

HISTORIC PRESERVATION AD-VALOREM TAX EXEMPTION

PART 2 – REQUEST FOR REVIEW OF COMPLETED WORK

INSTRUCTIONS:

Upon completion of the restoration, rehabilitation, or renovation, return this form *with photographs of the completed work (both exterior and interior views of the building)* to the City of Coral Gables Historical Resources Department.

Each photograph must be clearly labeled, and they should be the same views as the before photographs that were included in the Preconstruction Application.

If there are conditions included as part of the Final Recommendation from the local Historic Preservation Officer, the application will not be considered complete until all conditions have been met and acknowledged by the local Historic Preservation Officer.

I. Property identification and location:

Property Name: 239 SARTO AVE

Folio Number: 03-4117-007-0710

Street Address: 239 Sarto Avenue, Coral Gables, FL 33134

II. Data on restoration, rehabilitation or renovation project:

Project start date: June 2015

Project completion date: _____

Cost of entire project: \$340,000.00

Estimated costs attributed to work on historic buildings: 200,000.00

Name of architect: Locus Architecture Phone: 305-740-0120

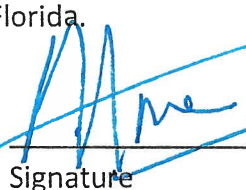
Name of Contractor: Torre Construction # Development Phone: 305-442-9494

Owner attestation: I hereby apply for the historic preservation property tax exemption for the restoration, rehabilitation or renovation work described above and in the Preconstruction Application for this project which received approval on _____.

I hereby attest that the information provided is, to the best of my knowledge, correct, and that in my opinion the completed project conforms to the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings and is consistent with the work described in the Preconstruction Application. I also attest that I am the owner of the property described above or, if the property is not owned by an individual, that I am the duly authorized representative of the owner. Further, by submission of this application, I agree to allow access to the property by representatives of the City of Coral Gables Historical Resources Department, the County Historic Preservation Office, and the Office of the Property Appraiser, for the purpose of verification of information provided in this application. I understand that, if the requested exemption is granted, I will be required to enter into a Covenant with the City of Coral Gables and Miami-Dade County granting the exemption in which I must agree to maintain the character of the property and the qualifying improvements for the term of the exemption. I also understand that falsification of factual representations in this application is subject to criminal sanctions pursuant to the Laws of Florida.

Venny Torre

Print Name



Signature

11-14-15

Date

Complete the following, if signing for an organization. *N/A*

Print Name Title Signature

Name of Organization _____

Taxpayer Identification Number _____

Mailing Address _____

City _____ State _____ Zip Code _____

Daytime Telephone Number _____

Multiple owners must provide the same information as above. Use additional sheets if necessary.

[Please attach the photographic documentation here, use additional pages if necessary. Provide a copy of all photographs on CD, if possible.]

**REVIEW OF COMPLETED WORK
TO BE FILLED OUT BY THE
LOCAL HISTORIC PRESERVATION OFFICER**

Street Address of property 239 Sarto Ave, Coral Gables 33134
Folio number 03-4117-007-0710

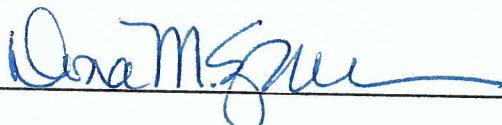
The local Historic Preservation Officer has reviewed Part 2 (Request for Review of Completed Work) of the Historic Preservation Property Tax Exemption Application for the above named property and hereby:

Determines that improvements to the above referenced property are consistent with the Secretary of Interior Standard's for Rehabilitation and Guidelines for Rehabilitating Historic Buildings and the criteria set forth in Chapter 1A-38, F.A.C., and therefore recommends approval of the requested historic preservation tax exemption.

Determines that improvements to the above referenced property are not consistent with the Secretary of Interior Standard's for Rehabilitation and Guidelines for Rehabilitating Historic Buildings and the criteria set forth in Chapter 1A-38, F.A.C., and therefore recommends denial of the requested historic preservation tax exemption for the reasons stated in the Review Comments below.

Please list any Review Comments here:

Additional Review Comments attached? Yes No

Signature: 

