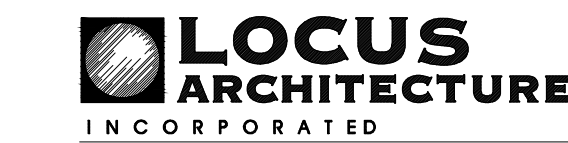


# HISTORICAL: REMODEL & ADDITIONS SOANE RESIDENCE

1104 Malaga Avenue, Coral Gables, FL 33134

## Project Team



500 South Dixie Highway, Suite 307  
Coral Gables, Florida 33146  
Tel: (305) 740-0120  
Email: nel@locusarchitecture.net  
License No. AA0002733

ARCHITECTURE

### Nicholas Soane

OWNER

1036 Andalusia Avenue  
Coral Gables, Florida 33134  
Tel.: 3472869284  
Email: nvsoane@gmail.com

### Torre Companies

CONTRACTOR

208 Andalusia Ave  
Coral Gables, FL 33134  
Tel: 305-442-9494  
Email: venny@torrecompanies.com

### Rochell Engineering

STRUCTURAL

1500 N.W. 89th Court, Suite 212  
Doral, FL 33172  
Tel.: (305) 649-4049  
Email: alex@rochell.us  
License No: 60735

### HL MARTIN, PA

LANDSCAPE ARCHITECT

5965 S.W. 38th Street  
Miami, FL 33155  
Tel.: (305) 790-4372  
Email: hlmartinlufu@bellsouth.net  
License No.: RL# 0001722 (LC#26000404)

### ENESU & Associates, Inc.

MEP

13818 SW 152nd Street, Suit. 302  
Miami, FL 33177  
Tel.: (786) 496 4295  
Email: egarcia@enesu.com  
License No. 28253

### SB Engineering, Inc.

SEPTIC SYSTEM

Sarima Batista  
Tel.: (305) 631-2145  
Email: sbenginc@gmail.com

## Drawing Contents

SHEET NO.	SHEET CONTENTS		
	SURVEY	S-9	SECTION 3 & 4
		S-10	DETAILS
		S-11	DETAILS
		S-12	DETAILS
		S-13	STRUCTURAL NOTES
	ARCHITECTURE		MECHANICAL
A-01.0	PROPOSED SITE PLAN AND ZONING INFORMATION	M-1	MECHANICAL PLAN, FIRST FLOOR
A-01.1	AREA DIAGRAMS AND CALCULATIONS	M-2	MECHANICAL PLAN, SECOND FLOOR
A-01.2	EXISTING AND DEMOLITION SITE PLAN	M-3	MECHANICAL NOTES, LEGEND AND SCHEDULES
A-01.3	ENLARGED SITE PLAN DETAIL	M-4	MECHANICAL DETAILS
A-01.4	SITE WALLS AND DETAILS		ELECTRICAL
A-02.0	EXISTING AND DEMOLITION FIRST FLOOR PLAN	E-01	ELECTRICAL SITE PLAN
A-02.1	EXISTING AND DEMOLITION SECOND FLOOR PLAN	E-02	LIGHTING PLAN, FIRST FLOOR
A-02.2	PROPOSED FIRST FLOOR PLAN	E-03	POWER PLAN, FIRST FLOOR
A-02.3	PROPOSED SECOND FLOOR PLAN	E-04	LIGHTING PLAN, SECOND FLOOR
A-03.0	PROPOSED FIRST FLOOR REFLECTED CEILING PLAN	E-05	POWER PLAN, SECOND FLOOR
A-03.1	PROPOSED SECOND FLOOR REFLECTED CEILING PLAN	E-06	ELECTRICAL PANEL SCHEDULES
A-04.0	EXISTING AND DEMOLITION ROOF PLAN	E-07	ELECTRICAL POWER RISER, CALCULATIONS AND NOTES
A-04.1	PROPOSED ROOF PLAN		PLUMBING
A-05.0	EXISTING, DEMOLITION AND PROPOSED FRONT ELEVATION	P-01	PLUMBING SITE PLAN
A-05.1	EXISTING, DEMOLITION AND PROPOSED REAR ELEVATION	P-02	SANITARY PLAN, FIRST FLOOR
A-05.2	EXISTING, DEMOLITION AND PROPOSED EAST ELEVATION	P-03	WATER PLAN, FIRST FLOOR
A-05.3	EXISTING, DEMOLITION AND PROPOSED WEST ELEVATION	P-04	WATER PLAN, FIRST FLOOR
A-05.4	PROPOSED PARTIAL ELEVATIONS (LOGGIA AND GARAGE)	P-05	GAS PARTIAL PLAN, FIRST FLOOR AND GAS RISER
A-05.5	PROPOSED BUILDING SECTIONS	P-06	WATER AND SANITARY PLAN, SECOND FLOOR
A-06.0	WALL SECTION 1 & 2	P-07	ROOF PLAN
A-06.1	WALL SECTION 3 & 4	P-08	PLUMBING SCHEDULES AND DETAILS
A-06.2	WALL SECTION 5	P-09	PLUMBING GENERAL NOTES, SCHEDULES AND DETAILS
A-06.3	WALL SECTION 6		LANDSCAPE
A-07.0	DOOR SCHEDULE AND DETAILS	L-01.0	LANDSCAPE PLAN
A-07.1	WINDOW SCHEDULE AND DETAILS	L-01.1	NOTES, DETAILS & LEGEND
A-08.0	DETAILS	L-01.2	TREE SURVEY/DISPOSITION PLAN
	STRUCTURAL	L-01.3	TREE DISPOSITION & PROTECTION
S-0	SITE WALL PLAN	L-01.4	GRADING PLAN
S-0A	PARTIAL SITE WALL ELEVATION	L-01.4	IRRIGATION PLAN
S-1	FOUNDATION & GROUND FLOOR PLAN		SEPTIC
S-2	SECOND FLOOR PLAN	SP-1	SEPTIC SYSTEM SITE PLAN
S-3	ROOF FRAMING PLAN		
S-4	ELEVATIONS: WINDOW PRESSURES		
S-5	ELEVATIONS: WINDOW PRESSURES		
S-6	ELEVATIONS: WINDOW PRESSURES		
S-7	SCHEDULE & DETAILS		
S-8	SECTION 1 & 2		



HISTORICAL PHOTO, 1920'S

**COA HISTORICAL SUBMITTAL (MASTER PLAN): 02-06-23**

**BOA SUBMITTAL: 12-21-23**

**COA HISTORICAL SUBMITTAL (REMODEL & ADDITIONS): 02-26-24**

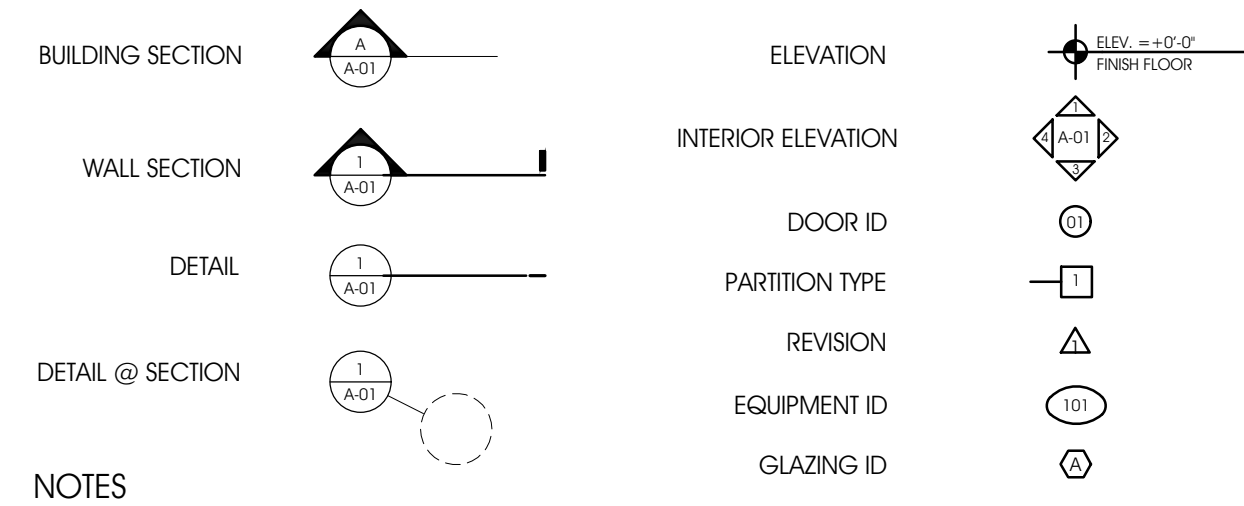
**PERMIT SUBMITTAL: 10-28-2023**

**PERMIT SUBMITTAL REV 3: 01-27-2025**

**GENERAL NOTES**

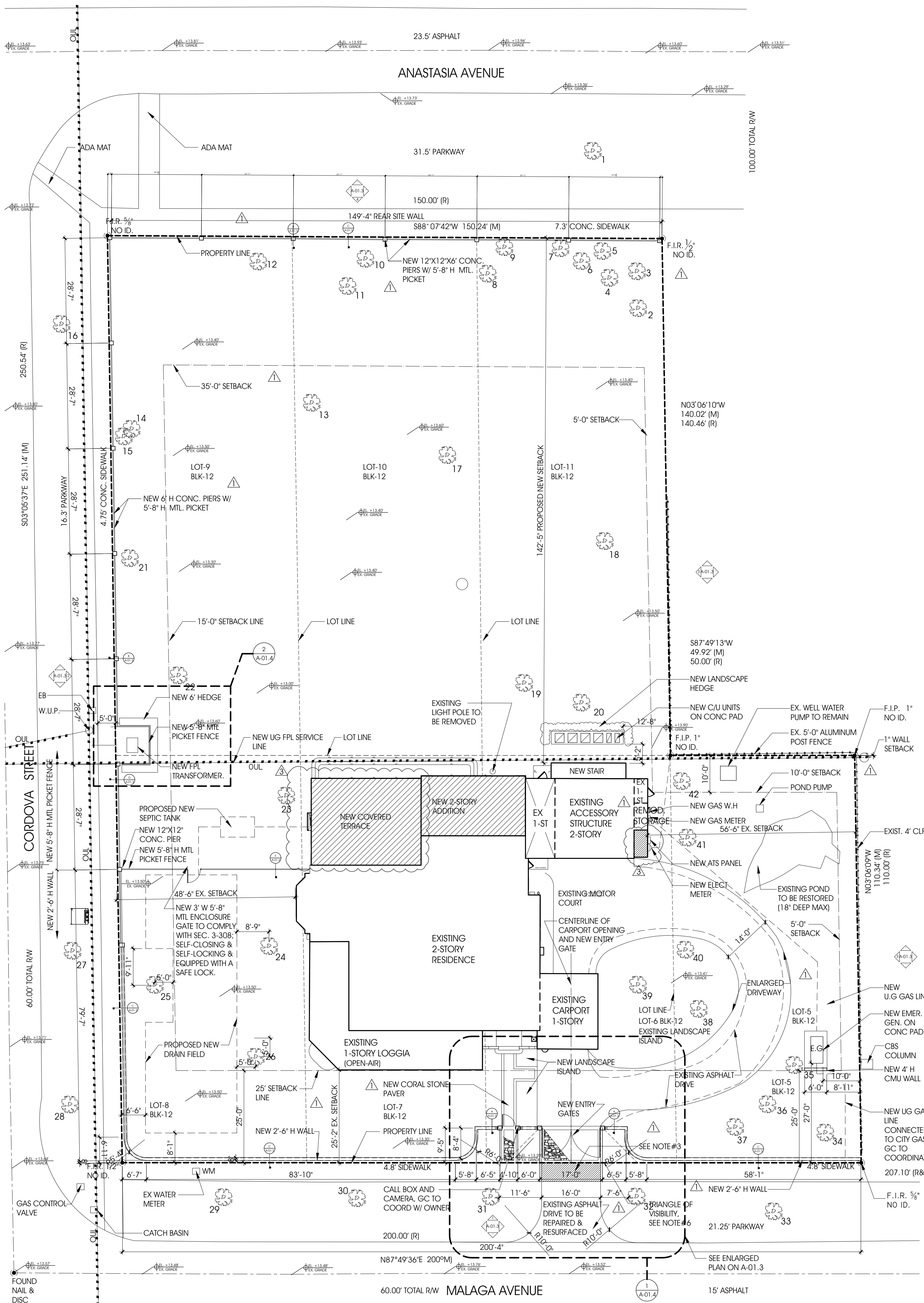
- A. THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT OF RECORD.
- B. THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUBCONTRACTORS. THE OWNER MAY ELECT TO CONTRACT DIRECTLY WITH A SUBCONTRACTOR FOR ANY PART OF THE WORK.
- C. THESE DRAWINGS PROVIDE FOR THE LABOR, MATERIAL, EQUIPMENT AND SUPERVISION BY THE CONTRACTOR FOR A COMPLETE LOCK AND KEY JOB WITH THE ITEMS SPECIFICALLY NOTED FURNISHED BY THE CONTRACTOR OR AS AN ALLOWANCE. THE WORK SHALL BE EXECUTED IN A THOROUGH, SUBSTANTIAL AND NEAT MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS.
- D. IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT OF RECORD IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- E. ALL WORK SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE FLORIDA RESIDENTIAL BUILDING CODE 7TH ED (2020) AND ALL AUTHORITIES HAVING JURISDICTION.
- F. AIA DOCUMENT A-105 (2020) GENERAL CONDITIONS OF THE CONTRACT IS HEREBY MADE A PART OF THESE DRAWINGS AND SPECIFICATIONS.
- G. THE CONTRACTOR SHALL DETERMINE THE SEQUENCE OF CONSTRUCTION ITEMS, AS WELL AS THOSE PROVIDED FOR BY SEPARATE PERMIT. THE CONTRACTOR SHALL ARRANGE FOR INSPECTION AND TESTS AS SPECIFIED OR REQUIRED BY THE BUILDING DEPARTMENT AND SHALL PAY ALL FEES AND COSTS FOR SAME. THE CONTRACTOR SHALL SECURE ALL BUILDING PERMITS AND UPON COMPLETION OF THE PROJECT (PRIOR TO FINAL PAYMENT) DELIVER TO THE OWNER A CERTIFICATE OF OCCUPANCY OR USE FROM THE BUILDING AND ZONING DEPARTMENT.
- H. THE BID PRICES SHALL INCLUDE EVERYTHING NECESSARY OR PROPER FOR PERFORMING AND COMPLETING THE WORK REQUIRED AS INDICATED BY THE PLANS AND SPECIFICATIONS, TO PROVIDE FINISHED WORK. ANYTHING OMITTED THEREFROM WHICH IS CLEARLY NECESSARY FOR THE COMPLETION OF THE WORK OR ITS APPURTENANCE SHALL BE CONSIDERED A PORTION OF THE WORK ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS.
- I. INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW, AND PUBLIC LIABILITY SHALL BE CARRIED BY THE CONTRACTOR.
- J. AFTER THE AWARD OF THE CONTRACT AND PRIOR TO START OF ANY WORK A PRE-WORK CONFERENCE WILL BE HELD BETWEEN THE CONTRACTOR, ARCHITECT, OWNER AND REPRESENTATIVES OF THE CONTRACTOR. THE TIME AND PLACE OF THIS CONFERENCE WILL BE SET BY THE OWNER. THE CONTRACTOR SHALL PREPARE A BRIEF WORK DESCRIPTION OF PROCEDURE TO BE USED IN THE PERFORMANCE OF THE WORK AND PROVIDE A SCHEDULE (BAR CHART) FOR THE PROJECT.
- K. BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL BE FAMILIAR WITH THE NATURE AND LOCATION OF THE WORK, THE GENERAL AND LOCAL CONDITIONS INCLUDING THOSE BEARING ON TRANSPORTATION, HANDLING AND STORAGE OF DEBRIS, ACCESS TO THE SITE, AND THE EQUIPMENT AND FACILITIES NEEDED TO PERFORM THE WORK.
- L. SCOPE OF WORK: THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, ELECTRICAL, PLUMBING AND HVAC.
- M. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SAFE ACCESS TO THE PREMISES AT ALL TIMES.
- N. ALL MATERIALS AND FINISHES SHALL BE AS SPECIFIED AND/OR AS SELECTED BY THE ARCHITECT, INTERIOR DESIGNER OR OWNER.
- O. THE CONTRACTOR SHALL ALLOW THE A/E TEAM A RESPONSE TIME OF 7 WORKING DAYS FOR RFIs AND 10 WORKING DAYS FOR SHOP-DRAWING REVIEWS.
- P. GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS, AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR REPAIRS. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.
- Q. AT COMPLETION, THE CONTRACTOR SHALL REMOVE FROM THE PREMISES ALL RUBBISH, IMPLEMENTS, EQUIPMENT, AND SURPLUS MATERIALS, LEAVING THE PROJECT "BROOM CLEAN".
- R. THE CONTRACTOR IS TO PROVIDE TO THE OWNER A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES.
- S. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT IS, AND SHALL BE, THE CONTRACTOR'S RESPONSIBILITY.
- T. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- U. PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIALS USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES.
- V. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING AT LEAST ONE WEEK PRIOR TO FINAL INSPECTION. THE CONTRACTOR IS TO PROVIDE THE OWNER WITH PARTIAL RELEASE OF LIEN FOR EACH PAYMENT, AND A FINAL RELEASE OF LIEN AT COMPLETION.
- W. FINAL DISBURSEMENT TO THE CONTRACTOR SHALL NOT BE MADE UNTIL THE OWNER'S PUNCH-LIST HAS BEEN SATISFIED.

**SYMBOLS KEY**

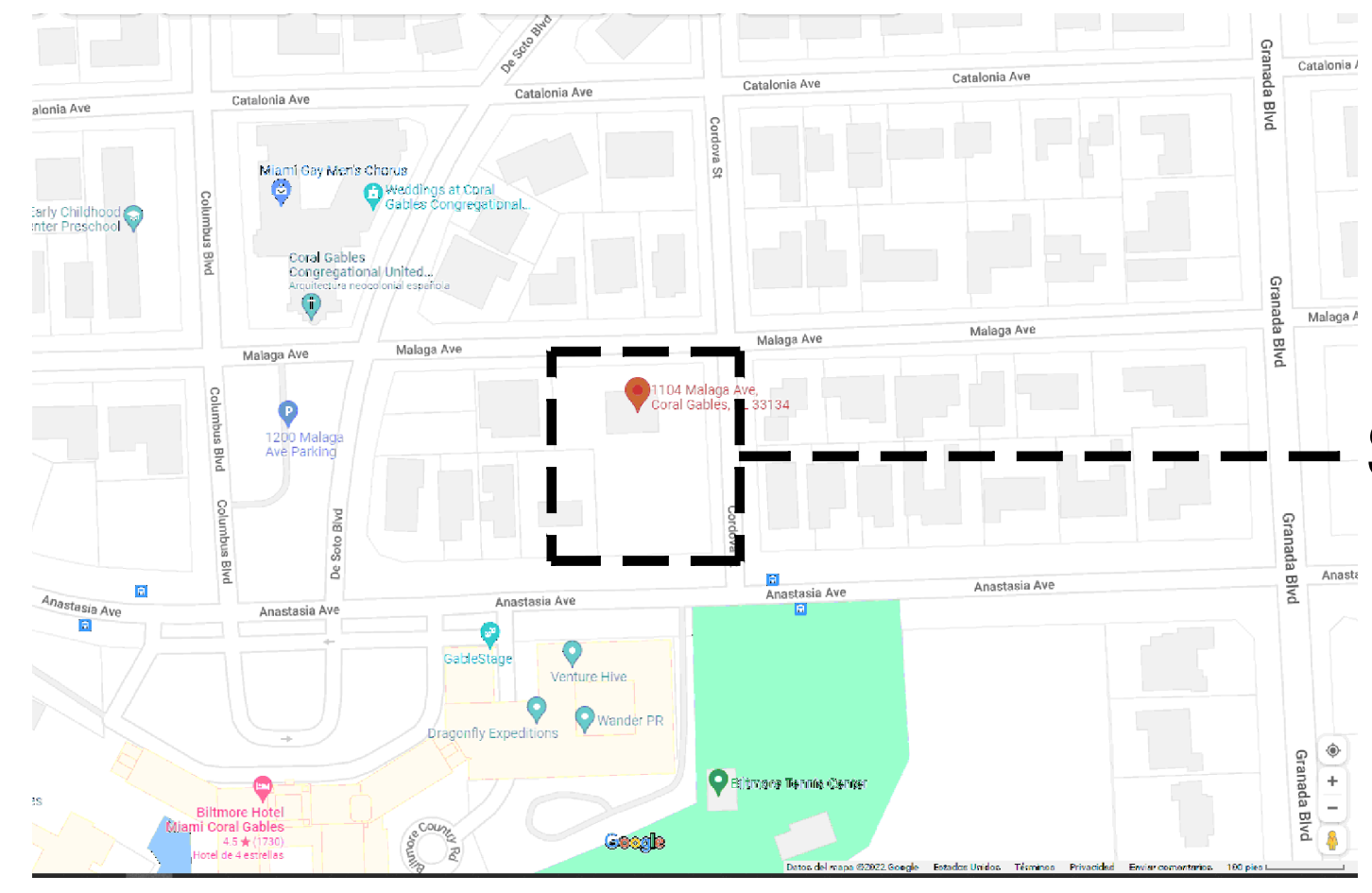


- NOTES**
1. ALL RAINWATER MUST BE RETAINED ON PROPERTY.
  2. LANDSCAPING WILL COMPLY WITH THE CITY OF CORAL GABLES LANDSCAPE REQUIREMENT ORD. 98-13 CHAPTER 18A. LANDSCAPING NOT ALLOWED TO GROW WITHIN TRIANGLE OF VISIBILITY BETWEEN A HEIGHT OF 30' AND 8'.
  3. NEW 6 INCHES REINFORCED CORAL GABLES BEIGE CONCRETE SIDEWALK REPLACEMENT AT NEW APPROACH AREA.
  4. FILL SHALL NOT BE BROUGHT UNTO SITE.
  5. SOIL TERMITE CONTROL: THE ENTIRE SOIL AREA TO BE COVERED BY FOOTINGS, SLABS, PORCHES, ETC... SHALL BE TREATED WITH FLUMISEAL OR EQUAL FOR TERMITES IN ACCORDANCE WITH SPECIFICATIONS. PROVIDE OWNER WITH A PRINTED GUARANTEE AGAINST SUBTERRANEAN TERMITES FOR 5 YEARS, AND OTHER TERMITES FOR 2 YEARS, FROM DATE OF COMPLETION.
  6. THE TRIANGLE OF VISIBILITY SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A HALF (2 1/2) FEET AND EIGHT (8) FEET ABOVE THE ESTABLISHED GRADE

**CODE:**  
FBC RESIDENTIAL 2020 7TH EDITION



**PROPOSED OVERALL SITE PLAN**  
SCALE: 1/16"=1'-0"



**LOCATION SKETCH**  
SCALE: NTS

**LEGAL DESCRIPTION**

LOTS 5 THROUGH 11, INCLUSIVE BLOCK 12, "CORAL GABLES COUNTRY CLUB SECTION, PART ONE, A SUBDIVISION", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 108, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

**SCOPE OF WORK**

THE WORK ENTAILS THE RESTORATION OF THE HOME TO ITS ORIGINAL CONDITION (AS FEASIBLY POSSIBLE), INTERIOR REMODELING INCLUDING PARTIAL DEMOLITION, RESTORATION OF ORIGINAL HISTORICAL ELEMENTS, NEW 2-STORY ADDITION AT REAR AND MEP UPGRADES, SITE WORK INCLUDES NEW SITE WALLS, GATES, LANDSCAPE UPGRADES AND NEW SCREEN ENCLOSED COVERED TERRACE WITH ROOFTOP DECK.

**ZONING INFORMATION**

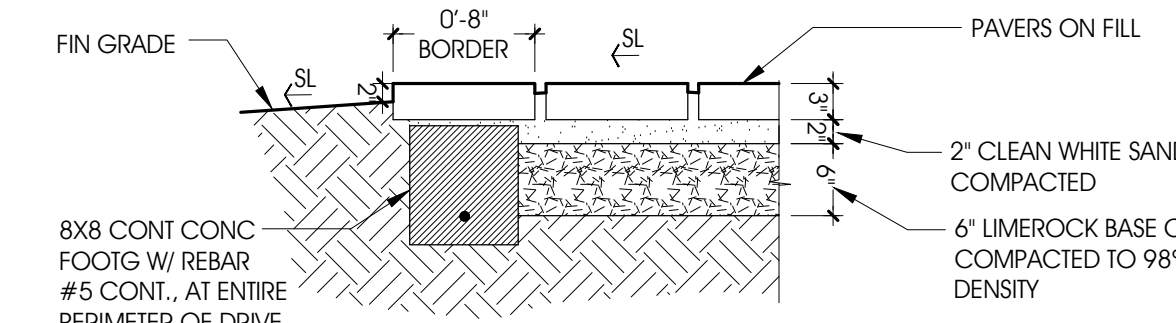
ZONED:	SFR
FLOOD ZONE:	X
LOT SIZE:	43,150 SF
CODE:	FBC 2020, RESIDENTIAL 7TH EDITION
FOLIO:	03-4118-003-1700

REQUIRED/ALLOWED	EXISTING/PROPOSED
F.A.R. ALLOWED	14,095 SF (48% FIRST 5,000 SF, 35% NEXT 5,000 SF, 30% REMAINING) 7,237 SF (PROPOSED)
LOT COVERAGE	15,102 SF MAIN HOUSE: MAX. 35% LOT 19,417 SF ACCESS STRUCTURES: MAX. 45% LOT 5,831 SF (PROPOSED) 5,831 SF (PROPOSED)
MIN. FLOOR ELEVATION	FROM 16" MIN / 30" MAX ABOVE EST. GRADE (LOWEST ADJACENT GRADE 13.50 NGVD) NEW PROPOSED = +1'-6" (+15.93' NGVD) TO MATCH EXISTING
GARAGE FLOOR	NO MORE THAN 6" ABOVE GRADE (14.02 NGVD EXISTING) (14.02 NGVD EXISTING)
HEIGHT ALLOWED	TWO STORIES OR 25'-0" MAX. FROM FINISHED FLOOR TO TOP OF TIE BEAM ON TOP FLOOR NEW PROPOSED = 23'-6" TO MATCH EXISTING
LANDSCAPE AREA REQUIRED	17,260 SF MIN. 40% LOT 3,452 SF MIN. 20% OF 40% AT FRONT YARD 34,437 SF (PROPOSED) 73% LOT 10,889 SF
FRONT YARD REQUIRED	

**SETBACK REQUIREMENTS**

REQUIRED/ALLOWED	EXISTING/PROPOSED
FRONT:	25'-0" (EXISTING)
SIDE: WEST (INTERIOR)	5'-0" (5'-0" MIN) MUST ADD UP 20% OF LOT = 200'-0" X 20% = (20' MAX TOTAL)
SIDE: EAST (STREET)	15'-0" (5'-0" MIN)
REAR:	10'-0" (EXISTING)

**AREA CALCULATIONS: TOTALS : SEE SHEET A-01.1**



**PAVER DETAIL: A**  
SCALE: 3/4"=1'-0"

**HISTORIC DEPARTMENT NOTES**

1. WINDOW/DOOR MUNTINS ARE TO BE HIGH-PROFILE / DIMENSIONAL.
2. WINDOW/DOOR GLASS TO BE CLEAR/NON-REFLECTIVE/NON-TINT.
3. HOUSE IS NOT TO BE RESTUCCOED IN ITS ENTIRETY.
4. EXISTING WINDOW SILLS ARE TO REMAIN.
5. WORK WITH STAFF ON ALL DECORATIVE DETAILS TO BE RESTORED (E.G. THE WOODEN SPINDLES, IRON WORK, LIGHT FIXTURES, ETC.) PRIOR TO FABRICATION. DETAILED DRAWINGS/SHOP DRAWINGS ARE TO BE SUBMITTED.

**LOCUS ARCHITECTURE INCORPORATED**  
500 South Dixie Highway, Suite 307  
Coral Gables, Florida 33146  
Tel: (305) 740-0120  
Email: locus@locusarchitecture.net

NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
	COA & CITY COMMENTS OWNER REVISION	04-22-24
	CITY COMMENTS	07-08-24
	BOA RESUBMITTAL	10-16-24
	BOA RESUBMITTAL	12-14-24
	OWNER REVISIONS	01-27-25

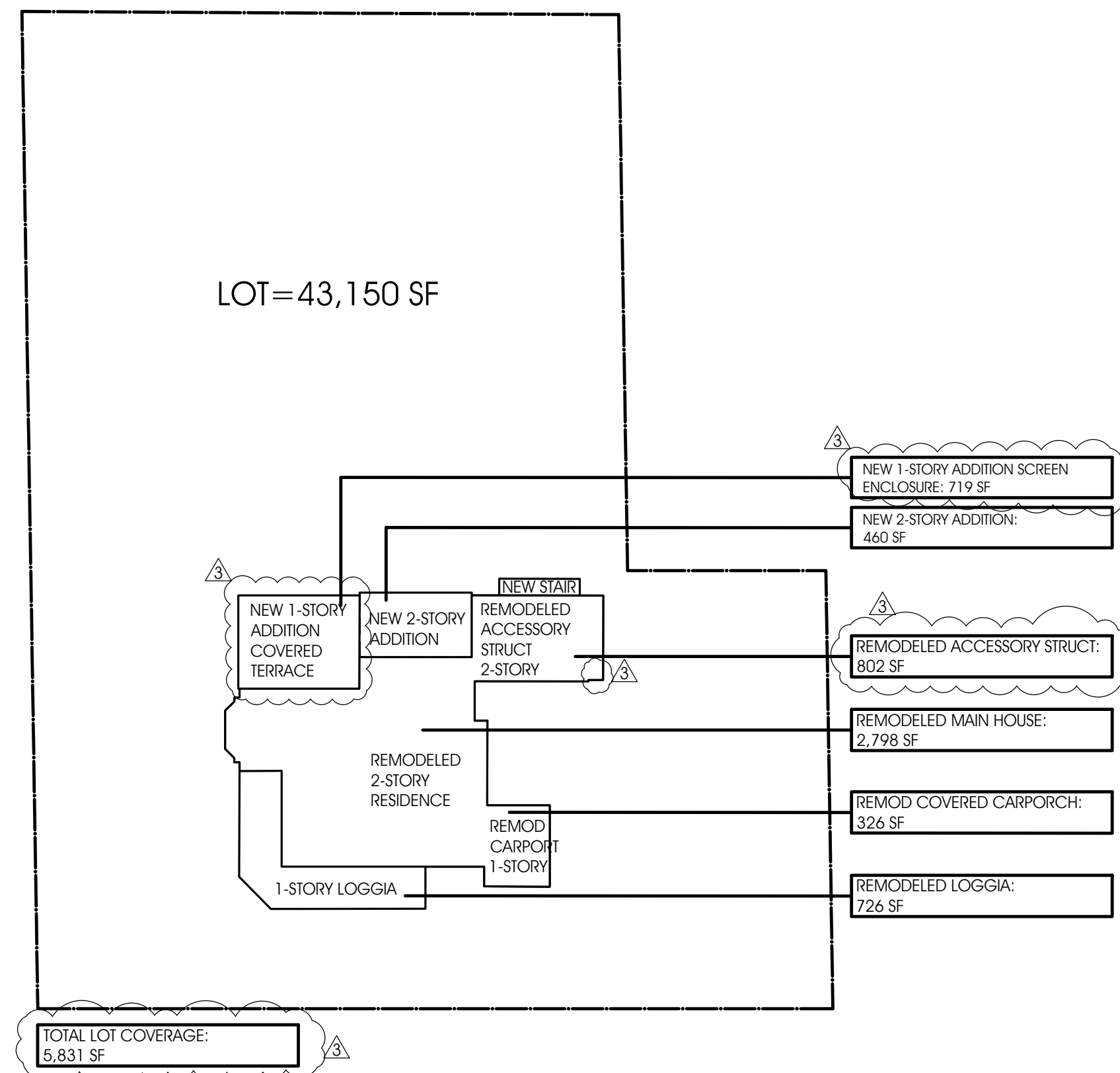
Historical: Remodel & Additions  
**Soane Residence**

1104 Malaga Avenue  
Coral Gables, FL 33134

DRAWING  
**Proposed Site Plan and Zoning Information**

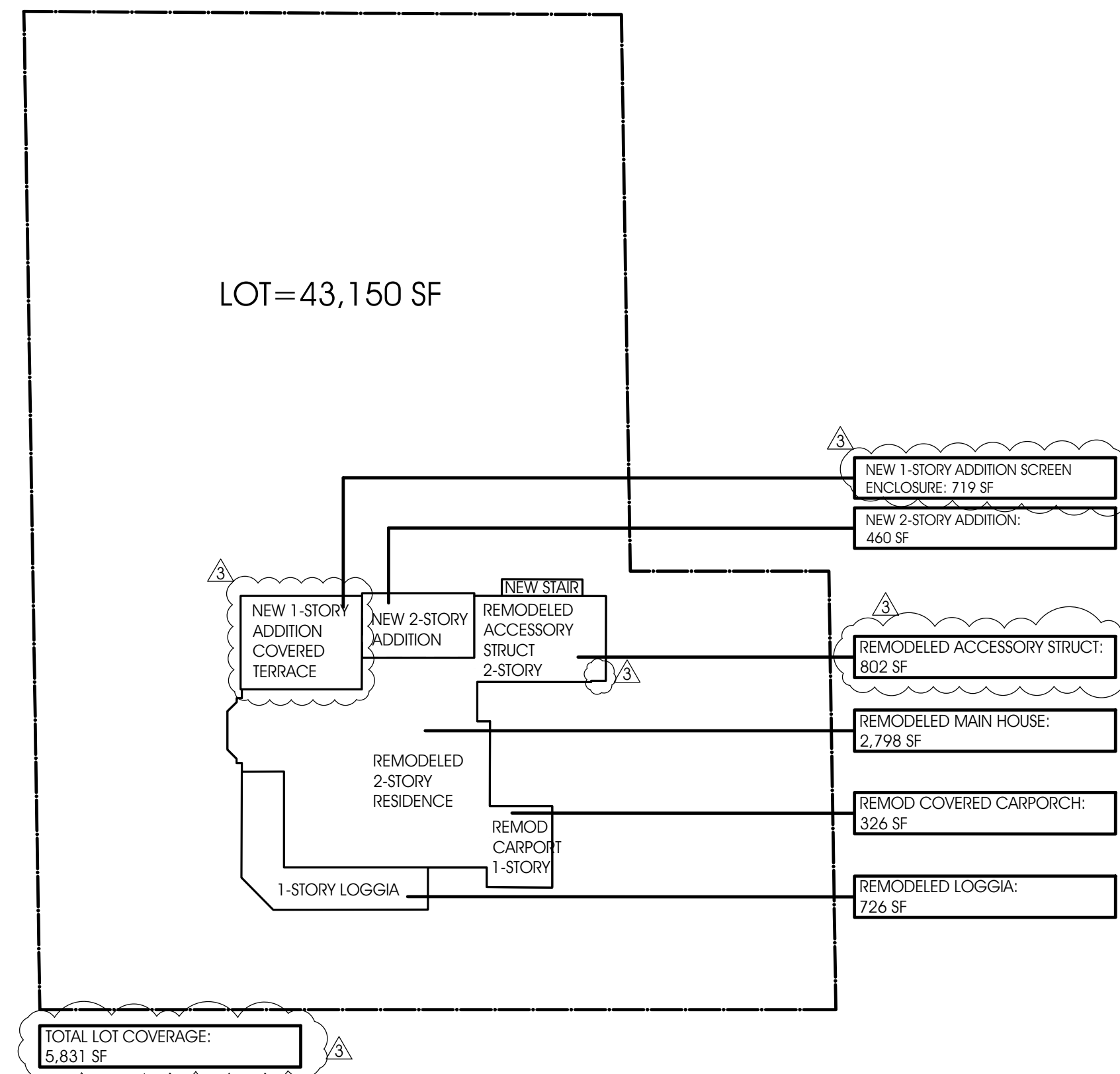
SEAL: [Professional Seal]  
SCALE: DRAWN, REVIEWED, PROJ. NO. AR 13937, SHEET NO. 326.02

