



OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 12/28/2016

Property Information	
Folio:	03-4118-002-0450
Property Address:	2701 INDIAN MOUND TRL Coral Gables, FL 33134-5553
Owner	EDW A MCCARTHY-ARCHBISHOP
Mailing Address	9401 BISC BLVD MIAMI, FL 33138-2970
Primary Zone	8600 SPECIAL USE
Primary Land Use	7144 RELIGIOUS - EXEMPT : RELIGIOUS
Beds / Baths / Half	0 / 0 / 0
Floors	3
Living Units	0
Actual Area	Sq Ft
Living Area	Sq Ft
Adjusted Area	54,994 Sq Ft
Lot Size	276,100 Sq Ft
Year Built	1926



Assessment Information			
Year	2016	2015	2014
Land Value	\$952,545	\$952,545	\$952,545
Building Value	\$2,183,539	\$1,966,422	\$1,894,784
XF Value	\$344,832	\$345,797	\$350,097
Market Value	\$3,480,916	\$3,264,764	\$3,197,426
Assessed Value	\$3,480,916	\$3,264,764	\$3,197,426

Benefits Information				
Benefit	Type	2016	2015	2014
Religious	Exemption	\$3,480,916	\$3,264,764	\$3,197,426

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).

Short Legal Description
CORAL GABLES SEC D REV PL PB 25-74 ALL BLKS 6-6-A & 7 LOT SIZE 276100 SQUARE FEET

Taxable Value Information			
	2016	2015	2014
County			
Exemption Value	\$3,480,916	\$3,264,764	\$3,197,426
Taxable Value	\$0	\$0	\$0
School Board			
Exemption Value	\$3,480,916	\$3,264,764	\$3,197,426
Taxable Value	\$0	\$0	\$0
City			
Exemption Value	\$3,480,916	\$3,264,764	\$3,197,426
Taxable Value	\$0	\$0	\$0
Regional			
Exemption Value	\$3,480,916	\$3,264,764	\$3,197,426
Taxable Value	\$0	\$0	\$0

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability. see full disclaimer and User Agreement at <http://www.miamidade.gov/info/d/disclaimer.asp>

Version:

CITY'S
EXHIBIT



2701 Indian Mound Trail

2701 Indian Mound Trail

<p><u>Owner</u> Archdiocese of Miami, Inc. c/o Thomas G. Wenski Office of the Archbishop 9401 Biscayne Blvd. Miami Shores, FL 33138-2970</p>	<p><u>Owner (Registered Agent)</u> Archdiocese of Miami, Inc. c/o Patrick J. Fitzgerald, Esq. Registered Agent 110 Merrick Way Suite 3-B Coral Gables, FL 33134-5236</p>
<p><u>Judgment lienholders</u> Due to the large number of recorded documents in pending court cases against the owner, please request an update of the title search in the event the City intends to demolish to property</p>	



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Permits and Inspections: Search Results

Logon Help Contact

New Permit Search

Permit Search Results

Permit#:	App. Date	Street Address	Type	Description	Status	Issue Date	Final Date	Fees Due
AB-08-07-1109	07/21/2008	2701 INDIAN MOUND TRL	BOA COMPLETE (LESS THAN \$75,000)	2 AWNING RECOVERS (DARK GREEN) \$3000	final	07/21/2008	10/15/2008	0.00
AB-09-06-1957	06/04/2009	2701 INDIAN MOUND TRL	BOA COMPLETE (LESS THAN \$75,000)	EXT WALLS PAINT SW 6085 (LT BEIGE), TRIM SW 6093 (MED. BEIGE), DOORS & WOOD BEAMS SW 6006 (BLACK BEAN) \$70000	final	06/04/2009	01/25/2010	0.00
AB-10-03-3764	03/15/2010	2701 INDIAN MOUND TRL	BOA PRELIMINARY/MED BONUS/FINAL	(FINAL FOR ELEVATOR) * REVISION#3**ADDING (77) MORE WINDOWS TO BE REPLACED FROM ALUMINUM WINDOWS (10) BEIGE FRAME CLEAR GLASS \$200000 (HISTORICAL)	issued	03/18/2010		0.00
AB-11-07-6394	07/14/2011	2701 INDIAN MOUND TRL	BOA COMPLETE (LESS THAN \$75,000)	INSTALLATION OF WINDOW ALUMINUM \$2000	issued	07/14/2011		0.00
AB-13-02-1475	02/26/2013	2701 INDIAN MOUND TRL	BOA COMPLETE (LESS THAN \$75,000)	AWNING RECOVER (MAIN ENTRANCE) ST. THERESA \$1800 ***HISTORIC***	final	02/26/2013	05/09/2013	0.00
AB-14-12-3583	12/08/2014	2701 INDIAN MOUND TRL	BOA COMPLETE (LESS THAN \$75,000)	*HISTORICAL* ST THERESA SCHOOL* WINDOWS (48) BEIGE FRAME/ CLEAR GLASS \$54776.64	final	12/08/2014	09/09/2015	0.00
AB-15-05-5098	05/14/2015	2701 INDIAN MOUND TRL	BOA PRELIMINARY/MED BONUS/FINAL	**COM**HISTORICAL** LAST PHASE REPLACEMENT OF 94 CASEMENT WINDOWS AND 74 FIXED WINDOWS \$214344.06 POSTED HW	final	05/14/2015	02/02/2016	0.00
AB-15-05-5264	05/18/2015	2701 INDIAN MOUND TRL	BOA COMPLETE (LESS THAN \$75,000)	**HISTORICAL** FINAL FOR (CHURCH OF THE LITTLE FLOWER) - NEW SCULPTURE GARDEN @ 2711 INDIAN MOUND TRAIL \$65000	final	05/18/2015	10/27/2015	0.00
AB-15-11-5819	11/17/2015	2701 INDIAN MOUND TRL	BOA COMPLETE (LESS THAN \$75,000)	***INCLUSIVE*** NEW ROOF ARTEZANOS INC ARTEZABOS WORLD CLASS TILE \$2,500	final	11/17/2015	01/04/2016	0.00
BL-09-03-2592	03/25/2009	2701 INDIAN MOUND TRL	GENERAL REPAIRS	CONCRETE REPAIRS \$37,000	final	04/07/2009	06/30/2009	0.00
BL-11-07-6454	07/14/2011	2701 INDIAN MOUND TRL	DOOR/GARAGE DOOR/SHUTTER/WINDOW	INSTALLATION OF NEW WINDOW- ALUMINUM \$2000	final	08/09/2011	08/15/2011	0.00
BL-11-11-6284	11/23/2011	2701 INDIAN MOUND TRL	DOOR/GARAGE DOOR/SHUTTER/WINDOW	ALUMINUM WINDOWS (10) BEIGE FRAME CLEAR GLASS \$200,000 REVISION- ADDING REPLACEMENT OF 25 CASEMENT & 16 FIXED WINDOWS TO SCOPE OF WORK.	final	12/21/2012	09/02/2015	0.00
BL-13-08-0442	08/08/2013	2701 INDIAN MOUND TRL	INTERIOR ALTERATION ONLY	COMM INTER ALTERATIONS- (ST THERESA SCHOOL) \$49,400	final	04/30/2014	08/12/2014	0.00
BL-14-02-2559	02/18/2014	2701	DOOR/GARAGE	REVISION- ADDING	final	05/21/2014	05/21/2014	0.00

CITY'S

EXHIBIT

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Permit ID	Issue Date	Address	Work Type	Description	Status	Start Date	End Date	Amount
		INDIAN MOUND TRL	RESIDENTIAL WORK	(CCTV SYSTEM) \$22,900				
EL-09-12-1782	12/01/2009	2701 INDIAN MOUND TRL	ELEC GENERATOR	TWO GENERATORS FOR CARNIVAL \$ 500.00	final	12/01/2009	12/04/2009	0.00
EL-09-12-2634	12/16/2009	2701 INDIAN MOUND TRL	ELEC COMMERCIAL / RESIDENTIAL WORK	INSTALL LIGHTING PREDICTION SYSTEM (LOW VOLT) AND EQUIPMENT OUTLETS 10,975	final	12/18/2009	01/28/2010	0.00
EL-10-02-3123	02/10/2010	2701 INDIAN MOUND TRL	ELEC COMMERCIAL / RESIDENTIAL WORK	PROVIDE POWER TO AT&T CABINET \$ 1500	final	02/17/2010	02/18/2010	0.00
EL-10-11-4310	11/22/2010	2701 INDIAN MOUND TRL	ELEC COMMERCIAL / RESIDENTIAL WORK	CARNIVAL 2 GENERATORS \$500	final	11/30/2010	12/02/2010	0.00
EL-11-11-6455	11/29/2011	2701 INDIAN MOUND TRL	ELEC GENERATOR	2 GENERATORS FOR CARNIVAL \$ 500	final	11/30/2011	12/01/2011	0.00
EL-12-11-1445	11/27/2012	2701 INDIAN MOUND TRL	ELEC COMMERCIAL / RESIDENTIAL WORK	ELECTRICAL FOR A CARNIVAL \$500	final	11/28/2012	11/30/2012	0.00
EL-13-08-0551	08/09/2013	2701 INDIAN MOUND TRL	ELEC COMMERCIAL / RESIDENTIAL WORK	ELECTRICAL \$600 4LIGHT SOCKETS AND 10 ROUGH IN OUTLETS	final	05/14/2014	08/04/2014	0.00
EL-13-12-1600	12/02/2013	2701 INDIAN MOUND TRL	ELEC COMMERCIAL / RESIDENTIAL WORK	ELECTRICAL HOOK UP FOR CARNIVAL \$500 375 KW GENERATOR FOR CARNIVAL	final	12/03/2013	12/06/2013	0.00
EL-14-11-4690	11/24/2014	2701 INDIAN MOUND TRL	ELEC COMMERCIAL / RESIDENTIAL WORK	GENERATOR FOR CARNIVAL - 150 KVA \$500	final	12/01/2014	12/04/2014	0.00
EL-14-12-4478	12/28/2014	2701 INDIAN MOUND TRL	ELEC COMMERCIAL / RESIDENTIAL WORK	ELECTRCAL FOR WATER HEATER	final	02/02/2015	02/05/2015	0.00
EL-15-01-1425	01/30/2015	2701 INDIAN MOUND TRL	ELEC COMMERCIAL / RESIDENTIAL WORK	10 LIGHT SOCKETS; 10 ROPUGH IN OUTLETS; 25 HP MOTOR FOR ELECVATOR; 1 TON MINI PLIT AND 100 AMP SUBFEEDED AND SWITCHBOARD	final	08/05/2015	03/09/2016	0.00
EL-15-08-4492	08/12/2015	2701 INDIAN MOUND TRL	ELECTRICAL COMMERCIAL /RESIDENTIAL WORK	***HISTORICAL** TRELLIS & NEW SCULPTURE GARDEN @ 2711 INDIAN MOUND TRAIL (CHURCH OF THE LITTLE FLOWER) 19 LIGHT FIXTURES	final	09/25/2015	10/27/2015	0.00
EL-15-10-4982	10/14/2015	2701 INDIAN MOUND TRL	ELEC LOW VOLTAGE SYSTEM	***HISTORICAL*** INCLUSIVE/ 3 STORY COMMERCIAL ADDITION FOR ELEVATOR LOW VOLT FOR FIRE ALARM	final	10/29/2015	04/05/2016	0.00
EL-15-11-6207	11/23/2015	2701 INDIAN MOUND TRL	ELEC GENERATOR	TEMP GENERATOR FOR CARNIVAL	stop work	11/30/2015		0.00
EL-16-11-7716	11/28/2016	2701 INDIAN MOUND TRL	ELEC GENERATOR	(2) 250 KW GENERATORS FOR CARNIVAL EVENT \$500	final	11/29/2016	12/01/2016	0.00
FD-15-10-4953	10/13/2015	2701 INDIAN MOUND TRL	FIRE ALARM SYSTEM	NEW FIRE ALARM ELEVATOR RECALL \$2,100	final	10/29/2015	04/04/2016	0.00
HI-09-06-2595	06/15/2009	2701 INDIAN MOUND TRL	CERTIFICATE OF APPROPRIATENESS - STANDARD	EXTERIOR PAIN	final	04/22/2010	04/22/2010	0.00
HI-10-05-4362	05/18/2010	2701 INDIAN MOUND TRL	CERTIFICATE OF APPROPRIATENESS - SPECIAL	WINDOWS	final	09/26/2011	09/26/2011	0.00

HI-11-08-6405	08/16/2011	2701 INDIAN MOUND TRL	LOCAL HISTORIC DESIGNATION	NEW WINDOWS	canceled		08/23/2011	0.00
HI-11-08-6881	08/23/2011	2701 INDIAN MOUND TRL	CERTIFICATE OF APPROPRIATENESS - STANDARD	WINDOWS	final	08/23/2011	08/23/2011	0.00
HI-15-05-5908	05/29/2015	2701 INDIAN MOUND TRL	CERTIFICATE OF APPROPRIATENESS - SPECIAL		pending			0.00
ME-09-08-1894	08/11/2009	2701 INDIAN MOUND TRL	MECH COMMERCIAL / RESIDENTIAL WORK	INSTALL AIR CONDITIONER & CONDENSATE DRAIN \$65,000	final	08/20/2009	07/16/2010	0.00
ME-13-08-0698	08/12/2013	2701 INDIAN MOUND TRL	MECH COMMERCIAL / RESIDENTIAL WORK	RELOCATE EXISTING AIR HANDLER, REMOVE ALL DUCTWORK AND INSTALL NEW DUCTWORK TO EXISTING A/C UNIT.	final	05/16/2014	08/04/2014	0.00
ME-15-02-0381	02/06/2015	2701 INDIAN MOUND TRL	MECH COMMERCIAL / RESIDENTIAL WORK	INSTALL ONE NEW 1 TON MINI SPLIT FOR THE ELEVATOR MACHINE ROOM.	final	02/03/2016	03/07/2016	0.00
PL-09-03-2321	03/19/2009	2701 INDIAN MOUND TRL	PLUMB COMMERCIAL / RESIDENTIAL WORK	CANCELLED - REPLACE WATER HEATER \$2,400	canceled		12/03/2014	104.55
PL-09-04-2697	04/22/2009	2701 INDIAN MOUND TRL	PLUMB COMMERCIAL / RESIDENTIAL WORK	INSTALL GAS APPLIANCE & GAS PIPING \$2,400	stop work	04/23/2009		0.00
PL-13-08-0583	08/09/2013	2701 INDIAN MOUND TRL	PLUMB COMMERCIAL / RESIDENTIAL WORK	COMM INTER ALTERATIONS- (ST THERESA SCHOOL)	final	05/08/2014	08/04/2014	0.00
PL-14-11-3951	11/12/2014	2701 INDIAN MOUND TRL	PLUMB CHANGE OF CONTRACTOR	CHANGE OF CONTRACTOR TO REPLACE WATER HEATER	final	12/11/2014	02/18/2015	0.00
PL-15-01-1432	01/30/2015	2701 INDIAN MOUND TRL	PLUMB COMMERCIAL / RESIDENTIAL WORK	PLUMBING WORK FOR ***HISTORICAL*** INCLUSIVE/ 3 STORY COMMERCIAL ADDITION FOR ELEVATOR SUMP AND FRENCH DRAIN	final	12/17/2015	03/07/2016	0.00
PL-15-03-4773	03/19/2015	2701 INDIAN MOUND TRL	PLUMB DRAINFIELD/SEPTIC TANK/ABANDONMENT	REPAIR OF DRAINFIELD \$2350	final	03/27/2015	05/07/2015	0.00
PL-15-07-6157	07/31/2015	2701 INDIAN MOUND TRL	PLUMB COMMERCIAL / RESIDENTIAL WORK	CANCELLED PERMIT NO LONGER REQUIRED ***HISTORICAL*** INCLUSIVE/ 3 STORY COMMERCIAL ADDITION FOR ELEVATOR \$200,000 NO UPFRONT FEE PAID WENT TO BOA AS REVISION TO AB10033764-WINDOWS	canceled	08/03/2015	11/23/2015	0.00
PS-11-04-6475	04/19/2011	2701 INDIAN MOUND TRL	TREE REMOVAL/RELOCATION - PUBLIC SERVICE	REMOVQUEEN PALM LEANING, AND POOR ROOT SYSTEM	final	04/19/2011	04/19/2011	0.00
PS-11-04-6478	04/19/2011	2701 INDIAN MOUND TRL	TREE REMOVAL/RELOCATION - PUBLIC SERVICE	REMOVE QUEEN PALM LEANING AND POOR ROOT SYSTEM	final	04/19/2011	04/19/2011	0.00
PS-15-05-5182	05/15/2015	2701 INDIAN MOUND TRL	TREE REMOVAL/RELOCATION	REMOVE ONE BLACKOLIVE TREE. REPLACE ON PROPERTY WITH AT LEAST 1 TREE OF OWNER'S CHOICE. AT LEAST 12' TALL AND FLORIDA NUMBER ONE OR BETTER	final	05/20/2015	05/20/2015	0.00
PS-15-08-4408	08/10/2015	2701 INDIAN MOUND TRL	TREE REMOVAL/RELOCATION	TREE REMOVAL AS PER PLAN. MUST REPLACE ON PROPERTY WITH AT LEAST ONE NEW TREE OR PALM MINIMUM HEIGHT12' FLORIDA NUMBER ONE OR	final	08/14/2015	08/14/2015	0.00