Typed or printed name: DONA M. SPAIN

Title: HISTORIC PRESERVATION OFFICER

Date of Review: Feb. 9, 2016

Photo: 1



Photo: 2



Photo: 3



Photo: 4



Photo: 5



Photo: 6



Photo: 7



Photo: 8

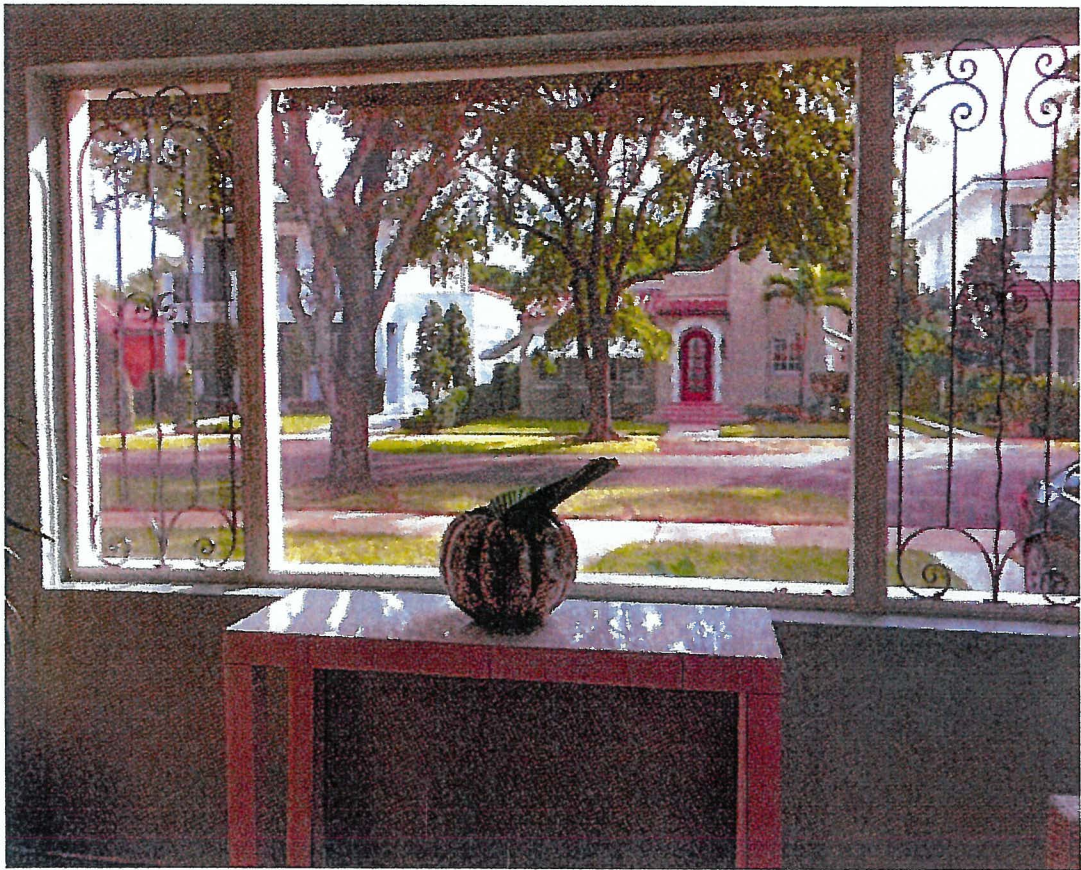


Photo: 9



Photo: 10



Photo: 11

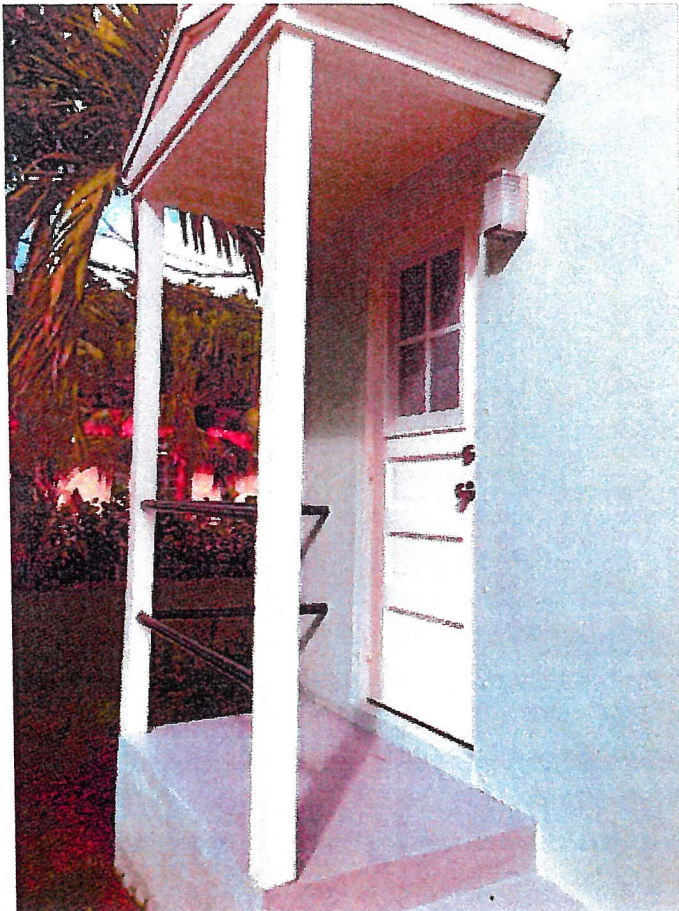


Photo: 12



Photo: 13



Photo: 14



Photo: 15



Photo: 16



Photo: 17



Photo: 18



Photo: 19



Photo: 20



Photo: 21



Photo: 22



Photo: 23

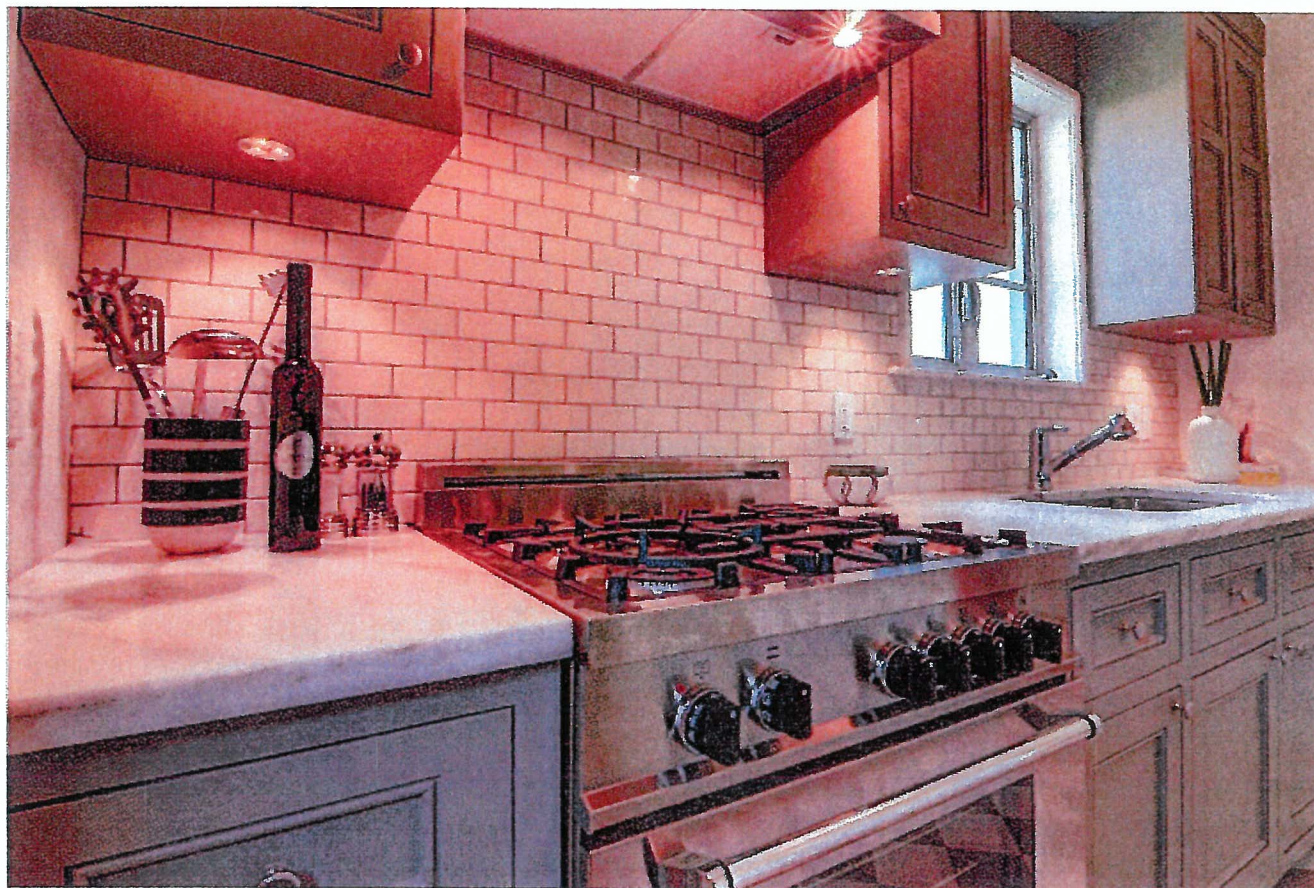


Photo: 24



Photo: 25

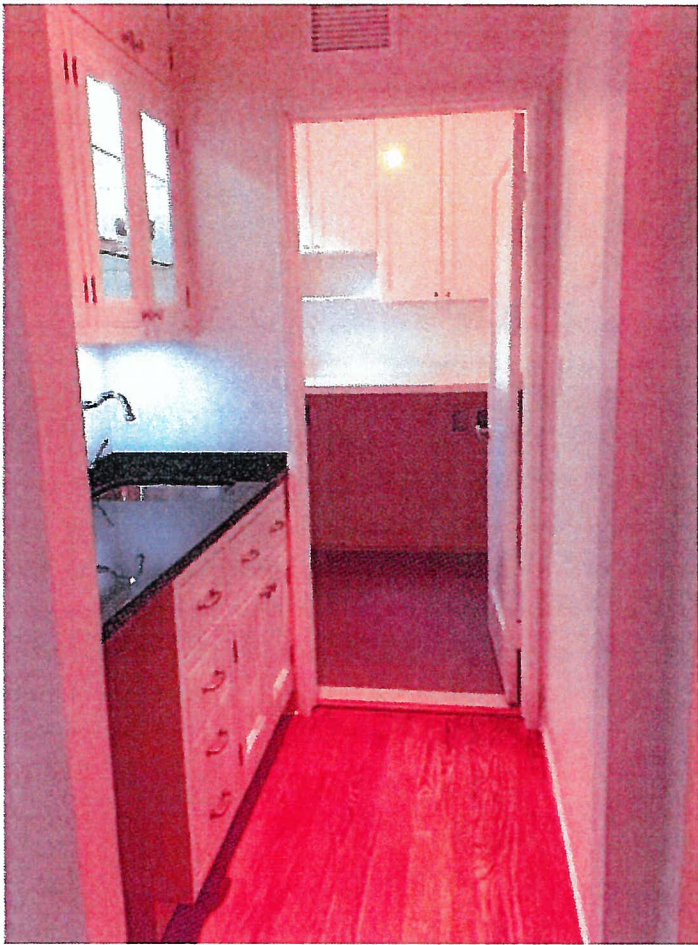


Photo: 26



Photo: 27



Photo: 28



Photo: 29



Photo: 30



Photo: 31

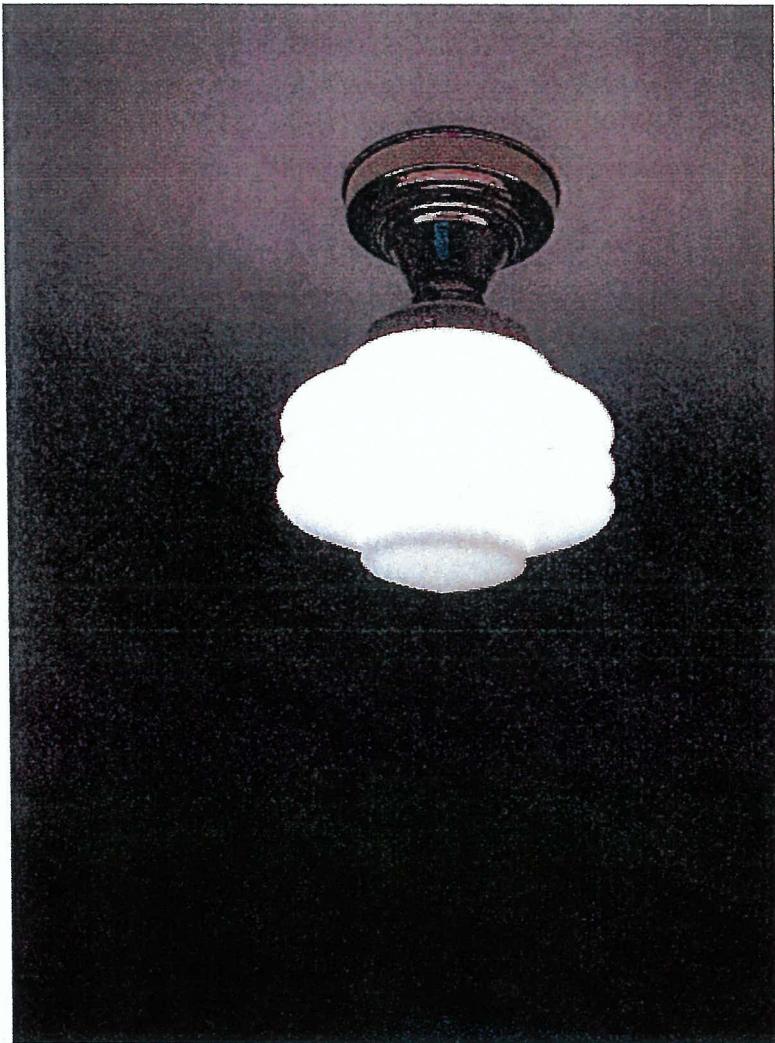