**A-01.0**



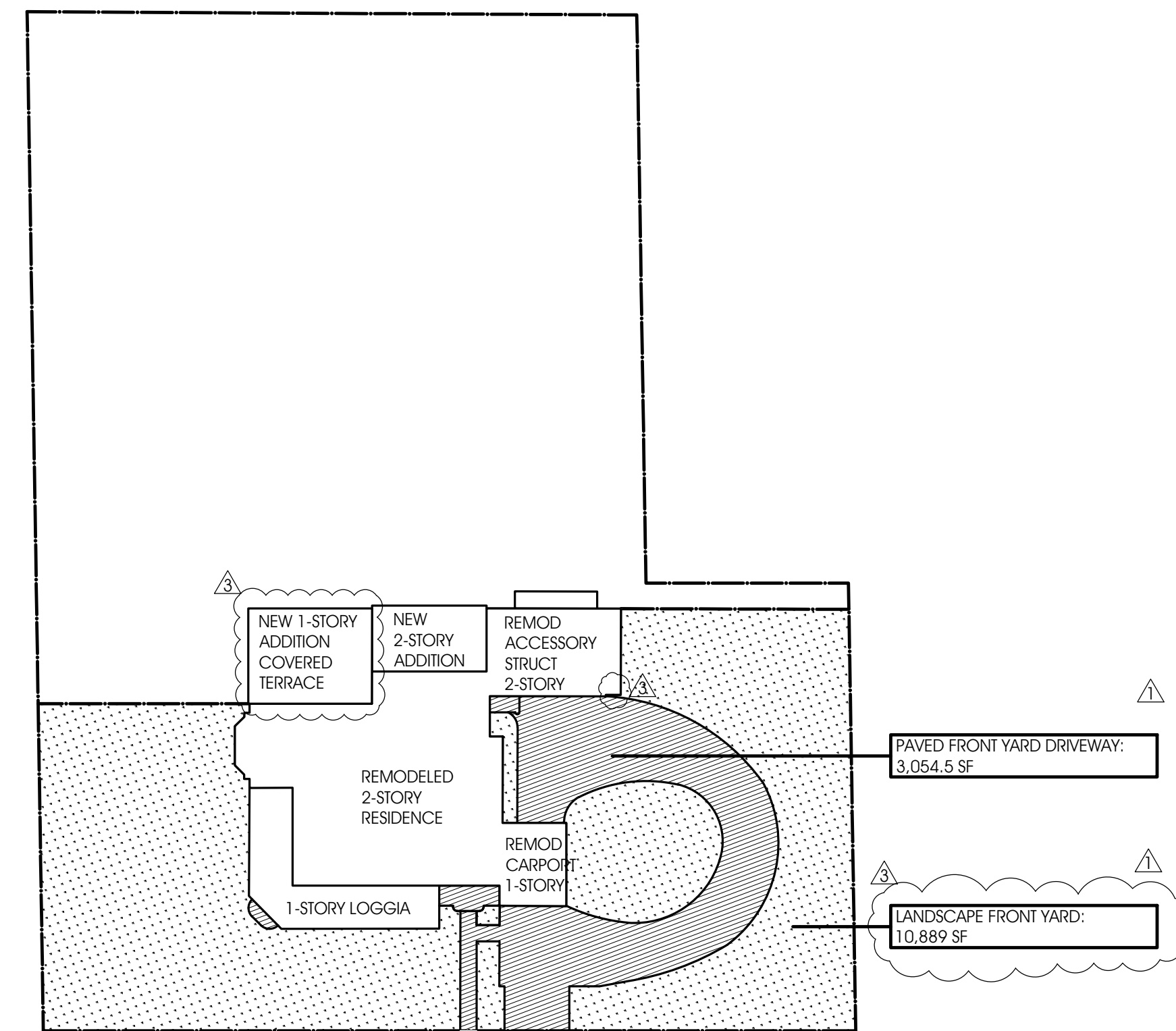
TOTAL LOT COVERAGE:  
5,831 SF

**LOT COVERAGE 45%**  
SCALE: 1/32" = 1'-0"

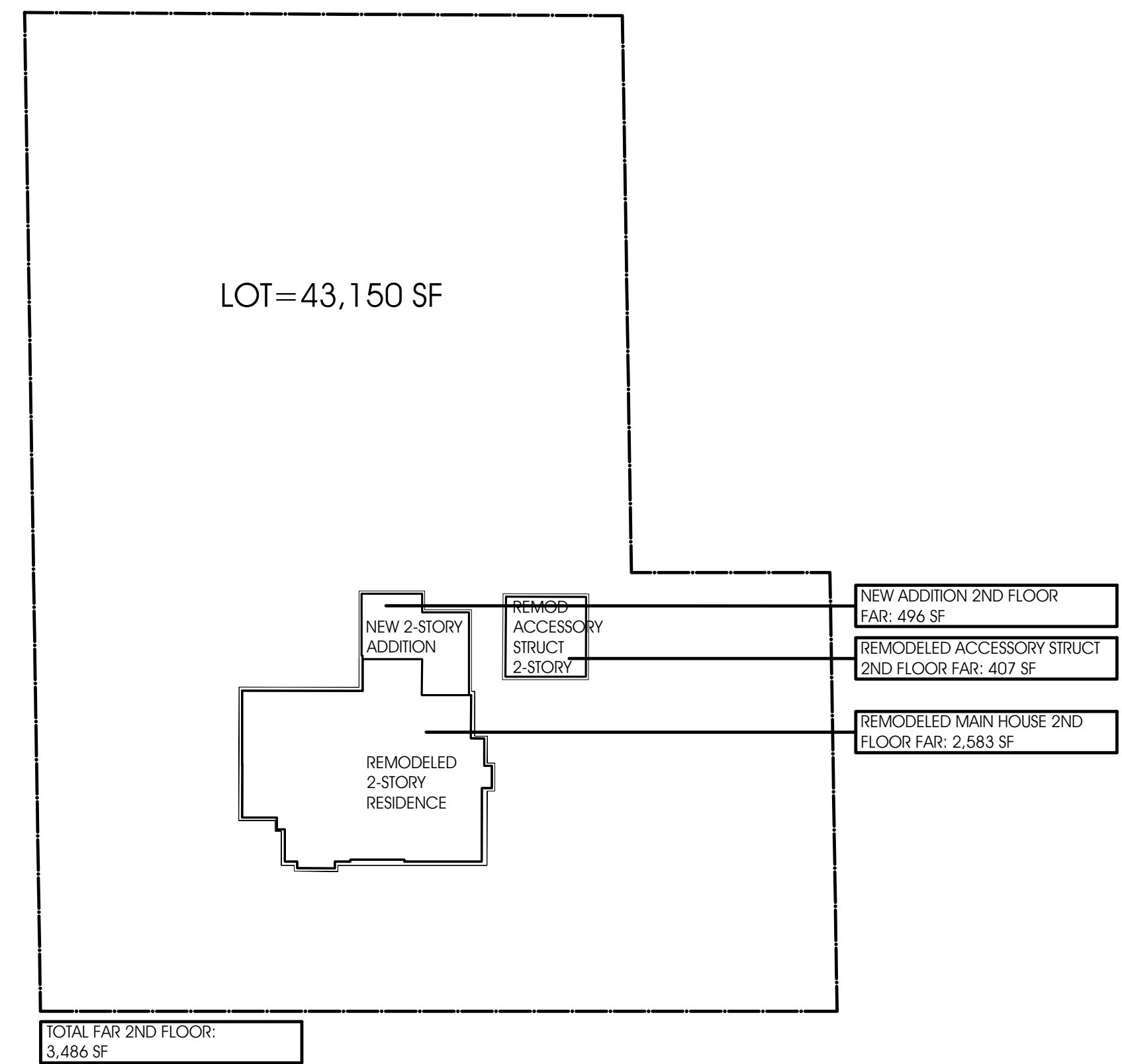


TOTAL LOT COVERAGE:  
5,831 SF

**LOT COVERAGE 35%**  
SCALE: 1/32" = 1'-0"

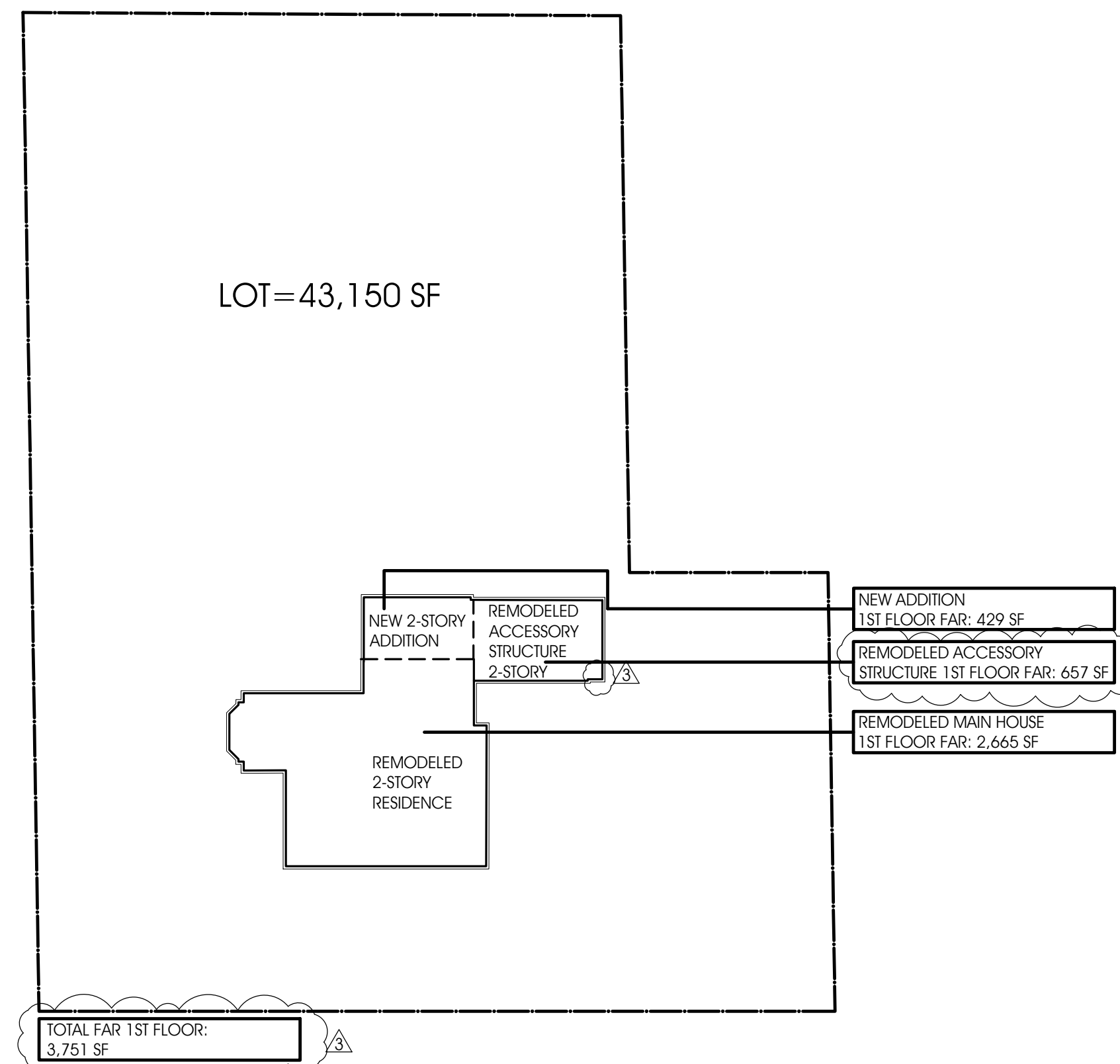


**LANDSCAPE AND PAVED AREAS**  
SCALE: 1/32" = 1'-0"



TOTAL FAR 2ND FLOOR:  
3,486 SF

**SECOND FLOOR FAR**  
SCALE: 1/32" = 1'-0"



TOTAL FAR 1ST FLOOR:  
3,751 SF

**FIRST FLOOR FAR**  
SCALE: 1/32" = 1'-0"

**AREA CALCULATIONS: TOTALS** LOT=43,150 SF

FAR CALCULATIONS	ALLOWED: 14,095 SF	1ST FLOOR	2ND FLOOR	PROPOSED
MAIN HOUSE		3,094 SF	3,079 SF	6,173 SF
GARAGE ACC. STR.		657 SF	407 SF	1,064 SF
<b>TOTALS</b>				<b>7,237 SF</b>

LOT COVERAGE CALCS: 35%	ALLOWED: 15,102 SF	PROPOSED
REMODELED LOGGIA		726 SF
REMODELED CARPORT		326 SF
REMODELED MAIN HOUSE		2,798 SF
REMODELED GARAGE ACCESSORY STRUCTURE		802 SF
NEW 2-STORY ADDITION		460 SF
NEW 1-STORY ADDITION SCREEN ENCLOSURE		719 SF
<b>TOTALS</b>		<b>5,831 SF</b>

LOT COVERAGE CALCS: 45%	ALLOWED: 19,417 SF	PROPOSED
REMODELED LOGGIA		726 SF
REMODELED CARPORT		326 SF
REMODELED MAIN HOUSE		2,798 SF
REMODELED GARAGE ACCESSORY STRUCTURE		802 SF
NEW 2-STORY ADDITION		460 SF
NEW 1-STORY ADDITION SCREEN ENCLOSURE		719 SF
<b>TOTALS</b>		<b>5,831 SF</b>

LANDSCAPE AREAS	REQUIRED: MIN: 17,260 SF	PROPOSED
LANDSCAPE: BACKYARD		23,548 SF
LANDSCAPE: FRONT YARD	REQUIRED: 3,452 SF	10,889 SF
<b>TOTALS</b>		<b>34,437 SF</b>

PAVED AREAS	PROPOSED
FRONT YARD: DRIVEWAY	2,567 SF
BACK YARD: ELEVATED OPEN TERRACE	568 SF
<b>TOTALS</b>	<b>3,135 SF</b>



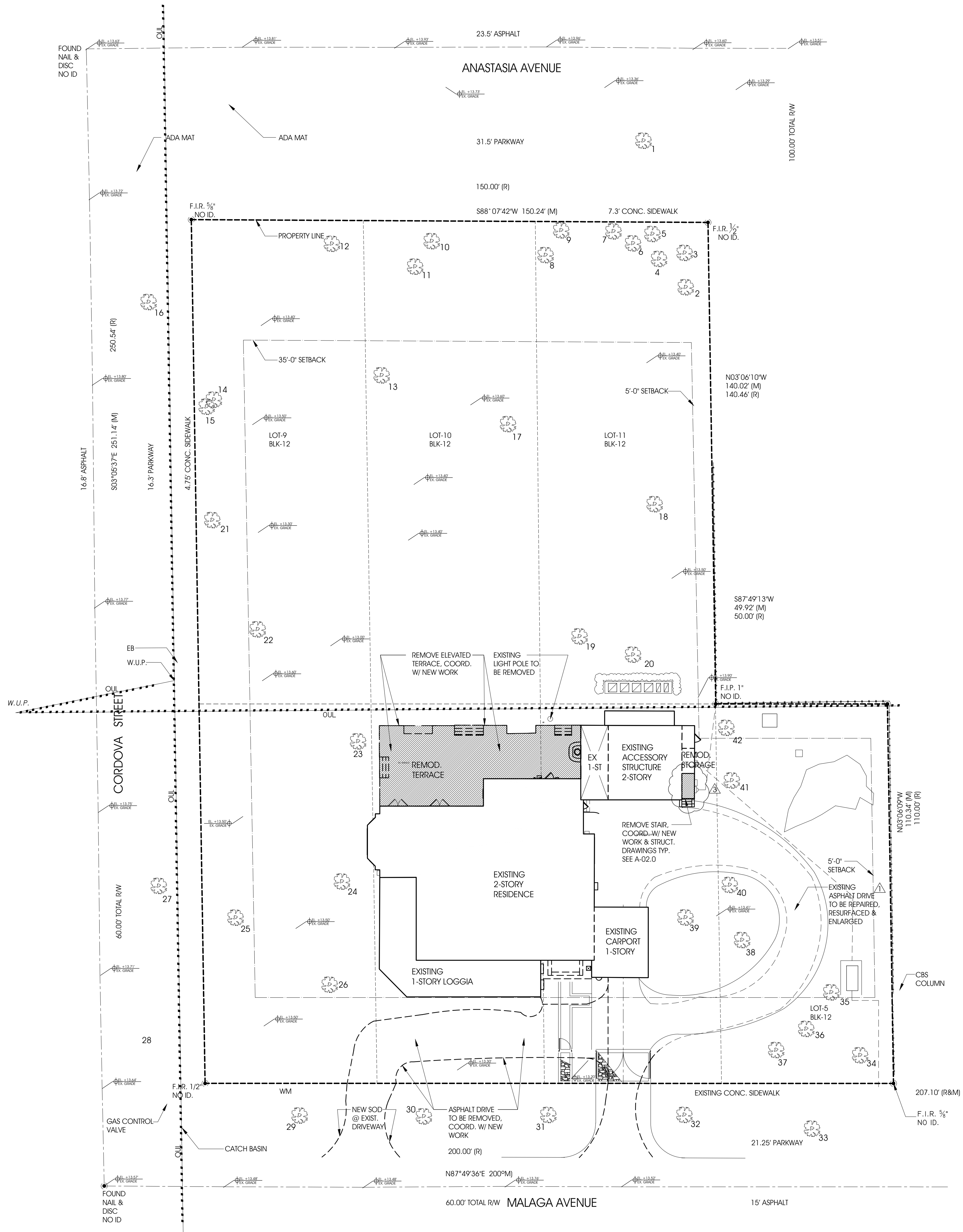
NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
	COA & CITY COMMENTS OWNER REVISION	04-22-24
	BOA RESUBMITTAL	10-16-24
	BOA RESUBMITTAL	12-14-24
	OWNER REVISIONS	01-27-25

PROJECT  
**Historical: Remodel & Additions  
Soane Residence**  
1104 Malaga Avenue  
Coral Gables, FL 33134

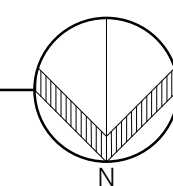
DRAWING  
**Area Diagrams  
and Calculations**

SEAL  
STATE OF FLORIDA  
Nelson de Leon  
AR 13937  
REGISTERED ARCHITECT

SCALE  
DRAWN  
REVIEWED  
NDL  
PROJ. NO.  
AR 13937  
326.02  
SHEET NO.



**EXISTING AND DEMOLITON SITE PLAN**  
 SCALE: 1/16" = 1'-0"



NOTES

**LOCUS ARCHITECTURE INCORPORATED**  
 500 South Dixie Highway, Suite 307  
 Coral Gables, Florida 33146  
 Tel: (305) 740-0120  
 Email: locus@locusarchitecture.net

CONSULTANT(S)

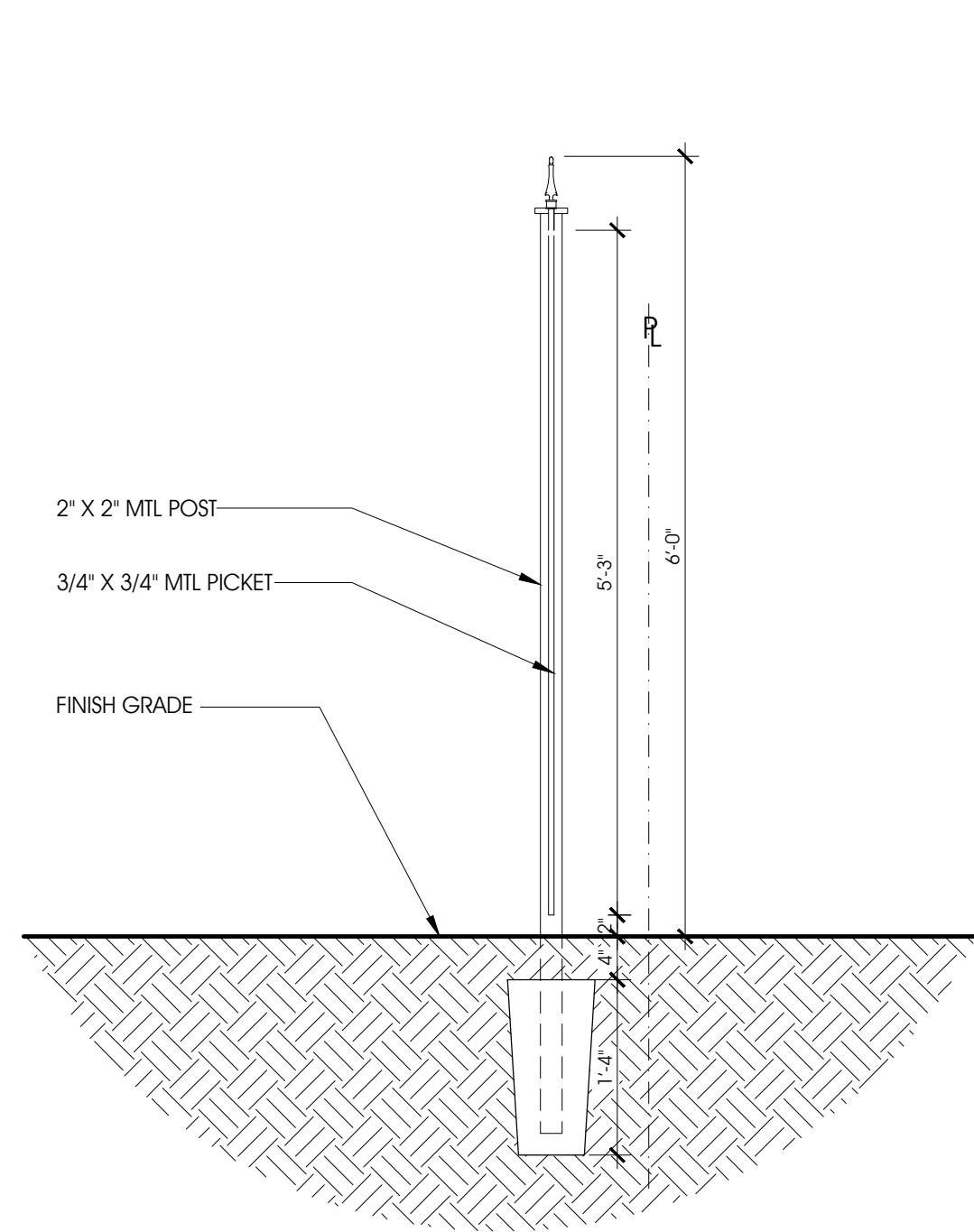
NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
	COA & CITY COMMENTS OWNER REVISION	04-22-24
	OWNER REVISIONS	10-15-24
	BOA RESUBMITTAL	10-16-24

PROJECT  
**Historical: Remodel & Additions Soane Residence**  
 1104 Malaga Avenue  
 Coral Gables, FL 33134

DRAWING  
**Existing and Demolition Site Plan**

SEAL	SCALE
	DRAWN
	REVIEWED NDL
	PROJ. NO. 326.02

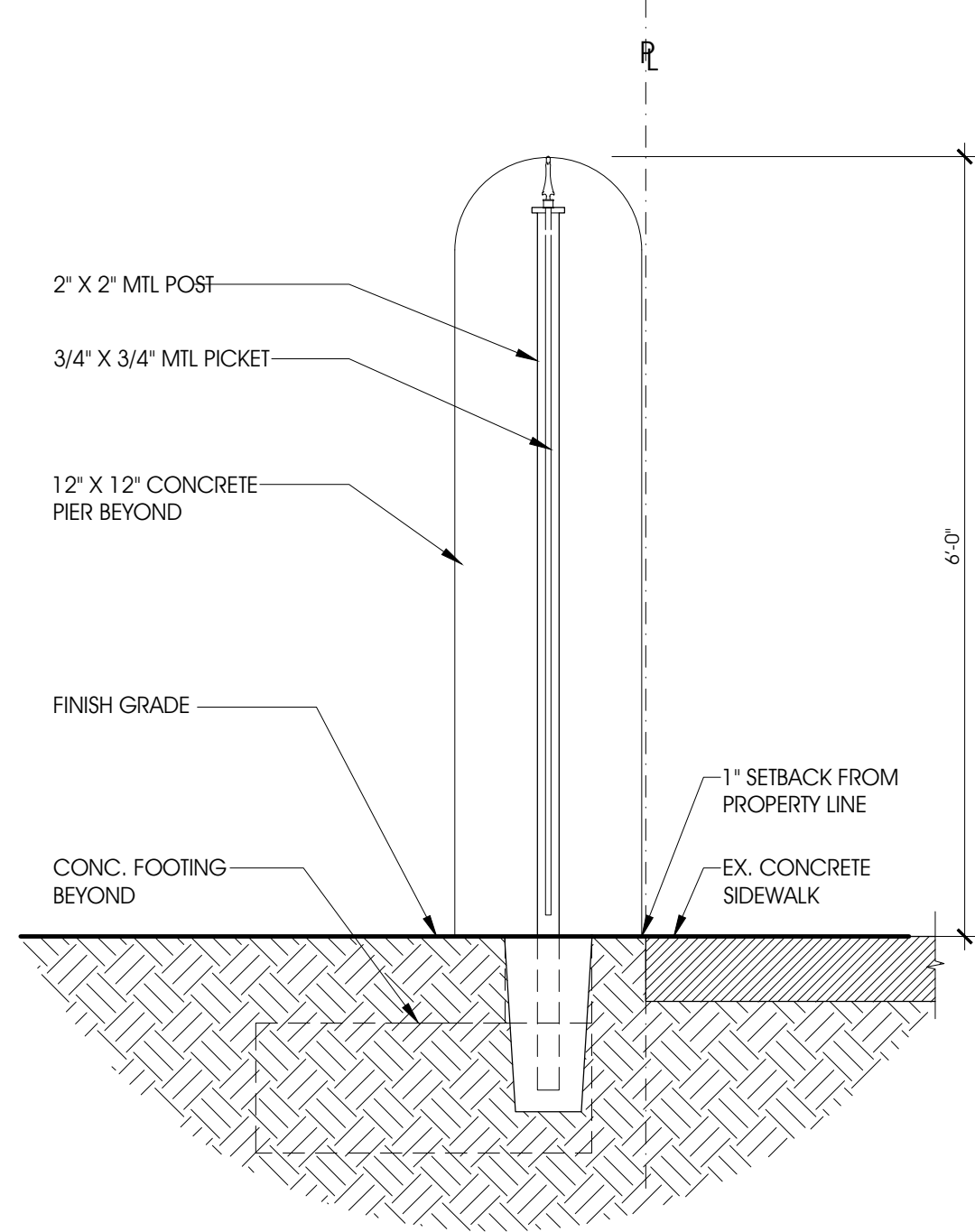
SHEET NO.  
**A-01.2**



MTL PICKET FENCE DETAIL

SCALE: 3/4"=1'-0"

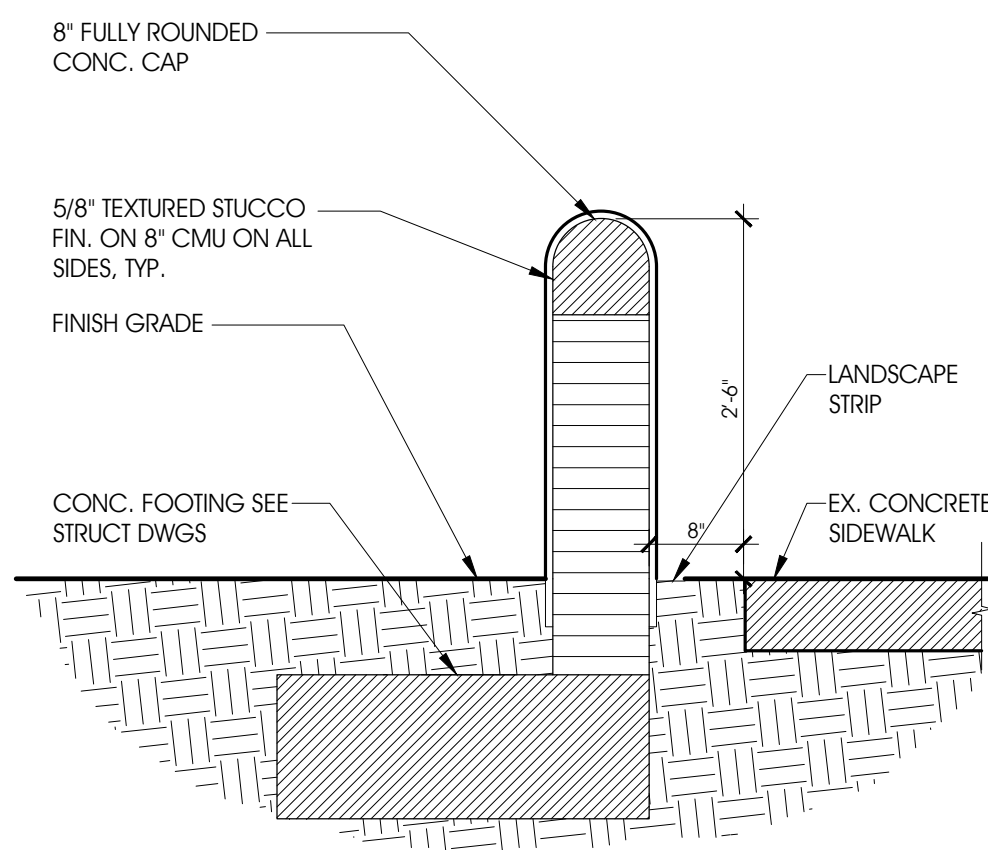
(E)



INSIDE PROPERTY  
MTL PICKET FENCE DETAIL

SCALE: 3/4"=1'-0"

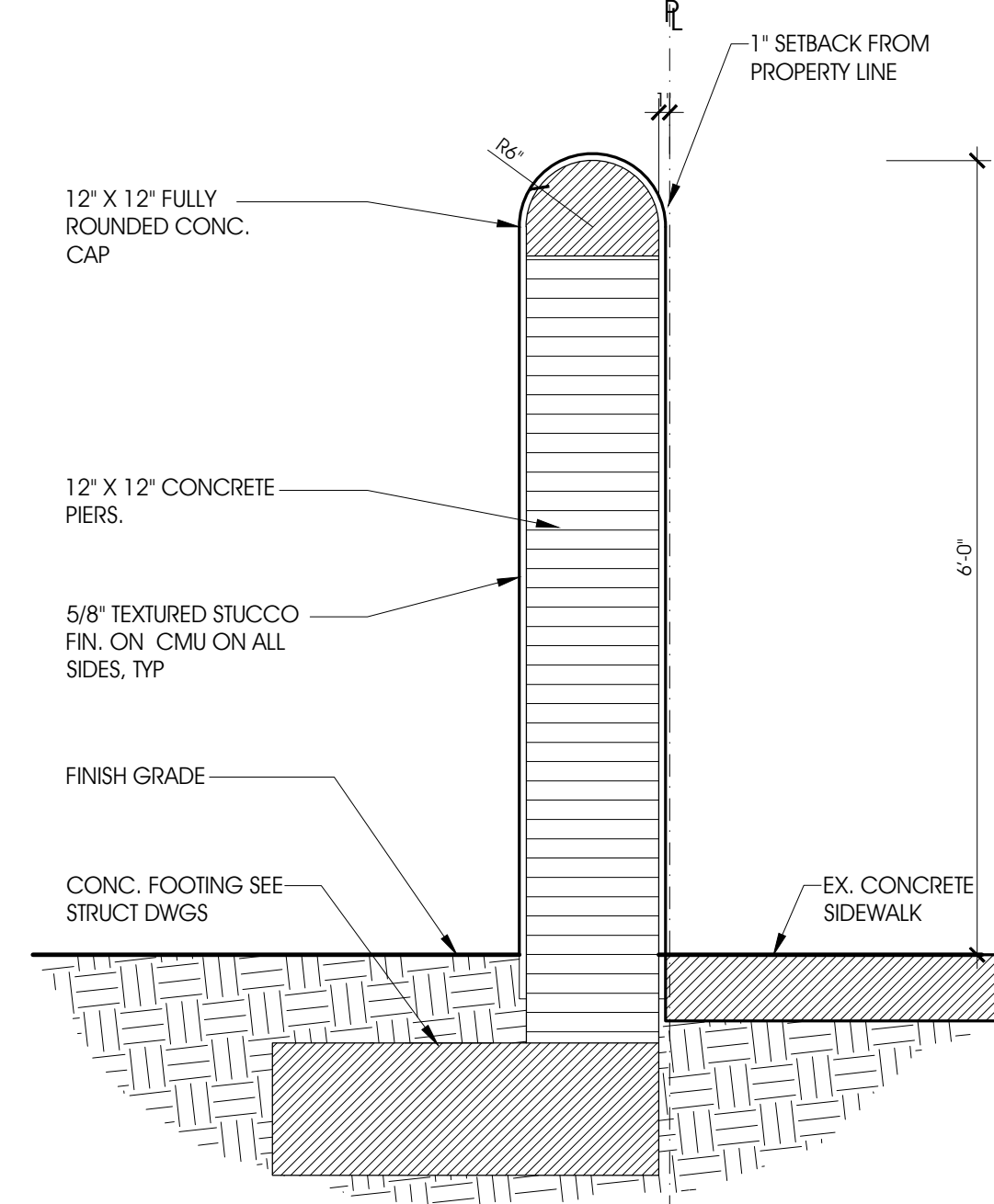
(D)



SITE WALL DETAIL

SCALE: 3/4"=1'-0"

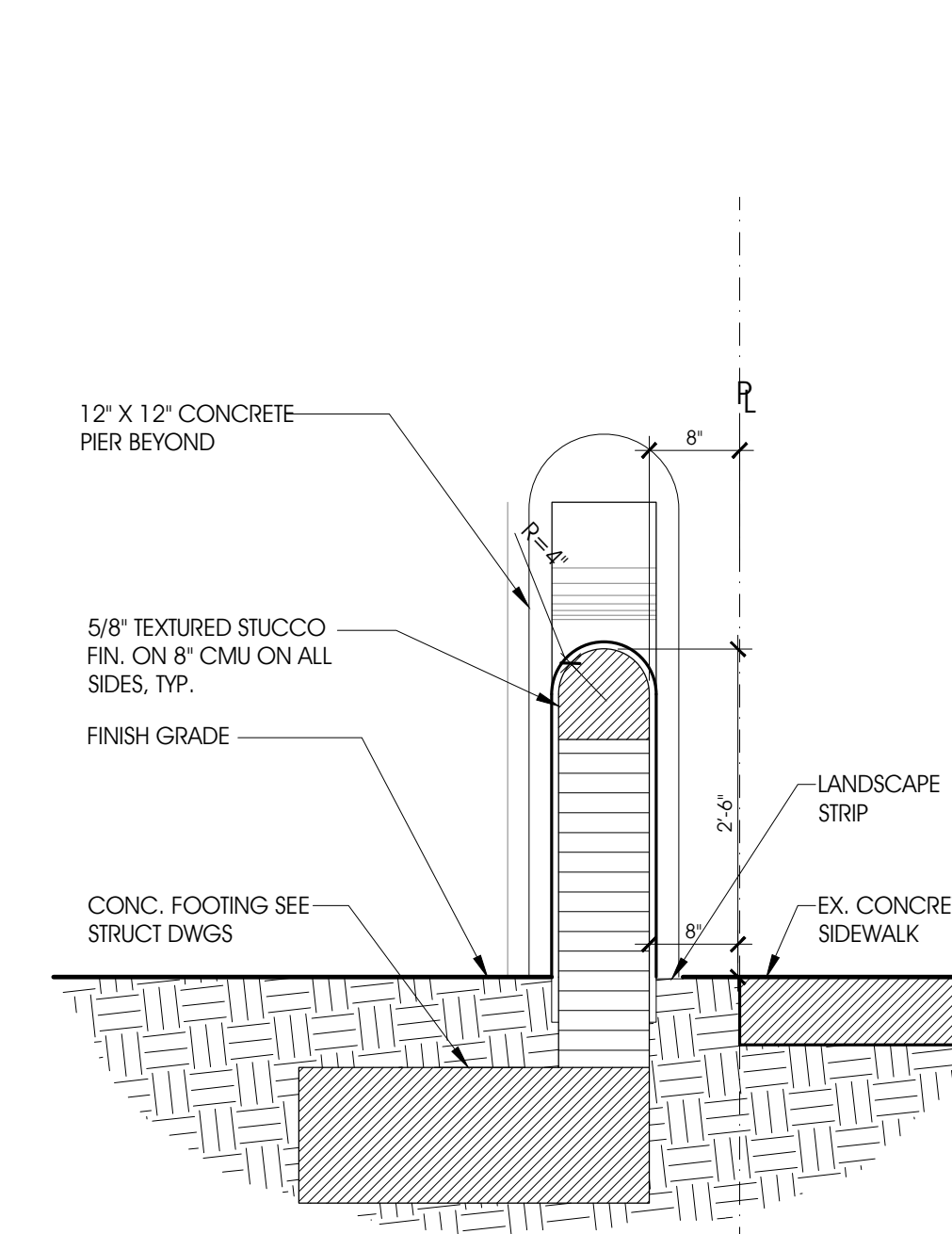
(C)



