



GUTIERREZ RESIDENCE

1460 BARACOA AVE,
CORAL GABLES, FL 33146



FRONT VIEW OF PROPOSED



PROPOSED REAR VIEW AND
POOL DECK



VACANT LOT ON EAST SIDE



VIEW OF SUBJECT PROPERTY
(1460 Baracoa Ave, Coral Gables, FL 33146)



NEIGHBOR ON WEST SIDE



NEIGHBOR ACROSS THE STREET



NEIGHBOR ACROSS THE STREET

SHEET	NEW RESIDENCE FOR:				REVISION NO.	DATE	COMMENTS	HAMED RODRIGUEZ ARCHITECT INC.
A0.2	OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE LIMITED TO THE PROJECT AND THE ARCHITECT. ANY REUSE, REPRODUCTION, OR ADAPTATION OF THESE DOCUMENTS FOR OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING WITH THE ARCHITECT, IS PROHIBITED. TO THE ARCHITECT.							
	COMM. NO.:	002031-00	ISSUE DATE:	11-25-2020				
	PLOT DATE:	11-25-2020	SCALE:	AS NOTED				
	DRAWN BY:	HR	CHECKED BY:	HR				



FRONT FACADE: NORTH EAST CORNER



FRONT FACADE: NORTH WEST CORNER



VIEW OF BACK YARD: SOUTH WEST CORNER



VIEW OF BACK PORCH

GENERAL NOTES

1. AIA Documents A201, "General Conditions Of The Contract For Construction, Latest Edition," shall govern all work under this Contract and shall apply to all trades and is hereby incorporated into these documents.

2. All work shall comply with all applicable National Codes, the latest edition of the 2017 Florida Building Code (herein also referred to as F.B.C.) - Residential, Sixth Edition, and updated Local Zoning Ordinances.

3. The Contractor shall field verify all dimensions and existing conditions and notify the Architect of all discrepancies or needed interpretations prior to commencing construction.

4. Omissions from drawings and/or mis-description of details of work which are manifestly necessary to carry out intent of drawings or are customarily performed shall not relieve contractor from performing such omitted or mis-described details or work, but shall be performed as if fully and correctly set forth and described in drawings using most appropriate method, with final approval issued by Architect to alleviate conflicts of scheduling, drawings, details, and/or specifications.

5. All work shall be performed in the best and most professional manner by mechanics skilled in their respective trades.

6. Contractor shall be responsible for quality and performance of all materials, appliances, and work. All materials, equipment, and systems shall be installed in strict accordance with applicable standards and manufacturers written specifications, instructions, and recommendations. Contractor shall review all shop drawings such as and not limited to roof trusses, doors, windows and hardware. Contractor will inform the Architect of any item which deviates from the working drawings.

7. These plans may be used only under such conditions in which all applicable safety laws, rules and regulations are the sole responsibility of the contractor.

8. Written dimensions have precedence over scaled dimensions. Do not scale drawings. Field verify all dimensions.

9. Contractor is responsible that easements and setbacks are not encroached.

10. Coordinate Architectural drawings with Structural, Mechanical, Plumbing, and Electrical drawings. Any discrepancies are to be brought to Architect's attention for clarification prior to bidding and work.

11. Contractor shall verify and coordinate all rough openings for scheduled doors, windows, and hardware, clearances for all equipment and appliances to be part of the work, and future locations and clearances.

12. Typically all windows and doors to be in accordance to that specified in the drawings and applicable items of Chapter 24 of The Florida Building Code (latest edition).

13. Provide all site clearing, excavating to required grades and lines, back fill, grading fill, compaction and de-watering as required to execute the work. All fill under slabs shall be compacted with five sand fill set in 6" layers to 95% density ASTM 1157. Verify against Structural drawings. Preserve all existing trees and shrubs unless otherwise specified by landscape plan or Owner.

14. Contractor shall remove all construction debris and leave the site graded as indicated on the site plan or as specified by Architect/Owner.

15. All concrete work at ground level shall have 6 Mil thick Visqueen vapor Barrier, or approved equal. Lap visqueen by min. 6" fully duct tape along length of lap.

16. Finish grade shall slope away from building walls and property lines. Refer to Site Plan.

17. All gates to be self closing and latching.

18. Refer to engineering drawings for all engineering information (coordinate against Architectural).

19. Rainwater shall direct itself to existing catch basins.

20. All work shall comply with chapter 10 (means of egress) of the 2010 Florida Building Code and NFPA 101, Typical throughout these documents.

21. Elevations shown on the plan refer to National Geodetic Vertical Datum (N.G.V.D.).

22. Termites protection shall be provided by registered termiticides or other approved methods of termite protection labeled for use as a preventative treatment to new construction -- All new structures shall comply to section 1B16 of F.B.C.

23. UTILITY NOTES:

A. General Contractor to verify exact locations of the following outside the property line:

1. Electric Service. 2. Gas 3. Water Main. 4. Telephone.

B. All above and associated work, utilities shall be as per enforced edition of the Florida Building Code F.B.C. and all applicable Codes.

C. Contractor shall verify the locations of all utilities, overhead and underground, prior to construction and coordinate with Architect/Owner prior to start of work.

D. Electrical power, telephone, water and gas shall be run as required to meet existing service. All to be verified with Architect/Owner. The Contractor shall coordinate tie-ins and service with utility companies prior to start of work.

24. All pre-manufactured items such as exterior shutters and doors, but not limited to these, shall be under a separate permit if required. General contractors and any subcontractor providing the above items shall provide signed and sealed calculations and shop drawings. All submissions shall be according to N.E.P.A. 101 and the latest edition of the F.B.C. for A/E approval prior to fabrication and ordering. All manufactured items shall meet high velocity hurricane zone (HVHZ) prior to ordering and work, typical throughout project. Refer to Structural engineering sheets for applicable information, i.e. wind pressure calculations, etc.

25. Typical throughout project: Where slope is indicated with an arrow, contractor to provide 1/4" per ft. min. slope or as noted.

26. For septic tank and drain field refer to plumbing drawings (when applicable).

27. Every closet door latch shall be operable by a child from inside the closet.

28. Every bathroom door shall be operable from the outside during an emergency when locked. Per life safety code 21.2.4.4

29. All window, exterior doors and shutters to have current Miami - Dade county product approval.

30. All glazing within 60" of tub or shower shall have safety glazing per section 2406.4.5 F.B.C. - Typical

31. The plans and specifications are not intended to depict each and every detail as the party in the field. The contractor is in the best position to verify that all conditions are completed to provide a watertight structure.

32. FEMA NOTES: (when applicable)

A. All walls below base flood elevation shall receive M.R. gypsum wall board & 1 coat plaster finish.

B. All Electrical, Mechanical & Plumbing shall be above base flood elevation.

DEMOLITION NOTES

1. DASHED WALLS AS INDICATED ON PLANS ARE TO BE REMOVED. NO WALL REMOVED IS LOAD BEARING

2. SELECTIVE REMOVAL AND OFF SITE DISPOSAL INCLUDES:

- FLOOR TILES AND THIN SET/ THICKSET REMOVAL
- FRAME WALLS AND WALL BOARD
- INDICATED INTERIOR DOORS
- INTERIOR FINISHES AS INDICATED
- KITCHEN APPLIANCES (ASK OWNER IF TO BE DISPOSED)