Photo: 32



Photo: 33



Photo: 34



Photo: 35



Photo: 36

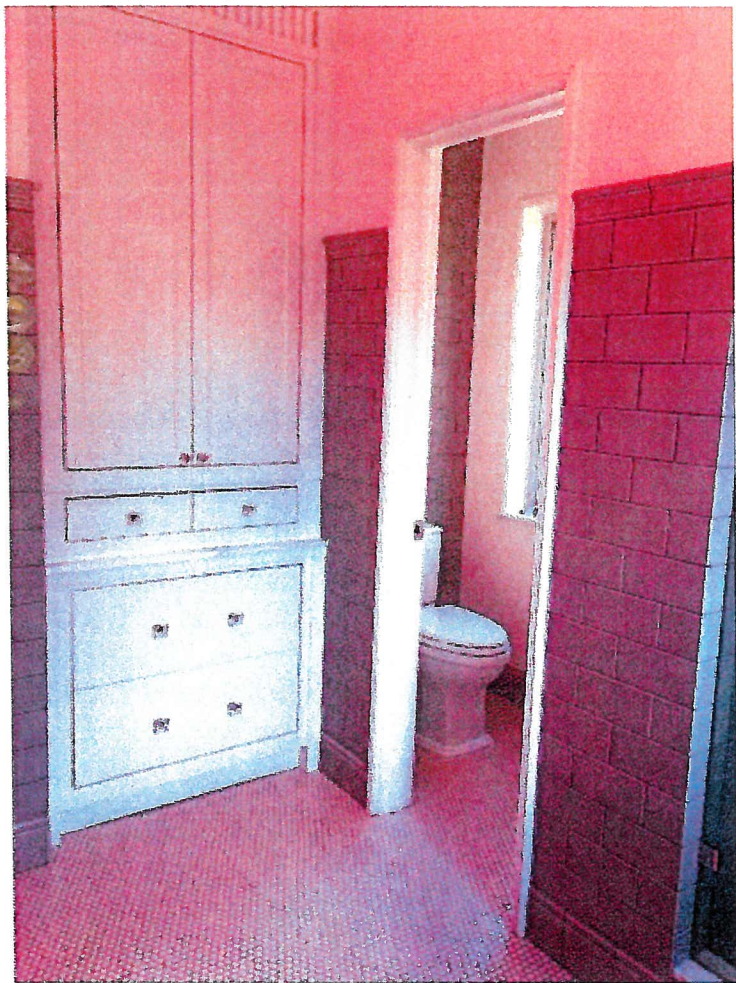


Photo: 37



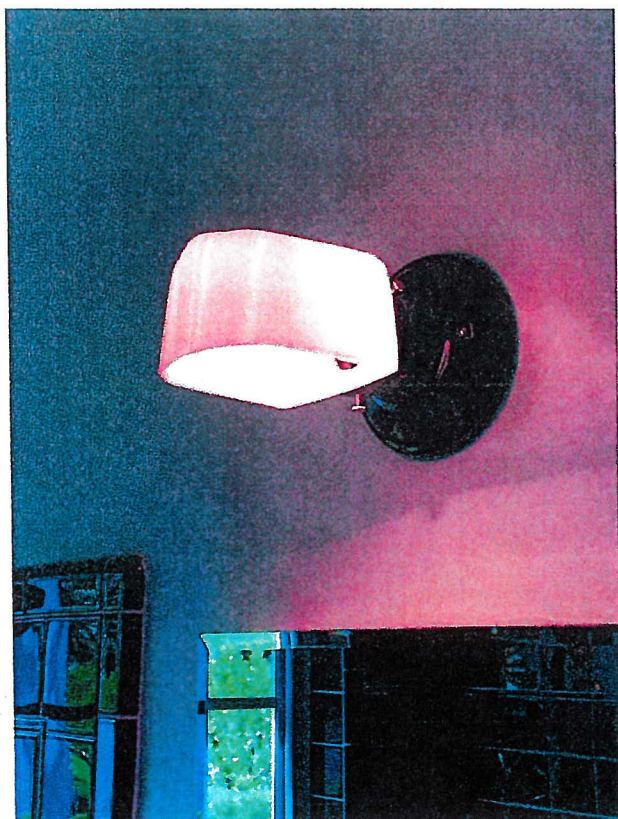
Photo: 38



Photo: 39

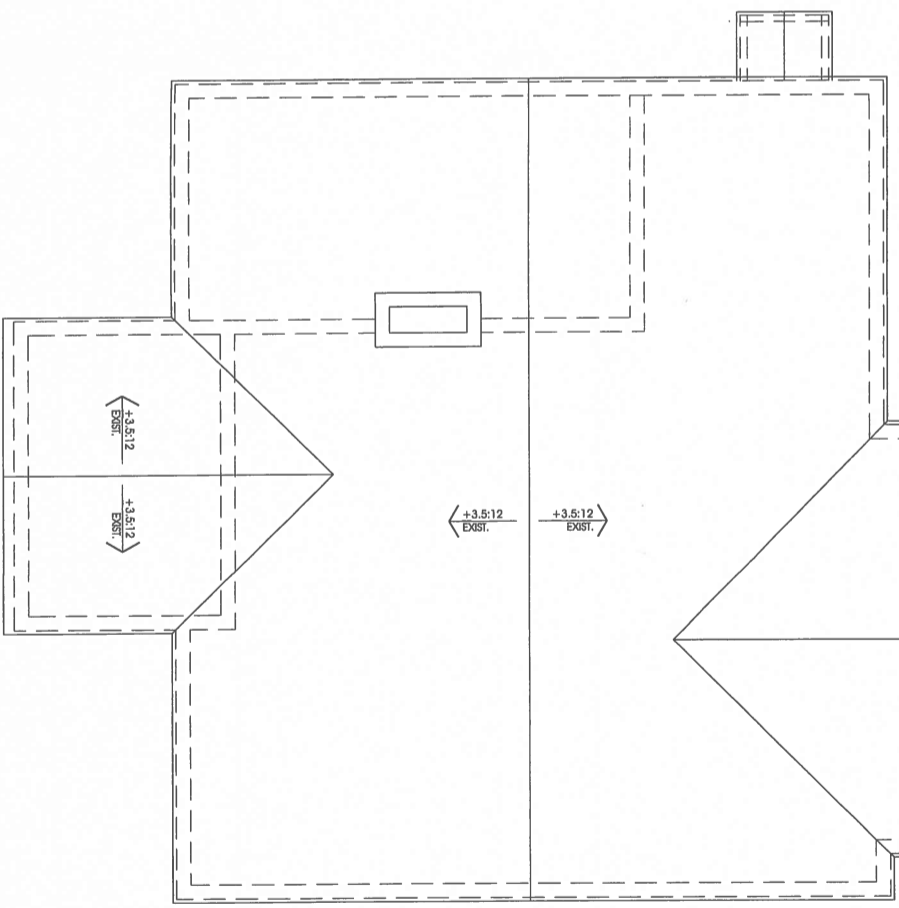
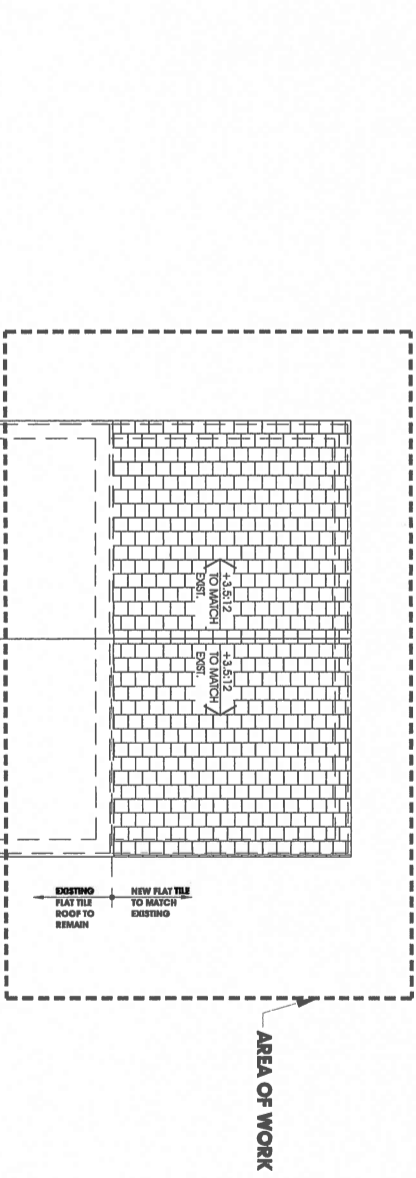


Photo: 40



ATTACHED

11-09-15



ATTIC VENTILATION:

REQUIRED:
1/150 CF 594CS VENTILATED
2391/50 = 154.3"

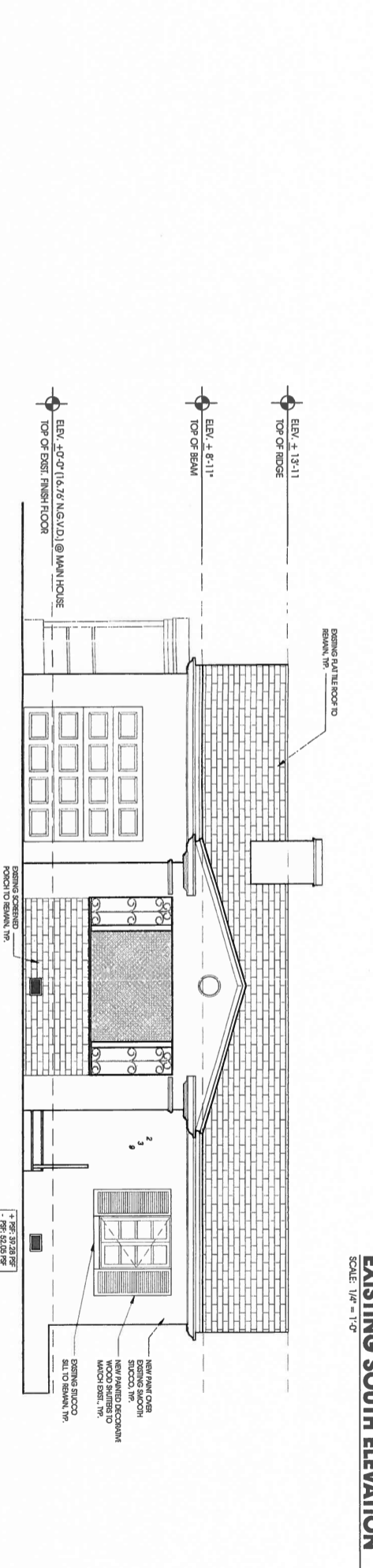
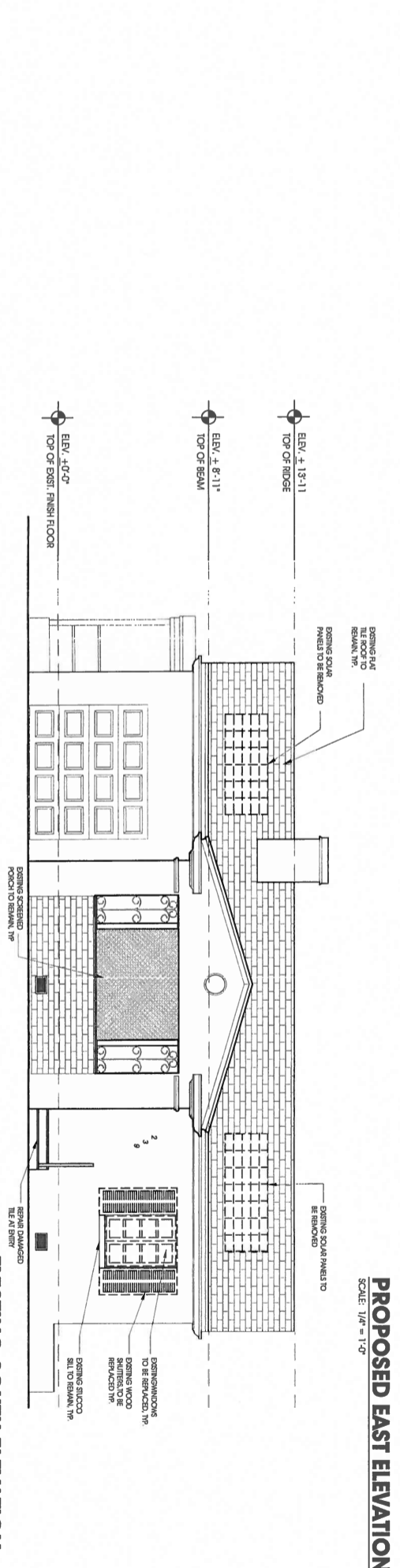
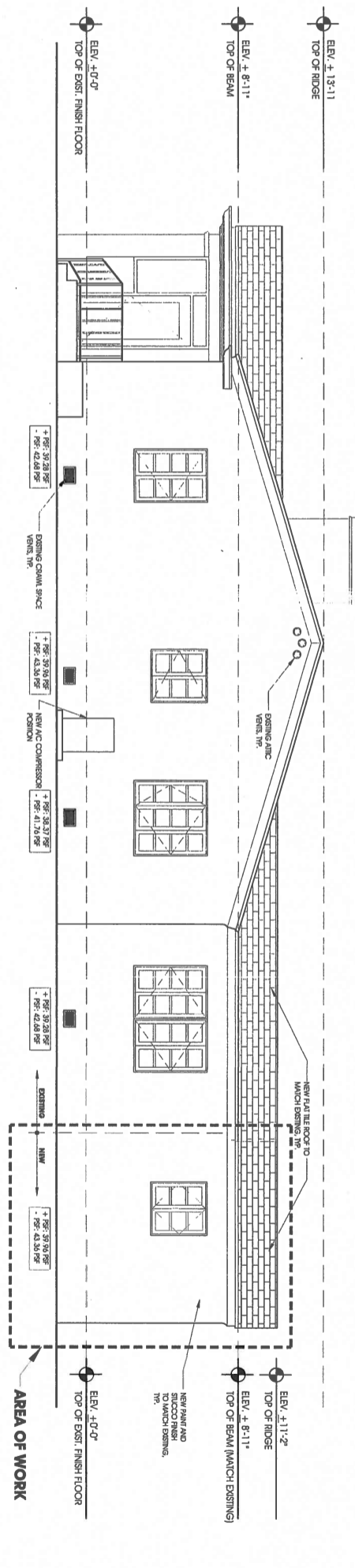
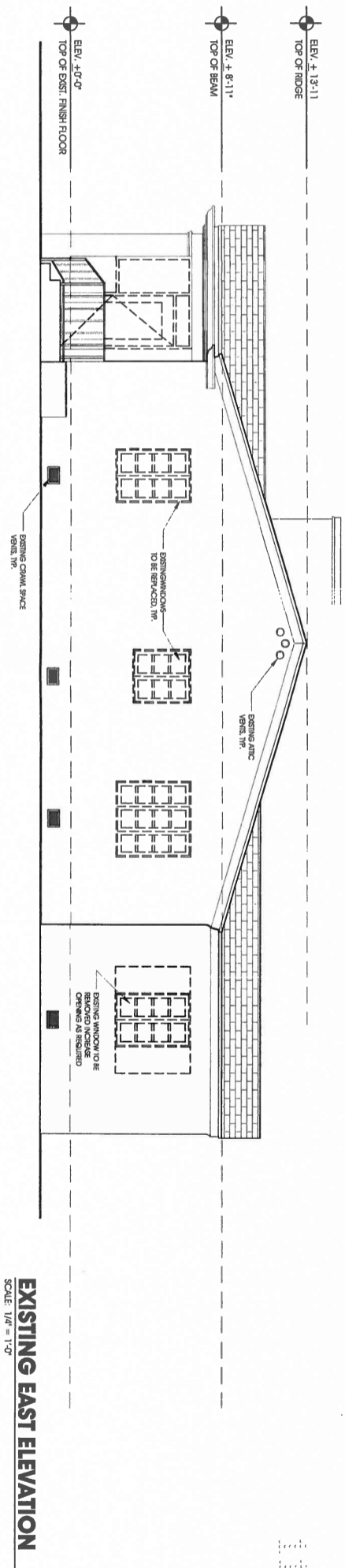
PROVIDED:
100% SPRAY FOAM INSULATION TO UNDERLIE
OF ROOF BEAMS, OPEN CELL IR VALUE = 5.0
CLOSED ATTIC R-30 PER IRC R605.4 UNVENTED
ATTIC ASSEMBLIES

