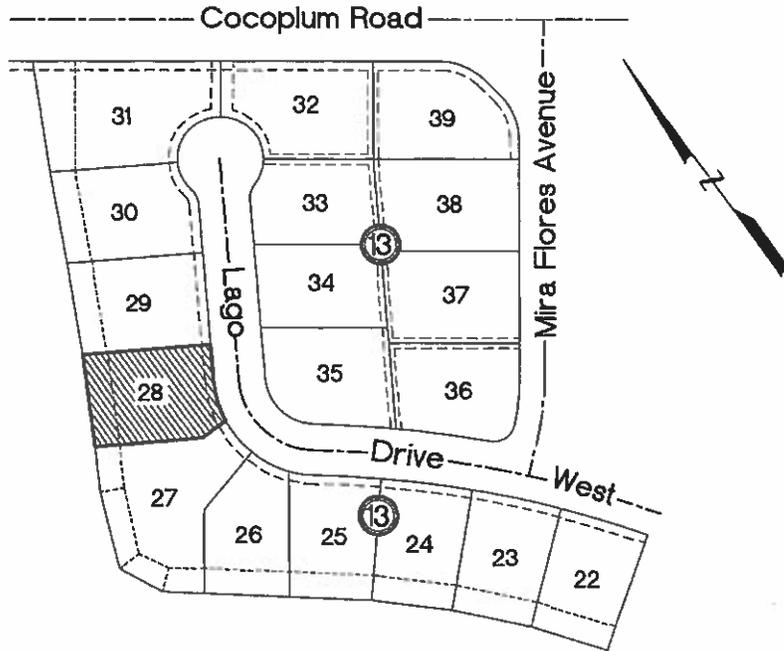
Very truly yours,



Melissa Tapanes Llahues

Enclosures

CC: Thomas Robertson
Robert Behar



PROPERTY ADDRESS:

7140 Lago Drive West
Coral Gables, Florida 33143

SURVEYOR NOTES:

- #1 Lands Shown Hereon were not abstracted for Easement and/or Right of Way Records. The Easement / Right of Way that are shown on survey are as per plat of record unless otherwise noted.
- #2 Benchmark: Miami-Dade County Public Works Dep. N/A
- #3 Bearings as Shown hereon are Based upon Lago Drive West, S31°12'20"W
- #4 Please See Abbreviations
- #5 Survey is incomplete Without Sheet 2 of 2
- #6 Drawn By: A. Torres Date: 01-24-2017; 10-17-17
- #7 Complete Field Survey Date: 01-23-2017; 10-16-17
- #8 Disc No 2017, Station Surveying Seion
- #9 Last Revised:
- #10 Legal Description Furnished by client.
- #11 This Certification is only for the lands as described. It is not a certification of Title, Zoning, Easements, or Freedom of Encumbrances. ABSTRACT NOT REVIEWED.
- #12 There may be additional Restrictions not shown on this survey that may be found in the Public Records of Miami-Dade County, examination of ABSTRACT OF TITLE will have to be made to determine record instruments, if any affecting this property.
- #13 ACCURACY: The expected use of the land, as classified in the Minimum Technical Standard (5J-17.050), is "Residential". The Minimum relative distance accuracy for this type of boundary survey is 1 foot in 10,000 feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
- #14 Foundations and/or footings that may cross beyond the boundary lines of the parcel herein described are not shown hereon.
- #15 Not Valid without one signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.
- #16 Contact the appropriate authority prior to any design work on information.
- #17 Underground utilities are not depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon.
- #18 Ownership Subject to OPINION OF TITLE.

ABBREVIATIONS

- A - ARC DISTANCE
- AVL - VALVE
- ASPLT - ASPHALT
- AC - AIR CONDITIONER
- BLDG - BUILDING
- B. COR - BLOCK CORNER
- C.B. - CATCH BASIN
- CLP - CHAIN LINK FENCE
- CONC. - CONCRETE
- COL. - COLLAR
- C.U.P. - CONCRETE UTILITY POLE
- C.L.P. - CONCRETE LIGHT POLE
- CBR - CONCRETE BLOCK STRUCTURE
- C.M.E. - CANAL MAINTENANCE EASEMENT
- D - DIRECTION
- D/W - DRIVEWAY
- D.M.R. - DEBRIDGE A MAINTENANCE EASEMENT
- ENC. - ENCROACHMENT
- ET P. - ELECTRIC TRANSFORMER PAD
- F.F.L. - FLORIDA POWER AND LIGHT
- F.H. - FIRE HYDRANT
- F.I.P. - FOUND IRON PIPE
- F.F. - FOUND FLOOR
- F.D.H. - FOUND DRILL HOLE
- F.R. - FOUND REBAR
- F.D. - FOUND DISC
- F.M. - FOUND NAIL
- S.P. - IRON PENCE
- L - LENGTH
- L.P. - LIGHT POLE
- M.E.A.S. - MEASURED
- M.H. - MAN HOLE
- N.O.V.D. - NATIONAL GEODETIC VERTICAL DATUM
- N.T.S. - NOT TO SCALE
- O.E. - OVERHEAD ELECTRIC LINE
- O.L. - OH LINE
- P.C. - PERMANENT CONTROL POINT
- P.C. - POINT OF CURVATURE
- R - RADIUS
- RES. - RESIDENCE
- S.D.W.L.K. - SIDEWALK
- T - TANGENT
- U.S. - UTILITY EASEMENT
- W.P. - WOOD FENCE
- W.V. - WATER VALVE
- W.U. - WOOD UTILITY POLE
- IRON FENCE
- CHAIN LINK FENCE
- WOOD FENCE
- CBR WALL
- OVERHEAD ELEC.
- CENTER LINE
- EASEMENT
- INDICATED ELEVATIONS
- NEULCORG
- DISTANCE
- CATCH BASIN
- WATER METER
- W.U.P.
- STATE ROAD
- US HIGHWAY
- INTERSTATE
- MONTHLY WELL

ELEVATION INFORMATION

National Flood Insurance Program
FEMA Elev. Reference to NGVD 1929
Comm Panel 120639
Panel # 0459
Firm Zone: "AE"
Date of Firm: 09-11-2009
Base Flood Elev. 11.00'
F.Floor Elev. 15.68'
Garage Elev. 10.95'
Suffix: "L"
Elev. Reference to NGVD 1929

CERTIFIED ONLY TO:

Francisco R. Jimenez

LEGAL DESCRIPTION:

Lot 28, Block 13, of: "COCOPLUM SECTION TWO PLAT B", according to the Plat Thereof as Recorded in Plat Book 115 Page 84 of the Public Records of Miami-Dade County, Florida.

This certifies that the survey of the property described hereon was made under my supervision & that the survey meets the minimum technical standards set forth by the Florida Board of Professional Land Surveyors & Mappers in Chapter 5J-17.050 of Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. & That the Sketch hereon is a true and accurate representation thereof to the best of my knowledge and Belief, subject to notes and notations shown hereon.

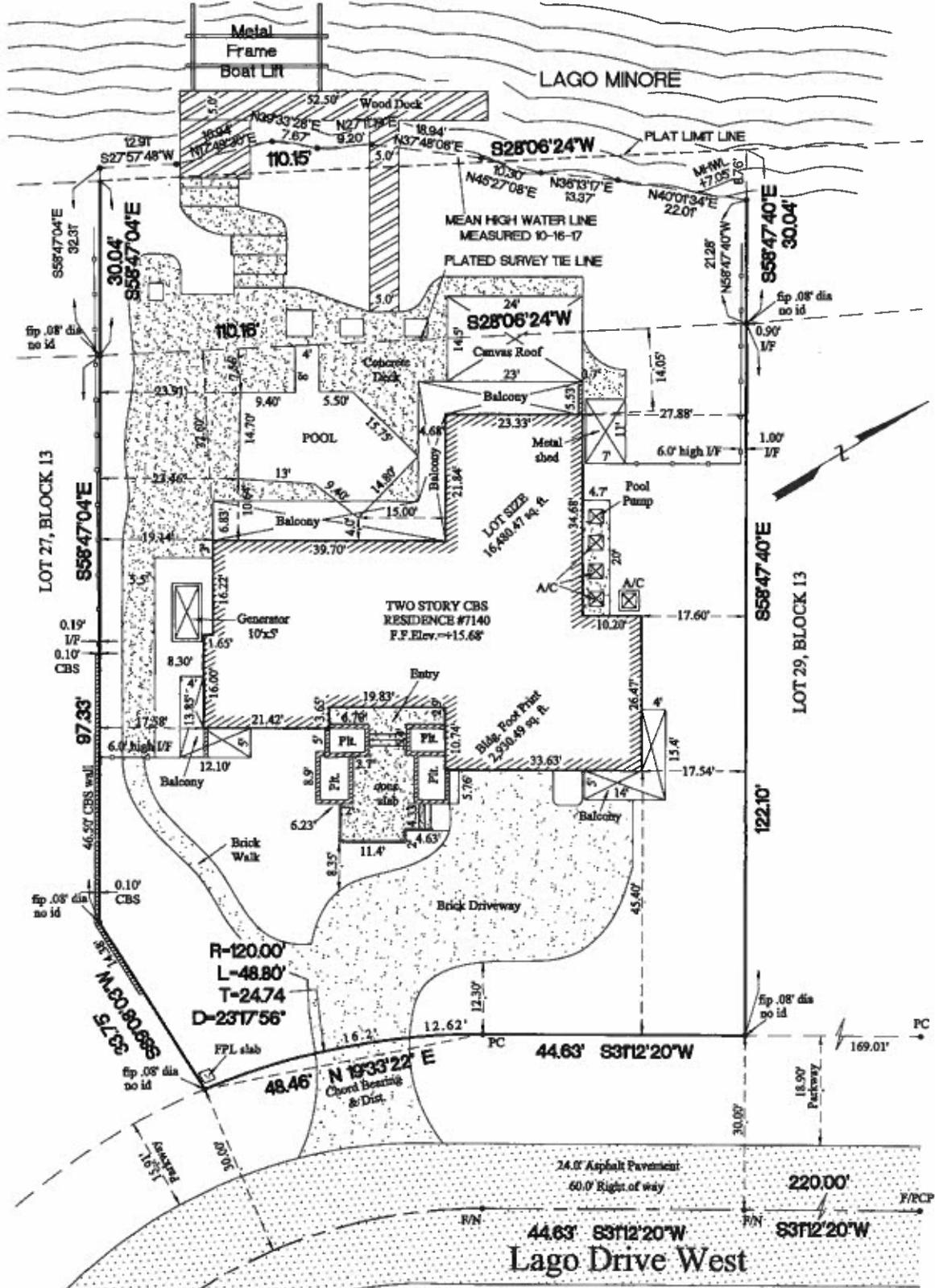
Francisco R. Jimenez
Professional Surveyor & Mapper #5526
State of Florida

Not Valid unless Signed & Stamped with Embossed Seal



Professional
Land Surveyors and Mappers LB #7498
13050 S.W. 133rd Court, Miami, Florida 33186
Email: afa@bellsouth.net
Ph.: 305-234-0588, Fax: 206-495-0778

JOB #	17-975
DATE	10-17-2017
PB	115-84



JOB #	17-975
DATE	10-17-2017
PB	115-84

Surveyor Notes:
 Survey is incomplete without sheet 1 of 2
 Scale of Drawing 1"=20'
 Drawn By: A. Torres Date: 01-24-2017; 10-17-17
 Completed Field Survey Date: 01-23-2017; 10-16-17
AFA & COMPANY, INC. LB #7498
 Professional Land Surveyors and Mappers
 13850 SW 133rd Ct Miami, Florida 33186
 PH: 305-234-0588 FX: 206-495-0778



The sketch hereon is a true and Accurate representation thereof to the best of my knowledge and belief. Subject to notes and Notations shown hereon.


 Armando F. Alvarez
 Professional Surveyor & Mapper #5526
 State of Florida

Not Valid unless Signed & Stamped with Embossed Seal



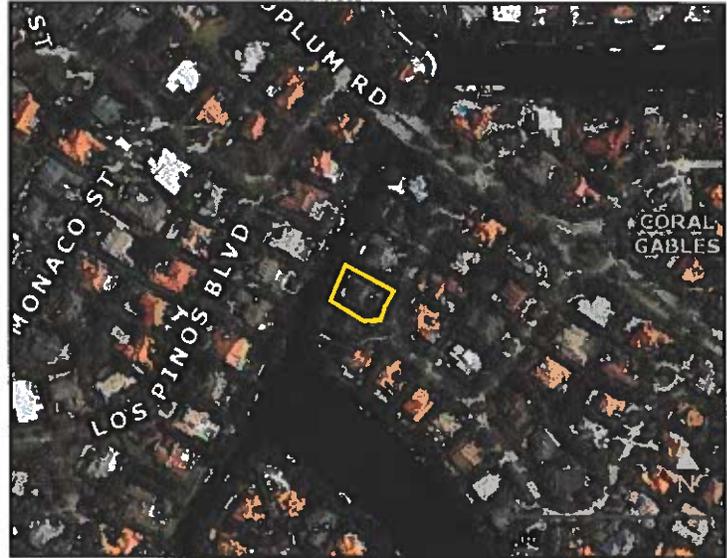
OFFICE OF THE PROPERTY APPRAISER



Summary Report

Generated On : 7/10/2018

Property Information	
Folio:	03-4132-025-0280
Property Address:	7140 LAGO DR W Coral Gables, FL 33143-6511
Owner	FRANCISCO R JIMENEZ TRS & JOAN E JIMENEZ TRS
Mailing Address	7140 LAGO DRIVE W CORAL GABLES, FL 33143-6511
PA Primary Zone	0100 SINGLE FAMILY - GENERAL
Primary Land Use	0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
Beds / Baths / Half	3 / 3 / 0
Floors	2
Living Units	1
Actual Area	7,000 Sq.Ft
Living Area	5,342 Sq.Ft
Adjusted Area	5,579 Sq.Ft
Lot Size	16,400 Sq.Ft
Year Built	1982



Assessment Information			
Year	2018	2017	2016
Land Value	\$1,566,200	\$1,566,200	\$1,533,400
Building Value	\$715,507	\$720,807	\$726,107
XF Value	\$28,904	\$29,155	\$29,405
Market Value	\$2,310,611	\$2,316,162	\$2,288,912
Assessed Value	\$1,213,579	\$1,188,619	\$1,164,172

Benefits Information				
Benefit	Type	2018	2017	2016
Save Our Homes Cap	Assessment Reduction	\$1,097,032	\$1,127,543	\$1,124,740
Homestead	Exemption	\$25,000	\$25,000	\$25,000
Second Homestead	Exemption	\$25,000	\$25,000	\$25,000

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).

Short Legal Description
COCOPLUM SEC 2 PLAT B PB 115-84 LOT 28 BLK 13 LOT SIZE 16400 SQ FT OR 18761-0417-0419 0899 4

Taxable Value Information			
	2018	2017	2016
County			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$1,163,579	\$1,138,619	\$1,114,172
School Board			
Exemption Value	\$25,000	\$25,000	\$25,000
Taxable Value	\$1,188,579	\$1,163,619	\$1,139,172
City			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$1,163,579	\$1,138,619	\$1,114,172
Regional			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$1,163,579	\$1,138,619	\$1,114,172

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description
08/01/1999	\$0	00000-00000	Sales which are disqualified as a result of examination of the deed
08/01/1988	\$715,000	13802-0096	Sales which are qualified
06/01/1988	\$630,000	13707-662	Sales which are qualified
12/01/1986	\$735,000	13119-3753	Sales which are qualified

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>



RESOLUTION NO. R-1154-83

RESOLUTION APPROVING AN APPLICATION
BY ANTONIO CAMACHO FOR A CLASS I
PERMIT TO CONSTRUCT A PRIVATE DOCK
AND DREDGE IN LAGO MINORE AT 7140
LAGO DRIVE WEST, CORAL GABLES, FLORIDA

WHEREAS, this Board desires to accomplish the purposes outlined in the accompanying memorandum, a copy of which is incorporated herein by reference,

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF DADE COUNTY, FLORIDA, that this Board having determined that all provisions of Section 24-58 of the Metropolitan Dade County Code have been complied with, hereby approves the application by Antonio Camacho for the construction of a 5 by 57 foot marginal timber dock and associated dredging of approximately 150 cubic yards of material in Lago Minore at 7140 Lago Drive West, Coral Gables, Dade County, Florida, subject to the conditions set forth in the memorandum from the County Manager, a copy of which is attached hereto and made a part hereof. The issuance of this approval, however, does not relieve the applicant from obtaining all applicable Federal, State and local permits.

The foregoing resolution was offered by Commissioner Beverly B. Phillips, who moved its adoption. The motion was seconded by Commissioner James F. Redford, Jr. and upon being put to a vote, the vote was as follows:

Barbara M. Carey	Aye
Clara Oesterle	Absent
Beverly B. Phillips	Aye
James F. Redford, Jr.	Aye
Harvey Ruvin	Aye
Barry D. Schreiber	Aye
Ruth Shack	Aye
Jorge E. Valdes	Aye
Stephen P. Clark	Aye

The Mayor thereupon declared the resolution duly passed and adopted this 20th day of September, 1983.