SITE WALL PIER DETAIL

SCALE: 3/4"=1'-0"

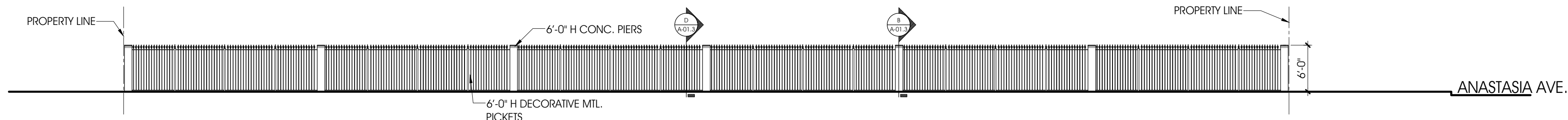
(B)



SITE WALL DETAIL

SCALE: 3/4"=1'-0"

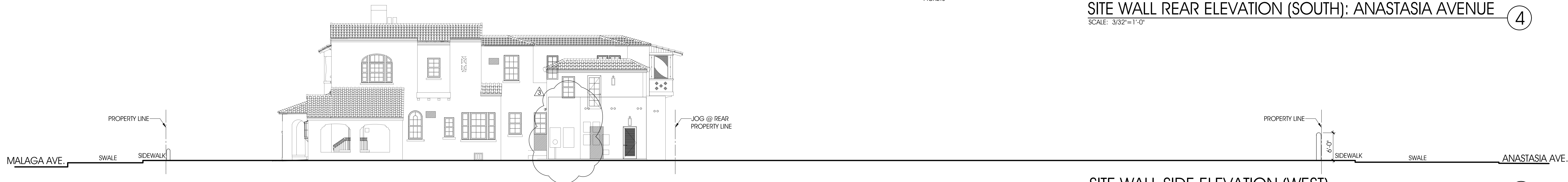
(A)



SITE WALL REAR ELEVATION (SOUTH): ANASTASIA AVENUE

SCALE: 3/32"=1'-0"

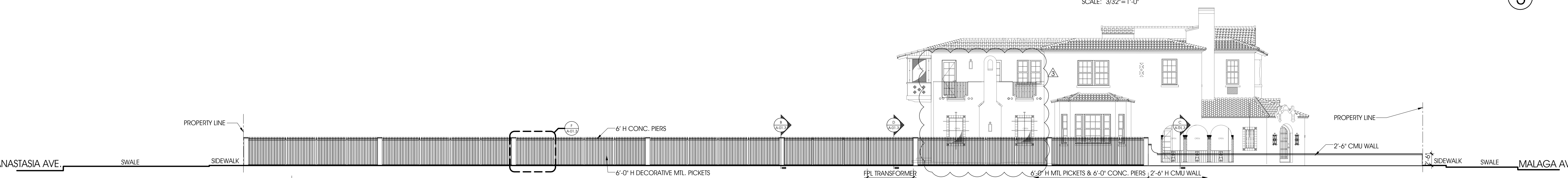
(4)



SITE WALL SIDE ELEVATION (WEST)

SCALE: 3/32"=1'-0"

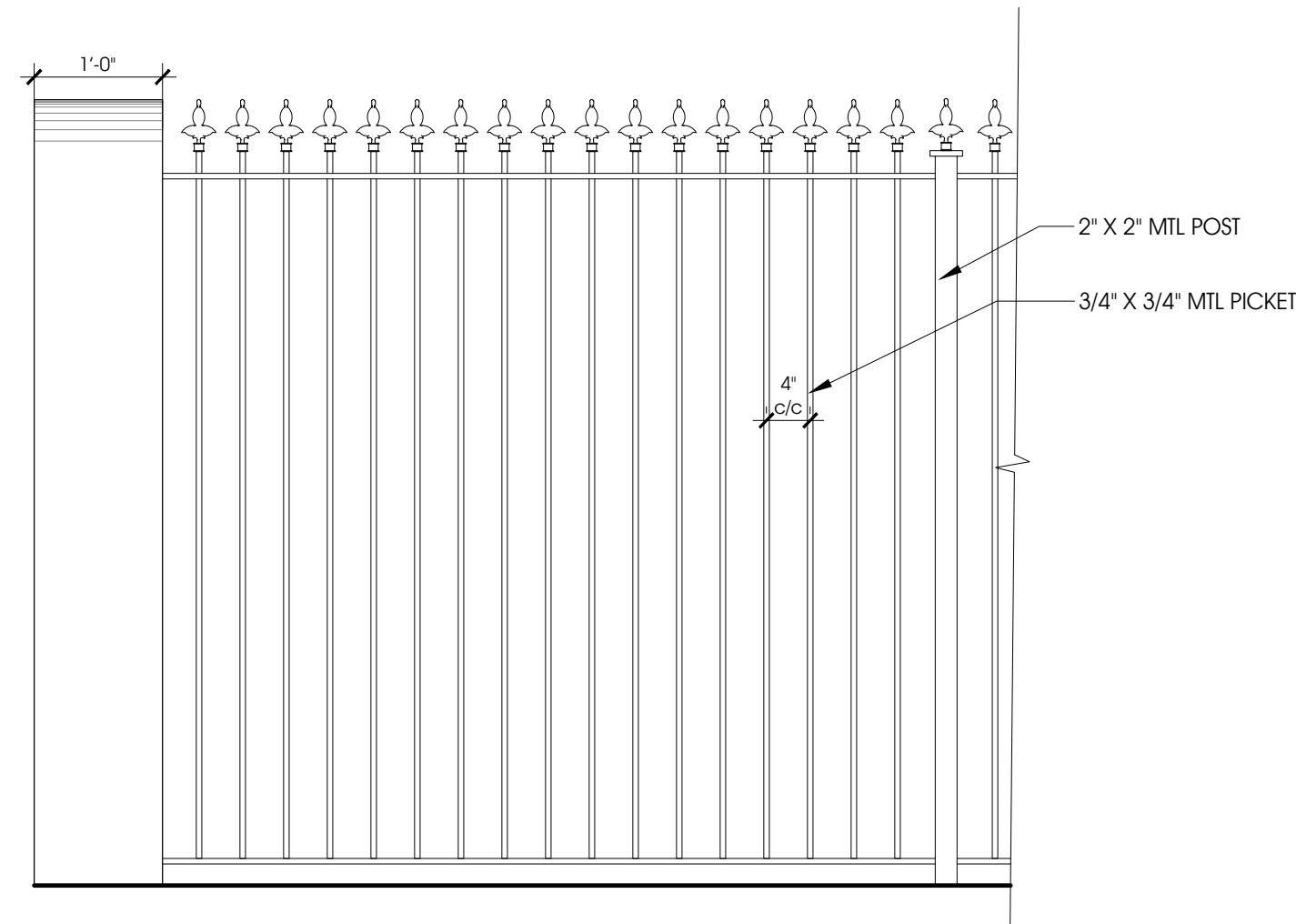
(3)



SITE WALL SIDE ELEVATION (EAST): CORDOVA STREET

SCALE: 3/32"=1'-0"

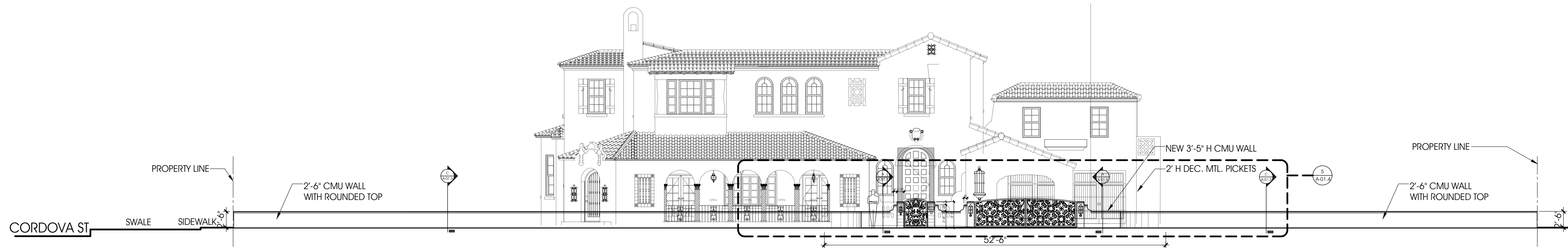
(2)



PARTIAL DECORATIVE FENCE ELEV.

SCALE: 3/4"=1'-0"

(F)



SITE WALL FRONT ELEVATION (NORTH): MALAGA AVENUE

SCALE: 3/32"=1'-0"

(1)

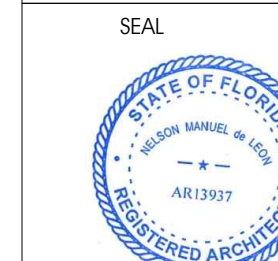


CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
	COA & CITY COMMENTS OWNER REVISION	04-22-24
	BOA RESUBMITTAL	10-16-24
	OWNER REVISIONS	01-27-25

PROJECT  
Historical: Remodel & Additions  
Soane Residence  
1104 Malaga Avenue  
Coral Gables, FL 33134

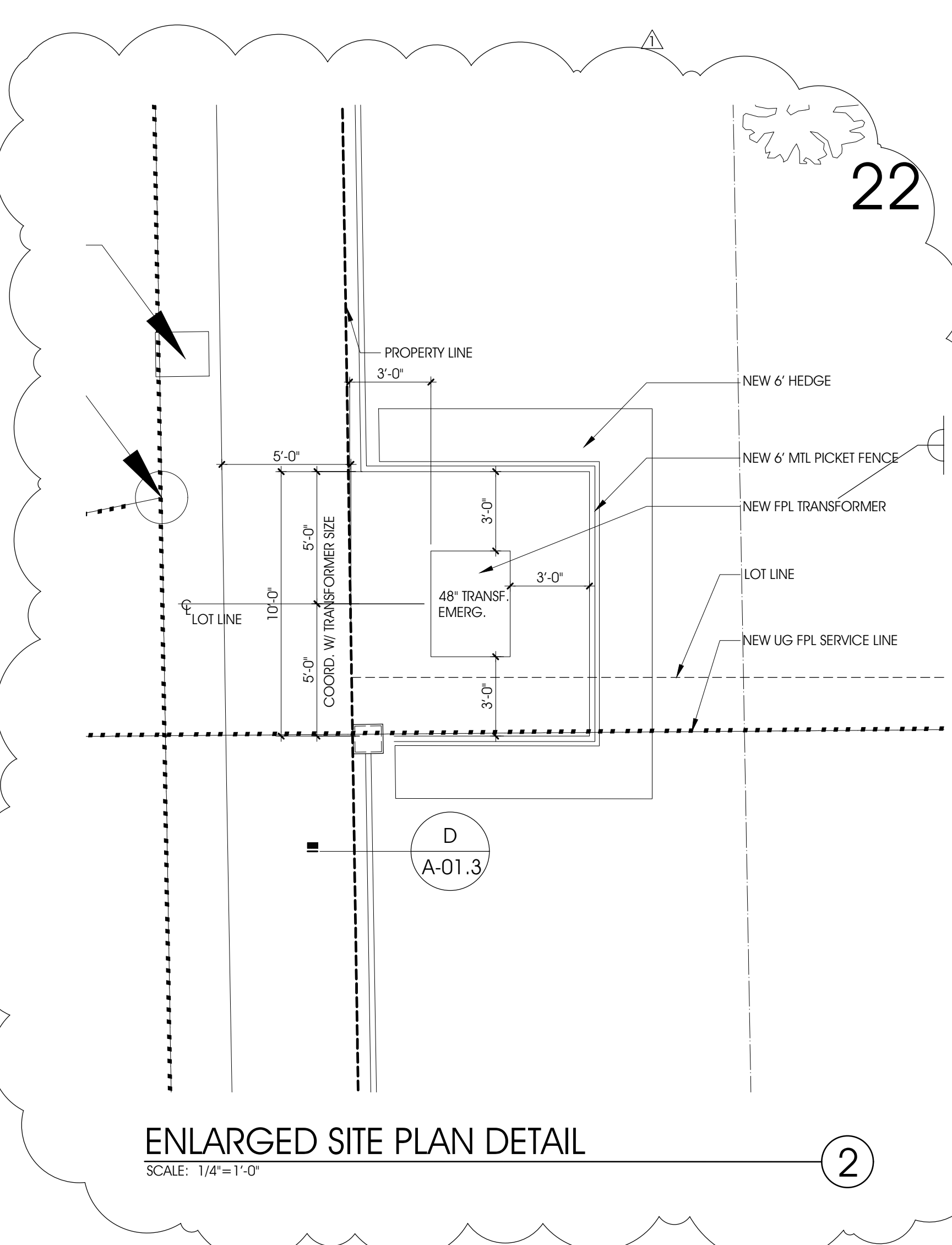
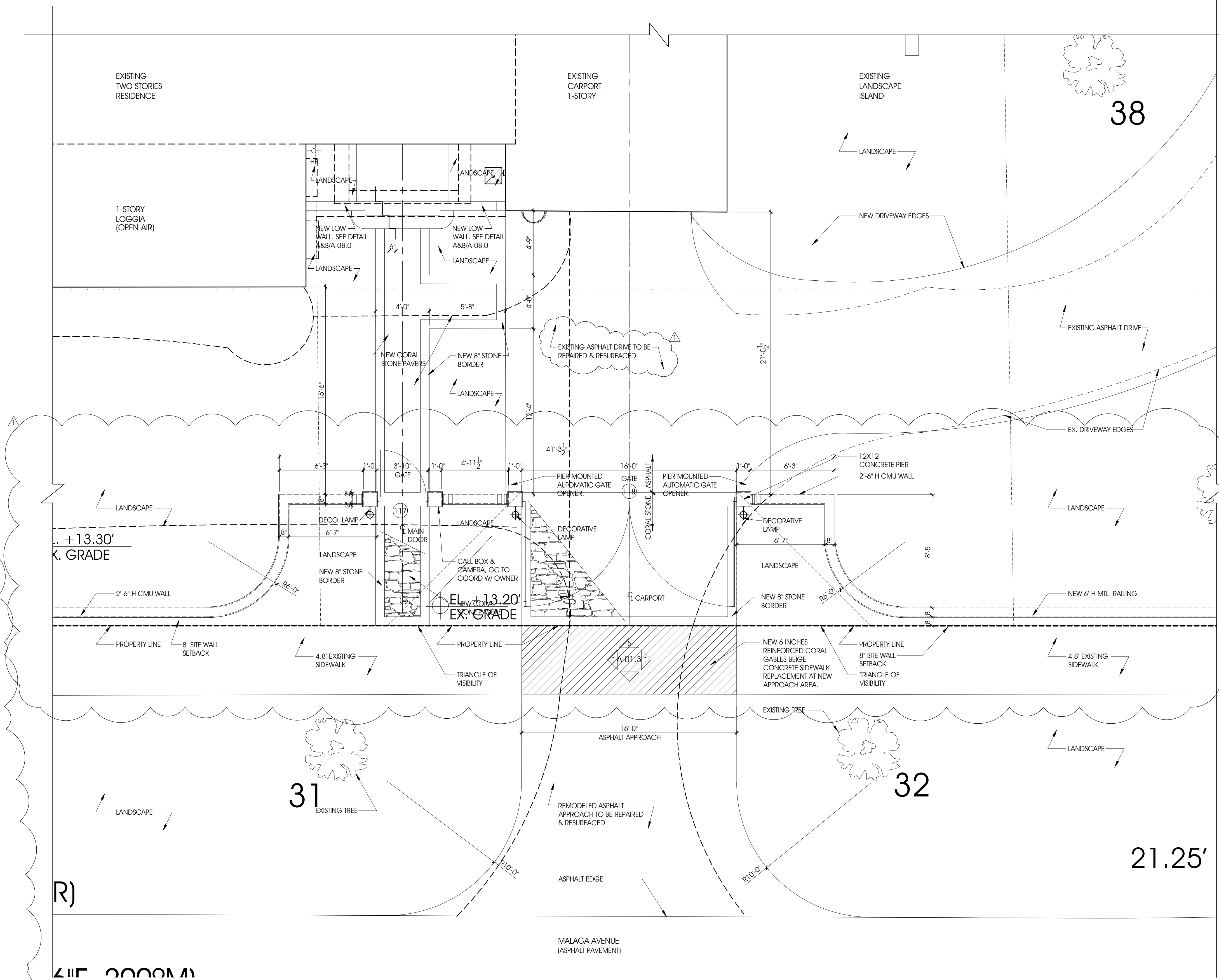
DRAWING  
Site Walls & Details



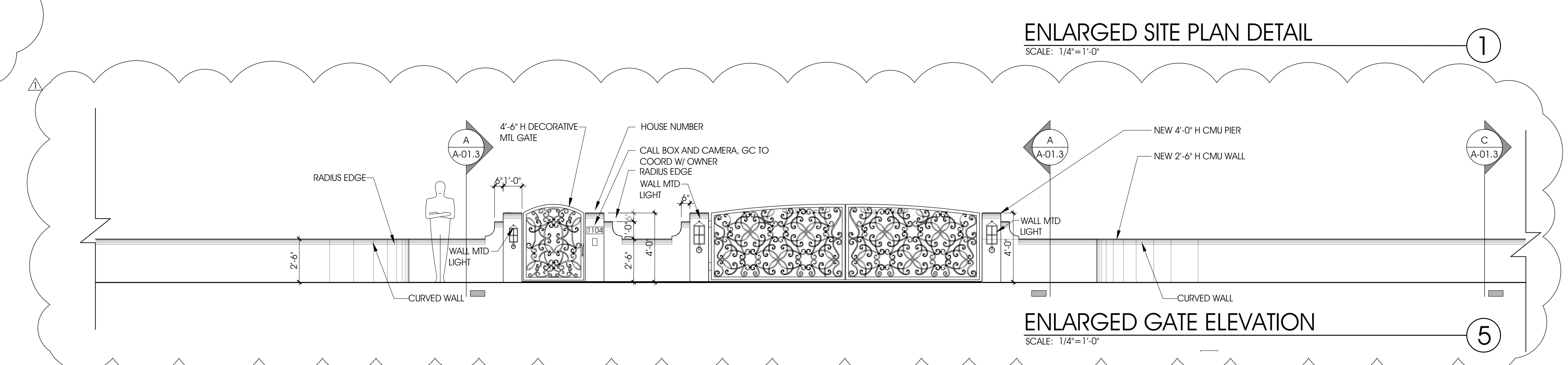
SEAL  
Nelson de Leon  
AR 13937

SCALE  
DRAWN  
REVIEWED  
NDL  
PROJ. NO.  
326.02

SHEET NO.  
A-01.3



ENLARGED SITE PLAN DETAIL  
SCALE: 1/4"=1'-0"



ENLARGED GATE ELEVATION  
SCALE: 1/4"=1'-0"

**LOCUS ARCHITECTURE INCORPORATED**  
500 South Dixie Highway, Suite 307  
Coral Gables, Florida 33146  
Tel: (305) 740-0120  
Email: locus@locusarchitecture.net

CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
	COA & CITY COMMENTS OWNER REVISION	04-22-24

PROJECT  
Historical: Remodel & Additions  
Soane Residence  
1104 Malaga Avenue  
Coral Gables, FL 33134

DRAWING  
Enlarged Site Plan, Details

SEAL

SCALE  
DRAWN  
REVIEWED  
NDL

SHEET NO.  
A-01.4

# ELECTRICAL DEMOLITION NOTES

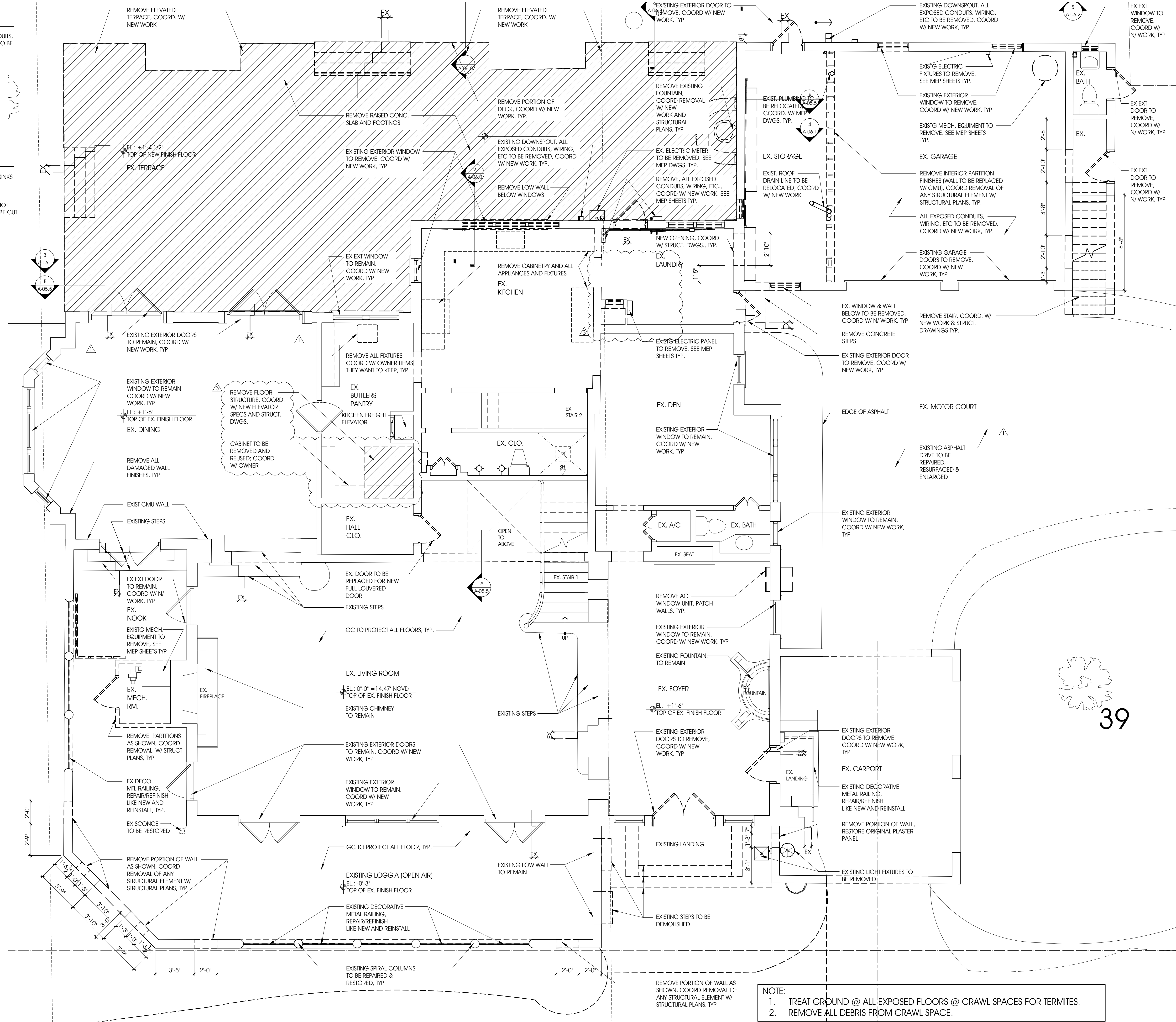
1. CONTRACTOR IS TO VERIFY WITH OWNER AND IDENTIFY ALL EXISTING PIPES, CONDUITS, ETC. TO REMAIN PRIOR TO DEMOLITION. MARK ALL PIPES, CONDUITS, ETC. NOT TO BE DEMOLISHED WITH RED PAINT. INFORM ALL SUB-CONTRACTORS.
2. UNLESS OTHERWISE NOTED AS EXISTING TO REMAIN OR TO BE RELOCATED, ALL LIGHTING FIXTURES, RECEPTACLES, SWITCHES, SPECIAL OUTLETS, TELEPHONE CABLES, TV CABLES, MISCELLANEOUS SYSTEM WIRING, POWER CONDUCTORS, CONDUITS, ELECTRICAL BOXES, RACEWAYS AND OTHER ELECTRICAL SYSTEM COMPONENTS LOCATED IN THE AREAS SHOWN AS BEING DEMOLISHED OR NOT USED AFTER WORK IS COMPLETED, SHALL BE REMOVED. CONDUITS RUN IN SLAB SHALL BE CUT FLUSH, PLUGGED AND ABANDONED AFTER CONDUCTORS ARE REMOVED. NO WIRING SHALL BE LEFT ABANDONED AFTER WORK IS COMPLETED.
3. SEE ELECTRICAL SHEETS FOR DETAILS.

# PLUMBING DEMOLITION NOTES

1. CONTRACTOR SHALL VERIFY WITH OWNER PRIOR TO DEMOLISHING ALL EXISTING SINKS AND WC TO BE REMOVED OR RELOCATED.
2. UNLESS OTHERWISE NOTED AS EXISTING TO REMAIN OR TO BE RELOCATED, ALL PLUMBING FIXTURES LOCATED IN THE AREAS SHOWN AS BEING DEMOLISHED OR NOT USED AFTER WORK IS COMPLETED, SHALL BE REMOVED. LINES RUN IN SLAB SHALL BE CUT FLUSH, PLUGGED AND ABANDONED AFTER FIXTURES ARE REMOVED.
3. SEE PLUMBING SHEETS FOR DETAILS.

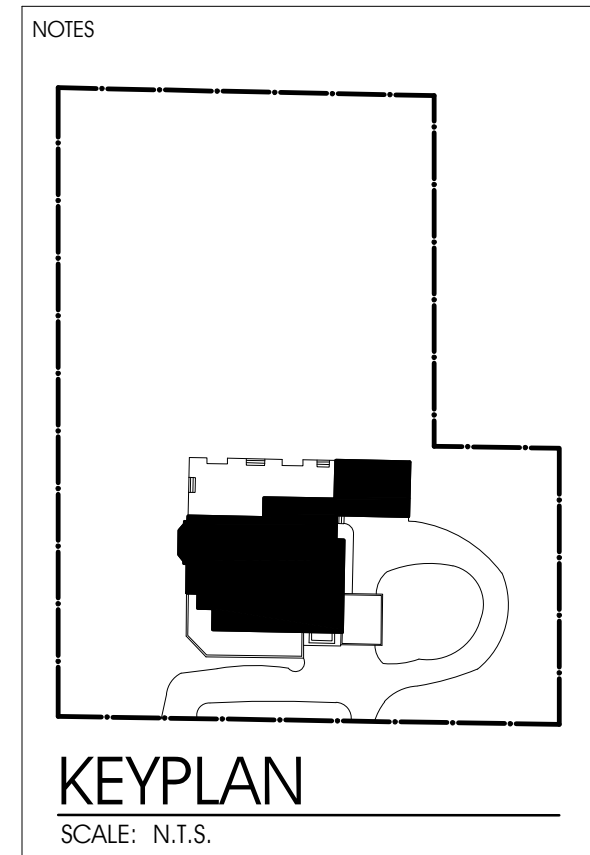
# DEMOLITION PLAN LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED. CONTRACTOR TO COORDINATE W/ ARCHITECTURAL AND STRUCTURAL DRAWINGS BEFORE REMOVING ANY STRUCTURAL WALLS.
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE REMOVED



NOTE:  
 1. TREAT GROUND @ ALL EXPOSED FLOORS @ CRAWL SPACES FOR TERMITES.  
 2. REMOVE ALL DEBRIS FROM CRAWL SPACE.

EXISTING AND DEMOLITION FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



**LOCUS ARCHITECTURE INCORPORATED**  
 500 South Dixie Highway, Suite 307  
 Coral Gables, Florida 33146  
 Tel: (305) 740-0120  
 Email: locus@locusarchitecture.net

NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
	COA & CITY COMMENTS OWNER REVISION	04-22-24
	BOA RESUBMITTAL	10-16-24
	OWNER REVISION	01-27-25

PROJECT  
 Historical: Remodel & Additions  
**Soane Residence**  
 1104 Malaga Avenue  
 Coral Gables, FL 33134

DRAWING  
 Existing And Demolition  
 First Floor Plan

SEAL  
  
 Nelson de Leon  
 AR 13937

SCALE  
 DRAWN  
 REVIEWED  
 NDJ  
 PROJ. NO.  
 326.02  
 SHEET NO.

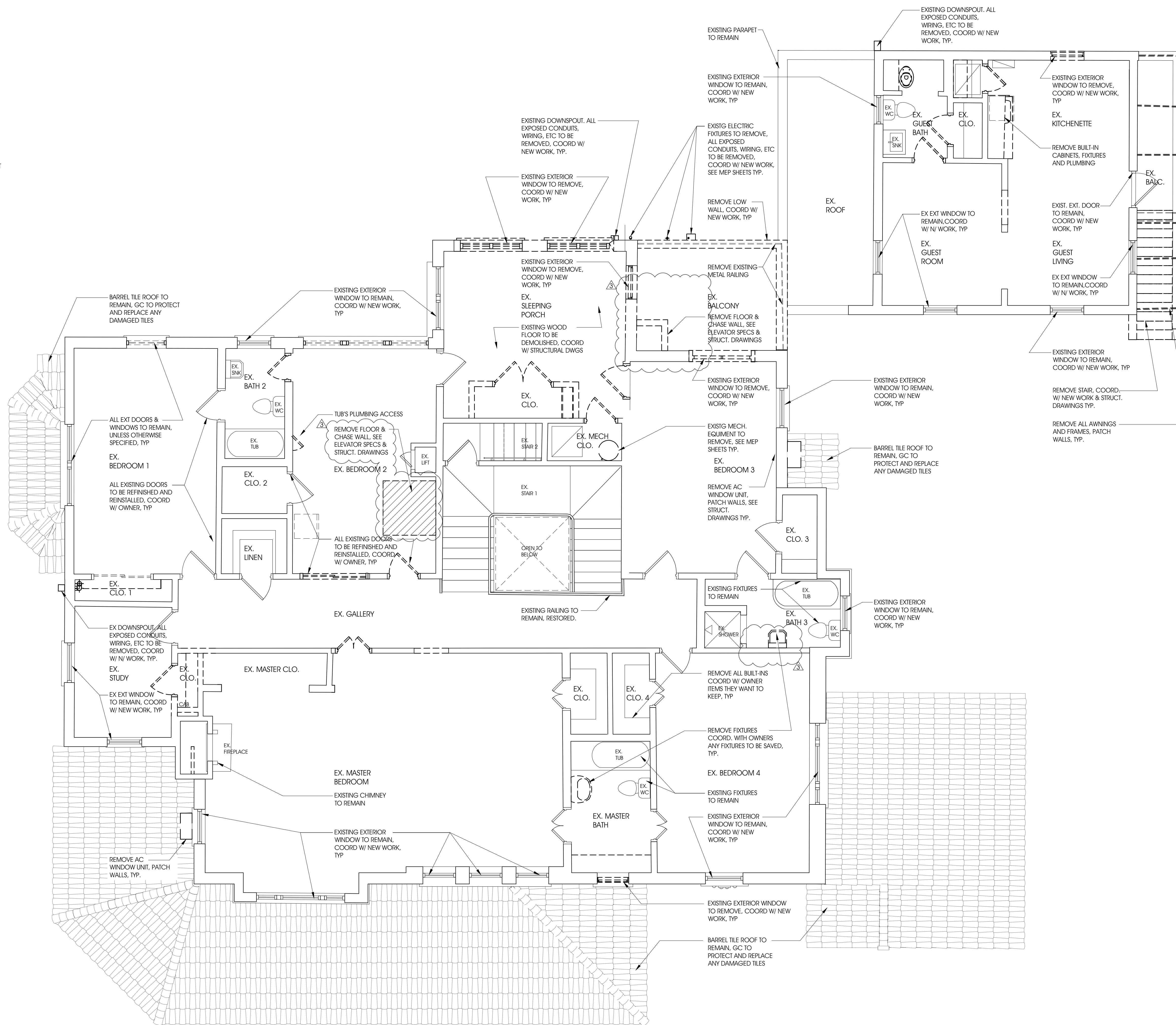
A-02.0

## ELECTRICAL DEMOLITION NOTES

- CONTRACTOR IS TO VERIFY WITH OWNER AND IDENTIFY ALL EXISTING PIPES, CONDUITS, ETC. TO REMAIN PRIOR TO DEMOLITION. MARK ALL PIPES, CONDUITS, ETC. NOT TO BE DEMOLISHED WITH RED PAINT. INFORM ALL SUB-CONTRACTORS.
- UNLESS OTHERWISE NOTED AS EXISTING TO REMAIN OR TO BE RELOCATED, ALL LIGHTING FIXTURES, RECEPTACLES, SWITCHES, SPECIAL OUTLETS, TELEPHONE CABLES, TV CABLES, MISCELLANEOUS SYSTEM WIRING, POWER CONDUCTORS, CONDUITS, ELECTRICAL BOXES, RACEWAYS AND OTHER ELECTRICAL SYSTEM COMPONENTS LOCATED IN THE AREAS SHOWN AS BEING DEMOLISHED OR NOT USED AFTER WORK IS COMPLETED, SHALL BE REMOVED. CONDUITS RUN IN SLAB SHALL BE CUT FLUSH, PLUGGED AND ABANDONED AFTER CONDUCTORS ARE REMOVED. NO WIRING SHALL BE LEFT ABANDONED AFTER WORK IS COMPLETED.
- SEE ELECTRICAL SHEETS FOR DETAILS.

## PLUMBING DEMOLITION NOTES

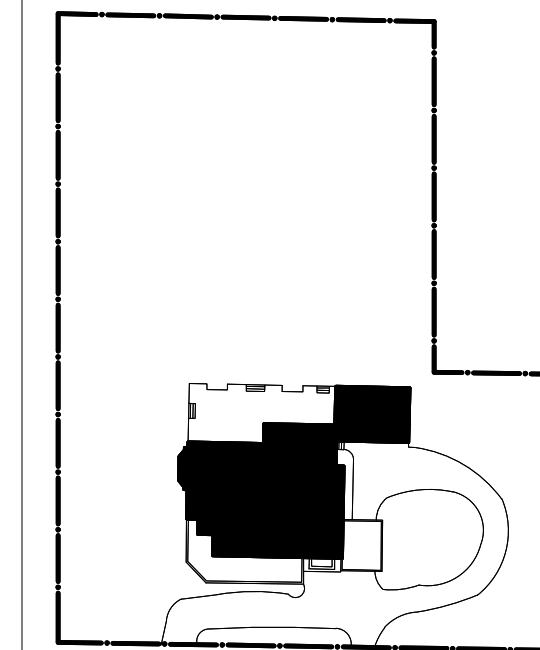
- CONTRACTOR SHALL VERIFY WITH OWNER PRIOR TO DEMOLISHING ALL EXISTING SINKS AND WC TO BE REMOVED OR RELOCATED.
- UNLESS OTHERWISE NOTED AS EXISTING TO REMAIN OR TO BE RELOCATED, ALL PLUMBING FIXTURES LOCATED IN THE AREAS SHOWN AS BEING DEMOLISHED OR NOT USED AFTER WORK IS COMPLETED, SHALL BE REMOVED. LINES RUN IN SLAB SHALL BE CUT FLUSH, PLUGGED AND ABANDONED AFTER FIXTURES ARE REMOVED.
- SEE PLUMBING SHEETS FOR DETAILS.



## DEMOLITION PLAN LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED. CONTRACTOR TO COORDINATE W/ ARCHITECTURAL AND STRUCTURAL DRAWINGS BEFORE REMOVING ANY STRUCTURAL WALLS.
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE REMOVED

NOTES



**KEYPLAN**  
SCALE: N.T.S.

**LOCUS ARCHITECTURE INCORPORATED**  
500 South Dixie Highway, Suite 307  
Coral Gables, Florida 33146  
Tel: (305) 740-0120  
Email: locus@locusarchitecture.net

CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
3.	OWNER REVISIONS	01-27-25

PROJECT

Historical: Remodel & Additions  
**Soane Residence**

1104 Malaga Avenue  
Coral Gables, FL 33134

DRAWING

Existing And Demolition  
Second Floor Plan

SEAL



Nelson de Leon  
AR 13937

SHEET NO.

SCALE

DRAWN

REVIEWED

NDL

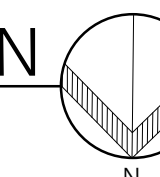
PROJ. NO.