ROOF PLAN

SCALE: 1/4" = 1'-0"



<p>LOCUS ARCHITECTURE INCORPORATED 401 South Dixie Highway, Suite 307 Coral Gables, Florida 33146 Tel: (305) 742-0120 Fax: (305) 742-0120 License No. AC0002733</p>		<p>PROJECT: Addition and Alterations to: 239 Sacto Avenue Coral Gables, Florida 33134</p>	
NO.	REVISION/DESCRIPTION	SHEET	
1	HISTORICAL REVIEW	11-05-2014	
2	R.I.D.S. DEPT. COMMENTS	01-09-2015	
<p>DRAWING: Roof Plan</p>			
SCALE	1/4" = 1'-0"	DATE	11-05-2014
DESIGNED BY	NEIL	CHECKED BY	NEIL
PROJECT NO.	2011	DATE	11-05-2014
<p>Neilson de Leon AR 13937 11-05-15</p>			
<p>A-04</p>			



LOCUS ARCHITECTURE INCORPORATED
600 South Dale Highway, Suite 307
Coral Gables, Florida 33146
Tel: (305) 740-0120
Fax: (305) 740-0120
License No. AA002733

NO.	REVISION/ISSUANCE	DATE
1	HISTORICAL REVIEW	11-05-2014

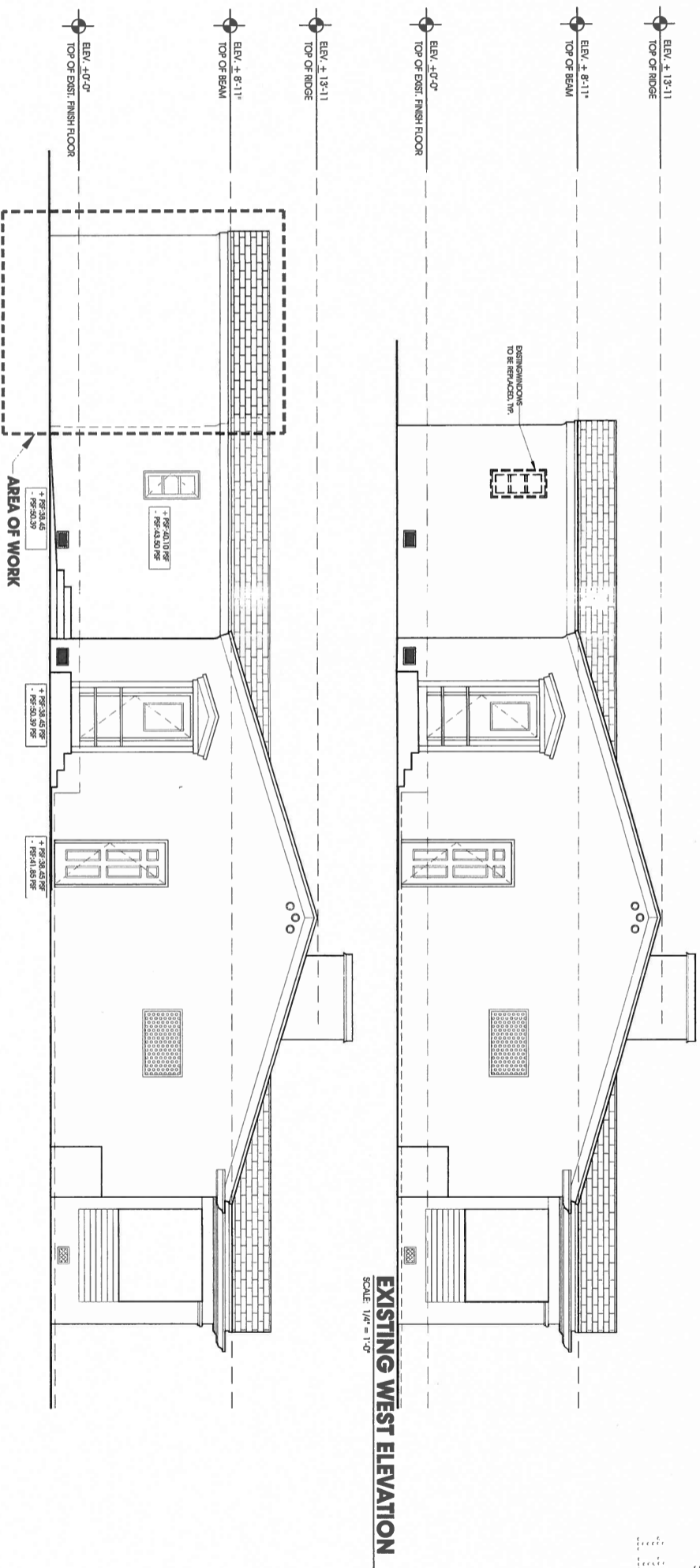
PROJECT
Addition and Alterations to:
239 Sario Residence

239 Sario Avenue
Coral Gables, Florida 33134

DRAWING		SCALE
EXISTING EXTERIOR ELEVATIONS		1/4" = 1'-0"
DATE	DRAWN	REVIEWED
12-13-13		
PROJECT NO.		
201		

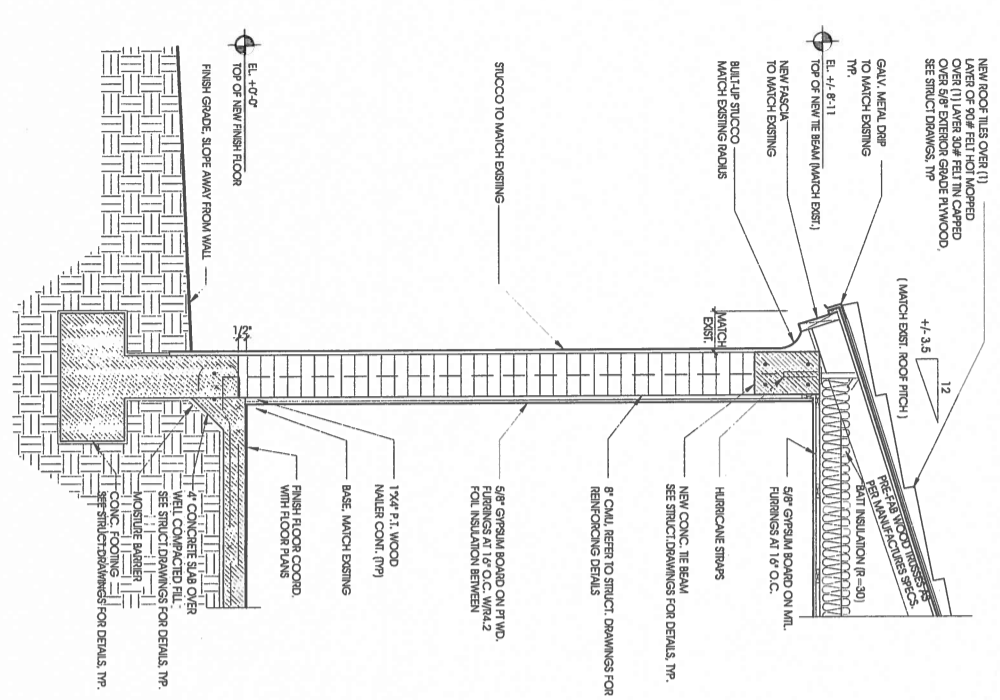
A-05

NO.	DESCRIPTION

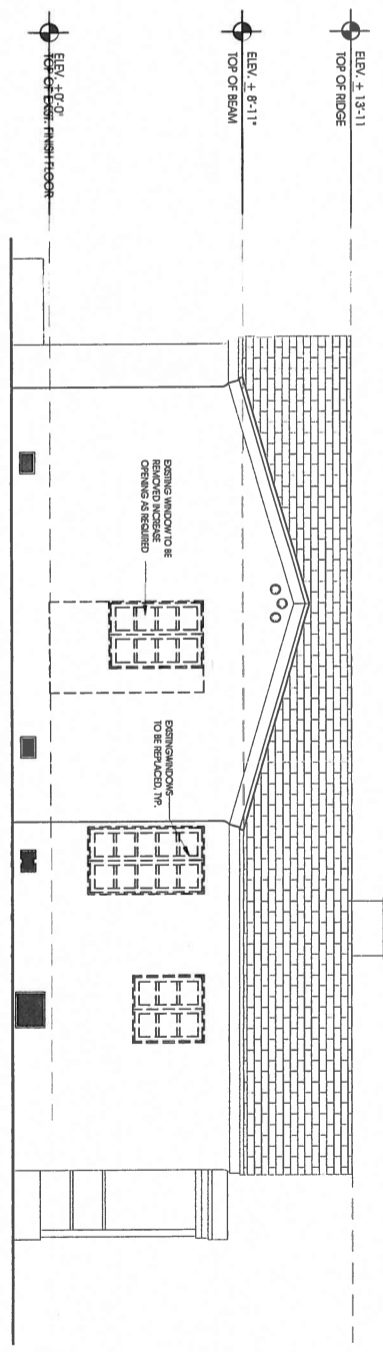


EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

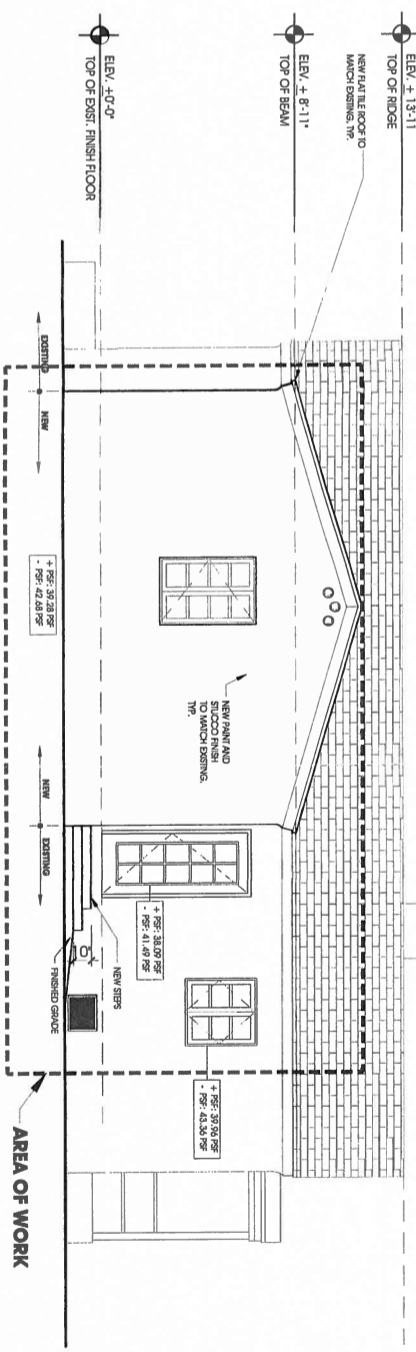
PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