DADE COUNTY, FLORIDA
BY ITS BOARD OF
COUNTY COMMISSIONERS

RICHARD P. BRINKER,
CLERK

APPROVED by County Attorney
as to form and legal sufficiency 

By: **RAYMOND REED**
Deputy Clerk 



DEPARTMENT OF ENVIRONMENTAL RESOURCES MANAGEMENT
CLASS I COASTAL CONSTRUCTION PERMIT APPLICATION

1. Application number (To be assigned)	2. Date 22 6 1983 Day Mo. Yr.	3. For official use only
4. Name, address and zip code of applicant Antonio & Diane Canache 7140 Lago Dr. W. Cocoplum Coral Gables 33143		
Telephone Number 666-0998		
5. Name, address, zip code and title of applicant's authorized agent for permit application coordination Antonio & Diane Canache 7140 Lago Dr. W. Cocoplum Coral Gables 33143 Telephone Number 666-0998		
6. Describe the proposed activity, its purpose and intended use, including a description of the type of structures, if any, to be erected on fills, or pipe or float-supported platforms, and the type, composition and quantity of materials to be discharged or dumped and means of conveyance. Construction 5 By 57 Foot marginal adequate Timber Dock and Arroyo to provide water depth for a Port. Dredged/Excavated Filled/Deposited Volume of Material: 150 CY _____ CY _____ CY _____ CY Waterward of O.N.W. or M.N.W. Landward of O.N.W. or M.N.W. Waterward of O.N.W. or M.N.W. Landward of O.N.W. or M.N.W.		
7. Proposed use Private <input checked="" type="checkbox"/> Public <input type="checkbox"/> Commercial <input type="checkbox"/> Other <input type="checkbox"/> (Explain in remarks)		
8. Name and address including zip code of adjoining property owners whose property also adjoins the waterway. Raynel Bonajante 7130 Lago Dr. W. Cocoplum Coral Gables 33143		
9. Location where proposed activity exists or will occur Street address 7140 Lago Dr. W. Copoplum Longitude _____ Latitude _____ (if known) Sec. _____ Twp. _____ Rge. _____ State _____ County _____ In City or Town _____ Near City or Town _____		
10. Name of waterway at location of the activity		

11. Date activity is proposed to commence 10-1-83
 Date activity is expected to be completed _____

12. Is any portion of the activity for which authorization is sought now complete? Yes No
 If answer is "Yes" give reasons in the remarks section. Month and year the activity was completed _____
 _____ . Indicate the existing work on the drawings.

13. List all approvals or certifications required by other Federal interests, state or local agencies for any structures, construction, discharges, deposits or other activities described in this application, including whether the project is a Development of Regional impact.

Issuing Agency	Type of Approval	Identification No.	Date of Application	Date of Approval
CITY of Coral Gables	Permit for Construction	A 11149	8-19-83	8-19-83

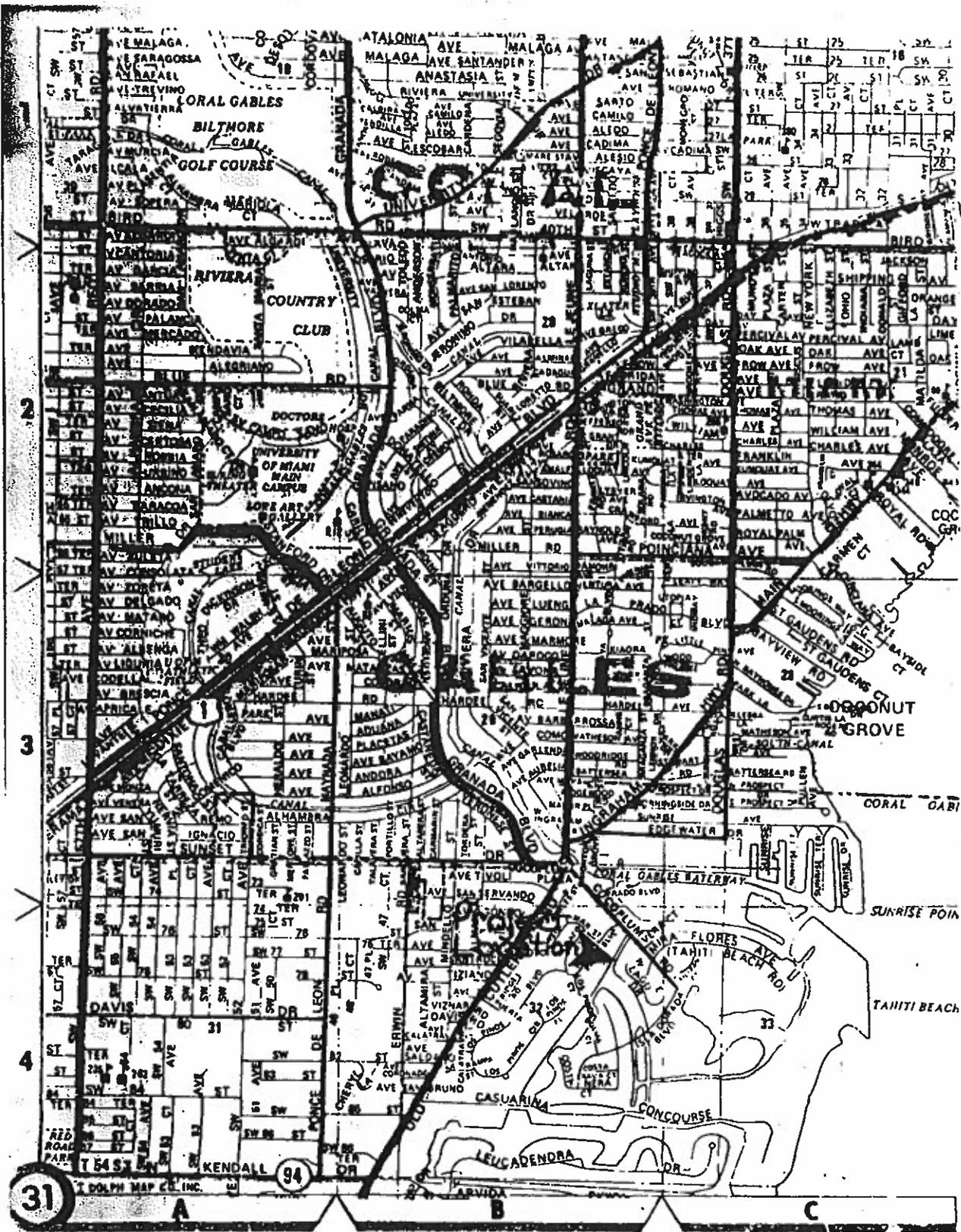
14. Has any agency denied approval for the activity described herein or for any activity directly related to the activity described herein? Yes No (If "Yes" explain in remarks)

15. Remarks

16. Application is hereby made for a permit or permits to authorize the activities described herein. I agree to provide any additional information/data that may be necessary to provide reasonable assurance or evidence to show that the proposed project will comply with the applicable State Water Quality Standards or other environmental protection standards both during construction and after the project is completed. I also agree to provide entry to the project site for inspectors from the environmental protection agencies for the purpose of making preliminary analyses of the site and monitoring permitted works. If permit is granted, I certify that I am familiar with the information contained in this application, and that to the best of my knowledge and belief such information is true, complete, and accurate. I further certify that I possess the authority to undertake the proposed activities.

Charles J. [Signature] 10/8/83
 Signature of Applicant Date

The application must be signed by the person who desires to undertake the proposed activity, however, the application may be signed by a duly authorized agent if accompanied by a statement by that person designating the agent and agreeing to furnish upon request, supplemental information in support of the application.



FOR CONTINUATION SEE MAP NO 31
 Location Map for Camacho Project &

AFFIDAVIT OF OWNERSHIP
AND HOLD HARMLESS
AGREEMENT

PERSONALLY APPEARED BEFORE ME Diane Camacho the undersigned authority, and hereby swears and affirms under oath as follows:

1. That your affiant is the record owner of that certain property more fully described as: 7140 Lago Drive W.
Coco Plum
Coral Gables, Florida 33143
2. That your affiant is also the riparian and/or littoral owner of that certain property that is the subject matter of Application No. CC 700 for a Class I permit under and pursuant to Section 24-58 of the Code of Metropolitan Dade County to construct or engage in the following activity:
Construction of a five by 57 foot marginal timber dock.
3. That your affiant hereby swears and affirms its ownership in the above noted property necessary for the work noted in Paragraph 2 above, and hereby agrees to defend same and hold the County harmless for any and all liability, claims and damages of any nature whatsoever occurring, incurred or arising as a result of your affiant not having proper title to all lands that are the subject matter of this application.

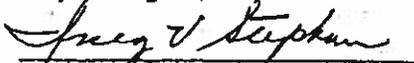
STATE OF FLORIDA)
) SS
COUNTY OF DADE)

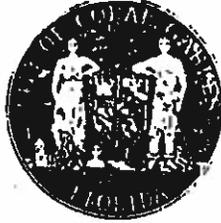

Owner/Applicant

BEFORE ME, the undersigned authority, personally appeared Diane Camacho, who, after being duly sworn, deposes and says that she has read the foregoing, and that the statements contained therein are true and correct to the best of her knowledge and belief.

SWORN TO and subscribed before me this 22nd day of August, 1983.

NOTARY PUBLIC STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES MAY 2, 1985
My commission expires: GENERAL INS. UNDERWRITERS


Notary Public State of Florida
at Large



THE CITY OF CORAL GABLES, FLORIDA

Department of Public Works

August 19, 1983

RECEIVED
AUG 23 1983
ENVIRONMENTAL
RESOURCES MANAGEMENT

Mr. Jose Martinez
Department of Environmental Resources Management
Metropolitan Dade County, Florida
Brickell Plaza Building, Room 402
Miami, Florida 33131

RE: Dock Construction
Lot 28, Block 13,
7140 Lago Dr. West
Mr. Antonio Camacho

Dear Mr. Martinez:

The City of Coral Gables Board of Architects and Zoning Division approved the above mentioned project.

A permit has been issued by the City of Coral Gables subject to the conditions and approval as set forth by the Metropolitan Dade County Department of Environmental Management.

The City of Coral Gables will hold the bond deposit in the amount of \$750.00 for six (6) months as requested by your office.

Very truly yours,

Adolfo Fernandez
Civil Engineer

AJF/ksb
Enc.

cc: Albert P. Dusey, Public Works Director
A.R. Linero, Jr., Engineering Division Supervisor
Maria D. Alberro, Engineering Technician
Mr. Antonio Camacho, 7140 Lago Dr. West, Coral Gables, Fl 33143

3
Aug 18th, 1983

Department of the Army
Florida Department of Environmental Regulation
Other Agencies Party to this Application

Re: Dock & Davit Installation (LET 2E, BLOCK 13, CAMP LEWIS (Phase II))
A/K/A 7140 LAG - DRIVE ROAD, C-2

Dear Sirs:

I, Manuel G. Diaz, a registered engineer in the State of Florida, qualified by education and experience in the area of construction, do hereby certify that:

A.) To the best of my knowledge and belief, the proposed work does not violate any statutes, zoning law, ordinance, or promulgated administrative rule which may be applicable to such area of construction work, and that diligence and recognized standard practices of the profession were exercised in the design process with the intent to avoid the following effects:

- 1.) Harmful obstruction or undesirable alteration of the natural flow of the water within the area of the work.
- 2.) Harmful or increase erosion, shoaling of channels or stagnant areas of water,
- 3.) Material injury to adjoining land,

and,

B.) I have been retained by the applicant to provide inspections throughout the construction period, and will prepare a set of reproducible record prints of drawings showing those changes made during the construction process, based on the marked-up prints, drawings and other data furnished by the contractor to the engineer and which the engineer considers significant.

Sincerely,


Manuel G. Diaz P.E.
7341 SW 41st Street
Miami, Florida

MEMORANDUM

Agenda Item No. 2 (u)

DADE COUNTY FORM 10707-17A

TO Honorable Mayor and Members
Board of County Commissioners

DATE September 20, 1983

FROM

M. A. Williams
County Manager

SUBJECT Public Hearing on a Class I
Coastal Permit Application by
Antonio Camacho to Construct a
Private Dock and Dredge in Lago
Minore Canal at 7140 Lago Drive,
West, Coral Gables, Florida

RECOMMENDATION

It is recommended that the subject application for a Class I Coastal Construction Permit by Antonio Camacho be approved by the Board of County Commissioners.

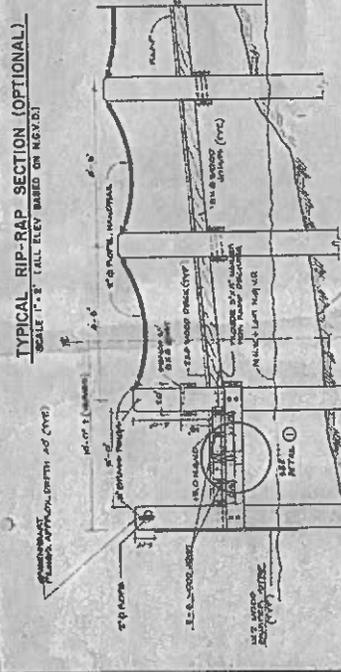
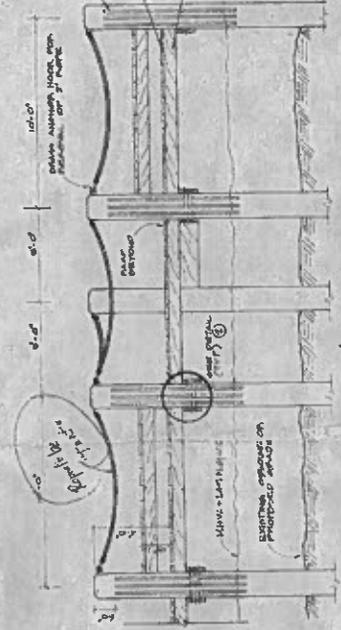
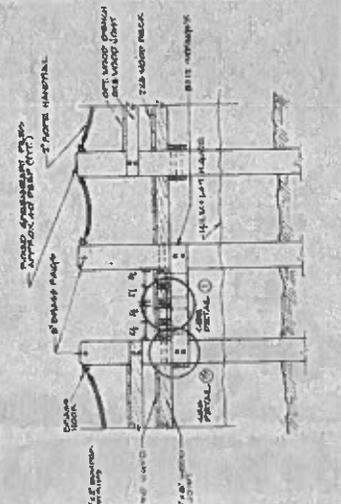
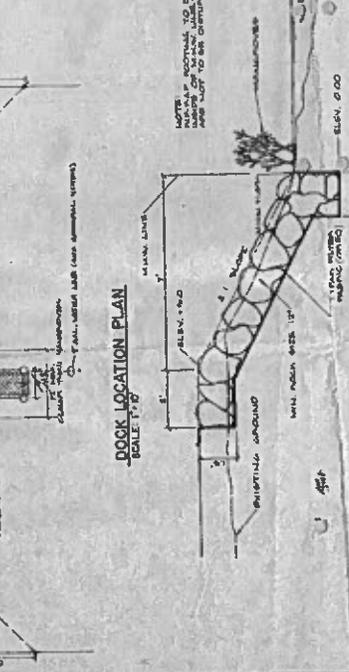
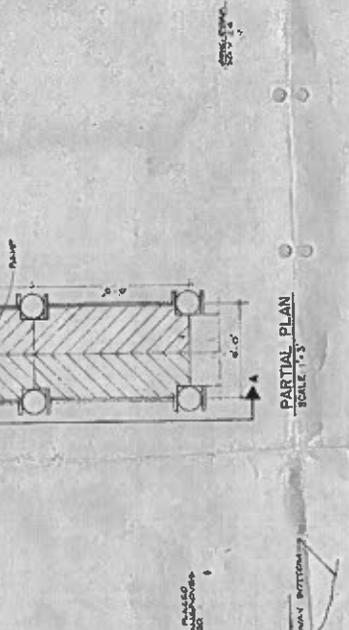
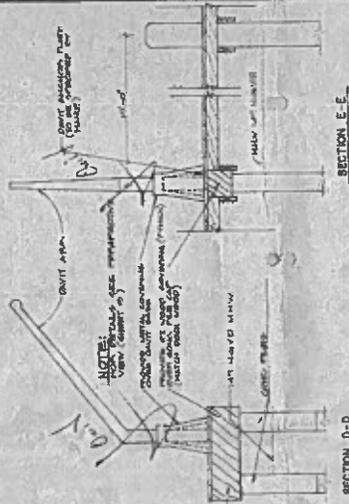
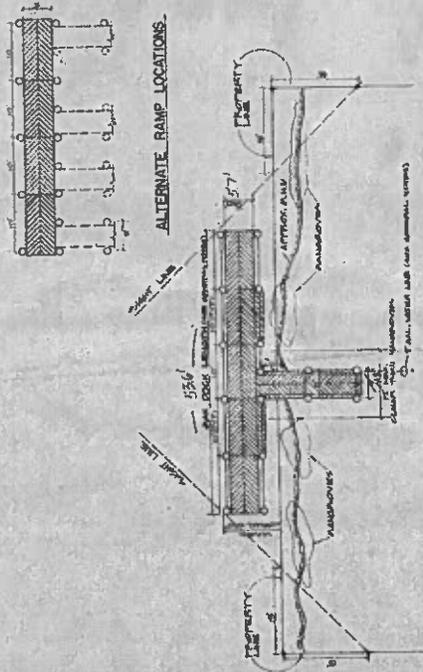
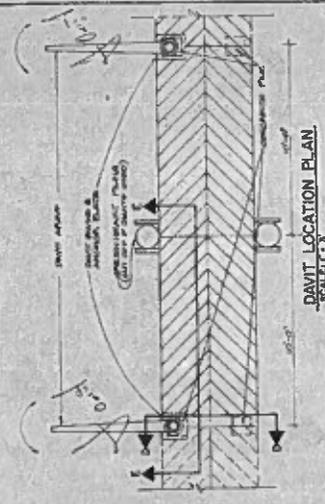
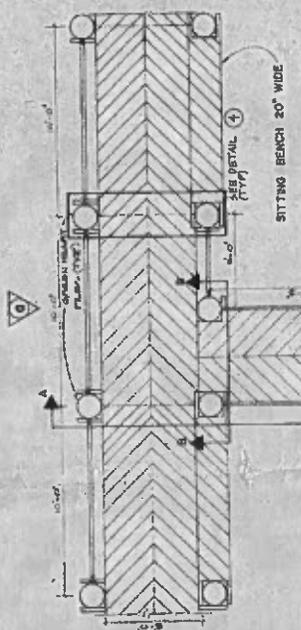
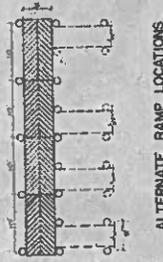
BACKGROUND