BETTER									
PU-09-09-1615	09/03/2009	2701 INDIAN MOUND TRL	PUBLIC RECORDS SEARCH	REQ SITE PLAN, ELEVATIONS & FLOOR PLANS. PERMIT#00030194 CRM INV#8417	final	09/03/2009	09/03/2009	0.00	
PU-09-09-2029	09/10/2009	2701 INDIAN MOUND TRL	PUBLIC RECORDS SEARCH	REQ EXPIRED PERMIT APPLICATIONS TO CLOSE (SEVERAL) CRM INV#8429	final	09/10/2009	09/10/2009	0.00	
PU-09-09-2932	09/24/2009	2701 INDIAN MOUND TRL	PUBLIC RECORDS SEARCH	REQ COMM INT ALT CERTIFIED DWGS TO CLOSE ACTIVE PERMIT93050003 CRM INV#8530	final	09/25/2009	09/25/2009	0.00	
PU-09-10-1964	10/01/2009	2701 INDIAN MOUND TRL	PUBLIC RECORDS SEARCH	REQ DWGS TO CLOSE OPEN/EXP PERMITS FOR: 98080205, 98040082 & 91060434 CRM INV#8586	final	10/06/2009	10/06/2009	0.00	
PU-10-11-4051	11/18/2010	2701 INDIAN MOUND TRL	PUBLIC RECORDS SEARCH	REQ CERT COPY OF PERMIT 91060289 CRM INV 011876	final	11/19/2010	11/19/2010	0.00	
PU-13-05-1246	05/20/2013	2701 INDIAN MOUND TRL	PUBLIC RECORDS SEARCH	REQ COPIES OF PERMIT 34839B	final	06/05/2013	06/05/2013	0.00	
PU-13-06-0200	06/05/2013	2701 INDIAN MOUND TRL	PUBLIC RECORDS SEARCH	REQ A CD OF PERMIT 34839B	final	06/05/2013	06/05/2013	0.00	
PU-14-10-3029	10/16/2014	2701 INDIAN MOUND TRL	PUBLIC RECORDS SEARCH	REQ COPY OF SURVEY AND SITE PLAN	final	10/16/2014	10/16/2014	0.00	
PU-14-12-3574	12/08/2014	2701 INDIAN MOUND TRL	PUBLIC RECORDS SEARCH	REQ CERT COPY OF PERMIT BL11116284	final	12/08/2014	12/08/2014	0.00	
PW-09-11-2026	11/16/2009	2701 INDIAN MOUND TRL	UTTILITIES (AT & T) PERMIT	NEW CABINET ON A 6' X 6' CONCRETE PAD	final	05/04/2010	05/04/2010	0.00	
PW-15-10-4420	10/02/2015	2701 INDIAN MOUND TRL	SIDEWALK REPLACEMENT PERMIT	SIDEWALK REPLACEMENT	final	10/02/2015	12/04/2015	0.00	
RC-17-01-0029	01/03/2017	2701 INDIAN MOUND TRL	BUILDING RE CERTIFICATION	BUILDING RECERTIFICATION (1926) CONSTRUCTION REGULATION BOARD CASE #16-5673 AND UNSAFE STRUCTURE BOARD FEE	approved			980.63	
RV-13-01-0022	01/02/2013	2701 INDIAN MOUND TRL	REVISION TO PERMIT	REVISION	final	06/28/2013	06/28/2013	0.00	
RV-14-07-2504	07/08/2014	2701 INDIAN MOUND TRL	REVISION TO PERMIT	REVISION TO COMM INTER ALTERATIONS-(ST THERESA SCHOOL)	final	07/25/2014	07/25/2014	0.00	
SD-15-11-5467	11/12/2015	2701 INDIAN MOUND TRL	SHOP DRAWINGS	*** INCLUSIVE ** SHOP DRAWING (TRUSS) NO UPFRONT FEE PAID WENT TO BOA AS REVISION TO AB10033764-WINDOWS	final	11/13/2015	11/13/2015	0.00	
SD-15-11-5832	11/17/2015	2701 INDIAN MOUND TRL	SHOP DRAWINGS	***HISTORICAL*** INCLUSIVE/ SHOP DRAWINGS WINDOWS & DOORS	final	11/30/2015	11/30/2015	0.00	
UP-15-11-6208	11/23/2015	2701 INDIAN MOUND TRL	UPFRONT FEE	TEMP GENERATOR FOR CARNIVAL	final	11/23/2015	11/23/2015	0.00	
ZN-08-03-0826	03/19/2008	2701 INDIAN MOUND TRL	ZONING MISCELLANEOUS WORK	RESURFACE EXISTING BASKETBALL COURT \$16,000	final	03/19/2008	04/28/2008	0.00	
ZN-08-07-1376	07/24/2008	2701 INDIAN MOUND TRL	AWNING / CANOPY - RECOVER	2 AWNING RECOVERS (DARK GREEN) \$2,300	final	07/25/2008	10/15/2008	0.00	

ZN-09-04-2343	04/15/2009	2701 INDIAN MOUND TRL	DUMPSTER / CONTAINER	DUMPSTER	final	05/16/2009	05/16/2009	0.00
ZN-09-06-2157	06/08/2009	2701 INDIAN MOUND TRL	PAINT / RESURFACE FL / CLEAN	PAINT EXT BUILDING WALLS SW 6085 (LIGHT BEIGE) TRIM - SW 6093 (BEIGE), WOOD BEAM & DOOR SW 6006 (BROWN) \$70,000	final	06/08/2009	01/25/2010	0.00
ZN-13-03-0550	03/08/2013	2701 INDIAN MOUND TRL	AWNING / CANOPY - RECOVER	AWNING RECOVER (MAIN ENTRANCE) ST. THERESA \$1800 ***HISTORIC***	final	03/21/2013	05/09/2013	0.00
ZN-15-06-5888	06/25/2015	2701 INDIAN MOUND TRL	DUMPSTER / CONTAINER	DUMPSTER	final	06/26/2015	06/26/2015	0.00
ZN-15-09-4060	09/11/2015	2701 INDIAN MOUND TRL	DUMPSTER / CONTAINER	DUMPSTER	final	09/15/2015	09/15/2015	0.00

The City's online services are protected with an **SSL encryption certificate**. For technical assistance, please call 305-569-2448 (8am-5pm, M-F).



City of Coral Gables
Fire Department
Fire Prevention Division
2815 Salzedo Street, Coral Gables, FL 33134
Fax (305) 460-5598

The items noted below are in violation of the Florida Fire Prevention Code and/or the Florida Administrative Code. Nothing in this report supersedes any previously written, still existing violations for this occupancy/building. You are directed to comply with corrective measures as indicated.

Occupant Name:	St Theresa Catholic School	Inspection Date:	8/18/2016
Address:	2701 Indian Mound Trail	InspectionType:	AA-Tactical, Lodging or Rooming House, Public / Private Schools
City:	Coral Gables	Inspected By:	Leonard Veight 305-460-5577 lveight@coralgables.com
Suite:		Occ. Sq. Ft.:	40000

FL NFPA 01 13
Floor 1

Working without a permit

1.14.1 Working without a permit.

Submit the proper documents for review and approval to obtain a permit.

Submit the proper drawings and permit to replace and install , proper duct detector by NFPA standards in kitchen area south wall.

Doors

4.4.3.1.2 No keys, tools, special knowledge or effort from egress side.

Doors for egress shall require No keys, tools, or special knowledge or any effort from egress side.

South kitchen exit requires passive locking system.

Wall decorations/Art work

20.1.5.4.1 Excerpt: Fabrics and films used for decorative purposes, all draperies...

Have combustible fabric, films and decorations remove or provide documentation that they have been rendered flame retardant.

Remove all fabric and decorations, curtains in room # 124 and 122 which are not flame retardant . Also room #114 and throughout building.

Hood systems

CITY'S :

EXHIBIT

3

50.6.1.2.3.1 Failure to provide proper coverage of nozzles for movable cooking appliances.

Provide movable cooking appliance(s) with means to ensure that appliance(s) are correctly positioned in relation to the appliance discharge nozzle.

North hood system requires proper nozzle coverage.

FL NFPA 101 13

Floor 1

Emergency lights

7.9.3.1 Excerpt: Required emergency lighting systems shall be tested in accordance...

Maintain emergency lights in approve working condition. Provide means of testing emergency lights.

Failure to repair emergency lights north building . Also throughout school .

Exit signs

7.10.1.2.1 Excerpt: Exits, other than main exterior exit doors that obviously...

Provide approved exit sign over exits.

Failure to provide exit signs south kitchen.

7.10.5.2.1 Excerpt: Every sign required to be illuminated by 7.10.6.3, 7.10.7...

Maintain exit lights in an approved operating condition including battery back-up operation if applicable.

Repair exit sign room123.

Fire Alarm Systems

9.6.1.3 Excerpt: A fire alarm system required for life safety shall...

Have fire alarm system serviced, tagged and provide service report showing no deficiencies or documentation that required repairs were made

Provide an approved fire alarm system install by state licensed company. Plans, Permits, Inspections Required.

Failure to certify fire alarm panel in coaches office.

Fire extinguishers

9.7.4.1 Excerpt: Where required by the provisions of another section of...

Provide one 2A10BC for every 1,500SF ordinary hazard or 75 feet travel distance. Serviced and tagged annually

All buildings .

A re-inspection will occur on or after 9/19/2016.

Failure to correct violations within 15 days of re-inspection is subject to penalties up to and including the issuance of Civil Citations in the amount of \$200 per violation / per day.

Failure to provide immediate corrective measures when required, may result in administrative action including but not limited



City of Coral Gables

Fire Department

Fire Prevention Division

2815 Salzedo Street, Coral Gables, FL 33134

Fax (305) 460-5598

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Occupant Name:	Church of The little Flower, Comber Hall & Church Buisness Offices	Inspection Date:	8/26/2016
Address:	2701 Indian Mound Trail	InspectionType:	AA-Tactical, Assembly
City:	Coral Gables	Inspected By:	Leonard Veight 305-460-5577 lveight@coralgables.com
Suite:	SQft. of church only	Occ. Sq. Ft.:	54994

FL NFPA 01 13

Floor 1

Electrical

11.1.4 Abandoned electrical wiring (remove)

Permanent wiring abandoned in place shall be tagged or otherwise identified at its termination and junction points as "Abandoned in Place" or removed from all accessible areas and insulated from contact with other live electrical wiring or devices.

Repair electrical outlet back of stage.

11.1.7.6 Excerpt: Extension cords shall not be used as a substitute...

Remove all extension cords used as permanent wiring and replace with approved wiring.

Religious education office.

Wall decorations/Art work

20.1.5.4.1 Excerpt: Fabrics and films used for decorative purposes, all draperies...

Have combustible fabric, films and decorations remove or provide documentation that they have been rendered flame retardant.

Comber hall,

Hood systems

50.5.6.1 Excerpt: Upon inspection, if the exhaust system is found to...

Have range hood exhaust system cleaned by qualified, certified company. Cleaning intervals to exceed recommendations of tables NFPA 13:1.5.1, provide documentation.

Provide documentation that proper cleaning of system has been performed.

Failure to have hood system in kitchen cleaned bi annually.

FL NFPA 101 13

Floor 1

Walls and penetrations

8.3.5.1 Firestop Systems and Devices Required.

Provide firestopping where required.

In server room under stairs in copy room first floor.

Fire extinguishers

9.7.4.1 Excerpt: Where required by the provisions of another section of...

Provide one 2A10BC for every 1,500SF ordinary hazard or 75 feet travel distance. Serviced and tagged annually

Comber hall.

NFPA 72 07

Floor 1

Detectors

5.4.6 Smoke detector required.

Reinstall required devices as per NFPA standards, guidelines and in accordance with the approved drawings.

Failure to provide smoke detector hard wired with battery backup. Server room.

A re-inspection will occur on or after 9/26/2016.

Failure to correct violations within 15 days of re-inspection is subject to penalties up to and including the issuance of Civil Citations in the amount of \$200 per violation / per day.

Failure to provide immediate corrective measures when required, may result in administrative action including but not limited to: mandatory fire watch, building evacuation, or stoppage of all work.

Per City Ordinance 30-4, a Fire Inspection Fee will be billed for this inspection. All fees are subject to change without prior notice.

Thank you for your assistance. If you have any additional questions or to schedule an inspection, please contact the inspector listed at the top of this report.

**Company
Representative:**


Signature valid only in mobile-eye documents

Milton Sommariba

8/26/2016

Signature - COPIED SIGNATURE
COPIED SIGNATURE - COPIED SI
Leonard Veight
58414
8/26/2016 1:31:11 PM
Signature valid only in mobile-eyes documents

Inspector:

Leonard Veight
8/26/2016



City of Coral Gables
Fire Department
Fire Prevention Division
2815 Salzedo Street, Coral Gables, FL 33134
Fax (305) 460-5598

The items noted below are in violation of the Florida Fire Prevention Code and/or the Florida Administrative Code. Nothing in this report supersedes any previously written, still existing violations for this occupancy/building. You are directed to comply with corrective measures as indicated.

Occupant Name: Church of The little Flower, Comber Hall & Church Buisness Offices
Address: 2701 Indian Mound Trail
City: Coral Gables
Inspection Date: 3/6/2017
InspectionType: Notice Of Violation
Inspected By: Leonard Veight
305-460-5577
lveight@coralgables.com
Suite: SQft. of church only
Occ. Sq. Ft.: 54994

Insp. Result	Location	Code Set	Code
Fail	Floor 1	FL NFPA 01 13 Hood systems	50.6.1.2.5 - Failure to provide approved separation between fryer and adjacent cooking equipment with open flame. 96.12.1.2.5

A re-inspection will occur on or after 3/20/2017.


Failure to correct violations within 15 days of re-inspection is subject to penalties up to and including the issuance of Civil Citations in the amount of \$200 per violation / per day.

Failure to provide immediate corrective measures when required, may result in administrative action including but not limited to: mandatory fire watch, building evacuation, or stoppage of all work.

Per City Ordinance 30-4, a Fire Inspection Fee will be billed for this inspection. All fees are subject to change without prior notice.


Thank you for your assistance. If you have any additional questions or to schedule an inspection, please contact the inspector listed at the top of this report.

Company Representative:


3/6/2017 11:27:07 AM
Signature valid only in mobile-eyes documents

Milton Somariba
3/6/2017

Inspector:


3/6/2017 11:27:07 AM
Signature valid only in mobile-eyes documents

Leonard Veight
3/6/2017



City of Coral Gables Fire Department

Fire Prevention Division
2815 Salzedo Street, Coral Gables, FL 33134
Fax (305) 460-5598

The items noted below are in violation of the Florida Fire Prevention Code and/or the Florida Administrative Code. Nothing in this report supersedes any previously written, still existing violations for this occupancy/building. You are directed to comply with corrective measures as indicated.

Occupant Name:	Church of The little Flower, Comber Hall & Church Buisness Offices	Inspection Date:	4/25/2017
Address:	2701 Indian Mound Trail	InspectionType:	Reinspection
City:	Coral Gables	Inspected By:	Leonard Veight 305-460-5577 lveight@coralgables.com
Suite:	SQft. of church only	Occ. Sq. Ft.:	54994

FL NFPA 01 13
Floor 1

Electrical

11.1.4 Abandoned electrical wiring (remove)

OK Violation cleared on 4/25/2017

Wall decorations/Art work

20.1.5.4.1 Excerpt: Fabrics and films used for decorative purposes, all draperies...

FL NFPA 101 13
Floor 1

Walls and penetrations

8.3.5.1 Firestop Systems and Devices Required.

OK Violation cleared on 4/25/2017

NFPA 72 07
Floor 1

Detectors

5.4.6 Smoke detector required.

OK Violation cleared on 4/25/2017

A re-inspection will occur on or after 5/25/2017.

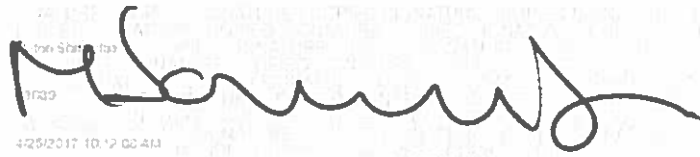
Failure to correct violations within 15 days of re-inspection is subject to penalties up to and including the issuance of Civil Citations in the amount of \$200 per violation / per day.

Failure to provide immediate corrective measures when required, may result in administrative action including but not limited to: mandatory fire watch, building evacuation, or stoppage of all work.

Per City Ordinance 30-4, a Fire Inspection Fee will be billed for this inspection. All fees are subject to change without prior notice.


Thank you for your assistance. If you have any additional questions or to schedule an inspection, please contact the inspector listed at the top of this report.

Company Representative:


4/25/2017 10:12:00 AM
Signature valid only in mobile-eyes documents

Milton Somariba
4/25/2017

Inspector:


4/25/2017 10:12:08 AM
Signature valid only in mobile-eyes documents

Leonard Veight
4/25/2017



City of Coral Gables Fire Department

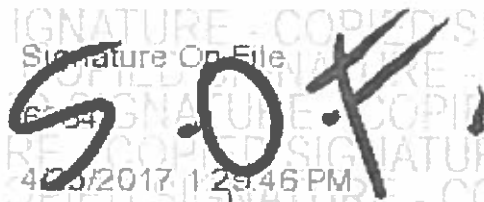
Fire Prevention Division
2815 Salzedo Street, Coral Gables, FL 33134
Fax (305) 460-5598

The items noted below are in violation of the Florida Fire Prevention Code and/or the Florida Administrative Code. Nothing in this report supersedes any previously written, still existing violations for this occupancy/building. You are directed to comply with corrective measures as indicated.


Occupant Name:	St Theresa Catholic School	Inspection Date:	4/25/2017
Address:	2701 Indian Mound Trail	InspectionType:	Public / Private Schools, AA-Tactical
City:	Coral Gables	Inspected By:	Leonard Veight 305-460-5577 lveight@coralgables.com
Suite:		Occ. Sq. Ft.:	40000

No violations noted at this time.

Company Representative:

Signature On File

 4/25/2017 1:29:46 PM
 Signature valid only in mobile-eyes documents

Inspector:

Signature On File
 4/25/2017

 Leonard Veight
 4/25/2017 1:29:46 PM
 Signature valid only in mobile-eyes documents

Leonard Veight
4/25/2017



The City of Coral Gables

Development Services Department

CITY HALL, 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134

4 25 2016

VIA CERTIFIED MAIL

91 7108 2133 3931 9043 5374

EDW. A MCCARTHY-ARCHBISHOP
9401 BISCAYNE BLVD
MIAMI, FL 33138-2970

RE: 2701 INDIAN MOUND TRL., CORAL GABLES, FL.
FOLIO # 03-4118-002-0450
Recertification of Building 40 Years or Older

Gentlemen:

Miami-Dade County has notified this Department that the above referenced property address is forty (40) years old, or older, having been built in 1926.

In accordance with the Miami-Dade County Code, Chapter 8, Section 8-11(1), a Florida Registered Architect or Professional Engineer must inspect said building and a completed Recertification Report ("Report") must be submitted to this Department within ninety (90) calendar days from the date of this letter. In addition to the Report, a cover letter must state the property meets the requirement for the building recertification; no additional documents or photographs are necessary. Submittal of the Report does not constitute recertification; it must be approved.

In the event repairs or modifications are found to be necessary resulting from the recertification inspection, the Building Official is able to grant an extension of one hundred fifty (150) calendar days from the date of this letter for the owner to obtain the necessary permits and perform the repairs. Recertification will take place once a revised Report is submitted and all required permits are closed.

The Architect or Engineer chosen to perform the inspection may obtain the required Form, "*Minimum Inspection Procedural Guidelines for Building Recertification*," from the following link: http://www.miamidade.gov/pa/property_recertification.asp The Recertification Report fee of \$380.63 and the Filing fee of \$2.45 per document page shall be submitted to the Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, Florida, 33134.