TYPICAL WALL SECTION 1
SCALE: 3/4" = 1'-0"



EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

LOCUS ARCHITECTURE INCORPORATED
503 South Dixie Highway, Suite 307
Coral Gables, Florida 33146
Tel: (305) 742-5798
Fax: (305) 742-5798
License No. AA0002733
CORPORATE

NO.	REVISIONS/DESCRIPTION	DATE
1	HISTORICAL REVIEW	11-05-2014

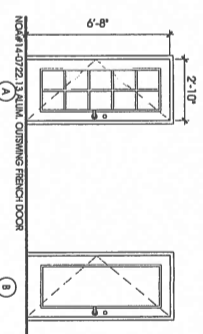
PROJECT: Addition and Alterations to 239 Sario Residence

239 Sario Avenue
Coral Gables, Florida 33134

SCALE	SCALE
EXISTING & PROPOSED EXTERIOR ELEVATIONS	1/4" = 1'-0"
DRAWING	DRAWN
SEAL	REVIEWED
DATE	PROJ. NO.
11/19/14	201
Michael Loun	
11/19/14	

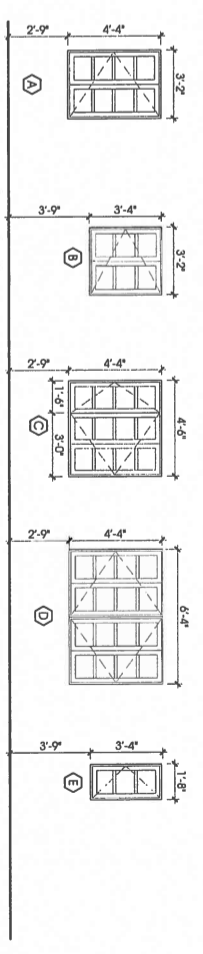
A-06

DOOR SCHEDULE										
DOOR #	TYPE	MATERIAL	FINISH	WIDTH	HEIGHT	TRACK	DETAILS			REMARKS
							JAMB	HEAD	SILL	
1	A	W/DOOR	PAINT	2'-10"	6'-6"	-	W/DOOR	-	-	REMOVE DOOR STOP
2	B	W/DOOR	PAINT	2'-2"	6'-6"	-	W/DOOR	-	-	REMOVE DOOR STOP
3	B	W/DOOR	PAINT	2'-4"	6'-6"	-	W/DOOR	-	-	REMOVE DOOR STOP
4	B	W/DOOR	PAINT	2'-4"	6'-6"	-	W/DOOR	-	-	REMOVE DOOR STOP
5	B	W/DOOR	PAINT	2'-2"	6'-6"	-	W/DOOR	-	-	REMOVE DOOR STOP
6	B	GLASS	PAINT	2'-2"	6'-6"	-	W/DOOR	-	-	TEMP. SAFETY GLASS CASE



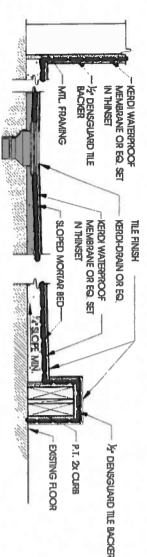
DOOR ELEVATIONS
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE									
WIN #	TYPE	WIDTH	HEIGHT	HEAD	JAMB			GLASS TYPE	REMARKS
					JAMB 1	JAMB 2	SILL		
A	CASERMENT	3'-2"	4'-4"	-	-	-	-	CLEAR GLASS	IMPACT SHIELD
B	CASERMENT	3'-2"	3'-4"	-	-	-	-	CLEAR GLASS	IMPACT SHIELD
C	CASERMENT	4'-4"	4'-4"	-	-	-	-	CLEAR GLASS	IMPACT SHIELD
D	CASERMENT	6'-4"	4'-4"	-	-	-	-	CLEAR GLASS	IMPACT SHIELD
E	CASERMENT	1'-4"	3'-4"	-	-	-	-	CLEAR GLASS	IMPACT SHIELD

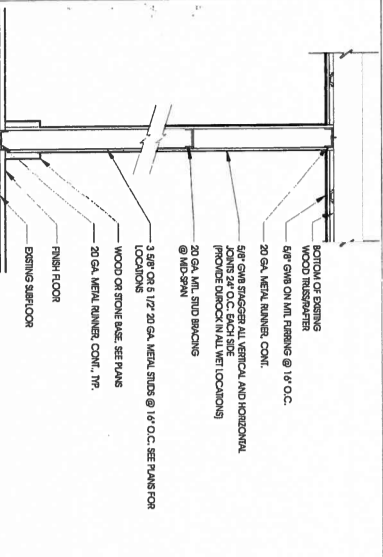


WINDOW ELEVATIONS
SCALE: 1/4" = 1'-0"

- NOTE:
1. ALL WINDOWS BY BIRDAWING.
 2. HARDWARE AS SELECTED BY OWNER.
 3. EXISTING WINDOWS PROVIDE CLEAR OPENING FOR NO LESS THAN 20% IN WIDTH MADE THAN 4" ABOVE FINISHED FLOOR.
 4. EXISTING WINDOWS PROVIDE CLEAR OPENING FOR NO LESS THAN 20% IN WIDTH MADE THAN 4" ABOVE FINISHED FLOOR.
 5. COORDINATE LOCATION OF SWINGS WITH EXISTING CONDITIONS. SHOW ON EXISTENCE FOR REFERENCE PURPOSES.
 6. FINISH COLOR & GLASS ANCHORED WITH CLEAR LOCK & GLASS.
 7. FRONT DOOR BY BIRDAWING WOOD, INC. NO. 411 1/2 17 10.
 8. WINDOW DOOR BY BIRDAWING WOOD, INC. NO. 411 1/2 17 10.
 9. WINDOW DOOR BY BIRDAWING WOOD, INC. NO. 411 1/2 17 10.
 10. WINDOW AND DOOR TO BUILDING EXISTENCE LATER SEPARATE FROM.
 11. REPAIRER WALL SERVICES AT ALL NEW WINDOW AND DOOR OPENINGS SHALL BE REFERRED TO MARCH BIRDAWING WALL SERVICES.
 12. WINDOW/DOOR UNITS TO BE REFERENCED TO MARCH BIRDAWING WALL SERVICES.
 13. GC TO SUBMIT MANUFACTURER'S PRODUCT APPROVALS.



TYP. SHOWER PAN DETAIL
SCALE: 3/4" = 1'-0"



TYP. NON-BEARING INT. PARTITION
SCALE: 3/4" = 1'-0"

1

LOCUS ARCHITECTURE
INCORPORATED
602 South Dixie Highway, Suite 307
Coral Gables, Florida 33134
Tel: (305) 742-5798
Licenses No. AK002733
CONSULTANTS

Product
Addition and Alterations to:
239 SoHo Residence
239 SoHo Avenue
Coral Gables, Florida 33134

DRAWING
New Window & Door Schedules
SCALE: NTS
DATE: 11-05-2014
REVISION/REVISION NUMBER: 1
DESIGNED BY: [Signature]
CHECKED BY: [Signature]
DATE: 11-05-2014

A-07

PROJECT TEAM

ARCHITECT:
LOCUS ARCHITECTURE
 500 South Dixie Highway, Suite 307
 Coral Gables, Florida 33134
 Tel: (305) 444-9072
 Fax: (305) 740-9798
 License No. AA0002733

MECHANICAL/ELECTRICAL/PLUMBING/
FIRE PROTECTION:
ARPE Engineering, Inc.
 Coral Gables International Plaza
 2655 Le Jeune Road, Suite 911 F
 Coral Gables, Florida 33134
 Tel: (305) 444-9072
 Fax: (305) 444-9827

STRUCTURAL ENGINEER:

OWNER:
Lat Capital Solutions, Inc.
 M. Luis Diaz
 3660 NW 82 Avenue, Suite 501
 Del Rio, FL 33156

GENERAL CONTRACTOR:
Lat Capital Solutions, Inc.
 M. Luis Diaz
 3660 NW 82 Avenue, Suite 501
 Del Rio, FL 33156



LOCUS ARCHITECTURE
 INCORPORATED
 500 South Dixie Highway, Suite 307
 Coral Gables, Florida 33134
 Tel: (305) 444-9072
 Fax: (305) 740-9798
 License No. AA0002733

NO.	REVISION/DESCRIPTION	DATE
1	HISTORICAL REVIEW	11-05-2014

PROJECT

Addition and Alterations to:
239 Sacto Residence

239 Sacto Avenue
 Coral Gables, Florida 33134

DRAWING

Foundation & Ground Floor Plan

SCALE 1/4" = 1'-0"

DATE 11-05-2014

DESIGNED BY M.L.D.

CHECKED BY M.L.D.

DATE 11-05-2014

Number of Issues 201

SHEET NO. S-1

FRANCISCO QUIÑERO, JR., P.E., INC.
 Consulting Civil/Structural Engineer
 147 ALHAMBRA CIRCLE SUITE 200
 CORAL GABLES, FL 33134
 (305) 361-0215
 Reg. No. 46281

FOUNDATION NOTES:

- CONTRACTOR MUST VERIFY THAT NO BEARING CONDITION EXISTS WITHIN THIS AREA PRIOR TO ANY DESTRUCTION IN ORDER TO PROCEED WITH THE WORK.
- CONTRACTOR MUST CORROBORATE ALL DIMENSIONS AND CONDITIONS WITH THE ARCHITECT AND ENGINEER OF THE FIELD, INCLUDING ALL WINDOW AND DOOR MASONRY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
- TOP OF FOOTING ELEVATION TO MATCH EXISTING.
- ALL MASONRY BLOCK WALLS SHALL BE REINFORCED WITH 3" VERTICAL BARS AS SHOWN ON THE SCHEDULE AND ON FLANS.
- SEE SHEETS 8-4 FOR GENERAL STRUCTURAL NOTES.
- SEE SHEET 8-3 FOR SCHEDULES.
- SEE SHEET 8-1 FOR WINDOWS AND DOORS WOOD BLOCKS ATTACHMENT DETAIL.

