

# CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN



**1. 6925 SUNRISE CT. (NORTH OF PROPERTY)**



**2. 6938 SUNRISE CT. (SOUTH OF PROPERTY)**



**3. 6922 SUNRISE CT. (NORTH WEST OF PROPERTY)**



**4. 6934 SUNRISE CT. (WEST OF PROPERTY)**



**5. 6941 SUNRISE CT. (SOUTH OF PROPERTY)**



**6. 6946 SUNRISE CT. (SOUTH EAST OF PROPERTY)**



## SUNRISE COURT - NEIGHBORHOOD CONTEXT MAP

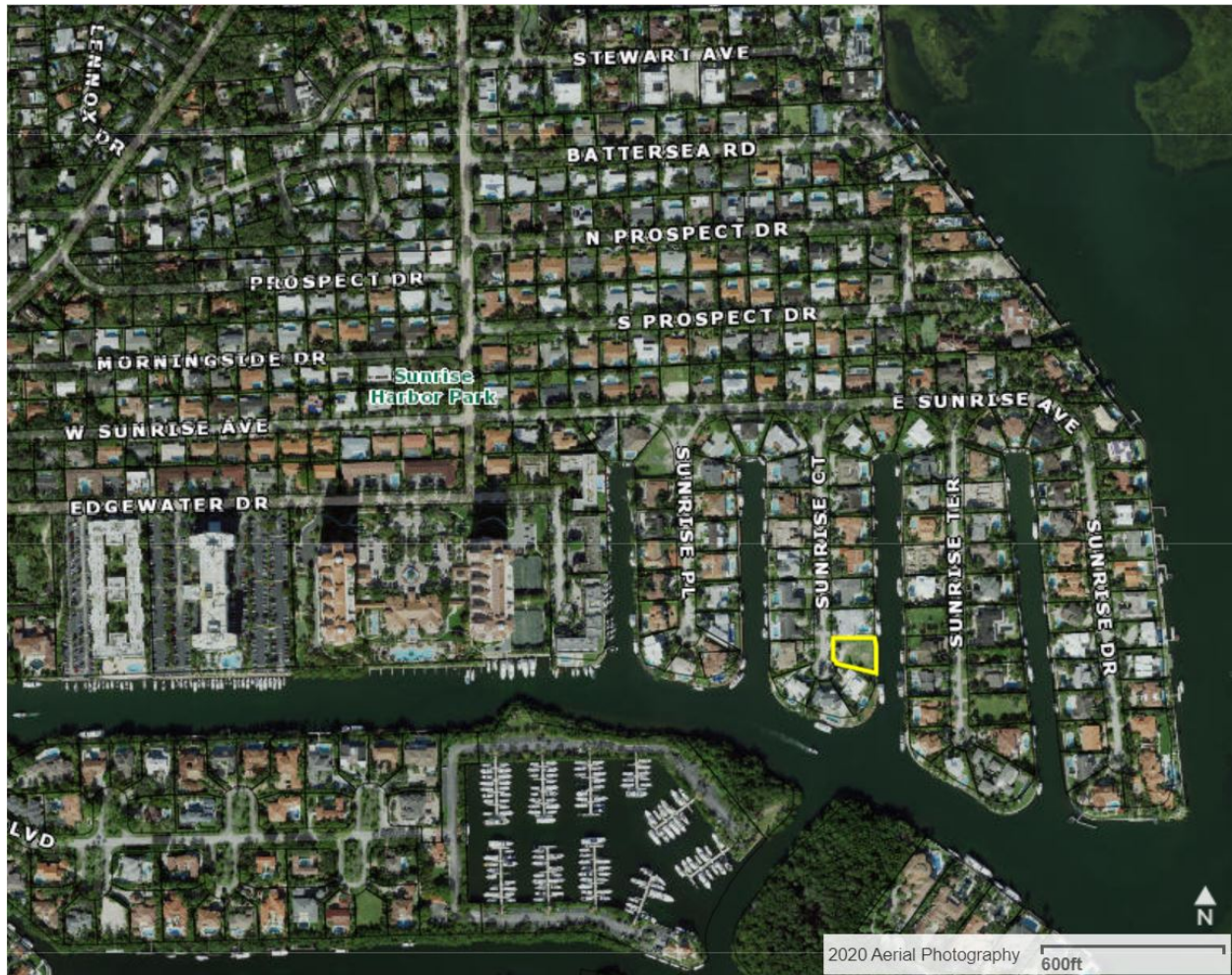
# CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN

## Shaner Residence

6935 Sunrise Court, Coral Gables, 33133

### Location Map:



# CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN



**6935 SUNRISE COURT - PARTIAL FRONT (EAST)**



**6935 SUNRISE COURT – PARTIAL FRONT (EAST)**



**6935 SUNRISE COURT - REAR SEAWALL (NORTH )**



**6935 SUNRISE COURT – FROM REAR (NORTH WEST)**



**6935 SUNRISE COURT – SEAWALL (SOUTH)**



**6935 SUNRISE COURT – REAR (SOUTH WEST)**

# SHANER RESIDENCE

6935 SUNRISE COURT  
CORAL GABLES, FLORIDA 33133

100% DESIGN DEVELOPMENT  
B.O.A PRELIMINARY SET  
JUNE 2021

CMA Design Studio, Inc.

ARCHITECTURE      PLANNING      INTERIOR DESIGN

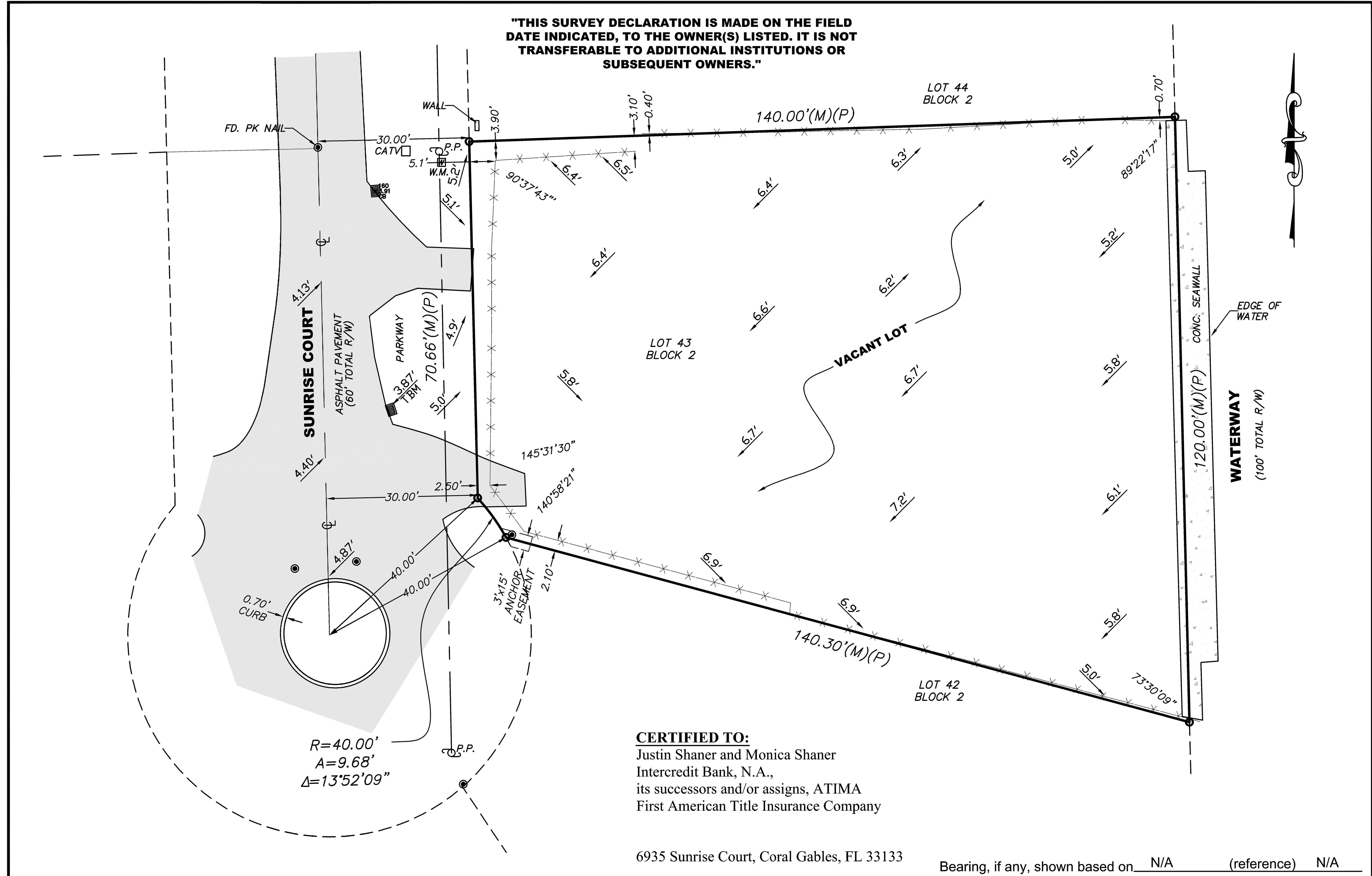
232 Andalusia Avenue • Suite 101 • Coral Gables, Florida 33134 • T: 305.448.4200 • F: 305.448.4215

OWNER'S SIGNATURE, 100% D.D.

DATE \_\_\_\_\_

OWNER'S SIGNATURE AT 100% DESIGN DEVELOPMENT  
ACKNOWLEDGES THAT OWNER IS SATISFIED AND  
APPROVES THE DESIGN OF THE PROJECT AND THAT  
CMA DESIGN STUDIO SHALL PROCEED WITH THE  
CONSTRUCTION DOCUMENTS PHASE.

\*IF OWNER SHOULD DECIDE TO MAKE ANY ADDITIONAL DESIGN CHANGES DURING THE CONSTRUCTION DOCUMENT PHASE, WILL BE CONSIDERED ADDITIONAL SERVICES AND BILLED ACCORDINGLY.



**NOTE:**

a) All clearances and/or encroachments shown hereon are of the apparent physical use, fence, legal ownership, or otherwise noted.  
b) The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.  
c) Code restrictions and title search not reflected in this survey  
d) Underground utilities, improvements, footings and encroachments, if any not located.  
e) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or damage and does not create liability on the part of the firm or employee thereof, for any damage that occurs from reliance on said information.  
f) Lands depicted hereon were surveyed per legal description provided by client and no claims as to ownership or matters of title are made or implied.

**LEGEND**

A = Arc  
ASPH = Asphalt  
BM = Bench Mark  
BRG = Bearing  
CATV = Catch basin  
CB = Catch basin  
CBS = Concrete Block Structure  
CH = Chord  
Chatta = Chattahoochee  
CL = Center Line  
CLF = Chain Link Fence  
CL = Clear  
CONC = Concrete  
D = Delta  
Ø = Diameter  
DH = Drill Hole  
DME = Drainage & Maintenance Easement  
E.B. = Electric Box  
Enc. = Encroachment  
F.F. = Finish Floor  
F.H. = Fire Hydrant  
F.I.R. = Found Iron Rebar  
FPL = Florida Power & Light  
F.I.P. = Found Iron Pipe  
FD. = Found  
L.P. = Light Pole  
M = Measured  
M.F. = Metal Fence  
M.H. = Manhole  
M = Monument Line  
MON. = Monument  
N/A = Not Applicable  
N/D = Nail & Disc  
NTS = Not to Scale  
O/S = Offset  
O.U.L. = Overhead Utility Lines  
OH = Overhang  
P = Plat  
PB = Plat Book  
PC = Point of Curvature  
P.C.C. = Point of Compound Curvature  
PCP = Permanent Control Point  
PG = Page  
P.I. = Point of Intersection  
PL = Property Line  
PL = Planter  
P.O.B. = Point of Beginning  
P.O.C. = Point of Commencement  
P.P. = Power Pole  
P.R.M. = Permanent Reference Monument  
P.R.C. = Point of Reverse Curvature  
PT = Point of Tangency  
R = Radius  
R/R = Railroad  
PSM = Professional Surveyor Mapper  
R/W = Right-of-Way  
SWK = Sidewalk  
Sec. = Section  
(TYP) = Typical  
T = Tangent  
U.E. = Utility Easement  
W.F. = Wood Fence  
W.M. = Water Meter  
W.V. = Water Valve  
X = Denotes Spot Elevations Taken

This property described as:  
Lot 43, Block 2,  
REVISED PLAT OF  
SUNRISE HARBOUR,  
according to the Plat thereof  
as recorded in Plat Book 65, Page 22,  
of the Public Records of Miami-Dade County, Florida.

Elevations shown refer to N.G.V.D. 1929.  
BM # 512 (CORAL GABLES)  
Elevation = 6.10 ft (N.G.V.D.)

REVISIONS:					TOPOGRAPHIC SURVEY. I HEREBY CERTIFY: that this survey meets the standards of practice as set forth by the FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.  RENE AIGUESVIVES 12/05/19 PROFESSIONAL SURVEYOR AND MAPPER No. 4327. State of Florida.	Alvarez, Aiguesvives and Associates, Inc. Surveyors, Mappers and Land Planners 9789 Sunset Drive, Miami, FL 33173 Phone 305.220.2424 Fax 305.552.8181 L.B. No. 6867 / E-mail: aaasurvey@aol.com			
FLOOD ZONE AE	COMM. No. 120639	PANEL No. 0478	SUFFIX: L	Not valid unless it bears the signature and the original raised seal of Florida licensed Surveyor and Mapper.		Field Date 12/04/19	Scale: 1"= 20'	Drawn by: P.A.	Drwg. No. 19-24517
F.I.R.M.DATE 09 / 11 / 09	F.I.R.M.INDEX 09 / 11 / 09	BASE ELEV. + 11 FT N.G.V.D.							

DATE	
NO.	
JOB NO.	2005
DRAWN BY	CM, AM
DATE	02-15-21
CHECKED	CM, PR

**CMA Design Studio, Inc.**  
ARCHITECTURE PLANNING INTERIOR DESIGN  
232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200 F: 305.448.4215

**SHANER RESIDENCE**  
6935 Sunrise Court  
Coral Gables, Florida 33133  
TITLE: SURVEY

SEAL  
Lynsie Christine Com  
FL Architect  
AR99059  
AA-50007350

SHEET NO.:  
G1.0

# INDEX OF DRAWINGS

## ARCHITECTURAL DRAWINGS

	COVER
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R3.0	EXTERIOR RENDERING
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R5.0	EXTERIOR RENDERING
R6.0	EXTERIOR RENDERING
R7.0	EXTERIOR RENDERING
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G1.0	SURVEY
G1.1	ZONING PLANS
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A6.0	BUILDING SECTIONS
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A7.4	WALL SECTION
A7.8	WALL SECTION
A10.0	DOOR & WINDOW SCHEDULES

## LANDSCAPE DRAWINGS

LCVR	COVER
L001	GENERAL SITE NOTES
L100	TREE DISPOSITION NOTES
L101	TREE DISPOSITION PLAN & SCHEDULE
L300	MATERIALS PLAN
L700	PLANTING SCHEDULE & NOTES
L701	TREE & PALM PLANTING PLAN
L703	SECOND LEVEL PLANTING PLAN



1 EXTERIOR RENDERING  
R1.0 | R1.0 N.T.S

JOB NO.	2005	NO.	DATE
DRAWN BY	CM, AM		
CHECKED	CM, PR		
DATE	06-08-21		

JOB NO.	2005	NO.	DATE
DRAWN BY	CM, AM		
CHECKED	CM, PR		
DATE	06-08-21		

CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN

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SHANER RESIDENCE

6935 Sunrise Court

Coral Gables, Florida 33133

TITLE: EXTERIOR RENDERING

SEAL

Lynsie Christine Com  
FL Architect  
AR990059  
AA-26060730

SHEET NO.:

R1.0



1 EXTERIOR RENDERING  
R2.0 | R2.0 N.T.S

JOB NO.	2005	NO.	DATE
DRAWN BY	CM, AM		
DATE	06-08-21		
CHECKED	CM, PR		

ARCHITECTURE	PLANNING	INTERIOR DESIGN
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CMA Design Studio, Inc.		
ARCHITECTURE	PLANNING	INTERIOR DESIGN
222 Andalusia Avenue Suite 101 Coral Gables, Florida 33134	T: 305.448.4200 F: 305.448.4215	

SHANER RESIDENCE	6935 Sunrise Court
	Coral Gables, Florida 33133
TITLE: EXTERIOR RENDERING	

SEAL
Lynise Christine Com FL Architect AR990059 AA-20000730

SHEET NO.:
R2.0



1 EXTERIOR RENDERING  
R3.0/R3.0 N.T.S

JOB NO.	2005	DRAWN BY	CM, AM	DATE	06-08-21	CHECKED	CM, PR
NO.							
DATE							

CMA Design Studio, Inc.	
ARCHITECTURE	PLANNING
222 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200 F: 305.448.4215	

SHANER RESIDENCE	
6935 Sunrise Court	
Coral Gables, Florida 33133	
TITLE: EXTERIOR RENDERING	

SEAL
Lynise Christine Com FL Architect AR990059 AA-26060730

SHEET NO.:
R3.0



1 EXTERIOR RENDERING  
R4.0 | R4.0 N.T.S

SEAL		JOB NO.		2005		NO.		DATE	
Lynise Christine Com FL Architect AR990059 AA-20000730		DRAWN BY		CM, AM					
SHEET NO.:		DATE		06-08-21					
R4.0		CHECKED		CM, PR					
SHANER RESIDENCE 6935 Sunrise Court Coral Gables, Florida 33133 TITLE: EXTERIOR RENDERING									
CMA Design Studio, Inc. ARCHITECTURE PLANNING INTERIOR DESIGN 222 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200 F: 305.448.4215									



1 EXTERIOR RENDERING  
R5.0 | R5.0 N.T.S

SEAL		SHEET NO.:		R5.0	
Lynise Christine Com FL Architect AR990159 AA-20000730					
SHANER RESIDENCE 6935 Sunrise Court Coral Gables, Florida 33133 TITLE: EXTERIOR RENDERING		CMA Design Studio, Inc. ARCHITECTURE PLANNING INTERIOR DESIGN 222 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200 F: 305.448.4215			
JOB NO.	2005	NO.		DATE	
DRAWN BY	CM, AM	CHECKED		DATE	
	06-08-21				
	CM, BR				



1 EXTERIOR RENDERING  
R6.0 / R6.0 N.T.S.

SEAL		JOB NO.		2005		NO.		DATE	
Lynise Christine Com FL Architect AR990059 AA-20000730		DRAWN BY		CM, AM					
SHEET NO.:		DATE		06-08-21					
R6.0		CHECKED		CM, PR					

SHANER RESIDENCE  
6935 Sunrise Court  
Coral Gables, Florida 33133

TITLE: EXTERIOR RENDERING

CMA Design Studio, Inc.  
ARCHITECTURE PLANNING INTERIOR DESIGN

232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200 F: 305.448.4215



1 EXTERIOR RENDERING  
R7.0 | R7.0 N.T.S

SEAL		JOB NO.		2005		NO.		DATE	
Lynsie Christine Com FL Architect AR990159 AA-26060730		DRAWN BY		CM, AM		NO.		DATE	
		CHECKED		CM, PR		NO.		DATE	
SHEET NO.:		CMA Design Studio, Inc.							
R7.0		ARCHITECTURE PLANNING INTERIOR DESIGN							
		232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200 F: 305.448.4215							
		SHANER RESIDENCE 6935 Sunrise Court Coral Gables, Florida 33133 TITLE: EXTERIOR RENDERING							



1 EXTERIOR RENDERING  
R8.0 | R8.0 N.T.S

SEAL		JOB NO.		2005		NO.		DATE	
Lynsie Christine Com FL Architect AR990059 AA-20000730		DRAWN BY		CM, AM					
SHEET NO.:		DATE		06-08-21					
R8.0		CHECKED		CM, PR					

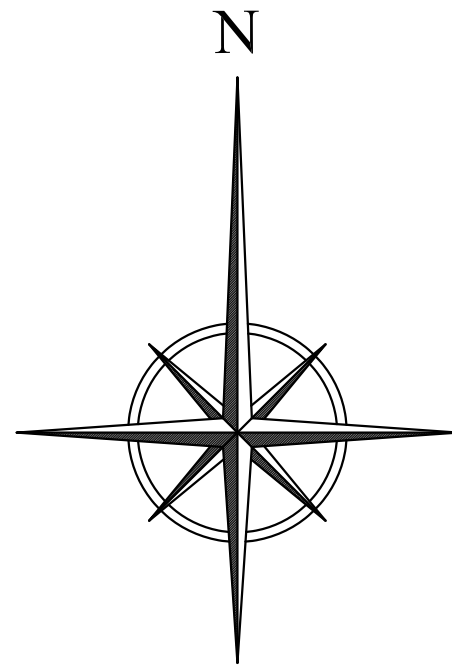
SHANER RESIDENCE  
6935 Sunrise Court  
Coral Gables, Florida 33133

TITLE: EXTERIOR RENDERING

CMA Design Studio, Inc.  
ARCHITECTURE PLANNING INTERIOR DESIGN

222 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200 F: 305.448.4215

JOB NO.		2005		NO.		DATE	
DRAWN BY		CM, AM					
DATE		06-08-21					
CHECKED		CM, PR					



PROPERTY ADDRESS

6935 SUNRISE CT,  
CORAL GABLES, FL 33156

LEGAL DESCRIPTION

SUNRISE HARBOUR REV PL PB 65-22  
LOT 43 BLK 2  
LOT SIZE 13,600 SQ.FT

FOLIO NUMBER

03-4129-041-0630

FEMA FIRM ZONE

"AE"- BASE FLOOD ELEVATION 11'-0" + 1'-0"

ZONING LEGEND

NET SITE AREA (LOT SIZE): 13,770 SQ.FT.  
SFR - SINGLE FAMILY - GENERAL

SETBACKS:

FRONT SETBACK:  
REAR SETBACK:  
SIDE SETBACK (NORTH):  
SIDE SETBACK (SOUTH):

MAX. HT. ABOVE ESTABLISHED GRADE B.F. +1'  
(TOP FLOOR TOP OF TIE BEAM)

REQUIRED

25'-0"  
35'-0"  
10'-0"  
10'-0"

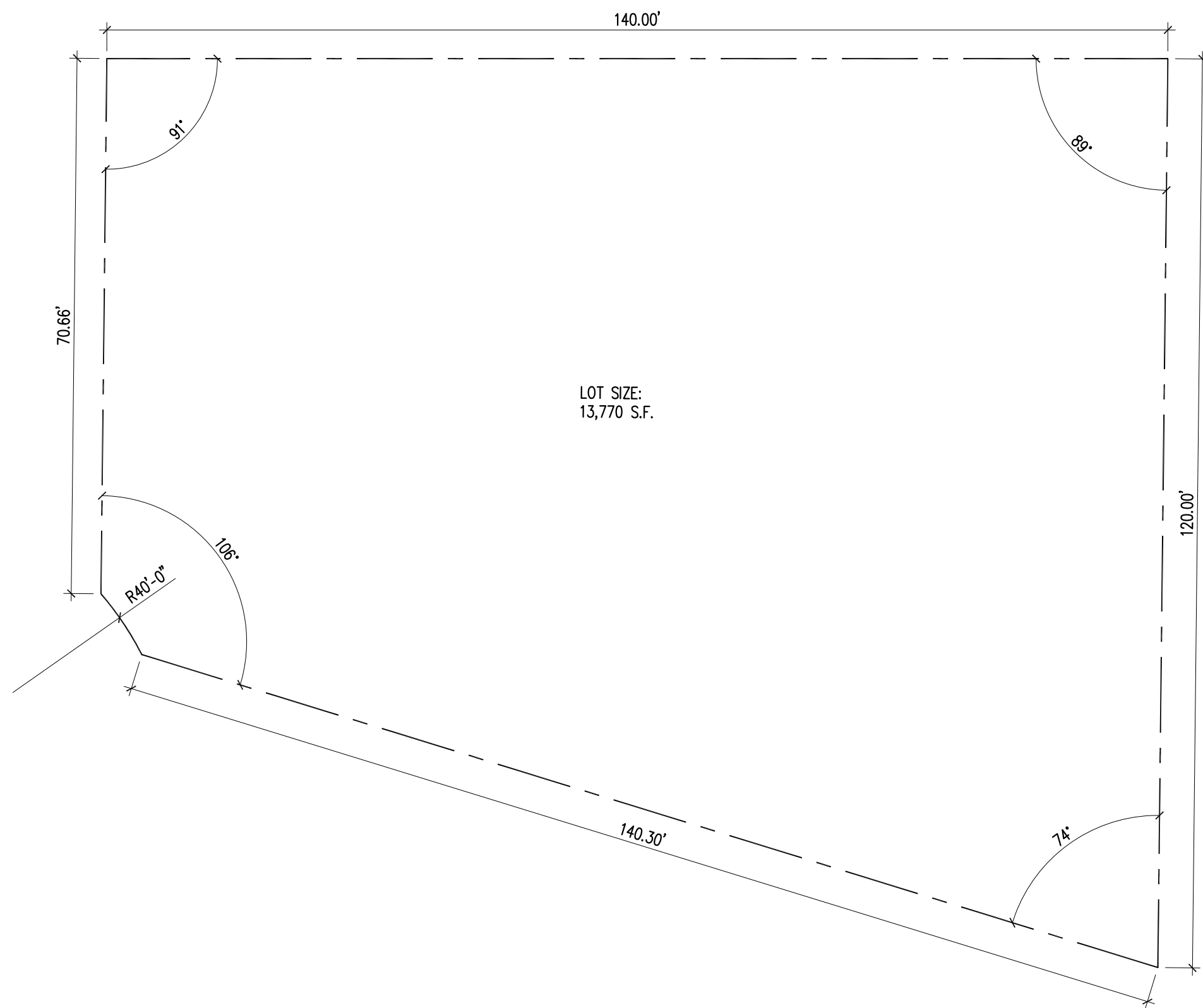
PROVIDED

25'-0"  
35'-0"  
10'-0"  
10'-0"

F.A.R. PERMITTED (LOT SIZE 13,770) :  
48% FOR FIRST 5,000 S.F. : 2,400 S.F.  
35% FOR SECOND 5,000 S.F. : 1,750 S.F.  
30% FOR BALANCE OF AREA (3,770 S.F.): 1,131 S.F.  
TOTAL PERMITTED: 5,281 S.F.  
TOTAL PROVIDED: 5,273 S.F.  
\*. F.A.R. INCLUDES GARAGES AT 100%

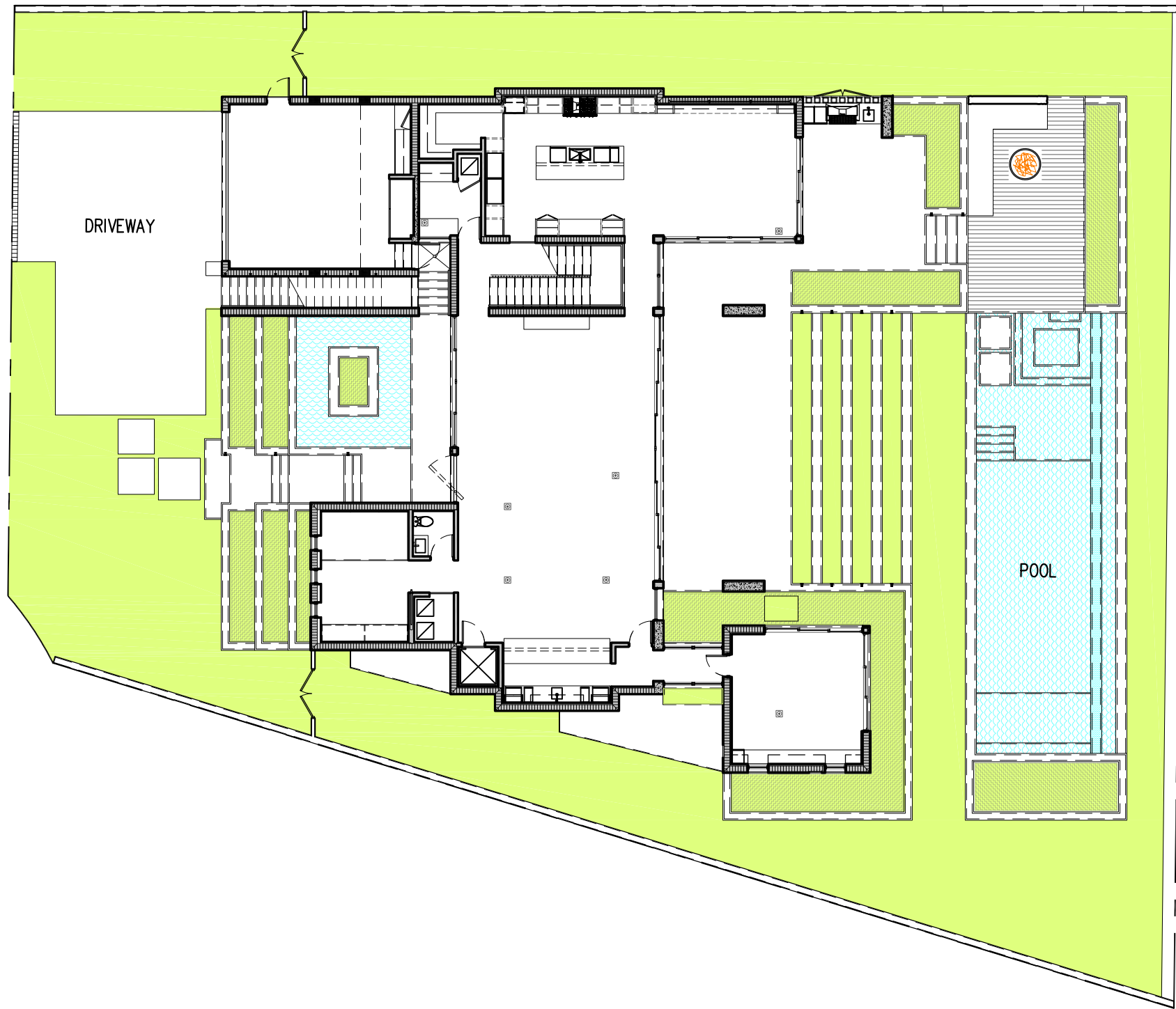
LOT COVERAGE PERMITTED: (35%) : 4,819 S.F.  
LOT COVERAGE PERMITTED: (45%) POOL, WATER GAR. : 6,196 S.F.  
LANDSCAPE OPEN SPACE: (PROVIDE MIN.40%) :5,508 SF  
FRONT YARD LANDSCAPING (PROV. MIN.20% OF 2,031 S.F.):

PROV: 4,315 S.F.  
PROV: 5,356 S.F.  
PROV: 5,520 S.F.  
PROV: 1,114 S.F.