Failure to submit the required Report within the allowed time will result in the referral of this matter to the City's Construction Regulation Board without further notice. The Board may impose fines of \$250.00 per day for each day the violation continues. Note an Administrative fee of \$600.00 is incurred when the case is referred to the Board.


Any questions may be directed to the Building Services Coordinator at (305) 460-5250. Thank you for your prompt consideration.

Sincerely,

Peter J. Iglesias, P.E.
Building Official

CITY'S Composite

EXHIBIT 4

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY																
<ul style="list-style-type: none"> ■ Complete items 1, 2, and 3. ■ Print your name and address on the reverse so that we can return the card to you. ■ Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature</p> <p><i>[Handwritten Signature]</i> <input type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) <input type="checkbox"/> Date of Delivery</p> <p><i>[Handwritten Name]</i> <i>[Handwritten Date]</i></p>																
<p>1. Article Addressed to:</p> <p>EDW A MCCARTHY-ARCHBISHOP 9401 BISCAYNE BLVD MIAMI, FL 33138-2970</p> <div style="text-align: center;">  9590 9402 1194 5246 9252 95 </div>	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>																
<p>2. Article Number (Transfer from service label)</p> <p>91-7108-2133-3931-9043-5374</p>	<p>3. Service Type</p> <table border="0"> <tr> <td><input type="checkbox"/> Adult Signature</td> <td><input type="checkbox"/> Priority Mail Express®</td> </tr> <tr> <td><input type="checkbox"/> Adult Signature Restricted Delivery</td> <td><input type="checkbox"/> Registered Mail™</td> </tr> <tr> <td><input type="checkbox"/> Certified Mail®</td> <td><input type="checkbox"/> Registered Mail Restricted Delivery</td> </tr> <tr> <td><input type="checkbox"/> Certified Mail Restricted Delivery</td> <td><input type="checkbox"/> Return Receipt for Merchandise</td> </tr> <tr> <td><input type="checkbox"/> Collect on Delivery</td> <td><input type="checkbox"/> Signature Confirmation™</td> </tr> <tr> <td><input type="checkbox"/> Collect on Delivery Restricted Delivery</td> <td><input type="checkbox"/> Signature Confirmation Restricted Delivery</td> </tr> <tr> <td><input type="checkbox"/> Insured Mail</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)</td> <td></td> </tr> </table>	<input type="checkbox"/> Adult Signature	<input type="checkbox"/> Priority Mail Express®	<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> Registered Mail™	<input type="checkbox"/> Certified Mail®	<input type="checkbox"/> Registered Mail Restricted Delivery	<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> Return Receipt for Merchandise	<input type="checkbox"/> Collect on Delivery	<input type="checkbox"/> Signature Confirmation™	<input type="checkbox"/> Collect on Delivery Restricted Delivery	<input type="checkbox"/> Signature Confirmation Restricted Delivery	<input type="checkbox"/> Insured Mail		<input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	
<input type="checkbox"/> Adult Signature	<input type="checkbox"/> Priority Mail Express®																
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<input type="checkbox"/> Collect on Delivery	<input type="checkbox"/> Signature Confirmation™																
<input type="checkbox"/> Collect on Delivery Restricted Delivery	<input type="checkbox"/> Signature Confirmation Restricted Delivery																
<input type="checkbox"/> Insured Mail																	
<input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)																	
<p>PS Form 3811, July 2015 PSN 7530-02-000-9053 <i>2016 Preent.</i> Domestic Return Receipt</p>																	

PMM Consulting Engineers, Corp.

July 15th, 2016

OK uff
7/20/16

Mr. Peter Iglesias, Building Official
City of Coral Gables
401 Biltmore Way
Coral Gables, Florida 33134

Re: 40 Years or Older Recertification
2701 Indian mound Trail
03-4118-002-0450

Dear Mr. Iglesias,

Our Firm in conjunction with Initial Engineers has been retained by the owner of the above referenced property to perform the 40 Yr. Structural/Electrical Recertifications.

We are in the process of performing our respective inspections and by means of the present we hereby request a 90 day time extension to submit the report.

Should you have any questions regarding the above or the enclosed report, please do not hesitate in contacting us.

Sincerely,



Paul A. Martinez, PE



The City of Coral Gables

Development Services Department

CITY HALL 405 BILTMORE WAY

CORAL GABLES, FLORIDA 33134

July 21, 2016

EDW A McCarthy-Archbishop
9401 Biscayne Boulevard
Miami, Florida 33138-2970

ADDRESS: 2701 Indian Mound Trail
PROPERTY FOLIO #: 03-4118-002-0450

Dear Property Owner/Manager:

This Department has received your request dated July 15, 2016 for an extension to provide us with the Recertification Report for the above referenced property.

By these means, I am granting you ninety (90) calendar days from the date of this letter to provide the Recertification Report. Please note we will not be able to grant additional extensions; therefore, repairs to comply with the recertification criteria shall take place during these ninety (90) calendar days.

If you have any questions I can be reached at 305-460-5242.

Sincerely,

A handwritten signature in black ink, appearing to read "Manuel Z. Lopez".

Manuel Z. Lopez, P.E.
Building Official

BEFORE THE CONSTRUCTION REGULATION BOARD
FOR THE CITY OF CORAL GABLES

CITY OF CORAL GABLES,
Petitioner,

Case No. 16-5673

vs.

ARCHDIOCESE OF MIAMI, INC.
c/oThomas G. Wenski
Office of the Archbishop
9401 Biscayne Boulevard
Miami Shores, Florida 33138-2970

Return receipt number:

91 7108 2133 3932 7093 3813

Respondent.

**NOTICE OF UNSAFE STRUCTURE VIOLATION FOR FAILURE TO RECERTIFY
AND NOTICE OF HEARING**

Date: January 23, 2017

Re: **2701 Indian Mound Trail**, Coral Gables, Florida 33134-5553 and legally described as Lot size 276100 square feet, All Blocks 6-6-A & 7, of CORAL GABLES SECTION D REV PL, according to the Plat thereof, as recorded in Plat Book 25, Page 74, of the Public Records of Miami-Dade County, Florida; and having folio number 03-4118-002-0450 ("Property").

The City of Coral Gables ("City") Building Official has inspected the records relating to the Structure in accordance with Article III, Chapter 105 of the City Code, pertaining to unsafe structures, and Section 8-11 of the Miami-Dade County Code, as applicable in the City, pertaining to existing buildings. The Structure is hereby declared unsafe by the Building Official and is presumed unsafe pursuant to Section 105-1 86(j)(13) of the City Code for failure to timely comply with the maintenance and recertification requirements of the Florida Building Code or Section 8-11 of the Miami-Dade County Code.

Therefore, this matter is set for hearing before the City's Construction Regulation Board ("Board") in the Commission Chambers, City Hall, 405 Biltmore Way, Coral Gables, Florida 33134, on February 6, 2017, at 2:00 p.m.

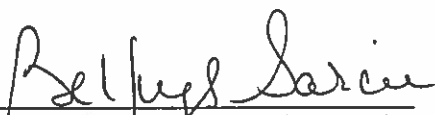
You may appeal the decision of the Building Official to the Board by appearing at the hearing. You have the right to be represented by an attorney and may present and question witnesses and evidence; however, formal rules of evidence shall not apply. Failure to appear at the hearing will result in the matter being heard in your absence. Please be advised that if someone other than an attorney will be attending the hearing on your behalf, he or she must provide a power of attorney from you at the time of the hearing. Requests for continuance must be made in writing to Belkys Garcia, Secretary to the Board, at City of Coral Gables, Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, FL 33134, bgarcia@coralgables.com, tel: (305) 460-5229. The Development Services Department's hours are

Monday through Friday, 7:30 a.m. to 3:30 p.m., tel: (305) 460-5235.

If the Required Action is not completed before the above hearing date, the Building Official may order that the structure be vacated, boarded, secured, and posted (including but not limited to, requesting the electric utility to terminate service to the Structure) to prevent further occupancy until the Required Action is completed. The Building Official may also order demolition of the Structure and the City may recover the costs incurred against the Property and the Owner of record.

If the Property owner or other interested party does not take all Required Action or prevail at the hearing, the Construction Regulation Board may impose fines not to exceed \$250 for each day the violation continues past the date set for compliance and may also enter an order of demolition and assess all costs of the proceedings, in an amount not less than \$600, and the costs of demolition and other required action, for which the City shall have a lien against the Property owner and the Property.

Please govern yourself accordingly.


Belkys Garcia, Secretary to the Board

ADA NOTICES

Any person who acts as a lobbyist pursuant to the City of Coral Gables Ordinance No. 2006-11, must register with the City Clerk, prior to engaging in lobbying activities before the city staff, boards, committees and/or the City Commission. A copy of the Ordinance is available in the Office of the City Clerk, City Hall.

Presentations made to this Board are subject to the City's False Claims Ordinance, Chapter 39 of the City of Coral Gables Code.

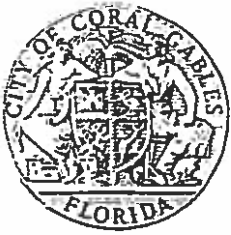
Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Board, with respect to any matter considered at such hearing or meeting, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made; which record includes the testimony and evidence upon which the appeal is to be based. Although a court reporter usually attends the hearing at the City's cost, the City is not required to provide a transcript of the hearing, which the Respondent may request at the Respondent's cost.

Any person who needs assistance in another language in order to speak during the public hearing or public comment portion of the meeting should contact the City's ADA Coordinator, Raquel Elejabarrieta, Esq., Director of Labor Relations and Risk Management (E-mail: relejabarrieta@coralgables.com, Telephone: 305-722-8686, TTY/TDD: 305-442-1600), at least three (3) business days before the meeting.

Any person with a disability requiring communication assistance (such as a sign language interpreter or other auxiliary aide or service) in order to attend or participate in the meeting should contact the City's ADA Coordinator, Raquel Elejabarrieta, Esq., Director of Labor Relations and Risk Management (E-mail: relejabarrieta@coralgables.com, Telephone: 305-722-8686, TTY/TDD: 305-442-1600), at least three (3) business days before the meeting.

C:

Archdiocese of Miami, Inc. c/o Patrick J. Fitzgerald, Esq., 110 Merrick Way, Suite 3-B, Coral Gables, Florida 33134-5236



CITY OF CORAL GABLES
DEVELOPMENT SERVICES DEPARTMENT
Affidavit of Posting

Complaint/Case #: 16-5673

Title of Document Posted: Construction Regulation Board Case

I, EDUARDO MARTIN, DO HEREBY SWEAR/AFFIRM THAT
THE AFOREMENTIONED NOTICE WAS PERSONALLY POSTED, BY ME, AT THE
ADDRESS OF 2701 Indian Mound Trail ON 1-23-17
AT 10:40.

EDUARDO MARTIN
Employee's Printed Name

Eduardo Martin
Employee's Signature

STATE OF FLORIDA)
ss.
COUNTY OF MIAMI-DADE)

Sworn to (or affirmed) and subscribed before me this 23rd day of January, in
the year 20 17, by Eduardo Martin who is personally known to
me.

My Commission Expires:



Belkys Garcia
Notary Public

2701 INDIAN MOUND TRAIL



BUILDING STRUCTURE VIOLATION INVESTIGATION
FOR THE CITY OF CORAL GABLES

CITY OF CORAL GABLES
February 2, 2017

TO: *Architects of Miami, Inc.*

ARCHITECTS OF MIAMI, INC.
c/o Thomas G. Wernick
Office of the Architect
3401 Biscayne Boulevard
Miami, Florida 33136-2975

Re: **NOTICE OF UNLAWFUL STRUCTURE VIOLATION, PENALIZATION, AND NOTICE OF HEARING**

Date: January 25, 2017

The City of Coral Gables ("City") Building Official has inspected the structure and contents of the building at 2701 Indian Mound Trail, Coral Gables, Florida 33136-2975, and found that the structure and contents of the building are in violation of the provisions of the Florida Building Code as set forth in the Florida Building Code as follows: *Florida Building Code, Chapter 610, Part 610.02, Section 610.02(1) Part 610.02(1)(a) and 610.02(1)(b).*

Therefore, this matter is set for hearing before the City's Commission on Building Appeals ("Board") on the Commission's agenda, on February 6, 2017, at 10:00 a.m.

If you appeal the decision of the Building Official, you must appear at the hearing and present evidence in support of your appeal. Failure to appear at the hearing will result in a decision being rendered by the Board. Please be advised that all appeals must be filed with the Building Official at the City of Coral Gables, Development Services Department, 401 Veterans Memorial Drive, Coral Gables, Florida 33136, on or before February 2, 2017, at 4:00 p.m.

This instrument prepared by and
after recording return to:
Belkys Garcia
Secretary to the Construction
Regulation Board
Development Services Department
City of Coral Gables
405 Biltmore Way, 3rd Floor
Coral Gables, FL 33134-5717

BEFORE THE CONSTRUCTION REGULATION BOARD
FOR THE CITY OF CORAL GABLES

CITY OF CORAL GABLES,
Petitioner,

Case No. 16-5673

vs.

ARCHDIOCESE OF MIAMI, INC.
c/o Thomas G. Wenski
Office of the Archbishop
9401 Biscayne Boulevard
Miami Shores, Florida 33138-2970

Return receipt number:

91 7108 2133 3932 6150 7078

Respondent.

NOTICE OF ORDER DECLARING STRUCTURE UNSAFE

This cause was brought before the Construction Regulation Board ("Board") of the City of Coral Gables ("City"), on February 6, 2017, on the Notice of Unsafe Structure Violation for Failure to Recertify and Notice of Hearing ("Notice"). The Board, having heard the arguments of the parties and having considered any evidence presented, hereby enters this Order Declaring Structure Unsafe ("Order") and finds, concludes, and orders as follows:

Findings of Fact

1. The City properly served all required notices on the owner, ARCHDIOCESE OF MIAMI, INC. and any lienholders of record for the structure located on the property at **2701 Indian Mound Trail** Coral Gables, Florida, 33134-5553, and having folio number 03-4118-002-0450 (the "Structure").
2. As of the date this Notice the Structure has failed to comply with the inspection report requirement and minimum inspection procedural guidelines as issued by the Miami-Dade County Board of Rules and Appeals, required by Section 8-11 of the Miami-Dade County Code ("Report"). Therefore, the Structure is presumed and is hereby declared unsafe pursuant to Section 105-186(j) (13) of the City Code for failure to timely comply with the maintenance and recertification requirements of the Florida Building Code or Section 8-11 of the Miami-Dade County Code.

Order

3. It is, therefore, **ORDERED**: The Owner shall take the Required Action as follows: the owner shall appear at the May 15, 2017 Board hearing and provide update on the recertification progress.

4. *Request for compliance inspection.* It is the responsibility of the Owner to request an inspection of City records and of the Property, as applicable, to determine compliance with this Order and to notify the City of any compliance action taken.

5. *Payment of costs, fines, and demolition by City.* The Owner shall pay, within seven (7) days of the date of this Order, the City's administrative costs to date of \$600, in addition to the costs of recording this Order. If the Owner does not comply with any of the applicable deadlines above, the Building Official may immediately and without further order from this Board, order that the structure be vacated, boarded, secured, and posted (including, but not limited to, requesting the electric utility to terminate service to the Structure) to prevent further occupancy and the City may demolish the Structure. The City may sell as salvage or require the demolition contractor to dispose of the contents of the Structure. In addition, the Owner shall pay a fine of \$250 for each day the violation continues past the date set for compliance, for which the City shall have a lien against the Owner and the Property. The Board may also enter an order of demolition and assess all costs of the proceedings and demolition and other required action for which the City shall have a lien against the Owner and the Property. Until the Structure is recertified in compliance the terms of this Order, the City shall not issue any further development approvals for the Property, including, but not limited to, building permits, unless the development approval is required to comply with the terms of this Order.

6. Lien for costs and notice to subsequent purchasers. The City shall have a special assessment lien for its administrative costs, the costs of corrective action, and any fines imposed by the Board, including but not limited to, securing the Structure and demolition ("Costs"), against the real and personal property of the Owner, including the Property. The lien for Costs shall have equal dignity with a lien for taxes. In order to have this lien, the City shall record this Order and an affidavit for any additional Costs, as applicable. Once recorded in the Public Records of Miami-Dade County, Florida, a copy of this Order shall constitute notice to any subsequent purchasers, successors in interest, or assigns, and the findings herein shall be binding upon the Owner and any subsequent purchasers, successors in interest or assigns.

7. City's remedies are cumulative. This Order notwithstanding, the City may enforce its code by any other lawful means.

8. NOTICE: If the Respondent does not comply with the terms of this Order, the City may issue a Notice of Non-Compliance ("Notice"). The Respondent may request an administrative hearing that shall be strictly limited to determining whether the Respondent complied with the terms of this Order. Requests for a hearing must be made in writing to Belkys Garcia, Secretary to the Board, at City of Coral Gables, Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, FL 33134-5717, bgarcia@coralgables.com, tel: (305) 460-5229. Failure to request an administrative hearing within seven (7) days after service of the Notice shall constitute a waiver of the Respondent's right to the hearing. The Respondent shall be liable for the reasonable costs of the administrative hearing, if the Respondent does not prevail at the hearing.

DONE AND ORDERED at the City of Coral Gables, Miami-Dade County, Florida, on this 8th day of February, 2017.

CONSTRUCTION REGULATION BOARD
OF THE CITY OF CORAL GABLES


Secretary to the Board

Notice of Deadline to Appeal

PURSUANT TO SECTION 105-192(b) OF THE CITY CODE, AN APPEAL OF THIS ORDER MAY BE FILED IN THE CIRCUIT COURT IN MIAMI-DADE COUNTY, FLORIDA, WITHIN THIRTY DAYS OF THE FILING OF THIS ORDER.

C:
Archdiocese of Miami, Inc. c/o Patrick J. Fitzgerald, Esq., 110 Merrick Way, Suite 3-B, Coral Gables, Florida 33134-5236

This instrument prepared by and
after recording return to:
Belkys Garcia
Secretary to the Construction
Regulation Board
Development Services Department
City of Coral Gables
405 Biltmore Way, 3rd Floor
Coral Gables, FL 33134-5717

BEFORE THE CONSTRUCTION REGULATION BOARD
FOR THE CITY OF CORAL GABLES

CITY OF CORAL GABLES,
Petitioner,

Case No. 16-5673

vs.

ARCHDIOCESE OF MIAMI, INC.
c/o Thomas G. Wenski
Office of the Archbishop
9401 Biscayne Boulevard
Miami Shores, Florida 33138-2970

Return receipt number:

91 7108 2133 3932 6150 7078

Respondent.