326.02

**A-02.1**

**EXISTING AND DEMOLITION SECOND FLOOR PLAN**

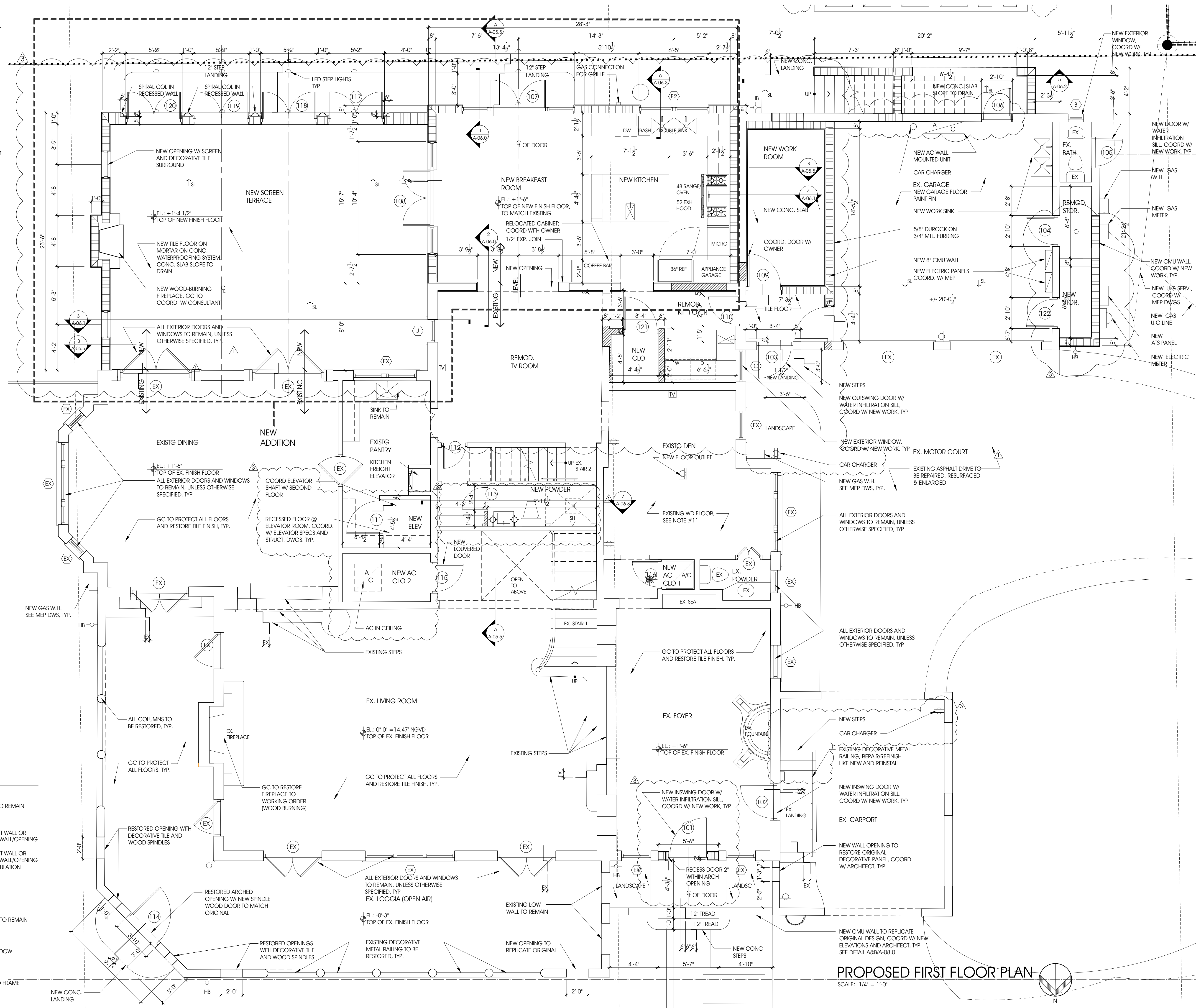
SCALE: 1/4" = 1'-0"





**NOTES:**

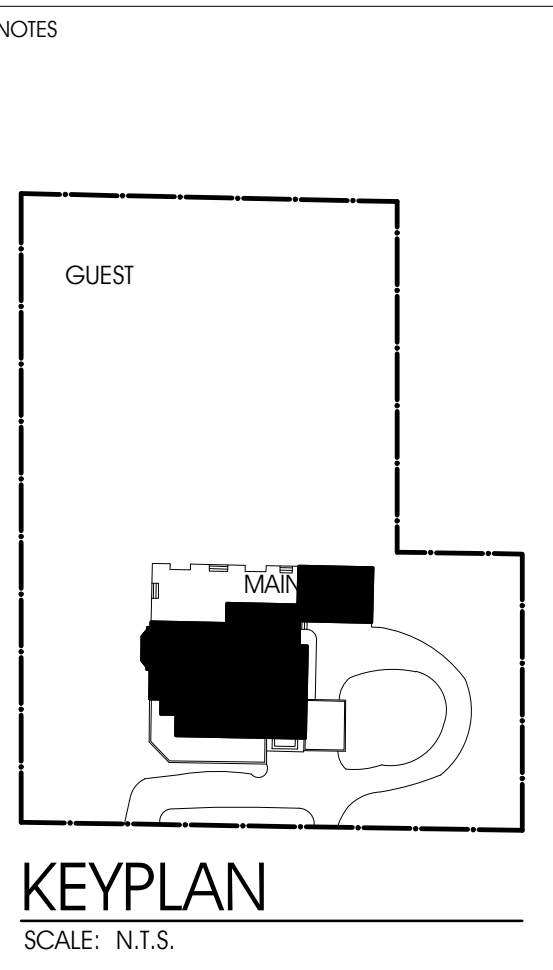
- CONTRACTOR TO REFINISH LEVEL ALL WALLS/CEILING AND PAINT ALL INTERIOR WALLS, CEILINGS, & EXTERIOR WALLS. COORDINATE COLORS WITH OWNERS.
- CONTRACTOR TO VERIFY EXACT LOCATION OF ALL TOILET ROOM, LAUNDRY ROOM, CLOSET AND KITCHEN ACCESSORIES WITH OWNER AND INTERIOR DESIGN DRAWINGS.
- PROVIDE P.T. WOOD BLOCKING AT ALL CABINETRY, SHELVING, HOOKS, RODS, BATHROOM ACCESSORIES ETC.
- FIRE BLOCKING SHALL BE PROVIDED IN WALLS EVERY 8' AT INTERCONNECTIONS, BETWEEN STAIR STRINGERS, AT OPENINGS, AT FLOOR JOISTS AROUND DOOR POCKETS AS PER FBC R440.0.7
- WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273.
- AIR EXHAUST AND INTAKE OPENINGS WHICH TERMINATE AT OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS, OR GRILLES WITH OPENINGS BETWEEN 1/4" AND 1/2".
- COORD. FLOORING, APPLIANCES, CABINETRY, HARDWARE, PLUMBING, AND LIGHTING FIXTURES WITH OWNER SELECTIONS, TYP.
- ALL INTERIOR DOORS AND HARDWARE TO BE RESTORED AND RE-USED.
- ALL BUILT-IN CABINETS, SHELVES, ETC., TO BE RESTORED AND RE-USED.
- SEE NOTES FOR PLUMBING FIXTURES TO REMAIN, RESTORE TO LIKE-NEW CONDITION.
- EXISTING WOOD FLOORS: REFINISH & RESTORE, TYP.



**LEGEND**

- EXISTING WALL TO REMAIN
- NEW FULL-HEIGHT WALL OR IN-FILL EXISTING WALL/OPENING
- NEW FULL-HEIGHT WALL OR IN-FILL EXISTING WALL/OPENING WITH SOUND INSULATION
- NEW CMU WALL
- EXISTING DOOR TO REMAIN
- NEW GLASS WINDOW
- NEW DOOR AND FRAME

**PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**LOCUS ARCHITECTURE INCORPORATED**  
500 South Dixie Highway, Suite 307  
Coral Gables, Florida 33146  
Tel: (305) 740-0120  
Email: locus@locusarchitecture.net

CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
	COA & CITY COMMENTS OWNER REVISION	04-22-24
	BOA RESUBMITTAL	10-16-24
	BOA RESUBMITTAL	12-14-24
	OWNER REVISIONS	01-27-25

PROJECT

**Historical: Remodel & Additions  
Soane Residence**

1104 Malaga Avenue  
Coral Gables, FL 33134

DRAWING

**Proposed First Floor Plan**

SEAL

SCALE

DRAWN

REVIEWED  
NDL

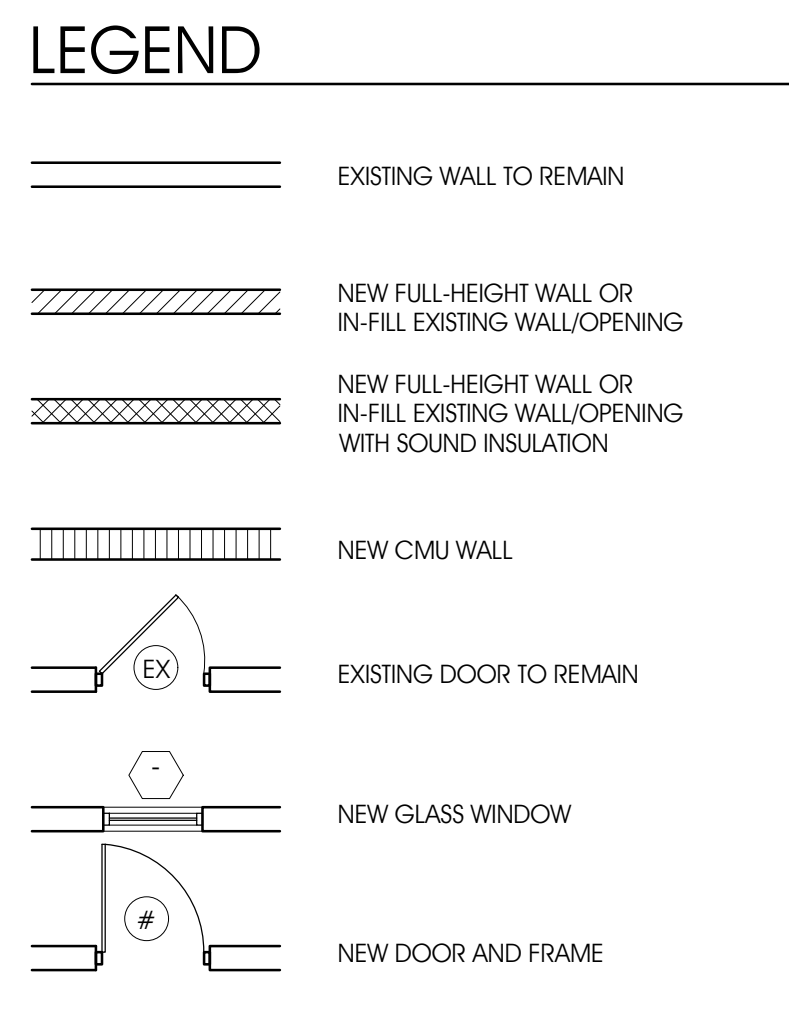
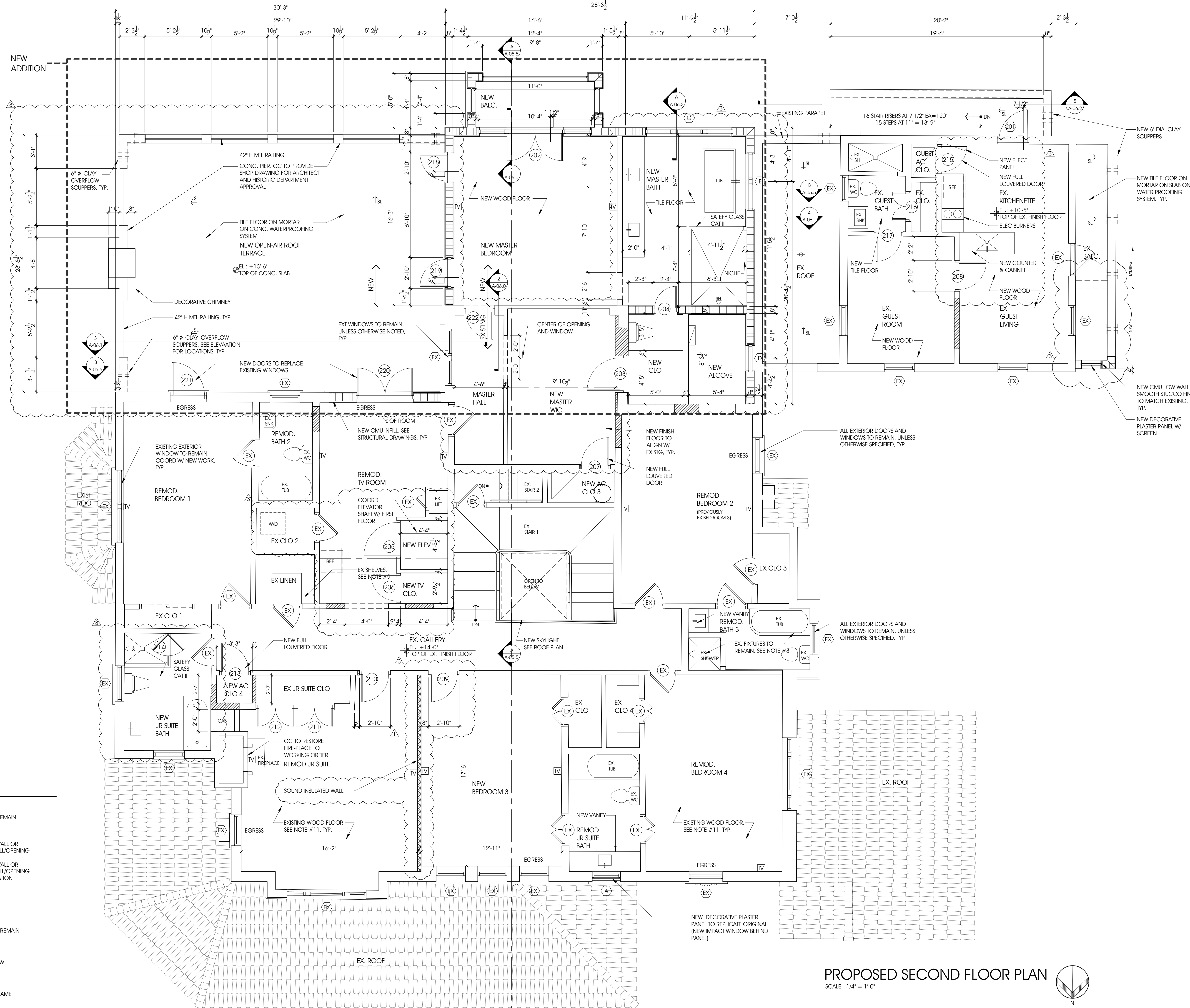
PROJ. NO.  
326.02

SHEET NO.

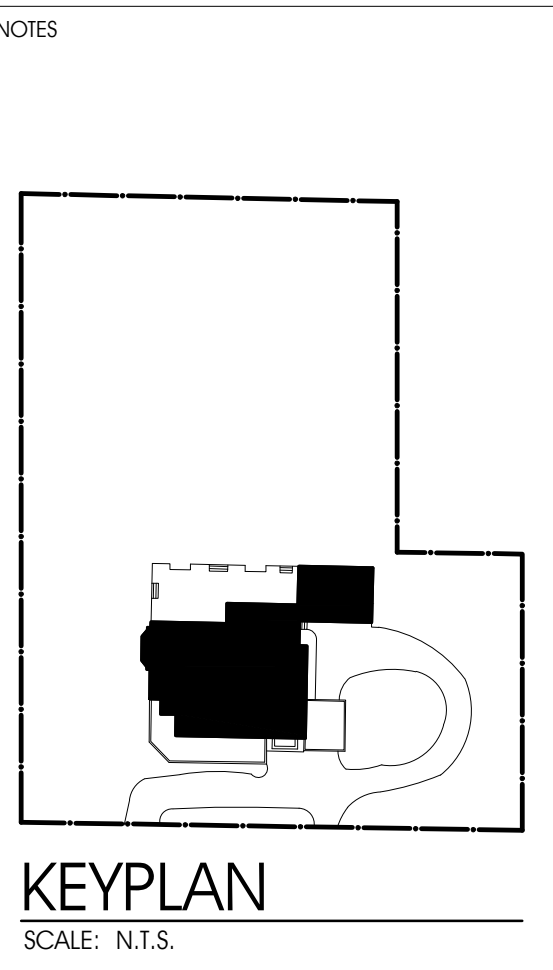
**A-02.2**

**NOTES:**

1. CONTRACTOR TO REFINISH LEVEL ALL WALLS/CEILINGS AND PAINT ALL INTERIOR WALLS, CEILINGS, & EXTERIOR WALLS. COORDINATE COLORS WITH OWNERS.
2. CONTRACTOR TO VERIFY EXACT LOCATION OF ALL TOILET ROOM, LAUNDRY ROOM, CLOSET AND KITCHEN ACCESSORIES WITH OWNER AND INTERIOR DESIGN DRAWINGS.
3. PROVIDE P.T. WOOD BLOCKING AT ALL CABINERY, SHELVING, HOOKS, RODS, BATHROOM ACCESSORIES ETC.
4. FIRE BLOCKING SHALL BE PROVIDED IN WALLS EVERY 8' AT INTERCONNECTIONS, BETWEEN STAIR STRINGERS, AT OPENING, AT FLOOR JOISTS AROUND DOOR POCKETS AS PER FBC R440.0.7
5. WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273.
6. AIR EXHAUST AND INTAKE OPENINGS WHICH TERMINATE AT OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS, OR GRILLES WITH OPENINGS BETWEEN 1/4" AND 1/2".
7. COORD. FLOORING, APPLIANCES, CABINERY, HARDWARE, PLUMBING, AND LIGHTING FIXTURES WITH OWNER SELECTIONS, TYP.
8. ALL INTERIOR DOORS AND HARDWARE TO BE RESTORED AND RE-USED.
9. ALL BUILT-IN CABINETS, SHELVES, ETC., TO BE RESTORED AND RE-USED.
10. SEE NOTES FOR PLUMBING FIXTURES TO REMAIN, RESTORE TO LIKE-NEW CONDITION.
11. EXISTING WOOD FLOORS: REFINISH & RESTORE, TYP.



**PROPOSED SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**LOCUS ARCHITECTURE INCORPORATED**  
500 South Dixie Highway, Suite 307  
Coral Gables, Florida 33146  
Tel: (305) 740-0120  
Email: locus@locusarchitecture.net

CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
	COA & CITY COMMENTS OWNER REVISION	04-22-24
	BOA RESUBMITTAL	10-16-24
	BOA RESUBMITTAL	12-14-24
	OWNER REVISIONS	01-27-25

**PROJECT**

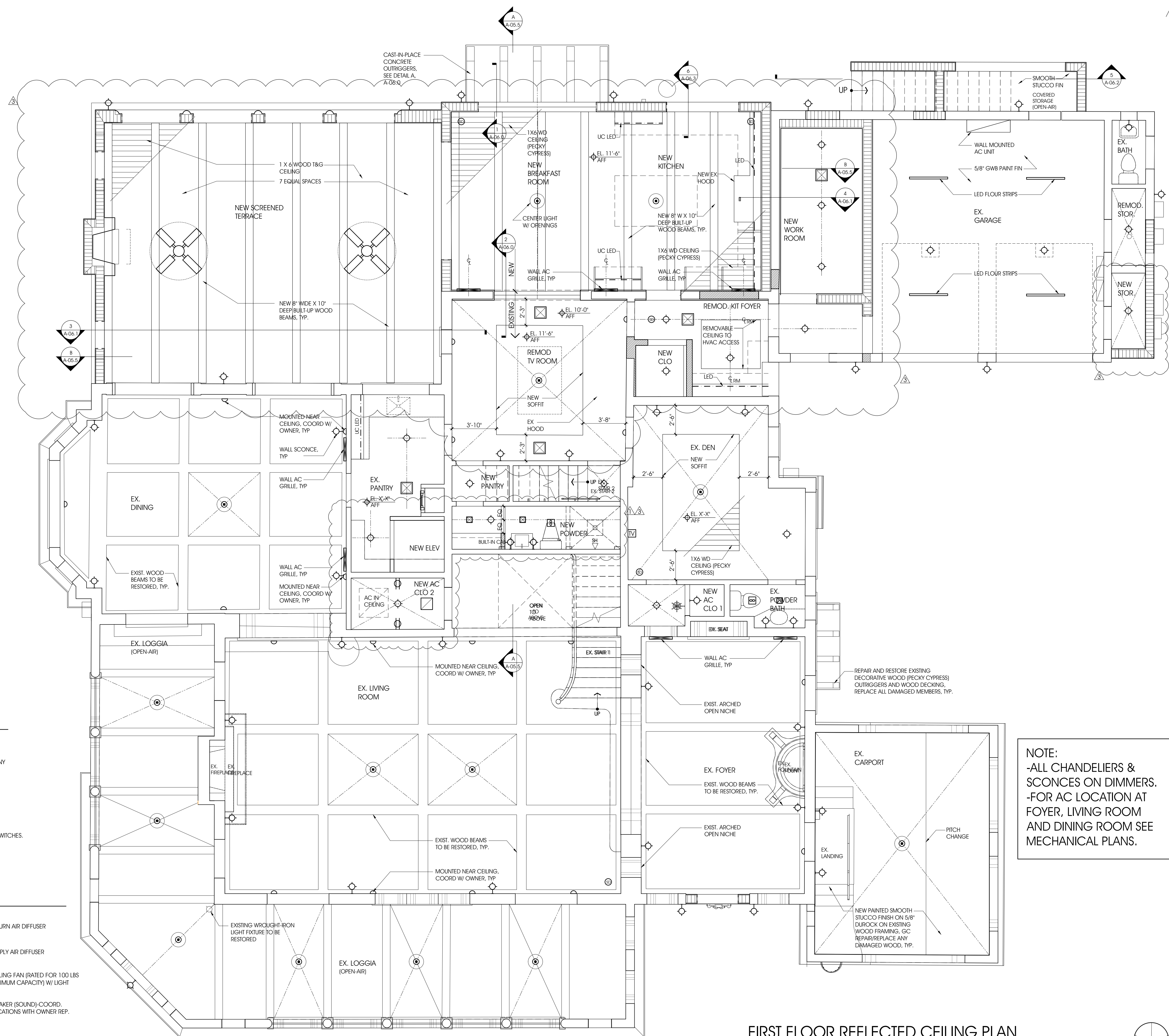
Historical: Remodel & Additions  
**Soane Residence**

1104 Malaga Avenue  
Coral Gables, FL 33134

**DRAWING**

Proposed Second Floor Plan

SEAL	SCALE
	DRAWN
	REVIEWED NDL
	PROJ. NO. 326.02
SHEET NO.	<b>A-02.3</b>



**NOTES**

1. MAINTAIN A MINIMUM DISTANCE OF 10" BETWEEN THE WALL AND THE EDGE OF ANY CEILING MOUNTED DIFFUSERS.
2. CENTER ALL LIGHTS AND DIFFUSERS AS SHOWN ON THIS PLAN. COORDINATE WITH ARCHITECT ANY CONFLICTS.
3. GC TO COORDINATE SECURITY, SOUND, DATA LOCATIONS WITH OWNER'S CONSULTANT.
4. SEE EXTERIOR AND INTERIOR ELEVATIONS FOR ALL WALL MOUNTED LIGHT AND SCENCE HEIGHT LOCATIONS.
5. COORD W/ OWNER LOCATION OF LIGHTS ON DIMMERS.
6. SPACE WALL OUTLETS 4" APART AND ALIGN TOPS AT ALL LOCATIONS WITH 2 OR MORE OUTLETS/SWITCHES.
7. CENTERLINE ALL AC EQUIPMENT WITH CEILING LIGHTS WHEREVER POSSIBLE.

**LEGEND**

● RECESSED DOWNLIGHT	○ SECURITY LIGHT	□ RETURN AIR DIFFUSER
● RECESSED WALL WASHER	--- UC LIGHT	□ SUPPLY AIR DIFFUSER
○ WALL MOUNTED LIGHT	□ PICTURE LIGHT (WALL MTD)	□ CEILING FAN (RATED FOR 100 LBS MINIMUM CAPACITY) W/ LIGHT
D WALL MOUNTED SCENCE	□ TV OUTLET	○ PENDANT LIGHT OR CHANDELIER (BOX RATED FOR 100 LBS)
⊙ SMOKE DETECTOR	□ WALL FAN	⊙ SPEAKER (SOUND)-COORD. LOCATIONS WITH OWNER REP.
■ EXHAUST FAN	○ SURFACE MOUNTED LIGHT	
□ JUNCTION BOX (RATED FOR 100 LBS MINIMUM CAPACITY)		

**NOTE:**  
 -ALL CHANDELIERS & SCENCES ON DIMMERS.  
 -FOR AC LOCATION AT FOYER, LIVING ROOM AND DINING ROOM SEE MECHANICAL PLANS.

**FIRST FLOOR REFLECTED CEILING PLAN**  
 SCALE: 1/4" = 1'-0"

**LOCUS ARCHITECTURE INCORPORATED**  
 500 South Dixie Highway, Suite 307  
 Coral Gables, Florida 33146  
 Tel: (305) 740-0120  
 Email: locus@locusarchitecture.net  
 License: AR 13937

CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	PRELIM BOA SUBMITTAL	10-18-24
	COA SUBMITTAL	11-08-24
	PERMIT SUBMITTAL	
	COA SUBMITTAL	01-16-25
⚠	COA & CITY COMMENTS OWNER REVISION	04-22-24
	BOA RESUBMITTAL	10-16-24
⚠	OWNER REVISIONS	01-27-25

PROJECT  
 Historically designated:  
**Additions & Remodel**  
 4600 Santa Maria St.  
 Coral Gables, FL 33146

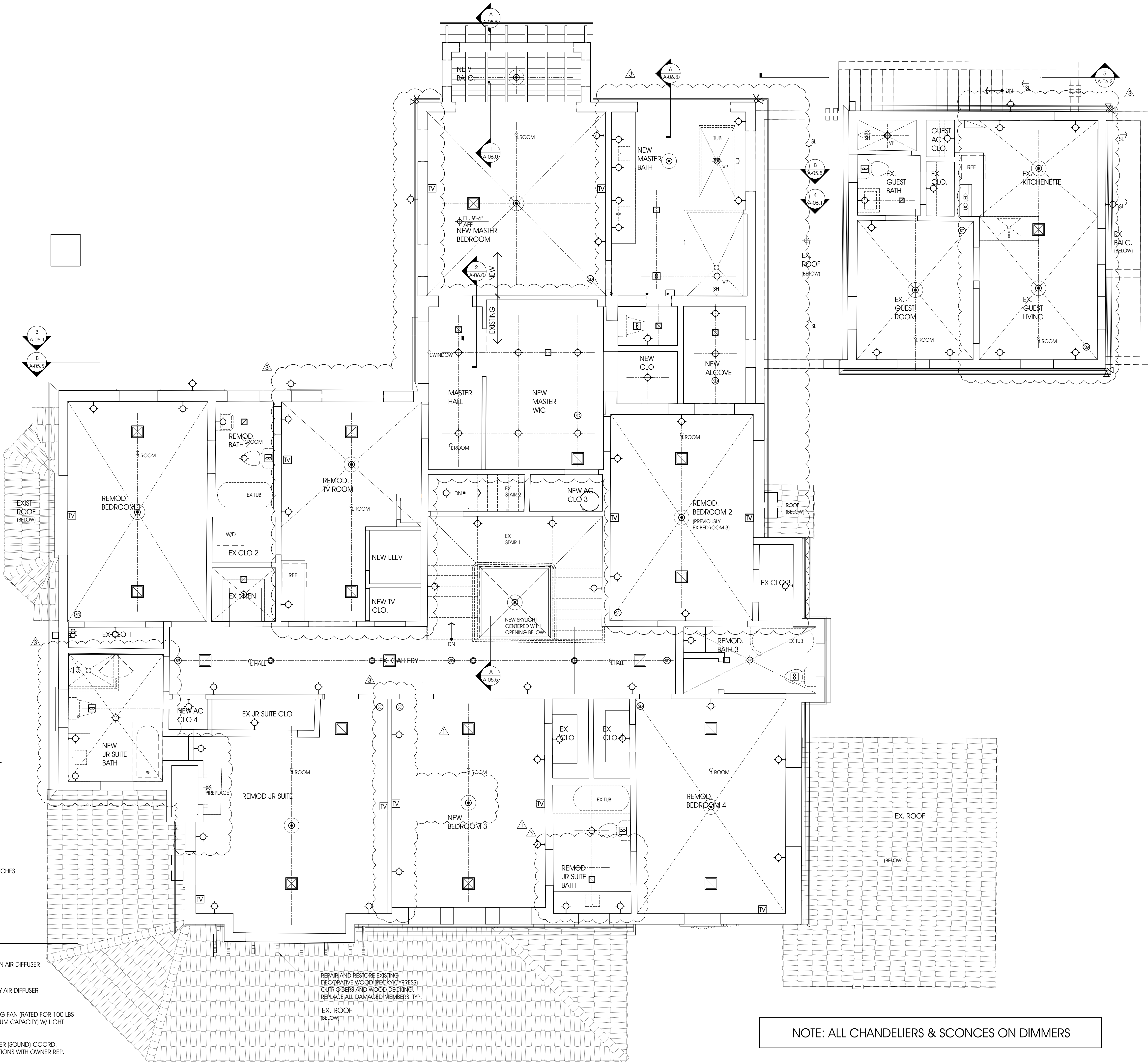
DRAWING  
 First Floor Reflected Ceiling Plan

SEAL

Nelson de Leon  
 AR 13937

SCALE  
 DRAWN  
 REVIEWED  
 NDJ  
 PROJ. NO.  
 359.0  
 SHEET NO.

**A-03.0**



- NOTES**
1. MAINTAIN A MINIMUM DISTANCE OF 8" BETWEEN THE WALL AND THE EDGE OF ANY CEILING MOUNTED DIFFUSERS.
  2. CENTER ALL LIGHTS AND DIFFUSERS AS SHOWN ON THIS PLAN. COORDINATE WITH ARCHITECT ANY CONFLICTS.
  3. GC TO COORDINATE SECURITY, SOUND, DATA LOCATIONS WITH OWNER'S CONSULTANT.
  4. SEE EXTERIOR AND INTERIOR ELEVATIONS FOR ALL WALL MOUNTED LIGHT AND SCONCE HEIGHT LOCATIONS.
  5. COORD W/ OWNER LOCATION OF LIGHTS ON DIMMERS.
  6. SPACE WALL OUTLETS 4' APART AND ALIGN TOPS AT ALL LOCATIONS WITH 2 OR MORE OUTLETS/SWITCHES.
  7. CENTERLINE ALL AC EQUIPMENT WITH CEILING LIGHTS WHEREVER POSSIBLE.

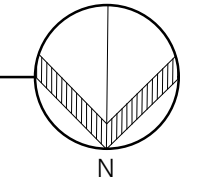
- LEGEND**
- RECESSED DOWNLIGHT
  - RECESSED WALL WASHER
  - ◐ WALL MOUNTED LIGHT
  - ◑ WALL MOUNTED UPLIGHT
  - ⊙ SMOKE DETECTOR
  - ⊞ EXHAUST FAN
  - ⊠ JUNCTION BOX (RATED FOR 100 LBS MINIMUM CAPACITY)
  - ⊞ SECURITY LIGHT
  - UC LIGHT
  - ⊞ PICTURE LIGHT (WALL MTD)
  - ⊞ TV OUTLET
  - ⊞ WALL FAN
  - ⊞ SURFACE MOUNTED LIGHT
  - ⊞ PENDANT LIGHT OR CHANDELIER (BOX RATED FOR 100 LBS)
  - ⊞ RETURN AIR DIFFUSER
  - ⊞ SUPPLY AIR DIFFUSER
  - ⊞ CEILING FAN (RATED FOR 100 LBS MINIMUM CAPACITY) W/ LIGHT
  - ⊞ SPEAKER (SOUND)-COORD. LOCATIONS WITH OWNER REP.

REPAIR AND RESTORE EXISTING DECORATIVE WOOD (PECKY CYPRESS) OUTRIGGERS AND WOOD DECKING. REPLACE ALL DAMAGED MEMBERS, TYP.