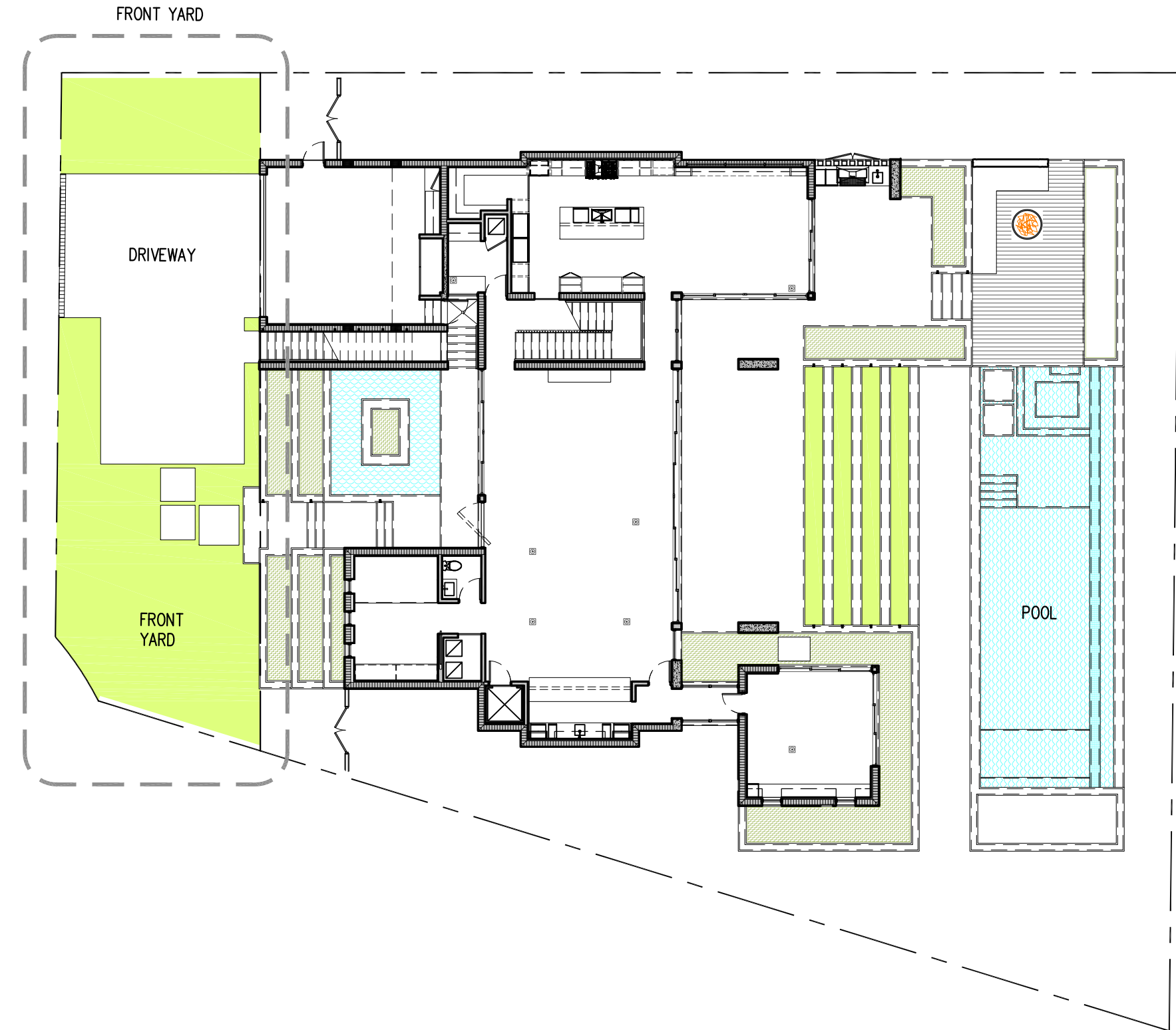
1 SITE PLAN

AT 0' G1.1 1/16" = 1'-0"



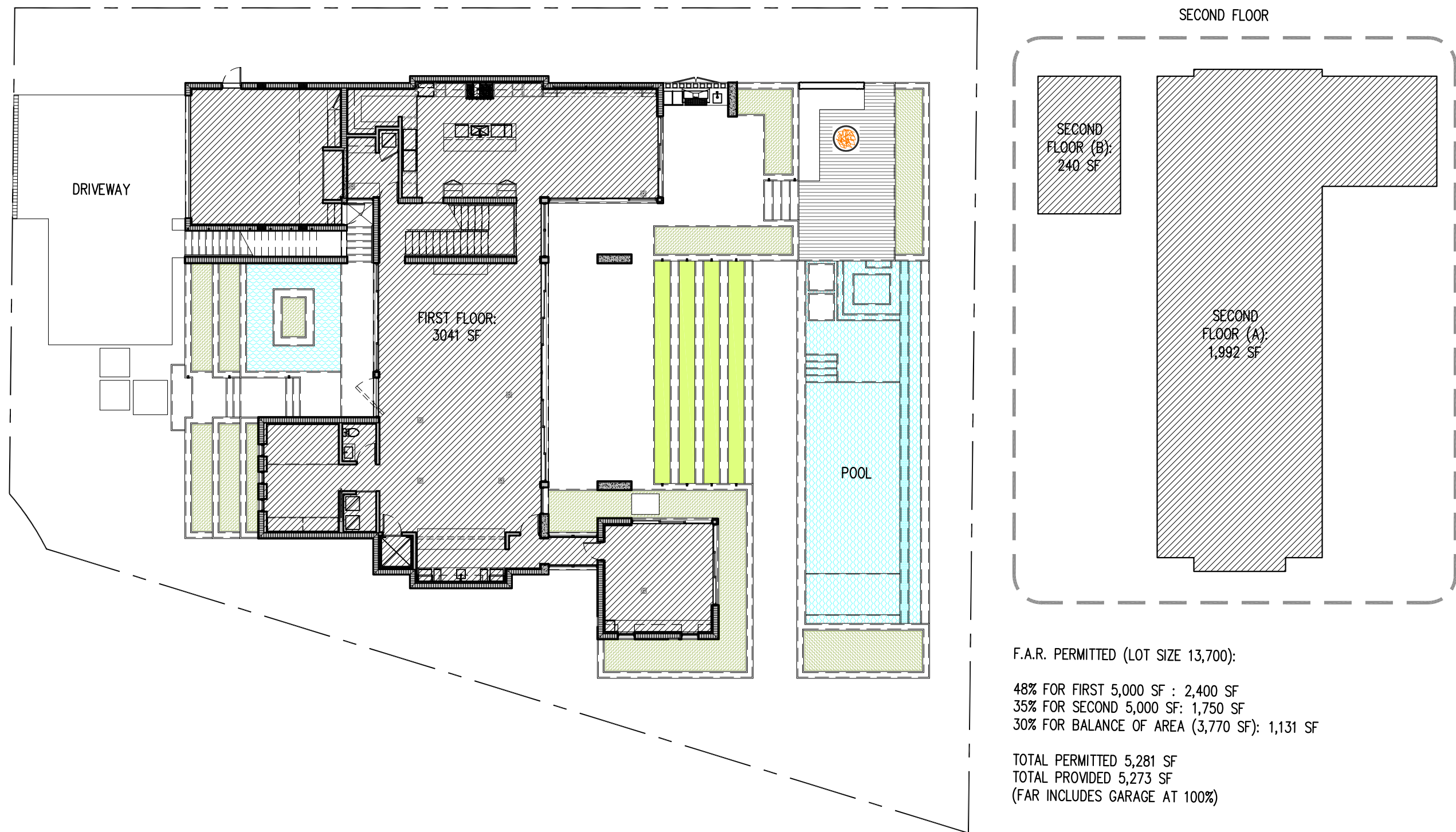
2 40% LANDSCAPE MINIMUM

AT 0' G1.1 1/16" = 1'-0"



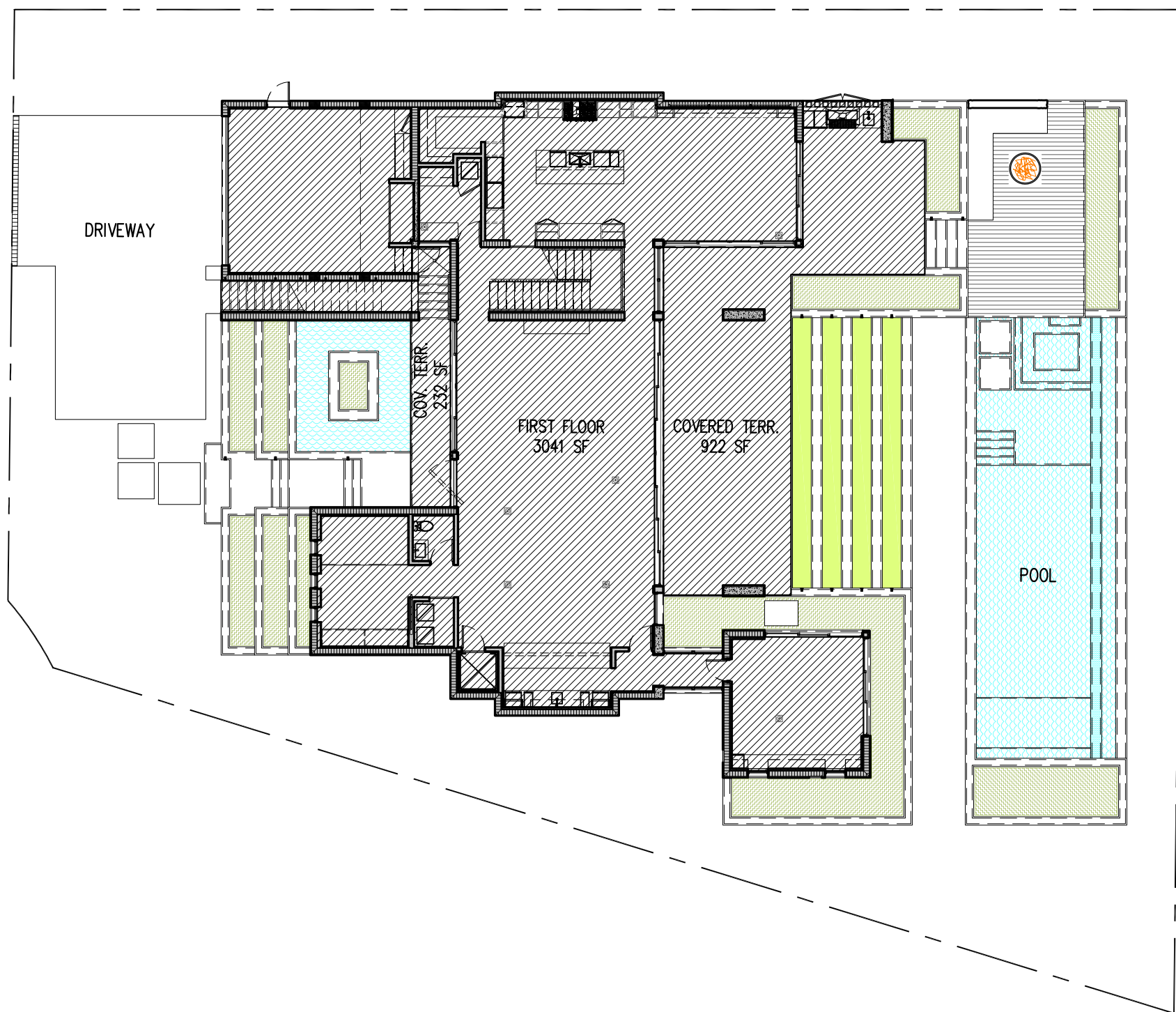
3 20% FRONT LANDSCAPE MIN.

AT 0' G1.1 1/16" = 1'-0"



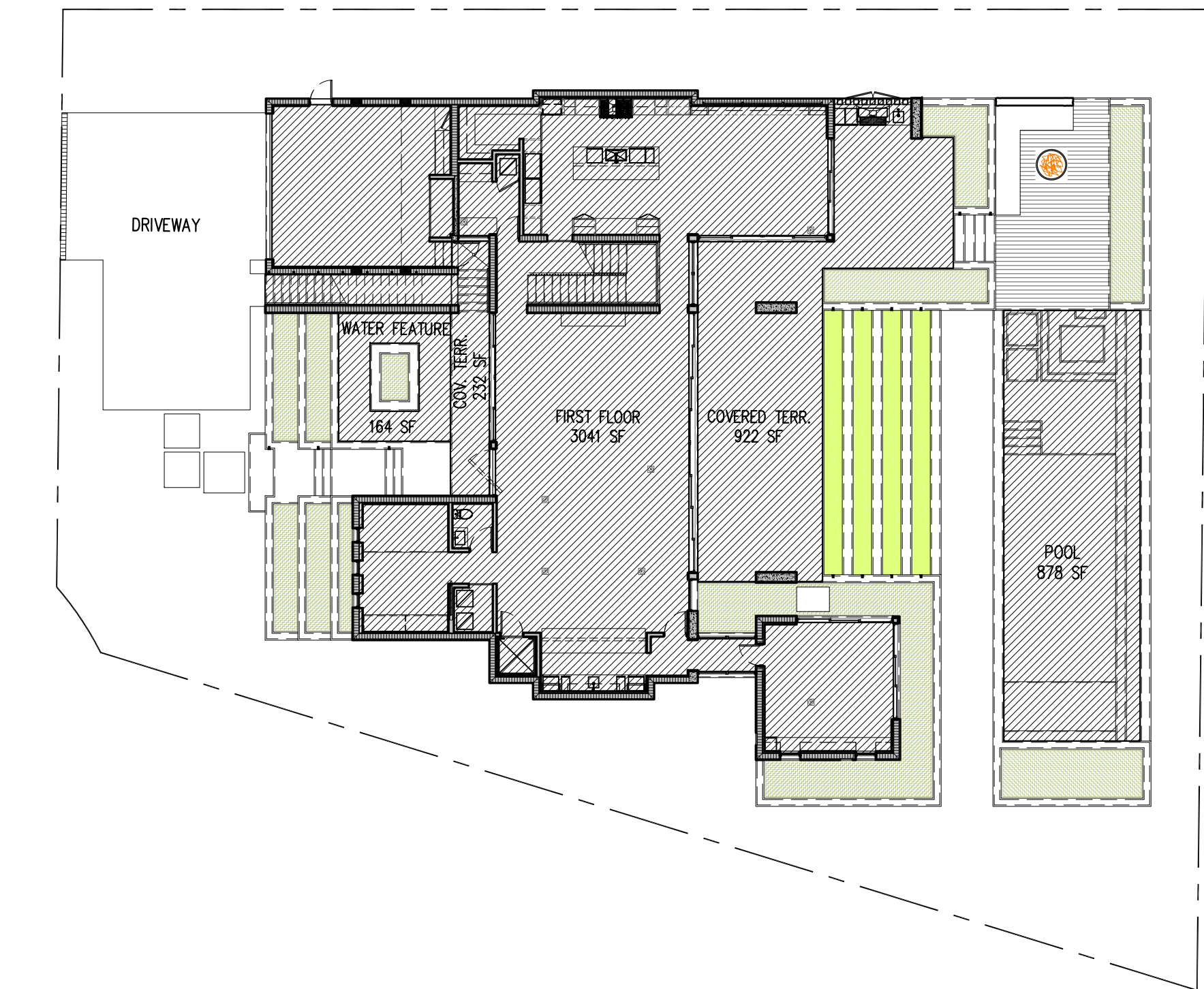
4 F.A.R

AT 0' G1.1 1/16" = 1'-0"



5 35% GROUND COVERAGE

AT 0' G1.1 1/16" = 1'-0"



6 45% GROUND COVERAGE

AT 0' G1.1 1/16" = 1'-0"

JOB NO.	2005	DRAWN BY	CM, AM	DATE	06-08-21	CHECKED	CM, PR
NO.							
DATE							

ARCHITECTURE	PLANNING	INTERIOR DESIGN
222 Andalusia Avenue Suite 101 Coral Gables, Florida 33134	T: 305-448-4200 F: 305-448-4215	

SHANER RESIDENCE	6935 Sunrise Court	Coral Gables, Florida 33133
TITLE: ZONING PLANS		

SEAL	Lynise Christine Com FL Architect AR990059 AA-50000730
SHEET NO.:	G1.1

PROPERTY ADDRESS

6935 SUNRISE CT,  
CORAL GABLES, FL 33156

LEGAL DESCRIPTION

SUNRISE HARBOUR REV PL PB 65-22  
LOT 43 BLK 2  
LOT SIZE 13,600 SQ.FT

FOLIO NUMBER

03-4129-041-0630

FEMA FIRM ZONE

"AE"- BASE FLOOD ELEVATION 11'-0" + 1'-0"

AREAS PROVIDED

-FIRST FLOOR

A/C AREA	2,854 S. F.
GARAGE	498 S. F.
NON A/C AREA	1,202 S. F.
-SECOND FLOOR	
A/C AREA	2,430 S. F.
NON A/C AREA	1,302 S. F.
GARAGE:	498 S. F.
TOTAL A/C AREAS:	5,284 S. F.
TOTAL NON A/C AREAS:	2,504 S. F.
TOTAL AREAS:	8,286 S. F.
TOTAL ADJUSTED:	6,536 S. F.

ZONING LEGEND

NET SITE AREA (LOT SIZE): 13,770 SQ.FT.  
SFR - SINGLE FAMILY - GENERAL

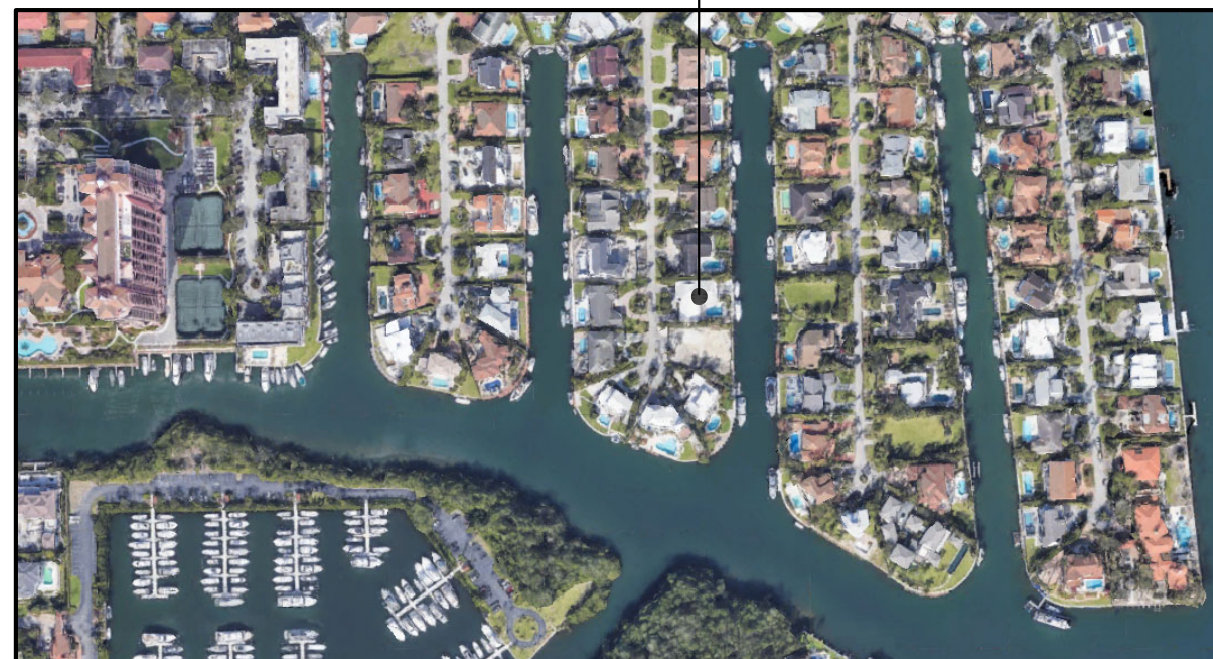
SETBACKS:	REQUIRED	PROVIDED
FRONT SETBACK:	25'-0"	25'-0"
REAR SETBACK:	35'-0"	35'-0"
SIDE SETBACK (NORTH):	10'-0"	10'-0"
SIDE SETBACK (SOUTH):	10'-0"	10'-0"
MAX. HT. ABOVE ESTABLISHED GRADE B.F. +1' (TOP FLOOR TOP OF TIE BEAM)	25'-0"	23'-6"

F.A.R. PERMITTED (LOT SIZE 13,770) :  
48% FOR FIRST 5,000 S.F.: 2,400 S.F.  
35% FOR SECOND 5,000 S.F.: 1,750 S.F.  
30% FOR BALANCE OF AREA (3,770 S.F.): 1,131 S.F.  
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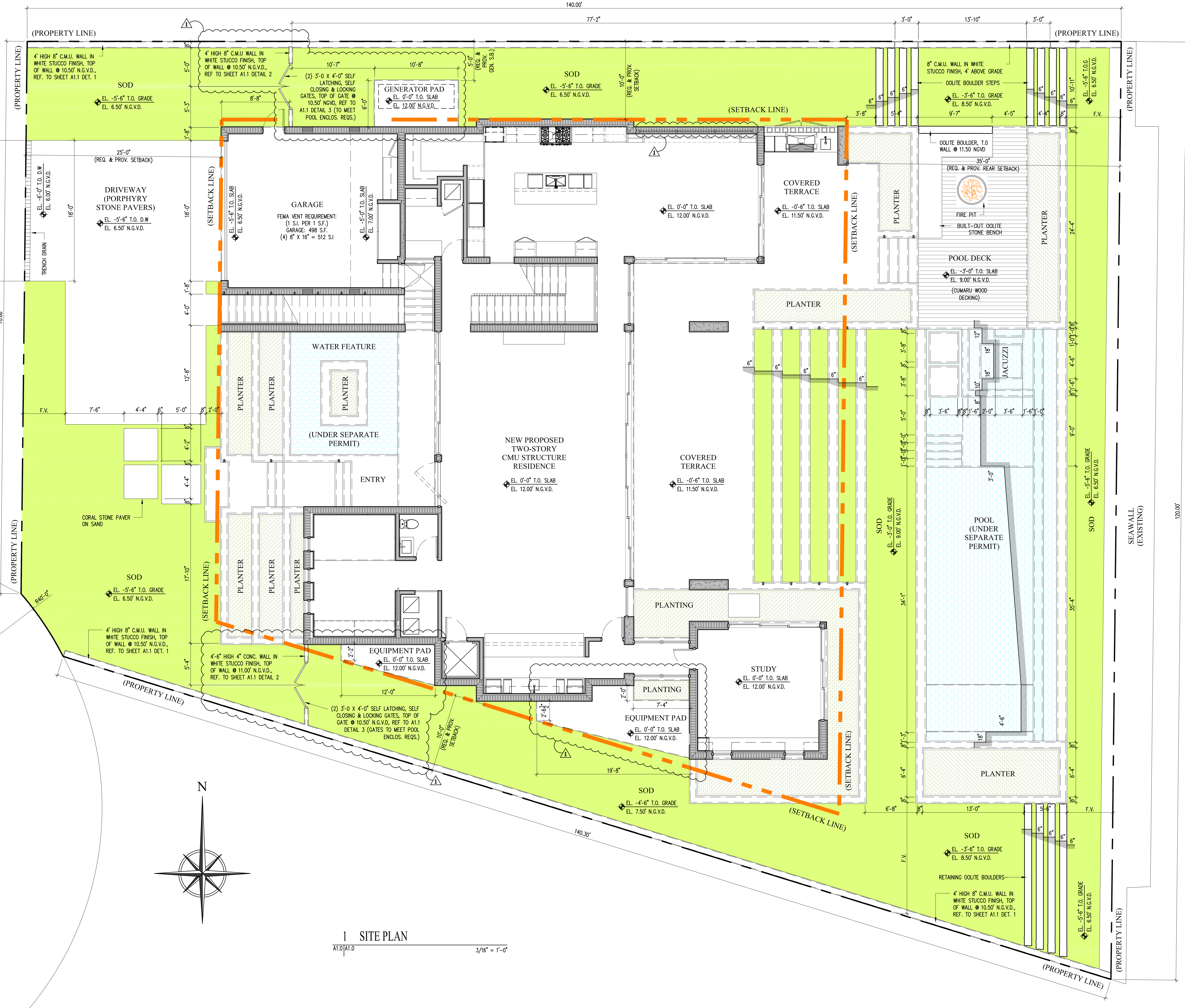
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LOT COVERAGE PERMITTED: (45%): POOL, WATER GAR. : 6,196 S.F.  
LANDSCAPE OPEN SPACE: (PROVIDE MIN.40%): 5,508 SF  
FRONT YARD LANDSCAPING (PROV. MIN.20% OF 2,031 S.F.):

PROV: 4,195 S.F.  
PROV: 5,254 S.F.  
PROV: 5,520 S.F.  
PROV: 1,114 S.F.

PROJECT LOCATION



SUNRISE COURT



1 SITE PLAN

A1.0/A1.0

3/16" = 1'-0"

CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN

232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200 F: 305.448.4215

SHANER RESIDENCE

6935 Sunrise Court  
Coral Gables, Florida 33133

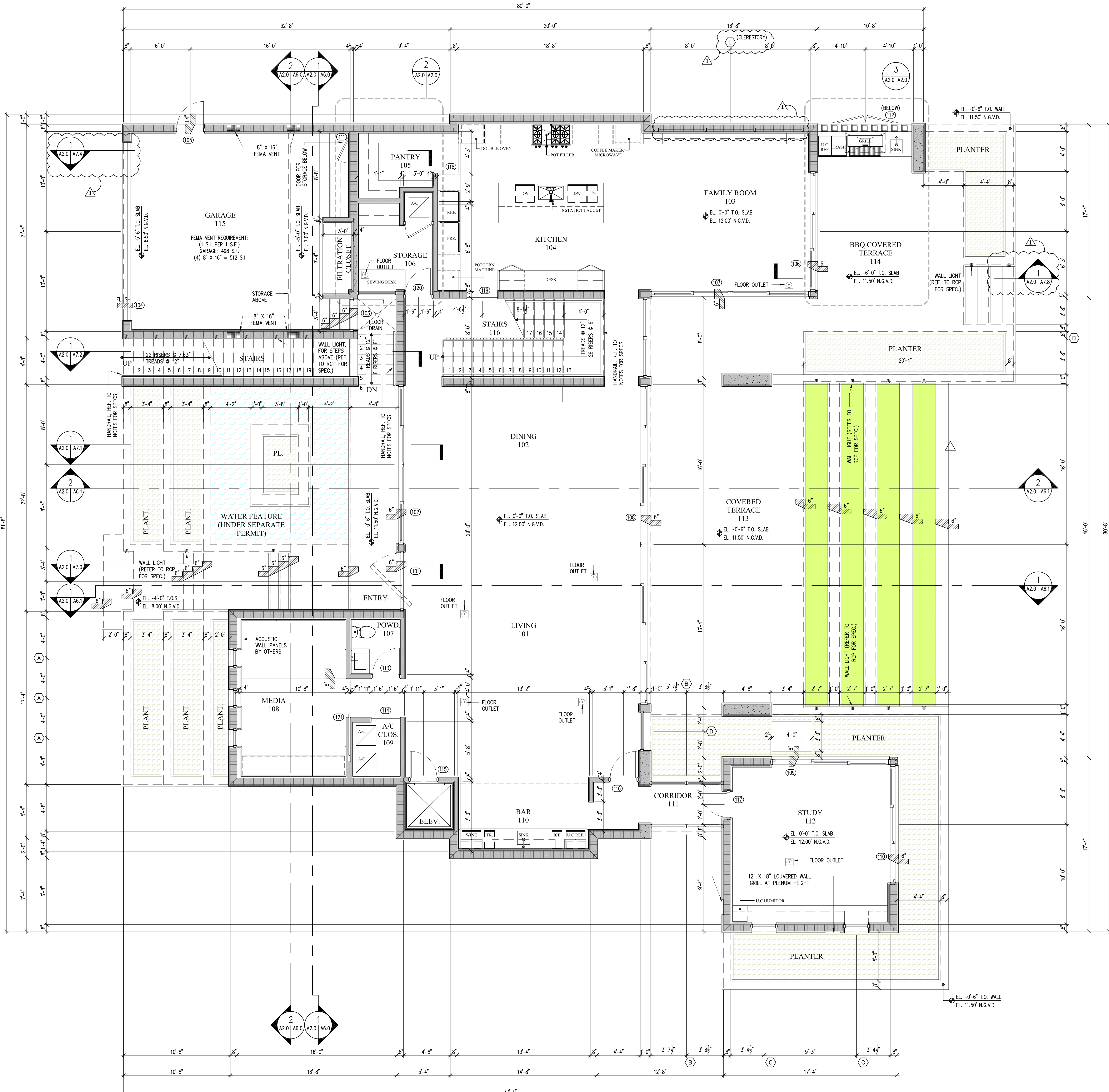
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SEAL

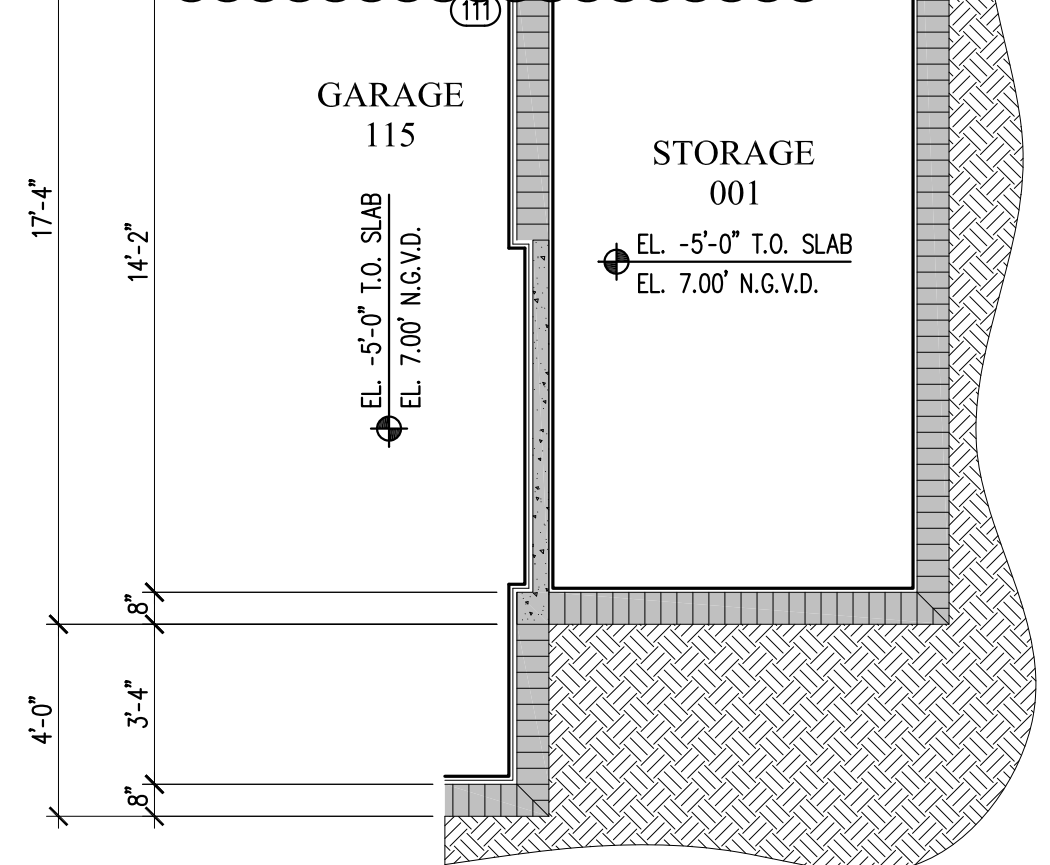
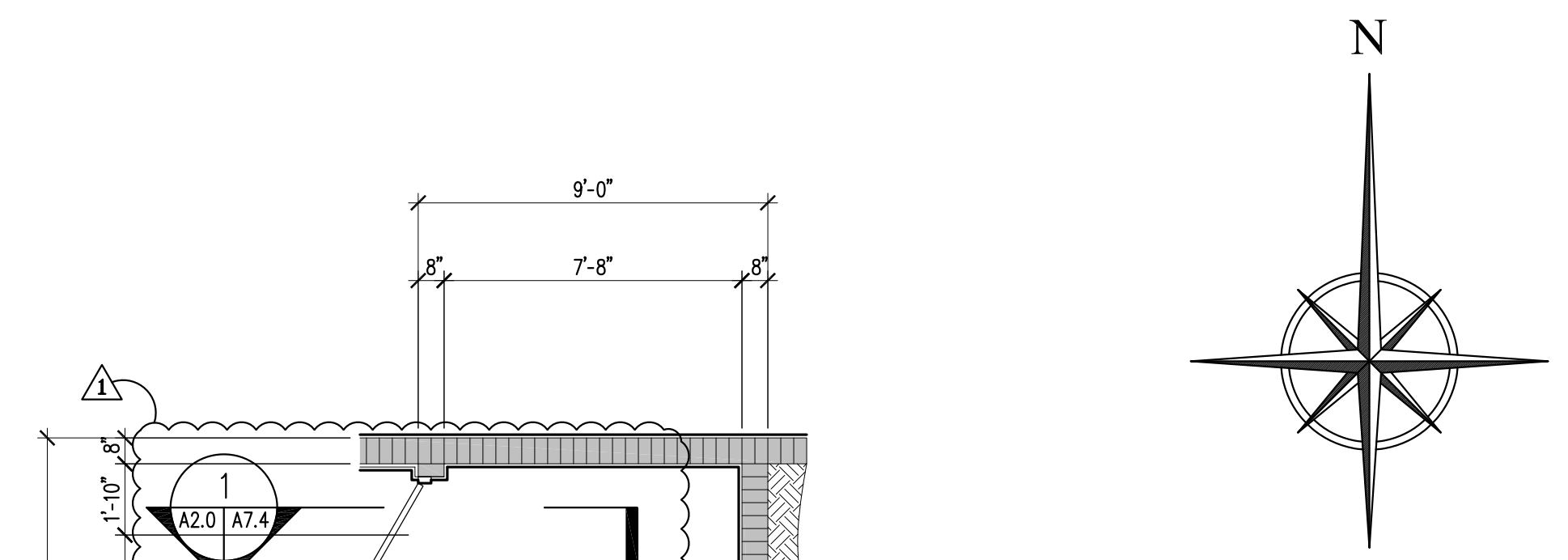
Lynise Christine Com  
FL Architect  
AR990059  
AA-50000730