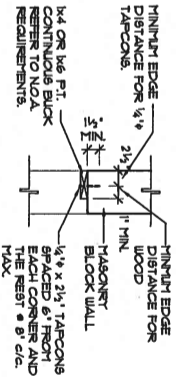
SOIL STATEMENT:

BASED ON A VISUAL INSPECTION ON SITE, THE SOIL IS SAND WITH INTERMEDIATE TO HIGH AN APPARENT 2000 PSF MIN. SOIL BEARING CAPACITY. WHEN THE SOIL IS BROKEN, A SITE VISIT MUST BE DONE TO VERIFY IF THE PRESUMPTIVE CAPACITY WAS REACHED.

LEGEND

- NEW 8" REINFORCED MASONRY BLOCK WALL
- VERTICAL BARS 1 & 2 VERT. IN BLOCK CELLS
- BUILT UP WITH CONC. GROUT SEE FLANS AND SCHEDULE FOR SPACING
- REINFORCED CONCRETE COLUMN, SEE SCHEDULE ON SHEET 8-3
- REINFORCED CONCRETE FOOTING, SEE SCHEDULE ON SHEET 8-3
- EXISTING FOOTING TO REMAIN
- EXISTING BLOCK WALL
- TE: DENOTES 8"x8" CONC. THICKENED EDGE WITH 1" BOT. CONT.

MINIMUM REQUIREMENTS FOR WOOD BLOCK TO MASONRY BLOCK CONNECTION DETAIL



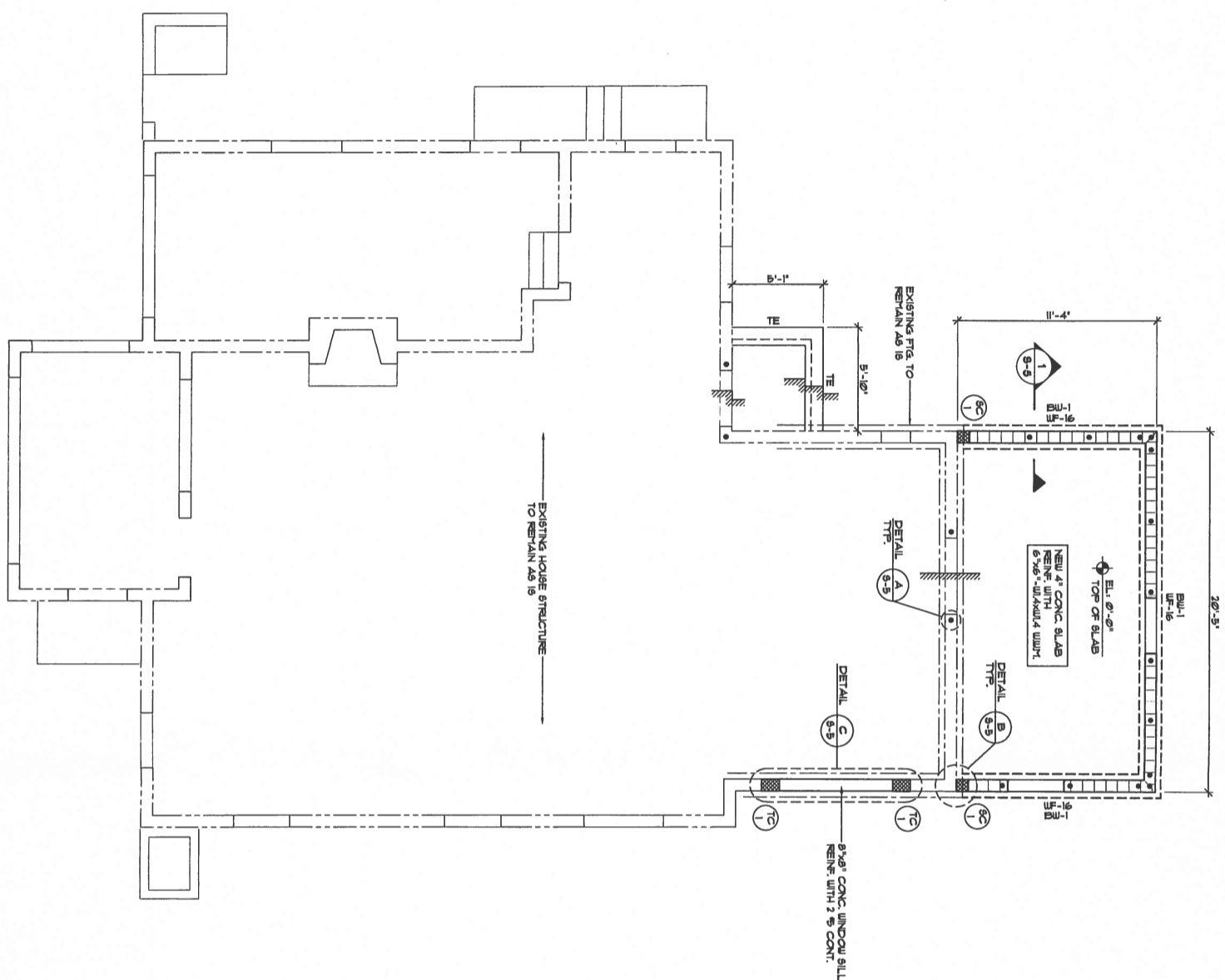
MINIMUM REQUIREMENTS FOR WOOD BLOCK TO STEEL COLUMN CONNECTION DETAIL



NOTE:
 THIS BLOCK CONNECTION MUST BE VERIFIED FOR UDLA COMPLIANCE BY THE SPECIAL DESIGN ENGINEER. ALL LOADS, INCLUDING ALL CONCENTRATED LOADS INDICATED INTO THE BLOCK FROM THE DOOR OR WINDOW ASSEMBLY, MUST BE ADRESSED BY THE SPECIALTY DESIGNER. ALL FIELD AND CORNER BLOCKS SHALL BE VERIFIED BY THE SPECIALTY DESIGNER. THE FIELD THEN THE BLOCK ANCHORAGE MUST BE DESIGNED AND PROVIDED BY A SPECIALTY ENGINEER.

FOUNDATION & GROUND FLOOR PLAN

SCALE 1/4" = 1'-0"



REVISIONS

PROJECT TEAM

ARCHITECT:
LOCUS ARCHITECTURE
1100 S.W. 11th St.
500 South Dale Highway, Suite 307
Mesa, Florida 33134
Tel: (305) 745-5110
Fax: (305) 745-5798
License No. AA0007733

MECHANICAL/ELECTRICAL/PLUMBING/

FIRE PROTECTION:
ARPE Engineering, Inc.

Coral Gables International Plaza
2655 La Jolla Road Suite PH F
Mesa, Florida 33134
Tel: (305) 444-9827
Fax: (305) 444-9827

STRUCTURAL ENGINEER:

OWNER:
Lat Capital Solutions, Inc.
M. Luis Diaz
3650 NW 82 Avenue, Suite 501
Doral, FL 33156
Tel: (305)

GENERAL CONTRACTOR:
Lat Capital Solutions, Inc.
M. Luis Diaz
3650 NW 82 Avenue, Suite 501
Doral, FL 33156
Tel: (305)

LOCUS ARCHITECTURE
1100 S.W. 11th St.

500 South Dale Highway, Suite 307
Coral Gables, Florida 33134
Tel: (305) 745-5110
Fax: (305) 745-5798
License No. AA0007733

COMMUNITY:

NO.	REVISION/DESCRIPTION	DATE
1	HISTORICAL REVIEW	11-05-2014

PROJECT:
**Addition and Alterations to:
239 Sario Residence**

239 Sario Avenue
Coral Gables, Florida 33134

DRAWING:
Roof Framing Plan

SCALE:

SCALE: 1/8" = 1'-0"

DRAWN:

APPROVED:

PROJ. NO. 201

Sheet No. 201

S-2

FRANCISCO QUIJERO JR. P.E., INC.
147 ALVARADO CIRCLE SUITE 200
CORAL GABLES, FL 33134
REG. NO. 46981

- ROOF NOTES:**
- 1- ROOF SHEATHING SHALL BE NEW 5/8" CDX WITH 16d NAILS @ 4" O.C. ALL SURFACES.
 - 2- DRY ROT BEHIND POR DOOR & WINDOW OPENINGS WHERE LINTEL AND BEAM AND ADD 3" STRIPS @ 8" O.C. SEE DETAIL X3-X.
 - 3- PROVIDE BUILDING PAPER BETWEEN WOOD & CONCRETE (TYPICAL)
 - 4- ALL TRUSS TO TRUSS (WOOD TO WOOD) CONNECTIONS SHALL BE DESIGNED BY TRUSS MANUFACTURER/DESIGNER.
 - 5- BENT UP JOIST DRUMS AND CALCULATIONS SHOWN & SEALED BY FABRICATOR FOR ALL WOOD TRUSSES FOR APPROVAL FROM FABRICATOR.
 - 6- SECURE HURRICANE STRAP IN PLACE BEFORE POURING ANY TIE BEAM.
 - 7- PROVIDE 2x6 BLOCKING BETWEEN TRUSSES AT ALL AROUND.

ROOF SUPERIMPOSED WIND PRESSURES AND LOADS

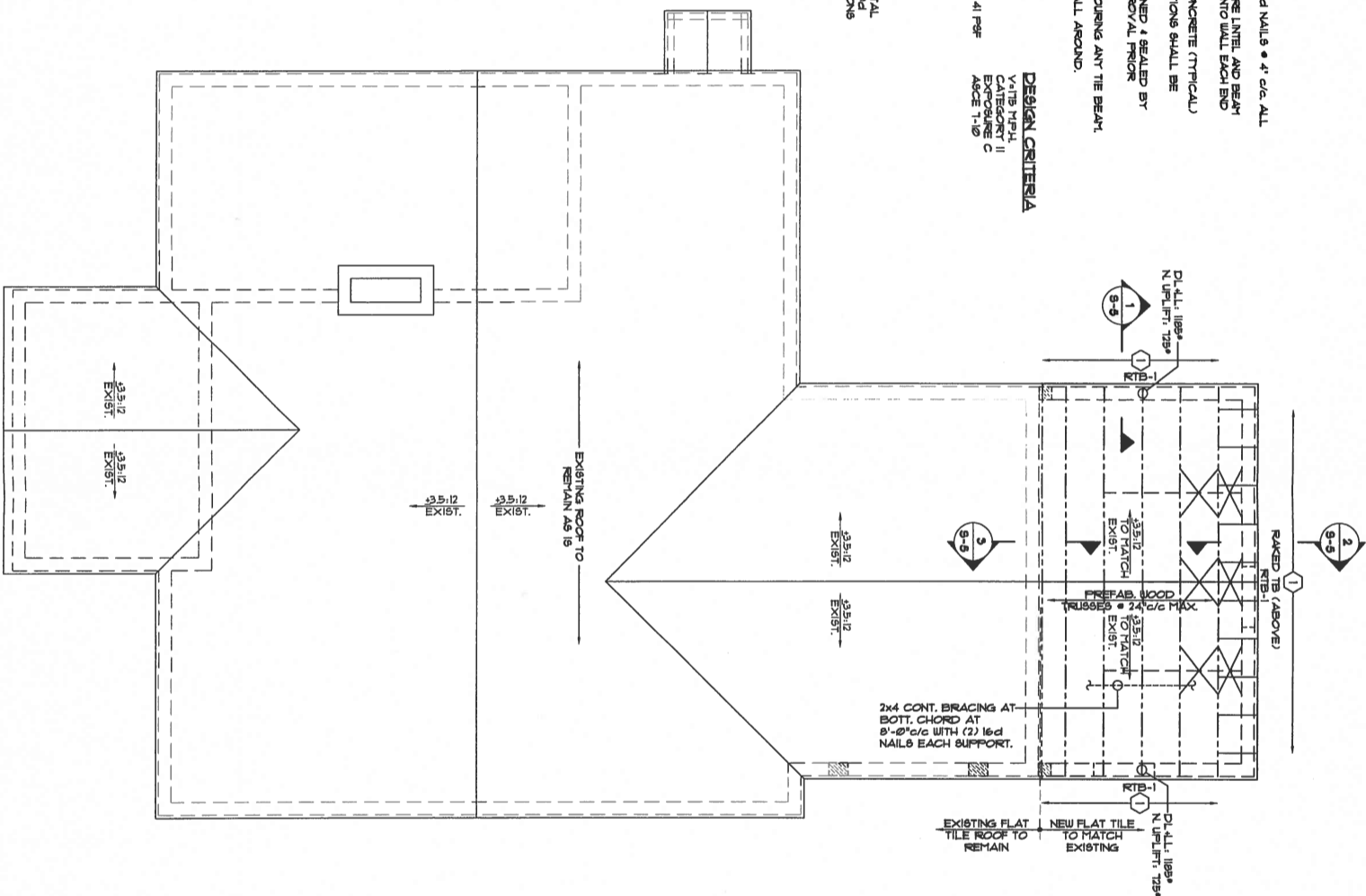
TRUSSES: D-130 PAF; L1-30 P3F;