EX. ROOF (BELOW)

NOTE: ALL CHANDELIERS & SCONCES ON DIMMERS

**SECOND FLOOR REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"



**LOCUS ARCHITECTURE INCORPORATED**  
500 South Dixie Highway, Suite 307  
Coral Gables, Florida 33146  
Tel: (305) 740-0120  
Email: locus@locusarchitecture.net  
License: AR 13937

CONSULTANT(S)

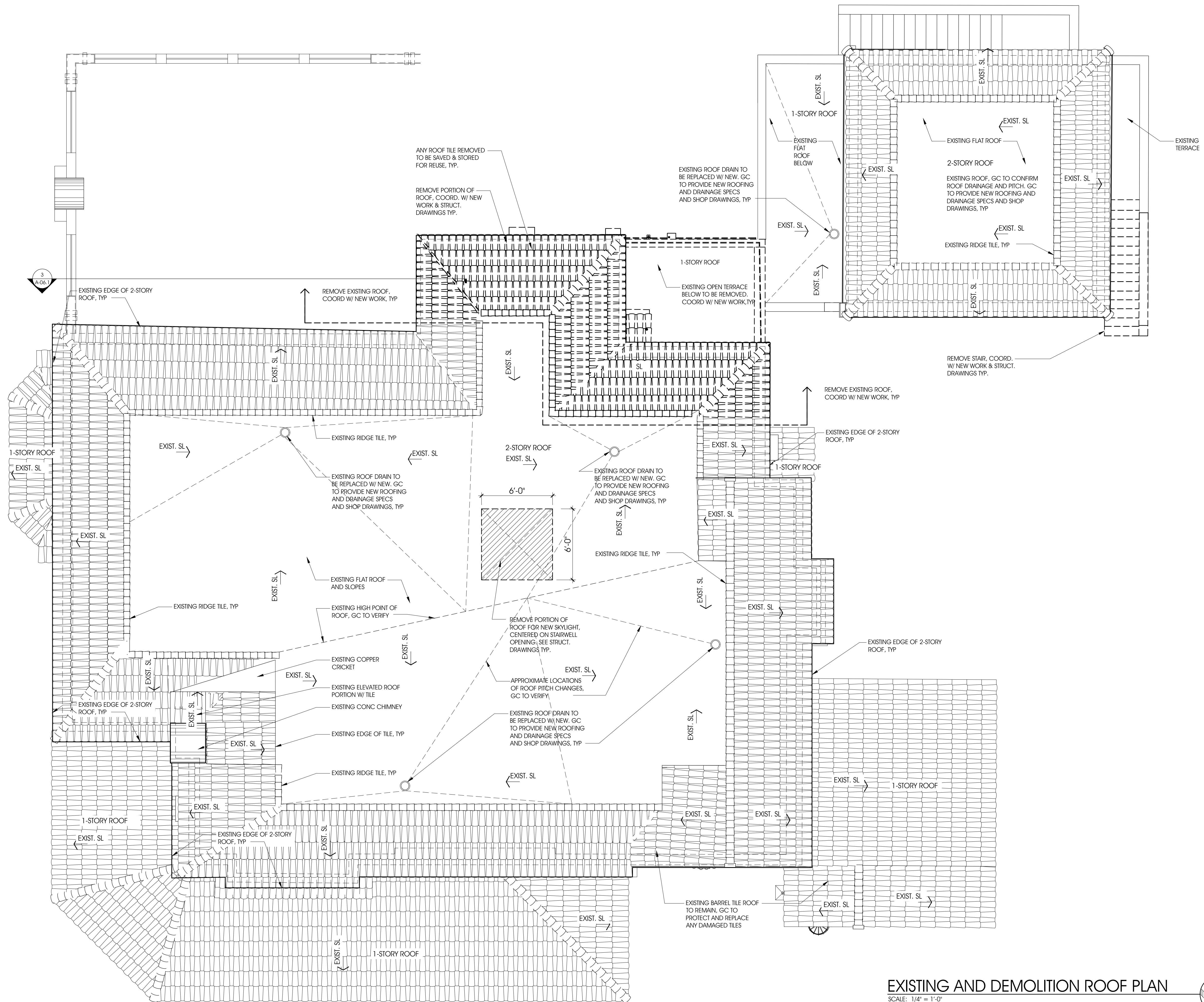
NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	PRELIM BOA SUBMITTAL	10-18-24
	COA SUBMITTAL	11-08-24
	PERMIT SUBMITTAL	
	COA SUBMITTAL	01-16-25
⚠	COA & CITY COMMENTS OWNER REVISION	04-22-24
	BOA RESUBMITTAL	10-16-24
⚠	OWNER REVISIONS	01-27-25

PROJECT  
Historically designated:  
**Additions & Remodel**  
4600 Santa Maria St.  
Coral Gables, FL 33146

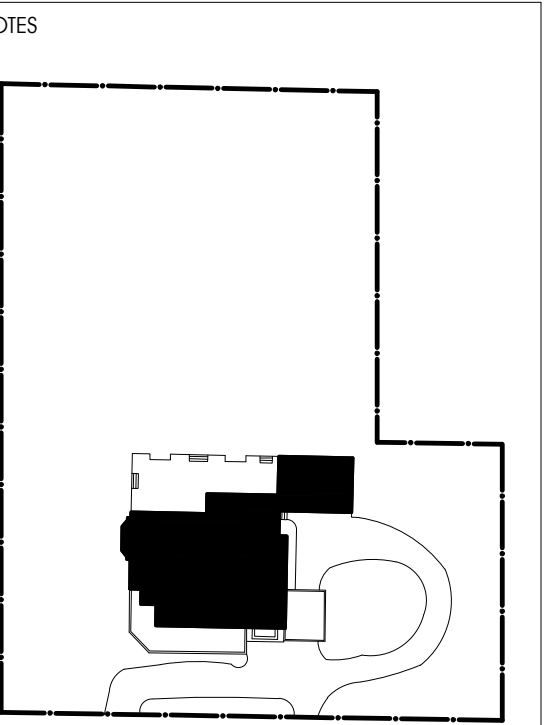
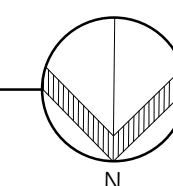
DRAWING  
Second Floor Reflected Ceiling Plan

SEAL  
  
Nelson de Leon  
AR 13937

SCALE  
DRAWN  
REVIEWED  
NDL  
PROJ. NO.  
359.0  
SHEET NO.  
**A-03.1**



**EXISTING AND DEMOLITION ROOF PLAN**  
SCALE: 1/4" = 1'-0"



**KEYPLAN**  
SCALE: N.T.S.

**LOCUS ARCHITECTURE INCORPORATED**  
500 South Dixie Highway, Suite 307  
Coral Gables, Florida 33146  
Tel: (305) 740-0120  
Email: locus@locusarchitecture.net

CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
	OWNER REVISION	10-15-24
	BOA RESUBMITTAL	

PROJECT

**Historical: Remodel & Additions  
Soane Residence**

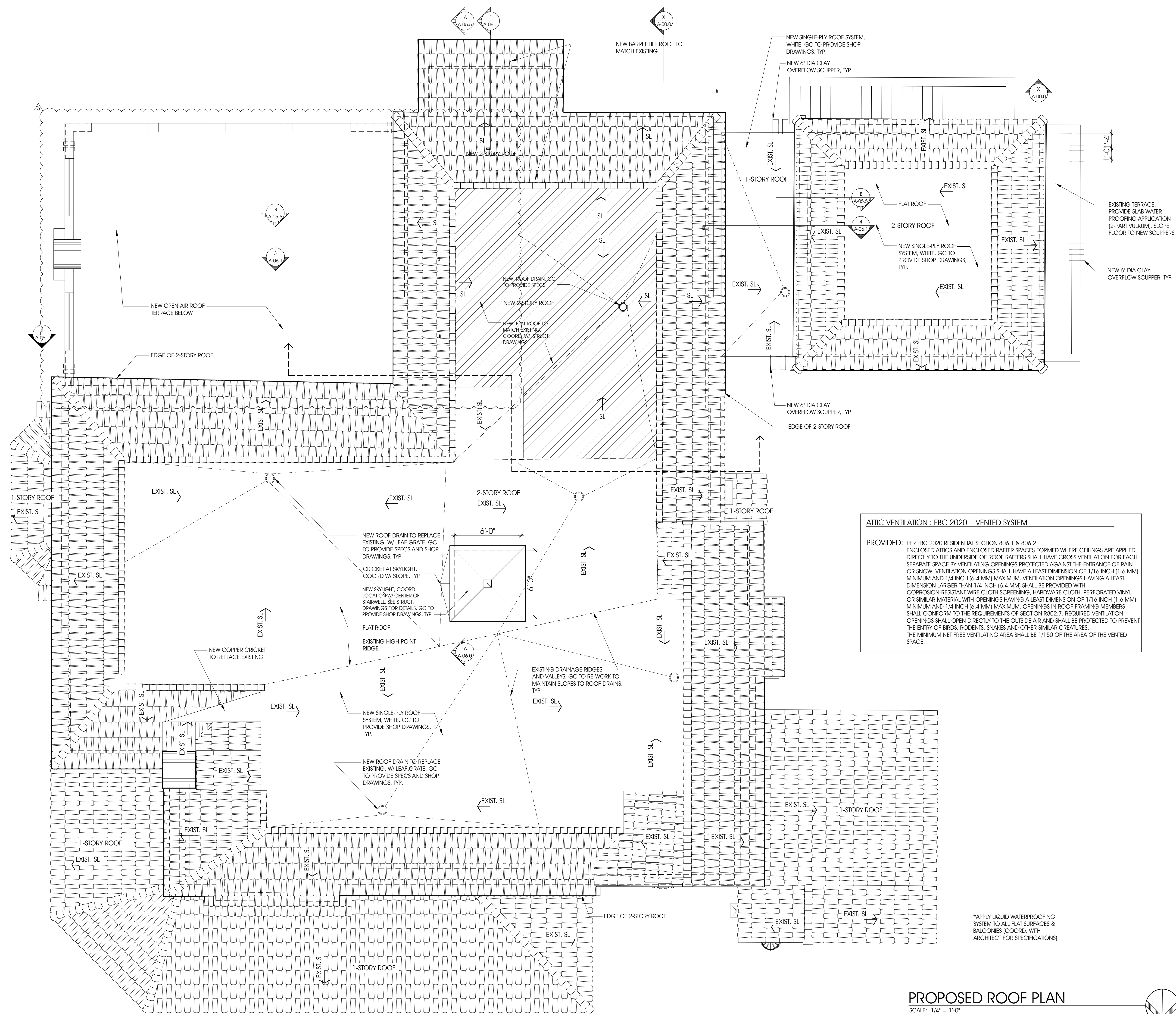
1104 Malaga Avenue  
Coral Gables, FL 33134

DRAWING

**Existing And Demolition  
Roof Plan**

SEAL	SCALE
	DRAWN
	REVIEWED NDL
Nelson de Leon AR 13937	PROJ. NO. 326.02
SHEET NO.	

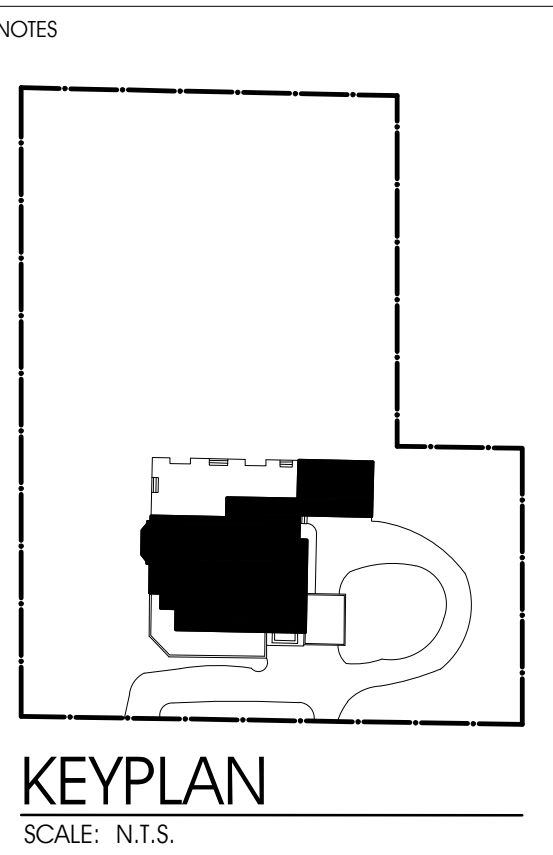
**A-04.0**



**ATTIC VENTILATION : FBC 2020 - VENTED SYSTEM**

**PROVIDED:** PER FBC 2020 RESIDENTIAL SECTION 806.1 & 806.2 ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATION OPENINGS SHALL HAVE A LEAST DIMENSION OF 1/16 INCH (1.6 MM) MINIMUM AND 1/4 INCH (6.4 MM) MAXIMUM. VENTILATION OPENINGS HAVING A LEAST DIMENSION LARGER THAN 1/4 INCH (6.4 MM) SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF 1/16 INCH (1.6 MM) MINIMUM AND 1/4 INCH (6.4 MM) MAXIMUM. OPENINGS IN ROOF FRAMING MEMBERS SHALL CONFORM TO THE REQUIREMENTS OF SECTION R802.7. REQUIRED VENTILATION OPENINGS SHALL OPEN DIRECTLY TO THE OUTSIDE AIR AND SHALL BE PROTECTED TO PREVENT THE ENTRY OF BIRDS, RODENTS, SNAKES AND OTHER SIMILAR CREATURES. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE.

\*APPLY LIQUID WATERPROOFING SYSTEM TO ALL FLAT SURFACES & BALCONIES (COORD. WITH ARCHITECT FOR SPECIFICATIONS)



**LOCUS ARCHITECTURE INCORPORATED**  
500 South Dixie Highway, Suite 307  
Coral Gables, Florida 33146  
Tel: (305) 740-0120  
Email: locus@locusarchitecture.net

CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
	BOA RESUBMITTAL	
3	OWNER REVISIONS	01-27-25

PROJECT

**Historical: Remodel & Additions  
Soane Residence**

1104 Malaga Avenue  
Coral Gables, FL 33134

DRAWING

**Proposed Roof Plan**

SEAL

SCALE

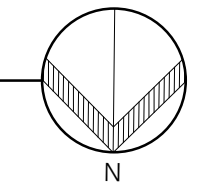
DRAWN

REVIEWED  
NDL

PROJ. NO.  
326.02

SHEET NO.

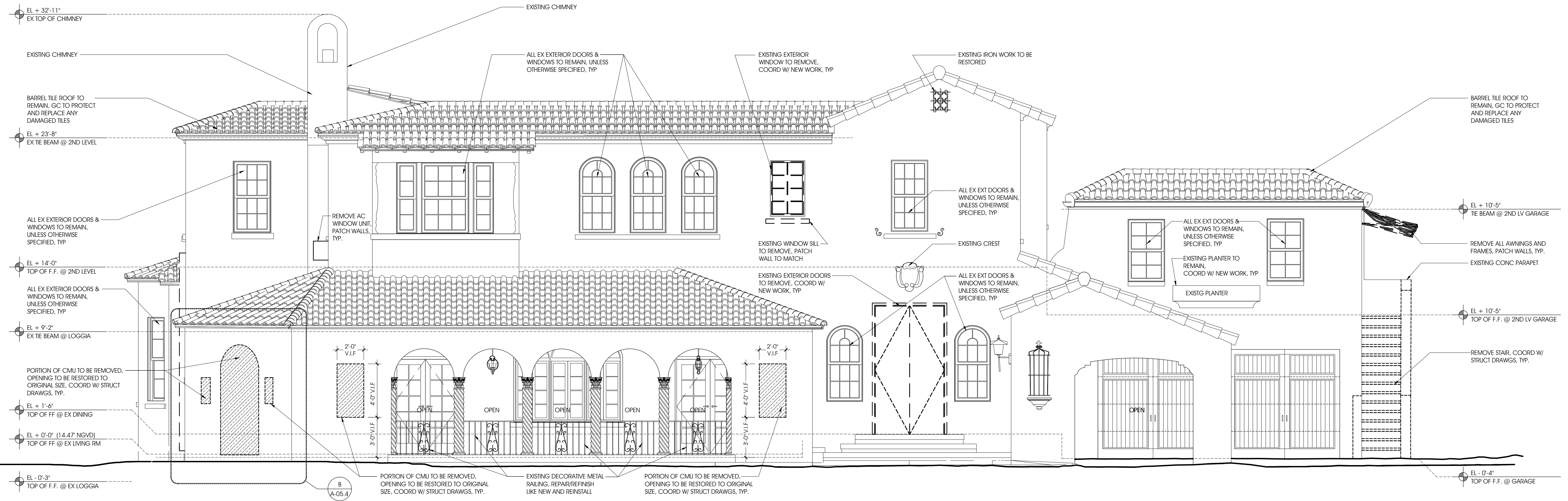
**PROPOSED ROOF PLAN**  
SCALE: 1/4" = 1'-0"



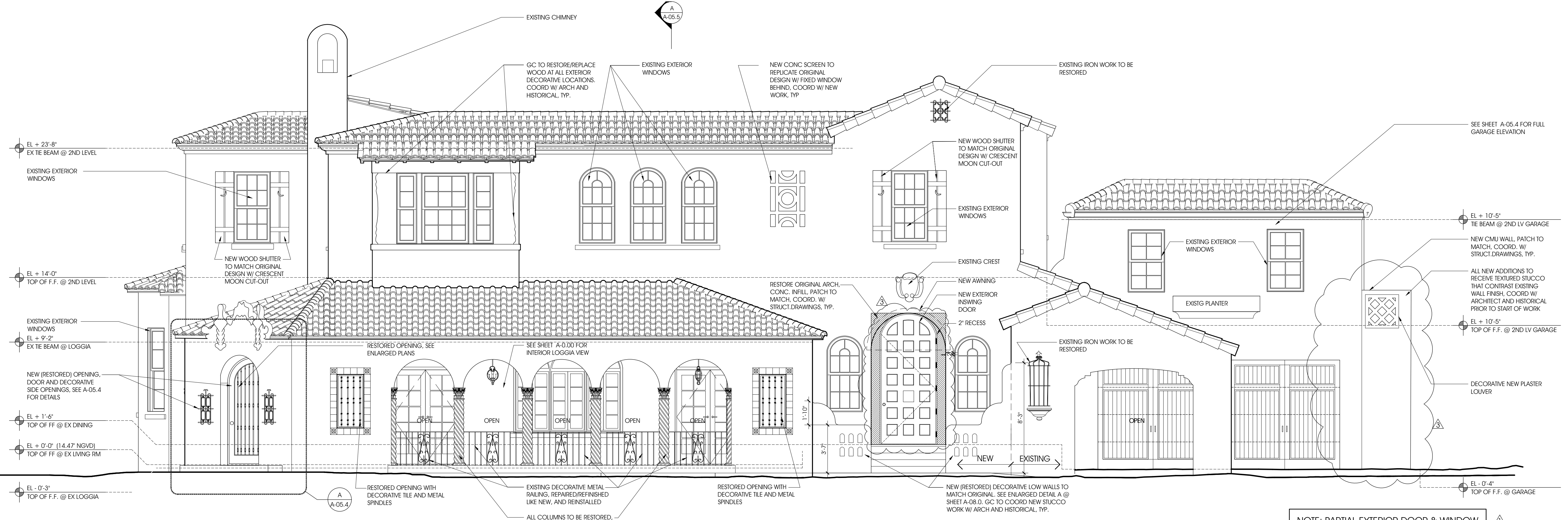
**A-04.1**

**HISTORIC DEPARTMENT NOTES**

1. WINDOW/DOOR MUNTINS ARE TO BE HIGH-PROFILE / DIMENSIONAL.
2. WINDOW/DOOR GLASS TO BE CLEAR/NON-REFLECTIVE/NON-TINT.
3. HOUSE IS NOT TO BE RESTUCCOED IN ITS ENTIRETY.
4. EXISTING WINDOW SILLS ARE TO REMAIN.
5. WORK WITH STAFF ON ALL DECORATIVE DETAILS TO BE RESTORED (E.G. THE WOODEN SPINDLES, IRON WORK, LIGHT FIXTURES, ETC.) PRIOR TO FABRICATION. DETAILED DRAWINGS/SHOP DRAWINGS ARE TO BE SUBMITTED.



**EXISTING AND DEMOLITION FRONT ELEVATION (NORTH)**  
SCALE: 3/16" = 1'-0"



NOTE: PARTIAL EXTERIOR DOOR & WINDOW REPLACEMENT SUBMITTED UNDER PROCESS BLD-23-08-4122

**PROPOSED FRONT ELEVATION (NORTH)**  
SCALE: 1/4" = 1'-0"

**LOCUS ARCHITECTURE INCORPORATED**  
500 South Dixie Highway, Suite 307  
Coral Gables, Florida 33146  
Tel: (305) 740-0120  
Email: locus@locusarchitecture.net

CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
	COA & CITY COMMENTS OWNER REVISION	04-22-24
	CITY COMMENTS	07-08-24
	BOA RESUBMITTAL	10-16-24
	BOA RESUBMITTAL	12-14-24
	OWNER REVISION	01-27-25

PROJECT  
**Historical: Remodel & Additions Soane Residence**

1104 Malaga Avenue  
Coral Gables, FL 33134

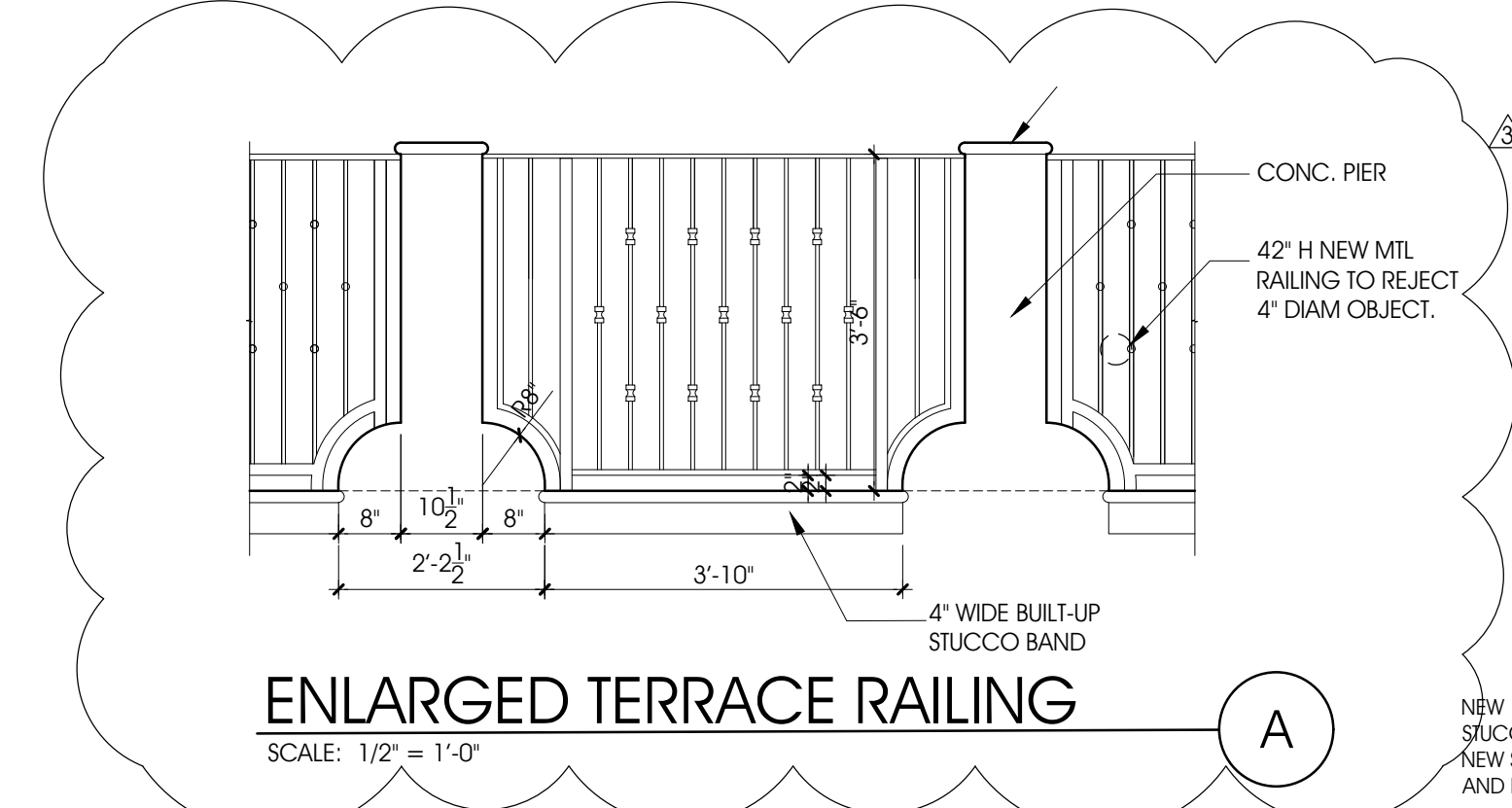
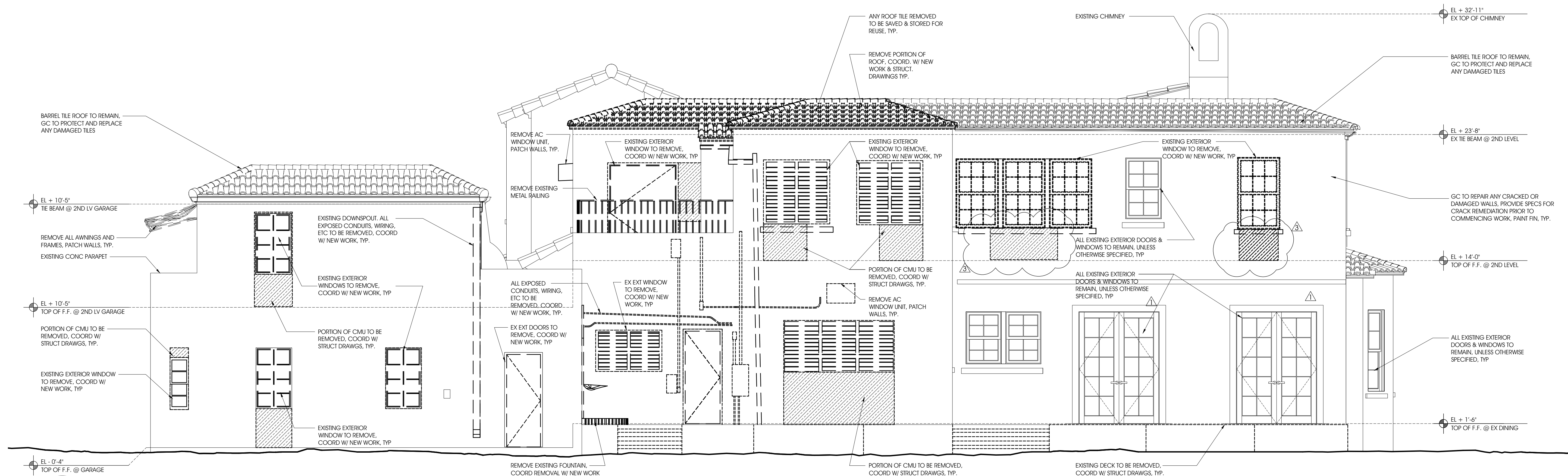
DRAWING  
**Existing, Demolition, and Proposed Front Elevation**

SEAL  
  
SCALE  
DRAWN  
REVIEWED  
NDL

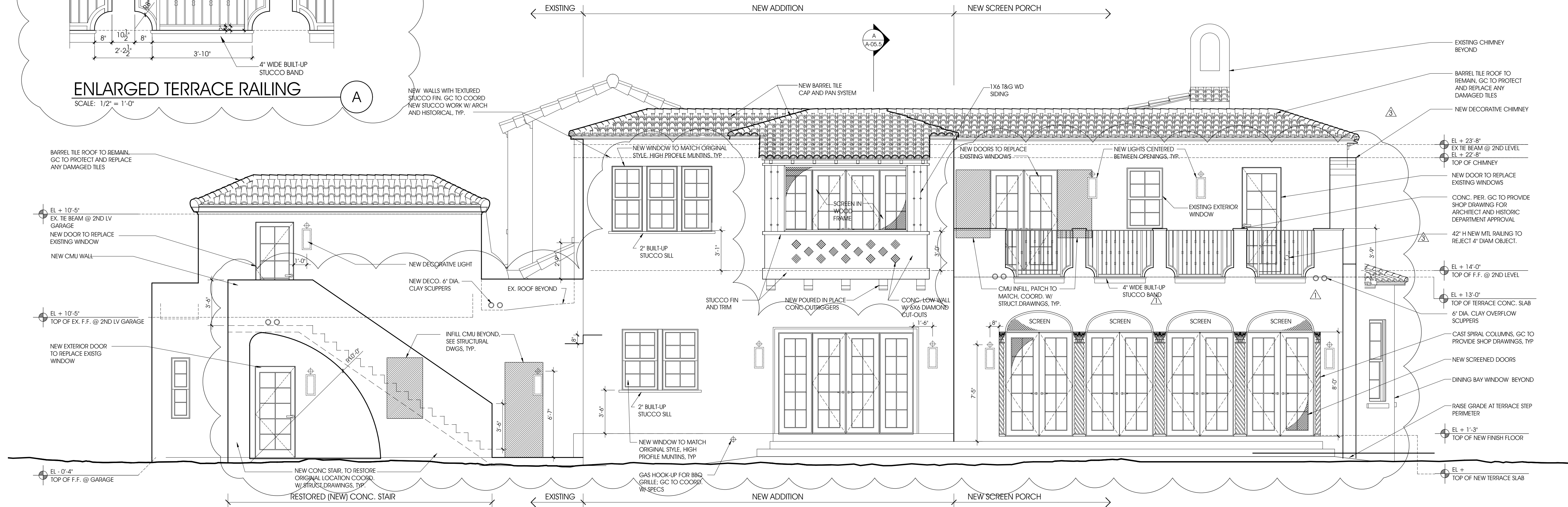
PROJ. NO.  
326.02

SHEET NO.  
**A-05.0**

1. WINDOW/DOOR MUNTINS ARE TO BE HIGH-PROFILE / DIMENSIONAL.
2. WINDOW/DOOR GLASS TO BE CLEAR/NON-REFLECTIVE/NON-TINT.
3. HOUSE IS NOT TO BE RESTITUCED IN ITS ENTIRETY.
4. EXISTING WINDOW SILLS ARE TO REMAIN. TO BE RESTORED (E.G. THE WOODEN SPINDLES, IRON WORK, LIGHT FIXTURES, ETC.) PRIOR TO FABRICATION. DETAILED DRAWINGS/SHOP DRAWINGS ARE TO BE SUBMITTED.



**EXISTING AND DEMOLITION REAR ELEVATION (SOUTH)**  
 SCALE: 3/16" = 1'-0"



**PROPOSED REAR ELEVATION (SOUTH)**  
 SCALE: 1/4" = 1'-0"

**LOCUS ARCHITECTURE INCORPORATED**  
 500 South Dixie Highway, Suite 307  
 Coral Gables, Florida 33146  
 Tel (305) 740-0120  
 Email: locus@locusarchitecture.net

CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
	COA & CITY COMMENTS OWNER REVISION	04-22-24
	CITY COMMENTS	07-08-24
	BOA RESUBMITTAL	10-16-24
	BOA RESUBMITTAL	12-14-24
	OWNER REVISIONS	01-27-25

PROJECT  
**Historical: Remodel & Additions**  
**Soane Residence**  
 1104 Malaga Avenue  
 Coral Gables, FL 33134

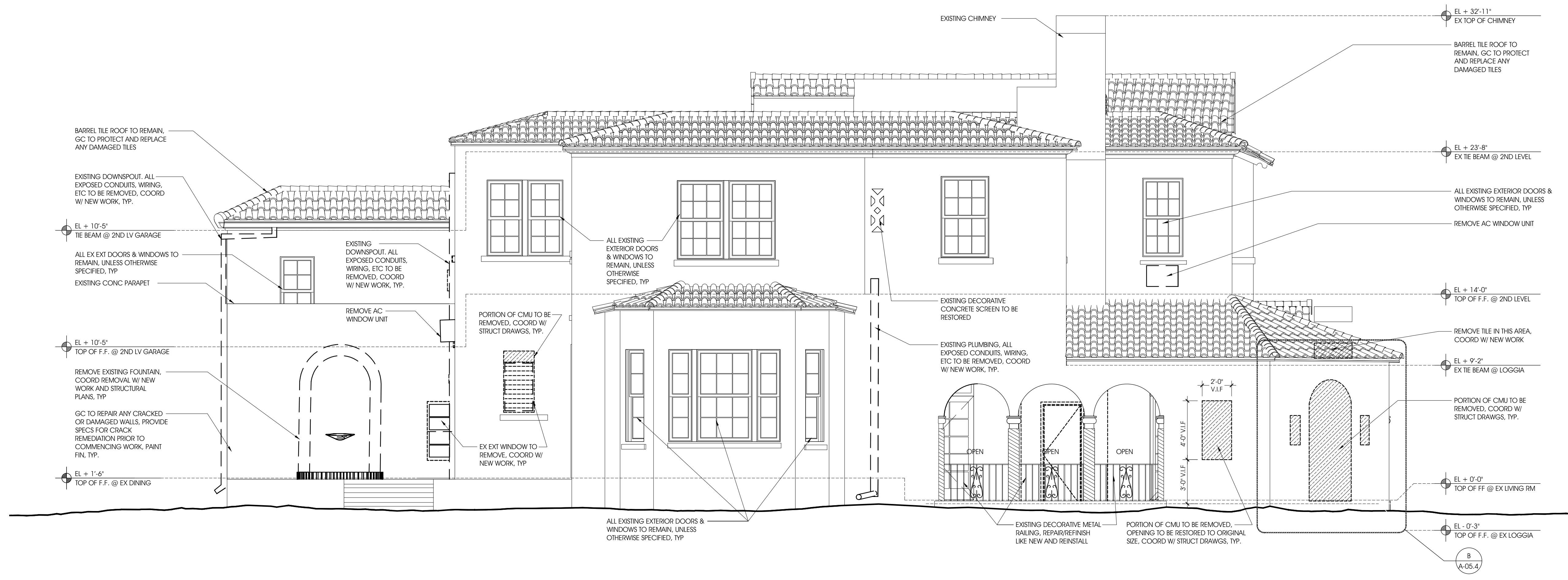
DRAWING  
**Existing, Demolition, and Proposed Rear Elevation**

SEAL  
  
 Nelson de Leon  
 AR 13937  
 SHEET NO.

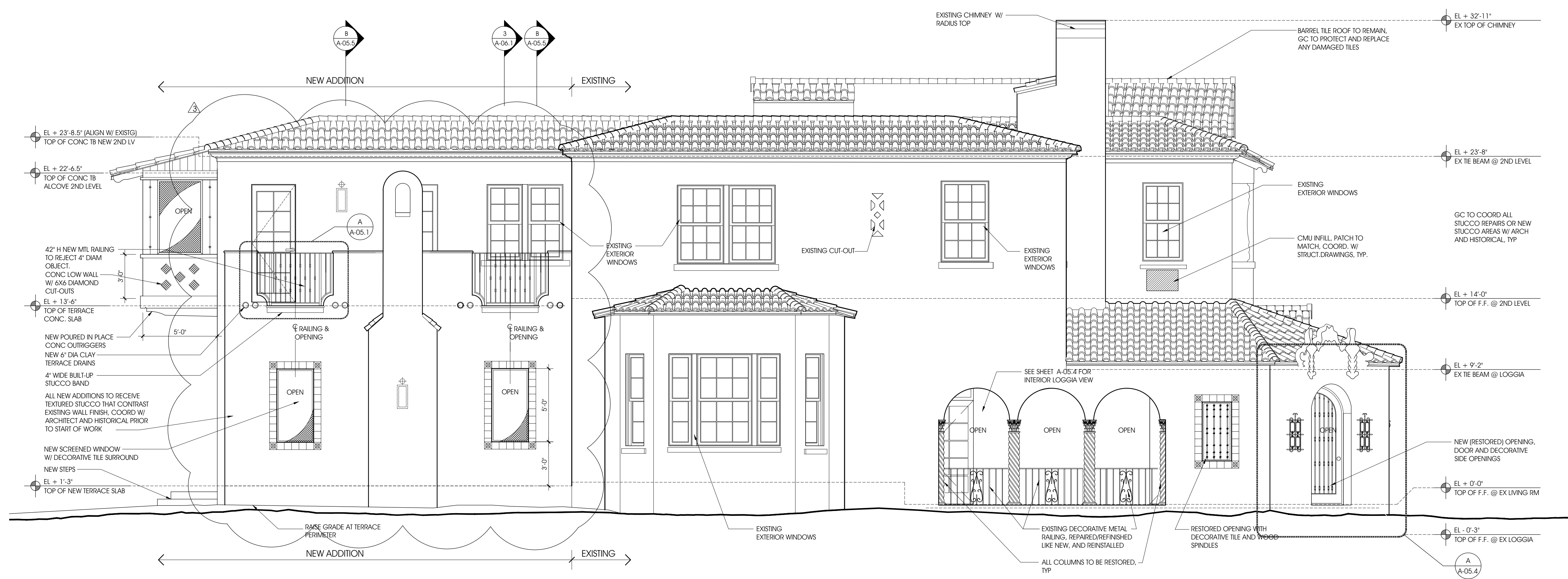
SCALE  
 DRAWN  
 REVIEWED  
 NDJL  
 PROJ. NO.  
 326.02



1. WINDOW/DOOR MUNTINS ARE TO BE HIGH-PROFILE / DIMENSIONAL.
2. WINDOW/DOOR GLASS TO BE CLEAR/NON-REFLECTIVE/NON-TINT.
3. HOUSE IS NOT TO BE RESTITUCOED IN ITS ENTIRETY.
4. EXISTING WINDOW SILLS ARE TO REMAIN.
5. WORK WITH STAFF ON ALL DECORATIVE DETAILS TO BE RESTORED (E.G. THE WOODEN SPINDLES, IRON WORK, LIGHT FIXTURES, ETC.) PRIOR TO FABRICATION. DETAILED DRAWINGS/SHOP DRAWINGS ARE TO BE SUBMITTED.