SHEET NO.:

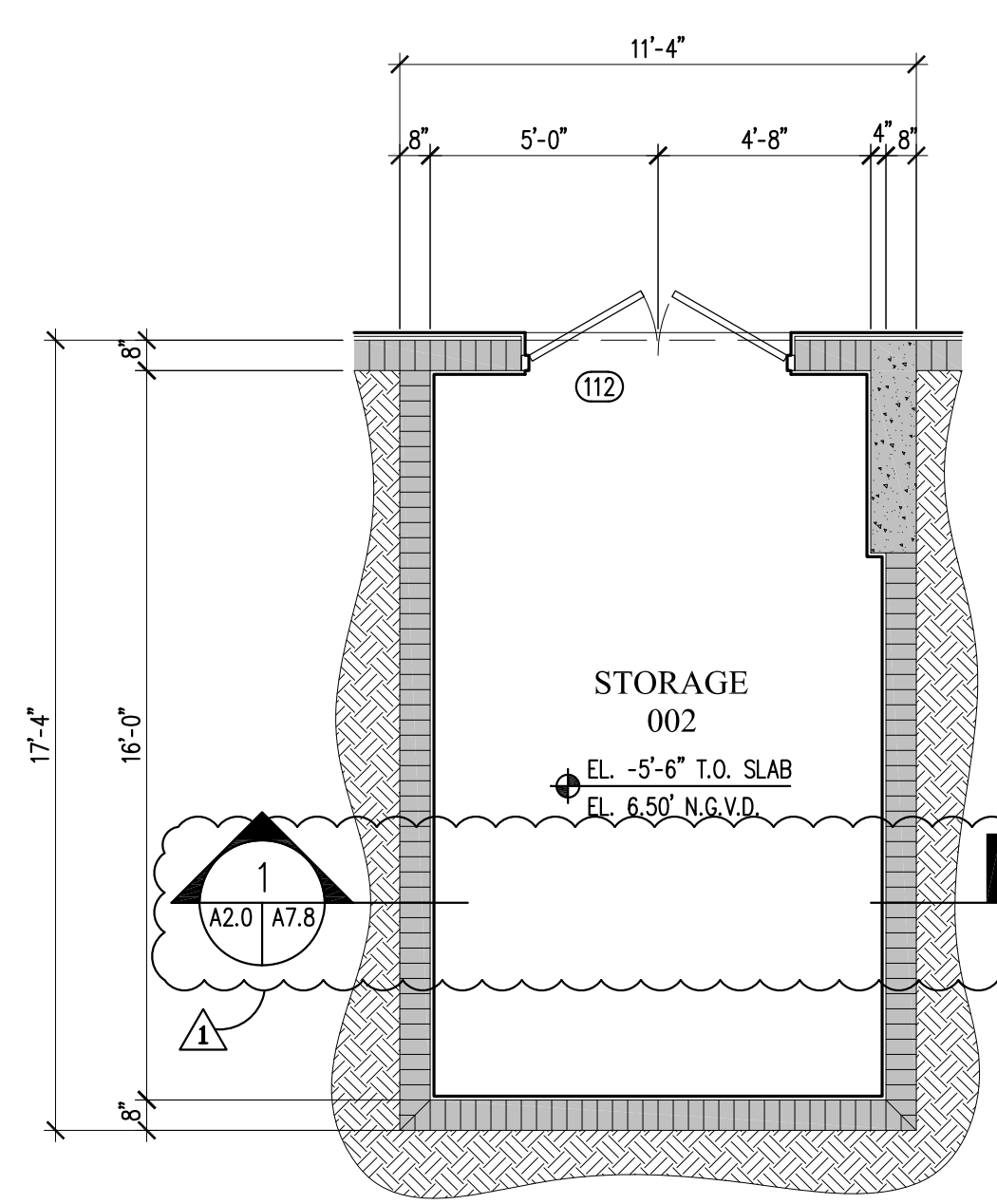
A1.0



1 FIRST FLOOR PLAN  
A1.0/A2.0 1/4" = 1'-0"



2 UNDERSTORY STORAGE 001  
A2.0/A2.0 1/4" = 1'-0"



3 UNDERSTORY STORAGE 002  
A2.0/A2.0 1/4" = 1'-0"

**NOTES:**

ATC ACCESS OPENING SHALL BE 22" X 30" MIN. AS PER R307.1 FBC.

ONE FULL BATHROOM (W/PRIVACY) DOOR SHALL BE 29" CLEAR AS PER R320.1.1 FBC.

SHOWER/ TUB SHALL HAVE FLOOR/WALLS TO 6" OF NON-ABSORB. FBC, R307.2 FBC.

THERE SHALL BE A LANDING OR A FLOOR ON EITHER SIDE OF A DOOR AS PER R.311.7.8 FBC.

LOAD CARRYING PARTITIONS TO BE 20 GA. MINIMUM AT 16" O.C.

A HORIZONTAL MEMBER FASTENED TO NO LESS THAN 2 STUDS SHALL BE PROVIDED AT WALL HUNG CABINETS AS PER R320.5.2.

BLDGS. SHALL HAVE PRE-CONSTRUCTION TREATMENT FOR TERMITES AS PER R.316.1 FBC.

ALL INTERIOR PARTITIONS: 3 1/2" SOUND ATTENUATION BLANKET.

NO FILL WILL BE INTRODUCED TO THE SITE.

ALL RAINWATER SHALL BE RETAINED WITHIN PROPERTY.

LANDSCAPING WILL COMPLY WITH DADE COUNTY LANDSCAPE REQUIREMENT ORD. 98-13 CHAPTER 18A.

ALL INSULATION MATERIALS TO HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450 AS PER FBC R.302.10.1.

FIRESTOPS MUST BE INSTALLED IN CONCEALED SPACES CREATED BY WOOD FURRING STRIPS AT FLOOR AND CEILING LEVELS AND TO LIMIT THE MAXIMUM DIMENSION OF THE CONCEALED SPACE TO 8 FT AS PER FBC R302.11.

ALL BATHUBS AND SHOWER FLOORS, AND WALLS ABOVE BATHUBS AND SHOWER COMPARTMENTS MUST BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH SURFACE MUST EXTEND TO A HEIGHT OF NOT LESS THAN 72" ABOVE THE FLOOR AS PER FBC R307.2.

WINDOW SILLS LESS THAN 36" REQUIRES GUARD RAIL WITH PICKETS.

SHALL PROVIDE A 3" MINIMUM CLEARANCE BETWEEN HEAT PRODUCING EQUIPMENT AND LIGHTS FIXTURES FROM THE INSULATION AS PER CITED CODE REFERENCE, FBRS - R302.14

COMPLIANCE WITH THE FOLLOWING GLAZING REQUIREMENTS:

A-GLASS DOORS MUST BE INDICATED TO BE OF CATEGORY II SAFETY GLAZING-FBC B2406.4.1

B-GLASS PANELS ADJACENT TO DOORS (WITHIN 48") MUST BE INDICATED TO BE OF CATEGORY II SAFETY GLAZING-FBC B2406.4.2

C-GLASS IN WINDOWS ADJACENT TO TUBS AND SHOWER COMPARTMENTS MUST BE CATEGORY II SAFETY GLAZING-FBC B2406.4.3

D-GLASS IN BATH AND SHOWER ENCLOSURES MUST BE OF CATEGORY II SAFETY GLAZING-FBC B2406.4.5

E-GLAZING LARGER THAN 9 S.F. MUST BE CATEGORY II SAFETY GLASS. MANUFACTURER READY FOR INSPECTION TO BE KEPT ON SITE AS PER FBC B2406.2

**NOTE:**

1. GLAZING LESS THAN 60" ABOVE FLOOR LEVEL ADJACENT TO STAIRWAYS, LANDINGS & RAMPS SHALL BE CONSIDERED A HAZARDOUS LOCATION PER B2406.4.6 & SHALL COMPLY W/ TABLE B2406.5 FOR TYPE OF SAFETY GLAZING TO BE INSTALLED.

2. GLAZING IN INDIVIDUAL FIXED OR OPERABLE PANEL EXCEEDING 9 SF W/ BOTT. EDGE OF GLAZING LESS THAN 18" ABOVE FLOOR, TOP EDGE MORE THAN 36" ABOVE FLOOR SHALL BE CATEGORY II SAFETY GLASS PER B2406.4.3

3. GLAZED PANEL SAFEGUARDS SHALL COMPLY W/ B2406.4.4. GLAZING IS LAMINATED CATEGORY II SAFETY GLASS AT ALL GLASS RAILINGS AND FULL HEIGHT GLASS.

SHALL COMPLY WITH FBC - R4501.7.1.9 ALL DOORS & WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL SHALL BE EQUIPPED WITH AN EXIT ALARM COMPLYING WITH UL 2017 THAT HAS A MIN. SOUND PRESSURE RATING OF 85 db A AT 10 FEET.

ANY DEACTIVATION SWITCH SHALL BE LOCATED AT LEAST 54 INCHES ABOVE THE THRESHOLD OF THE ACCESS.

**HANDRAIL NOTES:**

ALL HANDRAILS TO COMPLY W/ R311.7.8.2: HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES (38 MM) BETWEEN THE WALL AND THE HANDRAILS.

ALL HANDRAILS TO COMPLY W/ R311.7.8.3: TYPE I HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF NOT LESS THAN 1 1/4 INCHES (32 MM) AND NOT GREATER THAN 2 INCHES (51 MM). IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF NOT LESS THAN 4 INCHES (102 MM) AND NOT GREATER THAN 6 1/4 INCHES (160 MM) WITH A CROSS SECTION OF DIMENSION OF NOT MORE THAN 2 1/4 INCHES (57 MM). EDGES SHALL HAVE A RADIUS OF NOT LESS THAN 0.01 INCH (0.25 MM).

ALL HANDRAIL ASSEMBLIES AND GUARDS SHALL BE DESIGNED TO RESIST A LOAD OF 50 P.L.F. APPLIED IN ANY DIRECTION AT THE TOP AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS TO STRUCTURE AS REQUIRED BY CODE.

MANUFACTURER TO PROVIDE ENGINEER CALCULATIONS AND CONSTRUCTION DETAILS IN SHOP DRAWINGS FOR ARCHITECT/ENGINEER APPROVAL.

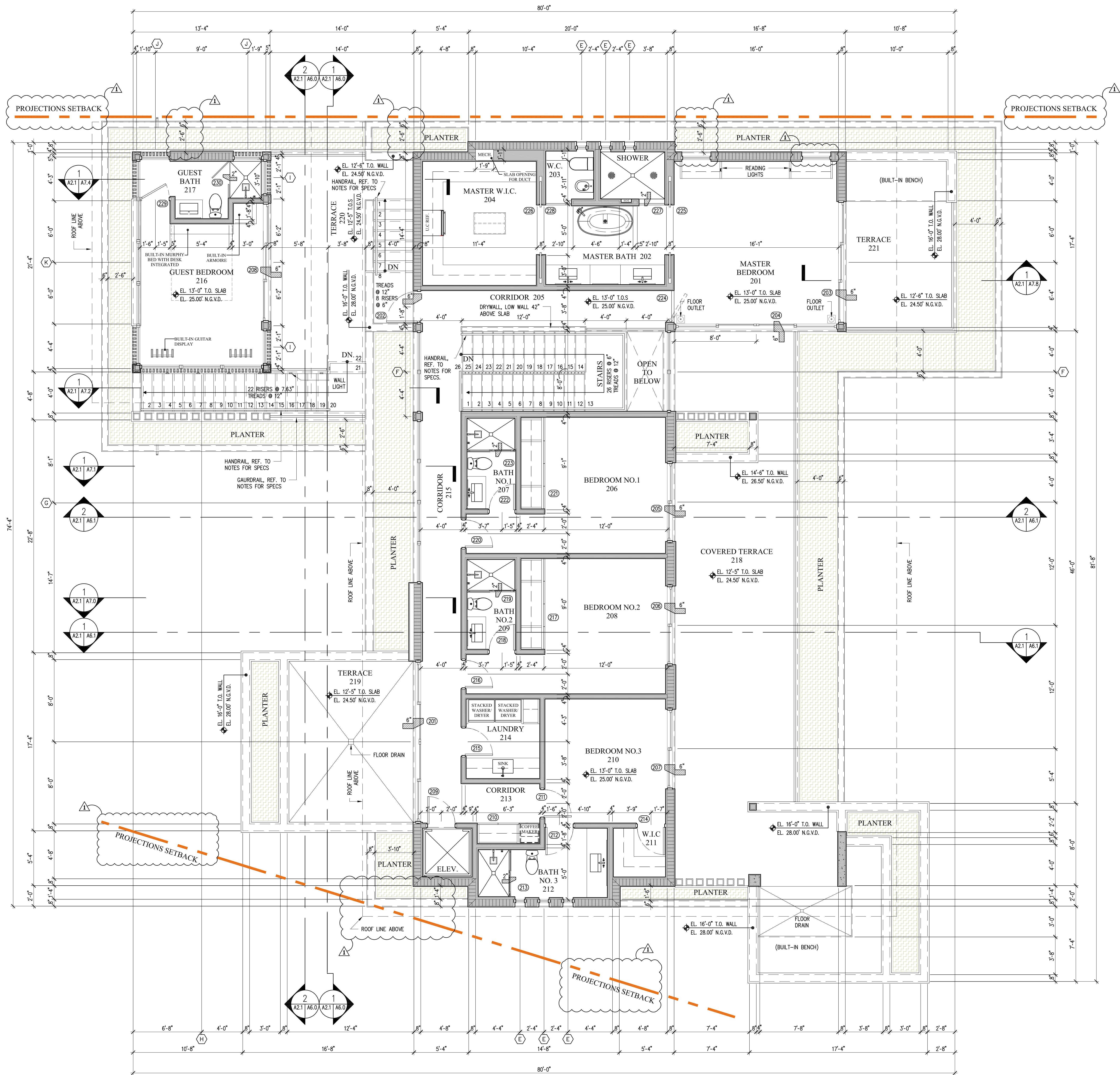
JOB NO.	2005	2005	2005	2005
DRAWN BY	CM, AM	CM, AM	CM, AM	CM, AM
DATE	06-08-21	06-08-21	06-08-21	06-08-21
CHECKED	CM, PR	CM, PR	CM, PR	CM, PR

**CMA Design Studio, Inc.**  
ARCHITECTURE PLANNING INTERIOR DESIGN  
232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200 F: 305.448.4215

**SHANER RESIDENCE**  
6935 Sunrise Court  
Coral Gables, Florida 33133  
TITLE: FIRST FLOOR PLAN

SEAL  
Lynise Christine Com  
FL Architect  
AB990159  
AA-5060730

SHEET NO.:  
A2.0



NOTES:

ATTIC ACCESS OPENING SHALL BE 22" X 30" MIN. AS PER R807.1 FBC.

ONE FULL BATHROOM (W/PRIVACY) DOOR SHALL BE 29" CLEAR AS PER R302.1.1 FBC.

SHOWER/ TUB SHALL HAVE FLOOR/WALLS TO 6" OF NON-ABSORB. FBC, R307.2 FBC.

THERE SHALL BE A LANDING OR A FLOOR ON EITHER SIDE OF A DOOR AS PER R.311.7.6 FBC.

LOAD CARRYING PARTITIONS TO BE 20 GA. MINIMUM AT 16" O.C.

A HORIZONTAL MEMBER FASTENED TO NO LESS THAN 2 STUDS SHALL BE PROVIDED AT WALL HUNG CABINETS AS PER B2508.5.2.

BLOCS. SHALL HAVE PRE-CONSTRUCTION TREATMENT FOR TERMITES AS PER R318.1 FBC.

ALL INTERIOR PARTITIONS: 3 1/2" SOUND ATTENUATION BLANKET.

NO FILL WILL BE INTRODUCED TO THE SITE.

ALL RAINWATER SHALL BE RETAINED WITHIN PROPERTY.

LANDSCAPING WILL COMPLY WITH DADE COUNTY LANDSCAPE REQUIREMENT ORD. 98-13 CHAPTER 18A.

ALL INSULATION MATERIALS TO HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450 AS PER FBC R302.10.1.

FIRESTOPS MUST BE INSTALLED IN CONCEALED SPACES CREATED BY WOOD FURRING STRIPS AT FLOOR AND CEILING LEVELS AND TO LIMIT THE MAXIMUM DIMENSION OF THE CONCEALED SPACE TO 8 FT AS PER FBC R302.11.

ALL BATHROOMS AND SHOWER FLOORS, AND WALLS ABOVE BATHROOMS AND SHOWER COMPARTMENTS MUST BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH SURFACE MUST EXTEND TO A HEIGHT OF NOT LESS THAN 72" ABOVE THE FLOOR AS PER FBC R307.2.

WINDOW SILLS LESS THAN 36" REQUIRES GUARD RAIL WITH PICKETS.

SHALL PROVIDE A 3" MINIMUM CLEARANCE BETWEEN HEAT PRODUCING EQUIPMENT AND LIGHTS FIXTURES FROM THE INSULATION AS PER CITED CODE REFERENCE, FBC - R302.14

COMPLIANCE WITH THE FOLLOWING GLAZING REQUIREMENTS:

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NOTE:

1. GLAZING LESS THAN 60" ABOVE FLOOR LEVEL ADJACENT TO STAIRWAYS, LANDINGS & RAMPS SHALL BE CONSIDERED A HAZARDOUS LOCATION PER B2406.4.6 & SHALL COMPLY W/ TABLE 1

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3. GLAZED PANEL SAFEGUARDS SHALL COMPLY W/ B2406.4.4. GLAZING IS LAMINATED CATEGORY II SAFETY GLASS AT ALL GLASS RAILINGS AND FULL HEIGHT GLASS.

SHALL COMPLY WITH FBC - R4501.17.1.9 ALL DOORS & WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL SHALL BE EQUIPPED WITH AN EXT ALARM COMPLYING WITH UL 2017 THAT HAS A MIN. SOUND PRESSURE RATING OF 85 dB A AT 10 FEET.

ANY DEACTIVATION SWITCH SHALL BE LOCATED AT LEAST 54 INCHES ABOVE THE THRESHOLD OF THE ACCESS.

HANDRAIL NOTES:

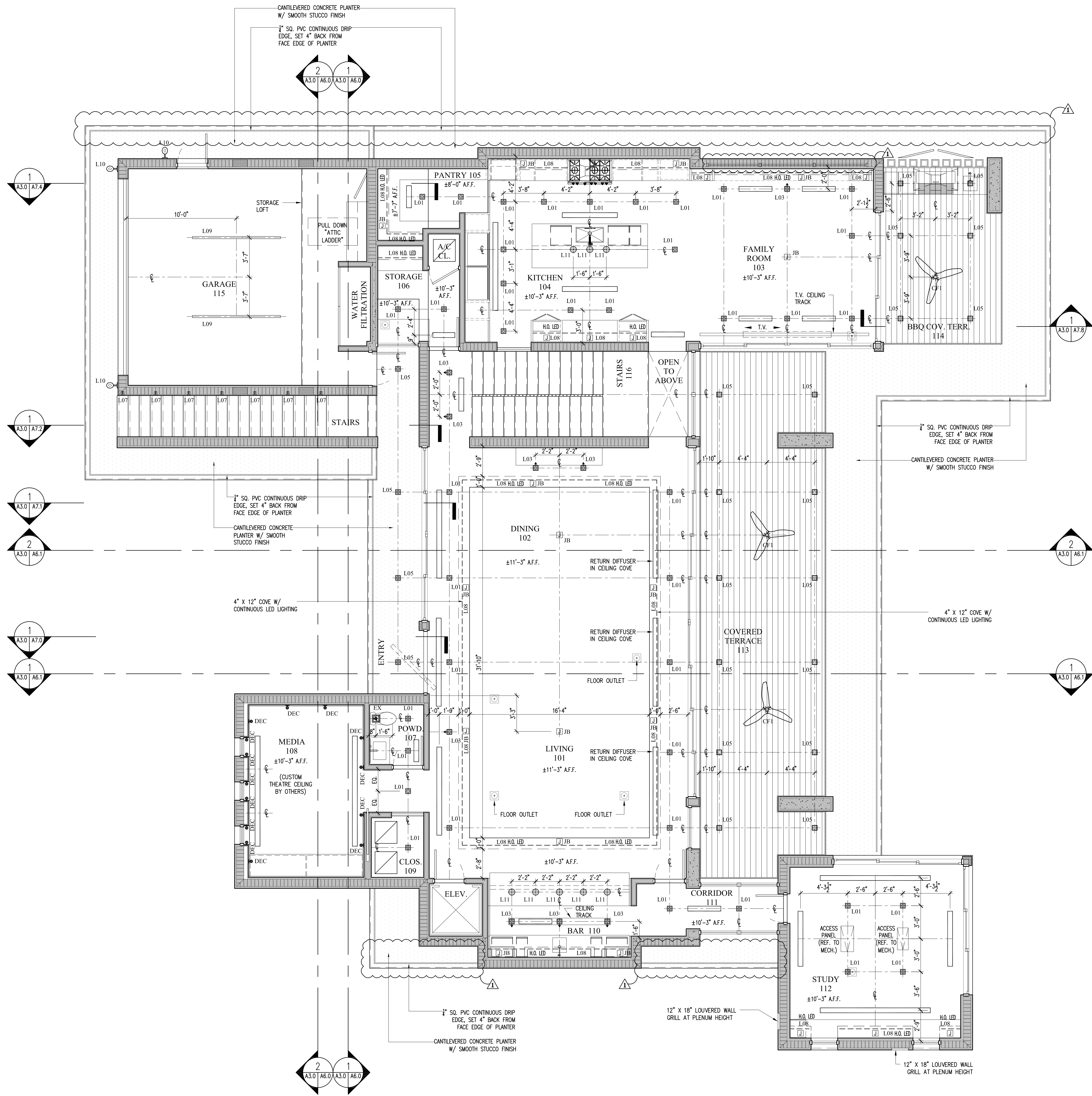
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1 SECOND FLOOR PLAN

A2.1/A2.1 1/4" = 1'-0"



RCP LEGEND			
MARK	SYMBOL	TYPE	DESCRIPTION
L01		LED	RECESSED INDOOR FIXTURE, 3" SQUARE LED DOWNLIGHT
L02		LED	RECESSED INDOOR FIXTURE, 3" SQUARE LED DOWNLIGHT (T&G)
L03		LED	4" LED WALL WASH DOWNLIGHT, FLANGELESS SQUARE
L04		LED	3" SQUARE LED FIXED DOWNLIGHT, FLANGELESS BEVELED, VAPOR PROOF, LV HOUSING
L05		LED	RECESSED OUTDOOR FIXTURE, 3" SQUARE LED DOWNLIGHT
L06		LED	4" LED WALL WASH DOWNLIGHT, FLANGELESS SQUARE (T&G)
L07		LED	SMALL LOW GLARE RECESSED WALL STEP LIGHT FIXTURE, ANODIZED SILVER
L08		LED	MILLWORK LIGHTING CHANNEL, HIGH OUTPUT, PREMIUM CRI, SATIN ALUMINUM
L09		LED	12" X 48" SURFACE MOUNT LED FIXTURE, LOW PROFILE
L10		LED	DECORATIVE OUTDOOR WALL SCONCES
L11		PENDANT	INTERIOR
CF1		CEILING FAN	PENDING SELECTION
DEC		DECORATIVE WALL SCONCES	PENDING SELECTION
JB		JUNCTION BOX	FOR DECORATIVE FIXTURES, PENDING SELECTION
LD		A/C LINEAR DIFFUSER	REFER TO MECHANICAL DRAWINGS
SP		SPEAKER	REFER TO A/V DRAWINGS
EX		EXHAUST FAN	REFER TO MECHANICAL DRAWINGS

NOTE:  
ALL CEILING DIMENSIONS ARE GIVEN TO FACE OF STRUCTURE WALLS.  
CONTRACTOR TO COORDINATE LOCATIONS OF ALL REMOTE MOUNTED TRANSFORMERS WITH OWNER AND LOW VOLTAGE CONSULTANT.  
ATTIC ACCESS OPENING SHALL BE 22" X 30" MIN AS PER R807.1 FBC. PROVIDE LIGHT FIXTURES IN EVERY ATTIC SPACE.

1 FIRST FLOOR RCP  
A2.0/A3.0 1/4" = 1'-0"

DATE  
06/09/21

PRELIMINARY BOA

NO.

JOB NO.  
2005

DRAWN BY  
CM, AM

DATE  
06-08-21

CHECKED  
CM, PR

SHANER RESIDENCE  
6935 Sunrise Court  
Coral Gables, Florida 33133

ARCHITECTURE  
PLANNING  
PENDING

TITLE  
FIRST FLOOR RCP

SEAL

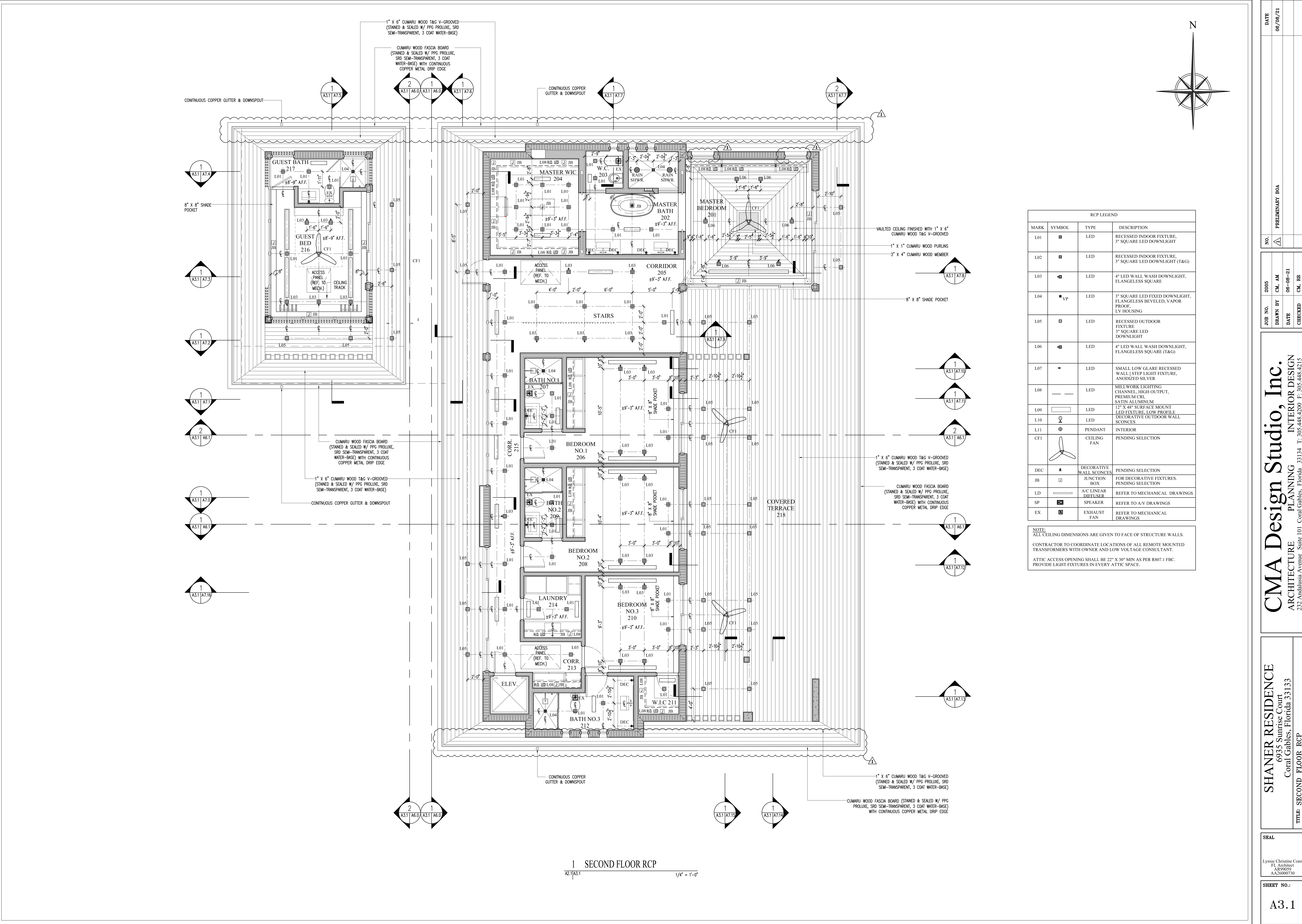
Lynsie Christine Com  
FL Architect  
AR990059  
AA-5680730

SHEET NO.:

A3.0

CMA Design Studio, Inc.  
INTERIOR DESIGN

232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200 F: 305.448.4215



RCP LEGEND			
MARK	SYMBOL	TYPE	DESCRIPTION
L01		LED	RECESSED INDOOR FIXTURE, 3" SQUARE LED DOWNLIGHT
L02		LED	RECESSED INDOOR FIXTURE, 3" SQUARE LED DOWNLIGHT (T&G)
L03		LED	4" LED WALL WASH DOWNLIGHT, FLANGELESS SQUARE
L04		LED	3" SQUARE LED FIXED DOWNLIGHT, FLANGELESS BEVELED, VAPOR PROOF, LV HOUSING
L05		LED	RECESSED OUTDOOR FIXTURE, 3" SQUARE LED DOWNLIGHT
L06		LED	4" LED WALL WASH DOWNLIGHT, FLANGELESS SQUARE (T&G)
L07		LED	SMALL LOW GLARE RECESSED WALL LIGHT FIXTURE, ANODIZED SILVER
L08		LED	MILLWORK LIGHTING CHANNEL, HIGH OUTPUT, PREMIUM CRI, SATIN ALUMINUM
L09		LED	12" X 48" SURFACE MOUNT LED FIXTURE, LOW PROFILE, DECORATIVE OUTDOOR WALL SCONCES
L10		LED	DECORATIVE OUTDOOR WALL SCONCES
L11		PENDANT	INTERIOR
CF1		CEILING FAN	PENDING SELECTION
DEC		DECORATIVE WALL SCONCES	PENDING SELECTION
JB		JUNCTION BOX	FOR DECORATIVE FIXTURES, PENDING SELECTION
LD		A/C LINEAR DIFFUSER	REFER TO MECHANICAL DRAWINGS
SP		SPEAKER	REFER TO A/V DRAWINGS
EX		EXHAUST FAN	REFER TO MECHANICAL DRAWINGS

NOTE:  
ALL CEILING DIMENSIONS ARE GIVEN TO FACE OF STRUCTURE WALLS.  
CONTRACTOR TO COORDINATE LOCATIONS OF ALL REMOTE MOUNTED TRANSFORMERS WITH OWNER AND LOW VOLTAGE CONSULTANT.  
ATTIC ACCESS OPENING SHALL BE 22" X 30" MIN AS PER R807.1 FBC. PROVIDE LIGHT FIXTURES IN EVERY ATTIC SPACE.

1 SECOND FLOOR RCP  
A2.1/A3.1 1/4" = 1'-0"

DATE  
06/08/21

PRELIMINARY BOA

NO.