3. OWNER OR ARCHITECT TO ASSUME NO RESPONSIBILITY FOR THE ACTUAL CONDITIONS ON SITE.

4. WHEN APPLICABLE, PROTECT EXISTING FINISH WORK ON SITE FROM DAMAGE DUE TO NEW CONSTRUCTION.

5. CONTRACTOR TO REPAIR ANY (AT NO COST TO THE OWNER) ON SITE OR ON ADJACENT FACILITIES DUE TO DAMAGES.

6. CONTRACTOR TO IDENTIFY, STUB OFF AND DISCONNECT UTILITY SERVICE

CONTRACTOR TO OBTAIN ALL APPLICABLE PERMITS PRIOR TO BEGINNING WORK

7. DEMOLITION WORK TO BE IN COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS

8. OF ALL CODES HAVING JURISDICTION OVER THE PROJECT.

9. CONTRACTOR TO PROVIDE BRACING AND SHORING TO PREVENT THE SETTLEMENT OR COLLAPSE OR STRUCTURE WHEN APPLICABLE.



ZONING DATA (SFR ZONING Sec. 5-101)			
SET BACKS:	PRIMARY REQUIRED (MIN)	SECONDARY FACILITY	PRIMARY RESIDENCE
FRONT:	25'		25'-0"
REAR RESIDENCE:	10'		31'-6"
AUXILIARY STRUCTURE:	75'	82'-0'	
POOL:	10'		10'-0"
SIDE (EAST):	5' MIN.		7'-6"
SIDE (WEST):	5' MIN		7'-6"
SIDE SETBACKS TOTAL:			15'-0"
(WIDTH OF PROP. AT FRONT SETBACK IS 75.0' OR A 20% OF 75' = 15.0')			
LOT COVERAGE:	REQUIRED (MAX)	PROPOSED	
LOT AREA: 7,880 sf	35% OR 2,758 sf	34% OR 2,681 sf	
WITH PROPOSED POOL & ANY AUXILIARY STRUCT.	45% OR 3,546 sf	40% OR 3,170 sf	
MAX. ALLOWABLE SQUARE FOOTAGE:			
FIRST 5000 SF OF LOT 48%:	REQUIRED (MAX)	PROPOSED	
SECOND 5000 SF OF LOT 35% (OF 2,880 SF):	2,400 sf	1,008 sf	
REMAINING OF LOT 30%:	N/A		
TOTAL OF MAX. AREAS ALLOWED:	3,408 sf	3,406 sf	
OPEN SPACE REQUIRED 40% TOTAL = 3,152 sf			
PROVIDED = 41% OR 3,249 sf			
20% FRONT YARD OPEN SPACE REQ = 650 sf			
PROVIDED = 1,518 sf			
MAX. ALLOWABLE HEIGHT = 2 STORIES (35'-0" ABOVE GRADE)			
PROVIDED = 2 STORIES (31'-10")			

LEGAL DESCRIPTION

FOLIO: 03-4119-007-3270.
PB 20-38, CORAL GABLES RIVIERA SEC PT 5 E1/2 OF LOT 4 & ALL LOT 5 BLK 79.
LOT SIZE : IRREGULAR. According to the public records of Miami-Dade County, Florida

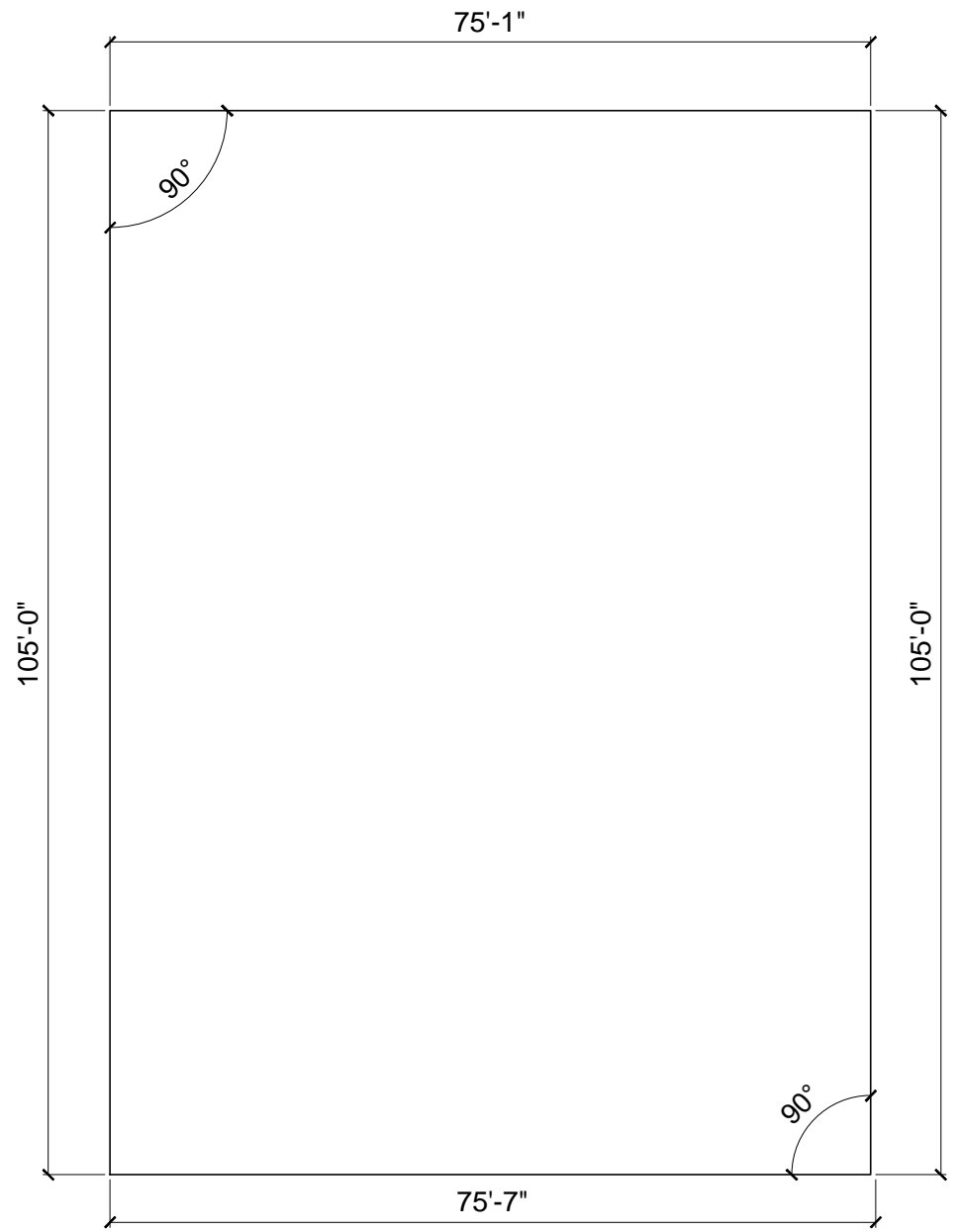
FLOOD LEGEND	ZONE X
ADDRESS: 1460 BARACOA AVENUE, CORAL GABLES, FLORIDA, 33146	
HIGHEST CROWN OF ROAD ELEV. AS PER THE ATTACHED CERTIFIED SURVEY.	
BASE FLOOD ELEVATION (N.G.V.D.) = NOT APPLICABLE	
ALL ELECTRICAL, MECHANICAL AND PLUMBING WILL BE PLACED AT OR ABOVE THE BASE FLOOD ELEVATION. (B.F.E.)	
ALL AREAS BELOW B.F.E. SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) OPENINGS HAVING A TOTAL NET AREA OF NO LESS THAN ONE SQUARE INCH OF OPENING FOR EVERY SQUARE FOOT OF ENCLOSED AREA SUBJECT TO FLOODING. THE BOTTOM OF THE OPENING WILL BE NO HIGHER THAN ONE (1) FOOT ABOVE GRADE AND LOCATED ON DIFFERENT SIDES OF THE ENCLOSED AREA. OPENINGS WILL BE EQUIPPED WITH SCREENS OR LOUVERS. FLOOD RESISTANT MATERIALS WILL BE USED BELOW B.F.E.	
ALTERNATIVELY SEE A CERTIFICATION BY THE P.E. ON THE PLAN NOTES INDICATING THAT THE DESIGN WILL BE ALLOWED FOR AUTOMATIC EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS.	
THE SITE WILL BE GRADED IN A MANNER TO PREVENT THE FLOODING OF ADJACENT PROPERTIES. WHERE NECESSARY INTERCEPTORS SWALES WILL BE CONSTRUCTED ON-SITE WITH NO ENCROACHMENT OVER ADJACENT PROPERTIES.	
0'-0" = +10.98' FT NGVD	

SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	NEW 8" C.M.U. WALL
	NEW SQUARE FOOTAGE
	EXISTING BUILDING TO BE DEMO
	DEMO EXISTING

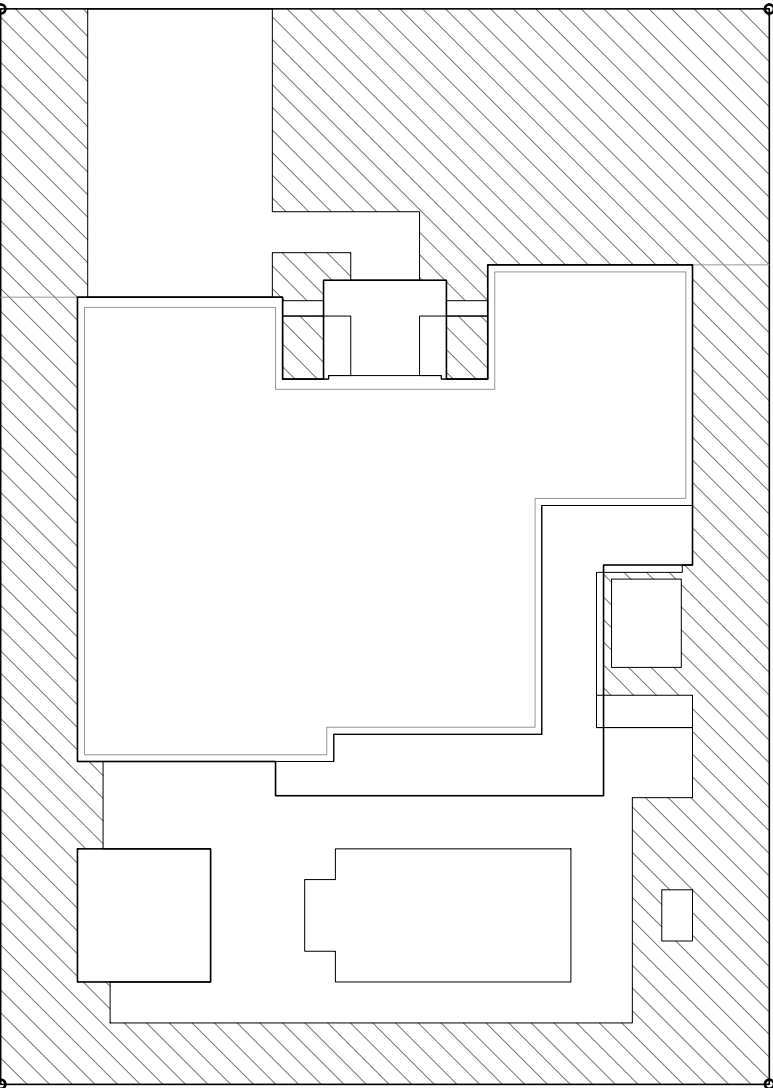
SCOPE OF WORK

DEMO OF EXISTING. NEW CONSTRUCTION FOR ONE STORY RESIDENCE AND NEW SWIMMING POOL

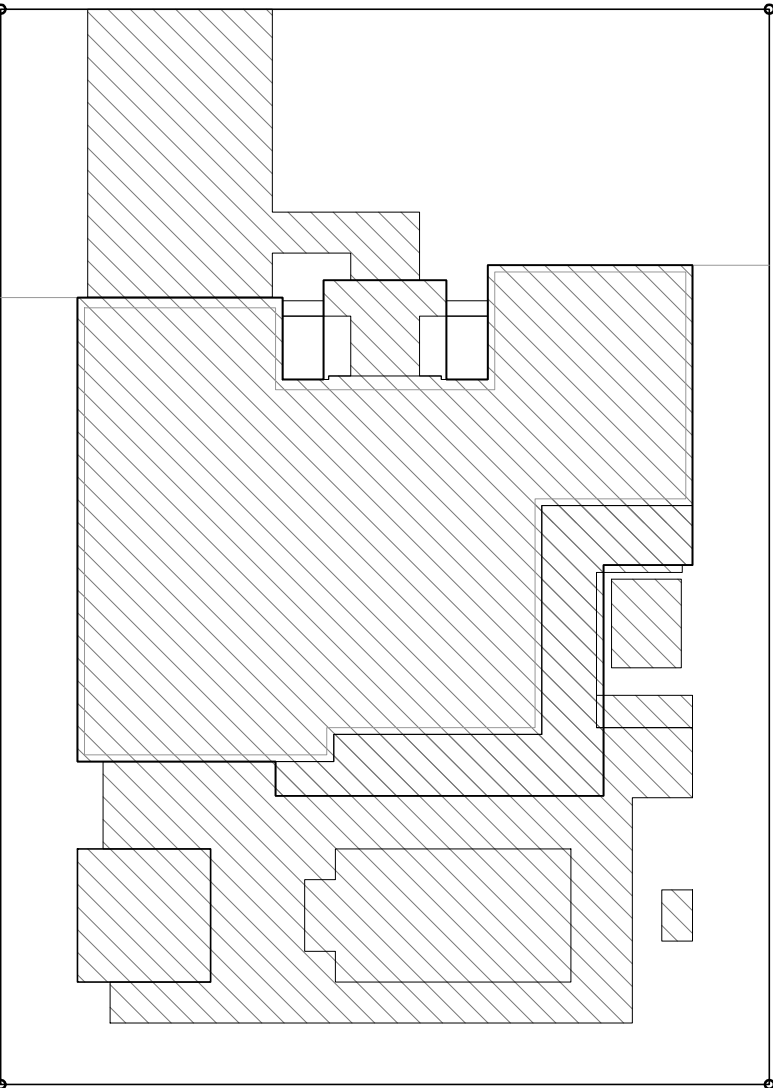
GROUP R - RESIDENTIAL AS PER FBC 2014



LOT SIZE : 7,880 SF



MINIMUM GREEN SPACE REQUIRED : 40% = 3,152 SF
GREEN SPACE PROPOSED : 41% = 3,249 SF

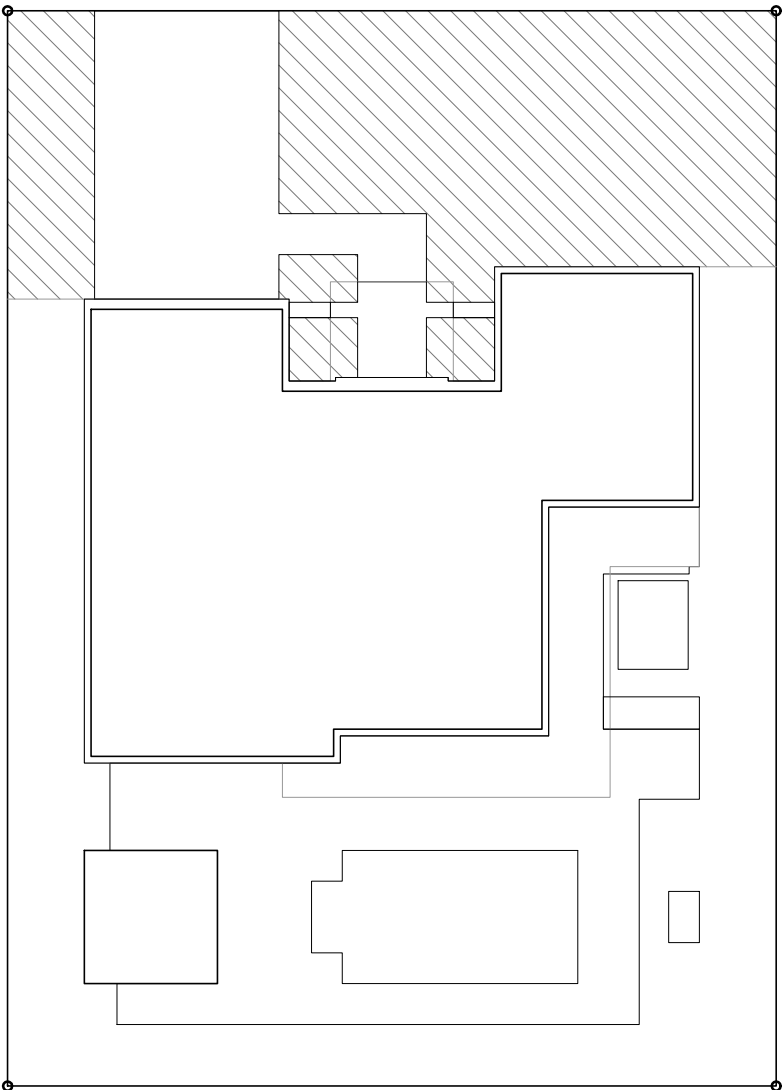


COVERED AREAS:

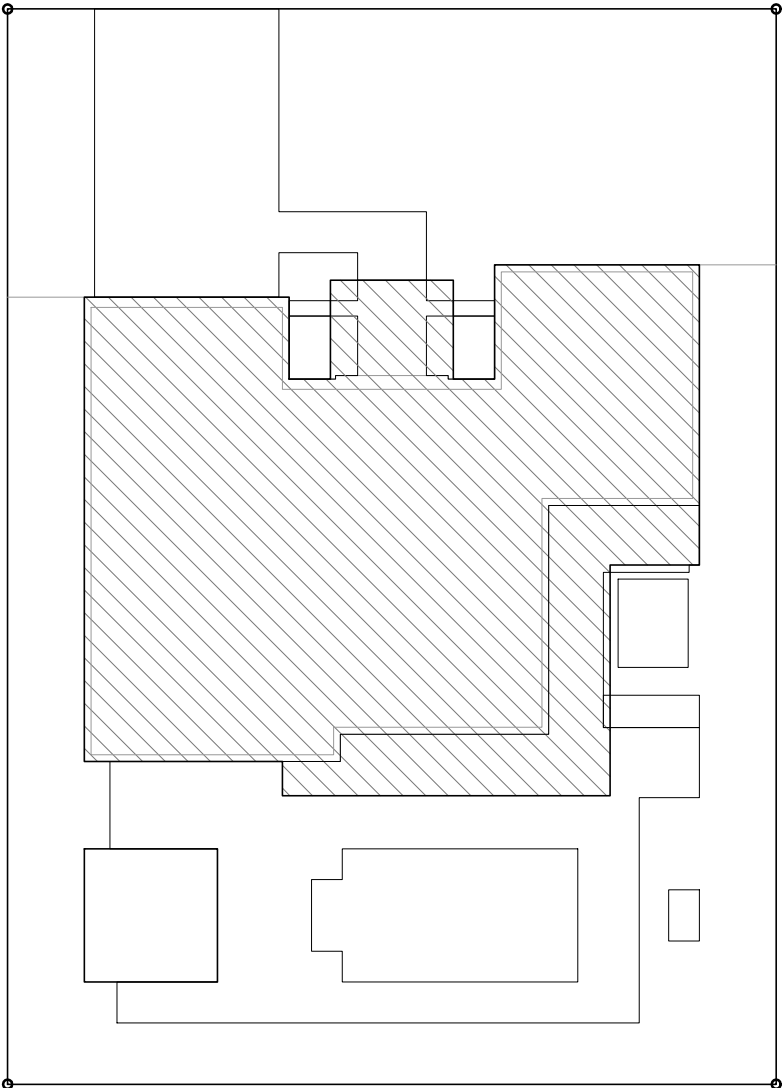
MAIN HOUSE
GARAGE
PORCH
COVERED REAR GALLERY
GAZEBO