**EXISTING AND DEMOLITION SIDE ELEVATION (EAST)**  
 SCALE: 1/4" = 1'-0"



**PROPOSED SIDE ELEVATION (EAST)**  
 SCALE: 1/4" = 1'-0"

**LOCUS ARCHITECTURE INCORPORATED**  
 500 South Dixie Highway, Suite 307  
 Coral Gables, Florida 33146  
 Tel: (305) 740-0120  
 Email: locus@locusarchitecture.net

CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
	CITY COMMENTS	07-08-24
	BOA RESUBMITTAL	10-16-24
	BOA RESUBMITTAL	12-14-24
	OWNER REVISIONS	01-27-25

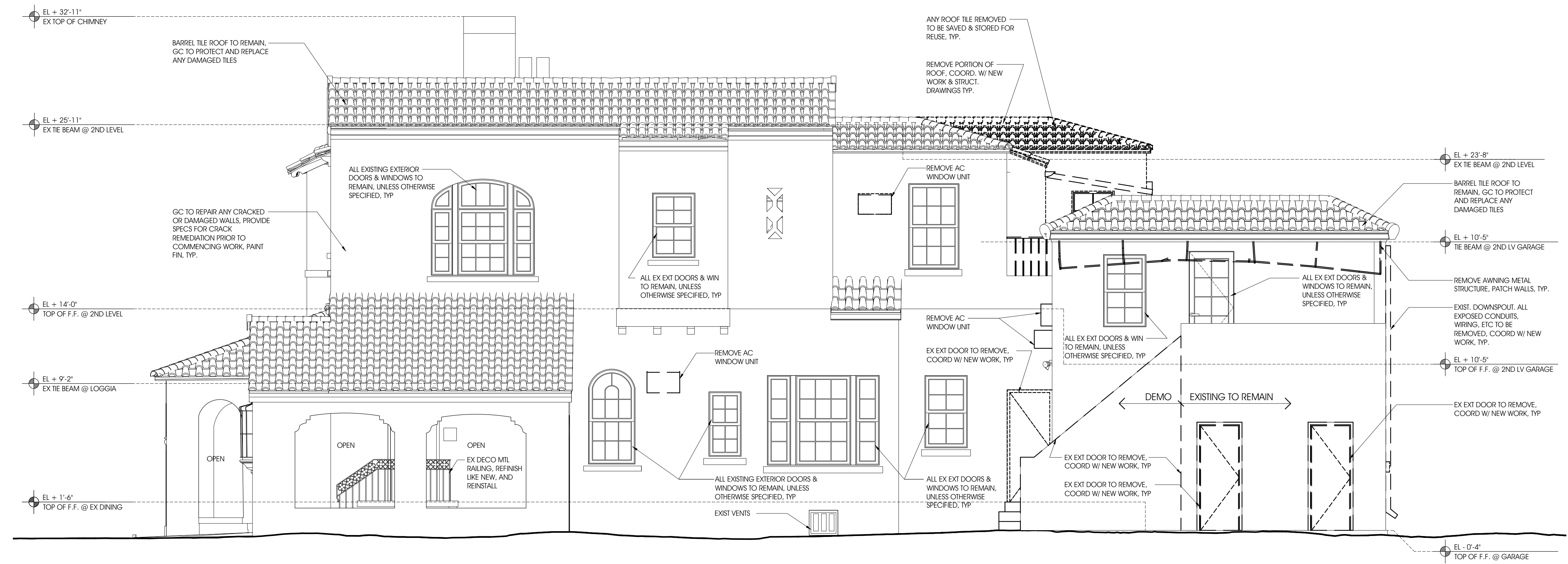
PROJECT  
**Historical: Remodel & Additions  
 Soane Residence**  
 1104 Malaga Avenue  
 Coral Gables, FL 33134

DRAWING  
**Existing, Demolition and  
 Proposed Side Elevation (East)**

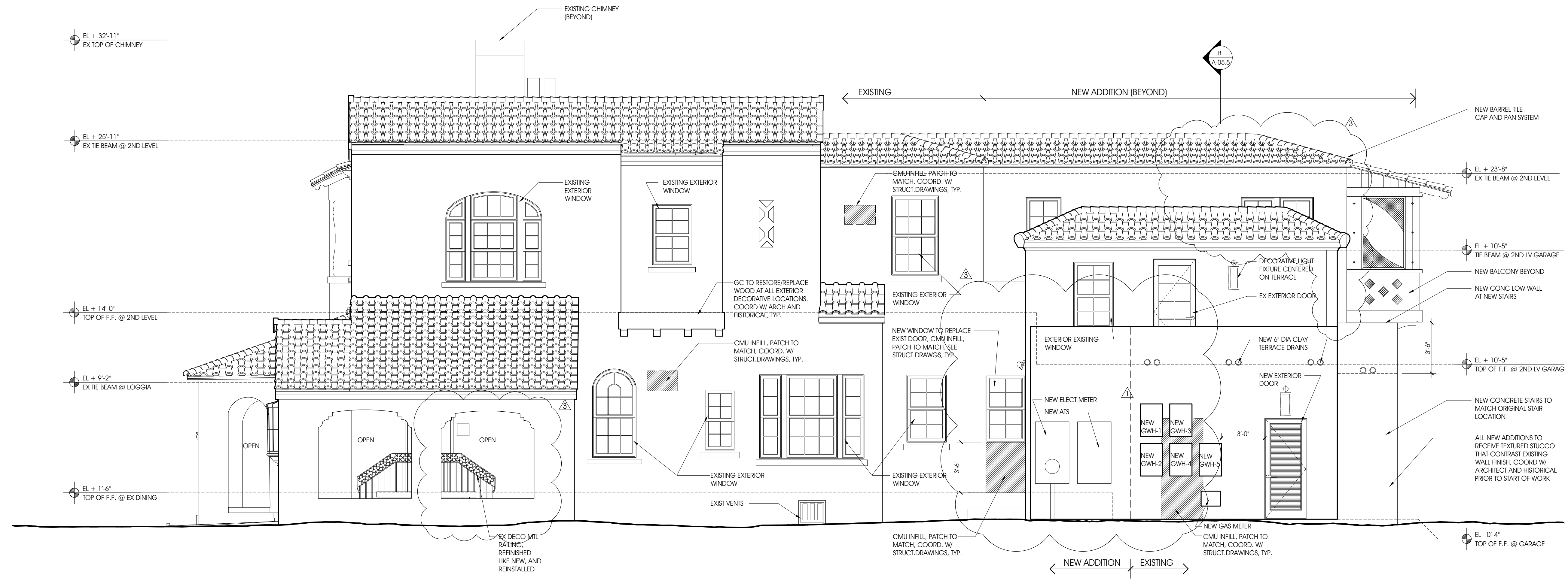
SEAL  
  
 SCALE  
 DRAWN  
 REVIEWED  
 NDJ  
 PROJ. NO.  
 AR 13937  
 326.02  
 SHEET NO.

**A-05.2**

1. WINDOW/DOOR MUNTINS ARE TO BE HIGH-PROFILE / DIMENSIONAL.
2. WINDOW/DOOR GLASS TO BE CLEAR/NON-REFLECTIVE/NON-TINT.
3. HOUSE IS NOT TO BE RESTITUCED IN ITS ENTIRETY.
4. EXISTING WINDOW SILLS ARE TO REMAIN.
5. WORK WITH STAFF ON ALL DECORATIVE DETAILS TO BE RESTORED (E.G. THE WOODEN SPINDLES, IRON WORK, LIGHT FIXTURES, ETC.) PRIOR TO FABRICATION. DETAILED DRAWINGS/SHOP DRAWINGS ARE TO BE SUBMITTED.



**EXISTING AND DEMOLITION SIDE ELEVATION (WEST)**  
 SCALE: 1/4" = 1'-0"



**PROPOSED SIDE ELEVATION (WEST)**  
 SCALE: 1/4" = 1'-0"

**LOCUS ARCHITECTURE INCORPORATED**  
 500 South Dixie Highway, Suite 307  
 Coral Gables, Florida 33146  
 Tel: (305) 740-0120  
 Email: locus@locusarchitecture.net

CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
	COA & CITY COMMENTS OWNER REVISION	04-22-24
	CITY COMMENTS	07-08-24
	BOA RESUBMITTAL	10-16-24
	BOA RESUBMITTAL	12-14-24
	OWNER REVISION	01-27-25

PROJECT

Historical: Remodel & Additions  
**Soane Residence**

1104 Malaga Avenue  
 Coral Gables, FL 33134

DRAWING  
 Existing, Demolition and  
 Proposed Side Elevation (West)

SEAL

SCALE

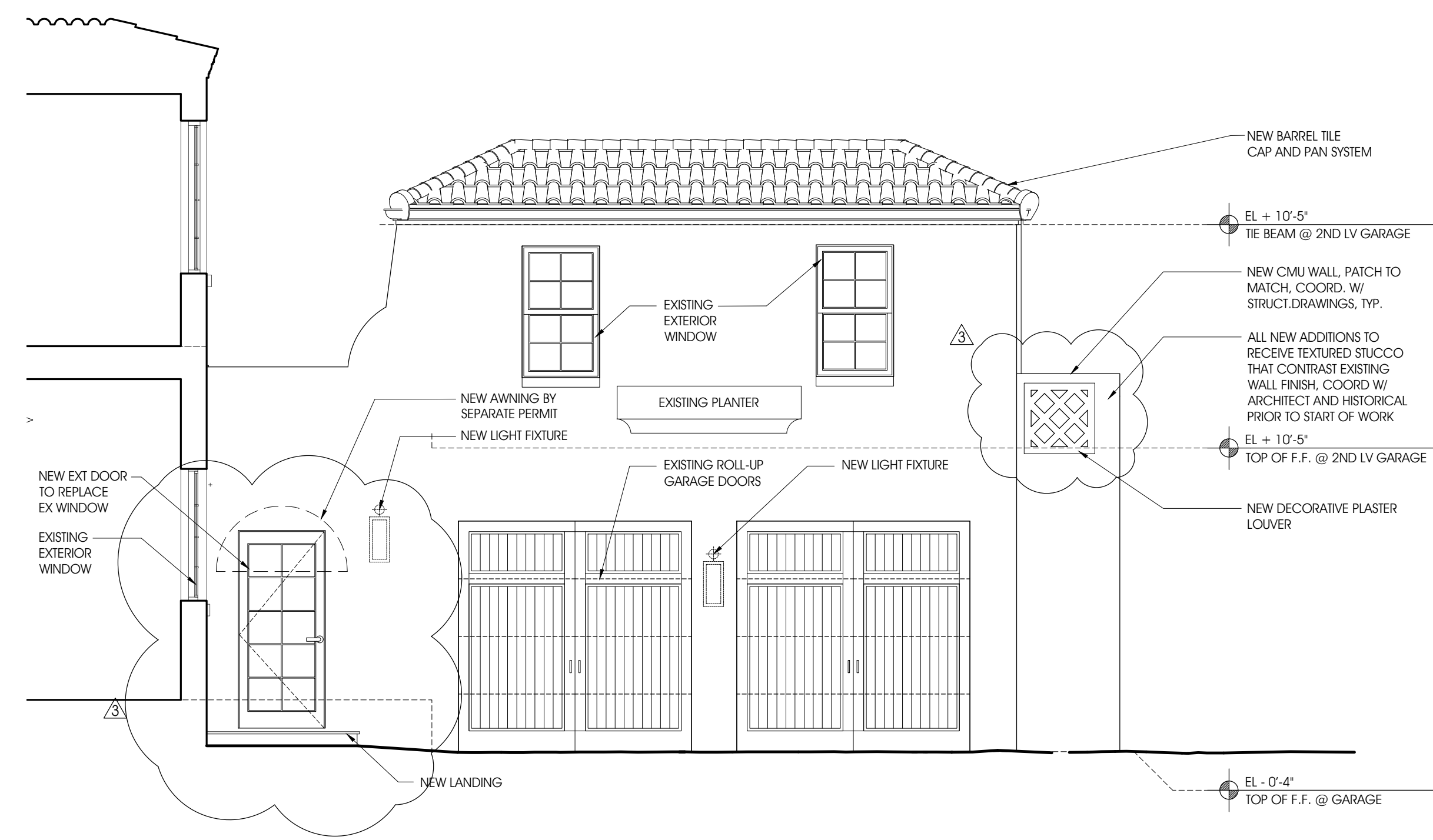
DRAWN

REVIEWED  
 NDJL

PROJ. NO.  
 326.02

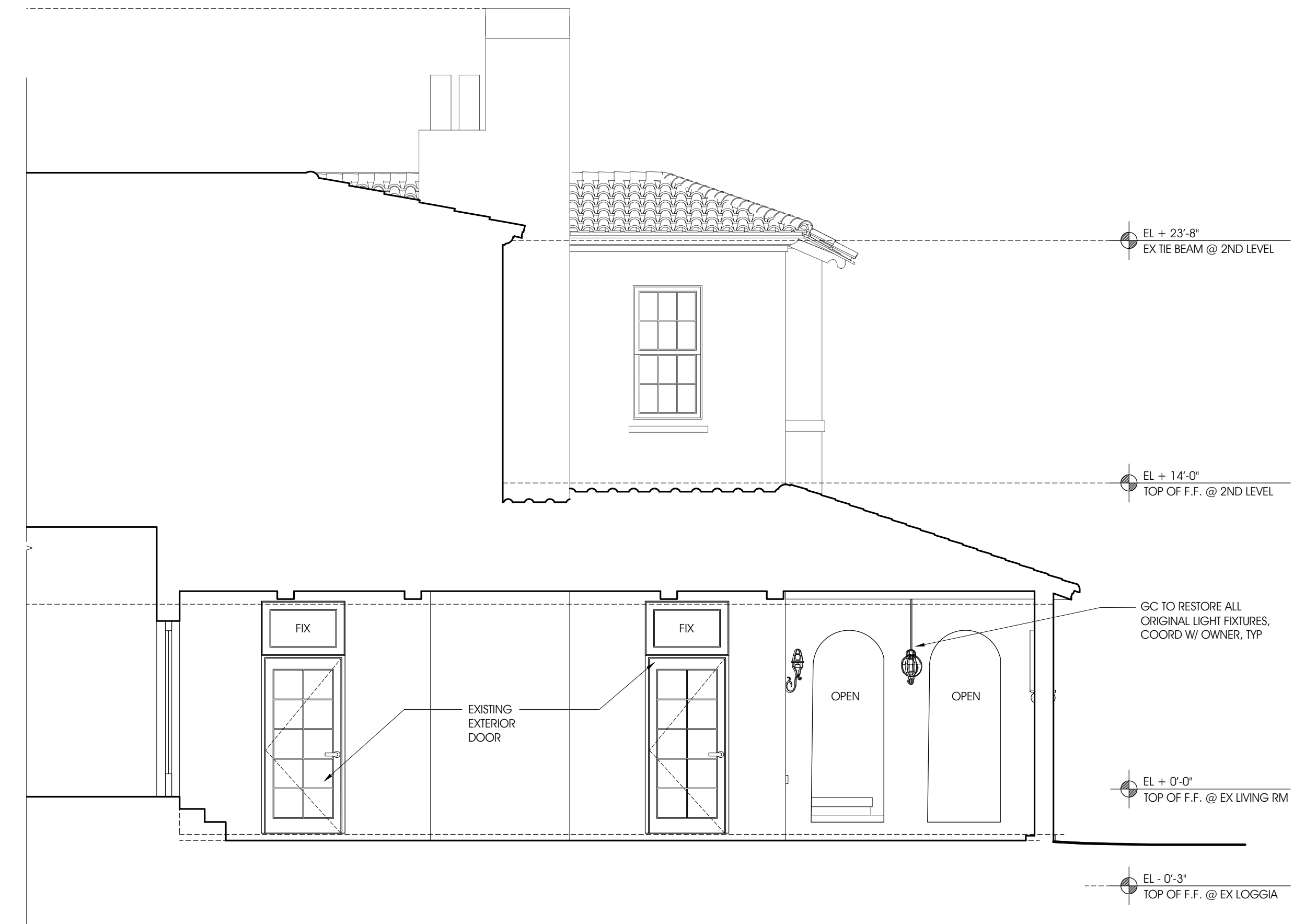
SHEET NO.

**A-05.3**



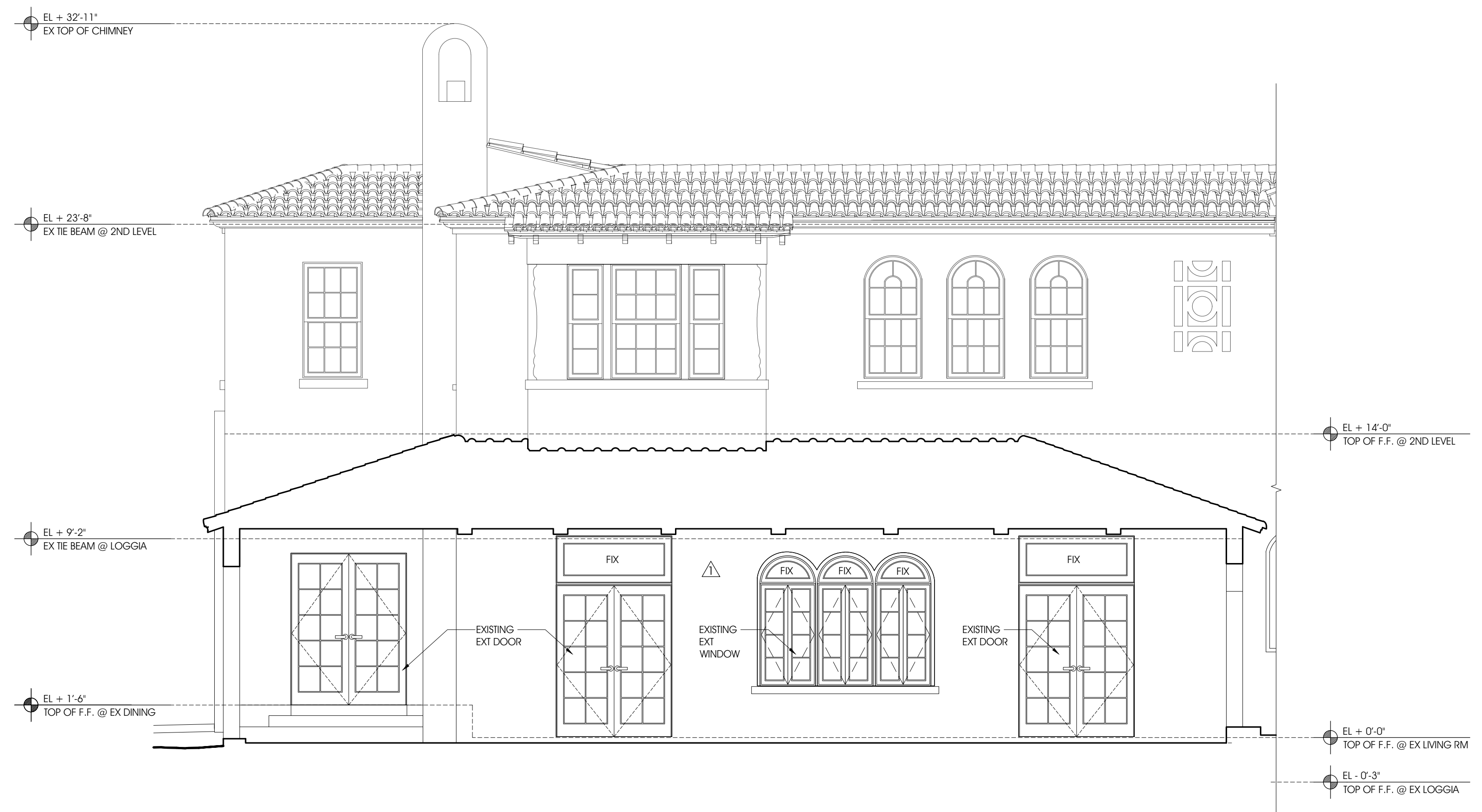
**PROPOSED GARAGE ELEVATION**

SCALE: 1/4" = 1'-0"



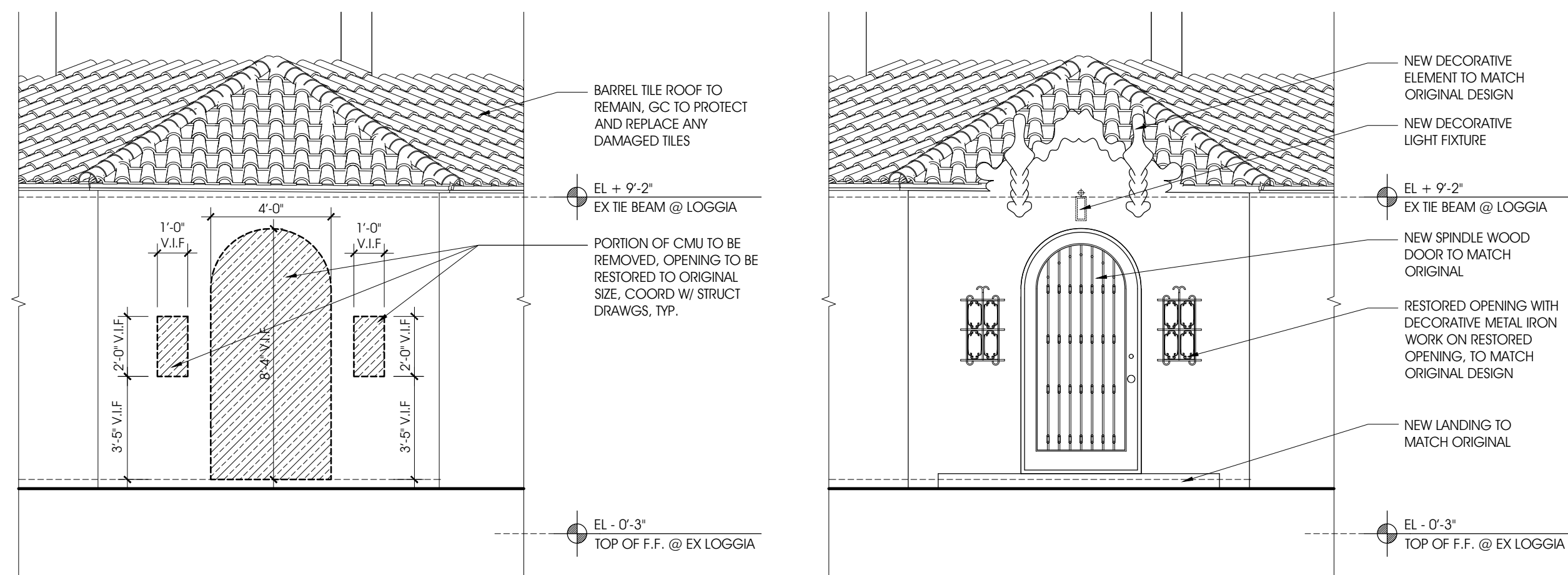
**PROPOSED LOGGIA ELEVATION 02**

SCALE: 1/4" = 1'-0"



**PROPOSED LOGGIA ELEVATION 01**

SCALE: 1/4" = 1'-0"



**LOGGIA CORNER DEMO DETAIL**

SCALE: 1/4" = 1'-0"

**LOGGIA CORNER DETAIL**

SCALE: 1/4" = 1'-0"

**HISTORIC DEPARTMENT NOTES**

1. WINDOW/DOOR MUNTINS ARE TO BE HIGH-PROFILE / DIMENSIONAL.
2. WINDOW/DOOR GLASS TO BE CLEAR/NON-REFLECTIVE/NON-TINT.
3. HOUSE IS NOT TO BE RESTITUCED IN ITS ENTIRETY.
4. EXISTING WINDOW SILLS ARE TO REMAIN.
5. WORK WITH STAFF ON ALL DECORATIVE DETAILS TO BE RESTORED (E.G. THE WOODEN SPINDLES, IRON WORK, LIGHT FIXTURES, ETC.) PRIOR TO FABRICATION. DETAILED DRAWINGS/SHOP DRAWINGS ARE TO BE SUBMITTED.

**LOCUS ARCHITECTURE INCORPORATED**  
 500 South Dixie Highway, Suite 307  
 Coral Gables, Florida 33146  
 Tel: (305) 740-0120  
 Email: locus@locusarchitecture.net

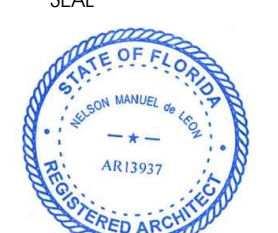
CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
⚠	COA & CITY COMMENTS OWNER REVISION	04-22-24
⚠	CITY COMMENTS	07-08-24
⚠	OWNER REVISION	01-27-25

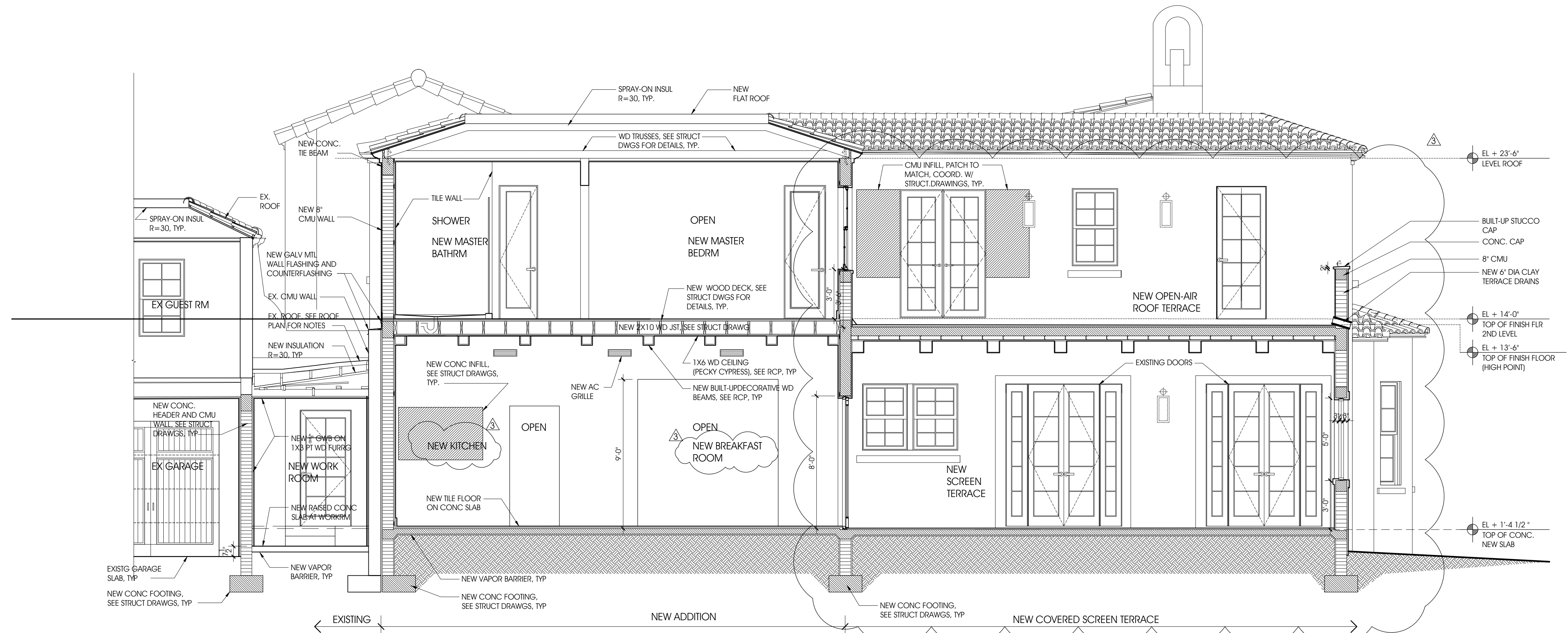
PROJECT  
**Historical: Remodel & Additions  
 Soane Residence**

1104 Malaga Avenue  
 Coral Gables, FL 33134

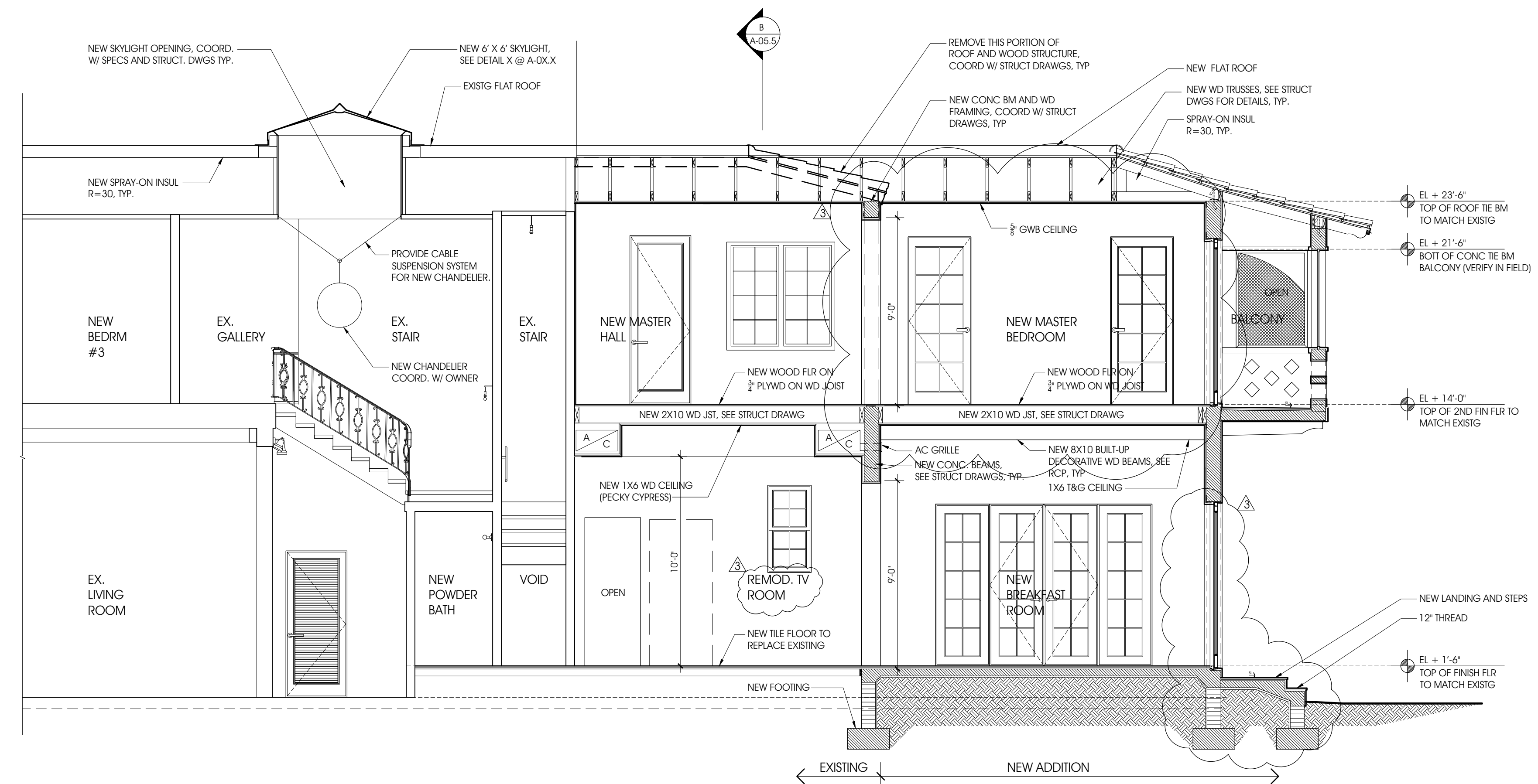
DRAWING  
**Proposed Partial Elevations  
 (Loggia and Garage)**

SEAL  
  
 SCALE  
 DRAWN  
 REVIEWED  
 NDJ  
 PROJ. NO.  
 326.02

SHEET NO.  
**A-05.4**



**PROPOSED BUILDING SECTION B-B**  
SCALE: 1/4" = 1'-0"



**PROPOSED BUILDING SECTION A-A**  
SCALE: 1/4" = 1'-0"

NOTES

**LOCUS ARCHITECTURE INCORPORATED**  
500 South Dixie Highway, Suite 307  
Coral Gables, Florida 33146  
Tel: (305) 740-0120  
Email: locus@locusarchitecture.net

CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
	BOA RESUBMITTAL	10-16-24
	OWNER REVISIONS	01-27-25

PROJECT

**Historical: Remodel & Additions  
Soane Residence**

1104 Malaga Avenue  
Coral Gables, FL 33134

DRAWING

**Proposed Building Sections**

SEAL

SCALE

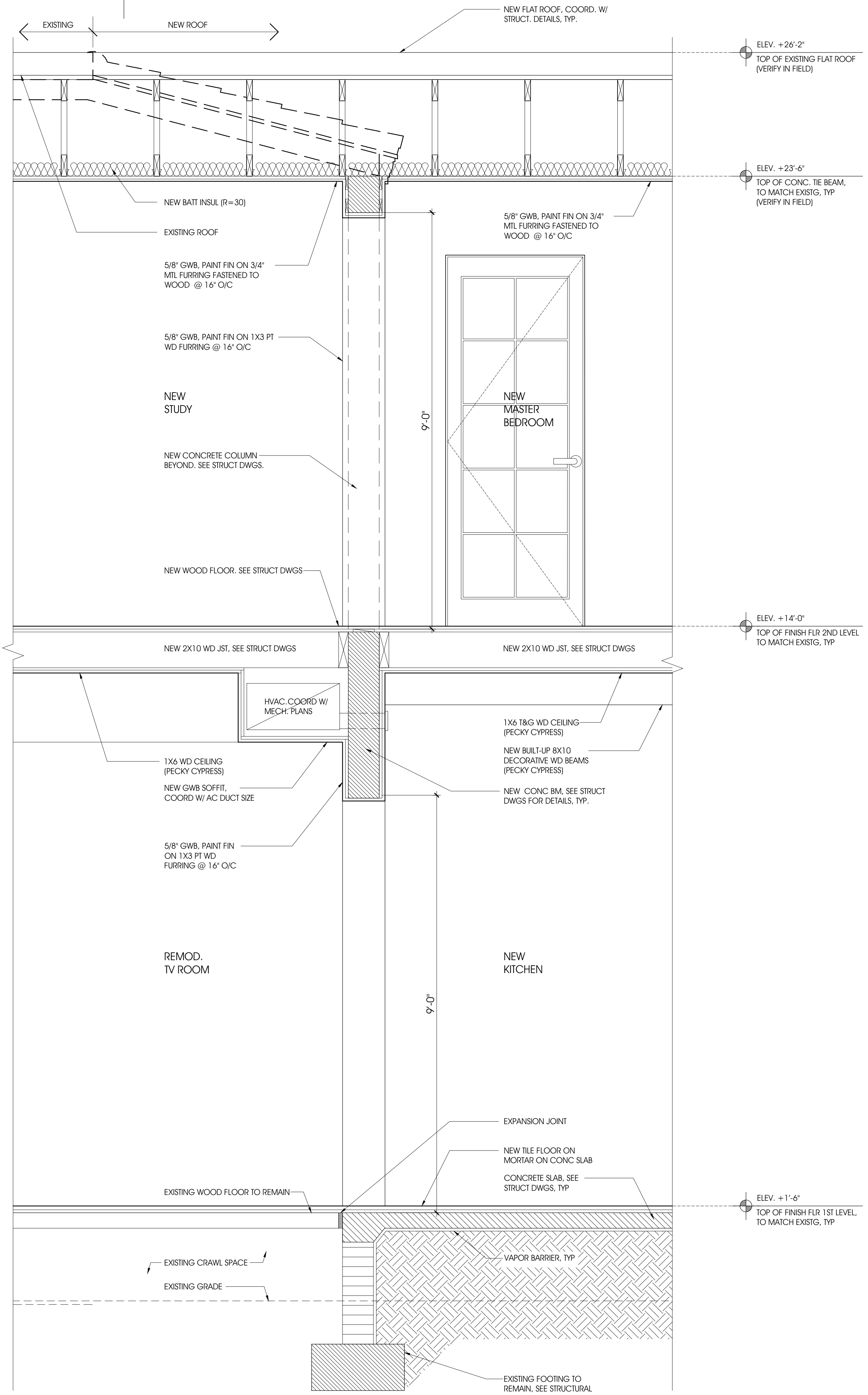
DRAWN

REVIEWED  
NDL

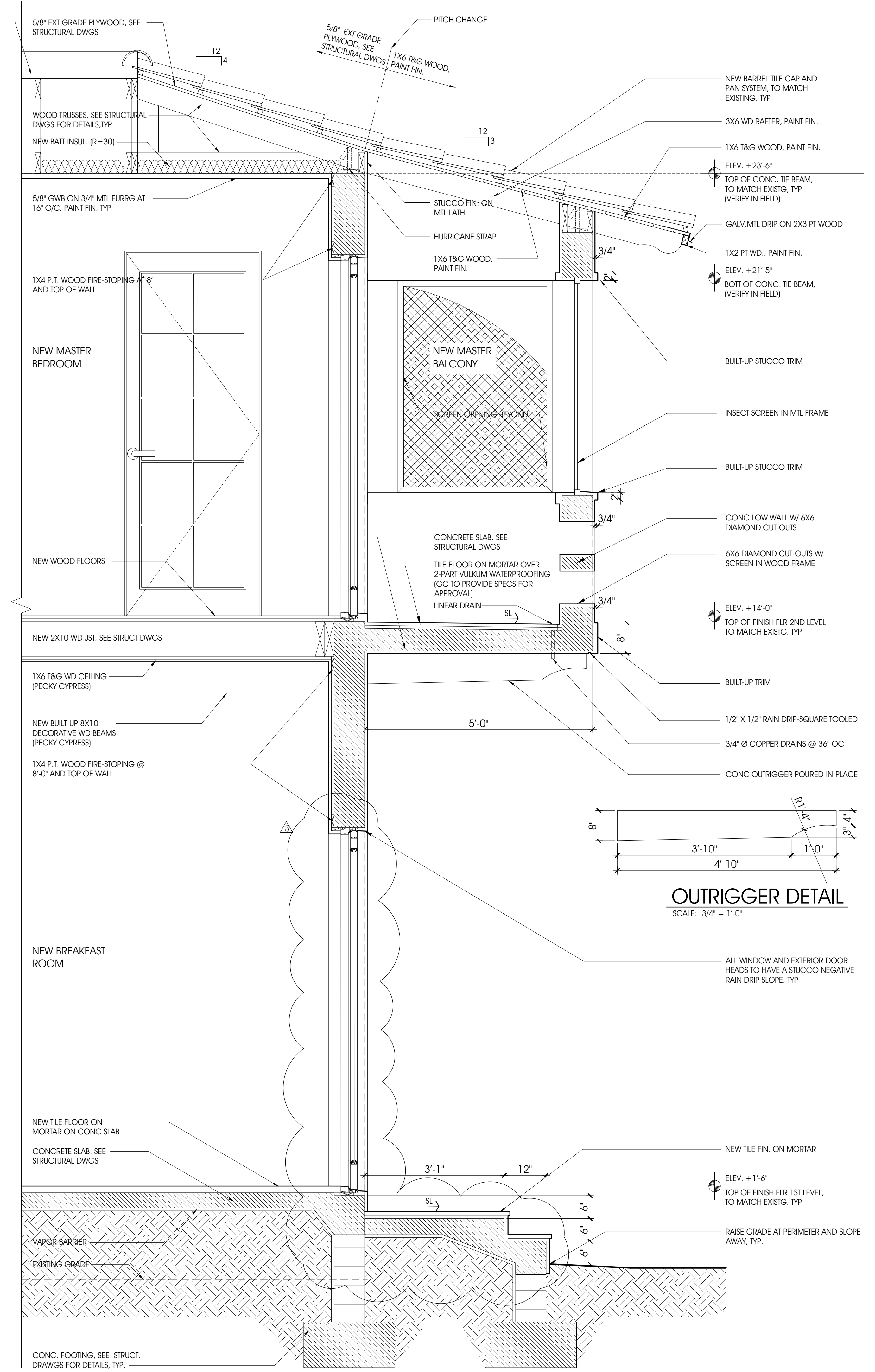
PROJ. NO.  
326.02

SHEET NO.