The subject Class I permit application involves the construction of a 5 by 57 foot marginal timber dock and associated dredging of approximately 150 cubic yards of material in Lago Minore at 7140 Lago Drive West, Coral Gables, Florida. Extension of the dock further into the waterway was not possible due to its narrow width. Therefore, dredging was proposed in order to meet DERM's -4 foot (mean low water) minimum water depth criterion for docking boats. It should be noted that any project which involves dredging in tidal waters of Dade County must meet at least one of the criteria included in Section 24-58.3(4) of the Dade County Code. In this case, criterion (c) is met, which states "minimum dredging and filling as may be authorized for the creation and maintenance of marinas, piers, and docks and their attendant navigational channels".

As mitigation for the dredging, approximately 15 cubic yards of natural limestone riprap boulders 1 foot in diameter, will be placed beneath the new dock. This will provide a habitat for a variety of invertebrates and protective cover for small fish.

The contractor will be required to completely enclose the proposed dredging area with a turbidity curtain during dredging operations and the curtain will remain in place after dredging until background turbidity levels are achieved inside the curtain. Turbidity monitoring will also be required during dredging operations. If any mangrove trees are disturbed by the proposed work, the owner will be required to replant with an equivalent number of seedlings. Additional conditions may be required by the Director of Environmental Resources Management at the time of permit issuance to ensure that environmental standards are maintained and environmental impacts are minimized.

The Director of the Department of Environmental Resources Management has reviewed the application and finds it complete according to the requirements of Section 24-58 of the Metropolitan Dade County Code, and recommends approval of the application. Approval by the Board, if granted, will not relieve the applicant from obtaining all required Federal, State and local permits; furthermore, all work must comply with all applicable Federal, State and local water quality standards as well as approved coastal engineering practices.

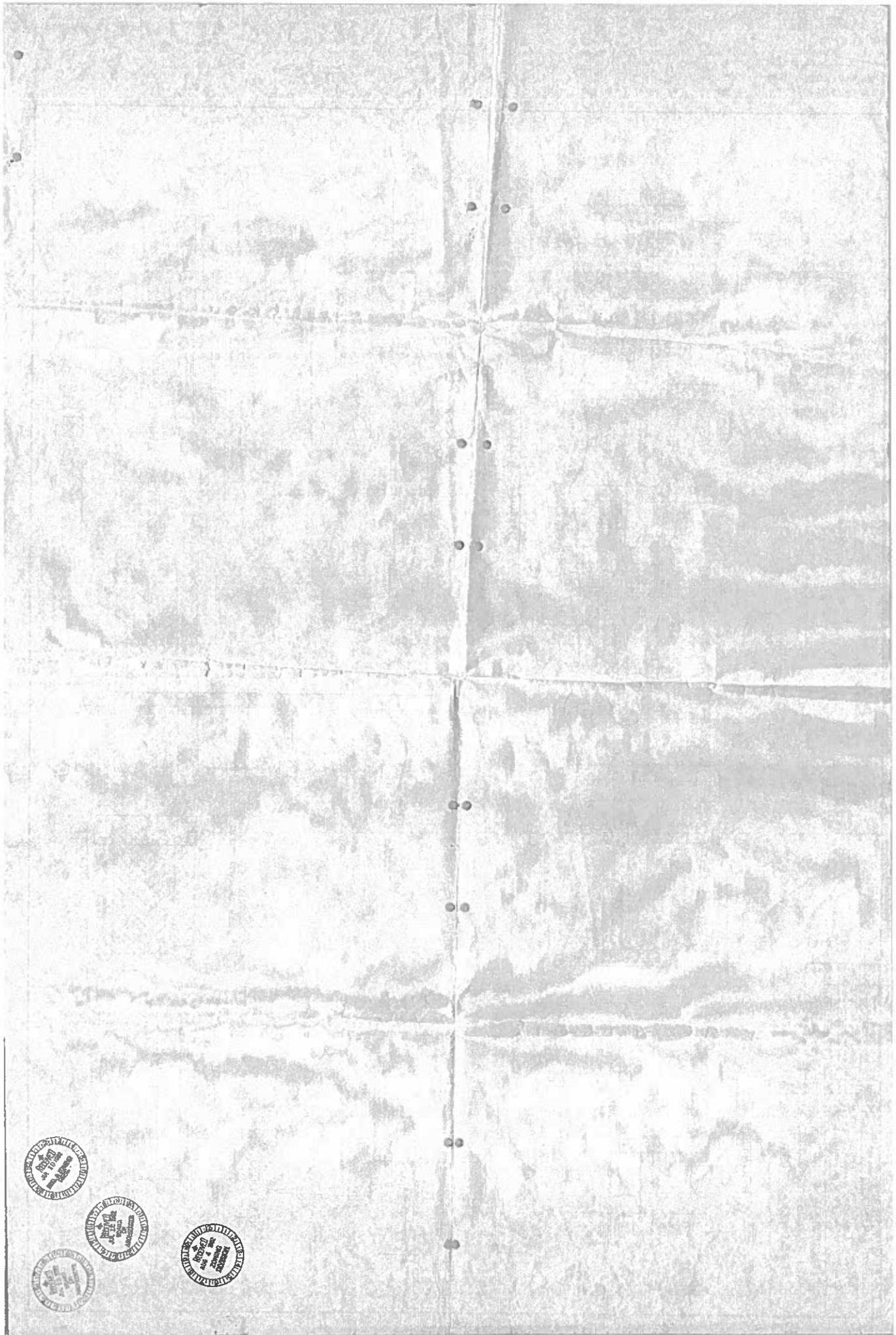


TYPICAL DOCK
 COCOPUM S
 PLAN & E

Revisions

No.	Date	Description

For Office
 Engineering
 Supply Forms



FINAL INSPECTION



PROJECT Barreto Dock & Dredging cc 762

INSPECTOR K Mayo DATE 2/24/87

PROPOSED PROJECT AND DIMENSIONS:

Construction of a 5X50 ft. marginal timber dock with a 5 ft wide
walkway, and associated dredging of \pm 150 cy of material. Riprap
boulders will be used to stabilize the shoreline landward of
the mangroves.

COMPLETED PROJECT AND DIMENSIONS:

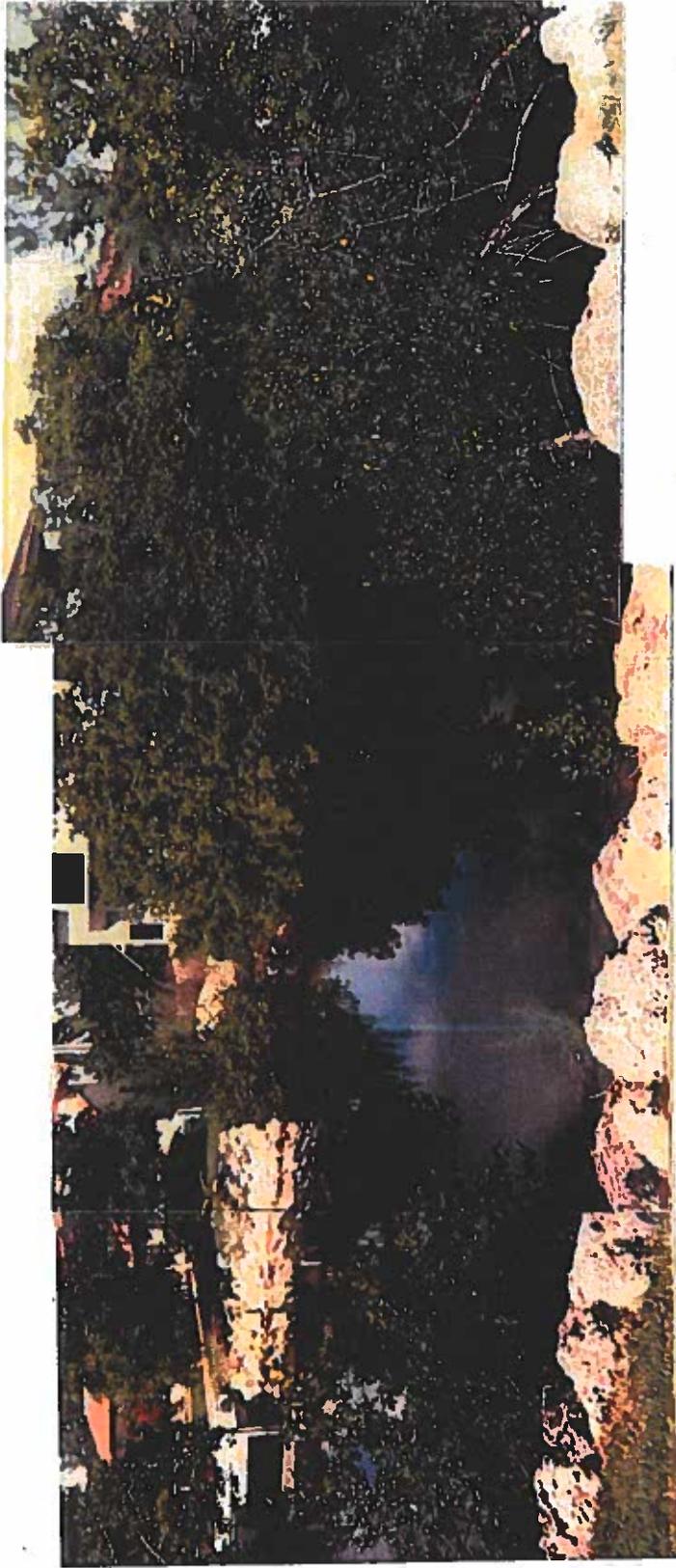
5.7 X 53.6 ft marginal timber dock with a 5.7 ft wide
walkway. Davits installed at south end of dock. Riprap
installed, dredging completed. Three mature mangroves
were damaged during construction & shall be mitigated
for with 18 red seedlings.

RECOMMENDATIONS:

Wait 6 mo. after seedlings planted.
11/9/87 mangroves ok

Baretto Dock
& Maint. Dredging

KWlayo
11/17/86



CC 762

METROPOLITAN DADE COUNTY ENVIRONMENTAL RESOURCES MANAGEMENT

119.05-209

Field Investigation by K Mayo
Date: 2/2/87
Boretto Dock w/ Mangrove
Domog



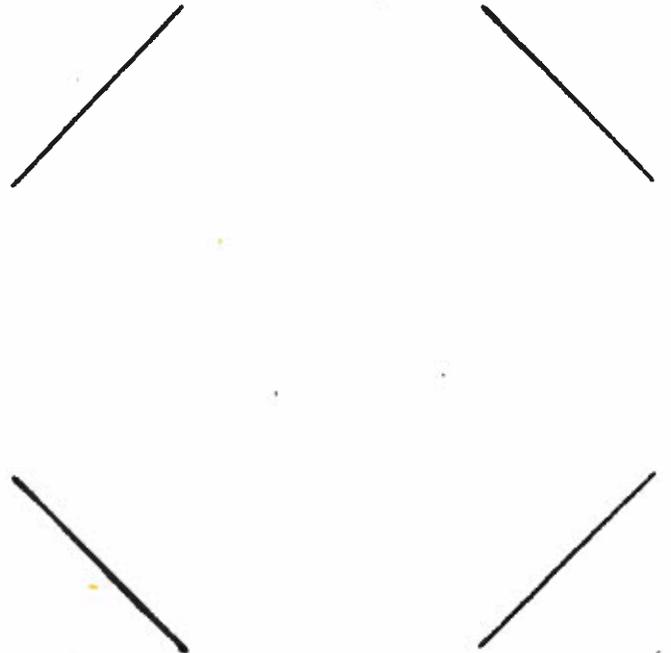
Picture Explanation: Boretto Dock



Picture Explanation: Mangroves
at South end of dock



Picture Explanation: North end of dock



Picture Explanation: _____



FILE REVIEW

Permit Number: CLI-2016-0380
Project Name: Jimenez
Project Address: 7140 West Lago Drive, Coral Gables
Date: December 7, 2016
Project Manager: McKee Gray

CC-762

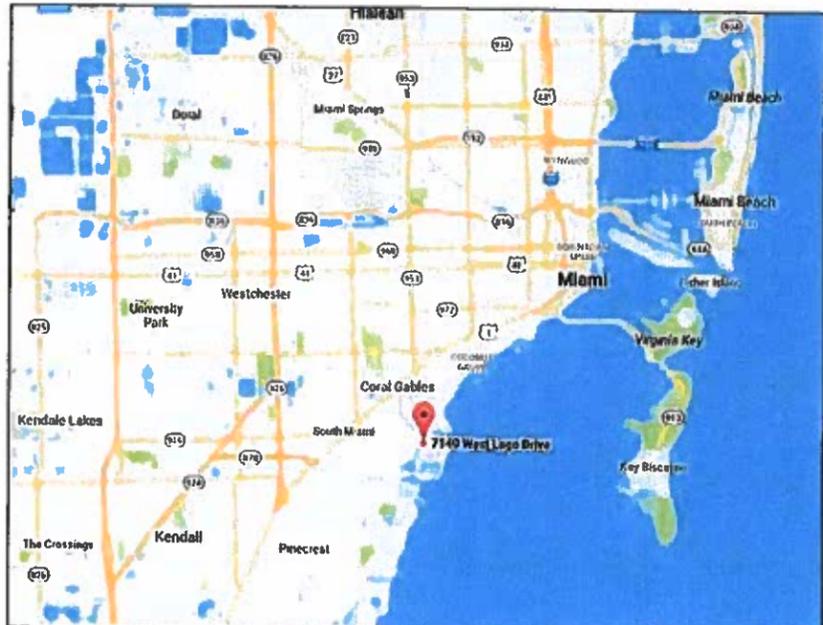
Application for the installation of a marginal dock and dredging. The project was approved by the Board of County Commissioners (Resolution No. R-1154-83) on 9/20/1983. The property was sold and the file for the Camacho's was closed 7/24/1985.

Permit issued 1/13/1987 to the new property owner (Barreto) for the installation of a 5' wide by 50' foot long marginal wood dock with a 5' wide by 16.5 foot long wood access walkway and dredging of 150 cubic yards. Mitigation in the form of 15 cubic yards of riprap was required to be installed under the marginal dock and a performance bond of \$1,000 was held for mangrove mitigation to ensure the mangroves were not damaged. During a site inspection 1/27/87 it was documented that the dock was not installed past the mangroves resulting in the removal of 3 mangroves. As mitigation, 18 red mangrove seedlings were required to be planted on-site towards the north property line. The required riprap was placed on the south side of the dock to allow room for the planted mangroves. At the time of the final inspection the marginal dock was 5.7' wide by 53.6' long with a 5.7' wide access walkway located at the north end of the property and 2 davits. The file was closed 12/18/1987.