1,752SF
453 SF
81 SF
362 SF
169 SF

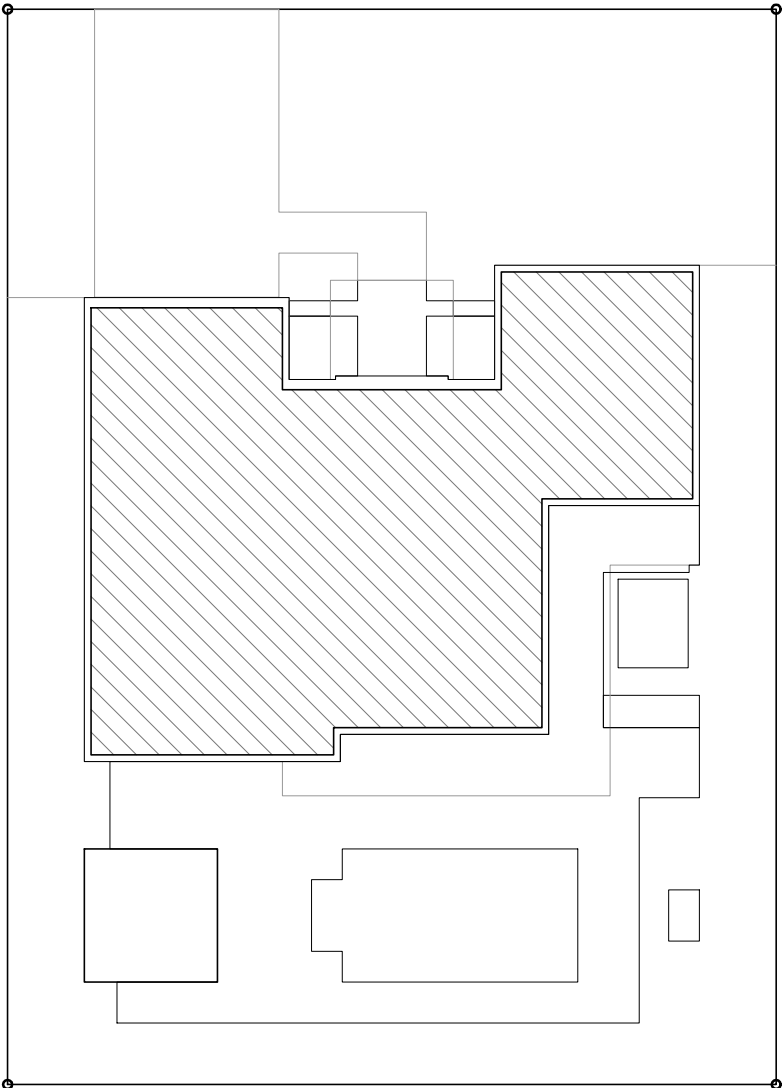
COVERED AREAS
2,817 SF = 36%



FRONT YARD PROVIDED: 1,518 SF = 19 %



MAXIMUM BUILDING GROUND (LOT) COVERAGE : 35% = 2,758 SF
BUILDING COVERAGE PROPOSED : 34% = 2,681 SF



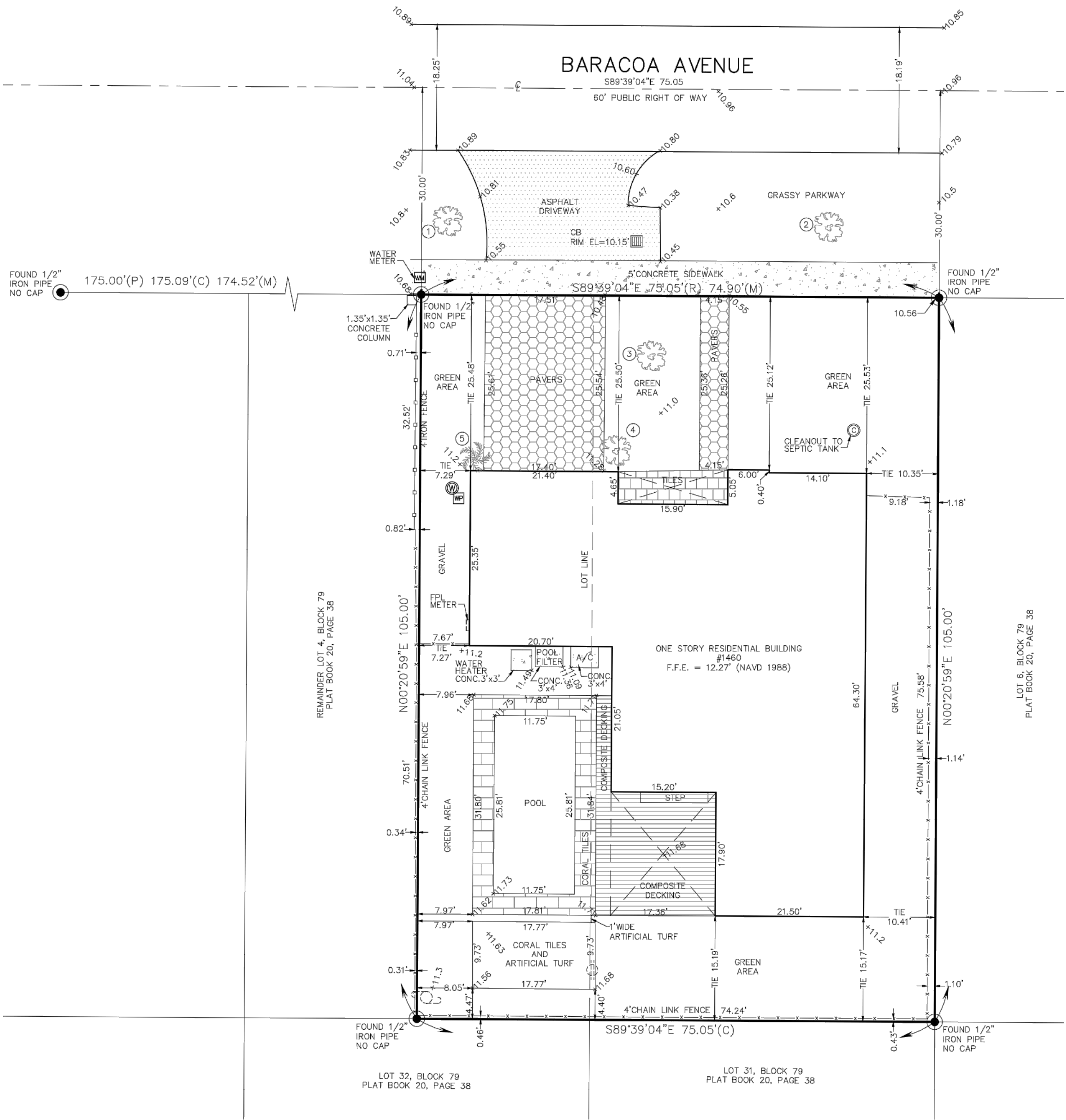
PROPOSED BUILDING FAR: 44%

AIR CONDITIONED AREAS:

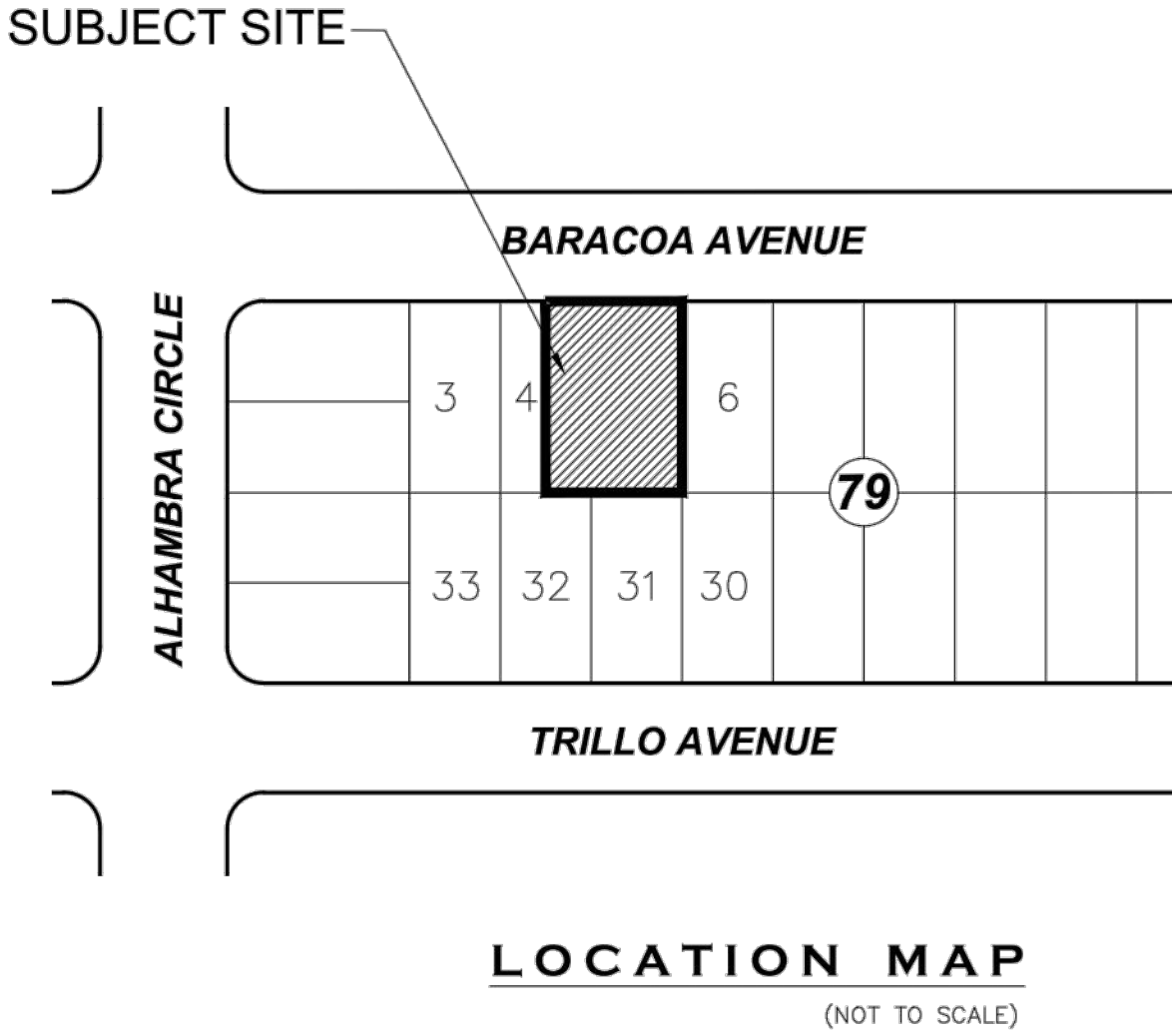
FIRST FLOOR = 2,036 SF
2ND FLOOR = 1,370 SF

TOTAL A/C AREA
3,406 SF

BOUNDARY SURVEY
SECTION 19, TOWNSHIP 54 SOUTH, RANGE 41 EAST
MIAMI-DADE COUNTY, FLORIDA



TREE TABULATION				
NUMBER	COMMON NAME	DIAMETER (INCHES)	HEIGHT (FEET)	SPREAD (FEET)
1	BLACK OLIVE	19	35	35
2	BLACK OLIVE	35	45	50
3	GUMBO LIMBO	12	20	25
4	JAZMINE	6	6	6
5	(2) ROBELLINI PALM	4	10	6



LEGAL DESCRIPTION:
THE EAST 1/2 OR LOT 4 AND ALL OR LOT 5, IN BLOCK 79, OF CORAL GABLE RIVIERA SECTION PART FIVE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 20, PAGE 38, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