JOB NO.  
2005

DRAWN BY  
CM, AM

DATE  
06-08-21

CHECKED  
CM, BR

SHANER RESIDENCE  
6935 Sunrise Court  
Coral Gables, Florida 33133

ARCHITECTURE  
PLANNING  
222 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200 F: 305.448.4215

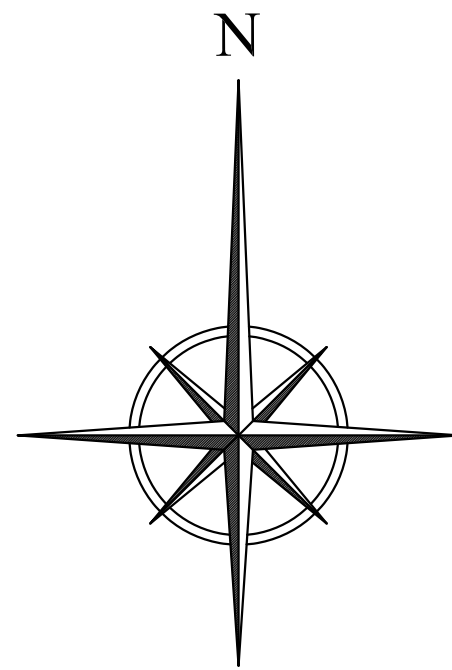
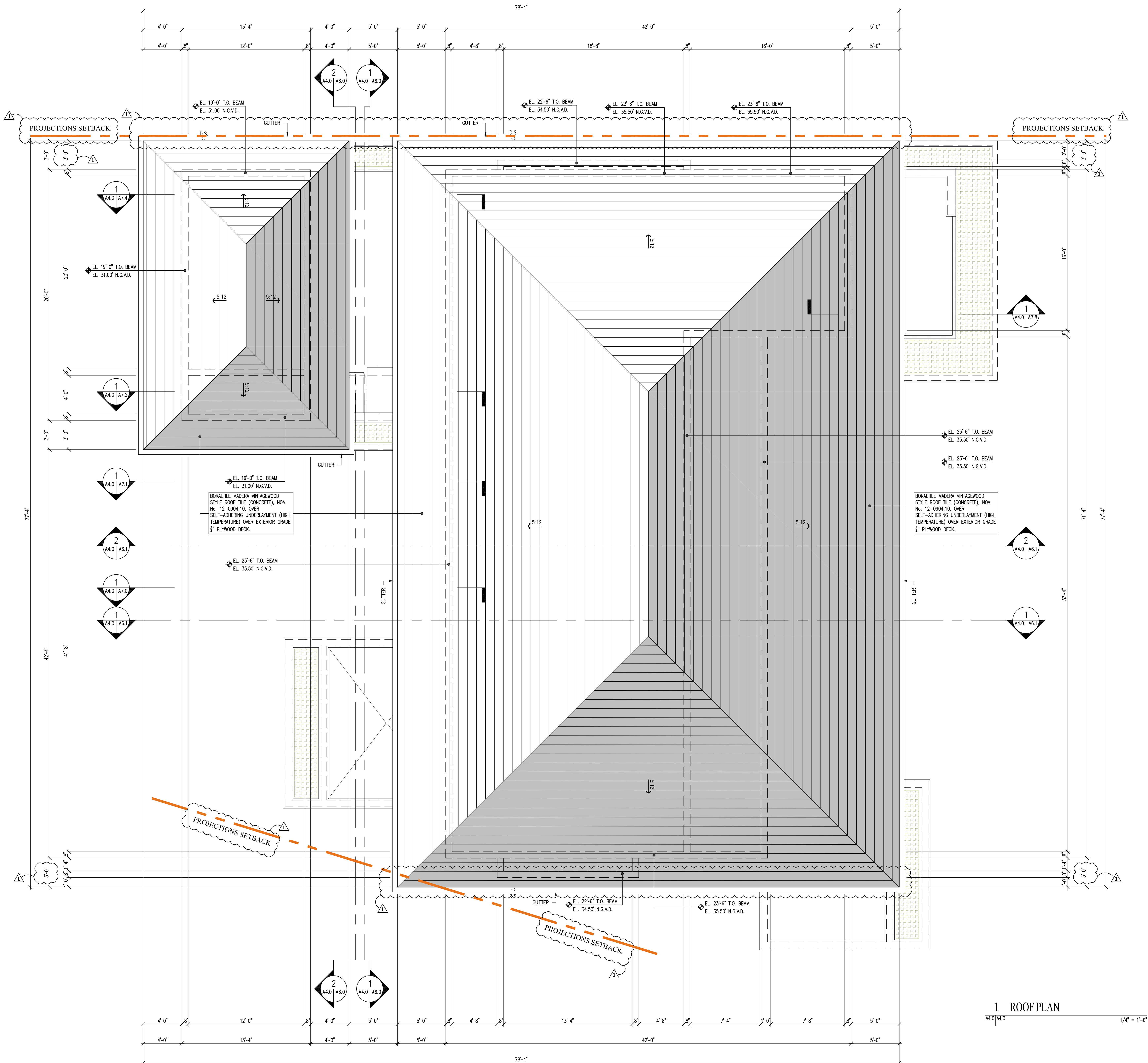
SEAL

Lynsie Christine Com  
FL Architect  
AR990059  
AA-50800730

SHEET NO.:

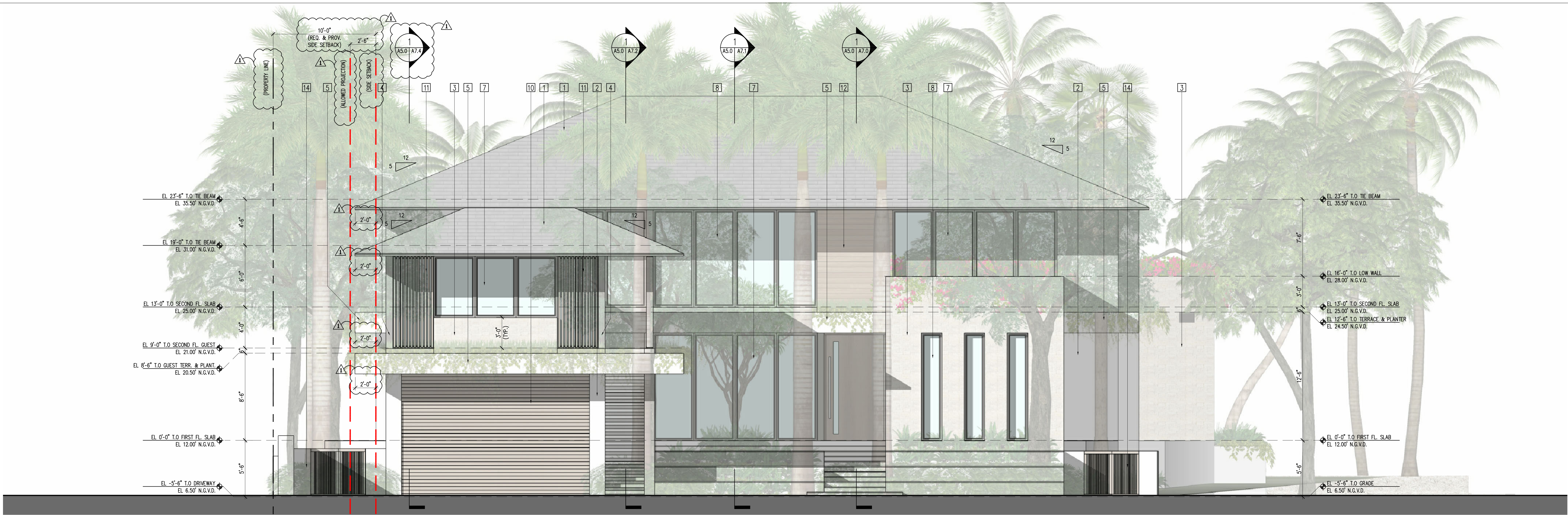
A3.1

TITLE: SECOND FLOOR RCP



1 ROOF PLAN  
A4.0/A4.0 1/4" = 1'-0"

DATE 06/09/21	
PRELIMINARY BOA	
NO.	
JOB NO. 2005	DRAWN BY CM, AM
DATE 06-08-21	CHECKED CM, PR
<b>CMA Design Studio, Inc.</b> ARCHITECTURE PLANNING INTERIOR DESIGN 232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200 F: 305.448.4215	
<b>SHANER RESIDENCE</b> 6935 Sunrise Court Coral Gables, Florida 33133 TITLE: ROOF PLAN	
SEAL Lynsie Christine Com FL Architect AR990059 AA-50000730	
SHEET NO.: A4.0	



- |   |  |  |                       |
|---|--|--|-----------------------|
| 1 BORAL TILE MADERA VINTAGEWOOD SHAKE STYLE ROOF    | 5 CONCRETE PLANTER, SMOOTH STUCCO FINISH                                   | 9 ALUMINUM DOOR, DARK BRONZE FINISH IMPACT GLAZING | 13 WATER FEATURE/POOL |
| 2 SMOOTH STUCCO FINISH, CALCEM LIME-BASED PAINT     | 6 42" GLASS RAILING TO COMPLY W/ FBCR 4403.7.3                             | 10 GARAGE DOOR W/ WOOD GRAIN FINISH                | 14 SITE WALL/ GATE    |
| 3 CORAL STONE CLADDING FINISH                       | 7 ALUMINUM SLIDING GLASS DOOR, DARK BRONZE ANODIZED FINISH, IMPACT GLAZING | 11 ALUMINUM MEMBERS W/ WOOD GRAIN FINISH           |                       |
| 4 COLUMN W/ DARK BRONZE ANODIZED BREAK METAL FINISH | 8 ALUMINUM WINDOW, DARK BRONZE FINISH, IMPACT GLAZING                      | 12 CUMARU WOOD CLADDING                            |                       |

### 1 FRONT ELEVATION

A2.0/A5.0  
A2.1  
A4.0

1/4" = 1'-0"

COMPLIANCE WITH THE FOLLOWING GLAZING REQUIREMENTS:

A-GLASS DOORS MUST BE INDICATED TO BE OF CATEGORY II SAFETY GLAZING-FBC R4410.2.3.1.3.2.

B-GLASS PANELS ADJACENT TO DOORS (WITHIN 48") MUST BE INDICATED TO BE OF CATEGORY II SAFETY GLAZING-FBC R4410.2.4.3(2).

C-GLASS IN WINDOWS ADJACENT TO TUBS AND SHOWER COMPARTMENTS MUST BE CATEGORY II SAFETY GLAZING-FBC R4410.2.3.1.3.2 & R4410.2.6.2.

D-GLASS IN BATH AND SHOWER ENCLOSURES MUST BE OF CATEGORY II SAFETY GLAZING-FBC 4410.2.3.1.3.2.



### 2 REAR ELEVATION

A2.0/A5.0  
A2.1  
A4.0

1/4" = 1'-0"

JOB NO.	2005	DATE	06/09/21
DRAWN BY	CM, AM	PRELIMINARY BOA	
CHECKED	CM, BR		
NO.			

ARCHITECTURE	PLANNING	INTERIOR DESIGN
SHANER RESIDENCE	CMA Design Studio, Inc.	
6935 Sunrise Court		
Coral Gables, Florida 33133		
TITLE: FRONT & REAR ELEVATIONS		

SEAL	
Lynise Christine Com FL Architect AB990059 AA-26060730	
SHEET NO.:	

A5.0
------



- |   |  |  |                       |
|---|--|--|-----------------------|
| 1 BORAL TILE MADERA VINTAGEWOOD SHAKE STYLE ROOF    | 5 CONCRETE PLANTER, SMOOTH STUCCO FINISH                                   | 9 ALUMINUM DOOR, DARK BRONZE FINISH IMPACT GLAZING | 13 WATER FEATURE/POOL |
| 2 SMOOTH STUCCO FINISH, CALCEM LIME-BASED PAINT     | 6 42" GLASS RAILING TO COMPLY W/ FBCR 4403.7.3                             | 10 GARAGE DOOR W/ WOOD GRAIN FINISH                | 14 SITE WALL/ GATE    |
| 3 CORAL STONE CLADDING FINISH                       | 7 ALUMINUM SLIDING GLASS DOOR, DARK BRONZE ANODIZED FINISH, IMPACT GLAZING | 11 ALUMINUM MEMBERS W/ WOOD GRAIN FINISH           |                       |
| 4 COLUMN W/ DARK BRONZE ANODIZED BREAK METAL FINISH | 8 ALUMINUM WINDOW, DARK BRONZE FINISH, IMPACT GLAZING                      | 12 CUMARU WOOD CLADDING                            |                       |

1 SIDE ELEVATION (NORTH)

A2.0/A5.1  
A2.1  
A4.0

1/4" = 1'-0"

COMPLIANCE WITH THE FOLLOWING GLAZING REQUIREMENTS:

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D-GLASS IN BATH AND SHOWER ENCLOSURES MUST BE OF CATEGORY II SAFETY GLAZING-FBC 4410.2.3.1.3.2.



2 SIDE ELEVATION (SOUTH)

A2.0/A5.1  
A2.1  
A4.0

1/4" = 1'-0"

JOB NO.	2005	DATE	06/09/21
DRAWN BY	CM, AM	CHECKED	CM, BR
DATE	06-08-21		
PRELIMINARY BOA			
NO.			

CMA Design Studio, Inc.	INTERIOR DESIGN
ARCHITECTURE	PLANNING
232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134	T: 305.448.4200 F: 305.448.4215

SHANER RESIDENCE	TITLE: SIDE ELEVATIONS
6935 Sunrise Court	
Coral Gables, Florida 33133	
SEAL	
Lynsie Christine Com FL Architect AR990059 A.A.20000730	
SHEET NO.:	
A5.1	



- 1

BORAL TILE MADERA VINTAGWOOD SHAKE STYLE ROOF
- 2

SMOOTH STUCCO FINISH, CALCEM LIME-BASED PAINT
- 3

CORAL STONE CLADDING FINISH
- 4

COLUMN W/ DARK BRONZE ANODIZED BREAK METAL FINISH
- 5

CONCRETE PLANTER, SMOOTH STUCCO FINISH
- 6

42" GLASS RAILING TO COMPLY W/ FBCR 4403.7.3
- 7

ALUMINUM SLIDING GLASS DOOR, DARK BRONZE ANODIZED FINISH, IMPACT GLAZING
- 8

ALUMINUM WINDOW, DARK BRONZE FINISH, IMPACT GLAZING
- 9

ALUMINUM DOOR, DARK BRONZE FINISH IMPACT GLAZING
- 10

GARAGE DOOR W/ WOOD GRAIN FINISH
- 11

ALUMINUM MEMBERS W/ WOOD GRAIN FINISH
- 12

CUMARU WOOD CLADDING
- 13

WATER FEATURE/POOL
- 14

SITE WALL/ GATE

1 FRONT BUILDING SECTION

A2.0/A6.0  
A2.1  
A4.0

1/4" = 1'-0"

COMPLIANCE WITH THE FOLLOWING GLAZING REQUIREMENTS:

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D-GLASS IN BATH AND SHOWER ENCLOSURES MUST BE OF CATEGORY II SAFETY GLAZING-FBC 4410.2.3.1.3.2.



2 REAR BUILDING SECTION

A2.0/A6.0  
A2.1  
A4.0

1/4" = 1'-0"

NO.	JOB NO.	2005	DATE
1	DRAWN BY	CM, AM	06/09/21
2	CHECKED	CM, PR	
3	DATE	06-09-21	
4	PRELIMINARY BOA		

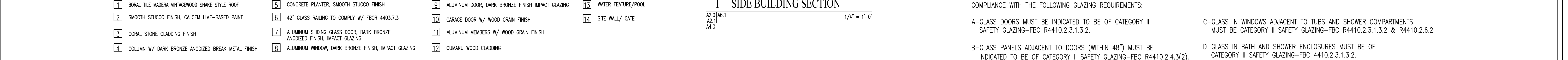
NO.	JOB NO.	2005	DATE
1	DRAWN BY	CM, AM	06-09-21
2	CHECKED	CM, PR	
3	DATE	06-09-21	
4	PRELIMINARY BOA		

CMA Design Studio, Inc.	INTERIOR DESIGN
ARCHITECTURE	PLANNING
232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134	T: 305.448.4200 F: 305.448.4215

SHANER RESIDENCE	6935 Sunrise Court
Coral Gables, Florida 33133	
TITLE: FRONT & REAR SECTIONS	

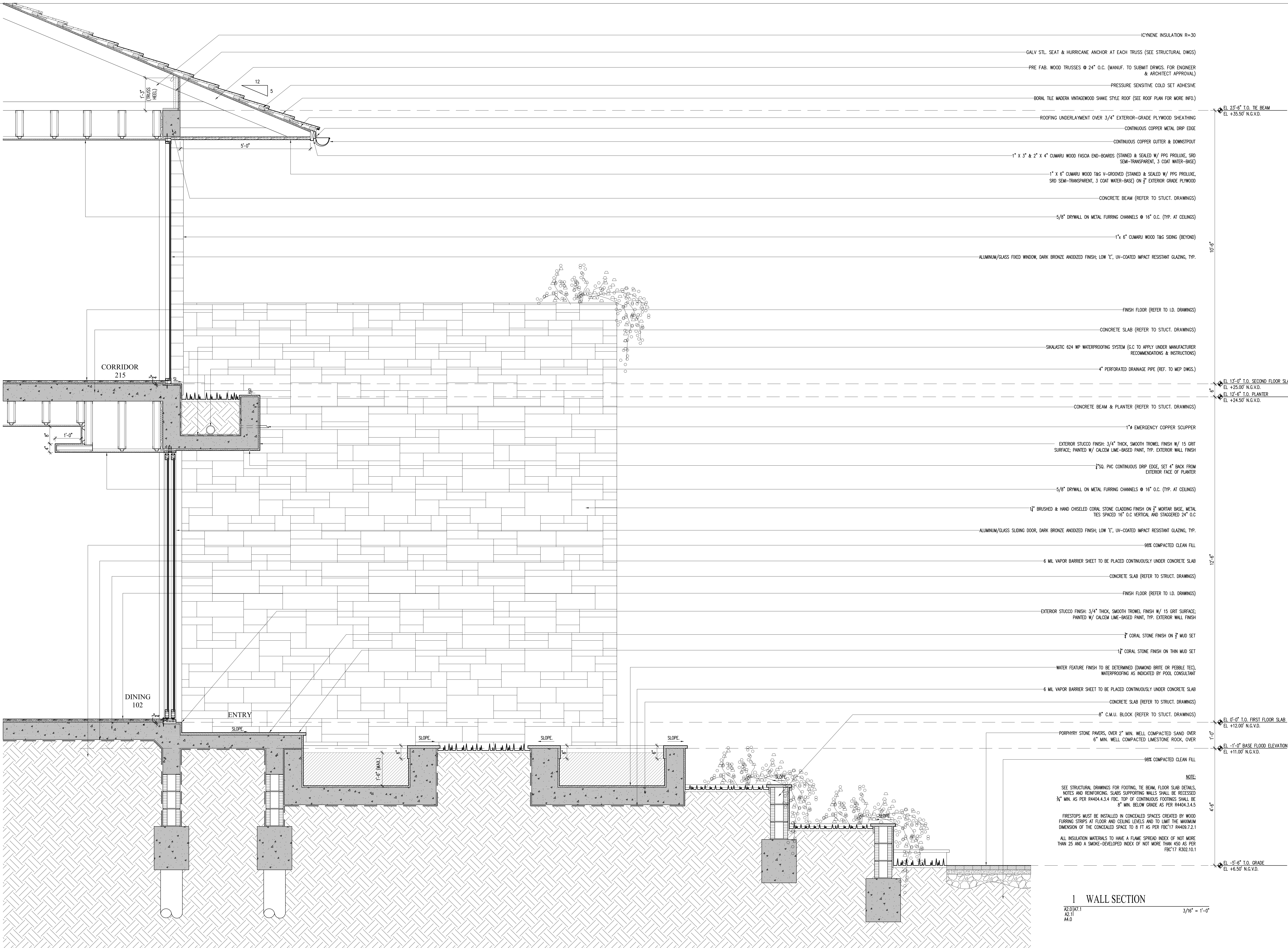
SEAL
Lynise Christine Com FL Architect AB990059 AA-50800730

SHEET NO.:
A6.0





<p><b>SEAL</b></p> <p>Lynsie Christine Conn          F.L. Architect          AR90059          AA26000730</p>		<p><b>SHANER RESIDENCE</b>          6935 Sunrise Court          Coral Gables, Florida 33133</p>		<p><b>CMA Design Studio, Inc.</b>          ARCHITECTURE PLANNING INTERIOR DESIGN          232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200 F: 305.448.4215</p>		<p>JOB NO. 2005</p>		<p>NO.</p>		<p>DATE</p>	
				<p>DRAWN BY CM, AM</p>							
				<p>DATE 06-08-21</p>							
				<p>CHECKED CM, PR</p>							
<p><b>SHEET NO.:</b></p> <p><b>A7.0</b></p>											



ICYNENE INSULATION R=30

GALV STL. SEAT & HURRICANE ANCHOR AT EACH TRUSS (SEE STRUCTURAL DWGS)

PRE FAB. WOOD TRUSSES @ 24" O.C. (MANUF. TO SUBMIT DRWGS. FOR ENGINEER & ARCHITECT APPROVAL)

PRESSURE SENSITIVE COLD SET ADHESIVE

BORAL TILE MADERA VINTAGEWOOD SHAKE STYLE ROOF (SEE ROOF PLAN FOR MORE INFO.)

EL 23'-6" T.O. TIE BEAM  
EL +35.50' N.G.V.D.

ROOFING UNDERLAYMENT OVER 3/4" EXTERIOR-GRADE PLYWOOD SHEATHING

CONTINUOUS COPPER METAL DRIP EDGE

CONTINUOUS COPPER GUTTER & DOWNSPOUT

1" X 3" & 2" X 4" CUMARU WOOD FASOIA END-BOARDS (STAINED & SEALED W/ PPG PROLUXE, SRD SEMI-TRANSPARENT, 3 COAT WATER-BASE)

1" X 6" CUMARU WOOD TAG V-GROOVED (STAINED & SEALED W/ PPG PROLUXE, SRD SEMI-TRANSPARENT, 3 COAT WATER-BASE) ON 1/2" EXTERIOR GRADE PLYWOOD

CONCRETE BEAM (REFER TO STUCT. DRAWINGS)

5/8" DRYWALL ON METAL FURRING CHANNELS @ 16" O.C. (TYP. AT CEILINGS)

1" X 6" CUMARU WOOD TAG SIDING (BEYOND)

ALUMINUM/GLASS FIXED WINDOW, DARK BRONZE ANODIZED FINISH; LOW 'E', UV-COATED IMPACT RESISTANT GLAZING, TYP.

FINISH FLOOR (REFER TO I.D. DRAWINGS)

CONCRETE SLAB (REFER TO STUCT. DRAWINGS)

SIKALASTIC 624 WP WATERPROOFING SYSTEM (G.C. TO APPLY UNDER MANUFACTURER RECOMMENDATIONS & INSTRUCTIONS)

4" PERFORATED DRAINAGE PIPE (REF. TO MEP DWGS.)

EL 13'-0" T.O. SECOND FLOOR SLAB  
EL +25.00' N.G.V.D.  
EL 12'-6" T.O. PLANTER  
EL +24.50' N.G.V.D.

CONCRETE BEAM & PLANTER (REFER TO STUCT. DRAWINGS)

1" EMERGENCY COPPER SCUPPER

EXTERIOR STUCCO FINISH: 3/4" THICK, SMOOTH TROWEL FINISH W/ 15 GRIT SURFACE, PAINTED W/ CALCEM LIME-BASED PAINT, TYP. EXTERIOR WALL FINISH

1/2" SQ. PVC CONTINUOUS DRIP EDGE, SET 4" BACK FROM EXTERIOR FACE OF PLANTER

5/8" DRYWALL ON METAL FURRING CHANNELS @ 16" O.C. (TYP. AT CEILINGS)

1 1/2" BRUSHED & HAND CHISELED CORAL STONE CLADDING FINISH ON 1/2" MORTAR BASE, METAL TIES SPACED 16" O.C VERTICAL AND STAGGERED 24" O.C

ALUMINUM/GLASS SLIDING DOOR, DARK BRONZE ANODIZED FINISH; LOW 'E', UV-COATED IMPACT RESISTANT GLAZING, TYP.

98% COMPACTED CLEAN FILL

6 MIL VAPOR BARRIER SHEET TO BE PLACED CONTINUOUSLY UNDER CONCRETE SLAB

CONCRETE SLAB (REFER TO STRUCT. DRAWINGS)

FINISH FLOOR (REFER TO I.D. DRAWINGS)

EXTERIOR STUCCO FINISH: 3/4" THICK, SMOOTH TROWEL FINISH W/ 15 GRIT SURFACE, PAINTED W/ CALCEM LIME-BASED PAINT, TYP. EXTERIOR WALL FINISH

1/2" CORAL STONE FINISH ON 1/2" MUD SET

1" CORAL STONE FINISH ON THIN MUD SET

WATER FEATURE FINISH TO BE DETERMINED (DIAMOND BRITE OR PEBBLE TEC), WATERPROOFING AS INDICATED BY POOL CONSULTANT

6 MIL VAPOR BARRIER SHEET TO BE PLACED CONTINUOUSLY UNDER CONCRETE SLAB

CONCRETE SLAB (REFER TO STRUCT. DRAWINGS)

8" C.M.U. BLOCK (REFER TO STUCT. DRAWINGS)

EL 0'-0" T.O. FIRST FLOOR SLAB  
EL +12.00' N.G.V.D.

EL -1'-0" BASE FLOOD ELEVATION  
EL +11.00' N.G.V.D.

98% COMPACTED CLEAN FILL

NOTE:  
SEE STRUCTURAL DRAWINGS FOR FOOTING, TIE BEAM, FLOOR SLAB DETAILS, NOTES AND REINFORCING. SLABS SUPPORTING WALLS SHALL BE RECESSED 3/4" MIN. AS PER R4404.4.3.4 FBC. TOP OF CONTINUOUS FOOTINGS SHALL BE 8" MIN. BELOW GRADE AS PER R4404.3.4.5

FIRESTOPS MUST BE INSTALLED IN CONCEALED SPACES CREATED BY WOOD FURRING STRIPS AT FLOOR AND CEILING LEVELS AND TO LIMIT THE MAXIMUM DIMENSION OF THE CONCEALED SPACE TO 8 FT AS PER FBC17 R4409.7.2.1

ALL INSULATION MATERIALS TO HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450 AS PER FBC17 R302.10.1

EL -5'-6" T.O. GRADE  
EL +6.50' N.G.V.D.

1 WALL SECTION

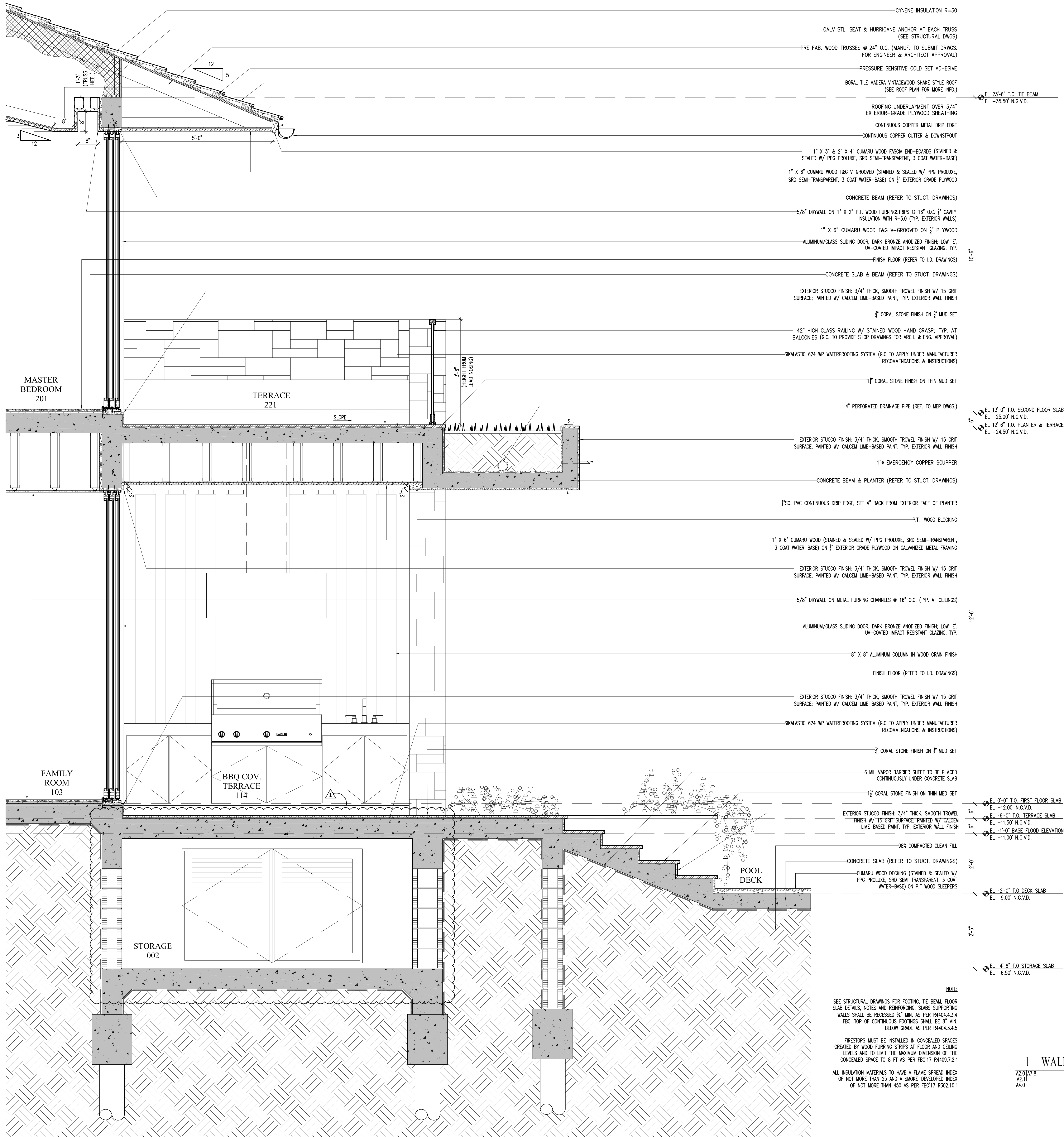
A2.0/A7.1  
A2.1  
A4.0

3/16" = 1'-0"





<b>SHANER RESIDENCE</b> 6935 Sunrise Court Coral Gables, Florida 33133		<b>CMA Design Studio, Inc.</b> ARCHITECTURE PLANNING INTERIOR DESIGN 232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200 F: 305.448.4215		JOB NO. 2005	
<b>TITLE: WALL SECTION</b>		DRAWN BY CM AM		PRELIMINARY BOA	
		DATE 06-08-21		NO.	
		CHECKED CM RR		DATE 06/08/21	
SEAL  Lynsie Christine Conn FL Architect AR90059 AA26000730		SHEET NO.: <b>A7.4</b>			



DATE	06/08/21
NO.	PRELIMINARY BOA

JOB NO.	2005
DRAWN BY	CM, AM
DATE	06-08-21
CHECKED	CM, PR

CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN

232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200 F: 305.448.4215

SHANER RESIDENCE

6935 Sunrise Court

Coral Gables, Florida 33133

TITLE WALL SECTION

SEAL

Lynsie Christine Conn  
FL Architect  
AR990059  
AA-50800730

SHEET NO.:

A7.8

FIRST FLOOR EXTERIOR DOOR SCHEDULE											
DOOR NO.	ROOM NAME	ROOM NO.	SIZE			MATERIAL		DOOR TYPE	HARDWARE TYPE	HANDING (INSIDE ROOM)	REMARKS
			WIDTH	HEIGHT	THICKNESS	DOOR	FRAME				
101	LIVING	101	6'-0"	10'-6"	—	WOOD/GLASS	WOOD	1	—	LEFT	
102	DINING	102	16'-0"	10'-6"	2 1/4"	ALUMINUM & GLASS	ALUMINUM	2	—	SLIDER	4 PANEL SLIDER, 2 FIXED
103	GARAGE	115	3'-4"	8'-0"	2 1/4"	ALUMINUM & GLASS	ALUMINUM	3	—	LEFT	
104	GARAGE	115	18'-0"	10'-0"	2 1/4"	ALUMINUM & GLASS	ALUMINUM	4	—		ELECTRICAL ROLL UP DOOR
105	GARAGE	115	3'-0"	10'-0"	2 1/4"	ALUMINUM & GLASS	ALUMINUM	5	—	RIGHT	
106	FAMILY ROOM	103	12'-0"	10'-6"	2 1/4"	ALUMINUM & GLASS	ALUMINUM	6	—	SLIDER	3 PANEL SLIDER, 1 FIXED
107	FAMILY ROOM	103	16'-0"	10'-6"	2 1/4"	ALUMINUM & GLASS	ALUMINUM	2	—	SLIDER	4 PANEL SLIDER, 2 FIXED
108	DINING	102	32'-0"	10'-6"	2 1/4"	ALUMINUM & GLASS	ALUMINUM	7	—	SLIDER	8 PANEL SLIDER, 2 FIXED
109	STUDY	112	12'-0"	10'-6"	2 1/4"	ALUMINUM & GLASS	ALUMINUM	6	—	SLIDER	3 PANEL SLIDER, 1 FIXED
110	STUDY	112	12'-0"	10'-6"	2 1/4"	ALUMINUM & GLASS	ALUMINUM	6	—	SLIDER	3 PANEL SLIDER, 1 FIXED
111	STORAGE	001	3'-0"	4'-0"	2 1/4"	ALUMINUM	ALUMINUM	8	—	RIGHT	SOLID LOUVERED DOOR
112	STORAGE	002	6'-0"	4'-0"	2 1/4"	ALUMINUM	ALUMINUM	9	—	DOUBLE	SOLID LOUVERED DOOR

SECOND FLOOR EXTERIOR DOOR SCHEDULE											
DOOR NO.	ROOM NAME	ROOM NO.	SIZE			MATERIAL		DOOR TYPE	HARDWARE TYPE	HANDING (INSIDE ROOM)	REMARKS
			WIDTH	HEIGHT	THICK.	DOOR	FRAME				
201	CORRIDOR	215	16'-0"	9'-6"	2 1/4"	ALUMINUM & GLASS	ALUMINUM	10	--	SLIDER	4 PANEL SLIDING DOOR, 2 FIXED
202	CORRIDOR	215	3'-4"	9'-6"	2 1/4"	ALUMINUM & GLASS	ALUMINUM	11	--	LEFT	
203	MASTER BEDROOM	201	12'-0"	9'-6"	2 1/4"	ALUMINUM & GLASS	ALUMINUM	12	--	SLIDER	3 PANEL SLIDING DOOR, 1 FIXED
204	MASTER BEDROOM	201	16'-0"	9'-6"	2 1/4"	ALUMINUM & GLASS	ALUMINUM	10	--	SLIDER	4 PANEL SLIDING DOOR, 2 FIXED
205	BEDROOM NO.1	206	8'-0"	9'-6"	2 1/4"	ALUMINUM & GLASS	ALUMINUM	13	--	SLIDER	2 PANEL SLIDING DOOR, 1 FIXED
206	BEDROOM NO.2	208	8'-0"	9'-6"	2 1/4"	ALUMINUM & GLASS	ALUMINUM	13	--	SLIDER	2 PANEL SLIDING DOOR, 1 FIXED
207	BEDROOM NO.3	210	8'-0"	9'-6"	2 1/4"	ALUMINUM & GLASS	ALUMINUM	13	--	SLIDER	2 PANEL SLIDING DOOR, 1 FIXED
208	GUEST BEDROOM	216	11'-8"	9'-0"	2 1/4"	ALUMINUM & GLASS	ALUMINUM	14	--	SLIDER	3 PANEL SLIDING DOOR, 1 FIXED

WINDOW SCHEDULE						
TYPE	SIZE		GLASS TYPE	FRAME MAT'L	CODE NO.	REMARKS
	WIDTH	HEIGHT				
A	2'-0"	10'-6"	IMPACT RESISTANT	ALUMINUM		FIXED PANEL
B	8'-0"	10'-6"	IMPACT RESISTANT	ALUMINUM		2 FIXED PANELS
C	2'-9"	7'-6"	IMPACT RESISTANT	ALUMINUM		FIXED PANEL
D	4'-0"	10'-6"	IMPACT RESISTANT	ALUMINUM		FIXED PANEL
E	1'-4"	9'-6"	IMPACT RESISTANT	ALUMINUM		FIXED PANEL
F	8'-0"	9'-6"	IMPACT RESISTANT	ALUMINUM		2 FIXED PANELS
G	16'-0"	9'-6"	IMPACT RESISTANT	ALUMINUM		4 FIXED PANELS
H	12'-0"	9'-6"	IMPACT RESISTANT	ALUMINUM		3 FIXED PANELS
I	3'-6"	9'-0"	IMPACT RESISTANT	ALUMINUM		FIXED PANEL
J	3'-0"	9'-0"	IMPACT RESISTANT	ALUMINUM		FIXED PANEL
K	20'-0"	VARIES	IMPACT RESISTANT	ALUMINUM		5 FIXED PANELS, 3 MID PANELS @ 9'-0", 2 OUTSIDE PANELS @ 6'-0"
L	14'-8"	2'-0"	IMPACT RESISTANT	ALUMINUM		CLERESTORY 8'-6" ABOVE FIRST FLOOR SLAB, 3 FIXED PANELS
M	3'-0"	6'-6"	IMPACT RESISTANT	ALUMINUM		FIXED PANEL, 3'-0" ABOVE SECOND FLOOR SLAB

## HARDWARE NOTES

- CONTRACTOR IS TO PROVIDE ARCHITECT WITH A COMPLETE HARDWARE SCHEDULE LISTING ALL HARDWARE TO BE USED ON A DOOR BY DOOR BASIS, FOR APPROVAL.
- ALL INTERIOR KNOBS, UNLESS OTHERWISE NOTED, WILL BE "H 5018 SERIE ATOS" BY FUSTAL (MFR).
- HANDLE SET TO BE USED AT DOOR NO.1 TO BE DETERMINED BY OWNER.
- ALL HINGES TO BE STAINLESS STEEL, CONCEALED "SOSS" HINGE TYPE.
- ALL INTERIOR DOOR JAMBS TO BE CONCEALED JAMB TYPE - "EZY JAMB" BY STUOCO BLDG. SYSTEMS - OR APPROVED EQUAL.
- DOORS 1 3/4" THICK UP TO AND INCLUDING 36" WIDE TO HAVE PAIR AND A HALF HINGES. DOORS 1 3/4" THICK ABOVE 36" WIDE AND/OR TALLER THAN 7'-0" TO HAVE TWO PAIR HINGES.
- ALL POCKET DOORS TO HAVE RECESSED TRACK IN HEADER. USE ACME HEAVY DUTY NO. 58, ANG. HANGER NO. 57.
- ALL EXTERIOR DOORS OF BUILDING SHALL HAVE BOTTOM SEALS AND FRAME GASKETS.
- KEYING:
  - ALL KEYED LOCKS SHALL BE KEYED SEPARATELY AND INTO THE SAME MASTER KEY SYSTEM.
  - FURNISH THREE (3) MASTER KEYS TO THE GENERAL CONTRACTOR TO BE TRANSFERRED TO THE OWNER.
  - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL KEYS AND UPON COMPLETION OF HIS WORK AND ACCEPTANCE BY THE OWNER, THE G.C. SHALL RETURN ALL KEYS TO THE OWNER.
  - FURNISH (3) KEYS FOR EACH LOCK WITH BLANK TAGS.
- ALL EXTERIOR DOOR AND WINDOW MANUFACTURERS TO PROVIDE ARCHITECT/INTERIOR DESIGNER WITH SHOP DRAWINGS OF DOOR AND WINDOWS ALONG WITH DOOR AND WINDOW HARDWARE FOR FINAL APPROVAL.
- PLEASE REFER TO DOORBELL LEGEND FOR DOORBELL STYLE.

## INTERIOR DOOR NOTES

- EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM THE INSIDE THE CLOSET.
- EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.
- DOORS MAY BE SWINGING OR SLIDING AND ARE EXEMPT FROM THE REQUIREMENTS OF PARAGRAPH 3103.3 (C) OF THE SOUTH FLORIDA BUILDING CODE.
- NO DOOR IN ANY MEANS OF ESCAPE SHALL BE LOCKED AGAINST EGRESS WHEN THE BUILDING IS OCCUPIED. ALL LOCKING DEVICES WHICH IMPED OR PROHIBIT EGRESS OR WHICH CANNOT BE EASILY DISENGAGED SHALL BE PROHIBITED.
- CONTRACTOR TO COORDINATE THAT ALL EXTERIOR DOOR EXTENSION JAMB HEIGHTS AND WINDOW HEADER JAMB HEIGHTS TO ALIGN HORIZONTALLY WITH INTERIOR DOOR HEADER JAMBS. REFER TO INTERIOR DOOR TYPES FOR HEIGHTS - RESPECTIVE PER FLOOR.
- CONTRACTOR TO COORDINATE THAT TRANSOM GLAZING ALIGN WITH CLEAR GLAZING OF DOOR / WINDOW BELOW.
- CONTRACTOR TO COORDINATE THAT ALL EXTERIOR DOORS SWING FREE AND CLEAR OF ANY OVERHEAD OR FLOOR FINISH OBSTRUCTION.
- IMPACT DOORS AND WINDOWS TO HAVE LOW "E" INSULATED UV-COATED GLAZING. GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH DOOR AND WINDOW MANUFACTURER U-FACTOR AND SOLAR HEAT GAIN COEFFICIENT AS SPECIFIED ON THE ENERGY CALCULATIONS PROVIDED BY THE MEP ENGINEER.

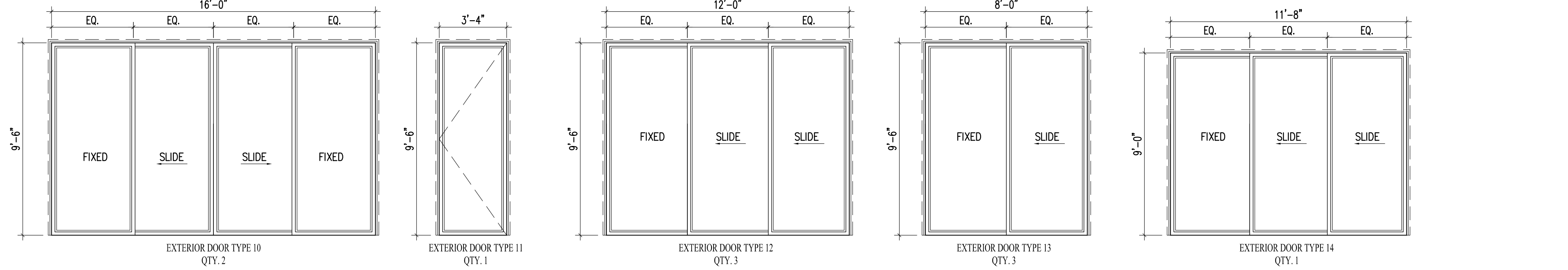
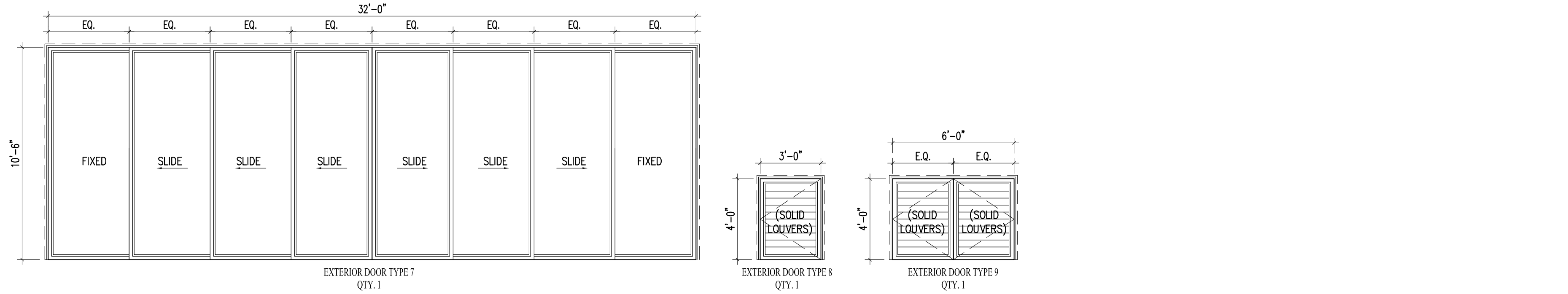
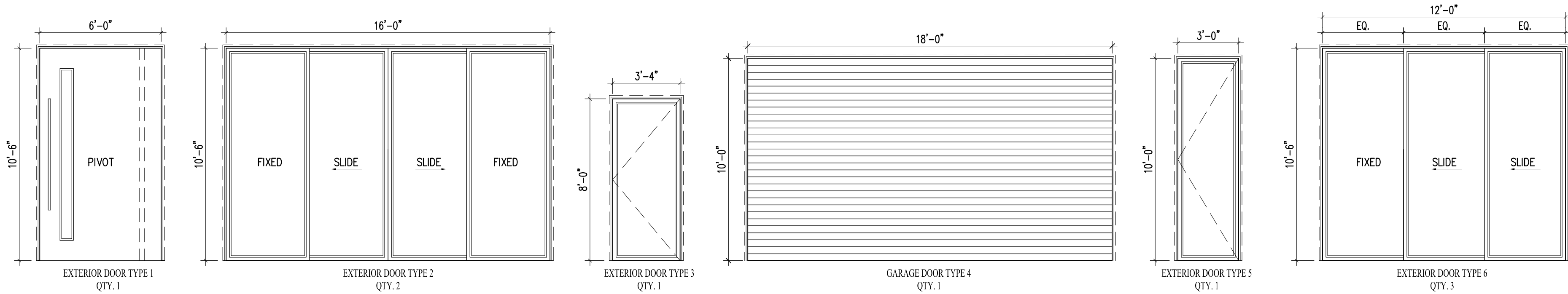
## BURGLAR INTRUSION NOTES:

- ALL LOCKS ON EXTERIOR DOORS SHALL BE CAPABLE OF WITHSTANDING A FORCE OF 300 LBS. APPLIED IN ANY MOVABLE DIRECTION.
- ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A KEY OPERATED FROM EXTERIOR WITH MIN. 6000 POSSIBLE KEY CHANGES / LOCKING COMBINATIONS. IF KEY KNOB IS USED, AN AUXILIARY DEAD BOLT WITH HARDENED BOLT OR INSERTS SHALL BE PROVIDED.
- THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF OF THESE PAIRS OF DOORS SHALL HAVE MULTIPLE POINT LOCKS WITH 6" MIN. THROW BOLTS WITH INSERTS.
- OVERHEAD DOORS SHALL BE PROVIDED WITH MULTIPLE POINT LOCKS OR BE LOCKED AT MORE THAN ONE POINT WITH HARDENED BOLTS OR BOLTS WITH INSERTS ENGAGING AT LEAST TWO OPPOSITE POINTS A MIN. OF 6". OTHER LOCKING DEVICES SHALL NOT BE REQUIRED WHERE SUCH DOORS ARE CONTROLLED AND LOCKED BY ELECTRIC POWER.
- OVERHEAD DOORS SHALL BE PROVIDED WITH MULTIPLE POINT LOCKS OR BE LOCKED AT MORE THAN ONE POINT WITH HARDENED BOLTS OR BOLTS WITH INSERTS ENGAGING AT LEAST TWO OPPOSITE POINTS A MIN. OF 6". OTHER LOCKING DEVICES SHALL NOT BE REQUIRED WHERE SUCH DOORS ARE CONTROLLED AND LOCKED BY ELECTRIC POWER.
- HINGES ON EXTERIOR OUT SWINGING DOORS SHALL HAVE NON EXPOSED SCREWS AND NON-REMOVABLE PINS.
- ANSI Z97.1 JAMBS OF ALL EXTERIOR OFFSET TYPE IN-SWINGING DOORS SHALL BE RABBETED OR OF SIMILAR FABRICATION TO PREVENT DEFEATING THE PURPOSE OF THE STRIKE AND THE INTEGRITY OF LOCKS AND LATCHES.
- SINGLE SWINGING EXTERIOR DOORS, IF WOOD, SHALL BE SOLID CORE OF NOT LESS THAN 1" THICK.
- GLASS TO EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTES Z97.1.
- INSIDE LOCKING ACTIVATING DEVICE OF LOCKS AND SWINGING GLASS DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE.
- VENTS IN OVERHEAD GARAGE TYPE DOORS SHALL NOT BE INSTALLED CLOSER THAN 40" TO THE INSIDE LOCK ACTIVATING DEVICE.
- SINGLE SWING EXTERIOR AND SWING DOORS CONNECTION LIVING AREAS WITH GARAGE AREAS SHALL BE SECURED WITH A LATCH AND A SINGLE DEAD BOLT WITH ONE INCH MIN. THROWS OR A COMBINATION OF DEAD LATCH AND DEAD BOLT SETS WITH LATCH THROW A MIN. OF 1" AND BOLTS HAVING A 1" THROW. DOORS SHALL BE A MIN. 16" THICK SOLID CORE.

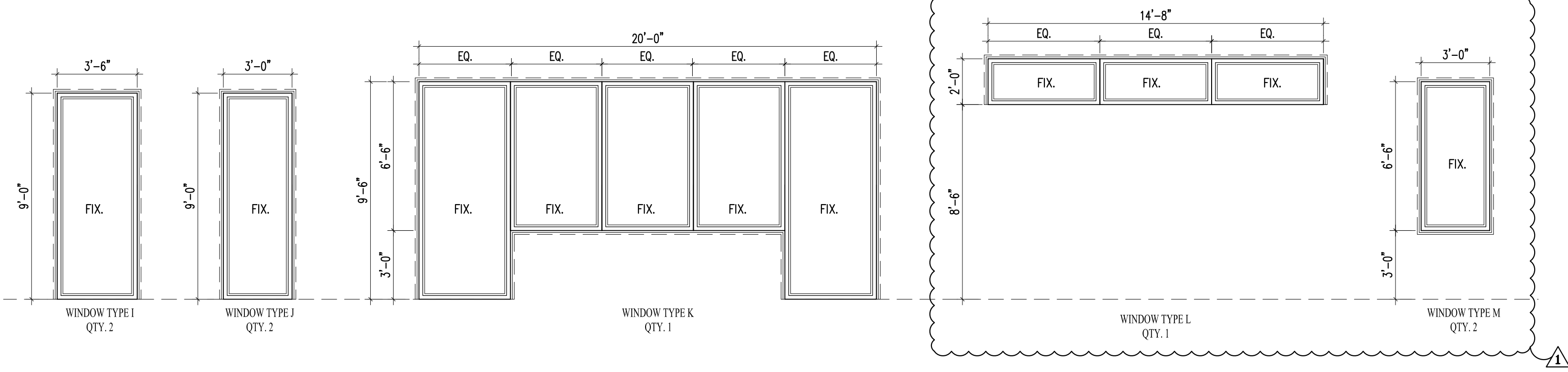
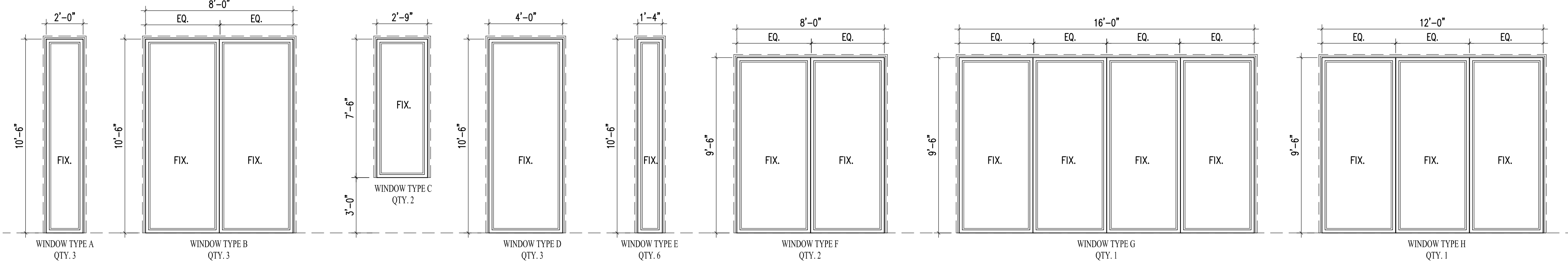
## DOOR HAND CONVENTIONS

- DOOR HAND CONVENTIONS ARE USED IN SPECIFYING DOOR HARDWARE SUCH AS LOCK SETS AND CLOSERS. THE TERMS RIGHT AND LEFT ASSUME A VIEW FROM THE EXTERIOR OF THE BUILDING OR ROOM TO WHICH THE DOORWAY LEADS (KEY SIDE).
- DOOR HANDING ABBREVIATIONS:  
RH = RIGHT HAND, LF = LEFT HAND, RH(R) = RIGHT HAND 180 DEGREE HINGE, LH(R) = LEFT HAND 180 DEGREE HINGE  
RHR = RIGHT HAND REVERSE, LHR = LEFT HAND REVERSE, DBL = HINGE

## EXTERIOR DOORS



## EXTERIOR WINDOWS



## MANUFACTURER

- ALUMINUM:
  - LA FINESTRA, L.C.
  - WINDOW
  - CGI WINDOWS & DOORS
- WOOD:
  - PEETZ WINDOWS & DOORS
  - HARTMAN WINDOWS & DOORS
  - TISHLER WINDOWS & DOORS

GENERAL CONTRACTOR TO INFORM ARCHITECT IN WRITING IF A DIFFERENT MANUFACTURER IS PROPOSED.

\* ALL GLASS IN WINDOWS TO HAVE A U FACTOR OF 0.8 AND A SOLAR HEAT GAIN COEFFICIENT OF 0.27, DOORS TO HAVE A U VALUE OF 0.46

DATE	06/08/21
NO.	PRELIMINARY BOA

JOB NO.	2005
DRAWN BY	CM. AM
DATE	02-15-21
CHECKED	CM. RR

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SHANER RESIDENCE
6935 Sunrise Court
Coral Gables, Florida 33133
TITLE: DOORS AND WINDOWS SCHEDULE

SEAL
Lyndie Christine Conn FL Architect AR90059 CA3600730

SHEET NO.:

A10.0

SCOPE OF WORK

THE FOLLOWING DRAWINGS ILLUSTRATE THE PROPOSED SCOPE OF WORK FOR 6935 SUNRISE COURT TO BE PERMITTED BY CITY OF CORAL GABLES:

- TREE REMOVAL & RELOCATION
- INSTALLATION OF HARDSCAPE
- INSTALLATION OF TREE & PALM PLANTING
- INSTALLATION OF UNDERSTORY PLANTING
- INSTALLATION OF AUTOMATIC IRRIGATION SYSTEM
- INSTALLATION OF LANDSCAPE LOW VOLTAGE LIGHTING

02.01.2021 100% CD  
12.17.2020 75% CD  
11.25.2020

SHEET INDEX	
LANDSCAPE DRAWINGS	DRAWING NOTES
LCVR	COVER PAGE
L001	GENERAL SITE NOTES
L100	TREE DISPOSITION NOTES
L101	TREE DISPOSITION PLAN & SCHEDULE
L200	DEMOLITION NOTES & PLAN
L300	MATERIALS PLAN
L400	GRADING PLAN
L500	LAYOUT PLAN
L600	DETAILS
L700	PLANTING SCHEDULE & NOTES
L701	TREE & PALM PLANTING PLAN
L702	UNDERSTORY PLANTING PLAN
L703	SECOND LEVEL PLANTING PLAN
L704	PLANTING DETAILS
L800	IRRIGATION NOTES & SCHEDULE
L801	IRRIGATION DETAILS
L802	IRRIGATION PLAN
L803	SECOND LEVEL IRRIGATION PLAN
L900	LIGHTING PLAN, SCHEDULE & NOTES

LOCATION MAP



CLIENT  
MR. & MRS. SHANER  
6935 SUNRISE COURT  
CORAL GABLES, FL 33133

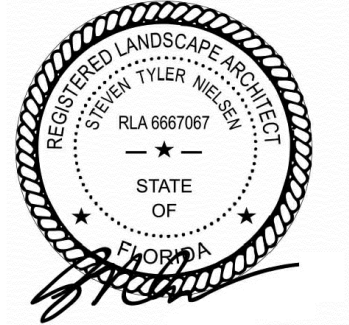
LANDSCAPE ARCHITECT  
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SEAL (S TYLER NIELSEN - LA6667067)



02.01.2021

COVER PAGE

DATE	ISSUE
11.25.2020	COORDINATION
12.17.2020	75% CD
02.01.2021	100% CD

SITework GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK BY THE SUBCONTRACTORS.

2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AT JOB SITE AND NOTIFY LANDSCAPE ARCHITECT AND GENERAL CONTRACTOR OF DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING ANY WORK.

3. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. ALL CONTRACTORS MUST COMPLY WITH PERMIT REQUIREMENTS, LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES RULES AND REGULATIONS AND LAND USE APPROVAL CONDITIONS AT ALL TIMES.

4. WORK PERFORMED WITHOUT APPROVAL OF LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES AND/OR NOT IN COMPLIANCE WITH SPECIFICATIONS AND/OR DRAWINGS IS SUBJECT TO REMOVAL AT CONTRACTOR'S EXPENSE.

5. ALL WORK SHALL CONFORM TO THE APPROPRIATE AGENCIES. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES, LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER. THE LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR UTILITIES OR STRUCTURES NOT SHOWN ON THE DRAWINGS. CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING OVER OR NEAR EXISTING GAS AND ELECTRICAL LINES.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTling ALL LAND MONUMENTS DISRUPTED BY CONSTRUCTION ACTIVITIES OR NEGLIGENCE ON THE PART OF THE CONTRACTOR. RESETS SHALL BE PERFORMED UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR AND MONUMENT RECORDS MUST BE FILED AS REQUIRED BY STATUTE FOR ALL MONUMENTS.

7. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS AND STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR RECONSTRUCTED SATISFACTORY TO THE LANDSCAPE ARCHITECT AT THE CONTRACTOR'S EXPENSE.

8. ALL BARRICADING AND TEMPORARY TRAFFIC CONTROL DEVICES OR METHODS USED DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES STANDARDS. PROVIDE ADEQUATE TIME FOR REVIEW AND APPROVAL BY THE ABOVE JURISDICTIONS PRIOR TO COMMENCEMENT.

9. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES UTILIZED OR FOR SAFETY PRECAUTIONS OR PROBLEMS IN CONNECTION WITH THE WORK. THE LANDSCAPE ARCHITECT WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACT DOCUMENTS INCLUDE THE CONSTRUCTION DOCUMENT DRAWING SET/TECHNICAL SPECIFICATIONS MANUAL/LASIS.

10. CONTRACTOR TO VERIFY ALL QUANTITIES. IN CASE OF ANY DISCREPANCIES, GRAPHICALLY SHOWN MATERIAL QUANTITIES SHALL TAKE PRECEDENCE.

11. A SYSTEM OF DIAGRAMMATIC SYMBOLS, HATCHES AND NOTATIONS IS USED IN THESE DRAWINGS. REVIEW NOTATIONS CAREFULLY, NOTIFY LANDSCAPE ARCHITECT AND REQUEST CLARIFICATION OF ANY UNCLEAR NOTATION OR DISCREPANCY PRIOR TO COMMENCING WORK.

12. PROVIDE SLEEVES AS REQUIRED FOR DRAINAGE, IRRIGATION AND ELECTRICAL LINES. IRRIGATION AND ELECTRICAL SLEEVES AND SUBSURFACE DRAINAGE SYSTEMS SHALL BE CONSTRUCTED PRIOR TO PAVING AND LANDSCAPE WORK. UTILITY SLEEVES ARE REQUIRED IN ALL PLANT BEDS ISOLATED BY PAVEMENT OR ANY OTHER STRUCTURES.

13. SPECIAL CONSIDERATION IS GIVEN TO THE DESIGN AND INTENDED RELATIONSHIP BETWEEN ARCHITECTURE, PLANTING AREAS AND PAVING SYSTEMS. PAVEMENT JOINTING, PAVERS, STONE, FINISHES AND GRADES HAVE BEEN STRICTLY COORDINATED IN THE CONTRACT DOCUMENTS. CONSTRUCTION OF THESE SYSTEMS SHALL BE STRICTLY COORDINATED.

14. VEHICLES, EQUIPMENT, AND/OR MATERIALS SHALL NOT BE PARKED OR STORED IN AREAS OF EXISTING VEGETATION, INCLUDING WITHIN THE DRIPLINE OF EXISTING TREES TO REMAIN.

15. CONSTRUCTION WASTE-INCLUDING BUT NOT LIMITED TO: PLANT MATERIAL, BUILDING MATERIALS, DEMOLISHED MATERIALS, PACKAGING, LEFTOVER PAINT AND CONCRETE SLURRY-SHOULD BE PROPERLY REUSED, RECYCLED, DISPOSED OF LEGALLY OFF-SITE OR IN DESIGNATED WASH-OUT AREAS DETERMINED BY THE GENERAL CONTRACTOR.

16. RECYCLING AND TRASH BINS TO BE PROVIDED ON SITE. SEPARATE BINS FOR CARDBOARD, CO-MINGLED, AND OTHER RECYCLABLE/REUSABLE MATERIALS IDENTIFIED BY THE LOCAL JURISDICTION SHALL BE MAINTAINED. ALL BINS TO BE WILDLIFE-PROOF.

17. ON-SITE FUEL STORAGE FOR CONSTRUCTION EQUIPMENT IS DISCOURAGED. CONSTRUCTION EQUIPMENT USED ON SITE TO BE CHECKED REGULARLY TO ASSURE CONTAMINATION CONCERNS FROM OILS AND GREASES ARE ELIMINATED. NO TOXIC MATERIALS SHALL BE STORED ON-SITE.

18. GENERAL CONTRACTOR TO KEEP ALL ITEMS IMPLEMENTED BY LANDSCAPE ARCHITECT IN PROPER WORKING ORDER THROUGHOUT THE DURATION OF THE PROJECT.

19. THE CONSTRUCTION SITE TO BE INSPECTED ON A MONTHLY BASIS BY LANDSCAPE ARCHITECT AND/OR CIVIL ENGINEER TO ASSURE THAT THE SILT FENCE AND MUD TRACKING PAD ARE PROPERLY IN PLACE AND FUNCTIONING AS DESIGNED.

20. GREEN BUILDING PRACTICES SHALL BE EMPLOYED TO THE EXTENT FEASIBLE. SUCH PRACTICES INCLUDE: CARPOOLING/VANPOOLING TO JOB SITE, MINIMIZING MATERIALS PACKING BEFORE ARRIVAL TO JOB SITE, REDUCING MATERIAL/RESOURCE INEFFICIENCIES BY COORDINATING WORK.

21. THE PROJECT LIMIT OF CONSTRUCTION AND ALL EXISTING VEGETATION TO REMAIN IS TO BE CLEARLY DEFINED BY STURDY, WEATHERPROOF FENCING AT A MINIMUM OF FOUR (4) FEET HIGH.

22. WATERPROOFING OF SUBGRADE AND OTHER ARCHITECTURAL SPACES BELOW AND/OR ADJACENT TO IMPROVEMENTS DESIGNED BY THE LANDSCAPE ARCHITECT IS TO BE ADEQUATELY DESIGNED AND DETAILED BY OTHERS TO PERMANENTLY REPEL ALL WATER SOURCES INCLUDING, BUT NOT LIMITED TO: PRECIPITATION, STORM WATER RUNOFF, GROUND WATER, IRRIGATION, ROOF RUNOFF, GROUND WATER, AND PLUMBING LEAKS.

23. STRUCTURAL DESIGN TO SUPPORT IMPROVEMENTS DESIGNED BY THE LANDSCAPE ARCHITECT AND LOCATED ABOVE, BELOW, AND/OR ADJACENT TO SUBGRADE AND OTHER ARCHITECTURAL SPACES IS THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER. THE STRUCTURAL DESIGN SHOULD BE ADEQUATELY DESIGNED TO SUPPORT ALL POSSIBLE LOADS INCLUDING, BUT NOT LIMITED TO: BACKFILL, COMPACTION, PLANTINGS, HARDSCAPES, RETAINING AND FREESTANDING SITE WALLS, AND CONSTRUCTION MATERIALS/EQUIPMENT/ACTIVITY.