EXHIBIT
G



LOCATION MAP AND LEGAL DESCRIPTION



PROJECT SITE LOCATION:
7140 W. Lago Drive
Coral Gables, FL 33134

LATITUDE: 25°41'0.35"N
LONGITUDE: 80°10'23.70"W

FOLIO No.: 03-4132-025-0280

LEGAL DESCRIPTION:
COCOPLUM SEC 2 PLAT B
PB 115-84
LOT 28 BLK 13
LOT SIZE 16400 SQ FT
OR 18761-0417-0419 0899 4

RER - NATURAL RESOURCES DIVISION
PRELIMINARY REVIEW
DATE: 12/14/17

CU-2017-0201

GENERAL NOTES:

- ELEVATIONS SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.
- ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD.
- IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH WORK. CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR ALL LINES, ELEVATIONS, AND MEASUREMENTS IN CONNECTION WITH THEIR WORK.
- IT IS THE INTENT OF THESE PLANS AND THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH LOCAL, STATE, AND FEDERAL ENVIRONMENTAL PERMITS ISSUED FOR THIS PROJECT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE AND GOVERN HIMSELF BY ALL PROVISIONS OF THESE PERMITS.
- APPLICABLE BUILDING CODE: FLORIDA BUILDING CODE, 2014 EDITION (AND CURRENT ADDENDUMS).
- APPROVED CONTRACTOR TO DETERMINE THE SUITABILITY OF EXISTING STRUCTURES AND VERIFY ALL DIMENSIONS. THE APPROVED CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, MEANS, SEQUENCES AND PROCEDURES OF WORK.
- DO NOT SCALE DRAWINGS FOR DIMENSIONS.
- CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING WORK.
- CONTRACTOR TO PROPERLY FENCE AND SECURE AREA WITH BARRICADES.
- ANY DEVIATION AND/OR SUBSTITUTION FROM THE INFORMATION PROVIDED HEREIN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
- ALL NEW MATERIALS AND/OR PATCHWORK SHALL BE PROVIDED TO MATCH EXISTING MATERIALS AND/OR ADJOINING WORK WHERE PRACTICAL EXCEPT AS SPECIFICALLY NOTED HEREIN.
- LICENSED CONTRACTOR SHALL USE ALL POSSIBLE CARE TO PROTECT ALL EXISTING MATERIALS, SURFACES, AND FURNISHINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.
- THE LICENSED CONTRACTOR TO INSTALL AND REMOVE ALL SHORING AND BRACING AS REQUIRED FOR THE PROPER EXECUTION OF THE WORK.
- ALL NEW WORK AND/OR MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF EACH ADMINISTRATIVE BODY HAVING JURISDICTION IN EACH PERTAINING CIRCUMSTANCE.
- THE CONTRACTOR WILL EMPLOY AND MAINTAIN ADEQUATE SEDIMENT AND EROSION CONTROL MEASURES TO PROTECT BISCAYNE BAY FROM SEDIMENT AND CONSTRUCTION DEBRIS.

DOCK: LL 60 PSF

BOLTS

- ALL BOLTS SHALL BE 316 GAUGE STAINLESS STEEL, UNLESS OTHERWISE NOTED.

WOOD

- PRIMARY WOOD FRAMING MEMBERS SHALL BE NUMBER 1 PRESSURE TREATED MARINE GRADE SOUTHERN PINE OR BETTER.
- ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD.

CONCRETE

- CONCRETE SHALL CONFORM TO ACI 318 (LATEST ED.) AND SHALL BE REGULAR WEIGHT, SULFATE RESISTANT, WITH A DESIGN STRENGTH OF 5,000 PSI AT 28 DAYS W/ A MAX WATER-CEMENTIOUS MATERIALS RATIO, BY WEIGHT, NORMAL WEIGHT AGGREGATE CONCRETE OF 0.40.
- OWNER SHALL EMPLOY AND PAY FOR TESTING SERVICES FROM AN INDEPENDENT TESTING LABORATORY FOR CONCRETE SAMPLING AND TESTING IN ACCORDANCE W/ ASTM.
- LICENSED CONTRACTOR IS RESPONSIBLE FOR THE ADEQUACY OF FORMS AND SHORING AND FOR SAFE PRACTICE IN THEIR USE AND REMOVAL.
- CONCRETE COVER SHALL BE 3" UNLESS OTHERWISE NOTED ON APPROVED DRAWINGS.
- REINFORCING STEEL SHALL BE IN CONFORMANCE WITH THE LATEST VERSION OF ASTM A615 GRADE 60 SPECIFICATIONS. ALL REINFORCEMENT SHALL BE PLACED IN ACCORDANCE W/ ACI 315 AND ACI MANUAL OF STANDARD PRACTICE.
- SPLICES IN REINFORCING BARS SHALL NOT BE LESS THAN 48 BAR DIAMETERS AND REINFORCING SHALL BE CONTINUOUS AROUND ALL CORNERS AND CHANGES IN DIRECTION. CONTINUITY SHALL BE PROVIDED AT CORNERS OR CHANGES IN DIRECTION BY BENDING THE LONGITUDINAL STEEL AROUND THE CORNER 48 BAR DIAMETERS.

PILE DRIVING NOTES

- PILE DRIVING OPERATIONS SHALL BE OBSERVED BY A SPECIAL INSPECTOR, INCLUDING TEST PILES SUFFICIENT TO DETERMINE THE APPROXIMATE LENGTH REQUIRED TO MEET DESIGN CAPACITY.
- PILES SHALL BE DRIVEN USING AN APPROVED CUSHION BLOCK CONSISTING OF MATERIAL SO ARRANGED SO AS TO PROVIDE THE TRANSMISSION OF THE HAMMER ENERGY.
- PILES SHALL BE DRIVEN TO REQUIRED CAPACITY A MIN 12. INTO BERM.
- PILES SHALL BE DRIVEN WITH A DROP HAMMER OR GRAVITY HAMMER PROVIDED THE HAMMER SHALL WEIGH NO LESS THAN 3,000 POUNDS, AND THE FALL OF THE HAMMER SHALL NOT EXCEED 6 FT.
- PILES SHALL BE DRIVEN WITH A VARIATION OF NOT MORE THAN 1/4" PER FOOT FROM THE VERTICAL, OR FROM THE BATTER LINE INDICATED, WITH A MAX VARIATION OF THE HEAD OF THE PILE FROM THE POSITION SHOWN ON THE PLANS OF NOT MORE THAN 3".
- WHERE PILING MUST PENETRATE STRATA OFFERING HIGH RESISTANCE TO DRIVING, THE STRUCTURAL ENGINEER OF RECORD OR SPECIAL INSPECTOR MAY REQUIRE THAT PILES BE SET IN PRE-DRILLED OR PUNCHED HOLES. THE PILES SHALL REACH THEIR FINAL PENETRATION BY DRIVING.

RECEIVED
DEC 12 2017
DERM Coastal Resources Section
Resources Regulation & Restoration
Division (NRRD)

JIMENEZ ATF DOCK AND BOATLIFT PROJECT

Client:
MRS. JOAN JIMENEZ
7140 W. Lago Drive
Coral Gables, FL 33134

ENVIRONMENTAL CONSULTANT:
OCEAN CONSULTING, LLC
340 Minorea Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:

PROJECT ENGINEER:
DYNAMIC ENGINEERING SOLUTIONS, INC.
351 S. Cypress Road, Suite 303
Pompano Beach, FL 33060
Office - 954-545-1740
Fax - 954-545-1721

SEAL / SIGNATURE / DATE



PERMIT DRAWINGS

Issue #	Issue Date
④	October 10, 2017
⑤	October 23, 2017
⑥	November 16, 2017
⑦	December 6, 2017

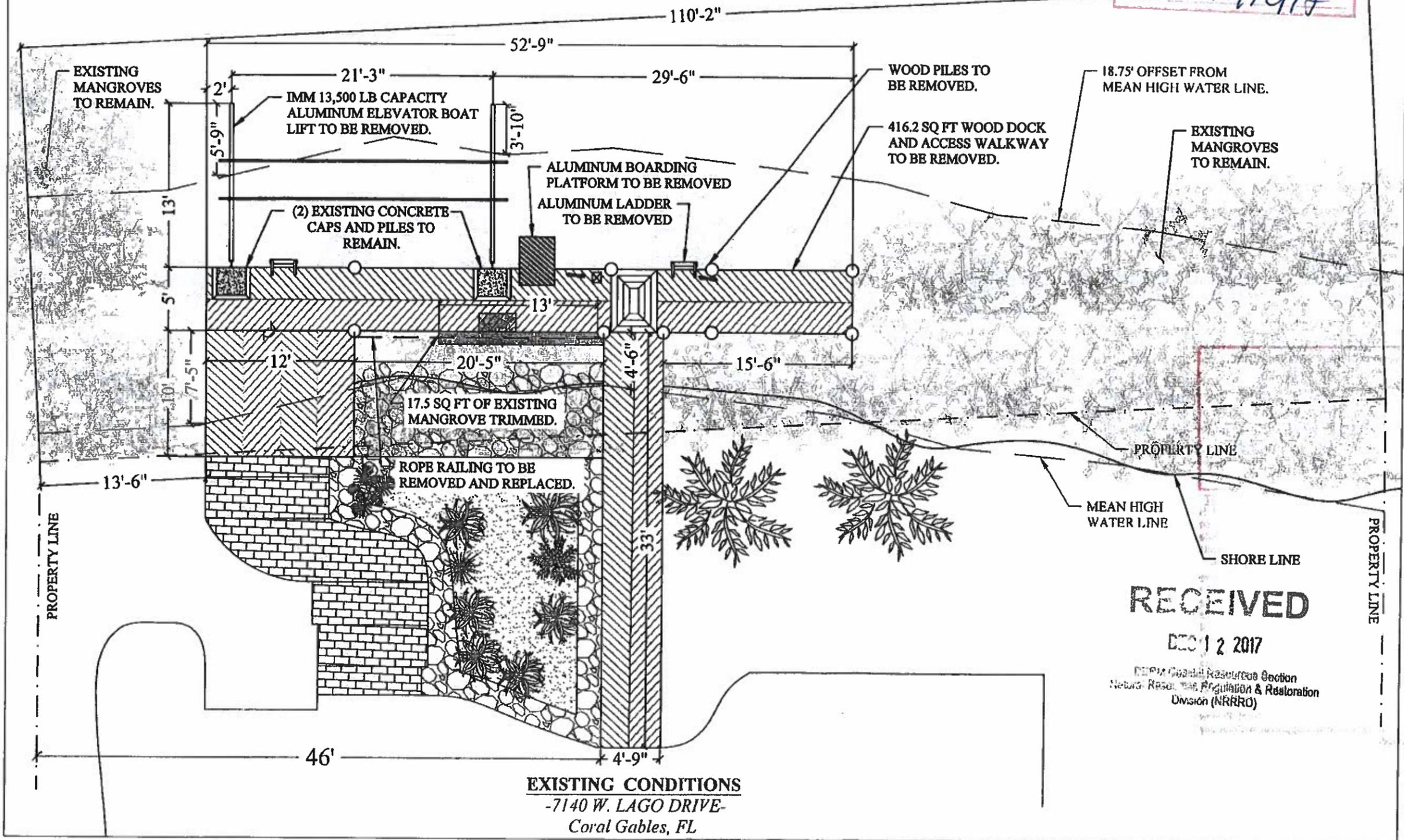
PROJECT: #17-6335

PROJECT LOCATION & NOTES

SCALE: AS SHOWN
SHEET NO.

S-1

LAGO MONACO



JIMENEZ ATF DOCK AND BOATLIFT PROJECT
Coral Gables, Florida

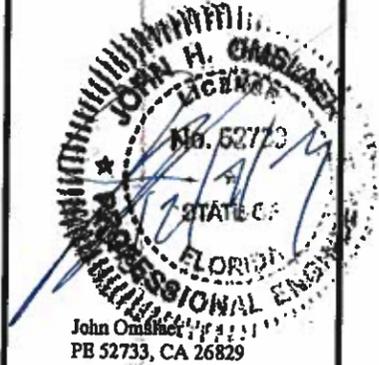
CLIENT:
MRS. JOAN JIMENEZ
7140 W. Lago Drive
Coral Gables, FL 33134

ENVIRONMENTAL CONSULTANT:
OCEAN CONSULTING, LLC
340 Minorca Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

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351 S. Cypress Road, Suite 303
Pompano Beach, FL 33060
Office - 954-545-1740
Fax - 954-545-1721

SEAL / SIGNATURE / DATE



RECEIVED

DEC 12 2017

Natural Resources Section
Neighborhood Regulation & Restoration
Division (NRRRO)

PERMIT DRAWINGS

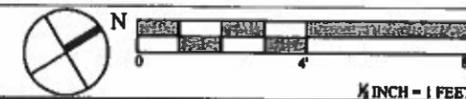
Issue #	Issue Date
④	October 10, 2017
⑤	October 23, 2017
⑥	November 16, 2017
⑦	December 6, 2017

PROJECT: #17-6335

EXISTING ATF CONDITIONS

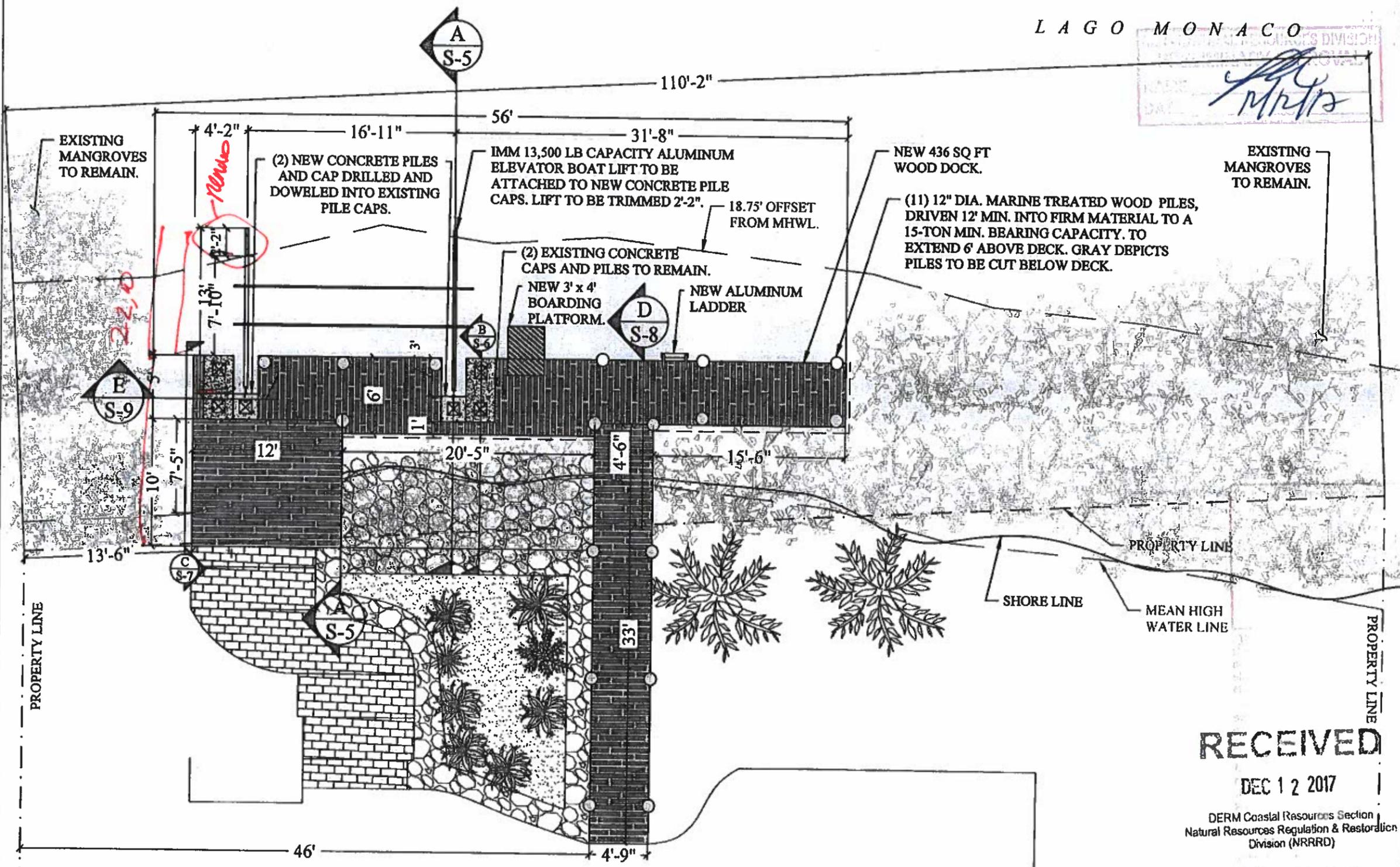
SCALE: AS SHOWN
SHEET NO.