- SURVEYOR'S NOTES:**
- The above captioned property was surveyed and described based on the above legal description furnished by client.
 - This certification is only for the lands as described, it is not a certification of Title, Zoning, Easements, or Freedom of Encumbrances, ABSTRACT NOT REVIEWED.
 - There may be additional restrictions not shown on this survey that may be found in the Public Records of this County. Examination of ABSTRACT OF TITLE will have to be made to determine recorded instruments, if any affecting this property.
 - Ownership subject to OPINION OF TITLE.
 - Type of Survey: BOUNDARY SURVEY
 - Unless otherwise noted, this Firm has not attempted to locate Footings and/or Foundations (underground).
 - This BOUNDARY SURVEY, has been prepared for the exclusive use of the entities named hereon. The Certificate does not extend to any unnamed party.
 - All dimensions are in substantial agreement unless otherwise noted.
 - Bearings shown are assumed and are based on the Centerline of Baracoa Avenue being S89°39'04"E.
 - All elevations are referred to the North American Vertical Datum of 1988
 - Horizontal accuracy statement: The horizontal accuracy obtained for all horizontal control measurements and office calculations of closed geometric figures, meets or exceeds the Standards of Practice as set forth by the Florida Board of Professional Surveyors and Mappers as contained in Chapter 5J-17.051(2)(b) Florida Administrative Code for Suburban Linear: 1 foot in 7,500 feet.
 - Vertical accuracy statement: Elevations as shown are based on a closed level loop to the benchmarks noted, and meets or exceeds the Standards of Practice as set forth by the Florida Board of Professional Surveyors and Mappers as contained in Chapter 5J-17.051(2)(a), of a closure in feet of plus or minus 0.05 feet times the square root of the distance in miles for vertical accuracy.
 - Bench Mark information:
Bench Mark #1: UM-1 Elevation: 14.13' NGVD 1929 DATUM SHIFT= (-) 1.552 Elevation= 12.58' NAVD 1988
Location #1: San Amaro Dr --- 94' East of Centerline
#2: Robbia Ave --- 20' North of Centerline
Description: PK Nail & brass washer in concrete median of parking lot gate arms
Bench Mark #2: CG-12 Elevation: 17.65' NGVD 1929 DATUM SHIFT= (-) 1.552 Elevation= 16.10' NAVD 1988
Location #1: San Amaro Dr --- On Centerline looking South
#2: Certosa Ave --- 25.5' South of Centerline
Description: PK Nail & aluminum washer in concrete curb of planter circle
 - Regarding the "COMMON NAME" of trees, as expressed below, the undersigned has no expertise in the identification of tree species and therefore strongly urges the client to seek the expertise of an arborist licensed in the state of Florida, solely regarding tree species. Said information is being provided, as requested by client.

SURVEYORS CERTIFICATE:
I hereby certify that this "BOUNDARY SURVEY" is true and correct to the best of my knowledge and belief as surveyed and drawn under my responsible direction, and that the survey meets the "Standards of Practice" as set forth in Chapter 5J-17.051 through 5J-17.052, Florida Administrative Code, pursuant to Section 472.027, of the Florida Statutes.

CERTIFIED TO:
TO: MARTHA B. & RENE J. GUTIERREZ

NATIONAL FLOOD INSURANCE PROGRAM:
CITY OF CORAL GABLE, FLORIDA
COMMUNITY NUMBER: 120639
PANEL NUMBER: 0456L
MAP REVISED: SEPTEMBER 11, 2009
FLOOD ZONE: X
BASE FLOOD ELEVATION: NOT APPLICABLE
FLOOD INSURANCE RATE MAP NUMBER: 12086C0456L

- LEGEND AND ABBREVIATION:**
- A/C = AIR CONDITIONER
CB = CATCH BASIN
(C) = CALCULATED
CONC. = CONCRETE
EL = ELEVATION
F.F.E. = FINISHED FLOOR ELEVATION
LB = LICENSED BUSINESS
(M) = MEASURED
NAVD 1988 = NORTH AMERICAN VERTICAL DATUM OF 1988
PK NAIL = PARKER-KALON NAIL
PSM = PROFESSIONAL SURVEYOR & MAPPER
(R) = RECORD
- = CATCH BASIN
 = CENTER LINE
 = CLEAN OUT
 = ELECTRIC OUTLET
 = WATER METER
 = WATER PUMP
 = WATER WELL
 = WOOD UTILITY POLE

DATE: 2020.10.02
15:01:27 -04'00'

REVISIONS:
1. 10/2/2020
2. 10/2/2020
3. 10/2/2020
4. 10/2/2020
5. 10/2/2020
6. 10/2/2020
7. 10/2/2020
8. 10/2/2020
9. 10/2/2020
10. 10/2/2020

CERTIFICATION:
Scott J Perkins
Perkins

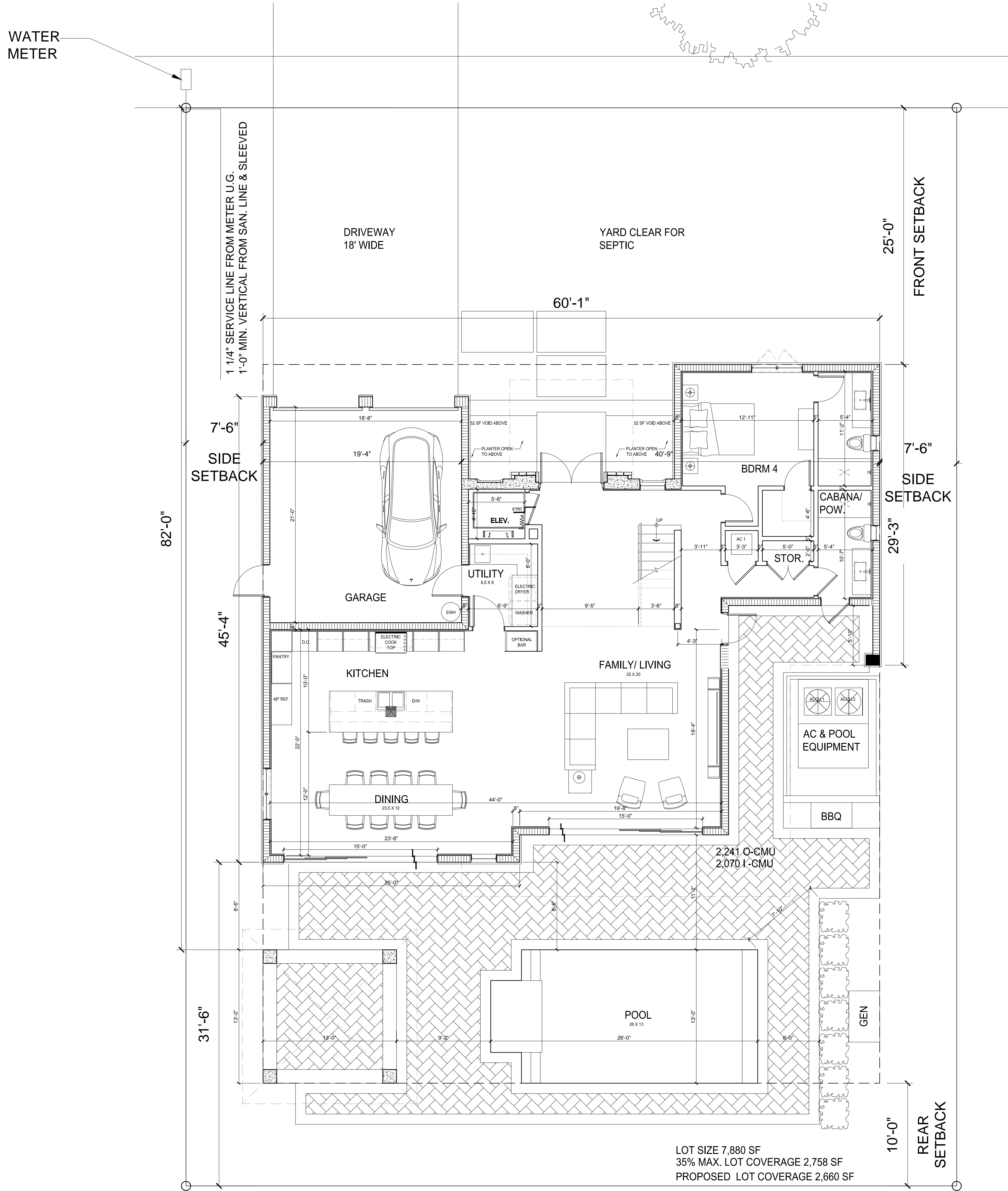
BY: SCOTT J. PERKINS, PSM#5686
STATE OF FLORIDA
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY SCOTT J. PERKINS P.S.M. 5686 ON 10/2/2020