NOTICE OF ORDER DECLARING STRUCTURE UNSAFE

This cause was brought before the Construction Regulation Board ("Board") of the City of Coral Gables ("City"), on February 6, 2017, on the Notice of Unsafe Structure Violation for Failure to Recertify and Notice of Hearing ("Notice"). The Board, having heard the arguments of the parties and having considered any evidence presented, hereby enters this Order Declaring Structure Unsafe ("Order") and finds, concludes, and orders as follows:

Findings of Fact

1. The City properly served all required notices on the owner, ARCHDIOCESE OF MIAMI, INC. and any lienholders of record for the structure located on the property at **2701 Indian Mound Trail** Coral Gables, Florida, 33134-5553, and having folio number 03-4118-002-0450 (the "Structure").
2. As of the date this Notice the Structure has failed to comply with the inspection report requirement and minimum inspection procedural guidelines as issued by the Miami-Dade County Board of Rules and Appeals, required by Section 8-11 of the Miami-Dade County Code ("Report"). Therefore, the Structure is presumed and is hereby declared unsafe pursuant to Section 105-186(j) (13) of the City Code for failure to timely comply with the maintenance and recertification requirements of the Florida Building Code or Section 8-11 of the Miami-Dade County Code.

Order

3. It is, therefore, **ORDERED**: The Owner shall take the Required Action as follows: the owner shall appear at the May 15, 2017 Board hearing and provide update on the recertification progress.

4. *Request for compliance inspection.* It is the responsibility of the Owner to request an inspection of City records and of the Property, as applicable, to determine compliance with this Order and to notify the City of any compliance action taken.

5. *Payment of costs, fines, and demolition by City.* The Owner shall pay, within seven (7) days of the date of this Order, the City's administrative costs to date of \$600, in addition to the costs of recording this Order. If the Owner does not comply with any of the applicable deadlines above, the Building Official may immediately and without further order from this Board, order that the structure be vacated, boarded, secured, and posted (including, but not limited to, requesting the electric utility to terminate service to the Structure) to prevent further occupancy and the City may demolish the Structure. The City may sell as salvage or require the demolition contractor to dispose of the contents of the Structure. In addition, the Owner shall pay a fine of \$250 for each day the violation continues past the date set for compliance, for which the City shall have a lien against the Owner and the Property. The Board may also enter an order of demolition and assess all costs of the proceedings and demolition and other required action for which the City shall have a lien against the Owner and the Property. Until the Structure is recertified in compliance the terms of this Order, the City shall not issue any further development approvals for the Property, including, but not limited to, building permits, unless the development approval is required to comply with the terms of this Order.

6. *Lien for costs and notice to subsequent purchasers.* The City shall have a special assessment lien for its administrative costs, the costs of corrective action, and any fines imposed by the Board, including but not limited to, securing the Structure and demolition ("Costs"), against the real and personal property of the Owner, including the Property. The lien for Costs shall have equal dignity with a lien for taxes. In order to have this lien, the City shall record this Order and an affidavit for any additional Costs, as applicable. Once recorded in the Public Records of Miami-Dade County, Florida, a copy of this Order shall constitute notice to any subsequent purchasers, successors in interest, or assigns, and the findings herein shall be binding upon the Owner and any subsequent purchasers, successors in interest or assigns.

7. City's remedies are cumulative. This Order notwithstanding, the City may enforce its code by any other lawful means.

8. **NOTICE:** If the Respondent does not comply with the terms of this Order, the City may issue a Notice of Non-Compliance ("Notice"). The Respondent may request an administrative hearing that shall be strictly limited to determining whether the Respondent complied with the terms of this Order. Requests for a hearing must be made in writing to Belkys Garcia, Secretary to the Board, at City of Coral Gables, Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, FL 33134-5717, bgarcia@coralgables.com, tel: (305) 460-5229. Failure to request an administrative hearing within seven (7) days after service of the Notice shall constitute a waiver of the Respondent's right to the hearing. The Respondent shall be liable for the reasonable costs of the administrative hearing, if the Respondent does not prevail at the hearing.

DONE AND ORDERED at the City of Coral Gables, Miami-Dade County, Florida, on this 8th day of February, 2017.

CONSTRUCTION REGULATION BOARD
OF THE CITY OF CORAL GABLES


Secretary to the Board

Notice of Deadline to Appeal

PURSUANT TO SECTION 105-192(b) OF THE CITY CODE, AN APPEAL OF THIS ORDER MAY BE FILED IN THE CIRCUIT COURT IN MIAMI-DADE COUNTY, FLORIDA, WITHIN THIRTY DAYS OF THE FILING OF THIS ORDER.

C:

Archdiocese of Miami, Inc. c/o Patrick J. Fitzgerald, Esq., 110 Merrick Way, Suite 3-B, Coral Gables, Florida 33134-5236

BEFORE THE CONSTRUCTION REGULATION BOARD
FOR THE CITY OF CORAL GABLES

CITY OF CORAL GABLES.
Petitioner,

Case No. 16-5673

vs.

ARCHDIOCESE OF MIAMI, INC.
c/o Thomas G. Wenski
Office of the Archbishop
9401 Biscayne Boulevard
Miami Shores, Florida 33138-2970

Return receipt number:

91 7108 2133 3932 6150 7320

Respondent.

**NOTICE OF UNSAFE STRUCTURE VIOLATION FOR FAILURE TO RECERTIFY
AND NOTICE OF HEARING**

Date: April 28, 2017

Re: **2701 Indian Mound Trail**, Coral Gables, Florida 33134-5553 and legally described as Lot size 276100 square feet, All Blocks 6-6-A & 7. of CORAL GABLES SECTION D REV PL, according to the Plat thereof, as recorded in Plat Book 25, Page 74. of the Public Records of Miami-Dade County, Florida; and having folio number 03-4118-002-0450 ("Property").

The City of Coral Gables ("City") Building Official has inspected the records relating to the Structure in accordance with Article III. Chapter 105 of the City Code, pertaining to unsafe structures, and Section 8-11 of the Miami-Dade County Code, as applicable in the City, pertaining to existing buildings. **The Structure is hereby declared unsafe** by the Building Official and is presumed unsafe pursuant to Section 105-1 86(j)(13) of the City Code for failure to timely comply with the maintenance and recertification requirements of the Florida Building Code or Section 8-11 of the Miami-Dade County Code.

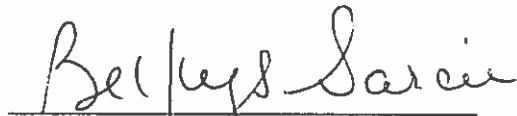
Therefore, this matter is set for hearing before the City's Construction Regulation Board ("Board") in the Commission Chambers, City Hall, 405 Biltmore Way, Coral Gables, Florida 33134, on May 15, 2017, at 2:00 p.m.

You may appeal the decision of the Building Official to the Board by appearing at the hearing. You have the right to be represented by an attorney and may present and question witnesses and evidence; however, formal rules of evidence shall not apply. Failure to appear at the hearing will result in the matter being heard in your absence. Please be advised that if someone other than an attorney will be attending the hearing on your behalf, he or she must provide a power of attorney from you at the time of the hearing. Requests for continuance must be made in writing to Belkys Garcia, Secretary to the Board, at City of Coral Gables, Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, FL 33134. bgarcia@coralgables.com, tel: (305) 460-5229. The Development Services Department's hours are Monday through Friday, 7:30 a.m. to 3:30 p.m., tel: (305) 460-5235.

If the Required Action is not completed before the above hearing date, the Building Official may order that the structure be vacated, boarded, secured, and posted (including but not limited to, requesting the electric utility to terminate service to the Structure) to prevent further occupancy until the Required Action is completed. The Building Official may also order demolition of the Structure and the City may recover the costs incurred against the Property and the Owner of record.

If the Property owner or other interested party does not take all Required Action or prevail at the hearing, the Construction Regulation Board may impose fines not to exceed \$250 for each day the violation continues past the date set for compliance and may also enter an order of demolition and assess all costs of the proceedings, in an amount not less than \$600, and the costs of demolition and other required action, for which the City shall have a lien against the Property owner and the Property.

Please govern yourself accordingly.


Belkys Garcia, Secretary to the Board

ADA NOTICES

Any person who acts as a lobbyist pursuant to the City of Coral Gables Ordinance No. 2006-11, must register with the City Clerk, prior to engaging in lobbying activities before the city staff, boards, committees and/or the City Commission. A copy of the Ordinance is available in the Office of the City Clerk, City Hall.

Presentations made to this Board are subject to the City's False Claims Ordinance, Chapter 39 of the City of Coral Gables Code.

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Board, with respect to any matter considered at such hearing or meeting, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made; which record includes the testimony and evidence upon which the appeal is to be based. Although a court reporter usually attends the hearing at the City's cost, the City is not required to provide a transcript of the hearing, which the Respondent may request at the Respondent's cost.

Any person who needs assistance in another language in order to speak during the public hearing or public comment portion of the meeting should contact the City's ADA Coordinator, Raquel Elejabarrieta, Esq., Director of Labor Relations and Risk Management (E-mail: relejabarrieta@coralgables.com, Telephone: 305-722-8686, TTY/TDD: 305-442-1600), at least three (3) business days before the meeting.

Any person with a disability requiring communication assistance (such as a sign language interpreter or other auxiliary aide or service) in order to attend or participate in the meeting should contact the City's ADA Coordinator, Raquel Elejabarrieta, Esq., Director of Labor Relations and Risk Management (E-mail: relejabarrieta@coralgables.com, Telephone: 305-722-8686, TTY/TDD: 305-442-1600), at least three (3) business days before the meeting.

C.

Archdiocese of Miami, Inc. c/o Patrick J. Fitzgerald, Esq., 110 Merrick Way, Suite 3-B, Coral Gables, Florida 33134-5236



CITY OF CORAL GABLES
DEVELOPMENT SERVICES DEPARTMENT
Affidavit of Posting

Complaint Case #: 16-5673

Title of Document Posted: Construction Regulation Board Case

I, Claudio Ramos, DO HEREBY SWEAR/AFFIRM THAT
THE AFOREMENTIONED NOTICE WAS PERSONALLY POSTED, BY ME, AT THE
ADDRESS OF 2701 INDIAN MOUND TRAIL ON 4-28-17
AT 10:15.

Claudio Ramos
Employee's Printed Name

[Signature]
Employee's Signature

STATE OF FLORIDA)
SS.
COUNTY OF MIAMI-DADE)

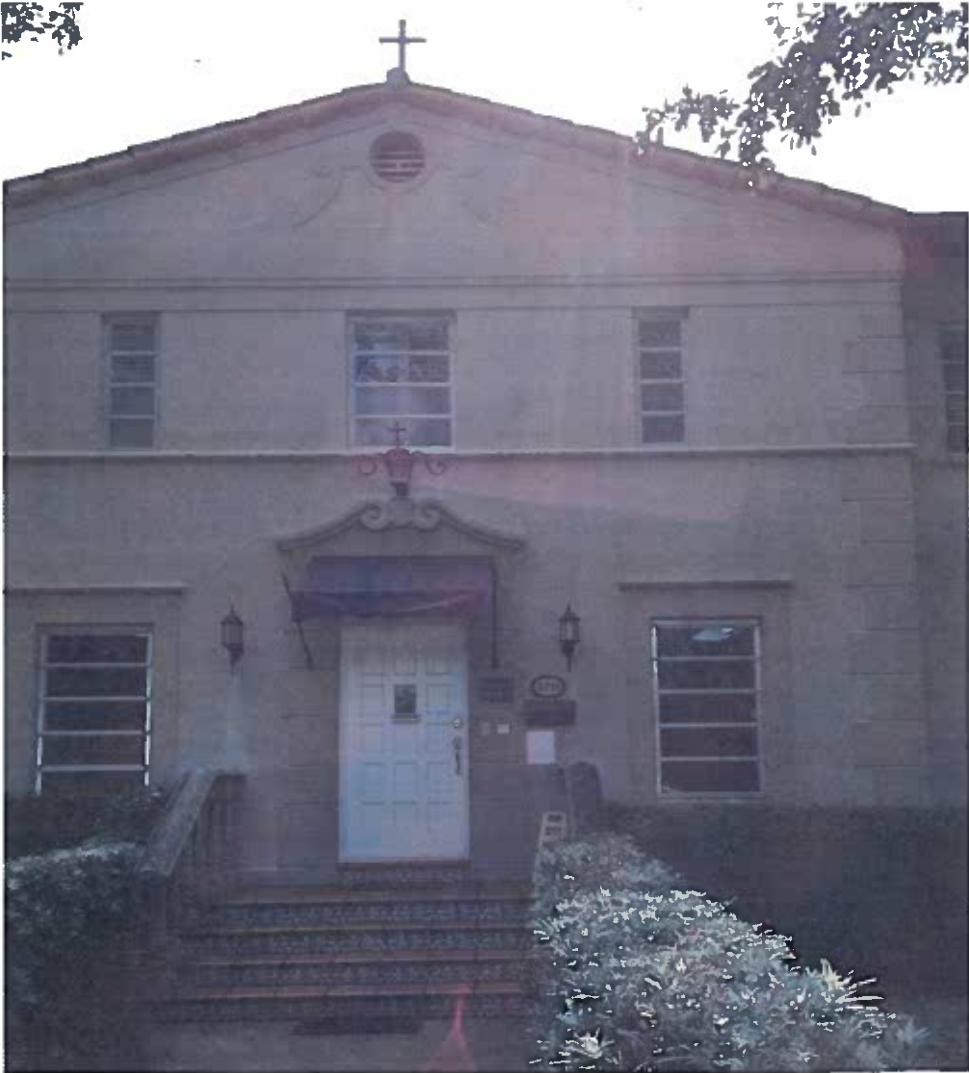
Sworn to (or affirmed) and subscribed before me this 28th day of April, in
the year 20 17, by Claudio Ramos who is personally known to
me.

My Commission Expires:



Belkys Garcia
Notary Public

2701 INDIAN MOUND TRAIL





CFN 2013R0163462
OR Bk 28511 Pgs 0519 - 520; (2pgs)
RECORDED 03/01/2013 10:11:06
HARVEY RUVIN, CLERK OF COURT
MIAMI-DADE COUNTY, FLORIDA

IN THE CIRCUIT COURT FOR MIAMI-DADE
COUNTY, FLORIDA

COVER SHEET

**Attached please find an Affidavit by the Most Reverend Thomas G. Wenski, Archbishop of the
Archdiocese of Miami, Florida**

{00053068.DOC;1}

AFFIDAVIT

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

BEFORE ME, this day, personally appeared The Most Reverend Thomas G. Wenski, Archbishop of the Archdiocese of Miami, who after being duly sworn, deposes and states as follows:

- 1) Affiant's name and address are Thomas G. Wenski, Archbishop of the Archdiocese of Miami, Office of the Archbishop, 9401 Biscayne Blvd., Miami Shores, FL 33138.
- 2) The Archdiocese of Miami is the owner of record of the Church of the Little Flower located at 2711 Indian Mound Trail, Coral Gables, Florida.
- 3) Thomas G. Wenski, Archbishop of the Archdiocese of Miami, is the sole corporate officer authorized to execute deeds for the conveyance of real property on behalf of the Archdiocese of Miami.
- 4) The Archdiocese of Miami has fully complied with all church rules relating to the conveyance/encumbrance of church property.

FURTHER AFFIANT SAYETH NOT.

ARCHDIOCESE OF MIAMI

By: [Signature]
The Most Reverend Thomas G. Wenski
Archbishop
Affiant

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgements, personally appeared The Most Reverend Thomas G. Wenski, Archbishop of the Archdiocese of Miami, personally known to me or who has produced _____ as identification, and has acknowledged before me that he executed the foregoing freely and voluntarily for the purpose therein expressed, on behalf of and authorized by the Archdiocese of Miami, who did ___ or did not take an oath.

WITNESS my hand and official seal in the State and County, last aforesaid, this 28 day of January, 2013.



NOTARY STAMP
THIS DOCUMENT PREPARED BY:
Brian C. Perlin, Esq.
201 Alhambra Circle, Suite 503
Coral Gables, FL 33134
(305) 443-3104

[Signature]
NOTARY PUBLIC
State of Florida at Large
My commission expires: January 27, 2015

{00067716.DOC;1}



DIVISION of
CORPORATIONS
an official State of Florida website

[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

Detail by Entity Name

Florida Not For Profit Corporation
ARCHDIOCESE OF MIAMI, INC.

Filing Information

Document Number N99000001604
FEI/EIN Number 65-0909504
Date Filed 03/15/1999
State FL
Status ACTIVE

Principal Address

9401 BISCAYNE BOULEVARD
MIAMI SHORES, FL 33138

Changed: 01/14/2008

Mailing Address

9401 BISCAYNE BOULEVARD
MIAMI SHORES, FL 33138

Changed: 01/14/2008

Registered Agent Name & Address

FITZGERALD, J. PATRICK ESQ.
110 MERRICK WAY
SUITE 3-B
CORAL GABLES, FL 33134

Name Changed: 04/29/2009

Officer/Director Detail

Name & Address

Title PD

WENSKI, THOMAS GREV

9401 BISCAYNE BOULEVARD
 MIAMI SHORES, FL 33138

Title VPD

WORLEY, ELIZABETH SISTER
 9401 BISCAYNE BOULEVARD
 MIAMI SHORES, FL 33138

Title T

CATANIA, JOSEPH A
 9401 BISCAYNE BOULEVARD
 MIAMI SHORES, FL 33138

Title SD

JEANTY, CHANEL REV
 9401 BISCAYNE BOULEVARD
 MIAMI SHORES, FL 33138

Title AT

CASCIATO, MICHAEL A
 9401 BISCAYNE BOULEVARD
 MIAMI SHORES, FL 33138

Title AS

FITZGERALD, J. PATRICK ESQ.
 110 MERRICK WAY, SUITE 3-B
 CORAL GABLES, FL 33138

Annual Reports

Report Year	Filed Date
2014	01/10/2014
2015	01/11/2015
2016	01/21/2016

Document Images

01/21/2016 -- ANNUAL REPORT	View image in PDF format
01/11/2015 -- ANNUAL REPORT	View image in PDF format
01/10/2014 -- ANNUAL REPORT	View image in PDF format
01/25/2013 -- ANNUAL REPORT	View image in PDF format
03/28/2012 -- ANNUAL REPORT	View image in PDF format

SEE

ATTACHED

CITY'S

EXHIBIT 5

PMM Consulting Engineers, Corp.

October 7, 2016

Mr. Manuel Lopez, Building Official
City of Coral Gables
401 Biltmore Way
Coral Gables, Florida 33134

Owner: Archbishop Edward A McCarthy
Address: 2701 Indian Mound Trail.
Folio No.: 03-4118-002-0450

Dear Mr. Lopez,

Our Firm was retained by the owner of the above referenced property to perform a 40 Yr. Structural Recertification.