S-2



LAGO MONACO

APPROVED
[Signature]
 MRS. JOAN JIMENEZ

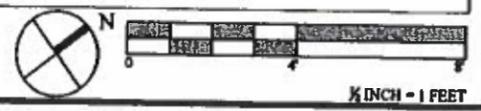


PROPOSED CONDITIONS
 -7140 W. LAGO DRIVE-
 Coral Gables, FL

RECEIVED

DEC 12 2017

DERM Coastal Resources Section
 Natural Resources Regulation & Restoration
 Division (NRRRD)



JIMENEZ ATF DOCK AND BOATLIFT PROJECT
 Coral Gables, Florida

CLIENT:
MRS. JOAN JIMENEZ
 7140 W. Lago Drive
 Coral Gables, FL 33134

ENVIRONMENTAL CONSULTANT:
OCEAN CONSULTING, LLC
 340 Minorca Avenue, Suite 7
 Coral Gables, Florida 33134
 Tel: (305) 921-9344
 Fax: (305) 677-3254
 CONTRACTOR:

PROJECT ENGINEER:
DYNAMIC ENGINEERING SOLUTIONS, INC.
 351 S. Cypress Road, Suite 303
 Pompano Beach, FL 33060
 Office - 954-545-1740
 Fax - 954-545-1721

SEAL / SIGNATURE / DATE

JOHN H. OMSLAER
 LICENSE No. 52733
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 John Omslaer
 PE 52733, CA 26829

PERMIT DRAWINGS

Issue #	Issue Date
④	October 10, 2017
⑤	October 23, 2017
⑥	November 16, 2017
⑦	December 6, 2017

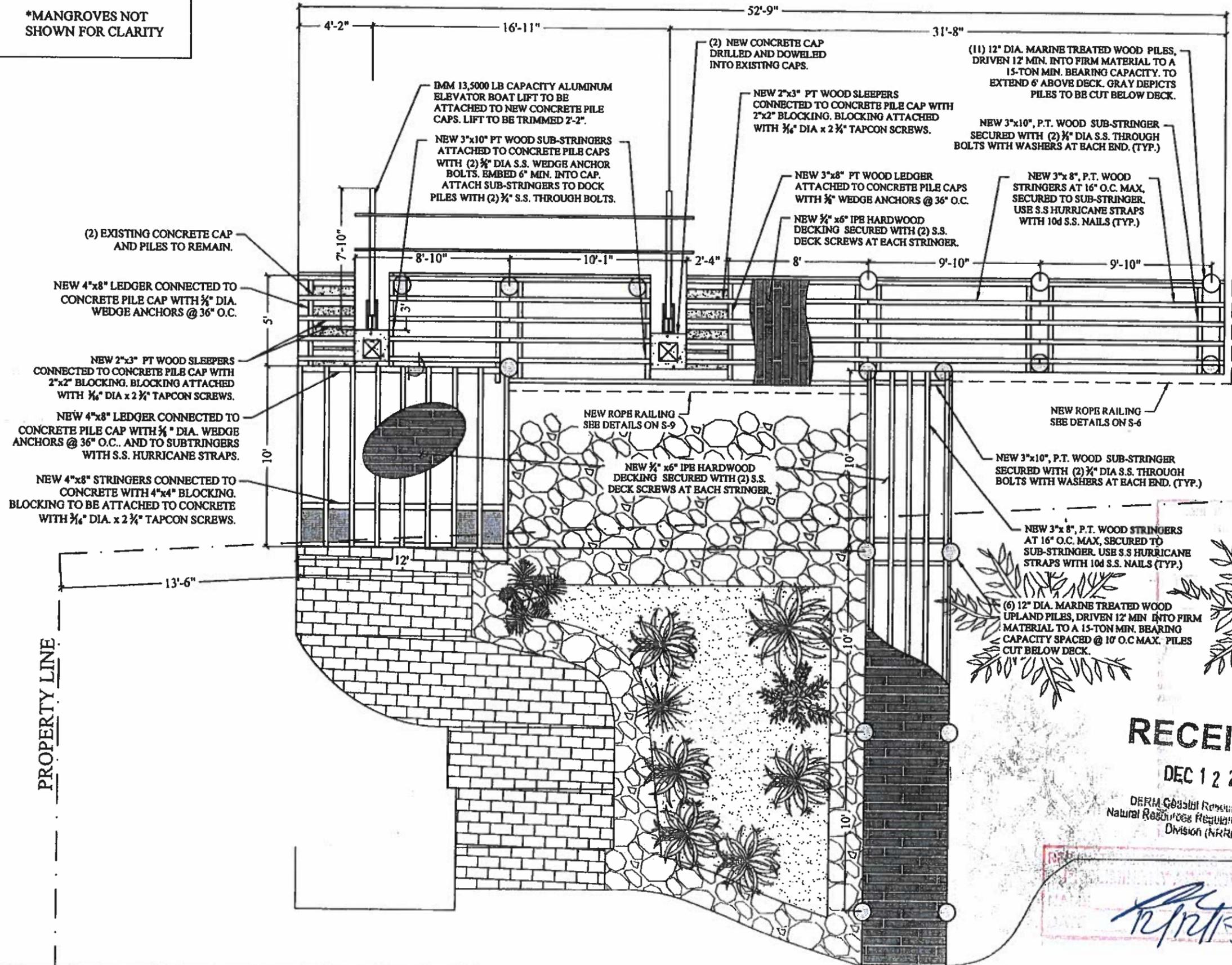
PROJECT: #17-6335

PROPOSED CONDITIONS

SCALE: AS SHOWN
 SHEET NO.

S-3

*MANGROVES NOT SHOWN FOR CLARITY



JIMENEZ ATF DOCK AND BOATLIFT PROJECT

CLIENT:
MRS. JOAN JIMENEZ
 7140 W. Lago Drive
 Coral Gables, FL 33134

ENVIRONMENTAL CONSULTANT:
OCEAN CONSULTING, LLC
 340 Minorca Avenue, Suite 7
 Coral Gables, Florida 33134
 Tel: (305) 921-9344
 Fax: (305) 677-3254

CONTRACTOR:

 PROJECT ENGINEER:

DYNAMIC ENGINEERING SOLUTIONS, INC.
 351 S. Cypress Road, Suite 303
 Pompano Beach, FL 33060
 Office - 954-545-1740
 Fax - 954-545-1721

SEAL / SIGNATURE / DATE

PERMIT DRAWINGS

Issue #	Issue Date
④	October 10, 2017
⑤	October 23, 2017
⑥	November 16, 2017
⑦	December 6, 2017

PROJECT: #17-6335

PROPOSED CONDITIONS

SCALE: AS SHOWN
 SHEET NO.

S-4

RECEIVED

DEC 12 2017

DERM Coastal Resources Section
 Natural Resources Regulation & Restoration
 Division (NRRD)



FRAMING PLAN



NEW 3"x 8", P.T. WOOD STRINGERS AT 16" O.C. MAX, SECURED TO LEGDERS. USE S.S. HURRICANE STRAPS WITH 10d S.S. NAILS (TYP.)

NEW 3/4" x 6" IPE HARDWOOD DECKING SECURED WITH (2) S.S. DECK SCREWS AT EACH STRINGER.

NEW 4"x 8", P.T. WOOD STRINGERS ATTACHED TO CONCRETE WITH 4"x4" BLOCKING ATTACHED TO CONCRETE WITH 3/4" DIA. x 2 3/4" TAPCON SCREWS.

EXISTING UPLAND TILING TO REMAIN.

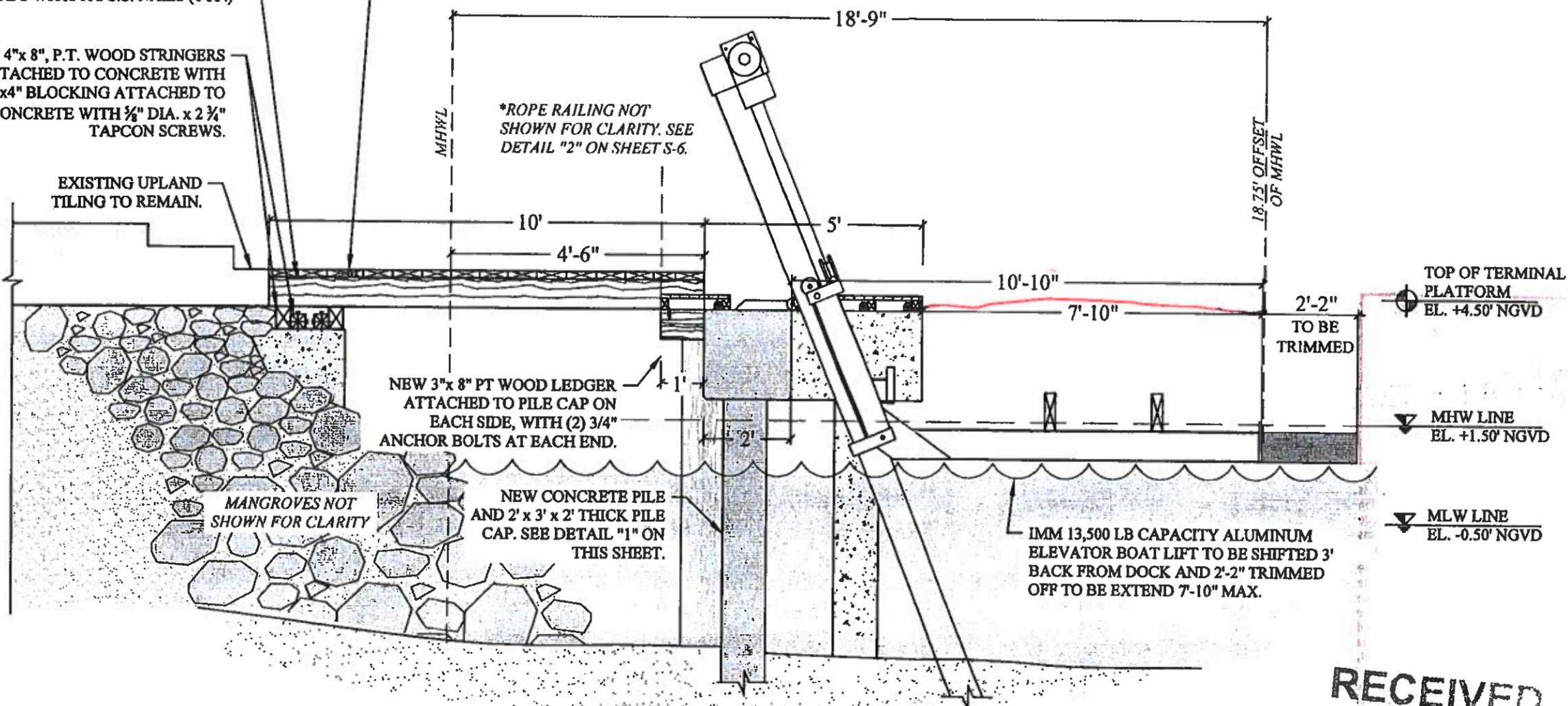
*ROPE RAILING NOT SHOWN FOR CLARITY. SEE DETAIL "2" ON SHEET S-6.

NEW 3"x 8" PT WOOD LEDGER ATTACHED TO PILE CAP ON EACH SIDE, WITH (2) 3/4" ANCHOR BOLTS AT EACH END.

MANGROVES NOT SHOWN FOR CLARITY

NEW CONCRETE PILE AND 2' x 3' x 2' THICK PILE CAP. SEE DETAIL "1" ON THIS SHEET.

IMM 13,500 LB CAPACITY ALUMINUM ELEVATOR BOAT LIFT TO BE SHIFTED 3' BACK FROM DOCK AND 2'-2" TRIMMED OFF TO BE EXTEND 7'-10" MAX.



TOP OF TERMINAL PLATFORM EL. +4.50' NGVD

MHW LINE EL. +1.50' NGVD

MLW LINE EL. -0.50' NGVD

TO BE TRIMMED

RECEIVED

DEC 12 2017

DERM Coastal Resources Section
Natural Resources Regulation & Restoration Division (NRRRD)

BOAT LIFT SECTION **A**
SCALE: 3/8" = 1'-0" **S-3**

JIMENEZ ATF DOCK AND BOATLIFT PROJECT
Coral Gables, Florida

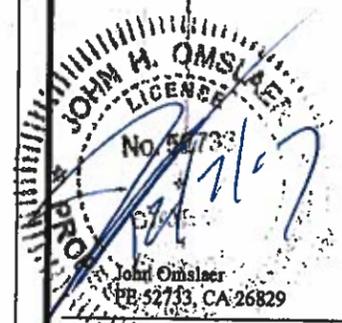
CLIENT:
MRS. JOAN JIMENEZ
7140 W. Lago Drive
Coral Gables, FL 33134

ENVIRONMENTAL CONSULTANT:
OCEAN CONSULTING, LLC
340 Minorca Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:

PROJECT ENGINEER:
DYNAMIC ENGINEERING SOLUTIONS, INC.
351 S. Cypress Road, Suite 303
Pompano Beach, FL 33060
Office - 954-545-1740
Fax - 954-545-1721

SEAL / SIGNATURE / DATE



PERMIT DRAWINGS

Issue #	Issue Date
④	October 10, 2017
⑤	October 23, 2017
⑥	November 16, 2017
⑦	December 6, 2017

PROJECT: #17-6335

DOCK AND BOAT LIFT SECTION

SCALE: AS SHOWN
SHEET NO.

S-5

**JIMENEZ ATF DOCK
AND BOATLIFT
PROJECT**
Coral Gables, Florida

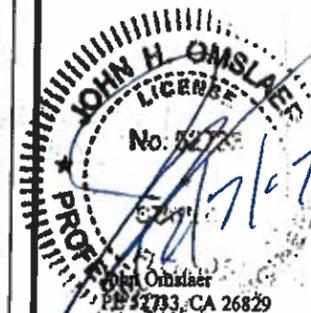
CLIENT:
MRS. JOAN JIMENEZ
7140 W. Lago Drive
Coral Gables, FL 33134

ENVIRONMENTAL CONSULTANT:
**OCEAN
CONSULTING, LLC**
340 Minorca Avenue, Suite 7
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Tel: (305) 921-9344
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351 S. Cypress Road, Suite 303
Pompano Beach, FL 33060
Office - 954-545-1740
Fax - 954-545-1721

SEAL / SIGNATURE / DATE



PERMIT DRAWINGS

Issue #	Issue Date
④	October 10, 2017
⑤	October 23, 2017
⑥	November 16, 2017
⑦	December 6, 2017

PROJECT: #17-6335

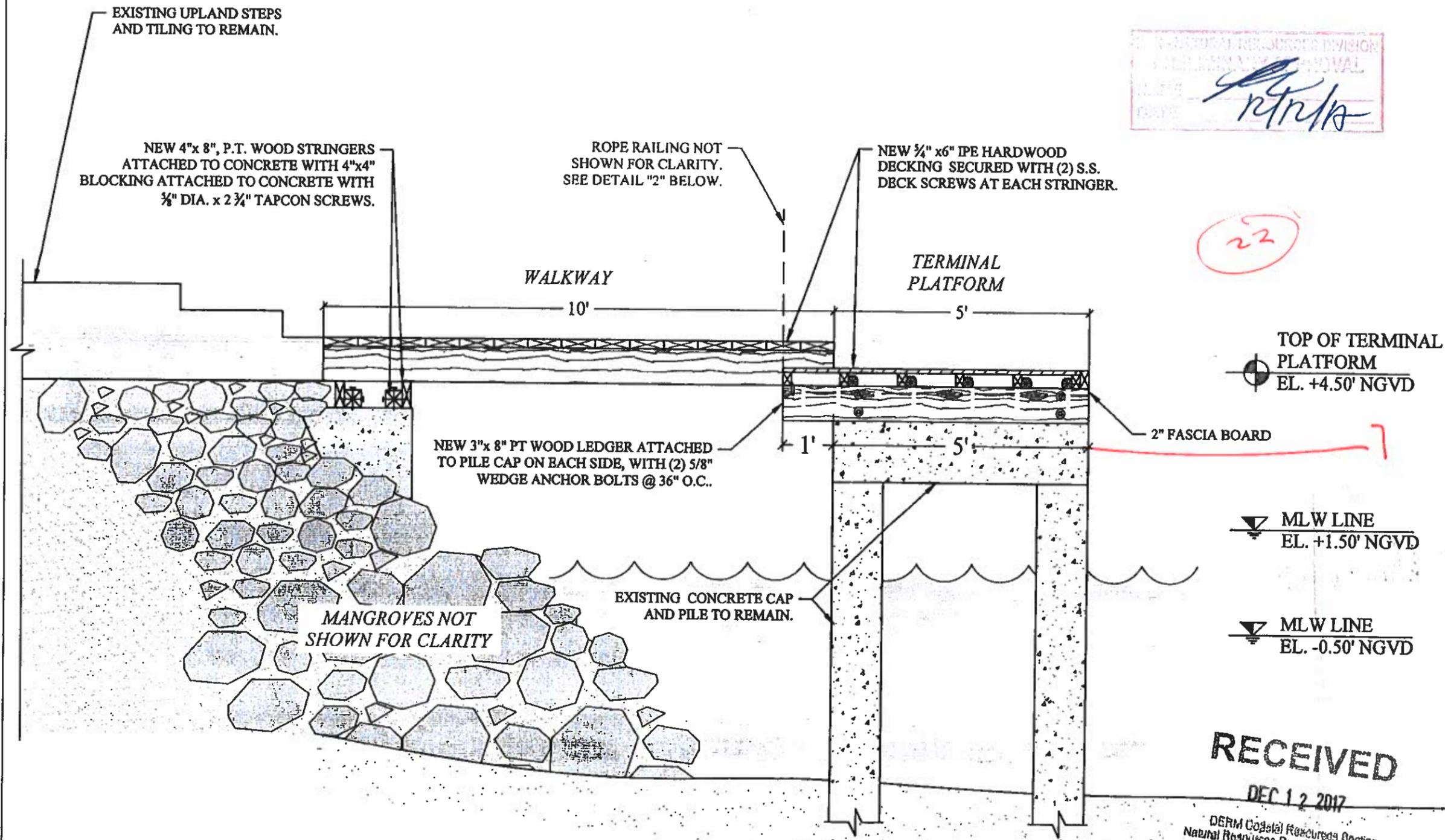
**DOCK AND WALKWAY
SECTION**

SCALE: AS SHOWN
SHEET NO.