**A-05.5**



**WALL SECTION @ KITCHEN** ②  
SCALE: 3/4" = 1'-0"



**WALL SECTION @ BALCONY** ①  
SCALE: 3/4" = 1'-0"

NOTES

**LOCUS ARCHITECTURE INCORPORATED**  
500 South Dixie Highway, Suite 307  
Coral Gables, Florida 33146  
Tel: (305) 740-0120  
Email: locus@locusarchitecture.net

CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
	BOA RESUBMITTAL	10-16-24
	OWNER REVISIONS	01-27-25

PROJECT

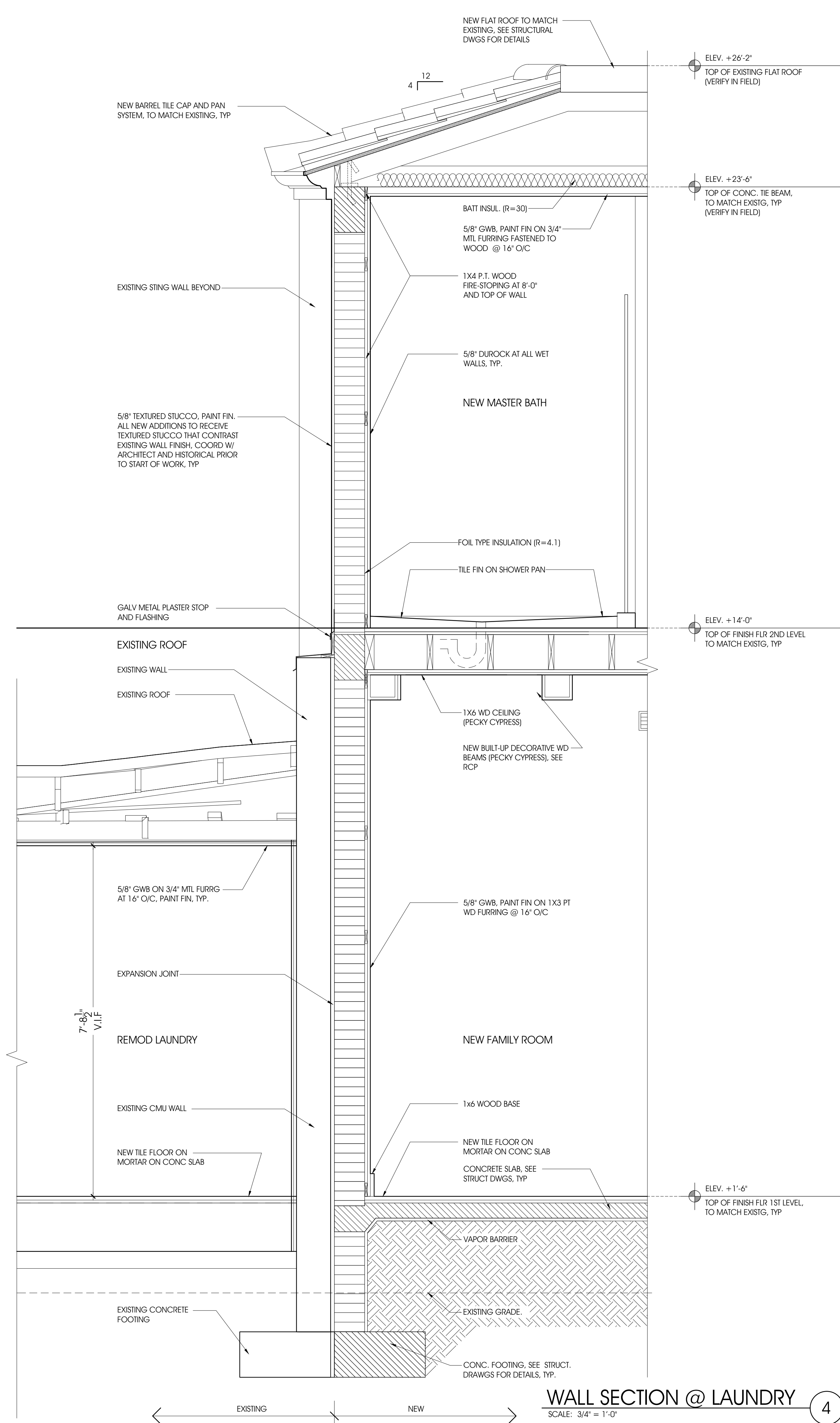
Historical: Remodel & Additions  
**Soane Residence**  
1104 Malaga Avenue  
Coral Gables, FL 33134

DRAWING

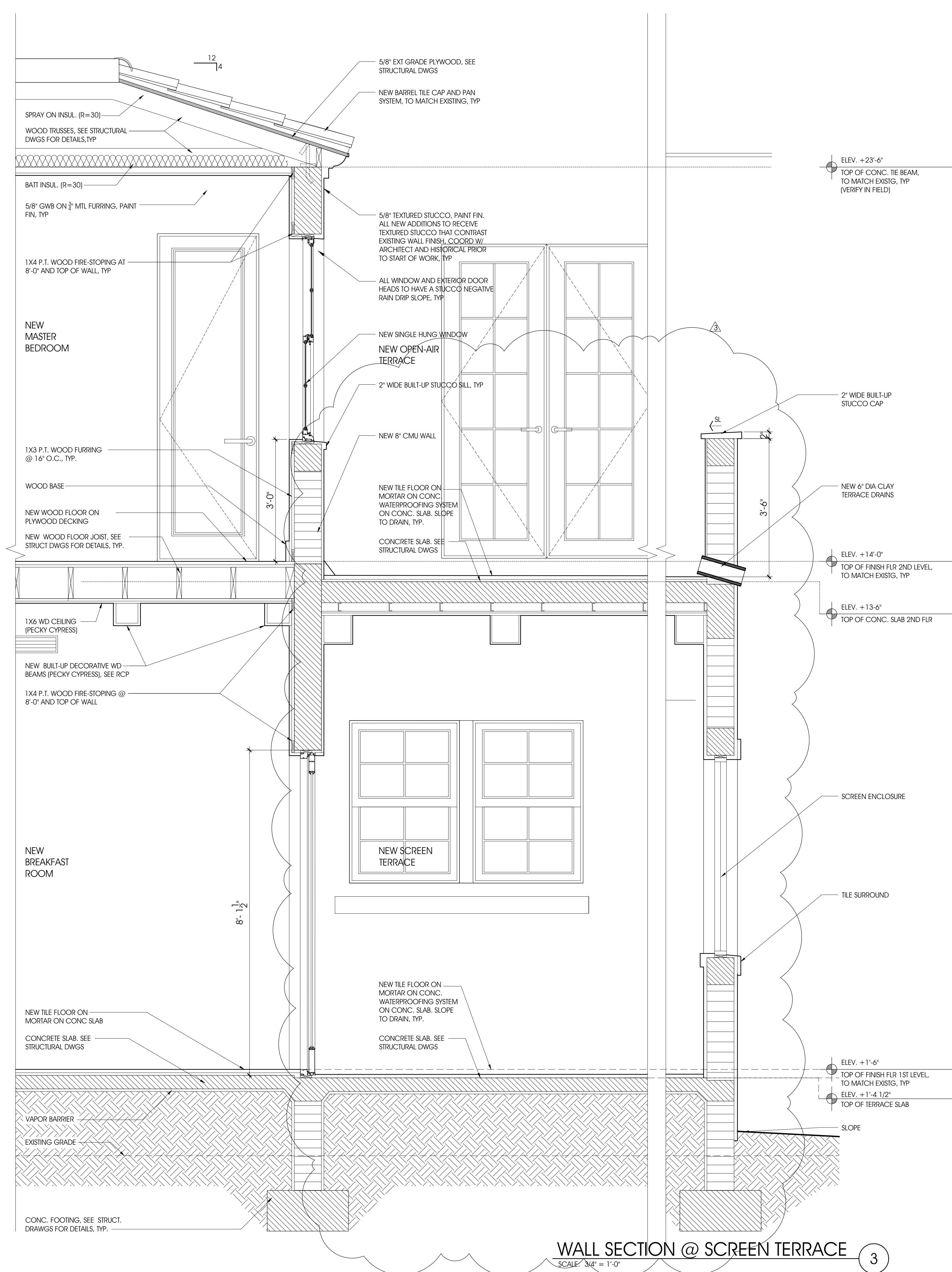
Wall Sections 1 & 2

SEAL	SCALE
	DRAWN
Nelson de Leon AR 13937	REVIEWED NDL
SHEET NO.	PROJ. NO. 326.02

A-06.0



**WALL SECTION @ LAUNDRY** 4  
SCALE: 3/4" = 1'-0"



**WALL SECTION @ SCREEN TERRACE** 3  
SCALE: 3/4" = 1'-0"

NOTES

**LOCUS ARCHITECTURE INCORPORATED**  
500 South Dixie Highway, Suite 307  
Coral Gables, Florida 33146  
Tel: (305) 740-0120  
Email: locus@locusarchitecture.net

CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
	BOA RESUBMITTAL	10-16-24
	OWNER REVISIONS	01-27-25

PROJECT

**Historical: Remodel & Additions  
Soane Residence**

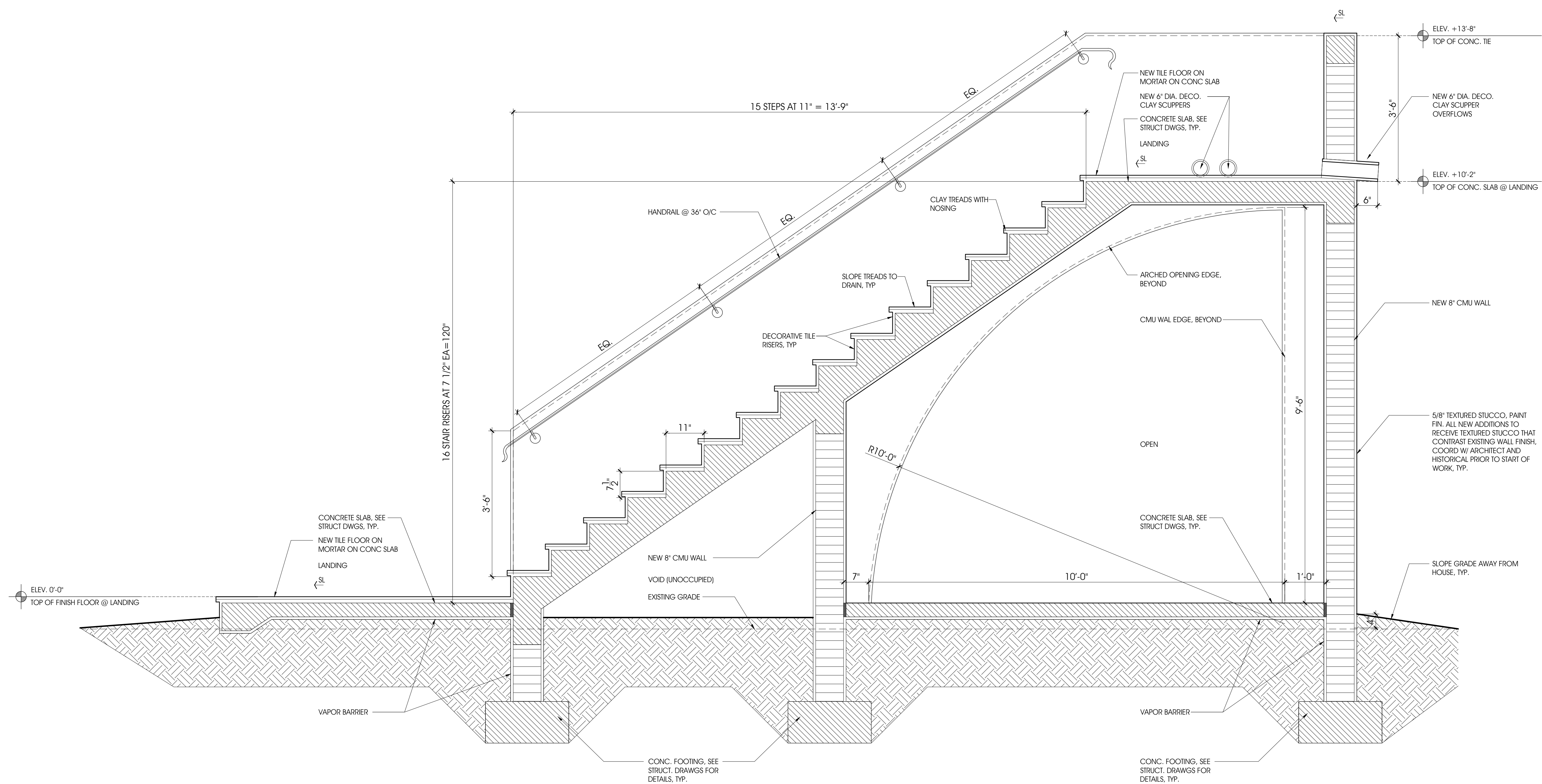
1104 Malaga Avenue  
Coral Gables, FL 33134

DRAWING

**Wall Sections 3&4**

SEAL	SCALE
	DRAWN
Nelson de Leon AR 13937	REVIEWED NDL
SHEET NO.	PROJ. NO. 326.02

**A-06.1**



**WALL SECTION @ NEW STAIR**  
SCALE: 3/4" = 1'-0"

NOTES

**LOCUS ARCHITECTURE INCORPORATED**  
500 South Dixie Highway, Suite 307  
Coral Gables, Florida 33146  
Tel: (305) 740-0120  
Email: locus@locusarchitecture.net

CONSULTANT(S)

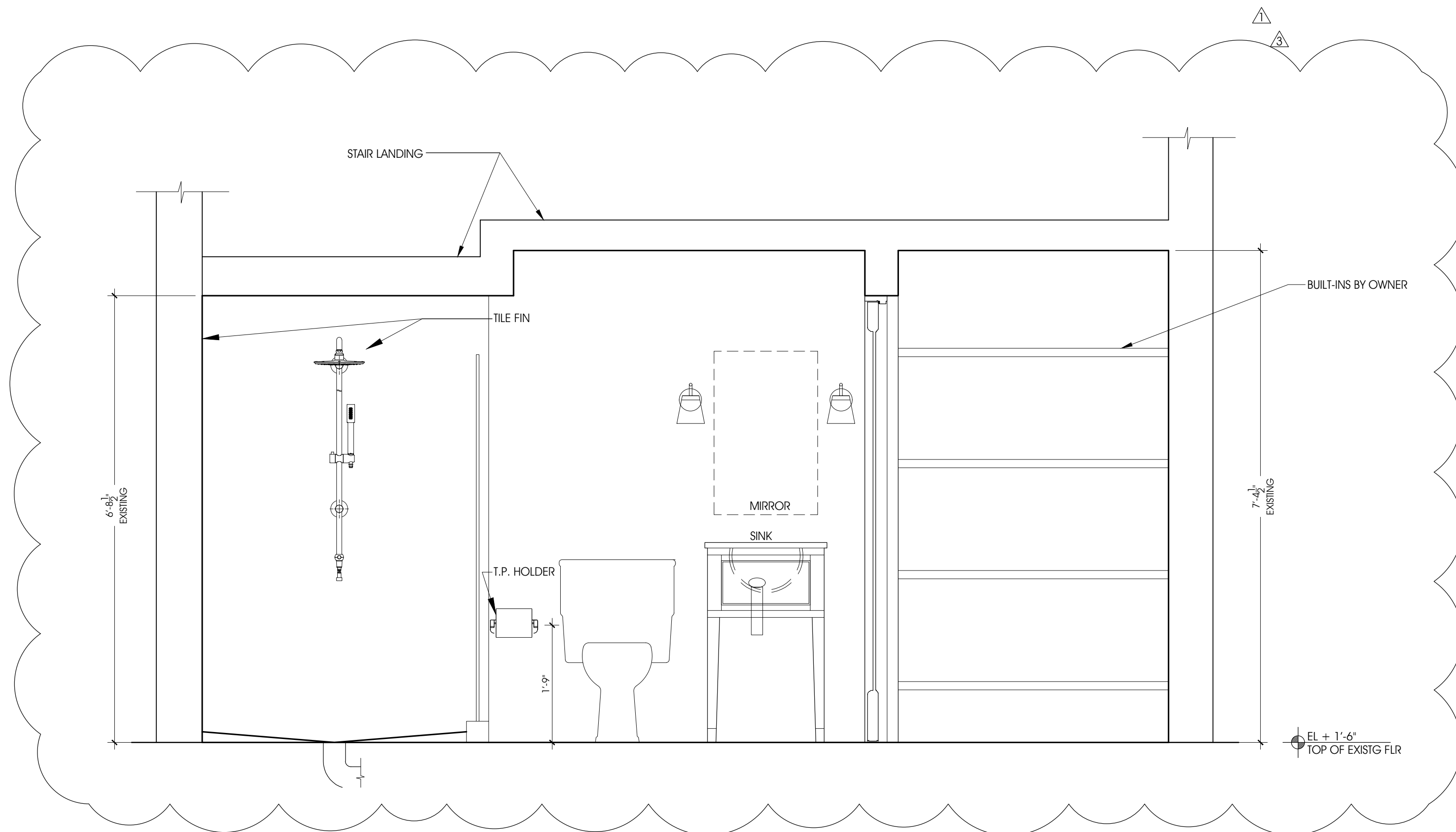
NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
	OWNER REVISIONS	10-15-24
	BOA RESUBMITTAL	

PROJECT  
**Historical: Remodel & Additions Soane Residence**  
1104 Malaga Avenue  
Coral Gables, FL 33134

DRAWING  
**Wall Section 5**

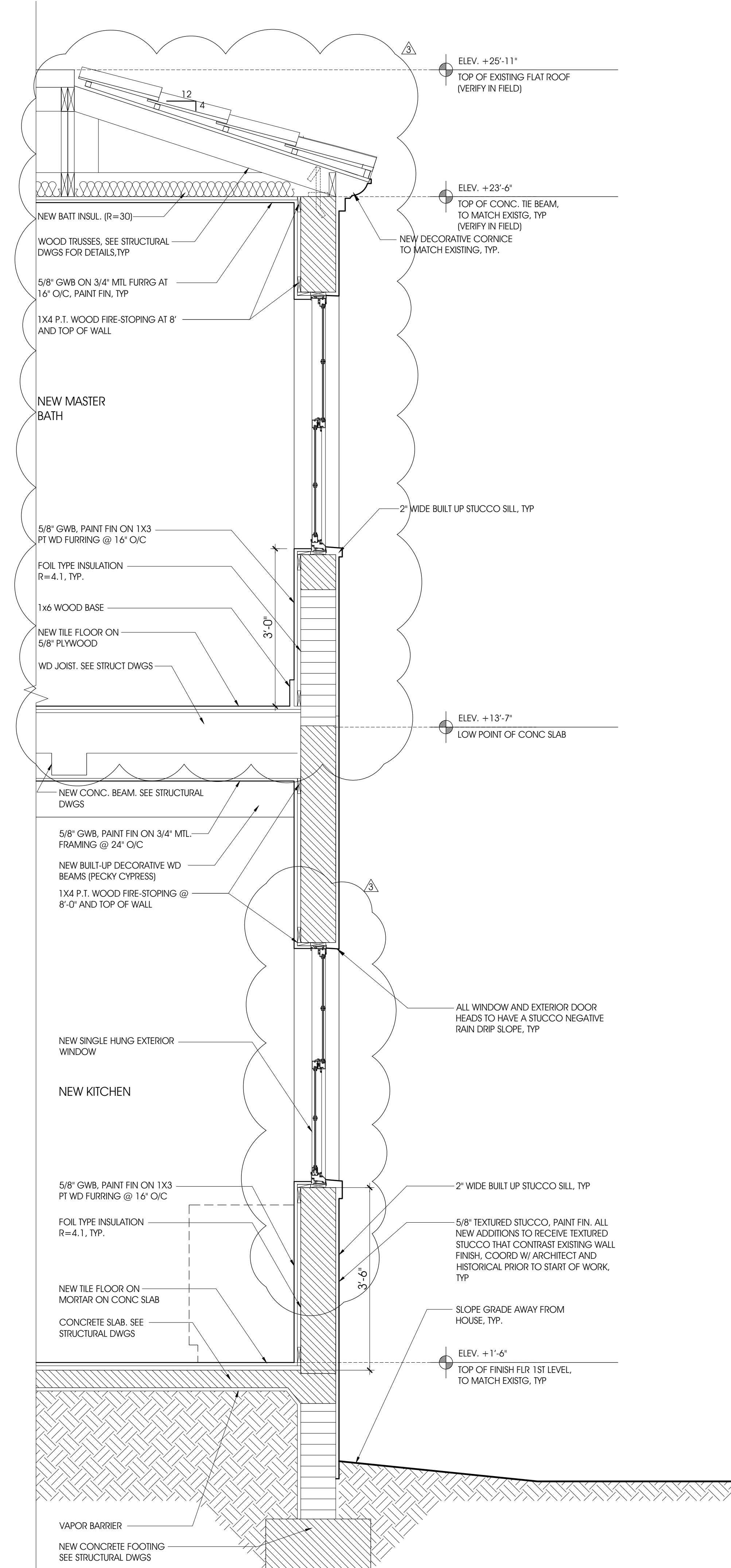
SEAL	SCALE
	DRAWN
Nelson de Leon AR 13937	REVIEWED NDL
	PROJ. NO. 326.02
	SHEET NO.

**A-06.2**



**WALL SECTION @ NEW BATH**  
SCALE: 3/4" = 1'-0"

7



**WALL SECTION**  
SCALE: 3/4" = 1'-0"

6

NOTES

**LOCUS ARCHITECTURE INCORPORATED**  
500 South Dixie Highway, Suite 307  
Coral Gables, Florida 33146  
Tel: (305) 740-0120  
Email: locus@locusarchitecture.net

CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
⚠	OWNER REVISION	04-22-24
	BOA RESUBMITTAL	10-16-24
⚠	OWNER REVISIONS	01-27-25

PROJECT  
**Historical: Remodel & Additions  
Soane Residence**  
1104 Malaga Avenue  
Coral Gables, FL 33134

DRAWING  
**Wall Section 6**

SEAL  
  
Nelson de Leon  
AR 13937

SCALE  
DRAWN  
REVIEWED  
NDL  
PROJ. NO.  
326.02

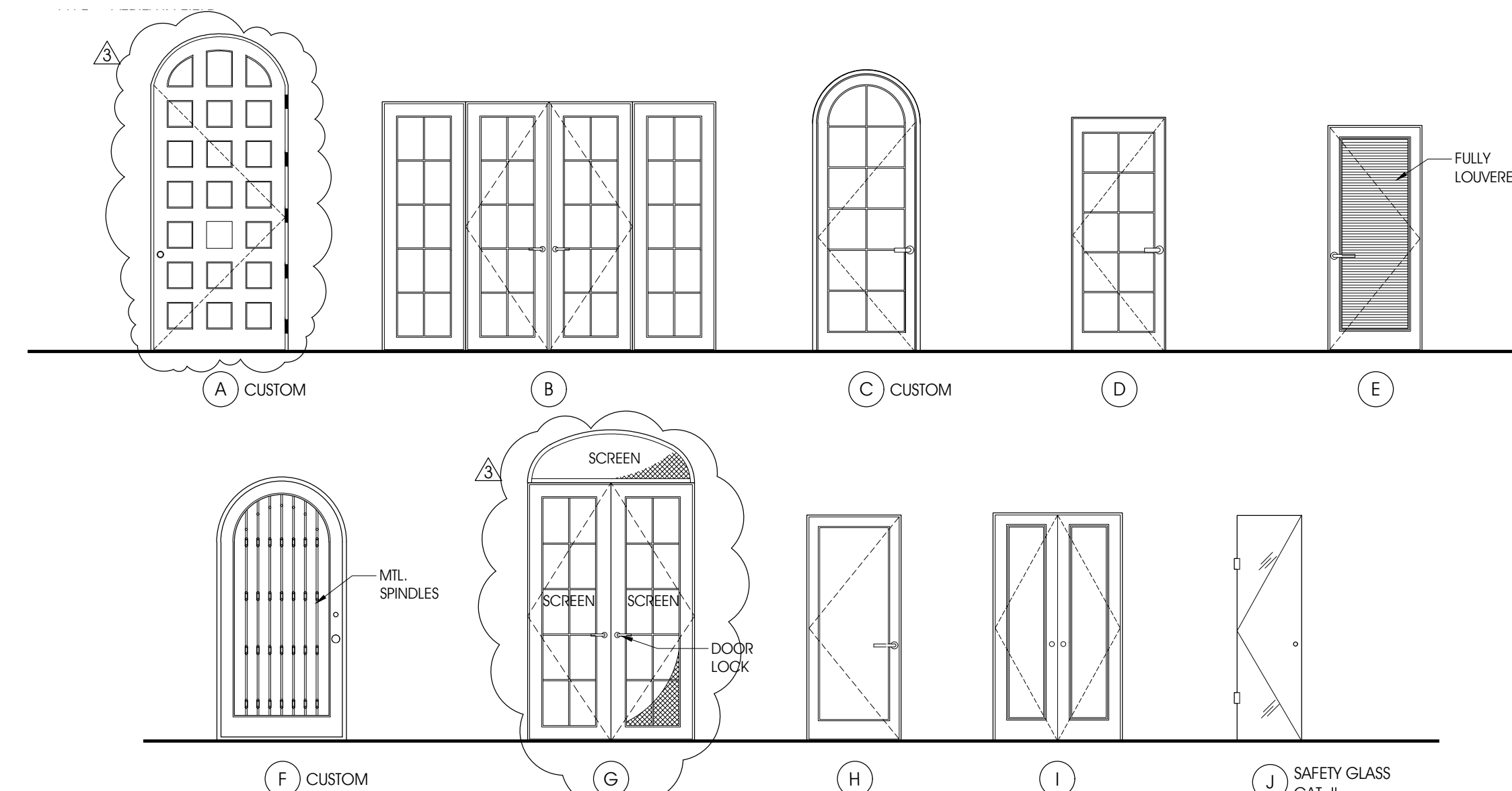
SHEET NO.  
**A-06.3**



FIRST FLOOR DOOR SCHEDULE																
DOOR #	TYPE	DOORS					FRAMES					DETAILS	IMPACT GLASS	HOW	REMARKS	
		TRAIL	FRT	WIDTH	HEIGHT	THICK	TYPE	MAT	FIN	JAMB	HEAD					SILL
101	A	WD	STAIN	4'-3"	9'-10"	2 1/4"	-	WD	-	-	-	-	-	-	-	EXTERIOR INSWING ARCHED CUSTOM DOOR W/ WATER INFILTRATION SILL
102	C	MILUGL	-	3'-4"	8'-0"	V.I.F.	-	MIL	-	-	-	-	-	-	YES	EXTERIOR DOOR W/ WATER INFILTRATION SILL (EXISTING ARCHED OPENING)
103	D	MILUGL	-	3'-0"	7'-0"	-	-	MIL	-	-	-	-	-	-	YES	EXTERIOR DOOR W/ WATER INFILTRATION SILL
104	H	WD	PANT	2'-6"	7'-0"	-	-	WD	-	-	-	-	-	-	-	EXTERIOR DOOR W/ WATER INFILTRATION SILL (EXISTING OPENING)
105	E	MIL	-	2'-6"	7'-3"	V.I.F.	-	MIL	-	-	-	-	-	-	YES	EXTERIOR DOOR W/ WATER INFILTRATION SILL (EXISTING OPENING)
106	D	MILUGL	-	2'-6"	7'-3"	V.I.F.	-	MIL	-	-	-	-	-	-	YES	EXTERIOR DOOR W/ WATER INFILTRATION SILL (EXISTING OPENING)
107	B	MILUGL	-	(2) 2'-6"	8'-0"	-	-	MIL	-	-	-	-	-	-	-	EXTERIOR DOOR W/ WATER INFILTRATION SILL (SIDE LITES TO MATCH DOOR)
108	B	MILUGL	-	(2) 2'-6"	8'-0"	-	-	MIL	-	-	-	-	-	-	-	EXTERIOR DOOR W/ WATER INFILTRATION SILL (SIDE LITES TO MATCH DOOR)
109	H	MIL	PANT	3'-0"	7'-0"	-	-	WD	-	-	-	-	-	-	-	INTERIOR DOOR, 20 MIN FIRE-RATED @ GARAGE, PROVIDE LOCK
110	H	WD	PANT	2'-6"	7'-0"	-	-	WD	-	-	-	-	-	-	-	COORD. W/ ELEVATOR SPEC'S
111	H	WD	PANT	3'-0"	8'-0"	-	-	WD	-	-	-	-	-	-	-	COORD. W/ ELEVATOR SPEC'S
112	H	WD	PANT	2'-0"	7'-0"	V.I.F.	-	WD	-	-	-	-	-	-	-	(EXISTING OPENING)
113	H	WD	PANT	2'-0"	7'-0"	-	-	WD	-	-	-	-	-	-	-	COORD. W/ ELEVATOR SPEC'S
114	F	MIL	PANT	3'-6"	8'-2"	-	-	MIL	-	-	-	-	-	-	-	CUSTOM: SPINDLE DOOR (TO MATCH ORIGINAL) ARCHED
115	E	WD	PANT	2'-6"	7'-0"	V.I.F.	-	WD	-	-	-	-	-	-	-	FULLY LOUVERED (EXISTING OPENING)
116	F	WD	PANT	2'-6"	7'-0"	V.I.F.	-	WD	-	-	-	-	-	-	-	FULLY LOUVERED (EXISTING OPENING)
117	G	MIL	-	(2) 2'-6"	8'-0"	-	-	MIL	-	-	-	-	-	-	-	EXT SCREEN DOOR W/ WATER INFILTRATION SILL. COMPOUND ARCH AT TOP. SEE ELEV.
118	G	MIL	-	(2) 2'-6"	8'-0"	-	-	MIL	-	-	-	-	-	-	-	EXT SCREEN DOOR W/ WATER INFILTRATION SILL. COMPOUND ARCH AT TOP. SEE ELEV.
119	G	MIL	-	(2) 2'-6"	8'-0"	-	-	MIL	-	-	-	-	-	-	-	EXT SCREEN DOOR W/ WATER INFILTRATION SILL. COMPOUND ARCH AT TOP. SEE ELEV.
120	G	MIL	-	(2) 2'-6"	8'-0"	-	-	MIL	-	-	-	-	-	-	-	EXT SCREEN DOOR W/ WATER INFILTRATION SILL. COMPOUND ARCH AT TOP. SEE ELEV.
121	H	WD	PANT	3'-0"	7'-0"	-	-	WD	-	-	-	-	-	-	-	COORD. W/ ELEVATOR SPEC'S
122	H	WD	PANT	3'-0"	8'-0"	-	-	WD	-	-	-	-	-	-	-	COORD. W/ ELEVATOR SPEC'S

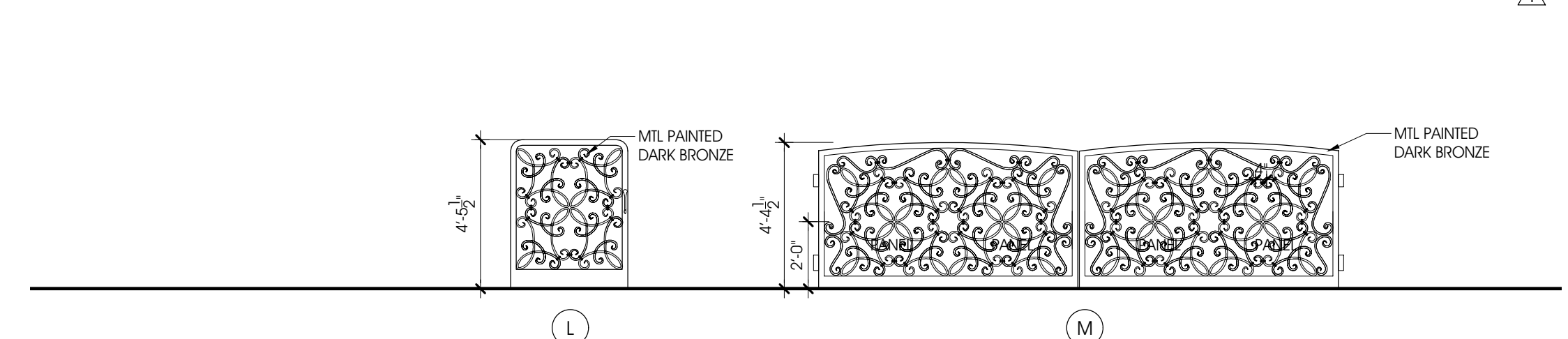
SECOND FLOOR DOOR SCHEDULE																
DOOR #	TYPE	DOORS					FRAMES					DETAILS	IMPACT GLASS	HOW	REMARKS	
		TRAIL	FRT	WIDTH	HEIGHT	THICK	TYPE	MAT	FIN	JAMB	HEAD					SILL
201	D	MILUGL	-	2'-6"	7'-3"	-	-	MIL	-	-	-	-	-	-	YES	EXTERIOR DOOR W/ WATER INFILTRATION SILL
202	B	MILUGL	-	(2) 2'-6"	8'-0"	-	-	MIL	-	-	-	-	-	-	YES	EXTERIOR DOOR W/ WATER INFILTRATION SILL (SIDE LITES)
203	H	WD	PANT	3'-0"	7'-0"	-	-	WD	-	-	-	-	-	-	-	COORD. W/ ELEVATOR SPEC'S
204	H	WD	PANT	2'-0"	8'-0"	-	-	WD	-	-	-	-	-	-	-	COORD. W/ ELEVATOR SPEC'S
205	H	WD	PANT	3'-0"	8'-0"	-	-	WD	-	-	-	-	-	-	-	COORD. W/ ELEVATOR SPEC'S
206	H	WD	PANT	2'-6"	7'-0"	-	-	WD	-	-	-	-	-	-	-	COORD. W/ ELEVATOR SPEC'S
207	E	WD	PANT	2'-6"	7'-0"	V.I.F.	-	WD	-	-	-	-	-	-	-	FULLY LOUVERED (EXISTING OPENING)
208	H	WD	PANT	2'-6"	7'-0"	-	-	WD	-	-	-	-	-	-	-	COORD. W/ ELEVATOR SPEC'S
209	H	WD	PANT	2'-6"	7'-0"	-	-	WD	-	-	-	-	-	-	-	COORD. W/ ELEVATOR SPEC'S
210	H	WD	PANT	2'-6"	7'-0"	V.I.F.	-	WD	-	-	-	-	-	-	-	(MATCH BEDROOM DOOR HEIGHT)
211	I	WD	PANT	(2) 1'-8"	7'-0"	V.I.F.	-	WD	-	-	-	-	-	-	-	CLOSET DOOR
212	I	WD	PANT	(2) 1'-8"	7'-0"	V.I.F.	-	WD	-	-	-	-	-	-	-	CLOSET DOOR
213	E	WD	PANT	2'-6"	7'-0"	V.I.F.	-	WD	-	-	-	-	-	-	-	FULLY LOUVERED
214	J	GL	-	2'-4"	7'-0"	-	-	-	-	-	-	-	-	-	-	CAT II SAFETY GLASS, FBC2406.4.3.2 - R4410.1
215	E	WD	PANT	2'-6"	7'-0"	V.I.F.	-	WD	-	-	-	-	-	-	-	FULLY LOUVERED
216	I	WD	PANT	(2) 1'-4"	7'-0"	V.I.F.	-	WD	-	-	-	-	-	-	-	CLOSET DOOR
217	H	WD	PANT	2'-8"	7'-0"	V.I.F.	-	WD	-	-	-	-	-	-	-	(MATCH BEDROOM DOOR HEIGHT)
218	D	WD	PANT	2'-6"	8'-0"	V.I.F.	-	MIL	-	-	-	-	-	-	YES	EXTERIOR DOOR W/ WATER INFILTRATION SILL
219	D	WD	PANT	2'-6"	8'-0"	V.I.F.	-	MIL	-	-	-	-	-	-	YES	EXTERIOR DOOR W/ WATER INFILTRATION SILL
220	B	MILUGL	-	(2) 2'-6"	8'-0"	-	-	MIL	-	-	-	-	-	-	YES	EXTERIOR DOOR W/ WATER INFILTRATION SILL (SIDE LITES)
221	D	WD	PANT	3'-0"	8'-0"	V.I.F.	-	MIL	-	-	-	-	-	-	YES	EXTERIOR DOOR W/ WATER INFILTRATION SILL
222	H	WD	PANT	2'-6"	8'-0"	-	-	WD	-	-	-	-	-	-	-	COORD. W/ ELEVATOR SPEC'S

- NOTES:
1. ALL EXTERIOR DOORS BY PG1 WINDOOR OR OWNER APPROVED.
  2. ALL EXTERIOR DOORS SHALL BE IMPACT RESISTANT 7/16", CLEAR GLASS, BONE WHITE FRAMES.
  3. HARDWARE AS SELECTED BY ARCHITECT.
  4. ALL GLASS SHOWER DOORS WILL BE 1/2" TEMPERED SAFETY GLASS, CATII.
  5. ALL EXTERIOR DOORS TO BE KEYPED WITH SAME MASTER KEY.
  6. GC TO VERIFY ALL OPENINGS, PROVIDE NOA AND SHOP DRAWINGS FOR ARCHITECT'S REVIEW.