SOIL EROSION CONTROL NOTES

1. PRIOR TO BEGINNING ANY EARTH CHANGE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL SESC MEASURES AS SHOWN ON THE CONTRACT DOCUMENTS AND AS REQUIRED BY ANY GOVERNING AGENCIES.

2. ALL SESC MEASURES TO BE MAINTAINED DAILY.

3. THE CONTRACTOR TO CONDUCT ALL EXCAVATION, FILLING, GRADING, AND CLEANUP OPERATIONS IN A MANNER SUCH THAT SEDIMENT, GENERATED BY WIND OR WATER IS NOT DISCHARGED INTO ANY STORM SEWER, DRAINAGE DITCH, RIVER, LAKE, AIR, OR UNDERGROUND UTILITY SYSTEM. STAGE WORK TO MINIMIZE THE AREA OF EXPOSED SOIL, THEREBY REDUCING THE OPPORTUNITY FOR SOIL EROSION.

4. WATER FROM TRENCHES AND OTHER EXCAVATION TO BE PUMPED INTO A FILTRATION BAG TO REMOVE SEDIMENTS FROM THE WATER.

5. NORTH AMERICAN GREEN SC-150 OR EQUIVALENT EROSION CONTROL FABRIC IS REQUIRED ON ALL DISTURBED SLOPES GREATER THAN 3:1 UNTIL PROJECT AREA IS REVEGETATED PER THE PLANTING PLAN.

6. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.

7. CONTRACTOR TO PROVIDE ONSITE WATERING TO REDUCE FUGITIVE DUST LEAVING THE SITE DURING CONSTRUCTION.

8. SOIL EROSION CONTROL MEASURES TO BE PROVIDED FOR ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS.

9. CONSTRUCTION STAGING AND PHASING SHALL OCCUR, WHERE APPLICABLE, TO MINIMIZE SOIL DISTURBANCE TIME.

10. BEST MANAGEMENT PRACTICES (BMPs) SHALL BE ADJUSTED AS NEEDED TO MEET ANY OTHER UNFORESEEN CONDITIONS.

11. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING A MUD TRACKING PAD/WASHING PAD AT THE CONSTRUCTION ENTRANCES TO MINIMIZE MUD DETACHMENT FROM TRUCK TIRES. 1-1/2 INCH SCREENED ROCK TO BE PLACED ON MIRAFI 140-N FILTER FABRIC. ADDITIONAL CLEAN GRAVEL TO BE ADDED THROUGHOUT THE DURATION OF CONSTRUCTION AS NEEDED.

12. CONTRACTOR SHALL ABIDE BY THE LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES CONSTRUCTION MANAGEMENT PLAN REQUIREMENTS.

13. RESEED AS INDICATED IN SEEDING NOTES.

GRADING NOTES

1. VERIFY EXISTING ELEVATIONS PRIOR TO STARTING WORK. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. EXISTING AND PROPOSED GRADES ARE BASED ON SURVEY DOCUMENTS PREPARED BY SURVEYOR.

2. CONTRACTOR SHALL VERIFY THE PLACEMENT OF FLATWORK PENETRATIONS TO ENSURE COORDINATION OF SURFACE FIXTURES, SUCH AS DRAINS AND LIGHTS. NOTIFY GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT OF DISCREPANCIES PRIOR TO CONSTRUCTION OF FLATWORK.

3. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS TO VERIFY FINISHED FLOOR ELEVATIONS. THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT SHALL BE NOTIFIED IF THERE ARE ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

4. THE CONTRACTOR SHALL REFER TO THE MECHANICAL DRAWINGS TO VERIFY DRAIN LOCATIONS OVER STRUCTURE. THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

5. THE CONTRACTOR SHALL REFER TO THE CIVIL ENGINEERING DRAWINGS TO VERIFY UTILITY AND OTHER DRAIN LOCATIONS. THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

6. PROPOSED ELEVATIONS INDICATED ON DRAWINGS ARE FINISHED GRADE ELEVATIONS. THE CONTRACTOR SHALL DIRECT ROUGH GRADE WORK TO ALLOW FOR SUFFICIENT TOPSOIL AND OTHER FINISHED CONDITIONS AS DESCRIBED IN THE CONTRACT DOCUMENTS.

7. ALL FINISHED GRADES SHALL MEET AND BLEND SMOOTHLY WITH EXISTING GRADES AT THE PROJECT LIMIT.

8. ALL FINISHED GRADES SHALL BE WITHOUT LOW SPOTS OR POCKETS. CONTRACTOR SHALL SET FLOW LINES ACCURATELY AND PROVIDE A MINIMUM OF TWO (2) PERCENT OR MAXIMUM OF FIFTY (50) PERCENT, UNLESS OTHERWISE NOTED.

9. ALL FINISHED GRADES SHALL PRESENT SMOOTH TRANSITIONS BETWEEN TOES AND TOPS OF SLOPES.

10. THE MAXIMUM SLOPE OF SOD TO BE 3:1 IN AREAS DESIGNATED AS " LAWN," UNLESS OTHERWISE NOTED.

11. ALL MANHOLES, VALVE BOXES, UTILITY BOXES AND PEDESTALS, AND OTHER APPURTENANCES SHALL BE ADJUSTED TO FINISH GRADE IN ACCORDANCE WITH THE LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES OR UTILITY RULES AND REGULATIONS, UNLESS OTHERWISE NOTED.

12. SOIL COMPACTION BENEATH PAVEMENTS, STEPS, WALLS AND LIGHT FOUNDATIONS SHALL BE 95% PROCTOR DENSITY MINIMUM, UNLESS OTHERWISE SPECIFIED.

13. GRADING AND EXCAVATION WORK SHALL BE COMPLETED DURING DRY AND NON-FREEZING WEATHER CONDITIONS.

14. THE CONTRACTOR SHALL REMOVE AND STOCKPILE TOPSOIL FOR REUSE ON-SITE. SOIL SHALL BE SCREENED TO REMOVE ROCKS AND BOULDERS.

15. IF STRUCTURAL SOIL IS FOUND ON-SITE, THE CONTRACTOR SHALL REUSE.

16. THE CONTRACTOR SHALL PREVENT SOIL LOSS TO WIND AND WATER EROSION.

17. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.

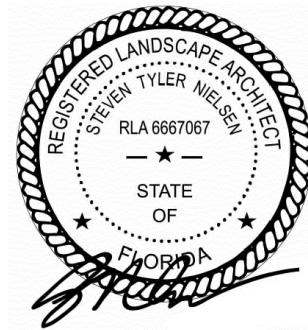
18. THE GENERAL CONTRACTOR SHALL INSTALL & MAINTAIN TEMPORARY DRAINAGE DEVICES DURING CONSTRUCTION.

19. THE CONTRACTOR SHALL VERIFY ALL CONTROL POINTS, FINISH FLOOR ELEVATIONS & PROPOSED SPOT ELEVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO FORMWORK INSTALLATION.

20. SPECIFICATIONS DELINEATED IN GEO-TECH REPORT TAKE PRECEDENCE OVER GRADING PLAN DRAWINGS. INFORM LANDSCAPE ARCHITECT OF DISCREPANCIES.



SEAL (S TYLER NIELSEN - LA6667067)



02.01.2021

SITE NOTES

DATE	ISSUE
11.25.2020	COORDINATION
12.17.2020	75% CD
02.01.2021	100% CD

CONTRACTOR QUALIFICATIONS

- CONTRACTOR MUST BE A LICENSED LANDSCAPE CONTRACTOR.
- CONTRACTOR MUST HAVE A MINIMUM OF 10 YEARS OF PROVEN EXPERIENCE RELOCATING LARGE SPECIMEN TREES AND PALMS IN SOUTH FLORIDA.
- CONTRACTOR MUST HAVE PROVEN EXPERIENCE RELOCATING TREES AND PALMS OF THE SAME SPECIES AND SIZE AS THOSE TO BE RELOCATED FOR THE CURRENT PROJECT.
- CONTRACTOR MUST HAVE A CERTIFIED ARBORIST ON STAFF

CONTRACTOR REQUIREMENTS

- CONTRACTOR MUST VISIT THE JOBSITE AND INSPECT ALL TREES AND PALMS TO BE RELOCATED AS WELL AS EXISTING SITE CONDITIONS AND RESTRICTIONS PRIOR TO PREPARING BID.
- CONTRACTOR MUST VERIFY AND ENSURE THAT ALL TREES AND PALMS IDENTIFIED ON THE PLANS AND THOSE TAGGED ON THE JOBSITE CORRESPOND AS TO NUMBER AND DESCRIPTION. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY, PRIOR TO PREPARING BID.
- CONTRACTOR MUST CONDUCT ALL WORK ASSOCIATED WITH RELOCATION AND MAINTENANCE OF TREES AND PALMS TO BE RELOCATED. NO WORK IS TO BE SUBCONTRACTED WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER AND/OR LANDSCAPE ARCHITECT.
- CONTRACTOR MUST DESIGNATE A COMPETENT, ENGLISH-SPEAKING SUPERVISOR OR FOREMAN OVERSEE AND DIRECT ALL RELOCATION AND MAINTENANCE ACTIVITIES AS OUTLINED IN THESE SPECIFICATIONS.
- CONTRACTOR MUST SCHEDULE ROOT PRUNING TO PROVIDE THE MAXIMUM POSSIBLE TIME FOR NEW ROOT GROWTH. EVEN TREES AND PALMS THAT TYPICALLY DO NOT REQUIRE LONG (OR ANY) ROOT PRUNING WILL BENEFIT FROM MORE ROOT PRUNING TIME; THEREFORE, ALL TREES AND PALMS TO BE RELOCATED MUST BE ROOT PRUNED. CONTRACTOR MUST PROVIDE A ROOT PRUNE SCHEDULE FOR EACH TREE OR PALM TO BE RELOCATED AS AN ATTACHMENT TO THE BID.
- CONTRACTOR MUST CALL SUNSHINE 811 TO HAVE ALL UNDERGROUND UTILITIES LOCATED UNDER OR IN THE VICINITY OF THE CURRENT OF FUTURE LOCATIONS OF ALL TREES AND PALMS TO BE RELOCATED PRIOR TO WORK COMMENCING.
- CONTRACTOR MUST VERIFY WITH THE GENERAL CONTRACTOR THE ABSENCE OF ANY UNDERGROUND CONSTRUCTION OR OBSTRUCTIONS (E.G., BULKHEADS, SEPTIC SYSTEMS, ETC.) IN THE CURRENT AND FUTURE LOCATIONS OF ALL TREES AND PALMS TO BE RELOCATED.
- CONTRACTOR MUST ALERT THE LANDSCAPE ARCHITECT OF ANY TREES OR PALMS THAT WILL NOT SUCCESSFULLY RELOCATE DUE TO POOR HEALTH PRIOR TO BEGINNING ROOT PRUNING.
- CONTRACTOR MUST FLAG ALL PROPOSED TRANSPLANT LOCATION FOR THE LANDSCAPE ARCHITECT'S APPROVAL A MINIMUM OF 15 DAYS PRIOR TO RELOCATION.
- CONTRACTOR MUST ENSURE THAT ALL TREES AND PALMS TO BE RELOCATED ARE INSTALLED AT THE CORRECT GRADE OR ELEVATION, ACCORDING TO THE GRADING PLAN.
- CONTRACTOR MUST BE ENSURE THAT ALL ROOT FLARES ARE EXPOSED AFTER RELOCATION.
- CONTRACTOR MUST REMOVE ALL RESIDUAL ROOTS, STUMPS, AND PORTIONS THEREOF AND BACKFILL PITS FROM WHICH RELOCATED TREES AND PALMS WERE REMOVED WITH CLEAN FILL FLUSH WITH THE SURROUNDING GRADE.
- CONTRACTOR MUST BE REPAIR ANY DAMAGE TO OTHER PLANTS, LAWN, HARDSCAPES, OR NEW CONSTRUCTION WITHIN THE RELOCATION AREA AT CONTRACTOR'S EXPENSE. HARDSCAPES INCLUDE BUT ARE NOT LIMITED TO CURBS, WALKS, ROADS, FENCES, SITE FURNISHINGS, ETC.
- CONTRACTOR MUST PHOTOGRAPHICALLY DOCUMENT NEW ROOT GROWTH FOLLOWING EACH ROOT PRUNE AND SUBMIT THIS DOCUMENTATION TO THE LANDSCAPE ARCHITECT. THE PURPOSE OF THIS REQUIREMENT IS TO ENSURE THAT SUFFICIENT ROOT GROWTH HAS OCCURRED PRIOR TO THE SECOND AND SUBSEQUENT ROOT PRUNES AND FOLLOWING THE FINAL ROOT PRUNE PRIOR TO RELOCATION.
- CONTRACTOR MUST INSTALL AND MAINTAIN PROTECTION FENCING AROUND EACH TREE AND PALM TO BE RELOCATED BOTH DURING ROOT PRUNING AND AFTER RELOCATION. PROTECTION FENCING MUST CONSIST OF GALVANIZED WELDED WIRE FABRIC OR PLASTIC MESH ATTACHED TO 4" X 4" POSTS INSERTED AROUND THE PERIMETER OF THE DRIPLINE OF THE TREE OR PALM. PROTECTION FENCING MUST BE PLUMB, TAUT, AND STURDY AT ALL TIMES AND MUST REMAIN IN PLACE THROUGHOUT THE ROOT PRUNING AND WARRANTY PERIODS, OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- CONTRACTOR MUST OBTAIN ALL NECESSARY OR REQUIRED PERMITS FOR THE RELOCATION AND TRANSPORTATION OF THE TREES AND PALMS TO BE RELOCATED.
- CONTRACTOR MUST REPLACE ANY TREES OR PALMS SCARRED OR DAMAGE DURING RELOCATION, AT THE CONTRACTOR'S EXPENSE, WITH THE SAME OR SIMILAR SPECIES, SIZE, AND QUALITY. REPLACEMENT TREES OR PALMS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT, PREPARATION, AND/OR INSTALLATION. REPLACEMENT TREES AND PALMS MUST BE INSTALLED WITHIN 60 DAYS OF NOTICE.
- CONTRACTOR MUST GUARANTEE ALL RELOCATED TREES AND PALMS FOR ONE YEAR FROM THE DATE OF RELOCATION TO THE FINAL LOCATION. GUARANTEE MUST INCLUDE TREE HEALTH AND SETTLING.
- CONTRACTOR MUST PROVIDE ALL MATERIAL NECESSARY TO PERFORM THE WORK COVERED HEREIN, INCLUDING BUT NOT LIMITED TO BACKFILL MATERIAL, PROTECTION FENCING, FLAGGING, ADDITIVES AND SUPPLEMENTS, TEMPORARY IRRIGATION, BURLAP, WIRE, SHRINK WRAP, AND ALL NECESSARY TOOLS AND EQUIPMENT.

TREE ROOT PRUNING SPECIFICATIONS

- ALL TREES AND PALMS TO BE RELOCATED MUST BE WATERED DAILY FOR AT LEAST 2-3 DAYS PRIOR TO ANY ROOTS BEING CUT TO ENSURE THAT THEY ARE FULLY HYDRATED. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH.
- EACH TREE AND PALMS MUST THEN BE WATERED EVERY OTHER DAY, NOT RELYING ON RAIN, DURING THE ENTIRE ROOT PRUNING PROCESS EITHER BY A TEMPORARY IRRIGATION SYSTEM OR BY HAND. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH.
- TREE AND PALM RELOCATION ACTIVITIES MUST BE SCHEDULED SO THAT REMOVAL AND REPLANTING TAKE PLACE IN THE SAME 24-HOUR PERIOD. NO TREES OR PALMS MAY BE "STOCKPILED" ONSITE OR OFFSITE FOR ANY PERIOD OF TIME WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. WHEN ALLOWED, APPROVAL FOR THE METHOD OF "STOCKPIILING" MUST BE OBTAINED FROM THE LANDSCAPE ARCHITECT.
- ALL DIGGING IN THE ROOT ZONE DURING THE ROOT PRUNE PROCESS MUST BE DONE BY HAND; NO MACHINERY WILL BE ALLOWED. PRUNING OF ROOTS MUST BE DONE BY HAND WITH CLEAN, SHARP TOOLS. DO NOT PAINT CUT ROOTS WITH TREE PAINT OR ANY KIND OF SEALANT.
- MYCORRHIZA (ROOTS® TRANSPLANT OR EQUIVALENT) MUST BE INCORPORATED INTO THE BACKFILL SOIL PRIOR TO BACKFILLING AS PER MANUFACTURER'S RECOMMENDATIONS.
- AFTER EACH ROOT PRUNE, EACH SECTION OF ROOTBALL THAT IS PRUNED MUST BE WRAPPED WITH BLACK PLASTIC AND THE TRENCH BACKFILLED WITH ORIGINAL EXCAVATED SOIL. A TREE RING WITH A MINIMUM HEIGHT OF 6" MUST BE CONSTRUCTED 6-12" OUTSIDE THE OUTERMOST EDGE OF THE ROOTBALL AND AROUND THE ENTIRE PERIMETER OF THE ROOTBALL TO DIRECT IRRIGATION WATER AND ANY ADDED SUPPLEMENTS DOWN INTO THE ROOTBALL DURING ROOT REGENERATION.
- ONCE THE TREE RING IS CONSTRUCTED AFTER EACH ROOT PRUNE, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE LIBERALLY APPLIED TO THE SURFACE OF THE ROOTBALL AND THOROUGHLY WATERED IN TO ENCOURAGE NEW ROOT GROWTH.
- PRIOR TO ANY ROOTS BEING CUT, ALL MAJOR ROOTS MUST BE IDENTIFIED TO DETERMINE THE ROOTBALL DIAMETER BASED ON THE RELATIVE LOCATION AND SIZE OF THE ROOTS.
- MANY TREE RELOCATION SPECIFICATIONS USE "GENERAL RULES" TO CALCULATE MINIMUM ROOTBALL DIAMETER, SUCH AS MULTIPLYING THE DIAMETER AT BREAST HEIGHT (DBH) OF THE TREE BY A FACTOR OF 10 OR ALLOWING A MINIMUM OF 9"-12" OF ROOTBALL FOR EVERY 1" OF TREE CALIPER. OTHERS LIST UNREALISTIC MINIMUM SIZES FOR THE ROOTBALLS OF VARIOUS TREE CALIPERS OR OTHERS LIST UNREALISTIC MINIMUM SIZES FOR THE ROOTBALLS OF VARIOUS TREE CALIPERS OR HEIGHTS. IN MANY CASES, SUCH APPROACHES RESULT IN ROOTBALLS THAT ARE EITHER TOO LARGE OR TOO SMALL FOR A GIVEN TREE. THE FOLLOWING TABLE LIST MINIMUM ROOTBALL DIAMETERS BASED ON REAL-WORLD EXPERIENCE OF TREE RELOCATION SPECIALISTS IN SOUTH FLORIDA.

.CALIPER (inches)	MIN. ROOTBALL DIA. (feet)	CALIPER (inches)	MIN. ROOTBALL DIA. (feet)
1-4	3	12-14	8
4-5	4	15-17	10
6-7	5	18-24	12-15
8-9	6	25-30	15-25
10-11	7	30+	as needed

- WHENEVER POSSIBLE, ROOTBALLS MUST BE CIRCULAR IN SHAPE WITH AN EQUAL DISTANCE FROM THE TRUNK TO THE EDGE OF ROOTBALL ALL AROUND.
- MINIMUM ROOTBALL DEPTH MUST BE 24"-36" FOR ALL TREES TO BE RELOCATED, WITH THE ACTUAL DEPTH TO BE DETERMINED ONLY AFTER A THOROUGH EXAMINATION OF ALL ROOTS DURING THE INITIAL ROOT INSPECTION AND BASED ON THE ABSENCE OF MAJOR ROOTS AT THE BOTTOM OF THE ROOTBALL. ROOTBALLS DEEPER THAN 36" MAY BE REQUIRED FOR LARGE SPECIMEN TREES, DEPENDING ON THE RELATIVE LOCATIONS AND DEPTHS OF THE MAJOR ROOTS AS OBSERVED DURING THE INITIAL ROOT INSPECTION.
- AS A GENERAL RULE, MINIMUM ROOT PRUNE TIME FOR TREES WITH A DBH OF LESS THAN 10" IS 12 WEEKS. THE FIRST ROOT PRUNE MUST BE ON TWO OPPOSING SIDES OF THE ROOTBALL, WITH THE SECOND ROOT PRUNE ON ONE OF THE OTHER TWO SIDES DONE A MINIMUM OF 6 WEEKS LATER, AND A THIRD ROOT PRUNE ON THE LAST SIDE DONE A MINIMUM OF 3 WEEKS AFTER THAT. THE SECOND AND THIRD ROOT PRUNES MAY ONLY BE DONE WHEN HEALTHY NEW ROOT GROWTH FROM EARLIER ROOT PRUNES IS EVIDENT (SEE SECTION 2.14 ABOVE FOR SPECIFICATIONS ON PHOTOGRAPHICALLY DOCUMENTING NEW ROOT GROWTH DURING THE ROOT PRUNE PROCESS). MORE TIME MAY BE NEEDED DURING THE COOLER MONTHS OF THE YEAR.
- AS A GENERAL RULE, MINIMUM ROOT PRUNE TIME FOR TREES WITH A DBH OF 10" OR GREATER IS 24 WEEKS. THE FIRST ROOT PRUNE MUST BE ON TWO OPPOSING SIDES OF THE ROOTBALL, WITH THE SECOND ROOT PRUNE ON ONE OF THE OTHER TWO SIDES DONE A MINIMUM OF 12 WEEKS LATER, AND A THIRD ROOT PRUNE ON THE LAST SIDE DONE A MINIMUM OF 6 WEEKS AFTER THAT. THE SECOND AND THIRD ROOT PRUNES MAY ONLY BE DONE WHEN HEALTHY NEW ROOT GROWTH FROM EARLIER ROOT PRUNES IS EVIDENT (SEE SECTION 2.14 ABOVE FOR SPECIFICATIONS ON PHOTOGRAPHICALLY DOCUMENTING NEW ROOT GROWTH DURING THE ROOT PRUNE PROCESS). MORE TIME MAY BE NEEDED DURING THE COOLER MONTHS OF THE YEAR.
- CERTAIN HARDWOOD TREES AND GYMNOSPERMS REQUIRE LONGER ROOT PRUNING TIMES. THESE INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:

- AVOCADO (PERSEA AMERICANA)
- BLACK OLIVE (BUCIDA BUCERAS)
- BRIDALVEIL (CAESALPINIA GRANADILLO)
- CASSIAS (ALL SPECIES OF CASSIA)
- LIGNUM VITAE (GUAVACUM SANCTUM & G. OFFICINALE)
- PODOCARPUS (PODOCARPUS SP.)
- LIVE OAK (QUERCUS VIRGINIANA)
- MAHOGANY (SWIETENIA MAHAGONI)
- MAGO (MANGIFERA INDICA)
- PIGEON PLUM (COCOLOBA DIVERSIFOLIA)
- SWEET ACACIA (ACACIA FARNESIANA)
- VERAWOOD (BULNESIA ARBOREA)
- WILD TAMARIND (LYSILOMA LATISILIQUUM & L. SABICU)

PALM ROOT PRUNING SPECIFICATIONS

- THE FOLLOWING TABLE LISTS MINIMUM ROOTBALL DIAMETERS FOR VARIOUS SPECIES OF PALMS BASED ON REAL-WORLD EXPERIENCE OF RELOCATION SPECIALISTS IN SOUTH FLORIDA.

PALM SPECIES	ROOTBALL SPECIFICATIONS
SABAL/CABBAGE PALM	36" diameter
QUEEN & FOXTAIL PALMS	12" from trunk in all directions
ROYAL & COCONUT PALMS	18-24" from trunk in all directions
CANARY DATE PALM	24" from trunk in all directions
SLOW-GROWING PALMS	24" from trunk in all directions
- PALM ROOTBALL MUST BE A MINIMUM OF 24" DEEP, WHENEVER POSSIBLE, ROOTBALLS MUST BE CIRCULAR IN SHAPE WITH AN EQUAL DISTANCE FROM THE TRUNK TO THE EDGE OF THE ROOTBALL ALL AROUND.
- AS A GENERAL RULE, MINIMUM ROOT PRUNE TIME FOR PALMS IS 6-8 WEEKS. THE FIRST ROOT PRUNE MUST BE ON TWO OPPOSING SIDES OF THE ROOTBALL, WITH THE SECOND ROOT PRUNE ON ONE OF THE OTHER TWO SIDES DONE A MINIMUM OF 3-4 WEEKS LATER, AND A THIRD ROOT PRUNE ON THE LAST SIDE DONE A MINIMUM OF 4.5-6 WEEKS AFTER THAT. THE SECOND AND THIRD ROOT PRUNES MAY ONLY BE DONE WHEN HEALTHY NEW ROOT GROWTH FROM EARLIER ROOT PRUNES IS EVIDENT (SEE SECTION 2.14 ABOVE FOR SPECIFICATIONS ON PHOTOGRAPHICALLY DOCUMENTING NEW ROOT GROWTH DURING THE ROOT PRUNE PROCESS). MORE TIME MAY BE NEEDED DURING THE COOLER MONTHS OF THE YEAR.
- CERTAIN PALMS, IN PARTICULAR THOSE THAT ARE SLOW GROWING, REQUIRE LONGER ROOT PRUNING TIME. THESE INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING.

- ALL SPECIES OF ARCHONTOPHOENIX
- ALL SPECIES OF CORYPHA
- AMERICAN OIL PALMS (ALL SPECIES OF ATTALAEA)
- BISMARCK PALM (BISMARCKIA NOBILIS)
- CUBAN & CARIBBEAN COPERNICIA
- CUBAN BELLY PALM (GASTROCOCOS CRISPA)
- GINGERBREAD/DOUM PALMS (ALL SPECIES OF HYPHAENE)
- PALMYRA PALMS (ALL SPECIES OF BORASSUS)
- SATAKE PALM (SATAKENTIA LIUKUENSIS)
- SAW PALMETTO (SERENOA REPENS)
- SILVER PALM (COCOOTHIRINAX ARGENTATA)
- ZOMBIE PALM (ZOMBIA ANTILLARUM)

FOR THESE PALMS, THE MINIMUM ROOT PRUNING TIME IS 4-6 MONTHS OR GREATER. ONLY WHEN SUFFICIENT NEW ROOT GROWTH HAS TAKEN PLACE FOLLOWING AN EARLIER ROOT PRUNE CAN THE NEXT ROOT PRUNE BE DONE, AND ONLY WHEN SUFFICIENT NEW ROOT GROWTH HAS TAKEN PLACE FOLLOWING THE FINAL ROOT PRUNE MAY THE TREE BE RELOCATED (SEE SECTION 2.14 ABOVE FOR SPECIFICATIONS ON PHOTOGRAPHICALLY DOCUMENTING NEW ROOT GROWTH DURING THE ROOT PRUNE PROCESS).

TREE CANOPY PRUNING SPECIFICATIONS

- PRIOR TO RELOCATION, THE CANOPY OF EACH TREE TO BE RELOCATED MUST BE SELECTIVELY PRUNED TO REMOVE CROSSING DEAD, DISEASED, BROKEN, AND LOW HANGING BRANCHES THAT MAY INTERFERE WITH CONSTRUCTION ACTIVITIES, OR THAT MAY INTERFERE OR RESTRICT STRAPPING OR LIFTING THE TREE DURING RELOCATION.
- FOR TREES BEING RELOCATED ONSITE, THE CANOPY MAY BE SELECTIVELY THINNED AND REDUCED BY NO MORE THAN 1/3 OF THE OVERALL CANOPY MASS, AT THE DIRECTION OF THE LANDSCAPE ARCHITECT; HOWEVER, THE BASIC SHAPE, FORM, AND CHARACTER OF THE TREES MUST BE PRESERVED.
- FOR TREES BEING RELOCATED OFFSITE, THE CANOPY MUST BE PRUNED, AT THE DIRECTIONS OF THE LANDSCAPE ARCHITECT, TO FIT ON THE TRAILER FOR TRANSPORT. EVERY EFFORT MUST BE MADE TO RETAIN AS MANY BRANCHES AS POSSIBLE. TO THE WIDEST LOAD WIDTH ALLOWABLE BY THE FLORIDA DEPARTMENT OF TRANSPORTATION. CONTRACTOR MUST OBTAIN ALL NECESSARY PERMITS AND ESCORTS TO TRANSPORT WIDE LOADS, PER FLORIDA LAW.
- ALL CANOPY PRUNING MUST BE CONDUCTED FOLLOWING ANSI A-300 TREE PRUNING STANDARDS AND BEST MANAGEMENT PRACTICES.
- ALL DEBRIS GENERATED DURING CANOPY PRUNING MUST BE REMOVED OFFSITE AND DISPOSED.

PALM CANOPY PRUNING SPECIFICATIONS

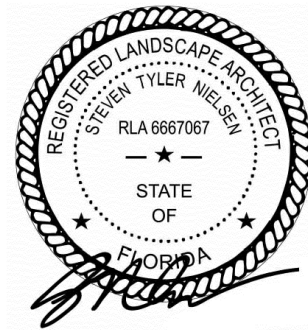
- IT IS WELL KNOW THAT SOME PALMS SURVIVE RELOCATION BETTER WHEN ALL OF THE LEAVES ARE REMOVED (E.G., CABBAGE PALM, SABAL PALMETTO), AND THAT OTHER PALMS BENEFIT FROM HAVING THEIR LEAVES CUT IN HALF DURING RELOCATION (E.G., COCONUT PALM, COCOS NUCIFERA). BOTH OF THESE HORTICULTURAL PRACTICES, WHILE TRUE, ARE ONLY APPLICABLE WHEN PALMS ARE NOT ROOT PRUNED. LEAVES DO NOT NEED TO BE CUT IN HALF OR REMOVED FROM PALMS THAT ARE ADEQUATELY ROOT PRUNED. ON OCCASION WHEN SUFFICIENT ROOT PRUNING TIME IS NOT AVAILABLE, PALMS TO BE RELOCATED MAY HAVE THEIR LEAVES CUT IN HALF OR REMOVED ENTIRELY AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- PALMS LEAVES MUST BE TIED UP WITH 2-PLY BIODEGRADABLE TWINE PRIOR TO RELOCATION TO PREVENT MECHANICAL DAMAGE DURING THE RELOCATION PROCESS.
- PALM TRUNKS SHALL ONLY BE 'CLEANED UP' ACCORDING TO THE LANDSCAPE ARCHITECT'S SPECIFICATIONS SPECIFIC TO EACH PALM.