Based on our visual non-destructive inspection, I hereby attest that to the best of my knowledge, belief and professional judgment, the structural components of the above referenced structure is structurally safe for its current use and occupancy.

Should you have any questions regarding the above or the enclosed report, please do not hesitate in contacting us.

Sincerely,

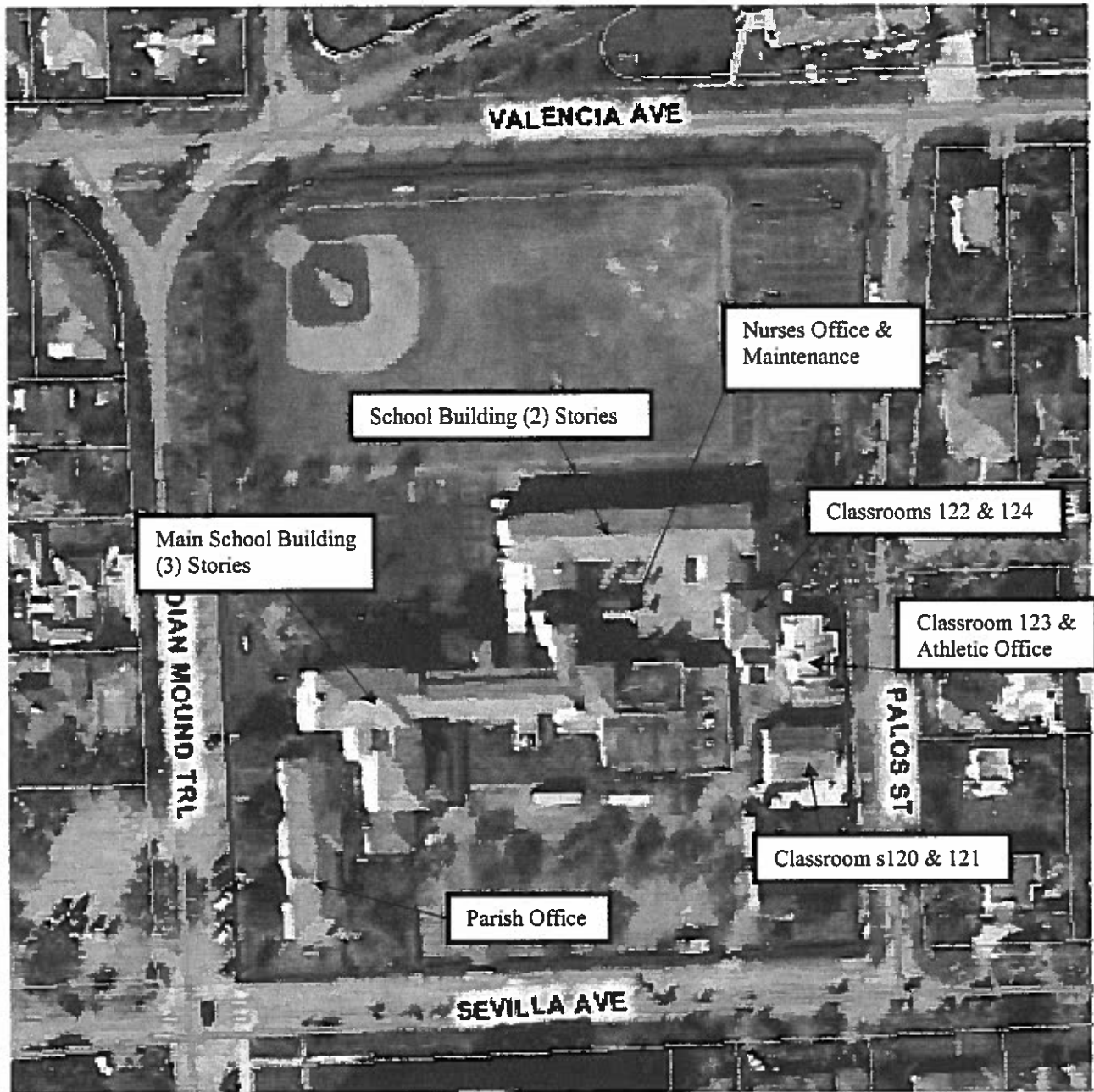


30/17

Paul A. Martinez, PE

Encl.

SITE PLAN



PMM Consulting Engineers, Corp.

MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR BUILDING STRUCTURAL RECERTIFICATION

Inspection Commenced:
August 18th, 2016

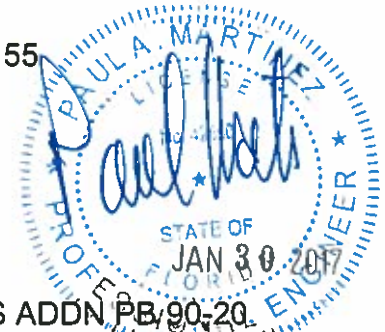
Inspection Made By:

Inspection Completed:
August 18th, 2016

Paul A. Martinez, PE (Structural Engineer)
PMM Consulting Engineers
7168 SW 47 St.
Miami, Florida 33155

1.- DESCRIPTION OF STRUCTURE

- a.- Name of Title: Archbishop Edward A McCarthy
b.- Street Address: 2701 Indian Mound Trail
c.- Building No.: A - Main
d.- Legal Description: 29 53 41 7.56 AC M/L FRONTON HEIGHTS ADDN, PB 90-20,
THAT PT OF TRACT A LYING WITHIN CITY OF MIAMI LIMITS
LOT SIZE 329314 SQUARE FEET OR 10259-253 0179 5
e.- Owners Name: Archbishop Edward A McCarthy
f.- Owner's Mailing Address: 9401 Biscayne Blvd.
Miami, Florida 33138
g.- Folio Number of Building: 03-4118-002-0450
h.- Building Code Occupancy Classification : Religious
i.- Present Use: Religious/Educational
j.- General Description, Type of Construction Size, Number of Stories, and Special Features, Additions to original Structures:



The facility consists of several buildings which are as follows:

- Building 1 – Parrish Office. The structure, built circa 1926, consists of a two story building constructed out of masonry block stem walls with wood floors, roof rafters and wood planks for the roof sheathing. This building currently houses the Parrish offices.
- Building 2 – Main School Building (3) Stories. The original structure, built circa 1926, consists of a three story building constructed out of masonry block stem walls with a slab on grade ground floor, wood second and third floors, wood roof rafters and wood planks for the roof sheathing. There is a one story addition which consists on masonry block stem walls, slab on grade with a double tee roof structure (construction date unknown). This building currently houses the school offices, library, cafeteria and classrooms.
- Building 3 – School building (2) Stories. The structure consists of a two story building with masonry walls supporting a poured in place concrete slab, and a steel framing roof with a concrete slab on grade (construction date unknown). This building currently houses classrooms.

PMM Consulting Engineers, Corp.

- Building 4 – Classrooms 122 & 124. The structure consists of a one story building constructed with masonry stem walls supporting a pre-engineered roof structure with a slab on grade (construction date unknown). This structure currently houses classrooms.
- Building 5 – Classroom 123 & Athletic Office. The structure consists of a one story building with masonry stem walls supporting a wood floor as well as pre engineered roof wood trusses (Construction date unknown). This building currently houses classrooms and offices.
- Building 6 – Classrooms 120 & 121. The structure consists of a one story building constructed with masonry stem walls supporting a pre-engineered roof structure with a slab on grade (construction date unknown). This structure currently houses classrooms.
- Building 7 – Nurses Office & Maintenance. The structure consists of a one story building constructed with masonry stem walls supporting a wood rafter roof structure with a slab on grade (construction date unknown). This structure currently houses a Nurse Office as well as the maintenance shop.



PMM Consulting Engineers, Corp.

BUILDING 1 – Parrish Office



PRESENT CONDITION OF STRUCTURE

a.- General alignment (note good, fair poor, explain if significant)

1. Bulging: None Noted
2. Settlement: None Noted
3. Deflections: None Noted
4. Expansion: None Noted
5. Contraction: None Noted

b.- Portions Showing Distress (Note beams, columns, structural walls, floors, roofs, other): None Noted

c.- Surface Conditions – describe general conditions of finishes, noting cracking, spalling, peeling, signs of moisture penetrations & stains: General finishes consist painted masonry, in good to fair condition.

d.- Cracks – note location in significant members. Identified crack size as Hairline if barely discernable; Fine if less than 1mm in width; Medium if between 1 and 2 mm in width; Wide if over 2mm.: None Noted

e.- General extent of deterioration – cracking or spalling of concrete or masonry; oxidation of metals; rot or borer attack in wood: None Noted



PMM Consulting Engineers, Corp.

- f.- Previous patching or repairs. None Noted
- g.- Nature of present loading, indicate residential, commercial, other, estimate magnitude: Office, estimated magnitude of loading 50 PSF

INSPECTIONS

- a.- Date of notice of required inspection: April 25th, 2016.
- b.- Date(s) of actual inspection: August 18th, 2016.
- c.- Name and qualification of individual submitting inspection report: Paul A Martinez, PE - Structural Engineer.
- d.- Description of any laboratory or other formal testing, if required, rather than manual or visual procedures: None
- e.- Structural Repairs – Note appropriate line
 - 1. None required:
 - 2. Required (describe and indicate acceptance)

SUPPORTING DATA

- a.- 33 Sheets written data (total)
- b.- 1 photographs this building
- c.- 1 General Site Plan



MASONRY BEARING WALLS

Indicated good, fair, poor on appropriate line:

- a.- Concrete masonry units: Good
- b.- Clay tile or terra cotta units: None Noted
- c.- Reinforced concrete tie columns: Not Visible
- d.- Reinforced concrete tie beams: Not Visible
- e.- Lintels: Not Visible
- f.- Other type of bond beams: None Noted
- g.- Masonry finishes – exterior:
 - 1. Stucco: Good
 - 2. Veneer: None
 - 3. Paint only: Good
 - 4. Other (describe): None
- h.- Masonry finish – interior:
 - 1. Vapor barrier: Not Visible
 - 2. Furring and plaster: Good
 - 3. Panelling: None Noted
 - 4. Paint Only: No
 - 5. Other (describe): None
- i.- Cracks:
 - 1. Location – note beams, columns, other: None Noted

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2. Description: N/A
- j.- Spalling:
1. Location – note beams, columns, other: None Noted
 2. Description: N/A
- k.- Rebar Corrosion – check appropriate line:
1. None Visible: Not Visible
 2. Minor – patching will suffice: N/A
 3. Significant – but patching will suffice: N/A
 4. significant – structural repairs required (describe): N/A
- l.- Samples chipped out for examination in spall areas: None
1. No:
 2. Yes – describe color texture, aggregate, general quality:



FLOOR AND ROOF SYSTEMS

- a.- Roof:
1. Describe (flat, slope, roofing type, type of roof deck condition): Sloped roof, with barrel tile in good condition replaced during the summer of 2007. The structure of this roof consists of wood rafters supporting wood decking in good condition.
 2. Note water tanks, cooling towers, air conditioning equipment, signs, other heavy equipment and condition of supports: None Noted on roof.
 3. Note types of drains and scuppers and condition: None
- b.- Floor system:
1. Describe (type of system framing, material, spans, condition): Both the first floor and second floors consist of wood rafters spanning 14 to 15 feet, with wood planks for the flooring system, in good condition.
- c.- Inspection – note exposed areas available for inspection, and where it was found necessary to open ceilings, etc. for inspection of typical framing members: None

STEEL FRAMING SYSTEM

- a.- Description: None.
- b.- Exposed Steel – None.
- c.- Concrete or other fireproofing – None.
- d.- Elevator sheave beams & connections, and machine floor beams – No elevator this building.

CONCRETE FRAMING SYSTEMS

- a.- Full description of structural system: None.
- b.- Cracking
1. Not significant: None noted
 2. Location and description of members affected and type of cracking: N/A
- c.- General condition: N/A

PMM Consulting Engineers, Corp.

d.- Rebar corrosion – check appropriate line:

1. None Visible: None Visible
2. Location and description of members affected and type of cracking: N/A
3. Significant but patching will suffice: N/A
4. Significant – structural repairs required (describe):N/A

e.- Samples chipped out in spall areas:

1. No: None
2. Yes, describe color, texture, aggregate, general quality: N/A

WINDOWS

a.- Type (Wood, steel aluminum, jalousie, single hung, double hung, casement, awning, pivoted, fixed, other): Aluminum Awning.

b.- Anchorage – type & condition of fasteners and latches:

c.- Sealants – type & condition of perimeter sealants & at mullions:

d.- Interior seals – type & condition at operable vents:

e.- general condition:



WOOD FRAMING

a.- Type – fully describe if mill construction, light construction, major spans, trusses:

Both the first floor and second floors consist of wood rafters spanning 14 to 15 feet, with wood planks for the flooring system, in good condition

b.- Note metal fittings i.e., angles, plates, bolts, split pintles, other, and note conditions:N/A

c.- Joints – note if well fitted and still closed: N/A

d.- Drainage – note accumulation of moisture: N/A

e.- Ventilation – note any concealed spaces not ventilated: N/A

f.- Note any concealed spaces opened for inspection: N/A

End of Building 1

Building 2 – Main School Building



PRESENT CONDITION OF STRUCTURE

a.- General alignment (note good, fair poor, explain if significant)

1. Bulging: None Noted
2. Settlement: None Noted
3. Deflections: None Noted
4. Expansion: None Noted
5. Contraction: None Noted

b.- Portions Showing Distress (Note beams, columns, structural walls, floors, roofs, other): None Noted. Be advised that some of the wood floors of the classrooms of this building were sagging and repaired by providing a steel beam ad mid span of the floor joists for support.

c.- Surface Conditions – describe general conditions of finishes, noting cracking, spalling, peeling, signs of moisture penetrations & stains: General finishes consist painted masonry, in good condition.

d.- Cracks – note location in significant members. Identified crack size as Hairline if barely discernable; Fine if less than 1mm in width; Medium if between 1 and 2 mm in width; Wide if over 2mm.: None Noted

e.- General extent of deterioration – cracking or spalling of concrete or masonry; oxidation of metals; rot or borer attack in wood: None Noted

f.- Previous patching or repairs. None Noted



PMM Consulting Engineers, Corp.

g.- Nature of present loading, indicate residential, commercial, other, estimate magnitude: Office and Classrooms estimated magnitude of loading 40 PSF for the classrooms, 50 PSF for the office area.

INSPECTIONS

- a.- Date of notice of required inspection: April 25th, 2016
- b.- Date(s) of actual inspection: August 18th, 2016
- c.- Name and qualification of individual submitting inspection report: Paul A Martinez, PE - Structural Engineer.
- d.- Description of any laboratory or other formal testing, if required, rather than manual or visual procedures: None
- e.- Structural Repairs – Note appropriate line
 - 1. None required: ✓
 - 2. Required (describe and indicate acceptance)



SUPPORTING DATA

- a.- 33 Sheets written data (total)
- b.- 2 photographs this building
- c.- 1 General Site Plan

MASONRY BEARING WALLS

Indicated good, fair, poor on appropriate line:

- a.- Concrete masonry units: Good
- b.- Clay tile or terra cotta units: Not Visible
- c.- Reinforced concrete tie columns: Not Visible
- d.- Reinforced concrete tie beams: Not Visible
- e.- Lintels: Not Visible
- f.- Other type of bond beams: None Noted
- g.- Masonry finishes – exterior:
 - 1. Stucco: Good
 - 2. Veneer: None
 - 3. Paint only: Good
 - 4. Other (describe): None
- h.- Masonry finish – interior:
 - 1. Vapor barrier: Not Visible
 - 2. Furring and plaster: Good
 - 3. Panelling: None Noted
 - 4. Paint Only: No
 - 5. Other (describe): None
- i.- Cracks:
 - 3. Location – note beams, columns, other: None Noted

PMM Consulting Engineers, Corp.

4. Description: N/A
- j.- Spalling:
3. Location – note beams, columns, other: None Noted
4. Description: N/A
- k.- Rebar Corrosion – check appropriate line:
5. None Visible: Not Visible
6. Minor – patching will suffice: N/A
7. Significant – but patching will suffice: N/A
8. significant – structural repairs required (describe) N/A
- l.- Samples chipped out for examination in spall areas: None
3. No:
4. Yes – describe color texture, aggregate, general quality:



FLOOR AND ROOF SYSTEMS

a.- Roof:

1. Describe (flat, slope, roofing type, type of roof deck condition): Sloped roof, with barrel tile in good condition replaced during the summer of 2007. We did notice a roof leak on the flat area by the main stairs. There is the presence of moisture in two classrooms on the second and third floor (west end). The structure of this roof consists of wood rafters supporting wood decking in good condition. In the cafeteria area a flat single ply roofing system.



2. Note water tanks, cooling towers, air conditioning equipment, signs, other heavy equipment and condition of supports: Exhaust Fans noted, curb mounted, in good to fair condition.
3. Note types of drains and scuppers and condition: None

b.- Floor system:

1. Describe (type of system framing, material, spans, condition): Concrete slab on grade at the ground floor, wood framing at the second and third floors.

- c.- Inspection – note exposed areas available for inspection, and where it was found necessary to open ceilings, etc. None.

STEEL FRAMING SYSTEM

- a.- Description: As indicated above steel beams were introduced to the structure to reduce the span of the wood floor joists in some of the classrooms.
- b.- Exposed Steel – describe condition of paint and degree of corrosion: None.

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- c.- Concrete or other fireproofing – note any cracking or spalling, and note where any covering was removed for inspection: None
- d.- Elevator sheave beams & connections, and machine floor beams – note condition
No elevator this building.