WIND PRESSURES AND LOADS (CLADDING): V-115 HIGH CATEGORY II EXPOSURE C ASCE 7-10

NET UPLIFT (INTERVALLY): 41 PPF

HURRICANE STRAP REQUIREMENTS

- 1- DENOTES STRAP BY SIMPSON HAKE MODEL HEAL 20 WITH 3-16d NAILS THROUGH BEAM PLATE AND 3-16d CORNER NAILS THROUGH STRAP FOR UPLIFT REACTIONS UP TO 800#.



ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"
NORTH

PROJECT TEAM

ARCHITECT:
LOCUS ARCHITECTURE
 500 South Dale Highway, Suite 307
 Coral Gables, Florida 33134
 Tel. (305) 746-5796
 Fax (305) 746-5798
 License No. A4002733

**MECHANICAL, ELECTRICAL, PLUMBING/
 FIRE PROTECTION:**
ARPE Engineering, Inc.
 Coral Gables International Plaza
 2655 Le Jeune Road Suite PH1F
 Coral Gables, Florida 33134
 Tel. (305) 444-9827
 Fax (305) 444-9827

STRUCTURAL ENGINEER:

OWNER:
Lat Capital Solutions, Inc.
 M. Luis Diaz
 3660 NW 82 Avenue, Suite 501
 Del Rio, FL 33156
 Tel. (305)

GENERAL CONTRACTOR:
Lat Capital Solutions, Inc.
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 3660 NW 82 Avenue, Suite 501
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 Tel. (305)

LOCUS ARCHITECTURE

500 South Dale Highway, Suite 307
 Coral Gables, Florida 33134
 Tel. (305) 746-5796
 Fax (305) 746-5798
 License No. A4002733



NO. 11-05-2014

REVISION/REVISION DATE

HISTORICAL REVIEW 11-05-2014

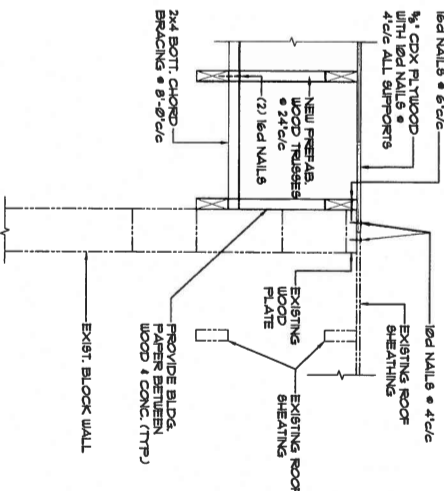
Product
 Addition and Alterations to:
 239 Sario Residence

239 Sario Avenue
 Coral Gables, Florida 33134

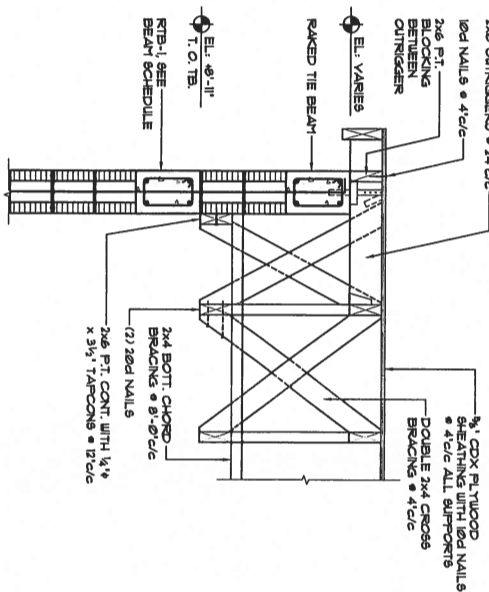
SECTIONS & DETAILS

SCALE 3/4" = 1'-0"
DRAWING
REVISION
DATE
PROJ. NO. 201

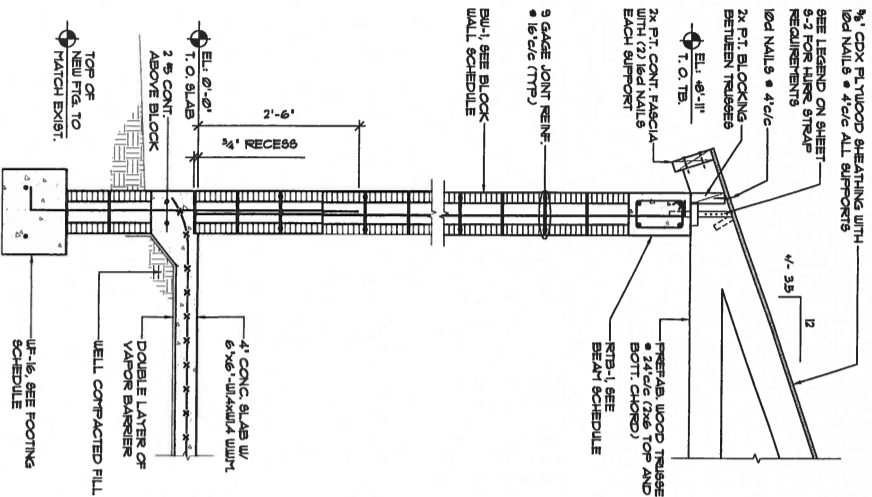
FRANCISCO CHIEFFO JR., P.E., INC.
 Consulting Civil/Structural Engineer
 147 ALHAMBRA CIRCLE SUITE 700
 CORAL GABLES, FL 33134
 Tel. (305) 367-0725
 Fax (305) 367-0731



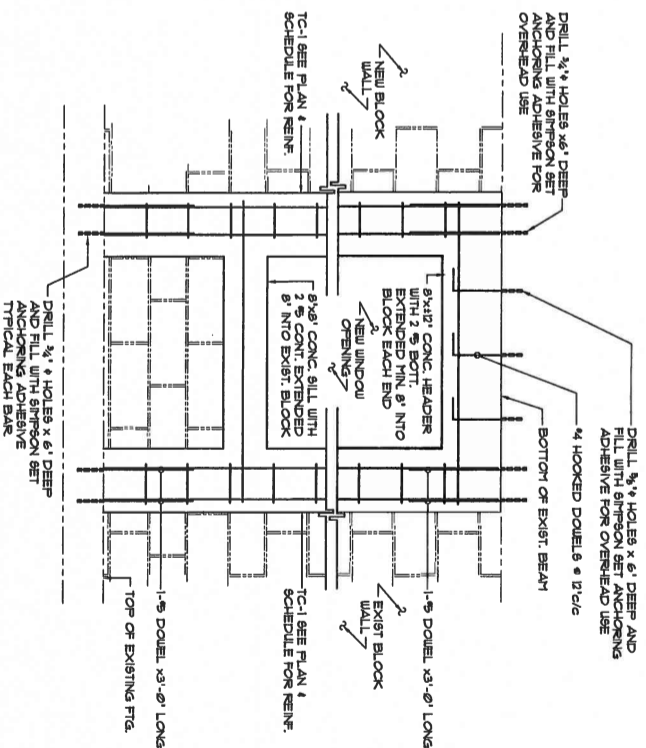
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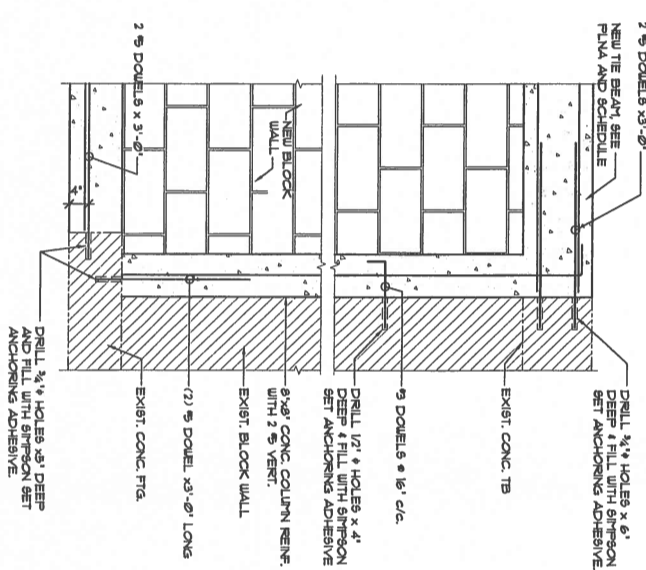
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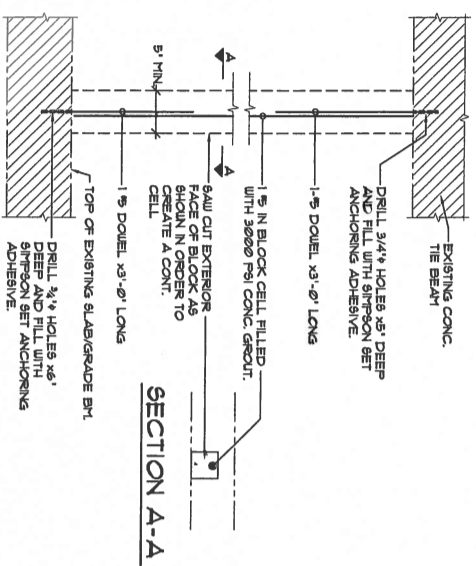
SECTION 1
 SCALE: 3/4" = 1'-0"



DETAIL C
 SCALE: 3/4" = 1'-0"



DETAIL B
 SCALE: 3/4" = 1'-0"



DETAIL A
 SCALE: 3/4" = 1'-0"