RELOCATION SPECIFICATIONS

- LANDSCAPE CONTRACTOR TO FLAG ALL PROPOSED PLANT LOCATIONS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION. NOTIFY LANDSCAPE ARCHITECT A MINIMUM OF 15 DAYS PRIOR TO REVIEW.
- ALL TREES AND PALMS TO BE RELOCATED MUST BE WATERED DAILY FOR AT LEAST 5 DAYS PRIOR TO ANY RELOCATION TO ENSURE THAT THEY ARE FULLY HYDRATED. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH.
- ALL ROOTBALLS MUST BE WRAPPED IN BURLAP AND THE TIGHTLY WIRE-WRAPPED (USING REDLINE HORSE WIRE OR EQUIVALENT) TO KEEP THE ENTIRE ROOTBALL INTACT DURING RELOCATION. TREES AND PALMS GROWING IN LIMESTONE MUST BE DUG AND RELOCATED WITH THE ROOT ATTACHED TO A SECTION OF ROCK AS PART OF THE ROOTBALL SUCH THAT THE ROOTS REMAIN INTACT, ROOTBALLS COMING FROM SAND OR SANDY SOIL MAY ALSO NEED TO BE BOXED PRIOR TO RELOCATION, AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
- TREES AND PALMS BEING RELOCATED OFFSITE MUST HAVE THEIR ENTIRE ROOTBALLS THOROUGHLY AND TIGHTLY WRAPPED WITH PLASTIC SHRINK WRAP ON THE OUTSIDE OF THE WIRE WRAP, AND THE ENTIRE TREE OR PALM (INCLUDING CANOPY, TRUNK, AND ROOTBALL) MUST BE COVERED WITH A BREATHABLE TARP (E.G., SHADE CLOTH) DURING TRANSPORT.
- NEW PLANTING PITS FOR RELOCATED TREES AND PALMS MUST BE PREPARED PRIOR TO LIFTING THE PALM OR TREE FROM ITS CURRENT LOCATION AND MUST BE AT LEAST 3-4 FEET WIDER THAN THE ROOTBALL AND THE SAME DEPTH AS THE ROOTBALL, SUCH THAT THE FINAL ELEVATION OF THE TOP OF THE ROOTBALL IS AT OR SLIGHTLY ABOVE (NO MORE THAN 2" HIGHER) FINAL GRADE.
- TREES AND PALMS TO BE RELOCATED MUST BE LIFTED BY THE ROOTBALL ONLY, USING APPROPRIATELY SIZED (LENGTH AND STRENGTH) LIFTING STRAPS OR CHAINS. DURING LIFTING, THE TREE OR PALM MUST BE BALANCED IN A MORE-OR-LESS UPRIGHT POSITION, WITH THE STRAP THE TRUNK USED ONLY FOR BALANCING AND MANEUVERING THE TREE OR PALM INTO A POSITION. NO CHAINS MAY BE USED AROUND OR AGAINST THE TRUNK AT ANY TIME. AT NO TIME SHALL 100% OF THE WEIGHT OF THE TREE OR PALM BE ON THE STRAP ATTACHED TO THE TRUNK. TRUNKS MUST BE HEAVILY PADDED WITH 30-60 LAYERS (DEPENDING ON SIZE AND WEIGHT) OF BURLAP BENEATH THE BALANCING STRAP.
- TREES AND PALMS MUST BE LIFTED WITH A CRANE OR BACKHOE APPROPRIATELY SIZED FOR THE SIZE AND WEIGHT OF THE TREE OR PALM AND LIFTED OR CARRIED DIRECTLY TO THE FINAL INSTALL LOCATION OR TRANSPORT TRAILER.
- ONCE LIFTING BEINGS, ANY UNCUT ROOTS UNDER OR AROUND THE ROOTBALL THAT MAY YET REMAIN MUST BE IMMEDIATELY SEVERED WITH HAND PRUNING TOOLS TO MINIMIZE TEARING AND ROOT DAMAGE.
- AGRIFORM PLANTING TABLETS (OR APPROVED EQUIVALENT) MUST BE EVENLY DISTRIBUTED AROUND THE PERIMETER OF THE PLANTING PIT AT THE RATE OF 2 TABLETS PER 1" TRUNK CALIPER PRIOR TO BACKFILLING.
- MYCORRHIZA (ROOTS® TRANSPLANT OR EQUIVALENT) MUST BE INCORPORATED INTO THE BACKFILL SOIL PRIOR TO BACKFILLING.
- RELOCATED TREES AND PALMS MUST BE CENTERED IN THE PLANTING PIT, AND THE PIT BACKFILLED USING A 1:1 MIXTURE OF EXISTING SOIL AND 80:20 (DOT SAND:MUCK) SOIL MIX THOROUGHLY BLENDED TOGETHER. DO NOT USE MUDDY SOIL AS BACKFILL.
- SMALL TREES AND PALMS MUST BE FIRMLY BRACED USING A MINIMUM OF FOUR 4"X4" WOODEN BRACES ATTACHED TO 2" X 4" WOODEN BATTENS HELD IN PLACE WITH TWO STEEL BANDS. LARGER TREES MAY REQUIRE 6"X 6" WOODEN POSTS OR EVEN TELEPHONE POLES TO PROVIDE SUFFICIENT BRACING STRENGTH TO PREVENT TOPPLING DURING WIND EVENTS. A SUFFICIENT NUMBER OF BATTENS MUST BE STRATEGICALLY PLACED AROUND THE TRUNK SUCH THAT THE STEEL BANDS NEVER CONTACT THE TRUNK. NO BURLAP IS TO REMAIN UNDER THE WOODEN BATTENS ON TREES DURING BRACING, BUT SEVERAL LAYERS OF BURLAP SHOULD BE LEFT UNDER THE WOODEN BATTENS WHEN BRACING PALMS. NAILS SHALL NEVER BE DRIVEN DIRECTLY INTO THE TRUNK DURING BRACING. BRACING MUST REMAIN IN PLACE FOR A MINIMUM OF ONE YEAR.
- A TREE RING WITH A MINIMUM HEIGHT OF 6" MUST BE CONSTRUCTED 6-12" OUTSIDE THE OUTERMOST EDGE OF THE ROOTBALL AND AROUND THE ENTIRE PERIMETER OF THE ROOTBALL TO DIRECT IRRIGATION WATER AND ANY SUPPLEMENTS THAT ARE ADDED DOWN INTO THE ROOTBALL DURING ROOT REGENERATION.
- ONCE THE TREE RING IS CONSTRUCTED, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE LIBERALLY APPLIED TO THE SURFACE AND THOROUGHLY WATERED IN.
- ROOTBALLS MUST BE A THOROUGHLY WATERED IN USING A HOSE AND JOHNSON BAR INSERTED TO THE VERY BOTTOM OF THE ROOTBALL AND SWUNG BACK AND FORTH TO PREVENT FORMATION OF AIR POCKETS. THE JOHNSON BAR TECHNIQUE MUST BE REPEATED AT LEAST ONCE MORE WITHIN 6" OF THE TRUNK. MULCH MUST NOT BE APPLIED OR ALLOWED TO ACCUMULATE DIRECTLY AGAINST THE TRUNK.
- ORGANIC MULCH (MELALEUCA IS PREFERRED) MUST BE APPLIED WITHIN 48 HOURS OF RELOCATION AT A DEPTH OF 3-4" OVER THE ENTIRE TOP OF THE ROOTBALL FROM THE TREE RING TO WITHIN 6" OF THE TRUNK. MULCH MUST NOT BE APPLIED OR ALLOWED TO ACCUMULATE DIRECTLY AGAINST THE TRUNK.
- PITS FROM WHICH THE RELOCATED TREES AND PALMS WERE REMOVED MUST BE CLEANED OFF ALL RESIDUAL ROOTS, STUMPS, AND PORTIONS THEREOF AND BACKFILLED WITH CLEAN FILL FLUSH WITH THE SURROUNDING GRADE.
- RESTORE THE SURFACE WITH MATERIAL TO MATCH ADJACENT AREAS, MATERIAL TO BE APPROVED BY LANDSCAPE ARCHITECT. CONTRACTOR TO PROVIDE A MINIMUM OF ONE YEAR WARRANTY ON SETTLING AND PLANT MATERIAL FROM THE SUBSTANTIAL COMPLETION.
- MULTI-TRUNK TREES AND PALMS MUST BE RELOCATED AS ONE UNIT WITH A SINGLE ROOTBALL.
- PLANTING PITS FOR EDIBLE DATE PALMS (PHOENIX DACTYLIFERA) MUST BE BACKFILLED WITH PURE DOT SILICA SAND.

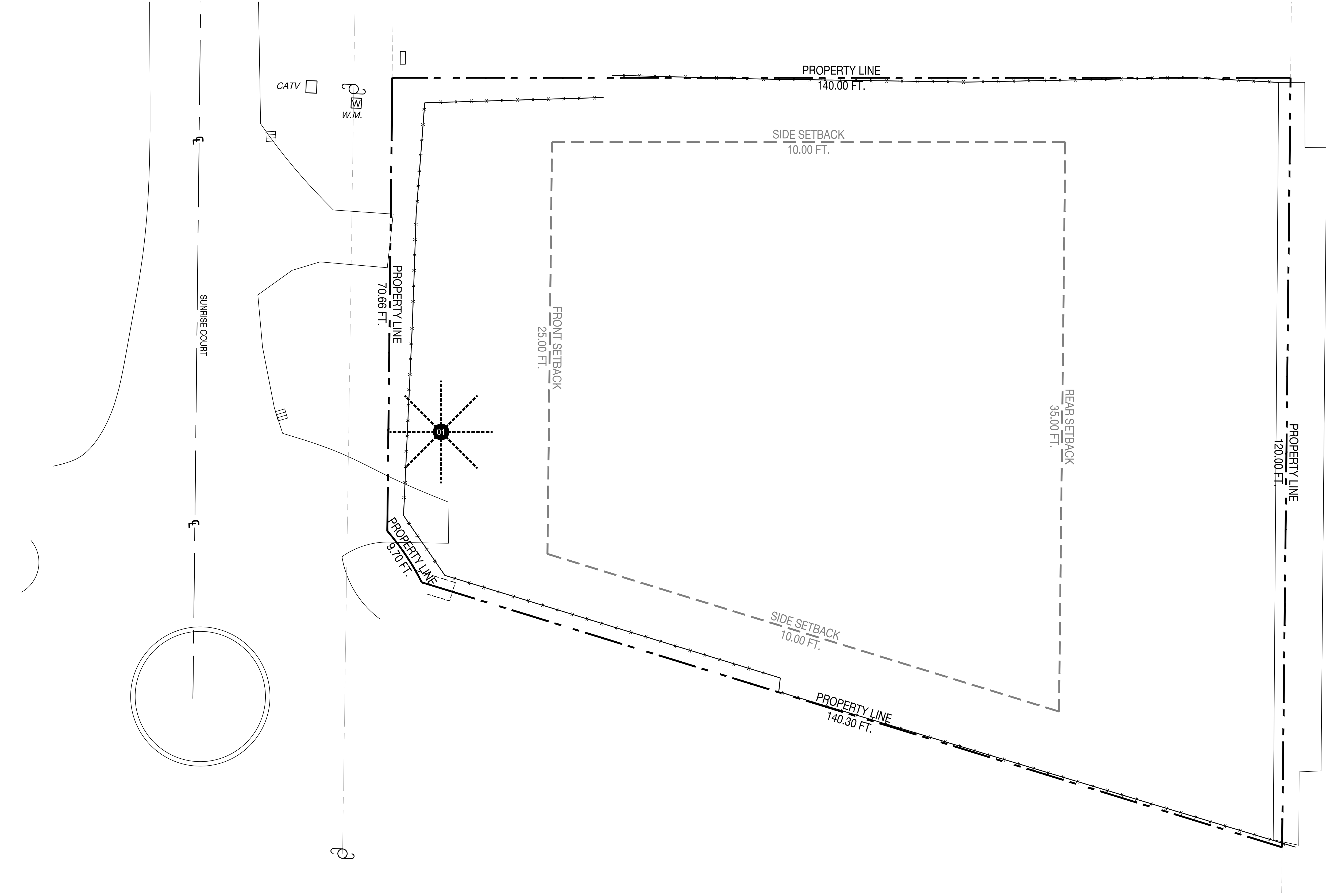


SEAL (S TYLER NIELSEN - LA6667067)



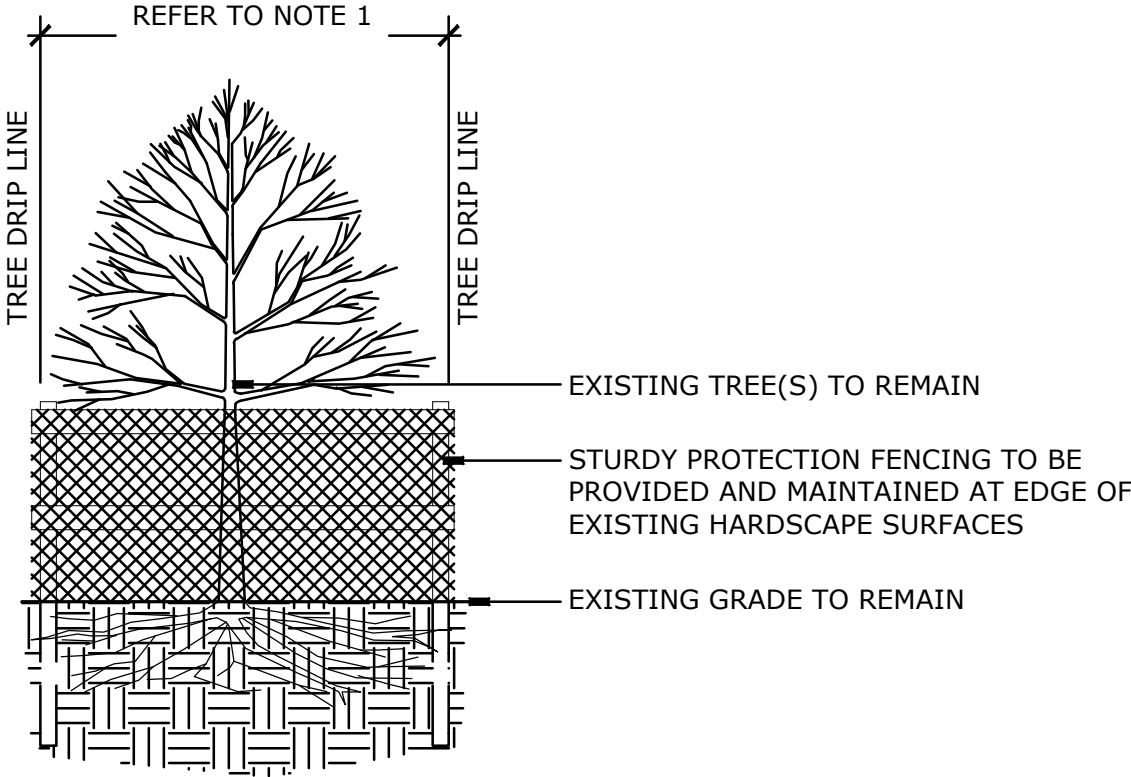
02.01.2021

TREE DISPOSITION NOTES	
DATE	ISSUE
11.25.2020	COORDINATION
12.17.2020	75% CD
02.01.2021	100% CD



TREE DISPOSITION SCHEDULE

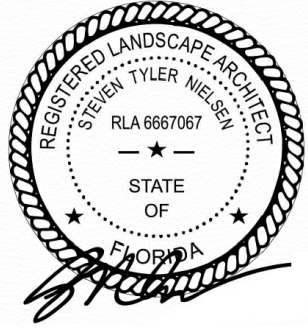
#	BOTANICAL NAME	COMMON NAME	DBH.	HT.	SPREAD	ACTION	CRZ	TPZ	CONDITION	NATIVE	NOTES	CANOPY AREA REMOVED
1	BISMARCKIA NOBILIS	BISMARCK PALM	18"	40'	20'	RELOCATE	6'	6'	GOOD	NO	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE	0



- NOTE:
1. DUE TO SITE CONSTRAINTS TREE PROTECTION FENCE MAY BE CONTINUOUS TO PROTECT MULTIPLE TREES. TREE PROTECTION FENCE TO BE INSTALLED AT EDGE OF EXISTING HARDSCAPE. WHERE SPACE ALLOWS TREE PROTECTION FENCE TO ALIGN WITH DRIPLINE OF TREE / PALM.
  2. MAINTAIN FENCE THROUGHOUT CONSTRUCTION.
  3. REFER TO LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES FOR ADDITIONAL REQUIREMENTS.

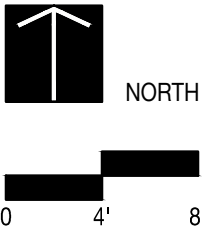
TREE PROTECTION FENCE

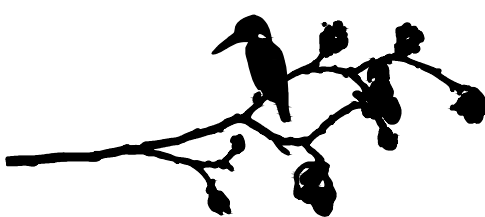
Scale: 1/4" = 1'- 0"



TREE DISPOSITION PLAN & SCHEDULE

DATE	ISSUE
11.25.2020	COORDINATION
12.17.2020	75% CD
02.01.2021	100% CD





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## 6935 SUNRISE COURT | CORAL GABLES, FLORIDA 33138

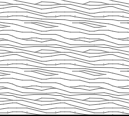
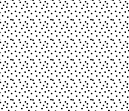
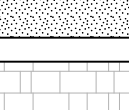
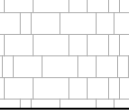


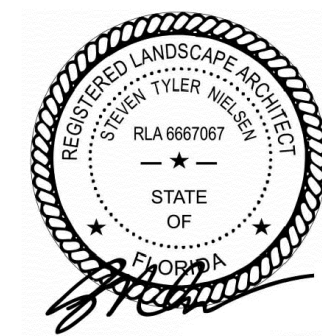
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1. CONTRACTOR TO VERIFY ALL QUANTITIES. IN CASE OF ANY DISCREPANCIES, GRAPHICALLY SHOWN MATERIAL QUANTITIES SHALL TAKE PRECEDENCE.
2. ALL CONSTRUCTION AND MATERIALS NOT SPECIFICALLY ADDRESSED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES STANDARDS.
3. THE CONTRACTOR SHALL PROVIDE A FULL-SCALE MOCKUP AND RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT FOR ALL SYSTEMS BEFORE BEGINNING CONSTRUCTION OF PAVEMENT.
4. EXPANSION JOINTS SHALL BE PROVIDED WHERE FLATWORK MEETS VERTICAL STRUCTURES, SUCH AS WALLS, CURBS, STEPS, AND OTHER HARDSCAPE ELEMENTS. EXPANSION JOINTS SHALL ALSO BE PROVIDED AT MATERIAL CHANGES. EXPANSION JOINT MATERIALS/METHODS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
5. CONTROL JOINTS SHOULD BE SPACED NO GREATER THAN TEN (10) LINEAR FEET MAXIMUM, UNLESS OTHERWISE SPECIFIED. EXPANSION JOINTS SHOULD BE SPACED NO GREATER THAN FORTY (40) LINEAR FEET MAXIMUM, UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL ADVISE ON OTHER JOINTS AS NEEDED TO MINIMIZE CRACKING. THIS INFORMATION SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
6. CONTROL JOINTS SHALL BE PROVIDED AS SPECIFIED IN THE CONTRACT DOCUMENTS. CONTROL JOINT MATERIALS, METHODS AND RECOMMENDATIONS ON ADDITIONAL CONTROL JOINTS TO MINIMIZE CRACKING SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
7. ALL STEPS SHALL HAVE TWELVE (12) INCH TREADS AND SIX (6) INCH RISERS, UNLESS OTHERWISE SPECIFIED.
8. HOLD TOP OF WALLS AND FENCES LEVEL, UNLESS OTHERWISE SPECIFIED.
9. CONTRACTOR SHALL NOT INSTALL WORK LOCATED ON TOP OF ARCHITECTURAL STRUCTURES WITHOUT FIRST REVIEWING ARCHITECTURAL DRAWINGS.
10. SAMPLES OF SPECIFIED MATERIALS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING FOR JOB.



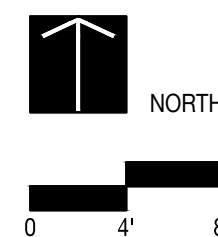
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FINISH:	NA
DIMENSIONS:	NA
SOURCE:	NA

	PLANTING AREA TYPICAL
	ZOYSIA SEON SOD
	PORPHYRY PAVERS RE: ARCH. DWGS.
	WATER



02.01.2021

DATE	ISSUE
11.25.2020	COORDINATION
12.17.2020	75% CD
02.01.2021	100% CD



NORTH

A horizontal number line segment from 0 to 1. A tick mark is placed at the fraction  $\frac{4}{5}$ .

# L300

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PLANTING NOTES

1.

PLANT MATERIAL IS TO BE HEALTHY SPECIMENS FREE FROM DISEASE OR DAMAGE, AND IS TO BE MAINTAINED IN EXCELLENT CONDITION WHILE ON THE JOBSITE. LANDSCAPE ARCHITECT SHALL INSPECT PLANT MATERIAL UPON ARRIVAL TO JOBSITE AND WILL REJECT PLANT MATERIAL THAT DOES NOT MEET THE STANDARDS DESCRIBED WITHIN THE CONTRACT DOCUMENTS.
2.

THE LANDSCAPE ARCHITECT WILL PERIODICALLY INSPECT PLANT MATERIAL STOCKPILED AND/OR PLANTED ON SITE DURING THE COURSE OF CONSTRUCTION. PLANT MATERIAL NOT MEETING THE STANDARDS CONTAINED WITHIN CONTRACT DOCUMENTS SHALL BE REPLACED AT NO COST TO THE OWNER.
3.

PROVIDE MATCHING SIZES AND FORMS FOR EACH PLANT OF THE SAME SPECIES UNLESS OTHERWISE INDICATED.
4.

CONTRACTOR TO VERIFY ALL QUANTITIES. IN CASE OF DISCREPANCIES, GRAPHICALLY SHOWN QUANTITIES SHALL TAKE PRECEDENCE.
5.

ALL MATERIALS USED SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
6.

ALL PLANT MATERIAL SHALL BE INSTALLED PLUMB AND PER THE SPECIFICATIONS CONTAINED WITHIN THE CONTRACT DOCUMENTS. ANY NECESSARY STAKING AND/OR OTHER SUPPORTS MATERIALS/METHODS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
7.

THE CONTRACTOR SHALL PRUNE EXISTING AND/OR NEW TREES ONLY PER LANDSCAPE ARCHITECT DIRECTION.
8.

THE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL TREES AND B&B SHRUBS FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL, PRIOR TO INSTALLATION.
9.

ALL ROOT-WRAPPING MATERIALS THAT ARE NOT BIO-DEGRADABLE SHALL BE REMOVED FROM THE ROOT BALL. ROOT BALLS SHALL BE FREE OF WEEDS.
10.

SPECIFIED PLANT MATERIAL SIZES SHALL BE CONSIDERED MINIMUM SIZES.
11.

FINISH GRADE OF PLANTING BEDS SHALL BE ONE (1) INCH BELOW ADJACENT FLATWORK, UNLESS SPECIFIED OTHERWISE.
12.

MULCH OR PLANTING BED DRESSING SHALL BE PLACED IN ALL PLANTING AREAS AS SPECIFIED. MULCH OR PLANTING BED DRESSING SHALL NOT BE PLACED WITHIN SIX (6) INCHES OF TREE TRUNKS. MULCHING SHOULD BE REPEATED ANNUALLY DURING THE AUTUMN TO A THREE (3) INCH DEPTH.
13.

ALL PLANT MATERIAL SHOULD RECEIVE AN ORGANIC FERTILIZER IN LIMITED APPLICATION FOLLOWING INSTALLATION. TYPE AND APPLICATION RATE AND METHOD OF APPLICATION TO BE SPECIFIED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT.
14.

EXCESS FERTILIZER SHALL BE DISPOSED OF PROPERLY OFF-SITE. IT SHALL NOT BE DISPOSED OF IN STORM DRAINS AND/OR DRYWELLS.
15.

STOCKPILED PLANT MATERIAL TO BE PLACED IN THE SHADE AND PROPERLY HAND-WATERED UNTIL PLANTED.
16.

MINI-NUGGET TYPE DECORATIVE BARK MULCH WILL BE USED TO RETURN NUTRIENTS TO THE SOIL, REDUCE MAINTENANCE AND MINIMIZE EVAPORATION FOR AREAS APPROXIMATE TO THE RESIDENCE. LARGER SHREDDED BARK MULCH WILL BE USED FOR STEEP AREAS SO SLOUGHING IS LESS LIKELY TO OCCUR.
17.

PRESERVE & PROTECT ALL EXISTING VEGETATION INDICATED TO REMAIN AT ALL TIMES.
18.

ALL VEGETATION PROPOSED FOR OUTSIDE THE BUILDING ENVELOPE TO BE NATIVE UNLESS OTHERWISE NOTED. PLANTING THAT OCCURS OUTSIDE THE BUILDING ENVELOPE IS FOR RESTORATION PURPOSES ONLY OR IS SPECIFIC TO UTILITIES RESTORATION.
19.

SIX (6) INCH PLANT MIX SHALL BE PROVIDED FOR ALL LAWN, TURF, AND NATIVE PLANTING ZONES. 18 INCH PLANT MIX SHALL BE PROVIDED FOR ALL PERENNIAL PLANTING BEDS UNLESS OTHERWISE NOTED.

PLANTING SCHEDULE

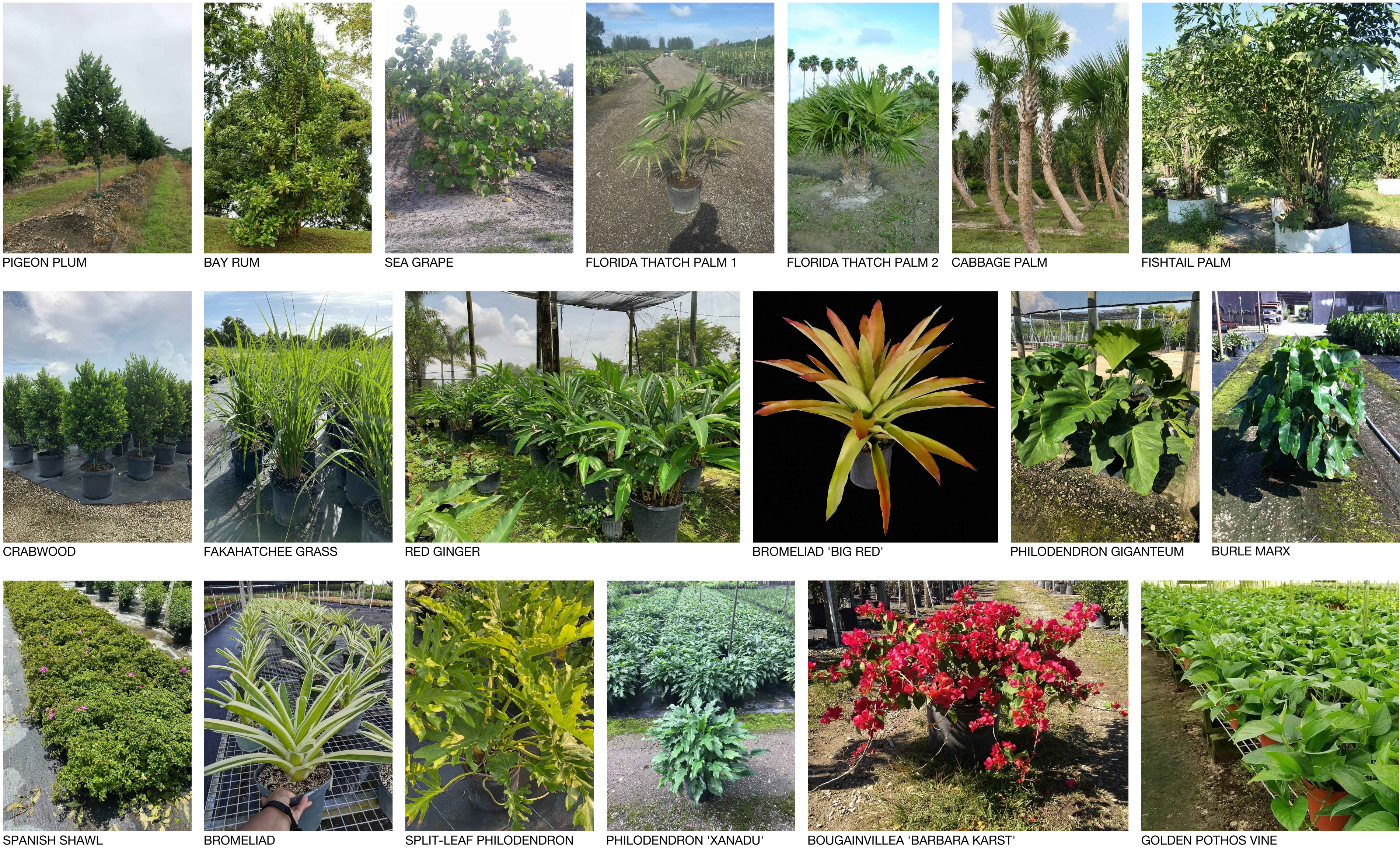
ABR.	QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
TREES				
CDI	3	COCCOLOBA DIVERSIFOLIA	PIGEON PLUM	FG. 6 IN. DBH 18 FT. HT. OA. SINGLE LEADER STANDARD
PRA	12	PIMENTO RACEMOSA	BAY RUM	200 GAL. 4 IN. DBH 16 FT. HT. SINGLE LEADER STANDARD
CUV	3	COCCOLOBA UVIFERA	SEA GRAPE	MULTI TRUNK 20-24 FT. HT.
PALMS				
TR1	18	THRINAX RADIATA	FLORIDA THATCH PALM	TRIPLE 7 GAL. 3 FT. OA.
TR2	1	THRINAX RADIATA	FLORIDA THATCH PALM	FG. MULTI 7-9 TRUNK 12-15' OA.
SP1	6	SABAL PALMETTO	CABBAGE PALM	16 FT. GW W/ CHARACTER CURVE
SP2	6	SABAL PALMETTO	CABBAGE PALM	20 FT. GW W/ CHARACTER CURVE
SP3	6	SABAL PALMETTO	CABBAGE PALM	24 FT. GW W/ CHARACTER CURVE
CMI	3	CARYOTA MITIS	FISHTAIL PALM	100 GAL.
UNDERSTORY TREES & SHRUBS				
GL	72	GYMNANTHES LUCIDA	CRABWOOD	25 GAL. 6 FT. OA. BUSH FORM
TD	23	TRIPSACUM DACTYLOIDES	FAKAHATCHEE GRASS	3 GAL.
ACCENTS				
AP	40	ALPINIA PURPURATA	RED GINGER	15 GAL. 6 FT. HT.
AS	50	ANDROLEPIS SKINERII	BROMELIAD 'BIG RED'	3 GAL.
PG	6	PHILODENDRON GIGANTEUM	SAME	7 GAL.
BM	100	PHILODENDRON 'BURLE MARX'	SAME	3 GAL.
GROUNDCOVERS				
HE	567	HETEROCENTRON ELEGANS	SPANISH SHAWL	1 GAL. 12 IN. O.C.
NB	364	NEOREGELIA 'BOSSA NOVA'	BROMELIAD	1 GAL. 12 IN. O.C.
SECOND LEVEL PLANTING				
PB	19	PHILODENDRON BIPINNATIFIDUM	SPLIT-LEAF PHILODENDRON	3 GAL.
PX	45	PHILODENDRON 'XANADU'	SAME	3 GAL.
BK	20	BOUGAINVILLEA 'BARBARA KARST'	SAME	3 GAL. BUSH
EA	169	EPIPREMNUM AUREUM 'JADE'	GOLDEN POTHOS VINE	6 IN. POT / 12 IN. O.C.
MISC.				
ALL SOD AREAS TO BE REPLACED WITH ZOYSIA 'ZEON'				
LANDSCAPE ARCHITECT TO HAVE \$2000 WHOLESALE ACCENT PLANT ALLOWANCE				

CORAL GABLES LANDSCAPE LEGEND

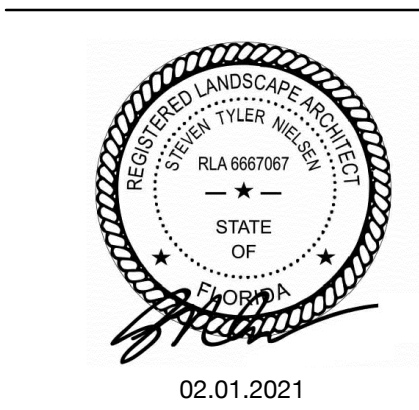
ZONING DISTRICT:	SFR
NET LOT AREA (ACRES):	0.32 ACRES
NET LOT AREA (SQUARE FEET):	13,773 SQUARE FEET

DEVELOPMENT STANDARDS		REQUIRED	PROVIDED	
LANDSCAPED OPEN SPACE	40% MINIMUM	5,510	5,510	40%
FRONT YARD LANDSCAPE OPEN SPACE	MINIMUM 20% OF 40%	1,102	1,578	29%
TREES				
STREET TREES	1 TREE SHADE TREE / 35 LINEAR FEET	3	3	
LARGE SHADE TREE (TOTAL)	1 TREE / 5,000 SQFT. (30% NATIVE MIN.)	3 (1 NATIVE)	18 (6 NATIVES)	
LARGE SHADE TREE (FRONT YARD)	AT LEAST 2 TREES	2	6	
PALM & MEDIUM SHADE TREES	2 PALMS OR 1 TREE / 5,000 SQFT. (30% NATIVE MIN.)	6 PALMS	37 PALMS	
SHRUBS & LAWN				
SHRUBS (TOTAL)	15 / 5,000 SQFT. (30% NATIVE MIN.)	45 (14 NATIVES)	95 (95 NATIVES)	
SHRUBS (FRONT YARD)	66% OF REQUIRED SHRUBS	30	30	
LAWN GRASS	60% OF LOT AREA MAXIMUM	8,264 MAX	2,625 (19%)	
LAWN GRASS (R.O.W.)	ALL UNPAVED SURFACES	100% R.O.W.	100% R.O.W.	