CONCRETE FRAMING SYSTEMS

- a.- Full description of structural system: Pre-cast, prestressed double tees over the cafeteria area, supported by a series of steel beams and columns.
- b.- Cracking
 - 3. Not significant: None noted
 - 4. Location and description of members affected and type of cracking: N/A
- c.- General condition: Good
- d.- Rebar corrosion – check appropriate line:
 - 5. None Visible: None Visible
 - 6. Location and description of members affected and type of cracking: N/A
 - 7. Significant but patching will suffice: N/A
 - 8. Significant – structural repairs required (describe):N/A
- e.- Samples chipped out in spall areas:
 - 3. No: None
 - 4. Yes, describe color, texture, aggregate, general quality: N/A



WINDOWS

- a.- Type (Wood, steel aluminum, jalousie, single hung, double hung, casement, awning, pivoted, fixed, other): Aluminum awning, casement impact resistant, solid wood doors.
- b.- Anchorage – type & condition of fasteners and latches: Good
- c.- Sealants – type & condition of perimeter sealants & at mullions: Fair, noted some holes and/or separation between the perimeter sealant noted at a few windows.
- d.- Interior seals – type & condition at operable vents: Good
- e.- general condition: Good

WOOD FRAMING

- a.- Type – fully describe if mill construction, light construction, major spans, trusses:
Both the first floor and second floors consist of wood rafters spanning 30 feet, with wood planks for the flooring system, in good condition.
- b.- Note metal fittings i.e., angles, plates, bolts, split pintles, other, and note conditions:N/A
- c.- Joints – note if well fitted and still closed: N/A
- d.- Drainage – note accumulation of moisture: N/A
- e.- Ventilation – note any concealed spaces not ventilated: N/A
- f.- Note any concealed spaces opened for inspection: N/A

End of Building 2

BUILDING 3 – Classroom Building



PRESENT CONDITION OF STRUCTURE

a.- General alignment (note good, fair poor, explain if significant)

1. Building: Good
2. Settlement: None Noted
3. Deflections: None Noted
4. Expansion: None Noted
5. Contraction: None Noted

b.- Portions Showing Distress (Note beams, columns, structural walls, floors, roofs, other): None Noted

c.- Surface Conditions – describe general conditions of finishes, noting cracking, spalling, peeling, signs of moisture penetrations & stains: General finishes consist painted metal panels, in good condition.

d.- Cracks – note location in significant members. Identified crack size as Hairline if barely discernable; Fine if less than 1mm in width; Medium if between 1 and 2 mm in width; Wide if over 2mm.: None Noted

e.- General extent of deterioration – cracking or spalling of concrete or masonry; oxidation of metals; rot or borer attack in wood: None Noted

f.- Previous patching or repairs. None Noted

g.,- Nature of present loading, indicate residential, commercial, other, estimate magnitude: Classrooms, with a loading of 40 PSF.



JAN 30 2017

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INSPECTIONS

- a.- Date of notice of required inspection: April 25th, 2016.
- b.- Date(s) of actual inspection: August 18th, 2016.
- c.- Name and qualification of individual submitting inspection report: Paul A Martinez, PE - Structural Engineer.
- d.- Description of any laboratory or other formal testing, if required, rather than manual or visual procedures: None
- e.- Structural Repairs – Note appropriate line
 - 1. None required: ✓
 - 2. Required (describe and indicate acceptance)

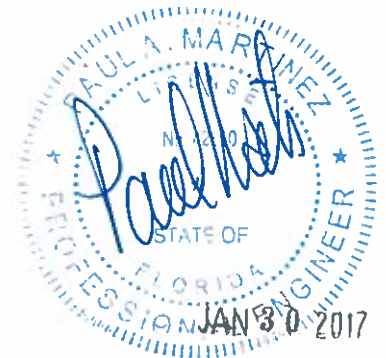
SUPPORTING DATA

- a.- 33 Sheets written data (total)
- b.- 3 photographs this building
- c.- 1 General Site Plan

MASONRY BEARING WALLS

Indicated good, fair, poor on appropriate line:

- a.- Concrete masonry units: None
- b.- Clay tile or terra cotta units: Not Visible
- c.- Reinforced concrete tie columns: Not Visible
- d.- Reinforced concrete tie beams: Not Visible
- e.- Lintels: Not Visible
- f.- Other type of bond beams: Not Visible
- g.- Masonry finishes – exterior:
 - 1. Stucco: Good
 - 2. Veneer: N/A
 - 3. Paint only: Good
 - 4. Other (describe): None
- h.- Masonry finish – interior:
 - 1. Vapor barrier: Not Visible
 - 2. Furring and plaster: Good
 - 3. Panelling: N/A
 - 4. Paint Only: Good
 - 5. Other (describe): N/A
- i.- Cracks:
 - 1. Location – note beams, columns, other: N/A
 - 2. Description: N/A
- j.- Spalling:
 - 1. Location – note beams, columns, other: N/A
 - 2. Description: N/A



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k.- Rebar Corrosion – check appropriate line:

1. None Visible: N/A
2. Minor – patching will suffice: N/A
3. Significant – but patching will suffice: N/A
4. significant – structural repairs required (describe) N/A

l.- Samples chipped out for examination in spall areas: N/A

1. No:
2. Yes – describe color texture, aggregate, general quality:



FLOOR AND ROOF SYSTEMS

a.- Roof:

1. Describe (flat, slope, roofing type, type of roof deck condition): Barrel tile roof over a sloped roof steel structure, replaced during the summer of 2007.
2. Note water tanks, cooling towers, air conditioning equipment, signs, other heavy equipment and condition of supports: None.
3. Note types of drains and scuppers and condition: None

b.- Floor system:

1. Describe (type of system framing, material, spans, condition): Concrete slab on grade for the first floor and a poured in place concrete joist/slab system in good condition.

c.- Inspection – note exposed areas available for inspection, and where it was found necessary to open ceilings, etc. for inspection of typical framing members: None

7.- STEEL FRAMING SYSTEM

a.- Description: roof structure consists of a metal roof deck supported by steel framing system, in good condition..

b.- Exposed Steel – describe condition of paint and degree of corrosion: None noted.

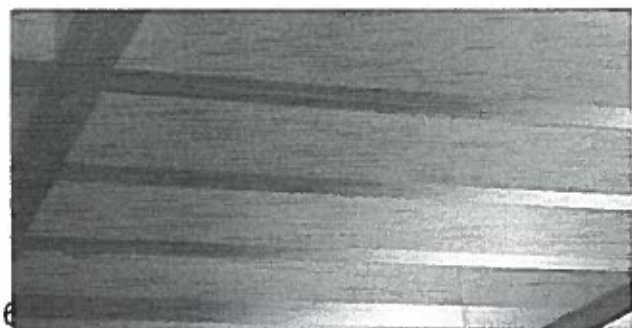
c.- Concrete or other fireproofing – note any cracking or spalling, and note where any covering was removed for inspection: None

d.- Elevator sheave beams & connections, and machine floor beams – note condition: No elevator this building.



CONCRETE FRAMING SYSTEMS

a.- Full description of structural system:
Concrete slab on grade for the first floor and a poured in place concrete joist/slab system in good condition.



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b.- Cracking

5. Not significant: None noted

6. Location and description of members affected and type of cracking: N/A

c.- General condition: Good

d.- Rebar corrosion – check appropriate line:

9. None Visible: None Visible

10. Location and description of members affected and type of cracking: N/A

11. Significant but patching will suffice: N/A

12. Significant – structural repairs required (describe):N/A

e.- Samples chipped out in spall areas:

5. No: None

6. Yes, describe color, texture, aggregate, general quality: N/A

– Metal Structure – Not applicable



WINDOWS

a.- Type (Wood, steel aluminum, jalousie, single hung, double hung, casement, awning, pivoted, fixed, other): Aluminum Awning, solid wood doors.

b.- Anchorage – type & condition of fasteners and latches: Fair

c.- Sealants – type & condition of perimeter sealants & at mullions: Fair

d.- Interior seals – type & condition at operable vents: Fair

e.- general condition: Fair

WOOD FRAMING

a.- Type – fully describe if mill construction, light construction, major spans, trusses:N/A.

b.- Note metal fittings i.e., angles, plates, bolts, split pintles, other, and note conditions:
N/A

c.- Joints – note if well fitted and still closed: N/A

d.- Drainage – note accumulation of moisture: N/A

e.- Ventilation – note any concealed spaces not ventilated: N/A

f.- Note any concealed spaces opened for inspection: N/A

End of Building 3

BUILDING 4 – Classrooms 122 & 124



PRESENT CONDITION OF STRUCTURE

a.- General alignment (note good, fair poor, explain if significant)

1. Building: Good
2. Settlement: None Noted
3. Deflections: None Noted
4. Expansion: None Noted
5. Contraction: None Noted

b.- Portions Showing Distress (Note beams, columns, structural walls, floors, roofs, other): None Noted

c.- Surface Conditions – describe general conditions of finishes, noting cracking, spalling, peeling, signs of moisture penetrations & stains: General finishes consist painted stucco, in good to fair condition.

d.- Cracks – note location in significant members. Identified crack size as Hairline if barely discernable; Fine if less than 1mm in width; Medium if between 1 and 2 mm in width; Wide if over 2mm.: None Noted

e.- General extent of deterioration – cracking or spalling of concrete or masonry; oxidation of metals; rot or borer attack in wood: None Noted

f.- Previous patching or repairs. None Noted

g.- Nature of present loading, indicate residential, commercial, other, estimate magnitude: Classrooms with a loading of 40 PSF

INSPECTIONS

a.- Date of notice of required inspection: April 25th, 2016.



PMM Consulting Engineers, Corp.

- b.- Date(s) of actual inspection: August 18th, 2016.
- c.- Name and qualification of individual submitting inspection report: Paul A Martinez, PE - Structural Engineer.
- d.- Description of any laboratory or other formal testing, if required, rather than manual or visual procedures: None
- e.- Structural Repairs – Note appropriate line
 - 1. None required: ✓
 - 2. Required (describe and indicate acceptance)

4.- SUPPORTING DATA

- a.- 33 Sheets written data (total)
- b.- 1 Potographs this Building
- c.- 1 General Site Plan

MASONRY BEARING WALLS

– Indicated good, fair, poor on appropriate line:

- a.- Concrete masonry units: Good
- b.- Clay tile or terra cotta units: None
- c.- Reinforced concrete tie columns: Not Visible
- d.- Reinforced concrete tie beams: Not Visible
- e.- Lintels: Not Visible
- f.- Other type of bond beams: None Noted
- g.- Masonry finishes – exterior:
 - 1. Stucco: Good
 - 2. Veneer: None
 - 3. Paint only: Good
 - 4. Other (describe): None
- h.- Masonry finish – interior:
 - 1. Vapor barrier: Not Visible
 - 2. Furring and plaster: Good
 - 3. Panelling: None Noted
 - 4. Paint Only: No
 - 5. Other (describe): None
- i.- Cracks:
 - 1. Location – note beams, columns, other: None Noted
 - 2. Description: N/A
- j.- Spalling:
 - 1. Location – note beams, columns, other: None Noted
 - 2. Description: N/A
- k.- Rebar Corrosion – check appropriate line:
 - 1. None Visible: Not Visible
 - 2. Minor – patching will suffice: N/A



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- 3. Significant – but patching will suffice N/A
- 4. significant – structural repairs required (describe) N/A

- I.- Samples chipped out for examination in spall areas: None
 - 1. No:
 - 2. Yes – describe color texture, aggregate, general quality:



FLOOR AND ROOF SYSTEMS

- a.- Roof:
 - 1. Describe (flat, slope, roofing type, type of roof deck condition): Barrel tile over a sloped hip roof, replaced during the summer of 2007.
 - 2. Note water tanks, cooling towers, air conditioning equipment, signs, other heavy equipment and condition of supports: None.
 - 3. Note types of drains and scuppers and condition: None
- b.- Floor system:
 - 1. Describe (type of system framing, material, spans, condition): Slab on Grade in good condition.
- c.- Inspection – note exposed areas available for inspection, and where it was found necessary to open ceilings, etc. for inspection of typical framing members: None

STEEL FRAMING SYSTEM

- a.- Description: None.
- b.- Exposed Steel – describe condition of paint and degree of corrosion: N/A
- c.- Concrete or other fireproofing – note any cracking or spalling, and note where any covering was removed for inspection: None
- d.- Elevator sheave beams & connections, and machine floor beams – note condition: No elevator this building.

CONCRETE FRAMING SYSTEMS

- a.- Full description of structural system: masonry load bearing wall with tie beams/tie columns.
- b.- Cracking
 - 1. Not significant: None noted
 - 2. Location and description of members affected and type of cracking: N/A
- c.- General condition: Good
- d.- Rebar corrosion – check appropriate line:
 - 1. None Visible: None Visible
 - 2. Location and description of members affected and type of cracking: N?A
 - 3. Significant but patching will suffice: N/A
 - 4. Significant – structural repairs required (describe):N/A
- e.- Samples chipped out in spall areas:
 - 1. No: None

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2. Yes, describe color, texture, aggregate, general quality: N/A

WINDOWS

- a.- Type (Wood, steel aluminum, jalousie, single hung, double hung, casement, awning, pivoted, fixed, other): Aluminum, some original, some Impact resistant door and windows Building.
- b.- Anchorage – type & condition of fasteners and latches: Fair/Good
- c.- Sealants – type & condition of perimeter sealants & at mullions: Fair/Good
- d.- Interior seals – type & condition at operable vents: Fair/Good
- e.- general condition: Fair/Good



WOOD FRAMING

- a.- Type – fully describe if mill construction, light construction, major spans, trusses: N/A.
- b.- Note metal fittings i.e., angles, plates, bolts, split pintles, other, and note conditions: 0N/A
- c.- Joints – note if well fitted and still closed: N/A
- d.- Drainage – note accumulation of moisture: N/A
- e.- Ventilation – note any concealed spaces not ventilated: N/A
- f.- Note any concealed spaces opened for inspection: N/A

End of Building 4

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BUILDING 5 – Classroom 123 & Athletic Office



PRESENT CONDITION OF STRUCTURE

a.- General alignment (note good, fair poor, explain if significant)

1. Building: Good
2. Settlement: None Noted
3. Deflections: None Noted
4. Expansion: None Noted
5. Contraction: None Noted

b.- Portions Showing Distress (Note beams, columns, structural walls, floors, roofs, other): None Noted

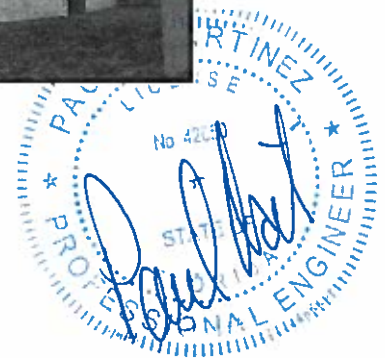
c.- Surface Conditions – describe general conditions of finishes, noting cracking, spalling, peeling, signs of moisture penetrations & stains: General finishes consist painted masonry, in good to fair condition.

d.- Cracks – note location in significant members. Identified crack size as Hairline if barely discernable; Fine if less than 1mm in width; Medium if between 1 and 2 mm in width; Wide if over 2mm.: None Noted

e.- General extent of deterioration – cracking or spalling of concrete or masonry; oxidation of metals; rot or borer attack in wood: None Noted

f.- Previous patching or repairs. None Noted

g.- Nature of present loading, indicate residential, commercial, other, estimate magnitude: Office and Classroom, with a loading of 50 and 40 PSF respectively.



JAN 30 2017

PMM Consulting Engineers, Corp.

INSPECTIONS

- a.- Date of notice of required inspection: April 25th, 2016
- b.- Date(s) of actual inspection: August 18th, 2016
- c.- Name and qualification of individual submitting inspection report: Paul A Martinez, PE - Structural Engineer.
- d.- Description of any laboratory or other formal testing, if required, rather than manual or visual procedures: None
- e.- Structural Repairs – Note appropriate line
 - 1. None required: ✓
 - 2. Required (describe and indicate acceptance)

SUPPORTING DATA

- a.- 33 Sheets written data (total)
- b.- 2 Potographs this Building
- c.- 1 General Site Plan

MASONRY BEARING WALLS

Indicated good, fair, poor on appropriate line:

- a.- Concrete masonry units: Good
- b.- Clay tile or terra cotta units: None
- c.- Reinforced concrete tie columns: Not Visible
- d.- Reinforced concrete tie beams: Not Visible
- e.- Lintels:
- f.- Other type of bond beams: None Noted
- g.- Masonry finishes – exterior:
 - 1. Stucco: Good
 - 2. Veneer: None
 - 3. Paint only: Good
 - 4. Other (describe): None
- h.- Masonry finish – interior:
 - 1. Vapor barrier: Not Visible
 - 2. Furring and plaster: Good
 - 3. Panelling: None Noted
 - 4. Paint Only: No
 - 5. Other (describe): None
- i.- Cracks:
 - 1. Location – note beams, columns, other: None Noted
 - 2. Description: N/A
- j.- Spalling:
 - 1. Location – note beams, columns, other: None Noted
 - 2. Description: N/A



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k.- Rebar Corrosion – check appropriate line:

- | | |
|--|-------------|
| 1. None Visible: | Not Visible |
| 2. Minor – patching will suffice: | N/A |
| 3. Significant – but patching will suffice | N/A |
| 4. significant – structural repairs required
(describe) | N/A |

l.- Samples chipped out for examination in spall areas: None

1. No:
2. Yes – describe color texture, aggregate, general quality:



FLOOR AND ROOF SYSTEMS

a.- Roof:

1. Describe (flat, slope, roofing type, type of roof deck condition): Flat roof single ply, replaced during the summer of 2007.
2. Note water tanks, cooling towers, air conditioning equipment, signs, other heavy equipment and condition of supports: None.
3. Note types of drains and scuppers and condition: Over Flow scuppers in good to fair condition



b.- Floor system:

4. Describe (type of system framing, material, spans, condition): Wood framing system spanning 20 feet. Noted some sagging in the athletic office area of the building, that requires attention..

c.- Inspection – note exposed areas available for inspection, and where it was found necessary to open ceilings, etc. for inspection of typical framing members: None

STEEL FRAMING SYSTEM

a.- Description: None.

b.- Exposed Steel – describe condition of paint and degree of corrosion: None.

c.- Concrete or other fireproofing – note any cracking or spalling, and note where any covering was removed for inspection: None

d.- Elevator sheave beams & connections, and machine floor beams – note condition: No Elevator this Building.