S-6



22



TYP. DOCK SECTION DETAIL (B)
SCALE: 1/2" = 1'-0" (S-6)

PERMIT DRAWING
 PRELIMINARY
 NAME: *[Signature]*
 DATE: *[Signature]*

**JIMENEZ ATF DOCK
 AND BOATLIFT
 PROJECT**
 Coral Gables, Florida

CLIENT:
MRS. JOAN JIMENEZ
 7140 W. Lago Drive
 Coral Gables, FL 33134

ENVIRONMENTAL CONSULTANT:
**OCEAN
 CONSULTING, LLC**
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CONTRACTOR:

 PROJECT ENGINEER:

**DYNAMIC ENGINEERING
 SOLUTIONS, INC.**
 351 S. Cypress Road, Suite 303
 Pompano Beach, FL 33060
 Office - 954-545-1740
 Fax - 954-545-1721

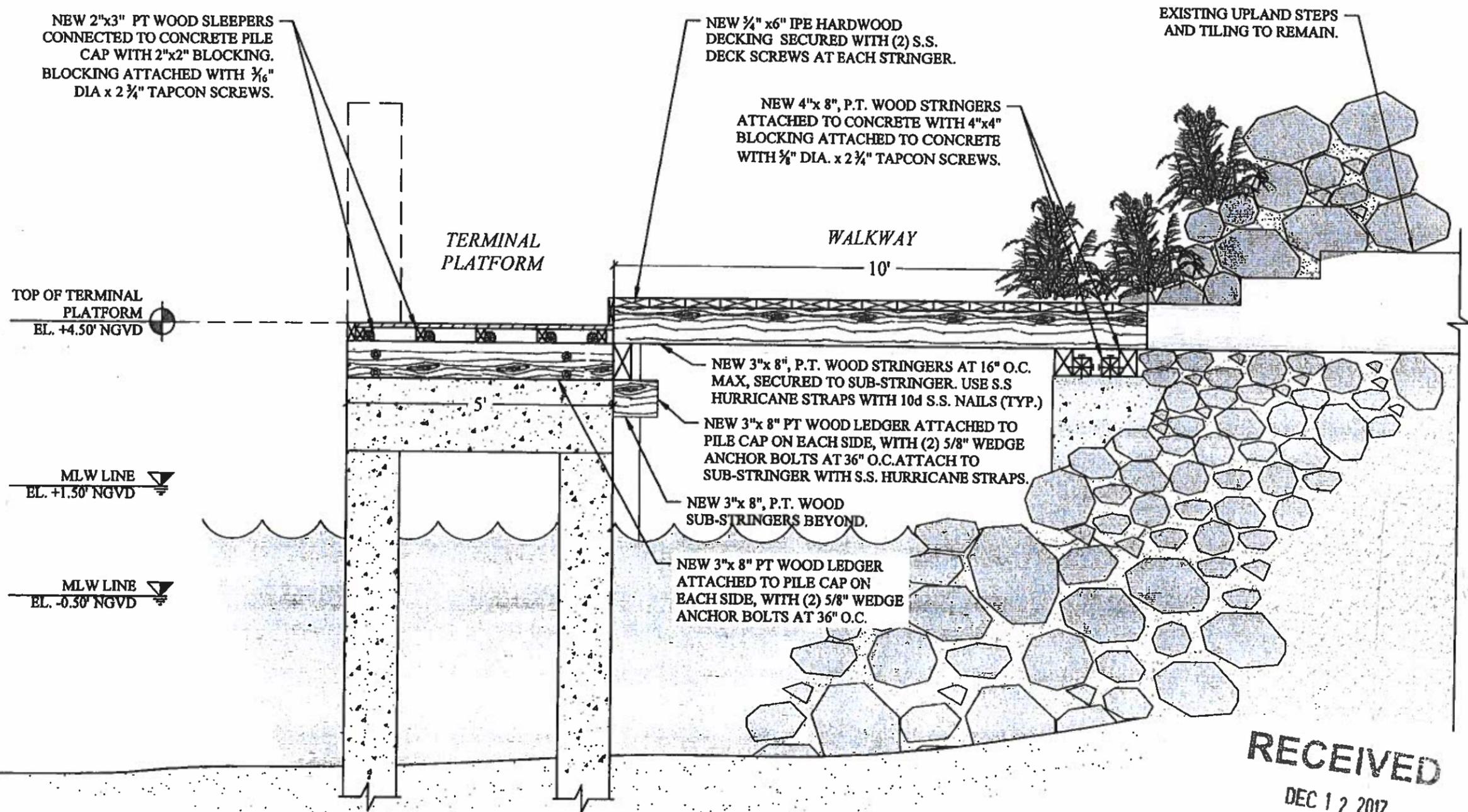
SEAL / SIGNATURE / DATE


PERMIT DRAWINGS

Issue #	Issue Date
④	October 10, 2017
⑤	October 23, 2017
⑥	November 16, 2017
⑦	December 6, 2017

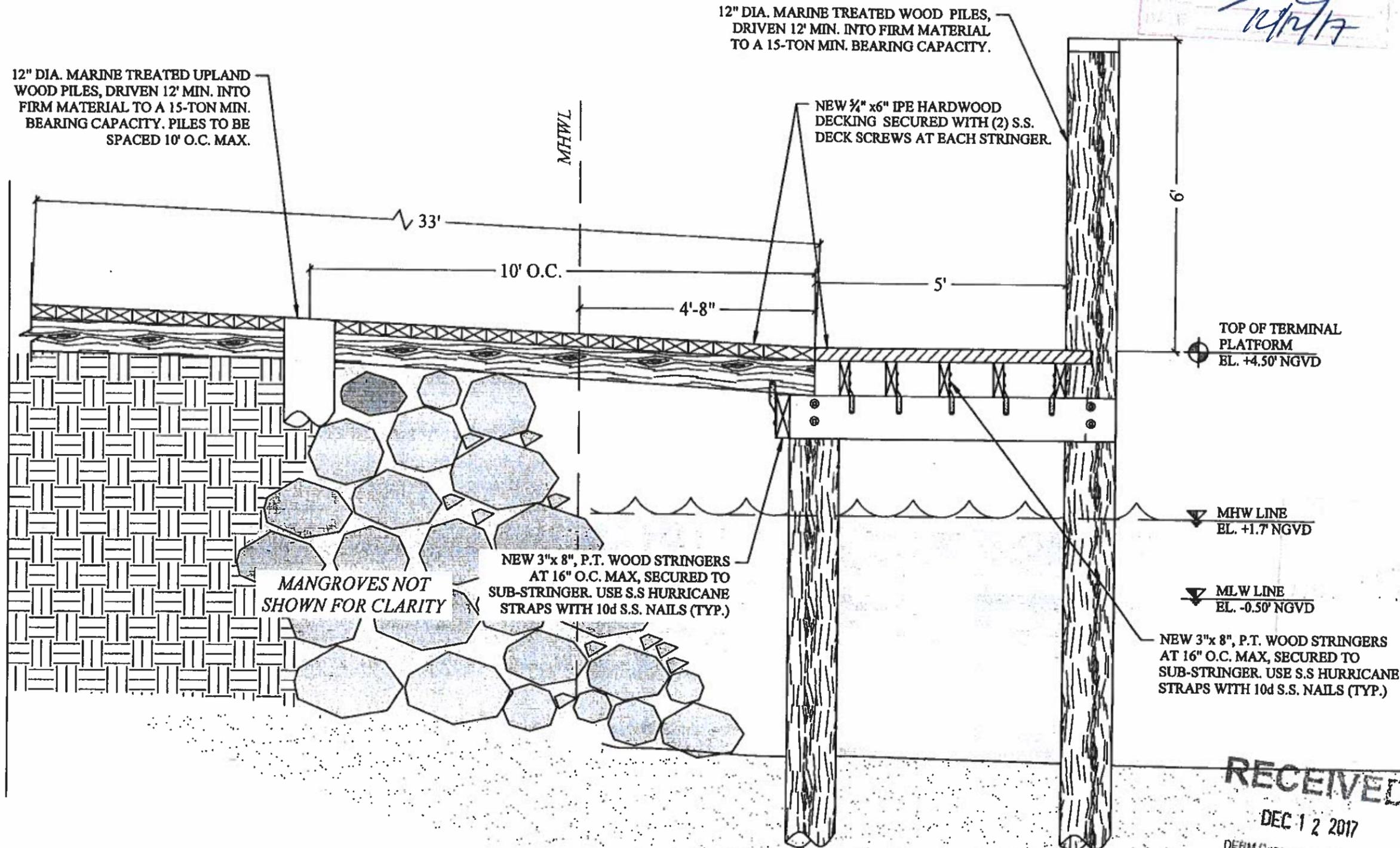
PROJECT: #17-6335

**DOCK AND WALKWAY
 SECTION**
 SCALE: AS SHOWN
 SHEET NO.
S-7



RECEIVED
 DEC 12 2017
 DERM Coastal Resources Section
 Natural Resources Regulation & Reclamation
 Division (NRRNO)

DOCK SECTION C
 SCALE: 3/4" = 1'-0" **S-7**



12" DIA. MARINE TREATED WOOD PILES,
DRIVEN 12' MIN. INTO FIRM MATERIAL
TO A 15-TON MIN. BEARING CAPACITY.

12" DIA. MARINE TREATED UPLAND
WOOD PILES, DRIVEN 12' MIN. INTO
FIRM MATERIAL TO A 15-TON MIN.
BEARING CAPACITY. PILES TO BE
SPACED 10' O.C. MAX.

NEW 3/4" x 6" IPE HARDWOOD
DECKING SECURED WITH (2) S.S.
DECK SCREWS AT EACH STRINGER.

MHWL

33'

10' O.C.

4'-8"

5'

6

TOP OF TERMINAL
PLATFORM
EL. +4.50' NGVD

MHW LINE
EL. +1.7' NGVD

MLW LINE
EL. -0.50' NGVD

NEW 3"x 8", P.T. WOOD STRINGERS
AT 16" O.C. MAX, SECURED TO
SUB-STRINGER. USE S.S HURRICANE
STRAPS WITH 10d S.S. NAILS (TYP.)

MANGROVES NOT
SHOWN FOR CLARITY

NEW 3"x 8", P.T. WOOD STRINGERS
AT 16" O.C. MAX, SECURED TO
SUB-STRINGER. USE S.S HURRICANE
STRAPS WITH 10d S.S. NAILS (TYP.)

RECEIVED

DEC 12 2017

DEPM Coastal Resources Section
Natural Resources Regulation & Restoration
DIVISION (NRRD)

TYP. DOCK SECTION DETAIL (D)
SCALE: 1/2" = 1'-0" (S-8)

**JIMENEZ ATF DOCK
AND BOATLIFT
PROJECT**

Coral Gables, Florida

CLIENT:

MRS. JOAN JIMENEZ

7140 W. Lago Drive
Coral Gables, FL 33134

ENVIRONMENTAL CONSULTANT:

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CONSULTING, LLC

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CONTRACTOR:

PROJECT ENGINEER:

DYNAMIC ENGINEERING
SOLUTIONS, INC.

351 S. Cypress Road, Suite 303
Pompano Beach, FL 33060
Office - 954-545-1740
Fax - 954-545-1721

SEAL / SIGNATURE / DATE



PERMIT DRAWINGS

Issue #	Issue Date
④	October 10, 2017
⑤	October 23, 2017
⑥	November 16, 2017
⑦	December 6, 2017

PROJECT: #17-6335

DOCK AND WALKWAY
SECTION

SCALE: AS SHOWN
SHEET NO.

S-8



FINAL

Folio #: 03-4132-025-0280

Permit Description: RESIDENTIAL*
BOATLIFT & DOCK RECONFIGURATION,
EXISTING WALKWAY TO BE REPAIRED
\$10000

Section	Approved	
	By	Date
<input checked="" type="checkbox"/> BOARD OF ARCH.	GMV	01.18.18
<input type="checkbox"/> BOARD OF ARCH.	Calvin	1-18-18
<input type="checkbox"/> MED BONUS		
<input type="checkbox"/> MED BONUS		
<input type="checkbox"/> ADMIN APPROVAL		

The Board of Architects is responsible for determining whether development applications satisfy the Design Review Standards set out in Article 5, Division 6 of the City of Coral Gables Zoning Code



PW-18-01-2498

7140 LAGO DR W #

Folio #: 03-4132-025-0280
 Permit Description: BOATLIFT & DOCK
RECONFIGURATION \$10000

EL _____
 ME _____
 PL _____

Section	Approved	
	By	Date
<input type="checkbox"/> BUILDING	eff	2/29/18
<input type="checkbox"/> CONCURRENCY		
<input type="checkbox"/> ELECTRICAL		
<input type="checkbox"/> FEMA		
<input type="checkbox"/> FIRE		
<input type="checkbox"/> HANDICAP		
<input type="checkbox"/> HISTORICAL		
<input type="checkbox"/> LANDSCAPE		
<input type="checkbox"/> MECHANICAL		
<input type="checkbox"/> PLUMBING		
<input type="checkbox"/> PUBLIC WORKS		
<input type="checkbox"/> STRUCTURAL		
<input type="checkbox"/> ZONING		
<input type="checkbox"/> OWNER BUILDER		

u 2/17/18
 2/6/18

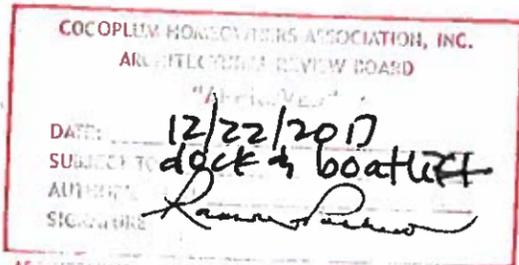
Subject to compliance with all Federal, State, County and City rules and regulations. City assumes no responsibility for accuracy of or results from these plans. THIS COPY OF PLANS MUST BE AVAILABLE ON BUILDING SITE OR AN INSPECTION WILL NOT BE MADE.

APPROVAL OF THIS SET OF PLANS DOES NOT CONSTITUTE APPROVAL OF ANY STRUCTURE OR CONDITION NOT IN COMPLIANCE WITH ANY APPLICABLE CODES

ALL AFFECTED CONSTRUCTION AREAS ARE REQUIRED TO INSTALL TREE PROTECTION MEASURE PURSUANT TO SEC. 82-32 OF THE CITY CODE OF CORAL GABLES. ALL REMOVAL AND RELOCATION OF TREES ON SITE AND ON PUBLIC PROPERTY REQUIRE A TREE PERMIT FROM THE PUBLIC SERVICES DEPARTMENT PURSUANT TO SEC. 82-31 OF THE CITY CODE.