PLANT REFERENCE IMAGERY



SEAL (S TYLER NIELSEN - LA6667067)



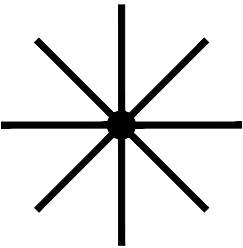
02.01.2021

PLANTING SCHEDULE & NOTES

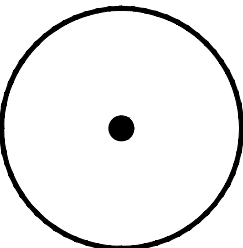
DATE	ISSUE
11.25.2020	COORDINATION
12.17.2020	75% CD
02.01.2021	100% CD

L700

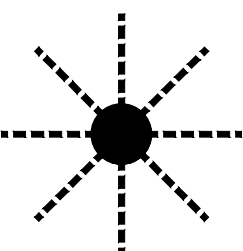
PLANTING LEGEND



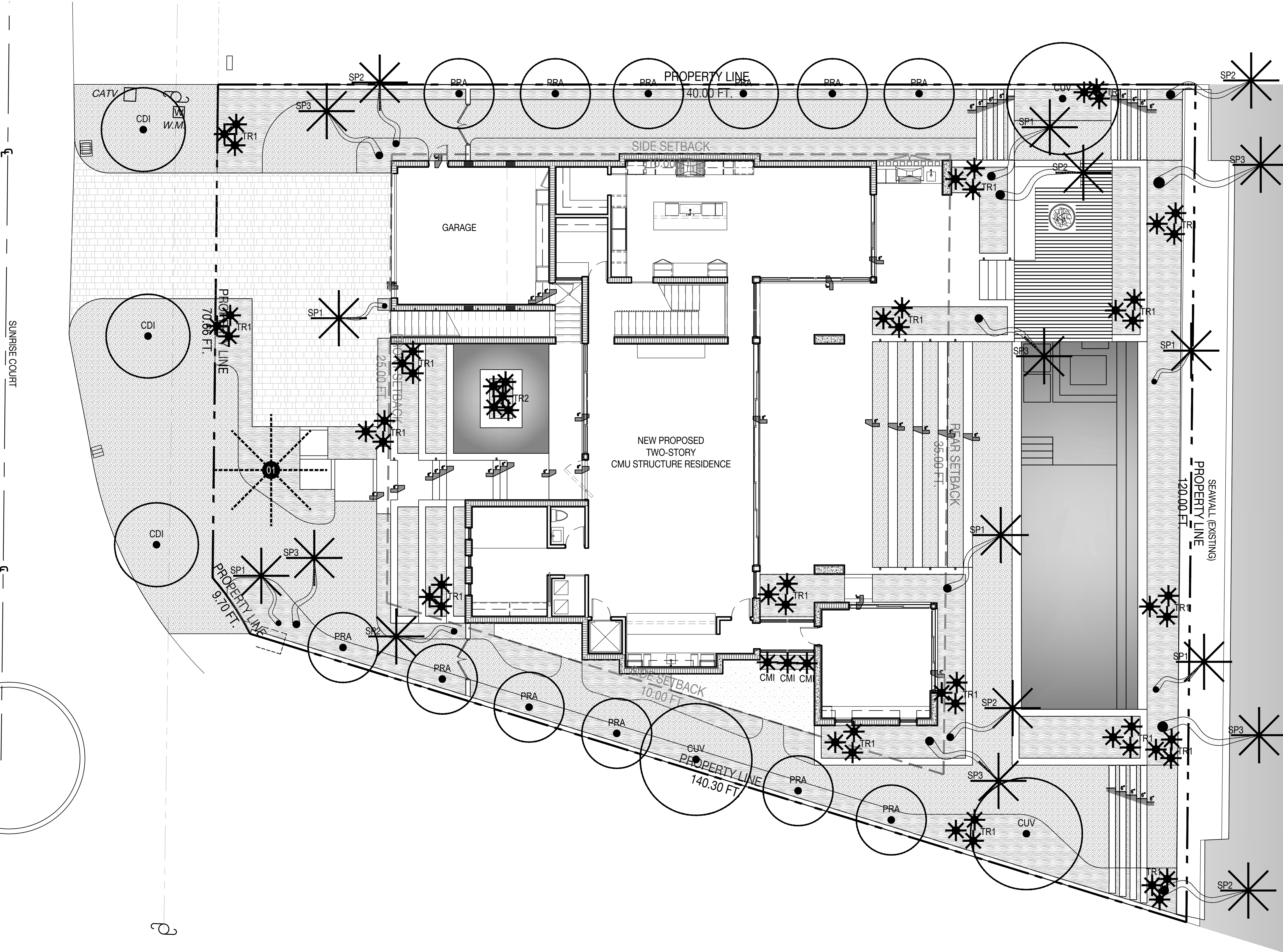
PROPOSED PALM



PROPOSED TREE



RELOCATED PALM



PLANTING SCHEDULE

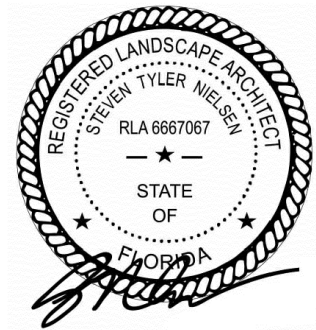
ABR.	QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
<b>TREES</b>				
CDI	3	COCCOLOBA DIVERSIFOLIA	PIGEON PLUM	FG. 6 IN. DBH 18 FT. HT. OA. SINGLE LEADER STANDARD
PRA	12	PIMENTO RACEMOSA	BAY RUM	200 GAL. 4 IN. DBH 16 FT. HT. SINGLE LEADER STANDARD
CUV	3	COCCOLOBA UVIFERA	SEA GRAPE	MULTI TRUNK 20-24 FT. HT.
<b>PALMS</b>				
TR1	18	THRINAX RADIATA	FLORIDA THATCH PALM	TRIPLE 7 GAL. 3 FT. OA.
TR2	1	THRINAX RADIATA	FLORIDA THATCH PALM	FG. MULTI 7-9 TRUNK 12-15' OA.
SP1	6	SABAL PALMETTO	CABBAGE PALM	16 FT. GW W/ CHARACTER CURVE
SP2	6	SABAL PALMETTO	CABBAGE PALM	20 FT. GW W/ CHARACTER CURVE
SP3	6	SABAL PALMETTO	CABBAGE PALM	24 FT. GW W/ CHARACTER CURVE
CMI	3	CARYOTA MITIS	FISHTAIL PALM	100 GAL.

CORAL GABLES LANDSCAPE LEGEND

ZONING DISTRICT:	SFR
NET LOT AREA (ACRES):	0.32 ACRES
NET LOT AREA (SQUARE FEET):	13,773 SQUARE FEET

DEVELOPMENT STANDARDS		REQUIRED	PROVIDED
LANDSCAPED OPEN SPACE	40% MINIMUM	5,510	5,510 40%
FRONT YARD LANDSCAPE OPEN SPACE	MINIMUM 20% OF 40%	1,102	1,578 29%
<b>TREES</b>			
STREET TREES	1 TREE SHADE TREE / 35 LINEAR FEET	3	3
LARGE SHADE TREE (TOTAL)	1 TREE / 5,000 SQFT. (30% NATIVE MIN.)	3 (1 NATIVE)	18 (6 NATIVES)
LARGE SHADE TREE (FRONT YARD)	AT LEAST 2 TREES	2	6
PALM & MEDIUM SHADE TREES	2 PALMS OR 1 TREE / 5,000 SQFT. (30% NATIVE MIN.)	6 PALMS	37 PALMS
<b>SHRUBS &amp; LAWN</b>			
SHRUBS (TOTAL)	15 / 5,000 SQFT. (30% NATIVE MIN.)	45 (14 NATIVES)	95 (95 NATIVES)
SHRUBS (FRONT YARD)	66% OF REQUIRED SHRUBS	30	30
LAWN GRASS	60% OF LOT AREA MAXIMUM	8,264 MAX	2,625 (19%)
LAWN GRASS (R.O.W.)	ALL UNPAVED SURFACES	100% R.O.W.	100% R.O.W.

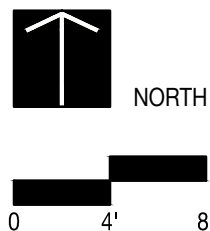
SEAL (S TYLER NIELSEN - LA6667067)



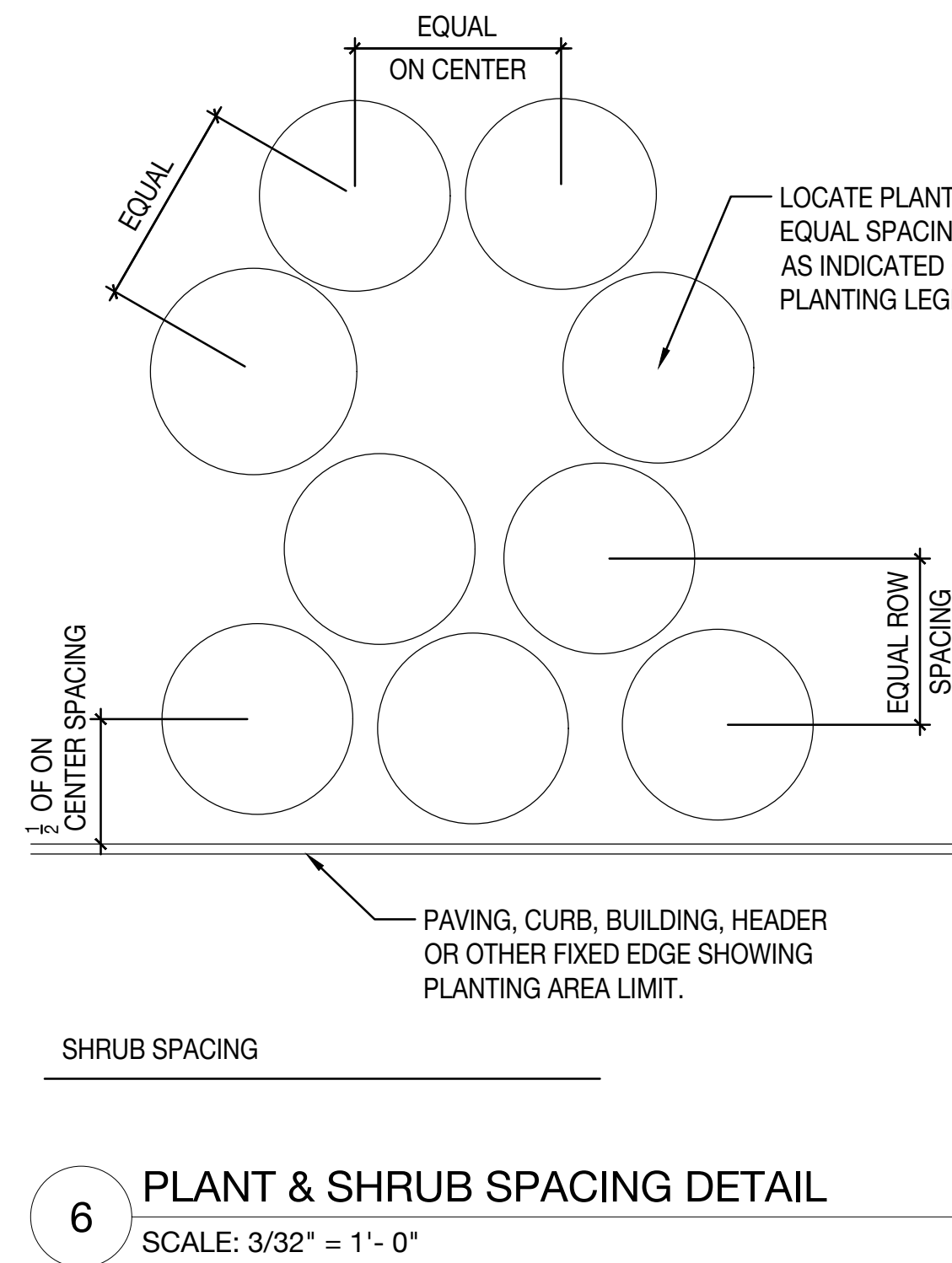
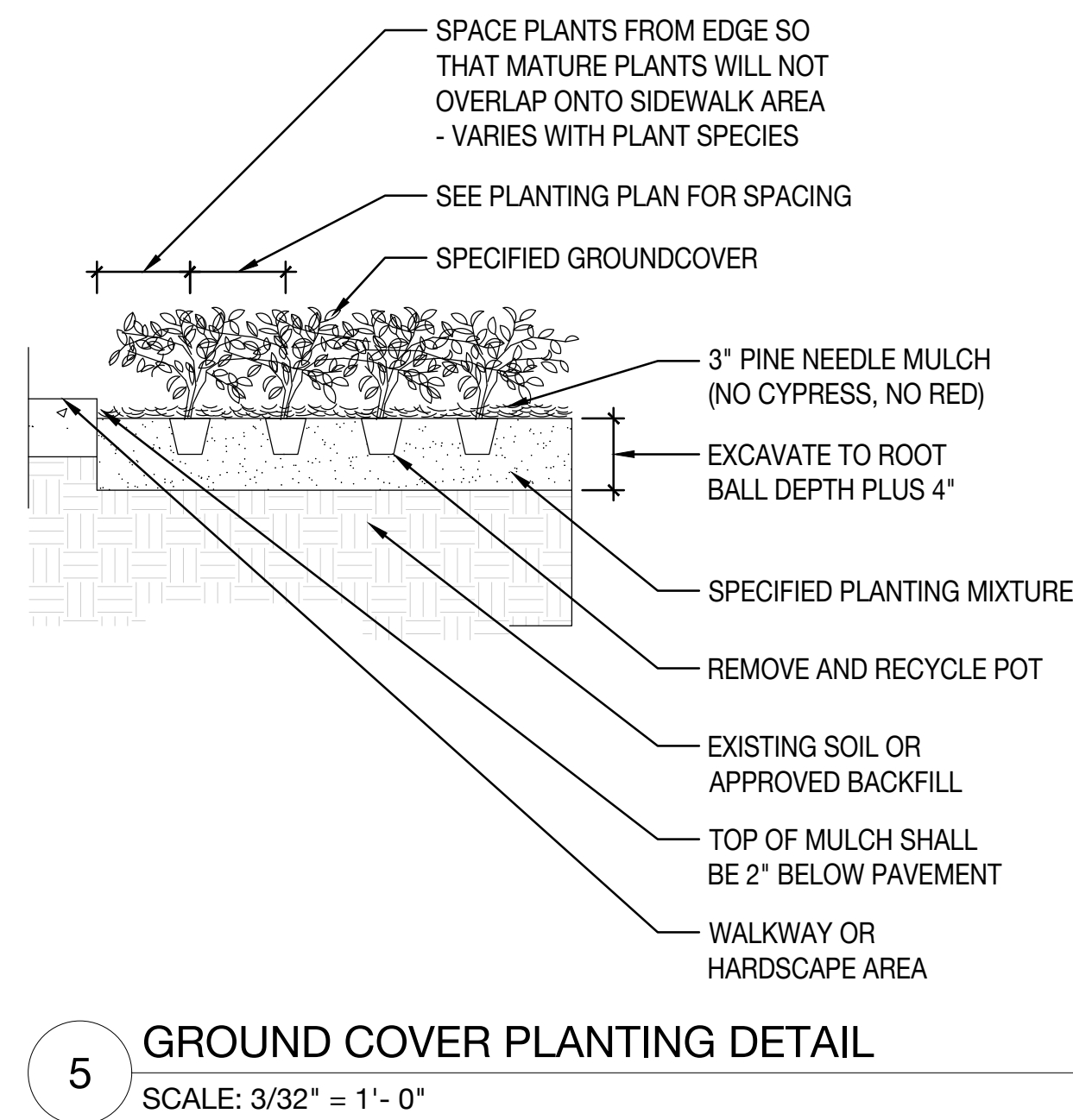
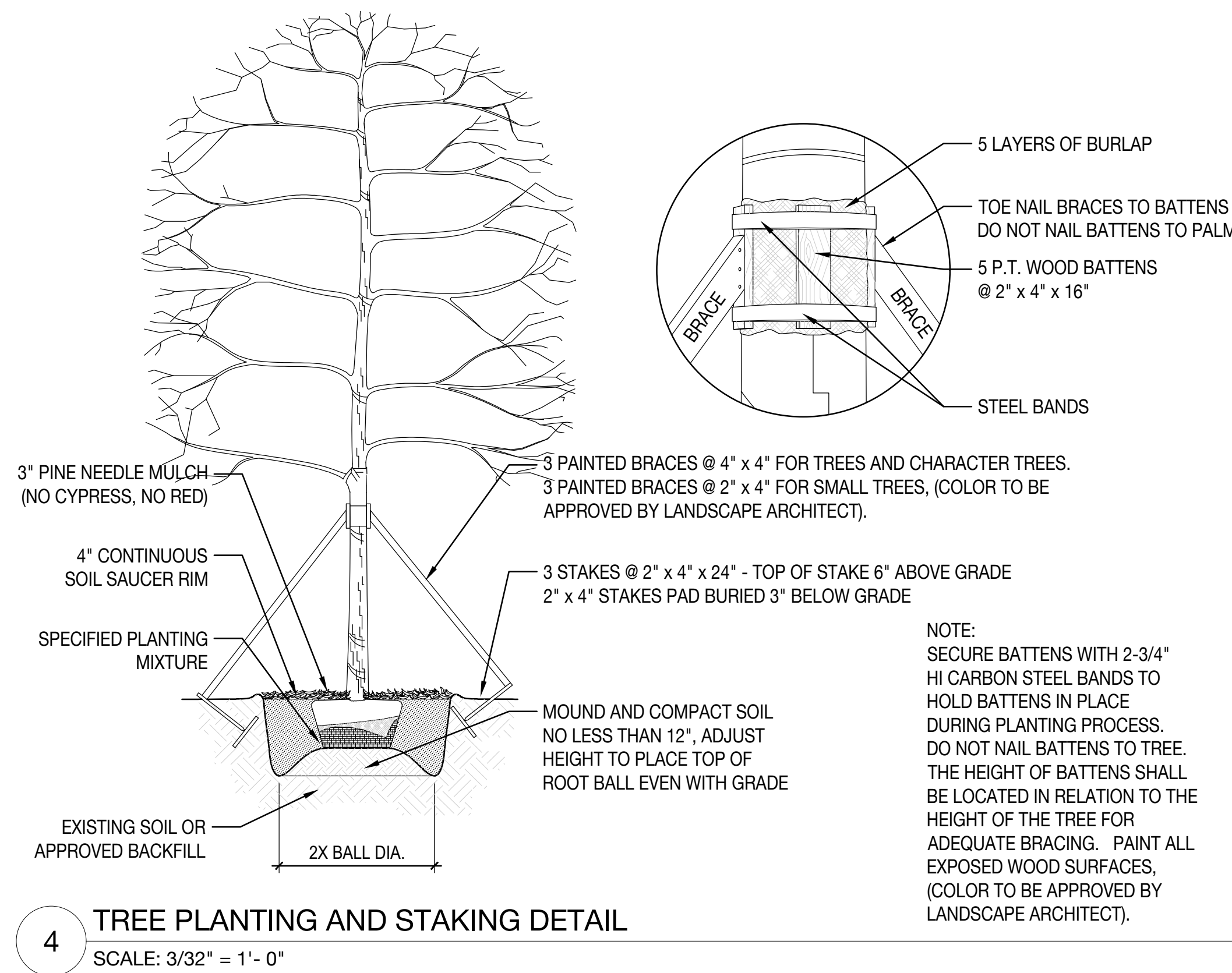
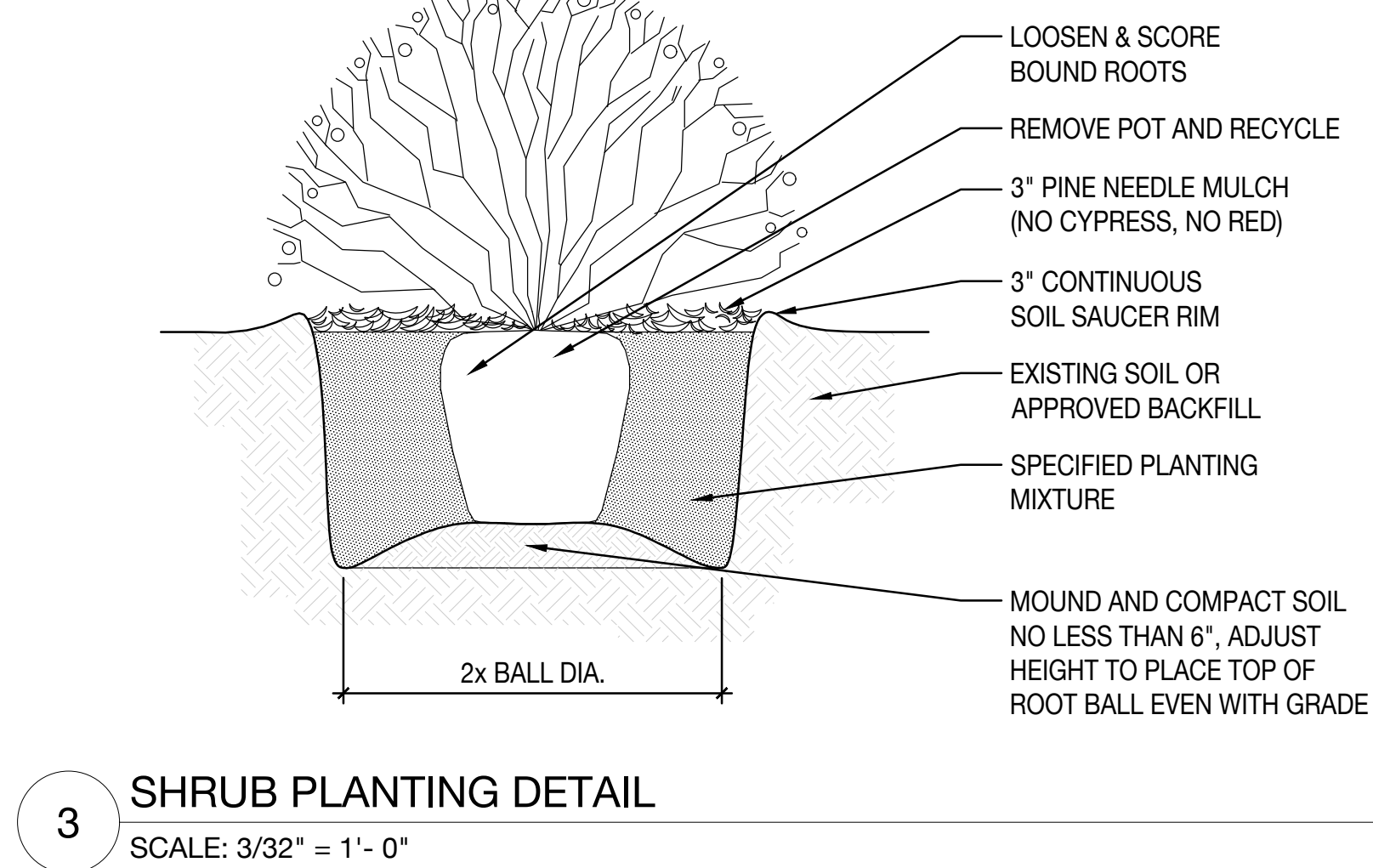
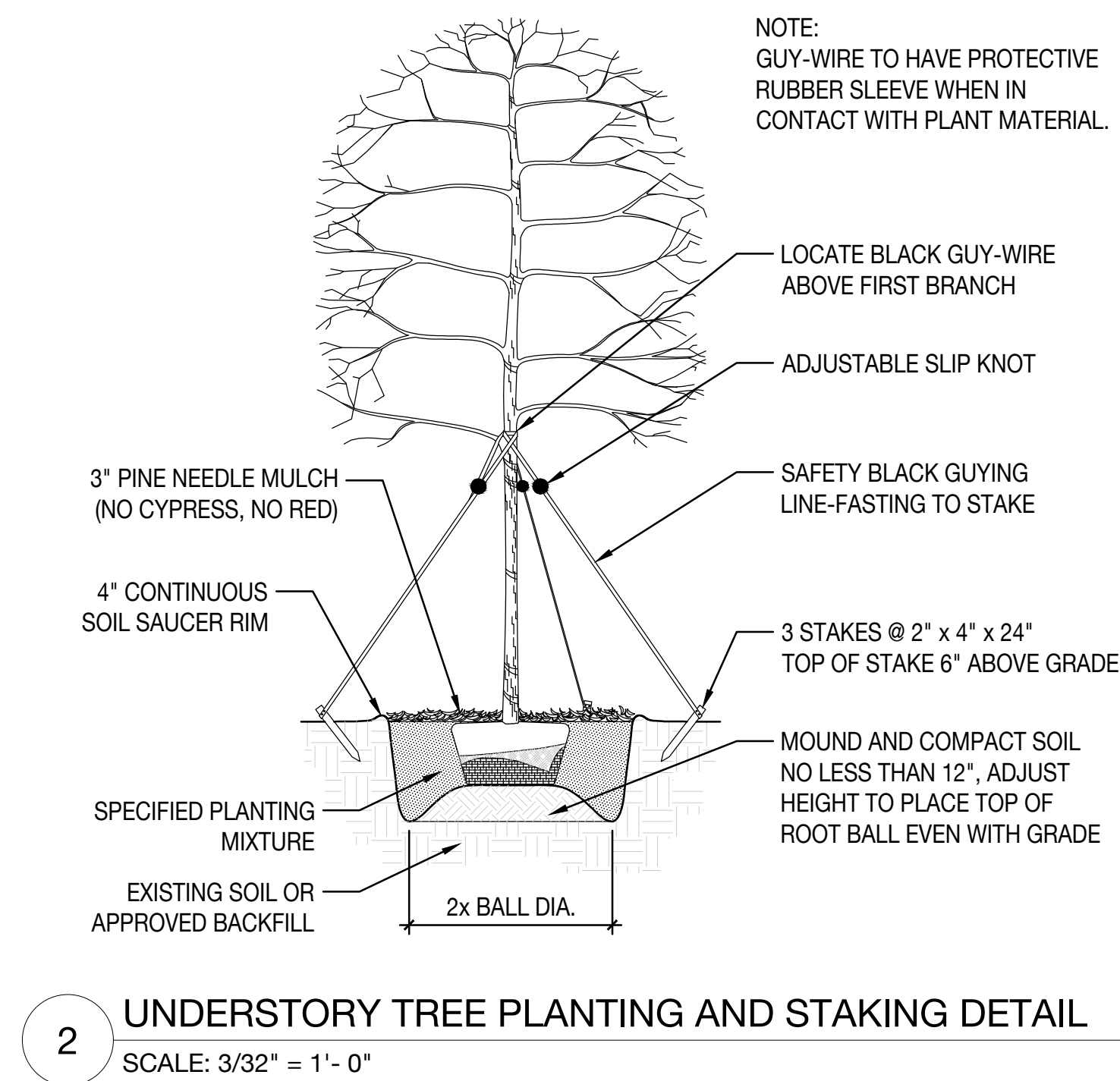
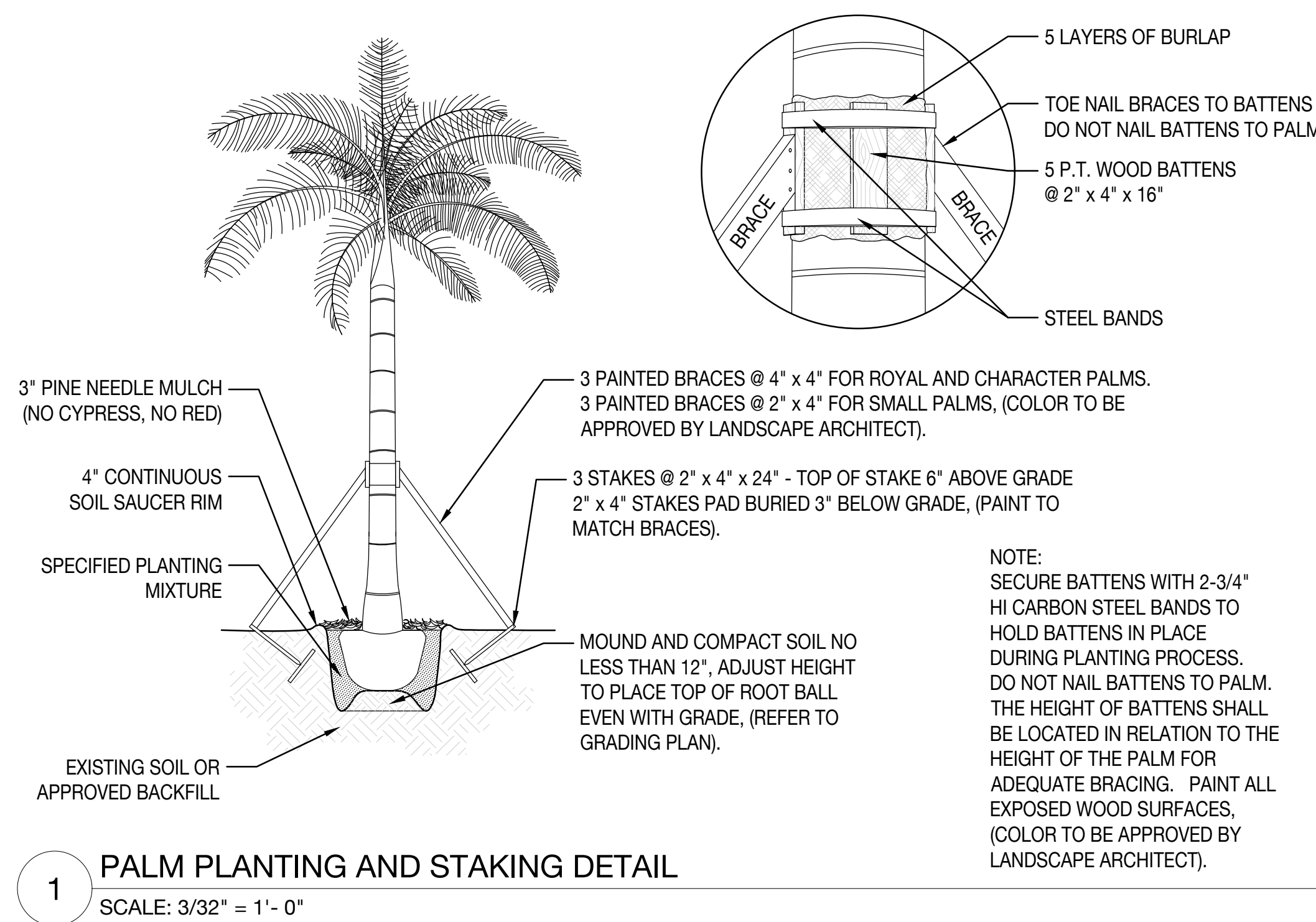
02.01.2021

TREE & PALM PLANTING PLAN

DATE	ISSUE
11.25.2020	COORDINATION
12.17.2020	75% CD
02.01.2021	100% CD



L701



TRIANGULAR PLANT SPACING CHART FOR GROUNDCOVERS AND PERENNIALS

ROW	
'D'	A
18' O.C.	15' O.C.
24' O.C.	21' O.C.
36' O.C.	31' O.C.

GROUNDCOVER & PERENNIAL SPACING