CONCRETE FRAMING SYSTEMS

a.- Full description of structural system: None.

b.- Cracking

1. Not significant: None noted
2. Location and description of members affected and type of cracking: N/A

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c.- General condition: Good

d.- Rebar corrosion – check appropriate line:

1. None Visible: None Visible
2. Location and description of members affected and type of cracking: N/A
3. Significant but patching will suffice: N/A
4. Significant – structural repairs required (describe):N/A

e.- Samples chipped out in spall areas:

1. No: None
2. Yes, describe color, texture, aggregate, general quality: N/A



WINDOWS

- a.- Type (Wood, steel aluminum, jalousie, single hung, double hung, casement, awning, pivoted, fixed, other): Aluminum fixed windows.
- b.- Anchorage – type & condition of fasteners and latches: Good
- c.- Sealants – type & condition of perimeter sealants & at mullions: Good
- d.- Interior seals – type & condition at operable vents: Good
- e.- general condition: Good

WOOD FRAMING

- a.- Type – fully describe if mill construction, light construction, major spans, trusses:
Roof structure consist of flat pre-engineered roof trusses.
- b.- Note metal fittings i.e., angles, plates, bolts, split pintles, other, and note conditions:N/A
- c.- Joints – note if well fitted and still closed: N/A
- d.- Drainage – note accumulation of moisture: N/A
- e.- Ventilation – note any concealed spaces not ventilated: N/A
- f.- Note any concealed spaces opened for inspection: N/A

End of Building 5

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BUILDING 6 – Classrooms 120 & 121



PRESENT CONDITION OF STRUCTURE

a.- General alignment (note good, fair poor, explain if significant)

1. Building: Good
2. Settlement: None Noted
3. Deflections: None Noted
4. Expansion: None Noted
5. Contraction: None Noted

b.- Portions Showing Distress (Note beams, columns, structural walls, floors, roofs, other): None Noted

c.- Surface Conditions – describe general conditions of finishes, noting cracking, spalling, peeling, signs of moisture penetrations & stains: General finishes consist painted masonry, in good to fair condition.

d.- Cracks – note location in significant members. Identified crack size as Hairline if barely discernable; Fine if less than 1mm in width; Medium if between 1 and 2 mm in width; Wide if over 2mm.: None Noted

e.- General extent of deterioration – cracking or spalling of concrete or masonry; oxidation of metals; rot or borer attack in wood: None Noted

f.- Previous patching or repairs. None Noted

g.- Nature of present loading, indicate residential, commercial, other, estimate magnitude: Classrooms with a loading of 40 PSF

INSPECTIONS

a.- Date of notice of required inspection: April 25th, 2016.

b.- Date(s) of actual inspection: August 18th, 2016.



PMM Consulting Engineers, Corp.

- c.- Name and qualification of individual submitting inspection report: Paul A Martinez, PE - Structural Engineer.
- d.- Description of any laboratory or other formal testing, if required, rather than manual or visual procedures: None
- e.- Structural Repairs – Note appropriate line
 - 1. None required:
 - 2. Required (describe and indicate acceptance)

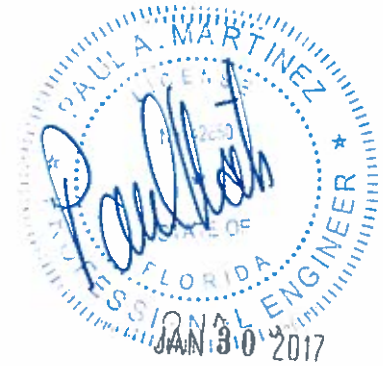
SUPPORTING DATA

- a.- 33 Sheets written data (total)
- b.- 1 Potographs this Building
- c.- 1 General Site Plan

MASONRY BEARING WALLS

Indicated good, fair, poor on appropriate line:

- a.- Concrete masonry units: Good
- b.- Clay tile or terra cotta units: None Noted
- c.- Reinforced concrete tie columns: Not Visible
- d.- Reinforced concrete tie beams: Not Visible
- e.- Lintels: Not Visible
- f.- Other type of bond beams: None Noted
- g.- Masonry finishes – exterior:
 - 1. Stucco: Good
 - 2. Veneer: None
 - 3. Paint only: Good
 - 4. Other (describe): None
- h.- Masonry finish – interior:
 - 1. Vapor barrier: Not Visible
 - 2. Furring and plaster: Good
 - 3. Panelling: None Noted
 - 4. Paint Only: No
 - 5. Other (describe): None
- i.- Cracks:
 - 1. Location – note beams, columns, other: None Noted
 - 2. Description: N/A
- j.- Spalling:
 - 1. Location – note beams, columns, other: None Noted
 - 2. Description: N/A
- k.- Rebar Corrosion – check appropriate line:
 - 1. None Visible: Not Visible
 - 2. Minor – patching will suffice: N/A
 - 3. Significant – but patching will suffice: N/A



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4. significant – structural repairs required N/A
(describe)

l.- Samples chipped out for examination in spall areas: None

1. No:
2. Yes – describe color texture, aggregate, general quality:



FLOOR AND ROOF SYSTEMS

a.- Roof:

1. Describe (flat, slope, roofing type, type of roof deck condition): Barrel tile roof on a gabled sloped roof structure replaced during the summer of 2007.
2. Note water tanks, cooling towers, air conditioning equipment, signs, other heavy equipment and condition of supports: None.
3. Note types of drains and scuppers and condition: None

b.- Floor system:

4. Describe (type of system framing, material, spans, condition): Slab on Grade on good condition.

c.- Inspection – note exposed areas available for inspection, and where it was found necessary to open ceilings, etc. for inspection of typical framing members: None

STEEL FRAMING SYSTEM

a.- Description: None.

b.- Exposed Steel – describe condition of paint and degree of corrosion: N/A.

c.- Concrete or other fireproofing – note any cracking or spalling, and note where any covering was removed for inspection: None

d.- Elevator sheave beams & connections, and machine floor beams – note condition: No Elevator in this Building.

CONCRETE FRAMING SYSTEMS

a.- Full description of structural system:

b.- Cracking

1. Not significant: None noted
2. Location and description of members affected and type of cracking: N/A

c.- General condition: Good

d.- Rebar corrosion – check appropriate line:

1. None Visible: None Visible
2. Location and description of members affected and type of cracking: N/A
3. Significant but patching will suffice: N/A
4. Significant – structural repairs required (describe):N/A

e.- Samples chipped out in spall areas:

1. No: None
2. Yes, describe color, texture, aggregate, general quality: N/A

PMM Consulting Engineers, Corp.

WINDOWS

- a.- Type (Wood, steel aluminum, jalousie, single hung, double hung, casement, awning, pivoted, fixed, other): Aluminum awning windows.
- b.- Anchorage – type & condition of fasteners and latches:
- c.- Sealants – type & condition of perimeter sealants & at mullions:
- d.- Interior seals – type & condition at operable vents:
- e.- general condition:

Fair
Fair
Fair
Fair

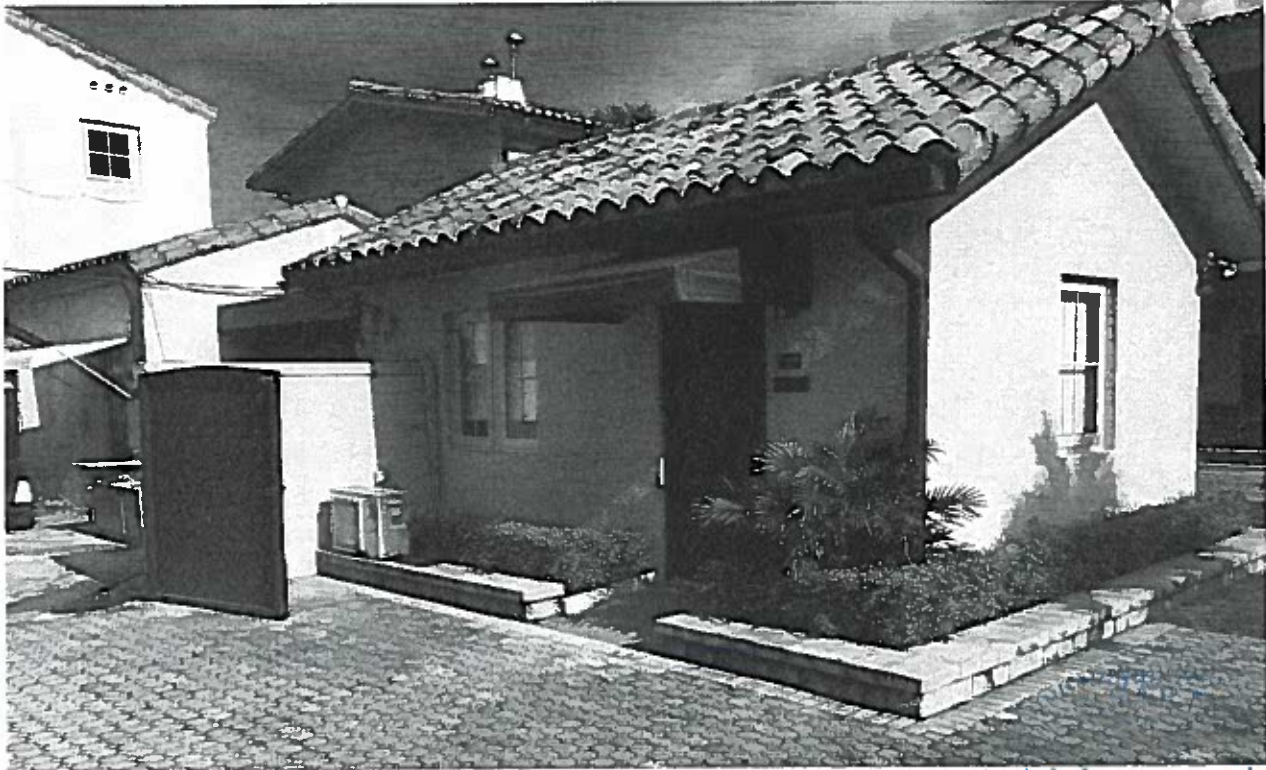


WOOD FRAMING

- a.- Type – fully describe if mill construction, light construction, major spans, trusses:
Roof structure consist of rafters.
- b.- Note metal fittings i.e., angles, plates, bolts, split pintles, other, and note conditions:N/A
- c.- Joints – note if well fitted and still closed: N/A
- d.- Drainage – note accumulation of moisture: N/A
- e.- Ventilation – note any concealed spaces not ventilated: N/A
- f.- Note any concealed spaces opened for inspection: N/A

End of Building 6

BUILDING 7 – Nurses Office & Maintenance



PRESENT CONDITION OF STRUCTURE

a.- General alignment (note good, fair poor, explain if significant)

- 6. Building: Good
- 7. Settlement: None Noted
- 8. Deflections: None Noted
- 9. Expansion: None Noted
- 10. Contraction: None Noted

b.- Portions Showing Distress (Note beams, columns, structural walls, floors, roofs, other): None Noted

c.- Surface Conditions – describe general conditions of finishes, noting cracking, spalling, peeling, signs of moisture penetrations & stains: General finishes consist painted masonry, in good to fair condition.

d.- Cracks – note location in significant members. Identified crack size as Hairline if barely discernable; Fine if less than 1mm in width; Medium if between 1 and 2 mm in width; Wide if over 2mm.: None Noted

e.- General extent of deterioration – cracking or spalling of concrete or masonry; oxidation of metals; rot or borer attack in wood: None Noted

f.- Previous patching or repairs. None Noted



PMM Consulting Engineers, Corp.

g.- Nature of present loading, indicate residential, commercial, other, estimate magnitude: Classrooms with a loading of 50 PSF

INSPECTIONS

- a.- Date of notice of required inspection: Unknown
- b.- Date(s) of actual inspection: August 18th, 2016
- c.- Name and qualification of individual submitting inspection report: Paul A Martinez, PE - Structural Engineer.
- d.- Description of any laboratory or other formal testing, if required, rather than manual or visual procedures: None
- e.- Structural Repairs – Note appropriate line
 - 3. None required: ✓
 - 4. Required (describe and indicate acceptance)



JAN 30 2017

SUPPORTING DATA

- a.- 33 Sheets written data (total)
- b.- 1 Potographs this Building
- c.- 1 General Site Plan

MASONRY BEARING WALLS

Indicated good, fair, poor on appropriate line:

- | | |
|---|-------------|
| a.- Concrete masonry units: | Good |
| b.- Clay tile or terra cotta units: | None Noted |
| c.- Reinforced concrete tie columns: | Not Visible |
| d.- Reinforced concrete tie beams: | Not Visible |
| e.- Lintels: | Not Visible |
| f.- Other type of bond beams: | None Noted |
| g.- Masonry finishes – exterior: | |
| 5. Stucco: | Good |
| 6. Veneer: | None |
| 7. Paint only: | Good |
| 8. Other (describe): | None |
| h.- Masonry finish – interior: | |
| 6. Vapor barrier: | Not Visible |
| 7. Furring and plaster: | Good |
| 8. Panelling: | None Noted |
| 9. Paint Only: | No |
| 10. Other (describe): | None |
| i.- Cracks: | |
| 3. Location – note beams, columns, other: | None Noted |

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4. Description: N/A
- j.- Spalling:
3. Location – note beams, columns, other: None Noted
4. Description: N/A
- k.- Rebar Corrosion – check appropriate line:
5. None Visible: Not Visible
6. Minor – patching will suffice: N/A
7. Significant – but patching will suffice: N/A
8. significant – structural repairs required (describe) N/A
- l.- Samples chipped out for examination in spall areas: None
3. No:
4. Yes – describe color texture, aggregate, general quality:



FLOOR AND ROOF SYSTEMS

- a.- Roof:
5. Describe (flat, slope, roofing type, type of roof deck condition): Barrel tile roof on a gabled sloped roof structure replaced during the summer of 2007.
6. Note water tanks, cooling towers, air conditioning equipment, signs, other heavy equipment and condition of supports: None.
7. Note types of drains and scuppers and condition: None
- b.- Floor system:
8. Describe (type of system framing, material, spans, condition): Slab on Grade on good condition.
- c.- Inspection – note exposed areas available for inspection, and where it was found necessary to open ceilings, etc. for inspection of typical framing members: None

STEEL FRAMING SYSTEM

- a.- Description: None.
- b.- Exposed Steel – describe condition of paint and degree of corrosion: N/A.
- c.- Concrete or other fireproofing – note any cracking or spalling, and note where any covering was removed for inspection: None
- d.- Elevator sheave beams & connections, and machine floor beams – note condition: No Elevator in this Building.

CONCRETE FRAMING SYSTEMS

- a.- Full description of structural system:
- b.- Cracking
3. Not significant: None noted
4. Location and description of members affected and type of cracking: N/A
- c.- General condition: Good
- d.- Rebar corrosion – check appropriate line:

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- 5. None Visible: None Visible
- 6. Location and description of members affected and type of cracking: N/A
- 7. Significant but patching will suffice: N/A
- 8. Significant – structural repairs required (describe):N/A
- e.- Samples chipped out in spall areas:
 - 3. No: None
 - 4. Yes, describe color, texture, aggregate, general quality: N/A



WINDOWS

- a.- Type (Wood, steel aluminum, jalousie, single hung, double hung, casement, awning, pivoted, fixed, other): Aluminum impact resistant casement windows.
- b.- Anchorage – type & condition of fasteners and latches: Good
- c.- Sealants – type & condition of perimeter sealants & at mullions: Good
- d.- Interior seals – type & condition at operable vents: Good
- e.- general condition: Good

WOOD FRAMING

- a.- Type – fully describe if mill construction, light construction, major spans, trusses: Roof structure consist of rafters.
- b.- Note metal fittings i.e., angles, plates, bolts, split pintles, other, and note conditions:N/A
- c.- Joints – note if well fitted and still closed: N/A
- d.- Drainage – note accumulation of moisture: N/A
- e.- Ventilation – note any concealed spaces not ventilated: N/A
- f.- Note any concealed spaces opened for inspection: N/A

End of Building 7

END OF REPORT

**CERTIFICATION OF COMPLIANCE WITH PARKING LOT GUARDRAILS
REQUIREMENTS IN CHAPTER 8C OF THE CODE OF MIAMI-DADE COUNTY**

DATE: 1/31/17

Re: Case No.
Property Address: 2701 JUDAH MOUNT TRAIL
Building Description: 03 - 4118 - 002 - 0450

The undersigned states the following:

I am a Florida registered professional engineer or architect with an active license. On 1/30, 2017, I inspected the parking lots servicing the above referenced building for compliance with Section 8C-6 and determined the following (check only one):

- The parking lot(s) is not adjacent to or abutting a canal, lake or other body of water.
- The parking lot(s) is adjacent to or abutting a canal, lake or other body of water and parked vehicles are protected by a guardrail that complies with Section 8C-6 of the Miami-Dade County Code.
- The parking lot(s) is adjacent to or abutting a canal, lake or other body of water and parked vehicles are not protected by a guardrail that complies with Section 8C-6 of the Miami-Dade County Code. I have advised the property owner that he/she must obtain a permit for the installation of the guardrail and obtain all required inspection approvals to avoid enforcement action.



JAN 31 2017

Signature and Seal
of Architect or Engineer
PAUL W. MARTINEZ
(Print Name)



**MIAMI-DADE COUNTY, DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES
MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR
BUILDING'S ELECTRICAL RECERTIFICATION**

INSPECTION COMMENCED
DATE: 06JUL16

INSPECTION COMPLETED
DATE: July 6, 2016

REINSPECTION COMPLETED
DATE: January 31, 2017

INSPECTION MADE BY: L. LUIS HERNANDEZ under the supervision of
ALFONSO FERNANDEZ-FRAGA, P.E.

SIGNATURE:



FEB 01 2017

PRINT NAME: ALFONSO FERNANDEZ-FRAGA, P.E.
INITIAL ENGINEERS, P.A.

TITLE: PRESIDENT

ADDRESS: 7145 S.W. 42nd Terrace
Miami, Florida 33155

a. Name of Title: St. Theresa Catholic School
b. Street Address: 2701 Indian Mound Trail, Coral Gables, Florida 33134-5553
c. Legal Description:

d. Owners Name: Archdiocese of Miami
e. Owner's Mailing Address: 9401 BISC BLVD MIAMI, FL 33138-2970
f. Folio Number of Building: 03-4118-002-0450

g. Building Code Occupancy
Classification: Group E

h. Present Use: School

i. General Description Type of
Construction, Size, Number of
Stories, and Special Features:

This school compound includes several buildings as follows:
- Old Building (constructed in 1928), with three stories, concrete construction.
- North Building (constructed in the 1940s), two stories, concrete
construction electrically fed from the Old Building Switchgear.

- Maintenance Building attached to the Old Building, One story concrete construction electrically fed from the Old Building Switchgear.
- Health Room Building, one story concrete construction electrically fed from the Old Building Switchgear.
- Classroom 122/123 Building, one story concrete construction electrically fed from the Old Building Switchgear.
- Coach/Classroom 124 Building, one story concrete construction with a separate electrical service.
- Classroom 120/121 Building, one story concrete construction with a separate electrical service.

GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL SYSTEMS OF FORTY (40) YEAR STRUCTURES

1. ELECTRIC SERVICE

In Old Building Ground Floor

- | | |
|--------------------------|-----------------------------------|
| 1. Size: See Mains Below | Fuses (X) Breakers (X) |
| 2. Phase: | Three Phase (X) Single Phase () |
| 3. Condition: | Good (X) Fair () Need Repair () |

The Electrical service is 120/208V, 3 phase, 4 wire, and consists of six mains as follows:

Main 1 of 6	600A-2P Disconnect Switch with 600A Fuses
Main 2 of 6	125A-3P Circuit Breaker
Main 3 of 6	125A-3P Circuit Breaker
Main 4 of 6	800A-3P Circuit Breaker
Main 5 of 6	500A-3P Circuit Breaker
Main 6 of 6	600A-3P Circuit Breaker

Comments:

All mains are in good condition.