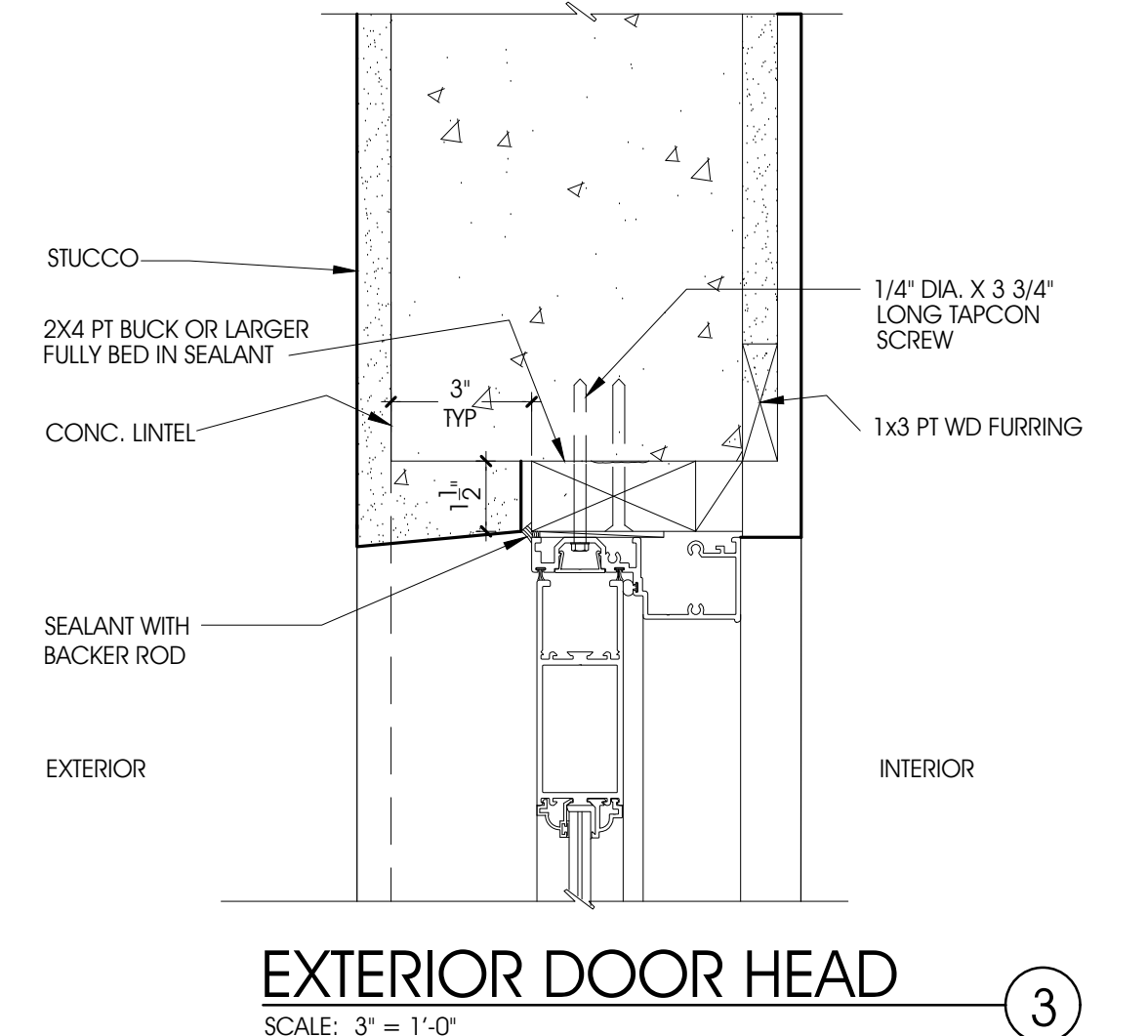


**DOOR ELEVATIONS**  
SCALE: 1/4" = 1'-0"

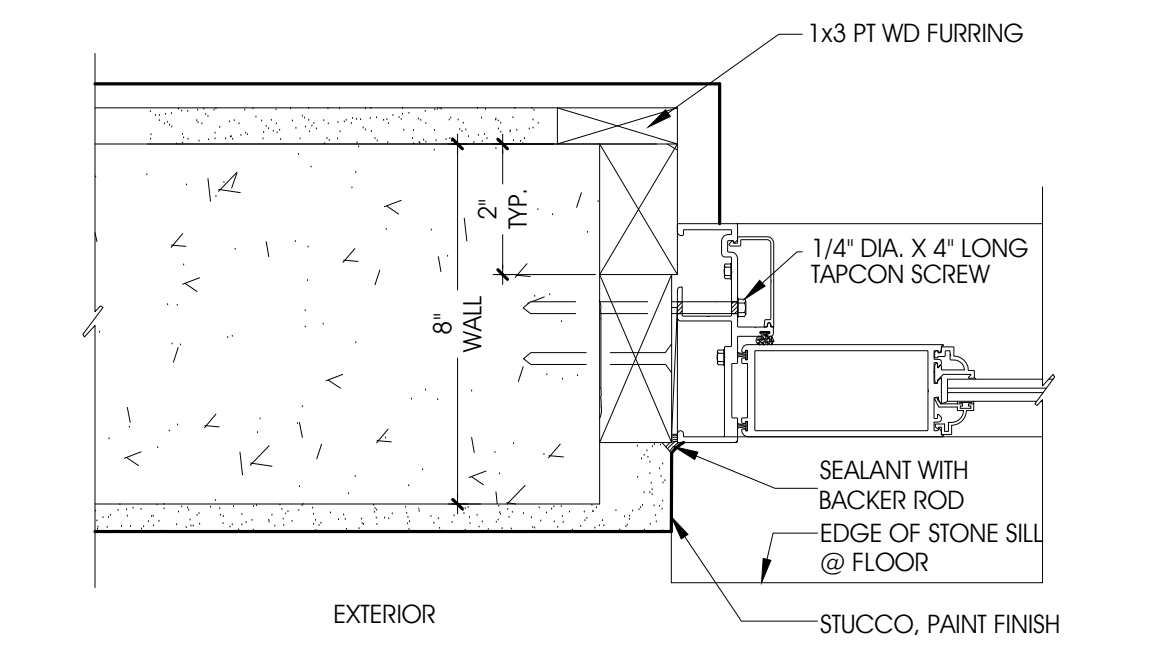
SITE DOOR SCHEDULE																
DOOR #	TYPE	DOORS					FRAMES					DETAILS	IMPACT GLASS	HOW	REMARKS	
		TRAIL	FRT	WIDTH	HEIGHT	THICK	TYPE	MAT	FIN	JAMB	HEAD					SILL
117	L	MIL	PANT	3'-6"	5'-11 1/2"	-	-	MIL	-	-	-	-	-	-	-	ENTRANCE GATE
118	M	MIL	PANT	(2) 7'-10"	5'-11 1/2"	-	-	MIL	-	-	-	-	-	-	-	GATE



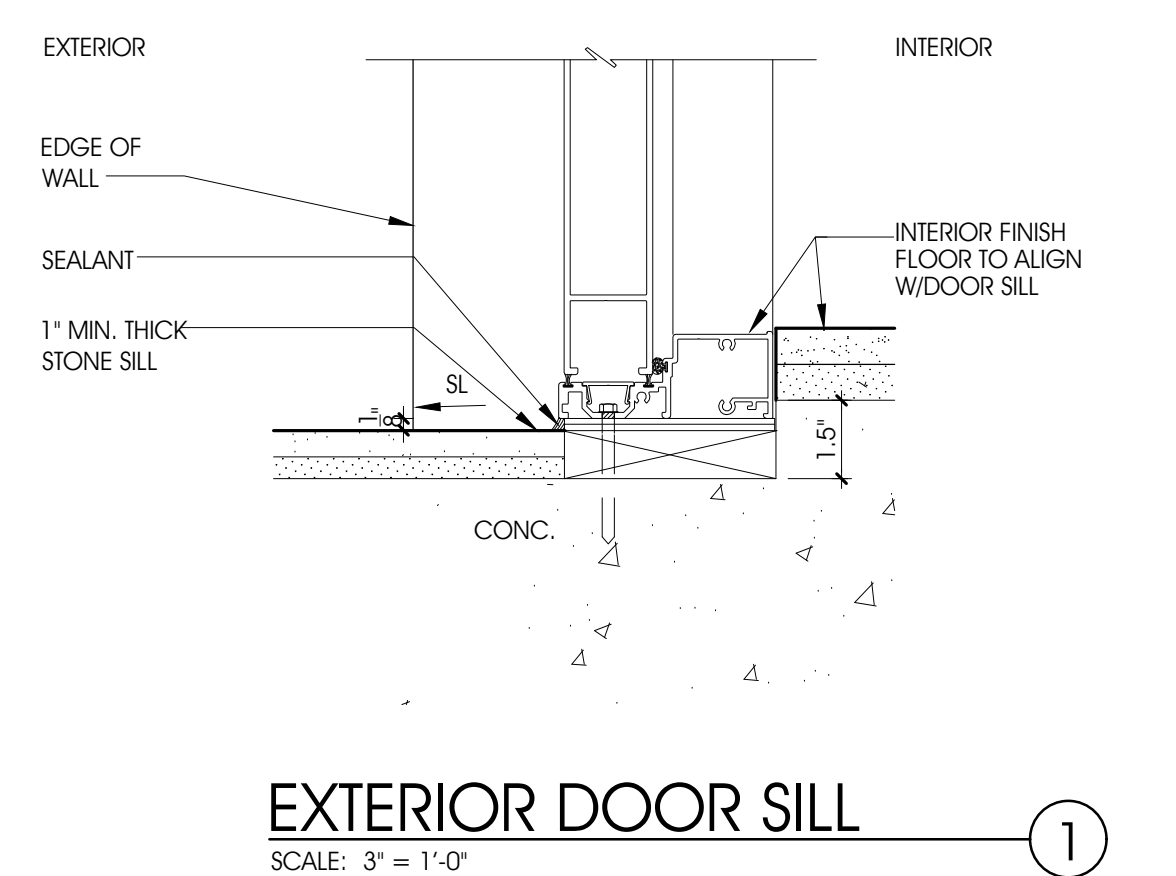
**SITE DOOR ELEVATIONS**  
SCALE: 1/4" = 1'-0"



**EXTERIOR DOOR HEAD**  
SCALE: 3" = 1'-0"



**EXTERIOR DOOR JAMB**  
SCALE: 3" = 1'-0"



**EXTERIOR DOOR SILL**  
SCALE: 3" = 1'-0"

NOTES

**LOCUS ARCHITECTURE INCORPORATED**  
500 South Dixie Highway, Suite 307  
Coral Gables, Florida 33146  
Tel: (305) 740-0120  
Email: locus@locusarchitecture.net

CONSULTANT(S)		
NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
	COA & CITY COMMENTS OWNER REVISION	04-22-24
	BOA RESUBMITTAL	10-16-24
	OWNER REVISIONS	01-13-25

PROJECT  
**Historical: Remodel & Additions  
Soane Residence**  
1104 Malaga Avenue  
Coral Gables, FL 33134

DRAWING  
**Door Schedule and Details**

SEAL  
  
Nelson de Leon  
AR 13937

SCALE  
DRAWN  
REVIEWED  
NDL  
PROJ. NO.  
326.02  
SHEET NO.

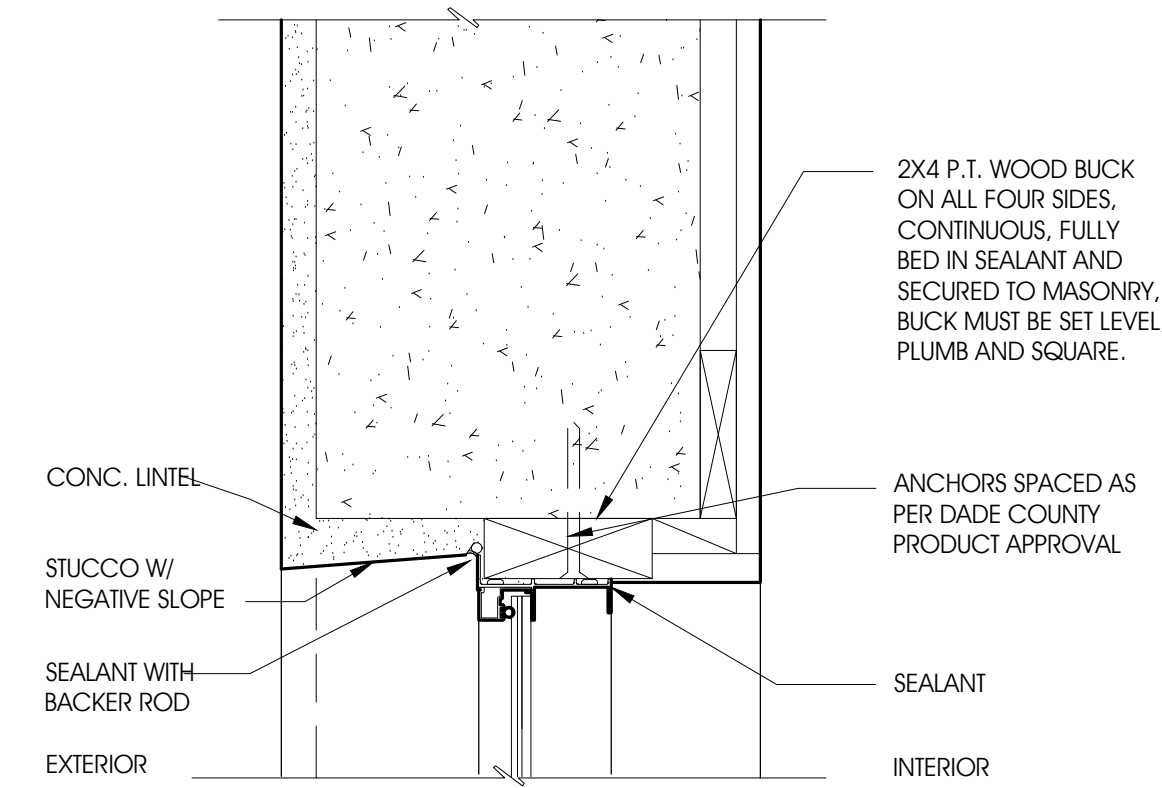
**A-07.0**

# WINDOW SCHEDULE

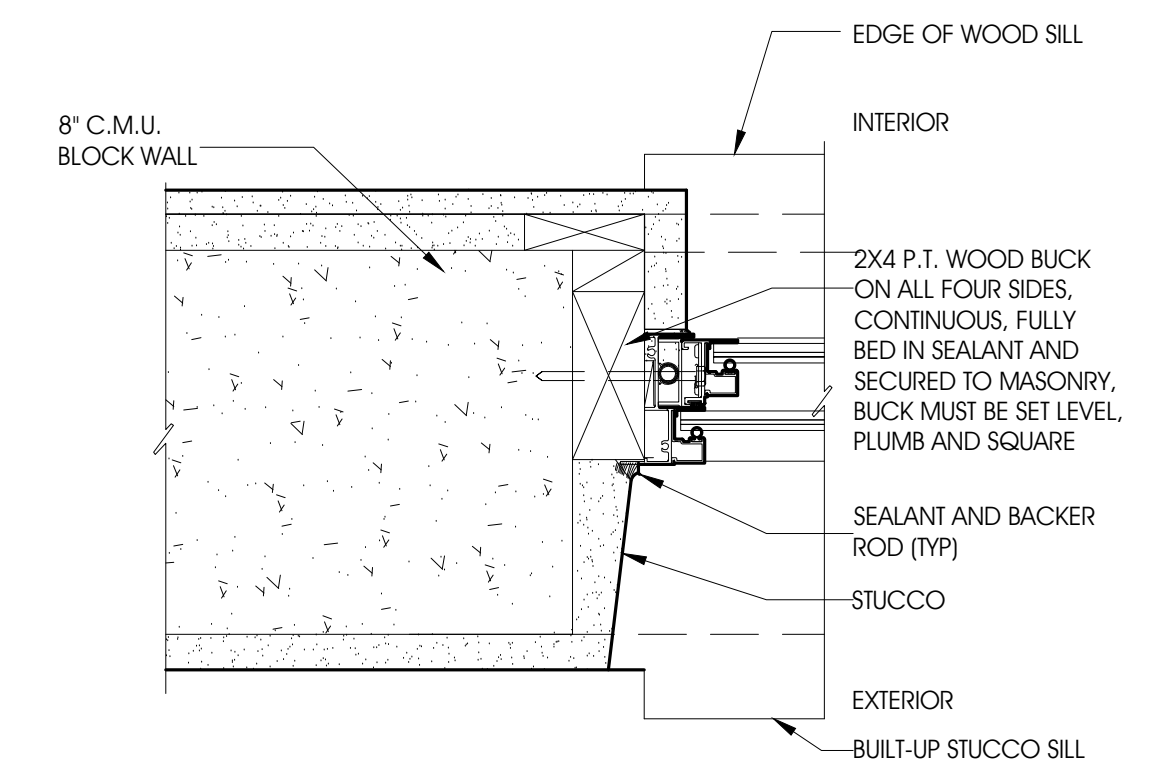
WDW	WINDOW TYPE	DIMENSIONS		DETAILS				GLASS TYPE	REMARKS
		WIDTH	HEIGHT	HEAD	JAMB 1	JAMB 2	SILL		
A	FIXED	2'-6" V.I.F	4'-0" V.I.F					IMPACT	EXISTING OPENING, PLASTER PANEL IN FRONT
B	SINGLE HUNG	1'-5" V.I.F	4'-8"					IMPACT	
C	SINGLE HUNG	2'-9" V.I.F	4'-8" V.I.F					IMPACT	
D	SINGLE HUNG	2'-5"	5'-2"					IMPACT	
E	SINGLE HUNG	4'-4"	5'-2"					IMPACT	
E2	SINGLE HUNG	5'-10"	4'-8"					IMPACT	
G	SINGLE HUNG	8'-0"	5'-2"					IMPACT	
J	SINGLE HUNG	2'-1"	2'-2"					IMPACT	
K	FIXED	(2) 5'-0"	8'-0"					IMPACT	SCREENED WINDOW W/ COMPOUND ARCH AT TOP. SEE ELEV.

- NOTES:
- ALL EXTERIOR WINDOWS BY PGT WINDOOR.
  - ALL EXTERIOR WINDOWS SHALL BE IMPACT RESISTANT 7/16" CLEAR GLASS, BONE WHITE FRAMES. ALL OPERABLE WINDOWS TO HAVE INSECT SCREENS.
  - HARDWARE AS SELECTED BY OWNER. GC TO PROVIDE SAMPLES.
  - EGRESS WINDOWS TO COMPLY W/ CLEAR OPENING 20" WIDTH MIN AND 24" HEIGHT MIN AND 5.7 SF OF AREA. BOTTOM OF OPENING SHALL NOT EXCEED 44" ABOVE FINISHED FLOOR.
  - WINDOW AND DOOR SHADING COEF TO COMPLY W/ MEP ENERGY CALCS.
  - GC TO FIELD VERIFY ALL OPENINGS, PROVIDE NOA AND SHOP DRAWINGS FOR ARCHITECTS REVIEW.

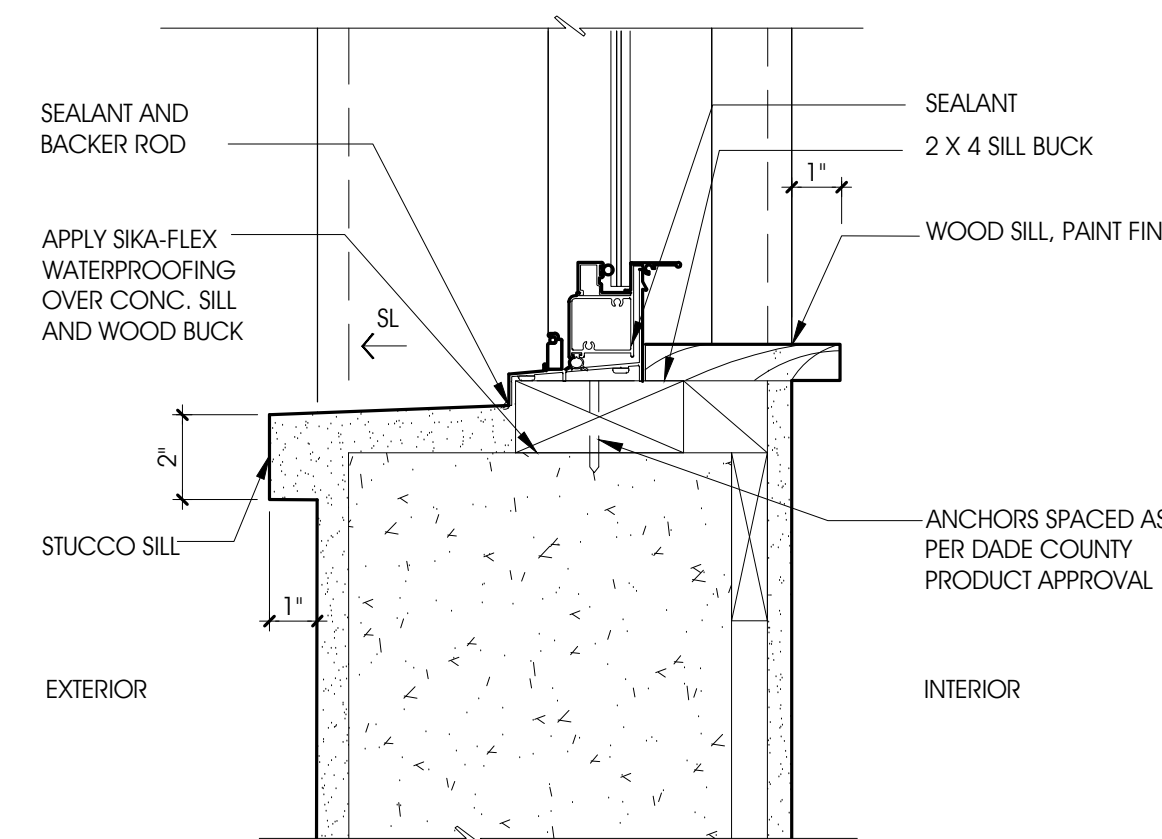
V.I.F = VERIFY IN FIELD



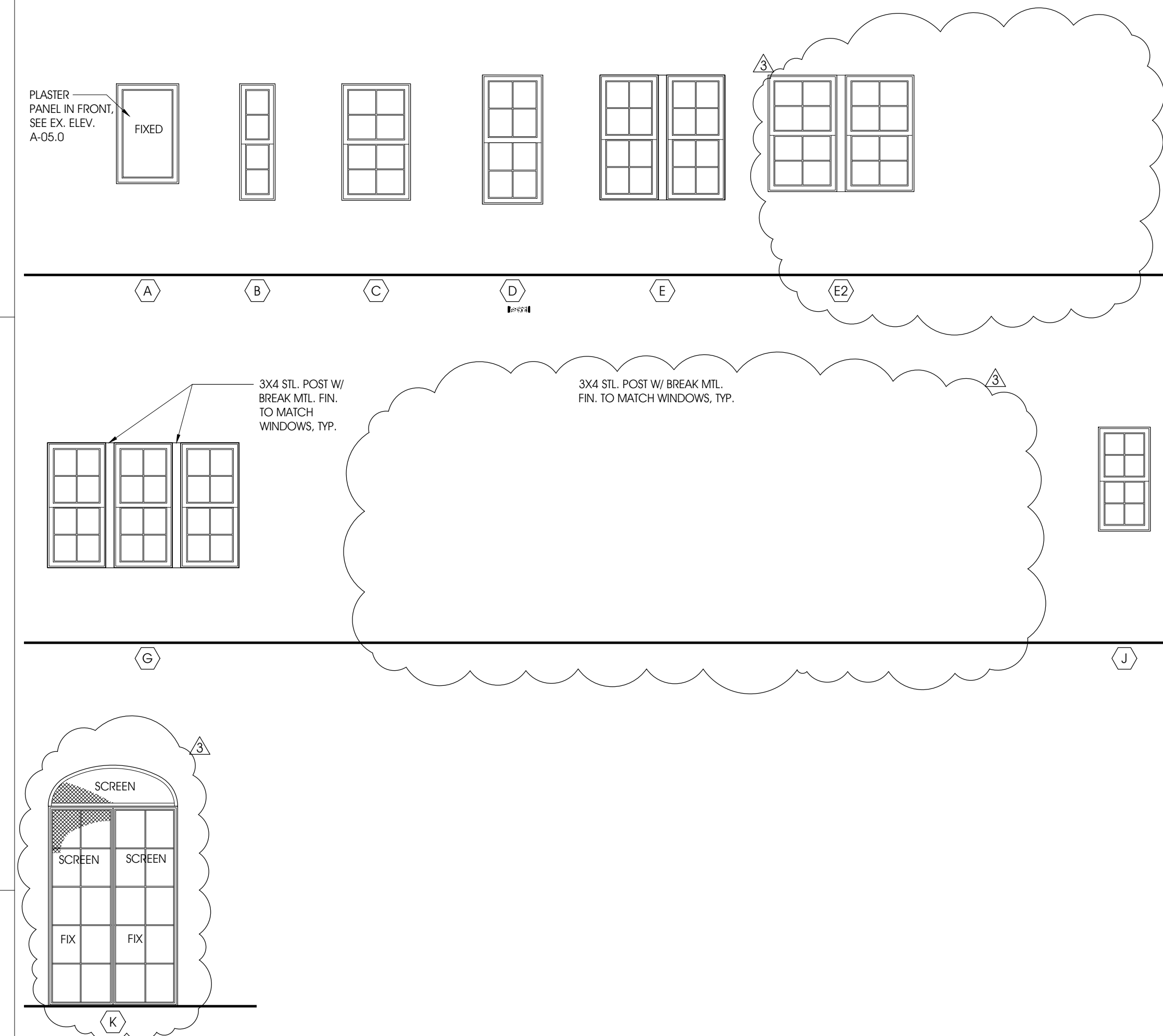
**SINGLE HUNG WIN. HEAD**  
SCALE: 3" = 1'-0"



**SINGLE HUNG WIN. JAMB**  
SCALE: 3" = 1'-0"



**SINGLE HUNG WIN. SILL**  
SCALE: 3" = 1'-0"



## WINDOW ELEVATIONS

SCALE: 1/4" = 1'-0"

NOTES

**LOCUS ARCHITECTURE INCORPORATED**  
500 South Dixie Highway, Suite 307  
Coral Gables, Florida 33146  
Tel: (305) 740-0120  
Email: locus@locusarchitecture.net

CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
	OWNER REVISION	04-22-24
	BOA RESUBMITTAL	10-16-24
	OWNER REVISIONS	01-13-25

PROJECT

Historical: Remodel & Additions  
**Soane Residence**

1104 Malaga Avenue  
Coral Gables, FL 33134

DRAWING

Window Schedule and Details

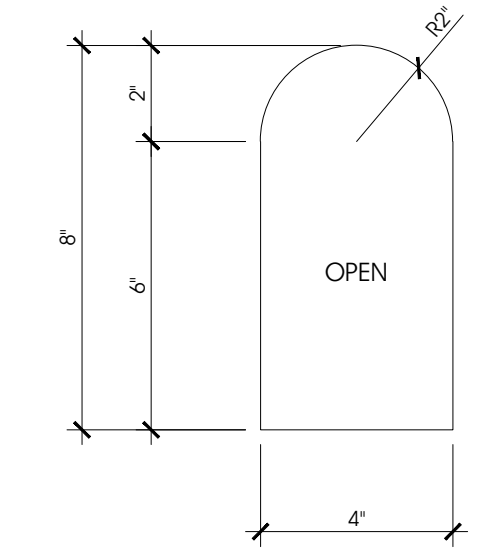


Nelson de Leon  
AR 13937

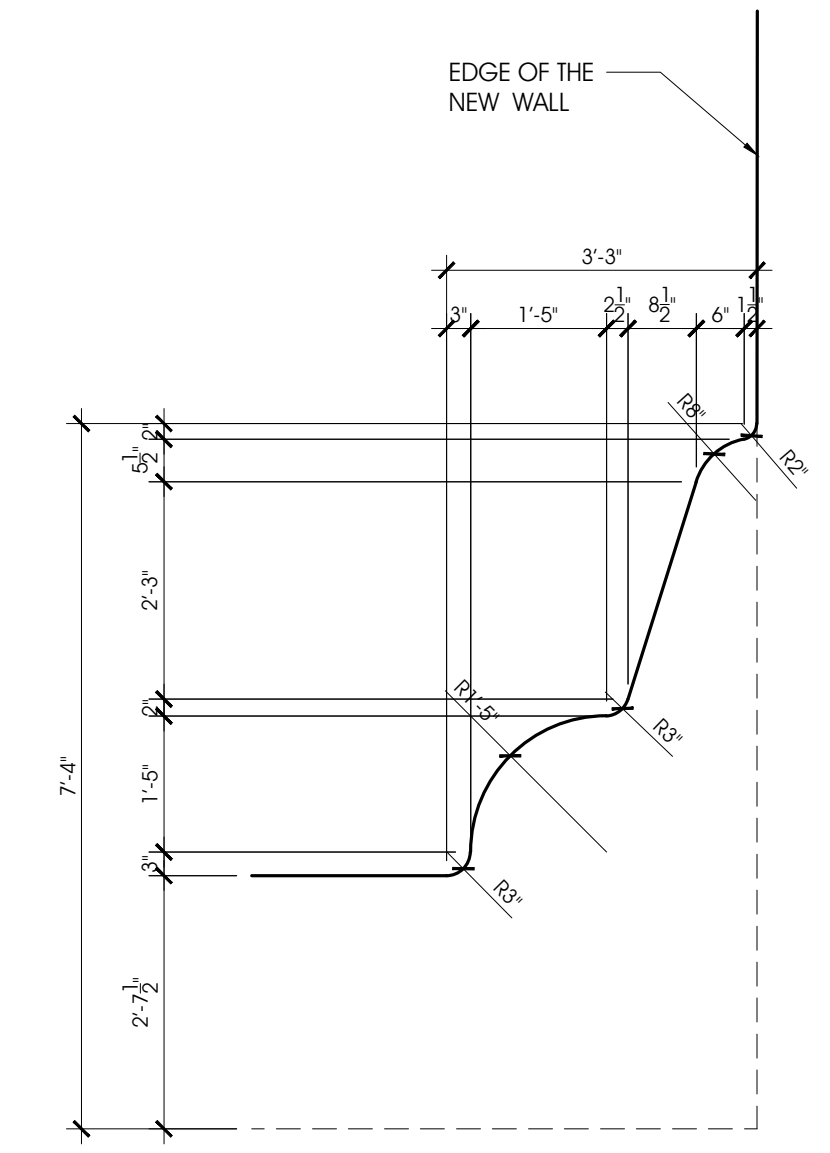
SHEET NO.

A-07.1

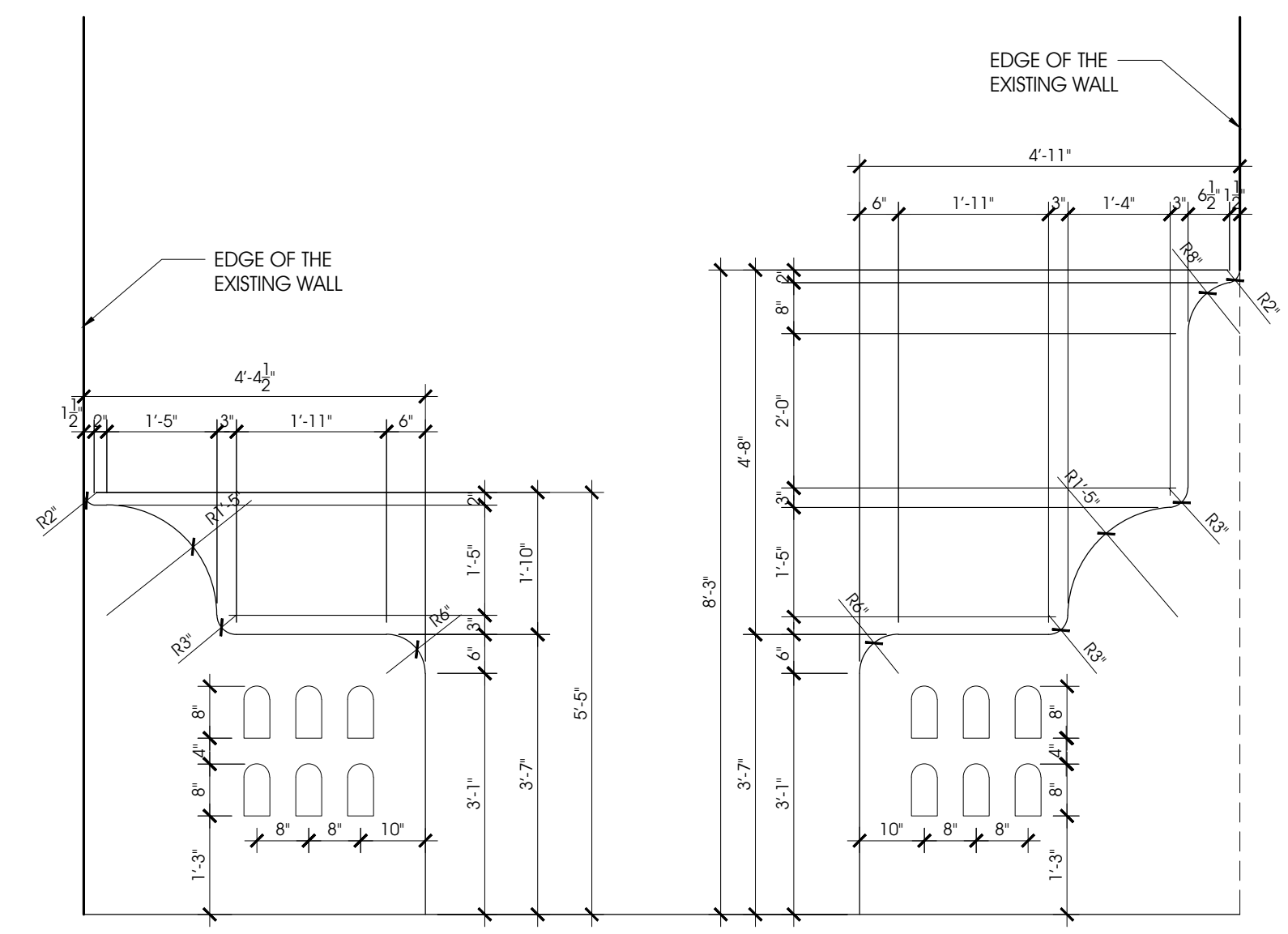
SCALE VARIES  
DRAWN  
REVIEWED NDJ  
PROJ. NO. 326.02



DECORATIVE OPENINGS DETAIL C  
SCALE: 3" = 1'-0"



DECORATIVE WINGWALL DETAIL B  
SCALE: 1/2" = 1'-0"



DECORATIVE WINGWALL DETAIL A  
SCALE: 1/2" = 1'-0"

**LOCUS ARCHITECTURE**  
INCORPORATED  
500 South Dixie Highway, Suite 307  
Coral Gables, Florida 33146  
Tel: (305) 740-0120  
Email: locus@locusarchitecture.net

CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	REVIEW	01-13-25
	COA HISTORICAL SUBM (MASTER PLAN)	02-06-23
	PERMIT SUBMITTAL	10-28-23
	BOA SUBMITTAL	02-08-24
	COA SUBMITTAL	04-17-24
	OWNER REVISION	10-15-24
	BOA RESUBMITTAL	

PROJECT  
Historical: Remodel & Additions  
Soane Residence  
1104 Malaga Avenue  
Coral Gables, FL 33134

DRAWING  
Details

SEAL  Nelson de Leon AR 13937	SCALE -
	DRAWN
	REVIEWED NDL
	PROJ. NO. 326.02

SHEET NO.  
**A-08.0**