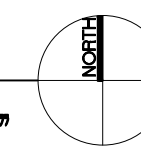
FIELD BOOK: 20-05
DRAWN: ER
CHECKED: SJP
SCALE: 1"=10'

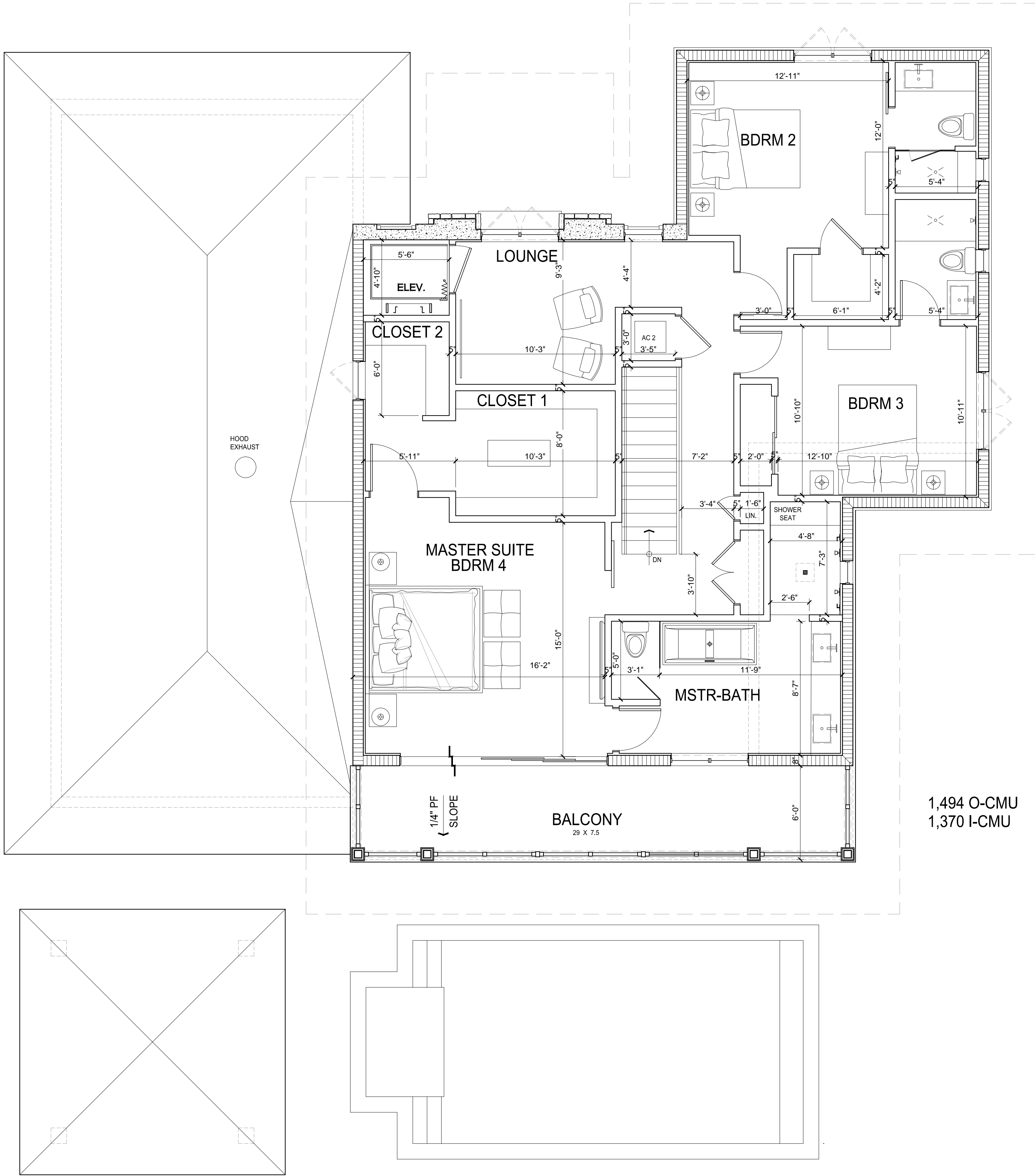
ROBAYNA AND ASSOCIATES INC.
ENGINEERS - PLANNERS - SURVEYORS
5723 NW 158th STREET
MIAMI LAKES, FL 33014
PH (305) 823-9316 LB. # 5004

BOUNDARY SURVEY
PROJECT: 1460 BARACOA AVENUE CORAL GABLES, FL 33146
PREPARED FOR: RENE GUTIERREZ

SHEET: 1
OF 1 SHEETS
DATE: 10/02/2020
DWG: 10/01/2020
F.W.
PROJ. No: 200088



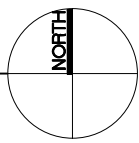




PROPOSED 2 ND FLOOR PLAN

SCALE:

1/4" = 1'-0"



SHEET

COMM. NO.: 002031-00
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CHECKED BY: HR

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NEW RESIDENCE FOR:

REVISION NO. DATE COMMENTS

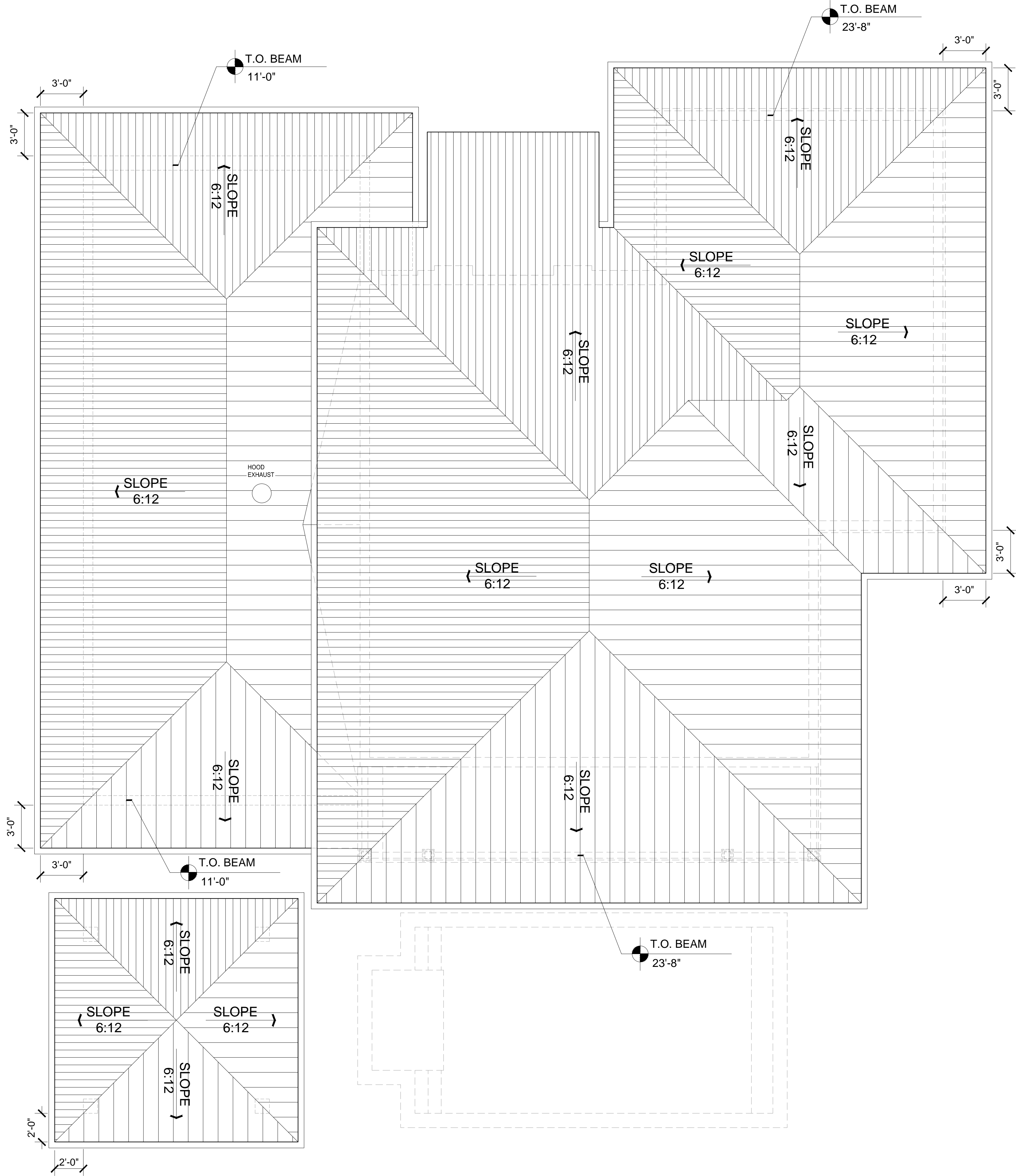
HAMED RODRIGUEZ ARCHITECT INC.