Special Inspector required for the following:

- Special Inspector for PILING
- Special Inspector for REINFORCED MASONRY
- Special Inspector for _____



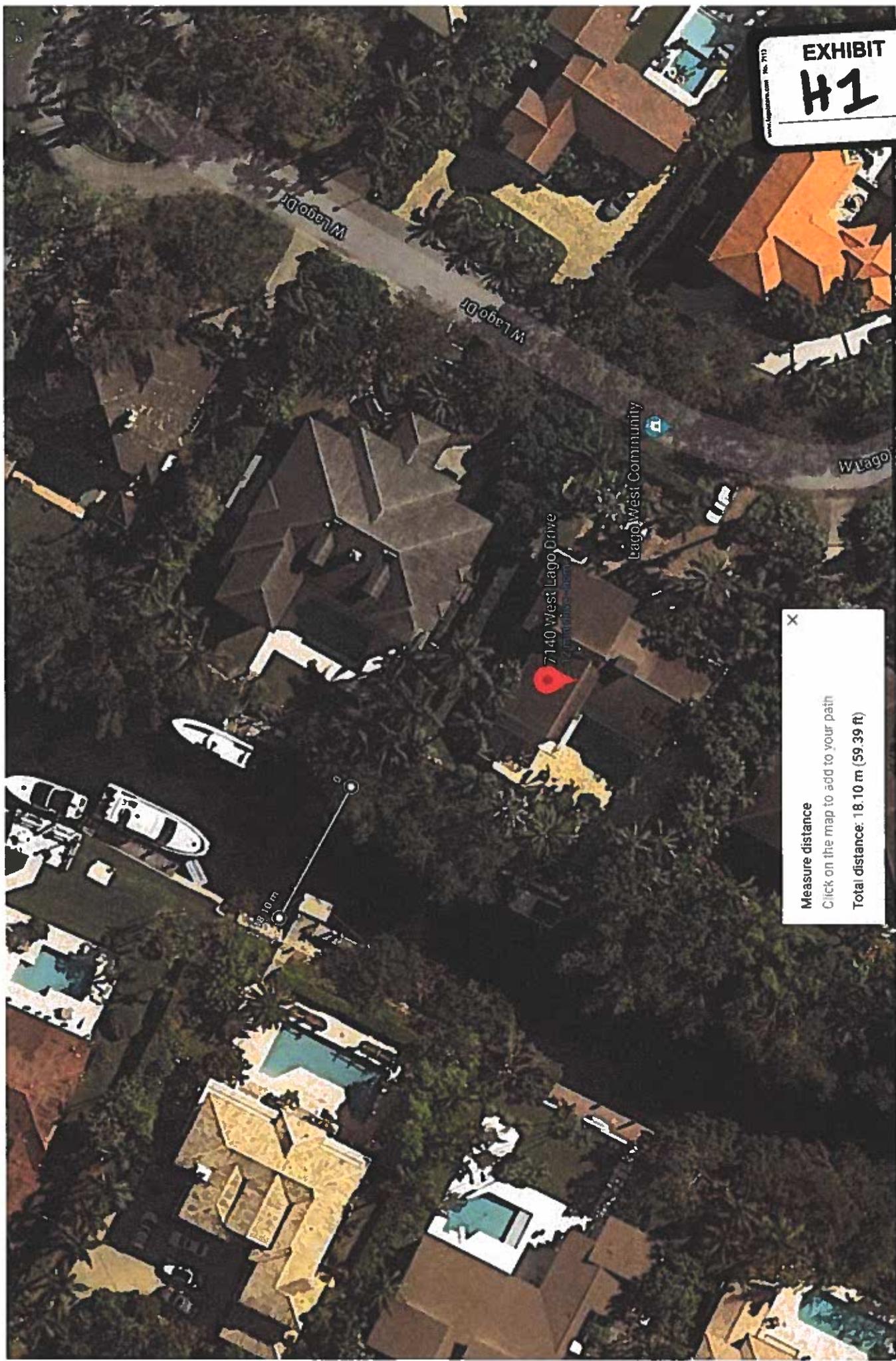
Approval by the Architectural Review Board is limited to the design and construction of the structure as set forth in the application. It does not include review of the structural adequacy of the components of any proposed structure or a final determination. Approval by the Architectural Review Board does not relieve the Owner, the Architect, the Professional Engineer, the Subcontractors or any other person of their responsibility with all applicable laws, codes and regulations of the City of Coral Gables, the State of Florida and the Federal Building Code and any other laws, codes and regulations having jurisdiction over any proposed structure or any other home site in Coral Gables, Florida. The City of Coral Gables reserves the right to revoke this approval without any prior or advance notice.



Exhibit H Aerials Index

1. 7140 W Lago Dr. - Subject Property
2. Neighborhood overview, North side
3. Neighborhood overview, South side
4. Lago Minore north
5. Lago Minore south
6. Surrounding docks - 500 feet radius

EXHIBIT
H1



X

Measure distance
Click on the map to add to your path
Total distance: 18.10 m (59.39 ft)

18.10 m

77140 West Lago Drive

Lago West Community

W Lago Dr

W Lago Dr

W Lago



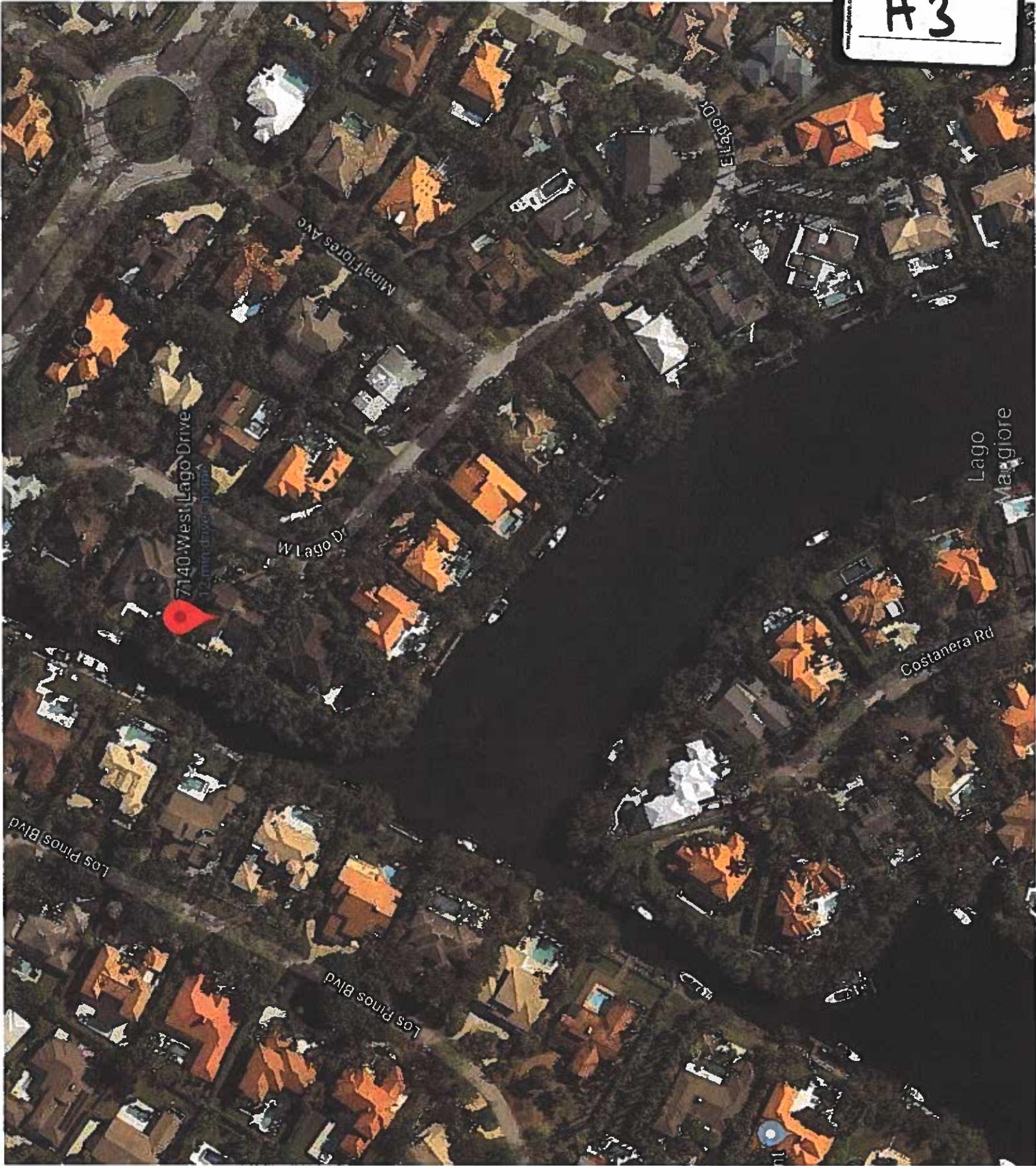
EXHIBIT
#2

7140 West Lago Drive

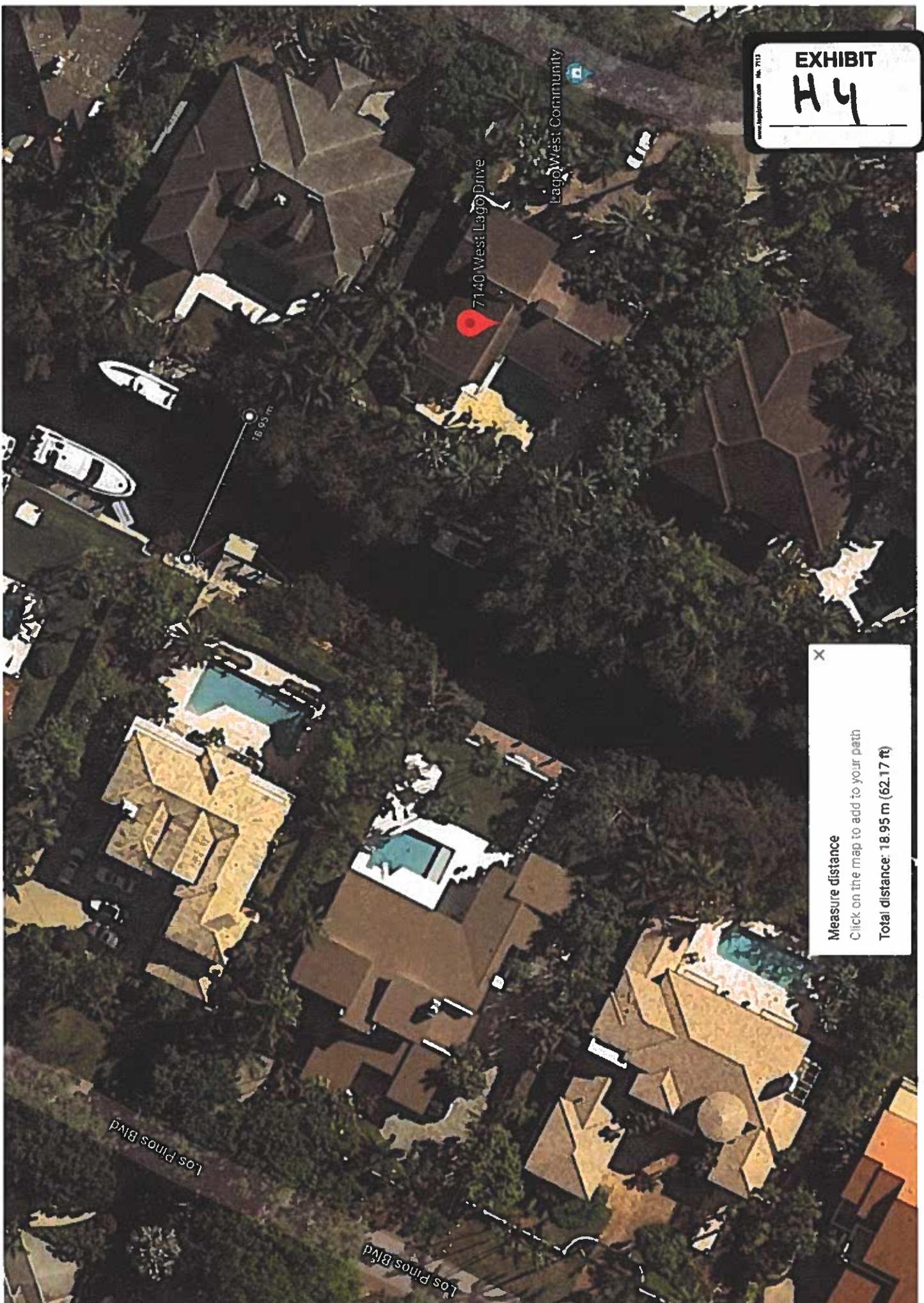
Luis L. Bacardi
Productions

Google

EXHIBIT
H3



www.mapbox.com No. 713
EXHIBIT
H 4



7140 West Lago Drive

Lago West Community

18.95 m

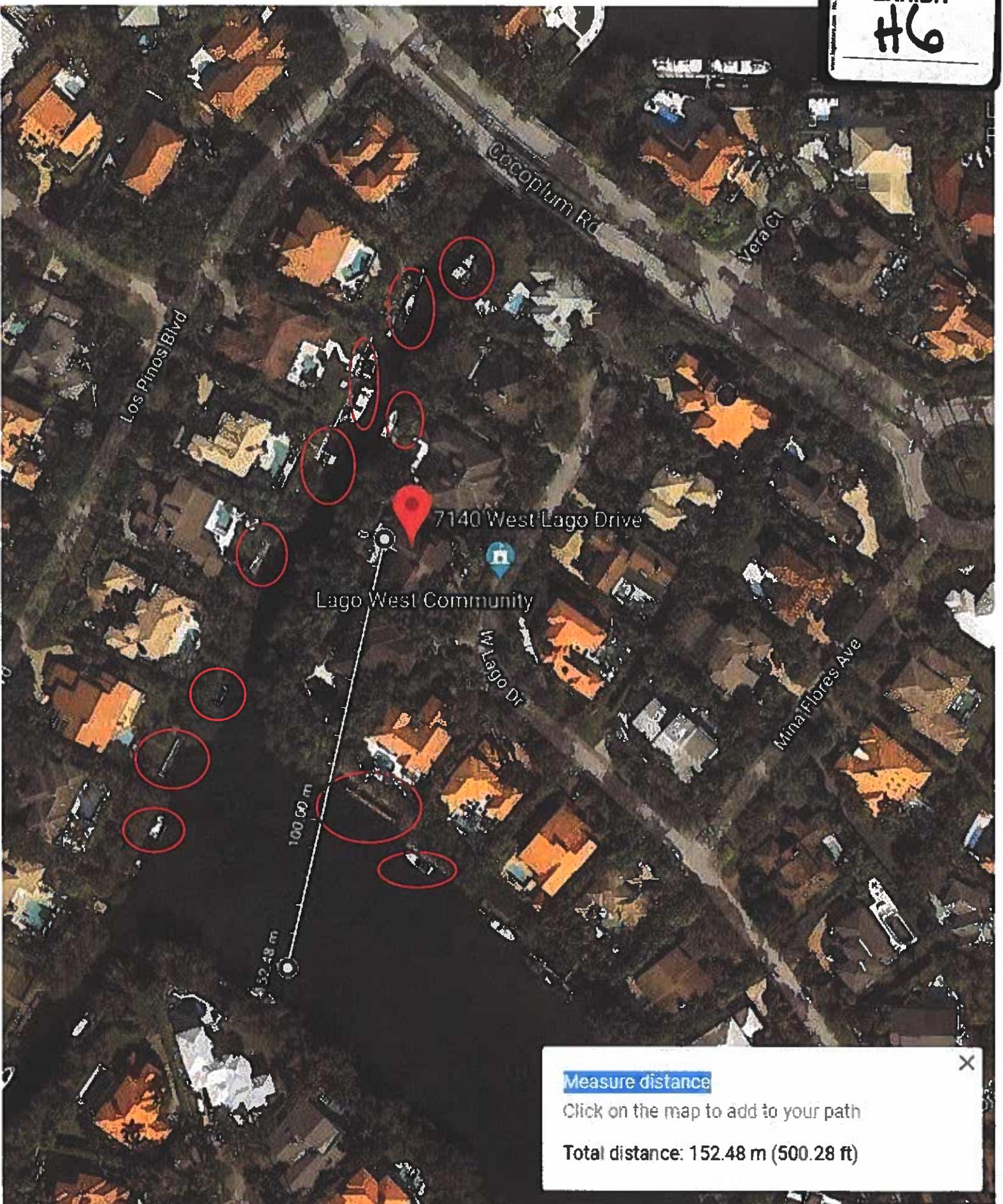
X
Measure distance
Click on the map to add to your path
Total distance: 18.95 m (62.17 ft)

Los Pinos Blvd

Los Pinos Blvd

EXHIBIT
HS





[Measure distance](#) ✕

Click on the map to add to your path

Total distance: 152.48 m (500.28 ft)