Mains 2 of 6 and 3 of 6 are installed in a 400A Distribution Panel.

Mains 1 of 6, 2 of 6, and 3 of 6 are fed from an FPL transformer with two sets of conductors via a junction box with Polaris taps. All equipment and/or materials stored around the FPL transformer pad must be removed.

Main 6 of 6 feeds 500A panel AC2. The existing 600A breaker should be changed to 500A to match panel's buses and main breaker capacities.

Coach/Classroom 124 Building is provided with a 200A, 120/240V, 1 phase, 3 wire service, and 200A main circuit breaker. The main breaker feeds a 200A load center.

Classroom 120/121 Building is provided with two 120/240V, 1 phase, 3 wire, NEMA 3R fused main switches. One 100A-2pole fused switch feeds an outdoor load center serving air conditioning and parking lot lighting loads. One 60A-2pole fused switch feeds an indoor load center.

The service main switches, outdoor panel, time clock, and lighting contactors are not accessible. Shrubbery in front of panels must be removed.

2. MAIN ELECTRICAL ROOM

1. Clearances: Good () Fair () Requires Correction (X)
2. Comments: Clearance in front of Panels "MDP", "EM2", and "CZ" is only 28" and does not conform to NEC requirements.
The rerouting of the feeders associated with Mains 2 of 6 and 3 of 6 from conduit bodies in the floor shall be done so that it provides no less than 36" clearance of level floor slab in front of the Panel "MDP". All floor boxes installed in concrete shall be UL listed for the intended use and all EMT raceway installations shall comply with NEC Article 358 requirements.

GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL SYSTEMS OF FORTY (40) YEAR STRUCTURES

3. GUTTERS

1. Location: Outdoor North Wall of Old Building Cafeteria next to Panel "AC"

Taps and Fill: Good (X) Requires Repair ()

Comments: None.

2. Indoor Classroom 122/123 Building

Taps and Fill: Good (X) Requires Repair ()

Comments: None.

4. ELECTRICAL PANELS

1. Panel 'G'

Location: Main Electrical Room

Good () Requires Repair (X)

Comments: Most cover locks are broken. Repair or replace.

2. No I.D. Panel

Location: Main Electrical Room

Good (X) Requires Repair ()

Comments: 400A distribution panel with Mains 2 and 3.

3. Panel "MDP"

Location: Main Electrical Room

Good () Requires Repair (X)

Comments: The panel door is missing, the external frame is loose, and the clearance in front of the panel is only 24". Reroute feeders associated with Mains 2 of 6 and 3 of 6 so as to provide proper clearances.

4. Panel "CZ"

Location: Main Electrical Room

Good () Requires Repair (X)

Comments: Update panel directory, clean the rust and ink marks from indoor and outdoor covers, and paint as required.

5. Panel "EM2"

Location: Main Electrical Room

Good () Requires Repair (X)

Comments: Update panel directory, clean the rust from the inner cover and paint as required.

GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL SYSTEMS OF FORTY (40) YEAR STRUCTURES

6. Kitchen Panel 1 Location: Old Building Kitchen
Good (X) Requires Repair ()
Comments: None.
7. Kitchen Panel 2 Location: Old Building Kitchen
Good (X) Requires Repair ()
Comments: None.
8. Panel Kitchen AC Location: Outdoor Old Building Cafeteria North Wall
Good () Requires Repair (X)
Comments: Provide panel directory and ground bus. The ground conductor is connected to one of two isolated neutral buses.
9. Panel "FB" Location: Outdoor Old Building Cafeteria North Wall
Good () Requires Repair (X)
Comments: Provide green tape identification for ground conductor coming to ground bus.
10. Panel "NE" Location: Old Building 1st Floor Elevator-A/C Room
Good () Requires Repair (X)
Comments: Provide panel directory.
11. No ID Panel Location: Old Building First Floor Classroom 107
Good () Requires Repair (X)
Comments: This panel is installed within a closet and does not meet clearance requirements. Remove all closet items in front of panel. The panel may meet clearance requirements (30" wide and 3'-0" in the front) with the closet door open. This panel also needs a blank plate over a breaker opening, identification tag, and directory.
12. Panel "ACP" Location: Old Building First Floor
Good () Requires Repair (X)
Comments: Feeder conduit must be provided with grounding bushing.
13. First Floor Panel Location: Old Building First Floor
Good () Requires Repair (X)
Comments: Clean and paint box corrosion under the cover. Provide updated panel directory.
14. Sub Panel,
 First Floor Location: Old Building First Floor Office
Good (X) Requires Repair ()
Comments: None.

GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL SYSTEMS OF FORTY (40) YEAR STRUCTURES

15. Panel "DA" Location: Old Building First Floor
Good () Requires Repair (X)
Comments: Provide grounding bushing on feeder conduit.
16. Panel "E" Location: Old Building Second Floor
Good () Requires Repair (X)
Comments: Remove cover rivets and replace with bolts. Provide updated panel directory.
17. Panel "AC-2" Location: Old Building Third Floor
Good () Requires Repair (X)
Comments: Provide grounding bushing on feeder conduit.
18. Panel "FA" Location: Old Building Third Floor
Good () Requires Repair (X)
Comments: Remove cover rivets and replace with bolts. Provide updated panel directory.
19. Panel "D" Location: Outdoor Old Building South
Good () Requires Repair (X)
Comments: Panel is mounted too high. Ensure that maximum height to circuit breakers is 79". Provide panel directory.
20. Cooling Tower Panel Location: Outdoor Old Building South Cooling Tower
Good () Requires Repair (X)
Comments: The cover bolts are lost, and the cover is loose. Provide new bolts. Provide updated panel directory. Provide ground bus. Separate the ground conductors from the neutral bus and connect to ground bus.
21. Panel "AC2" Location: Outdoor Old Building South
Good () Requires Repair (X)
Comments: Shrubbery in front of panel must be removed to provide proper access.
22. Panel "DB" Location: Outdoors, Old Building South
Good () Requires Repair (X)
Comments: Shrubbery in front of panel must be removed to provide proper access. Provide panel directory.

GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL SYSTEMS OF FORTY (40) YEAR STRUCTURES

23. Panel "C" Location: Outdoors, Old Building South
Good () Requires Repair (X)
Comments: Shrubby in front of panel must be removed to provide proper access. Provide panel directory.
24. No I.D. Load Location: Outdoor Health Room Building
Center Good () Requires Repair (X)
Comments: Feeder from Panel "MDP" is installed in corroded EMT conduit running underground. This panel serves the Health Room Building. Remove existing feeder and provide a new underground feeder made of PVC SCH40 or rigid galvanized steel conduit. Provide panel directory.
25. Panel "AC1" Location: Outdoor North Building NE Corner
Good () Requires Repair (X)
Comments: Panels are fed from Main 5 of 6 in in Old Building Electrical Room. Provide additional grounding electrode per NEC. Two poles of a 225A-3P branch circuit are also used to feed a load center next to this panel. Provide a new 100A-2 pole circuit breaker in this panel and a new feeder to the load center. New breaker shall provide short circuit series protection to match existing breakers.
26. No I.D. Load Location: Outdoor North Building Next to Panel AC-1
Center Good () Requires Repair (X)
Comments: Provide panel with ID name plate and updated directory.
27. Panel "B" Location: Outdoor North Building North Wall
Good () Requires Repair (X)
Comments: Clean and paint box corrosion under the cover.
28. Panel "A" Location: Outdoor North Building North Wall
Good () Requires Repair (X)
Comments: Clean and paint box cover corrosion.
29. Panel "AB" Location: North Building Room 115 First Floor
Good () Requires Repair (X)
Comments: Clean and paint panel as required. Update panel directory and provide grounding bushing on the feeder conduit. This panel and Panel "2EM" are fed from the Old Building Electrical Room via a disconnect switch. Provide additional grounding electrode connection to the switch.

GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL SYSTEMS OF FORTY (40) YEAR STRUCTURES

30. Panel "ZEM" Location: North Building Room 115 First Floor
Good () Requires Repair (X)
Comments: Clean and paint box corrosion. Provide panel directory.
31. Panel "NB2" Location: North Building 2nd Floor Corridor
Good () Requires Repair (X)
Comments: This panel is marked as fed from the Old Building Switchgear and is required to be provided with a main circuit breaker. This panel shall also be provided with an additional grounding electrode connection. Update panel directory.
32. Computer Room Location: Classroom 122/123 Building
123 Panel No. 1 Good () Requires Repair (X)
Comments: Provide updated panel directory. Both panels in this room are fed from the Old Building switchgear through a gutter with Polaris taps. Provide additional ground electrode connection to the gutter.
33. Computer Room Location: Classroom 122/123 Building
123 Panel No. 2 Good () Requires Repair (X)
Comments: Provide updated panel directory and identification tag.
34. Panel "A" Location: Coach/Classroom 124 Building
Good () Requires Repair (X)
Comments: Provide panel directory.
35. No ID Panel Location: Classroom 120/121 Building Outdoor
Good () Requires Repair (X)
Comments: Provide identification tag to read "Panel A." Provide panel directory.
36. No ID Panel Location: Classroom 120/121 Building Indoor
Good () Requires Repair (X)
Comments: Provide identification tag to read "Panel B." Provide panel directory. Remove furniture in front of this panel.
37. General Comment
Most panels need to be cleaned outside and inside. Provide missing cover screws.

5. BRANCH CIRCUITS

1. Identified: Yes () Must be identified (X)
2. Conductors: Good (X) Deteriorated () Must be replaced ()
3. Comments: Branch circuits must be identified as listed in Section 4, Electrical Panels.

GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL SYSTEMS OF FORTY (40) YEAR STRUCTURES

6. GROUNDING OF SERVICE

Condition: Good () Requires Repair (X)
Comments: Additional connection to a ground electrode is required for panels in one building and fed from another building as indicated in Section 4 Electrical Panels.

7. GROUNDING OF EQUIPMENT

Condition: Good () Requires Repair (X)
Comments: Refer to "Section 4, Electrical Panels" comments for Panel "AC" Item 8, Panel "FB" Item 9, Panel "ACP" Item 12, Panel "DA" Item 15, Panel "AC2" Item 17, Panel "FA" Item 18, Cooling Tower Panel Item 20, and Panel "AB" Item 29 for grounding equipment required repairs.

8. SERVICE CONDUITS/RACEWAYS

Condition: Good (X) Requires Repair ()
Comments: Except for feeder to panel serving Health Room Building (Panel Item 25), the visual inspection of conduit raceways did not detect that any repairs were required.

9. SERVICE CONDUCTORS AND CABLES

Condition: Good (X) Requires Repair ()
Comments: None.

10. TYPES OF WIRING METHODS

Condition:
Conduit Raceways: Good (X) Requires Repair ()
Conduit PVC: Good (X) Requires Repair ()
NM Cable: Good (N/A) Requires Repair (N/A)
BX Cable: Good (N/A) Requires Repair (N/A)

11. FEEDER CONDUCTORS

Condition: Good (X) Requires Repair ()
Comments: None.

12. EMERGENCY LIGHTING

Condition: Good () Requires Repair (X)
Comments: Emergency lights do not exist or are deficient as follows:

Old Building

1. First Floor Corridors and stair emergency light spacing is too great and does not meet Code requirements. Additional emergency lights are required at corridors and stair landings where there are no emergency lights.
2. First Floor emergency and exit lights at Kitchen and Dining Room are insufficient.

GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL SYSTEMS OF FORTY (40) YEAR STRUCTURES

3. Second Floor Corridors and stair emergency light spacing is too great and does not meet Code requirements. Additional emergency lights are required at corridors and stair landings where there are no emergency lights.
4. Second Floor Room 203 with only one emergency light above the door will not meet Code requirements for such a large room. Provide one more emergency light at opposite side of the room.
5. Second Floor Room 205 Toilet does not have emergency lighting.
6. Second Floor Music Room: Only one emergency light above the door will not meet Code requirements for such a large room. Provide one more emergency light at opposite side of the room.
7. Third Floor Corridor stair emergency light spacing is too great and does not meet Code requirements. Additional emergency lights are required at corridors.
8. Third Floor Room 303 Lab with only one emergency light above the door will not meet Code requirements for such a large room. Provide one more emergency light at opposite side of the room.

North Building

9. First Floor Corridor and stairs do not have the required emergency lights.
10. First Floor Rooms 115 and 116 Boys and Girls Toilets. One additional emergency light unit is required inside these spaces.
11. Second Floor Corridor and stairs do not have the required emergency lights at west location.
12. Second Floor Rooms 216 and 217 Boy and Girls Toilet. One additional emergency light unit is required inside these spaces.
13. Second Floor Room 218 Office does not have emergency lights.

Maintenance Building

14. Provide one emergency light in this space.

Health Room Building

15. Provide one emergency light in this space.

Coach/Classroom 124 Building

16. There are no emergency lights in toilet rooms. Provide same.

Classrooms 120/121 Building

17. Only one emergency light above door on Classroom 120 will not meet Code requirements for such a large room. Provide one more emergency light at the opposite side of the room.

GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL SYSTEMS OF FORTY (40) YEAR STRUCTURES

13. BUILDING EGRESS ILLUMINATION

Condition: Good () Requires Repair (X)
Comments: Refer to Section 12 "Emergency Lighting" for corrections required to comply with Code.

14. FIRE ALARM SYSTEM

Condition: Good () Requires Repair (X)
Comments: Only the Coach/Classroom 124 building is provided with a small fire alarm system that, per visual inspection, appears to be in good working condition. The Old Building fire alarm system consists of the fire alarm panel for the elevator (installed in the 1st floor closet next to the elevator) and some smoke duct detectors with horn/strobe lights that are not part of the elevator alarm panel. The school has a paging system panel in the Old Building 1st floor office that provides communication to the classrooms in all the buildings and to the exterior areas.

15. SMOKE DETECTORS

Condition: Good (X) Requires Repair ()
Comments: Smoke detector installation is limited as described in Section 14 Fire Alarm System.

16. EXIT LIGHTS

Condition: Good () Requires Repair (X)
Comments: Provide additional exit lights as indicated in Section 12, Emergency Lights, and Section 13, Building Egress Illumination.

17. EMERGENCY GENERATOR

Condition: Good (N/A) Requires Repair (N/A)
Comments: There is no Emergency Generator on the premises.

18. WIRING IN OPEN OR UNDER COVER PARKING GARAGE AREAS

Condition: Good (X) Requires Repair ()
Comments: Wiring for parking lights appears to be in good condition.

GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL SYSTEMS OF FORTY (40) YEAR STRUCTURES

19.OPEN OR UNDERCOVER PARKING SURFACE AND SECURITY LIGHTING

Condition: Good () Requires Repair (X)

Comments: Lighting levels range from 0.48 footcandles maximum to 0.01 footcandles and do not comply with the 1.0 footcandle minimum required by Code. Additional lighting is required.

20.SWIMMING POOL WIRING

Condition: Good (N/A) Requires Repair (N/A)

Comments: There is no swimming pool on the premises.

21.WIRING OF MECHANICAL EQUIPMENT

Condition: Good () Requires Repair (X)

Comments: 1. Contactors in cooling tower space are rusted and should be cleaned and painted as required.
2. Provide conduit for exposed/loose control wiring in front of AHU disconnect switch at North Building, 2nd Floor Music Room.
3. Remove furniture in front of air handling unit disconnect switch at North Building Room 218 to provide access.
4. Air handling unit in a closet at Classrooms 120/121 building is not accessible. The required means of disconnect is missing. Provide proper access and service disconnect switch.

22.GENERAL ADDITIONAL COMMENTS

1. Computer equipment in North Building Closet 127 is not accessible because of material stored at the door.

**CERTIFICATION OF COMPLIANCE WITH PARKING LOT ILLUMINATION
STANDARDS IN CHAPTER 8C OF THE CODE OF MIAMI-DADE COUNTY**

Date: Feb. 2, 2017

RE: Case No.: Refer to 40-year Recertification Report
Property Address: 2701 INDIAN MOUND TRAIL CORAL GABLES FL 33134
Building Description: PRIMARY SCHOOL

1. I am a Florida registered professional engineer or architect with an active license.
2. On July 5, 2016, at 7:45 pm, ^{L. Luis Hernandez under my supervision} I measured the level of illumination in the parking lot (s) serving the above referenced building.
3. Maximum 0.48 foot candle per SF, Minimum 0.01 foot candle per SF, Minimum to Maximum ratio 48:1, foot candle 0.27 average per SF.
4. The level of illumination provided in the parking lot (s) ~~meets~~ does not meet the minimum standards for the occupancy classification of the building as established in Section 8C-3 of the Code of Miami-Dade County.



Signature and Seal
of Architect or Engineer

FEB 03 2017

Alfonso Fernandez-Fraga, P.E.
(Print Name)

40 Year Recertification
For

2701 Indian Mound Trail

Prepared by

PMM Consulting Engineers, Corp.



City of Coral Gables
Development Services

OFFICE SET



RC-17-01-0029

2701 INDIAN MOUND TRL #

Folio #: 03-4118-002-0450

Permit Description: BUILDING RECERTIFICATION
(1926)

CONSTRUCTION REGULATION BOARD CASE

EL _____

ME _____

PL _____

Section	Approved	
	By	Date
<input checked="" type="checkbox"/> BUILDING	<i>deft</i>	<i>2/2/17</i>
<input type="checkbox"/> CONCURRENCY		
<input checked="" type="checkbox"/> ELECTRICAL		
<input type="checkbox"/> FEMA		
<input type="checkbox"/> FIRE		
<input type="checkbox"/> HANDICAP		
<input type="checkbox"/> HISTORICAL		
<input type="checkbox"/> MECHANICAL		
<input type="checkbox"/> PLUMBING		
<input type="checkbox"/> PUBLIC SERVICE		
<input type="checkbox"/> PUBLIC WORKS		
<input type="checkbox"/> STRUCTURAL		
<input type="checkbox"/> ZONING		
<input type="checkbox"/>		
<input type="checkbox"/>		
<input type="checkbox"/> OWNER BUILDER		

R-2/3/17

Subject to compliance with all Federal, State, County and City rules and regulations. City assumes no responsibility for accuracy of or results from these plans.
THIS COPY OF PLANS MUST BE AVAILABLE ON BUILDING SITE OR AN INSPECTION WILL NOT BE MADE.

APPROVAL OF THIS SET OF PLANS DOES NOT CONSTITUTE APPROVAL OF ANY STRUCTURE OR CONDITION NOT IN COMPLIANCE WITH ANY APPLICABLE CODES

Special Inspector required for the following:

- Special Inspector for PILING
- Special Inspector for REINFORCED MASONRY
- Special Inspector for _____

Note: Only the marked boxes apply.

RC-17-01-0029