A2.2

Gutierrez Residence
1460 Baracoa Ave, Coral Gables, FL 33146

HAMED RODRIGUEZ ARCHITECT
ARCHITECT
AI 0000004

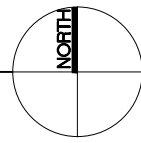
275 MANORCA AVE CORAL GABLES FL 33134
P 305.529.9967
www.hamedrodriguez.com



PROPOSED ROOF PLAN

SCALE:

1/4" = 1'-0"



SHEET

COMM. NO.:	002031-00
ISSUE DATE:	11-25-2020
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SCALE:	AS NOTED
DRAWN BY:	HR
CHECKED BY:	HR

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NEW RESIDENCE FOR:

Gutierrez Residence
1460 Baracoa Ave, Coral Gables, FL 33146

REVISION NO. DATE COMMENTS

HAMED RODRIGUEZ ARCHITECT INC.

A2.3

HAMED RODRIGUEZ ARCHITECT
ARCHITECT
AI 000004

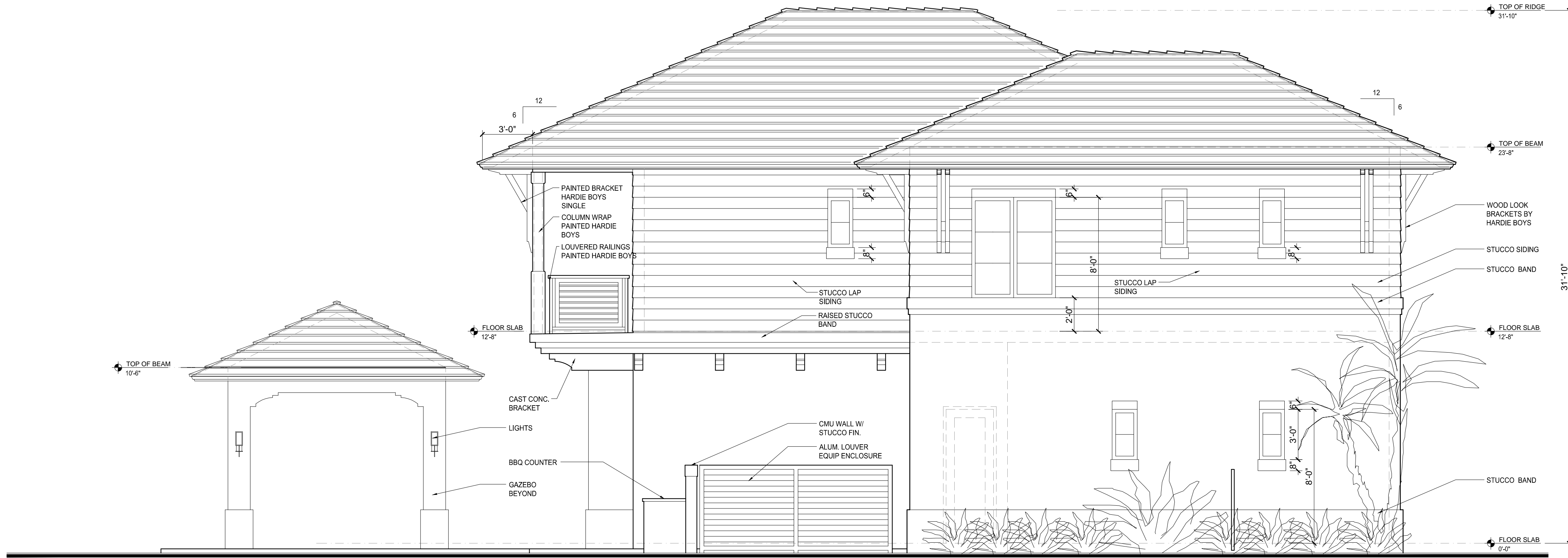
278 MANORCA AVE CORAL GABLES FL 33134
P 305.529.9967
www.hamedrodriguez.com



FRONT ELEVATION (NORTH)

SCALE: 1/4" = 1'-0"

1



SIDE ELEVATION (EAST)

SCALE: 1/4" = 1'-0"

2

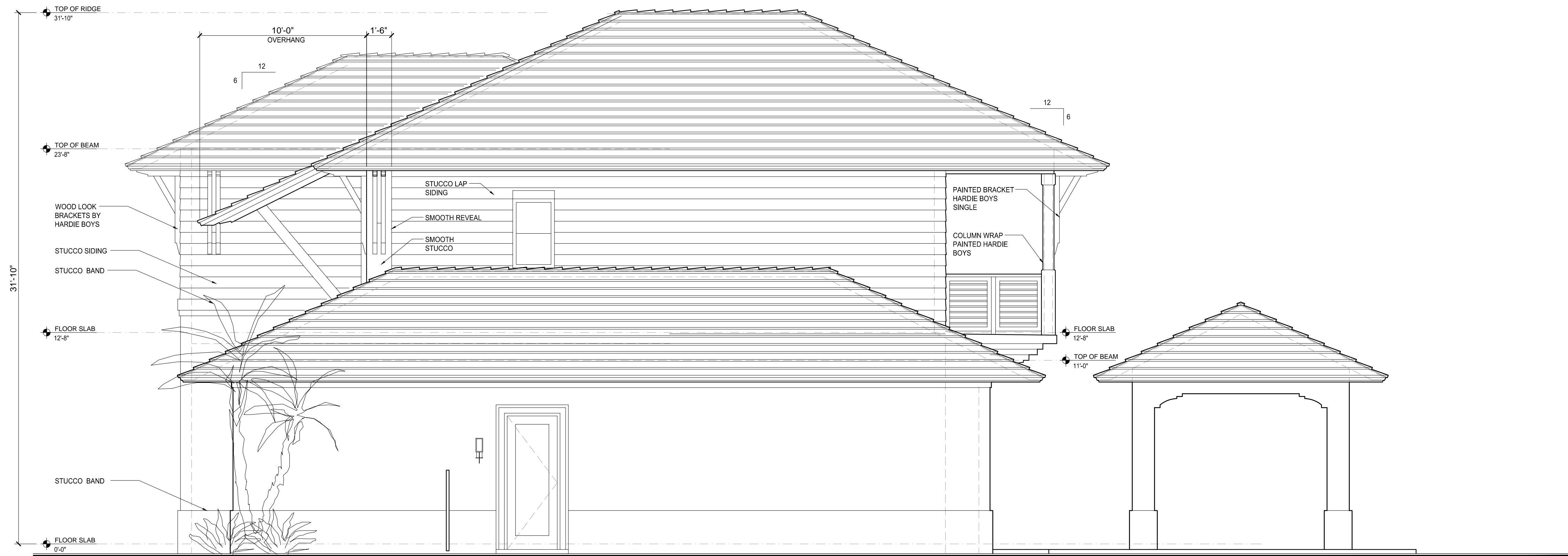


REAR ELEVATION (SOUTH)

SCALE:

$1/4' = 1'-0'$

3



SIDE ELEVATION (WEST)

SCALE:

1/4" = 1'-0"

4