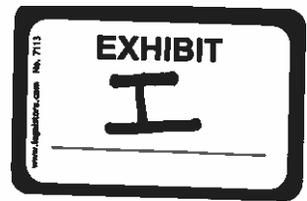
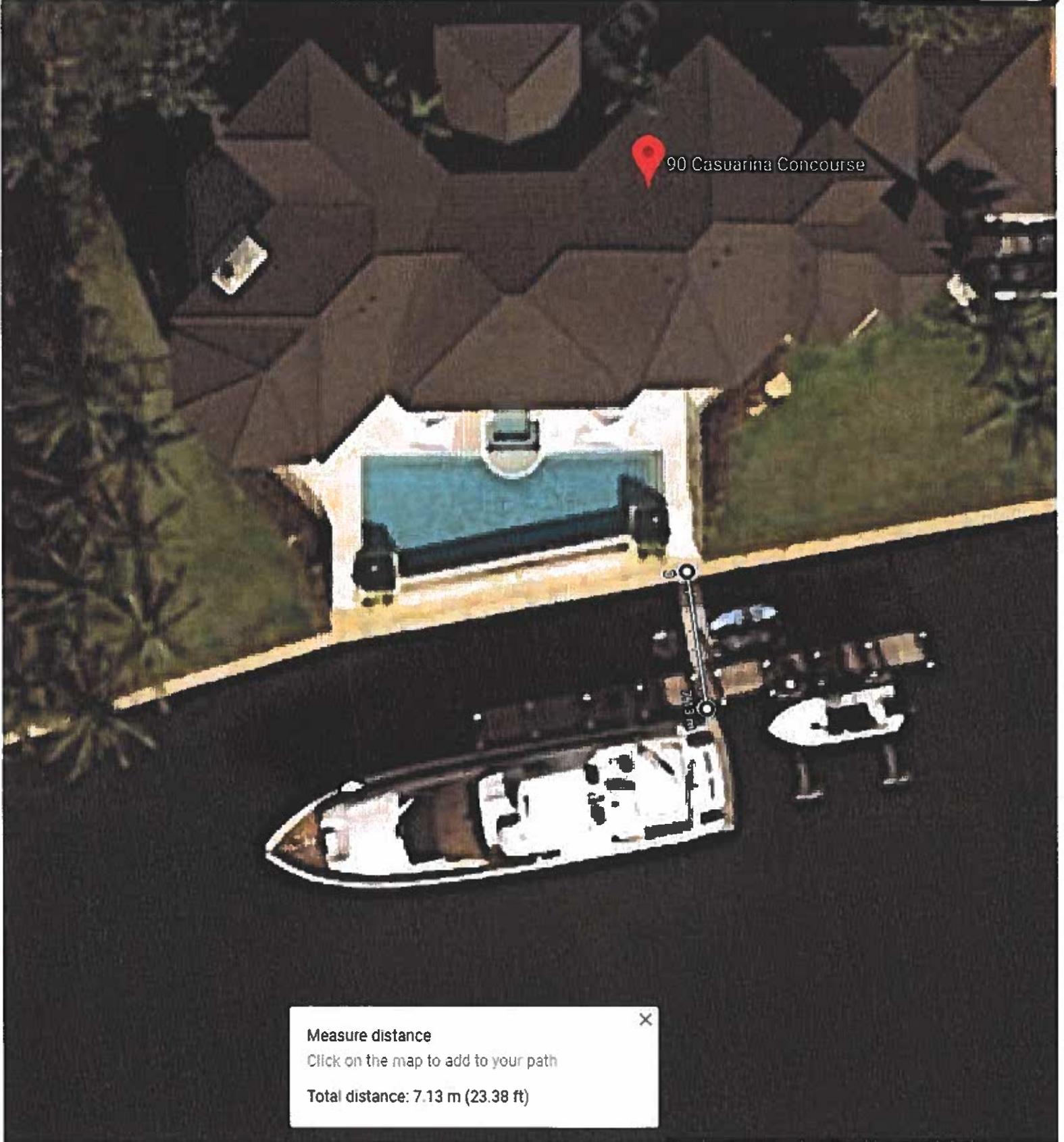


Exhibit I - Variances Index

	Address	Development Order	Variance type
I1	90 Casuarina Concourse	#8579-Z	More than 15 ft. waterward projection
I2	128 Paloma Drive	BA 11-06-6346	More than 15 ft. waterward projection
I3	136 Paloma Drive	BA 09-11-1379	More than 15 ft. waterward projection
I4	9501 Journey's End Lane	# 8684 -Z	More than 15 ft. waterward projection
I5	128 Paloma Drive	BA 11-06-6346	less than 75 ft. navigable waterway
I6	136 Paloma Drive	BA 09-11-1379	less than 75 ft. navigable waterway
I7	460 Solano Prado	BA 09-10-3709	less than 75 ft. navigable waterway
I8	435 Marquesa Drive	BA 09-09-1722	less than 75 ft. navigable waterway

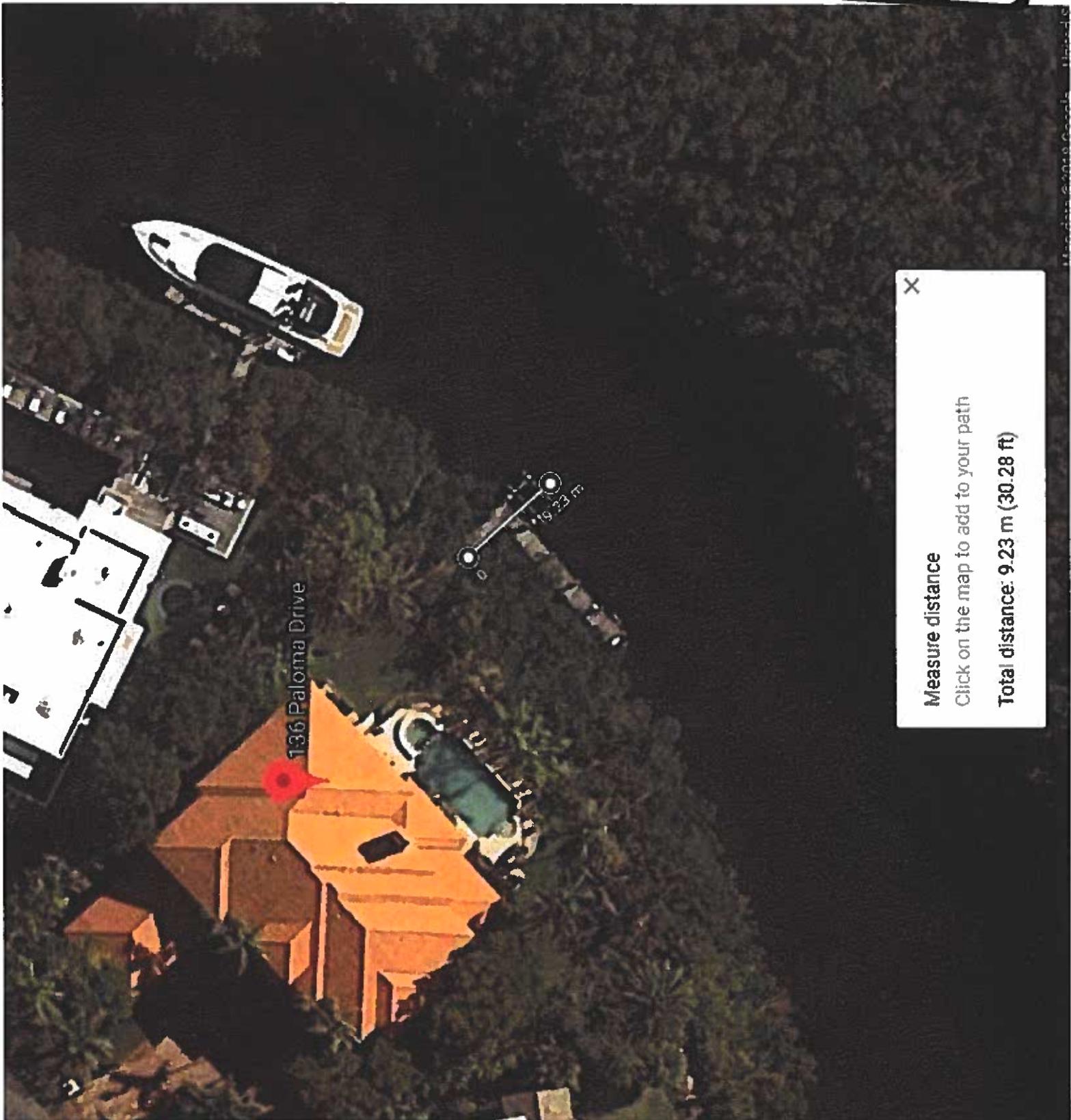


90 Casuarina Concourse

Measure distance ✕
Click on the map to add to your path
Total distance: 7.13 m (23.38 ft)

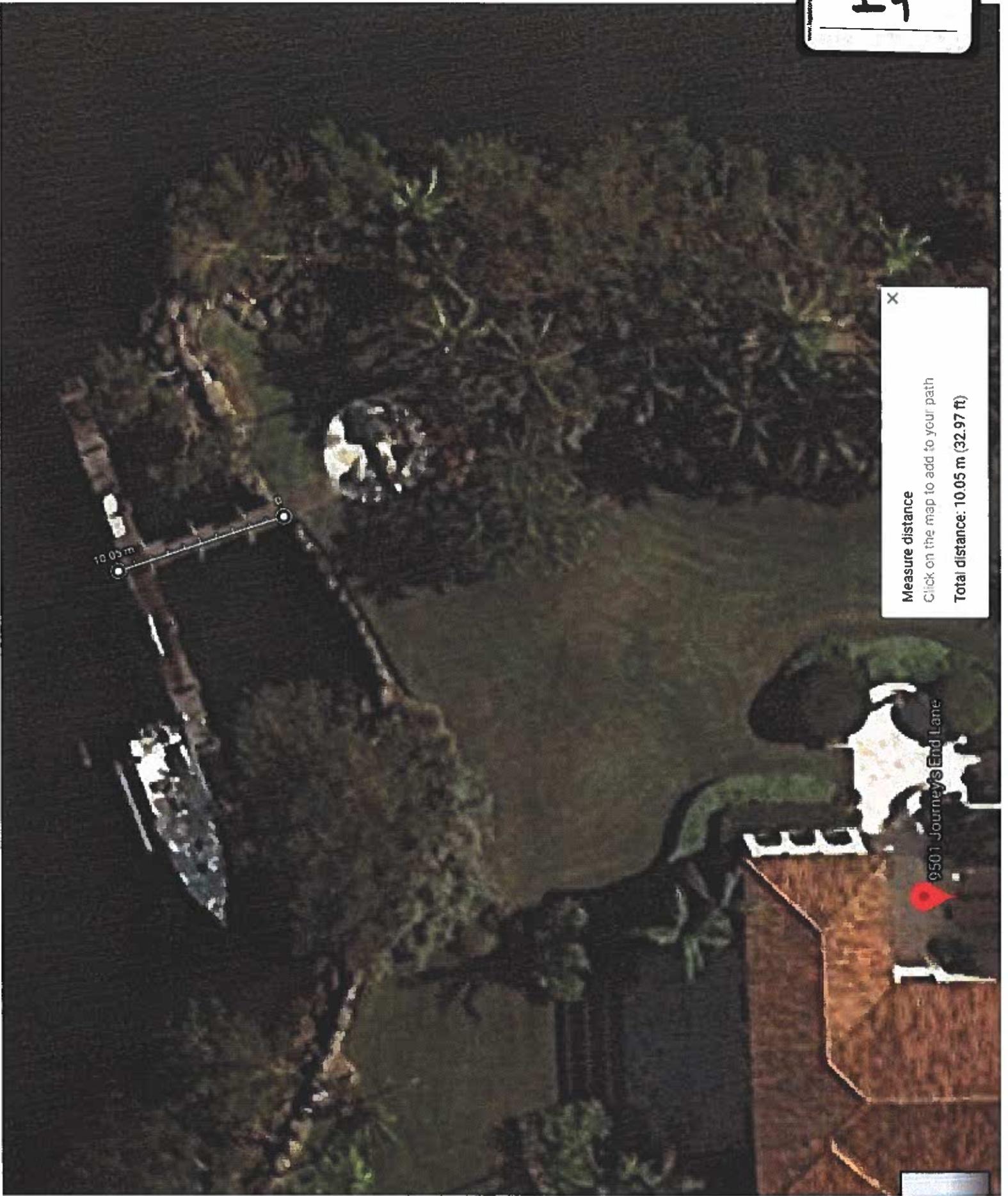


Measure distance ✕
Click on the map to add to your path
Total distance: 6.72 m (22.04 ft)



X

Measure distance
Click on the map to add to your path
Total distance: 9.23 m (30.28 ft)



X
Measure distance
Click on the map to add to your path
Total distance: 10.05 m (32.97 ft)

9501 Journey's End Lane

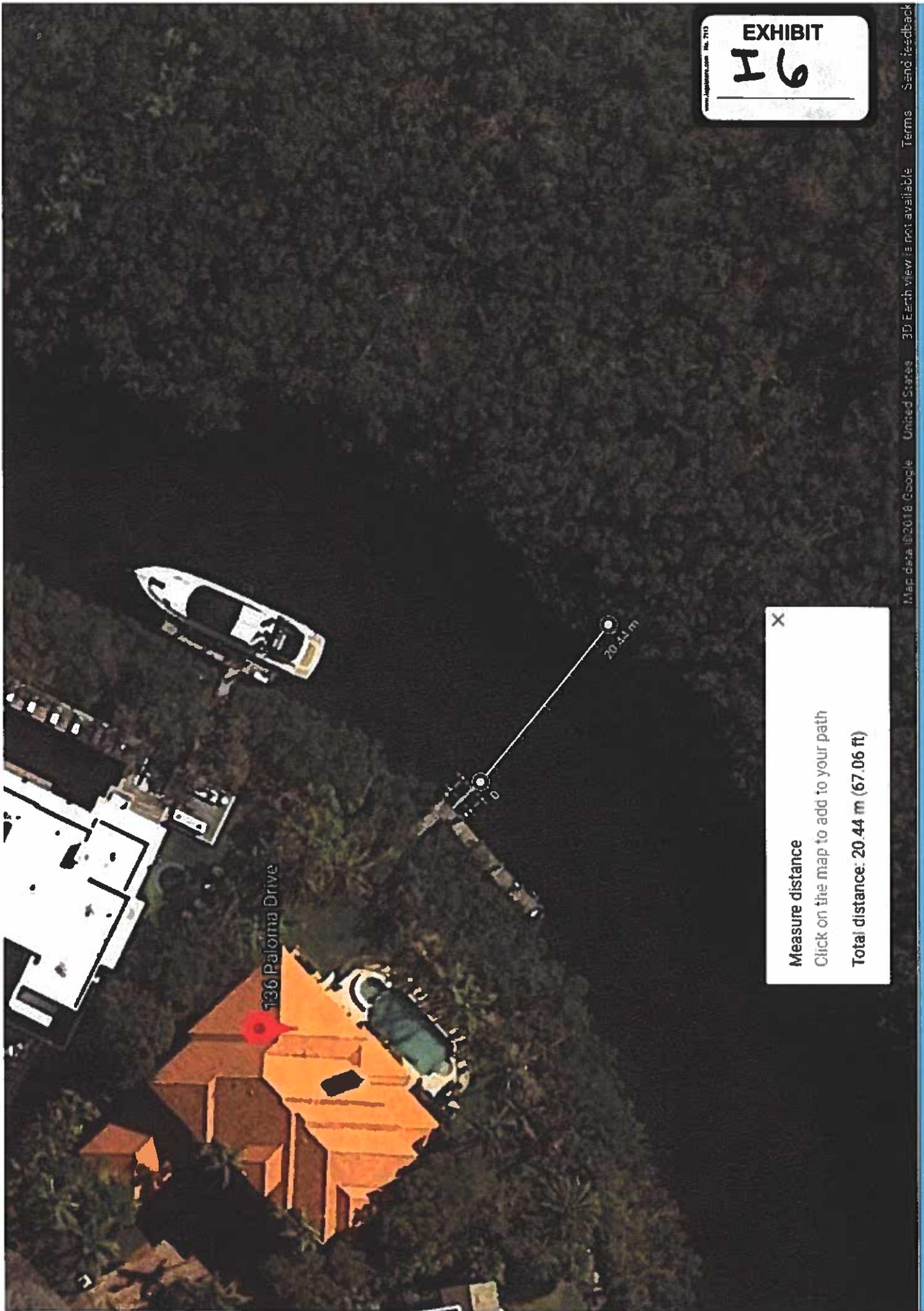


X

Measure distance
Click on the map to add to your path

Total distance: 16.80 m (55.11 ft)

www.google.com No. 7113
EXHIBIT
I 6



136 Paloma Drive

20.44 m

X

Measure distance
Click on the map to add to your path

Total distance: 20.44 m (67.06 ft)



460 Solano Prado

21.79 m

X

Measure distance
Click on the map to add to your path

Total distance: 21.79 m (71.48 ft)

EXHIBIT
I 8

X

Measure distance
Click on the map to add to your path

Total distance: 20.51 m (67.30 ft)

435 Marquesa Drive

20.51 m

10 Esan!



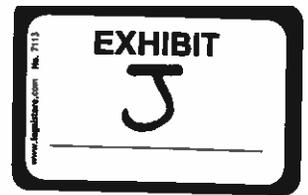


Exhibit J - Canals Index

1. Canal - less than 75 ft. navigable waterway - Sunrise Court and Sunrise Terrace
2. Canal - less than 75 ft. navigable waterway - Sunrise Court and Sunrise Place
3. Canal - less than 75 ft. navigable waterway - Prado Blvd and Cocoplum Road



EXHIBIT
31

X
Measure distance
Click on the map to add to your path
Total distance: 21.23 m (69.65 ft)



Sunrise Ct

Sunrise Ct

Sunrise Ct

Sunrise Pl

Sunrise Pl

X

Measure distance
Click on the map to add to your path
Total distance: 19.08 m (62.60 ft)



Measure distance ✕
Click on the map to add to your path
Total distance: 18.63 m (61.13 ft)