PROJECT TEAM

ARCHITECT:
LOCUS ARCHITECTURE
 500 South Dixie Highway, Suite 307
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 Tel (305) 740-0120
 Fax (305) 740-5798
 License No. AA0002733

MECHANICAL / ELECTRICAL / PLUMBING FIRE PROTECTION:

STRUCTURAL ENGINEER:

OWNER:

GENERAL CONTRACTOR:

LOCUS ARCHITECTURE
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 Tel (305) 740-0120
 Fax (305) 740-5798
 License No. AA0002733

NO.	REVISION/SUBMISSION	DATE

PROJECT
 Addition and Alterations
 - Residence

239 Seola Avenue
 Coral Gables, Florida 33134

DRAWING
 HVAC
 DETAILS

SCALE
 1/4"=1'-0"

REVIEWED
 NEL
PROJ. NO.
 201

CITY OF CORAL GABLES
 Development Services Department
 Mechanical Division

Reviewed by: *[Signature]* Date: 12-12-14

engineering inc
 Gabriel International Plaza
 1109
 Coral Gables, Florida 33134
 Phone: 305 444 9809
 Fax: 305 444 9827

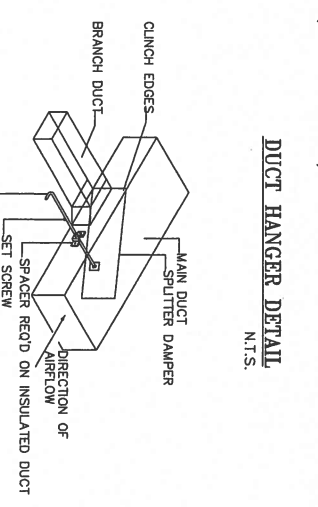
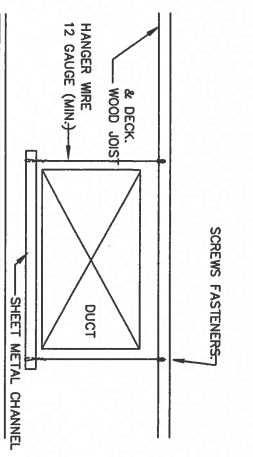
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JOB #
 AN14-11005

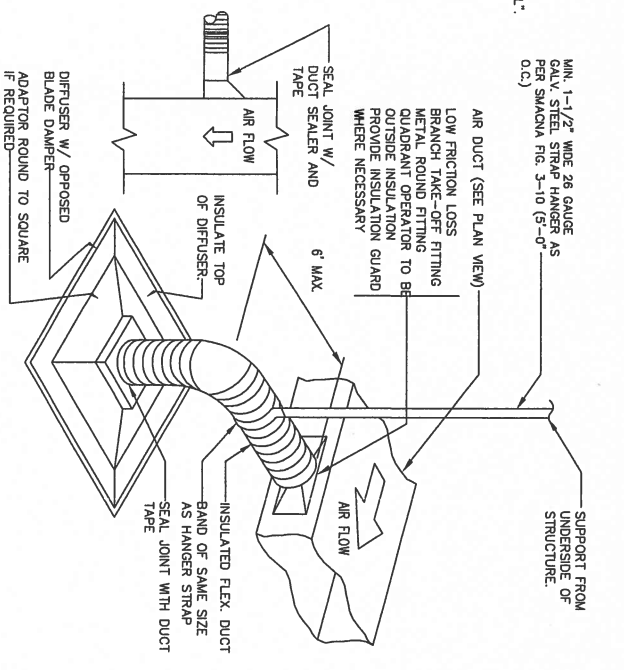
Antonio Rodriguez, P.E.
 License Number 60226
 C.A. 3688

Nelson de Leon
 AR 13357

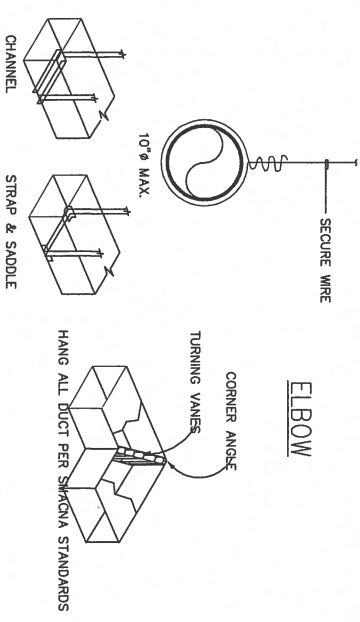
SHEET NO.
 M-02



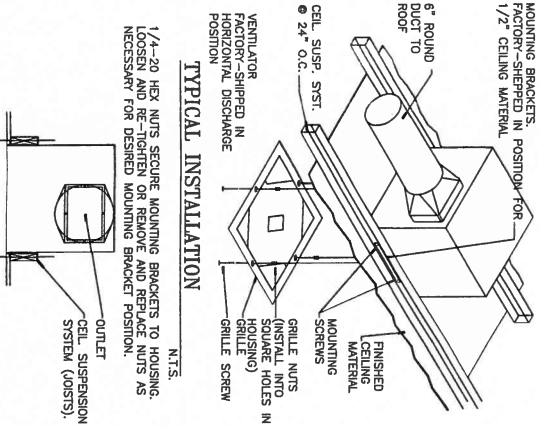
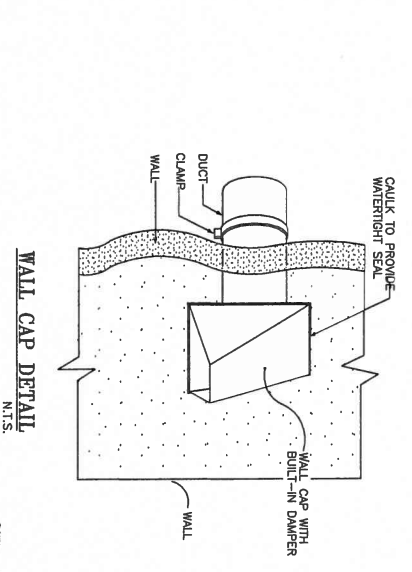
FLEXIBLE DUCT CONNECTION DETAIL
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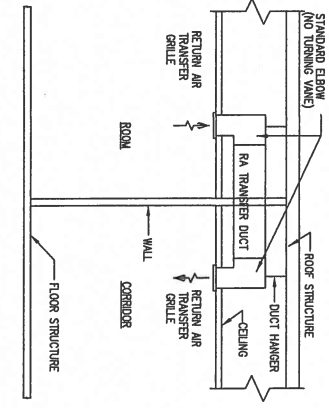
ELBOW
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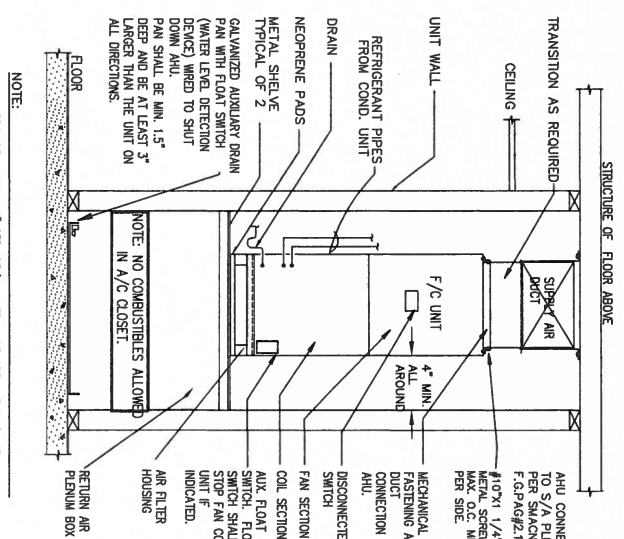
HVAC DUCT DETAILS
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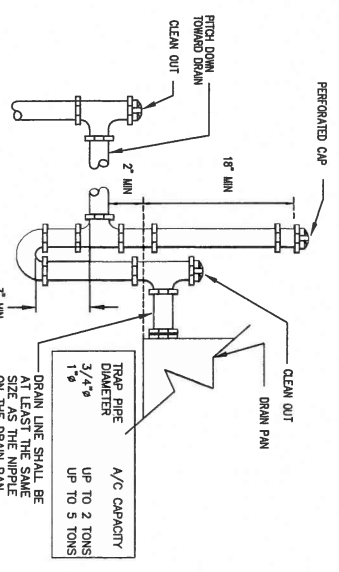
TRANSFER AIR DUCT DETAIL
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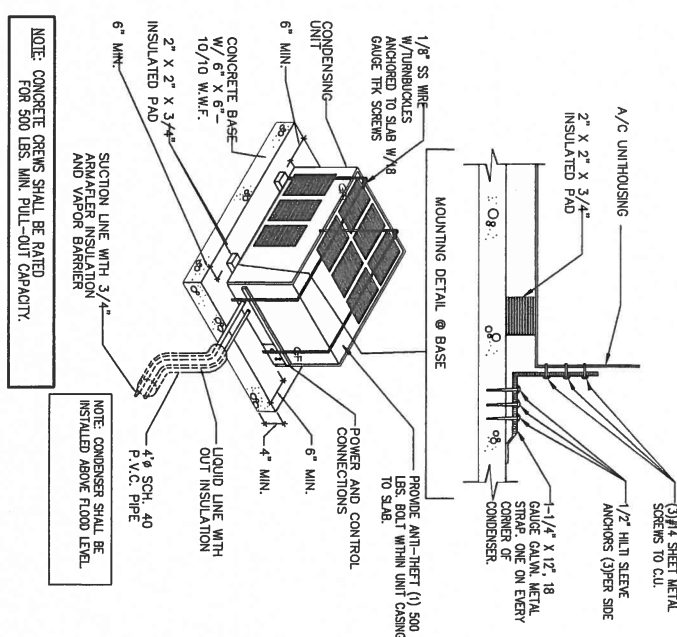
FAN COIL UNIT MOUNTING DETAIL
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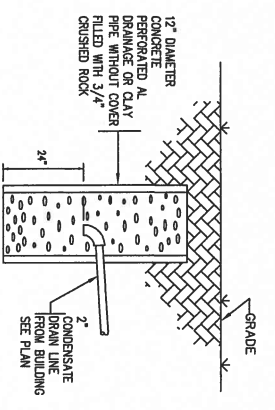
TYPICAL CONDENSATE DRAIN TRAP
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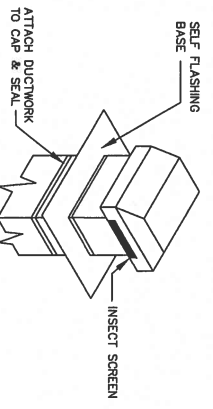
CONDENSING UNIT MOUNTING DETAIL
 N.T.S.



DRY WELL DETAIL
 N.T.S.



ROOF CAP DETAIL
 N.T.S.



engineering inc

CITY OF CORAL GABLES
 Development Services Department
 Mechanical Division

Reviewed by: *[Signature]* Date: 12-12-14

engineering inc
 Gabriel International Plaza
 1109
 Coral Gables, Florida 33134
 Phone: 305 444 9809
 Fax: 305 444 9827

Signature: *[Signature]* Date: 11/18/10

JOB #
 AN14-11005

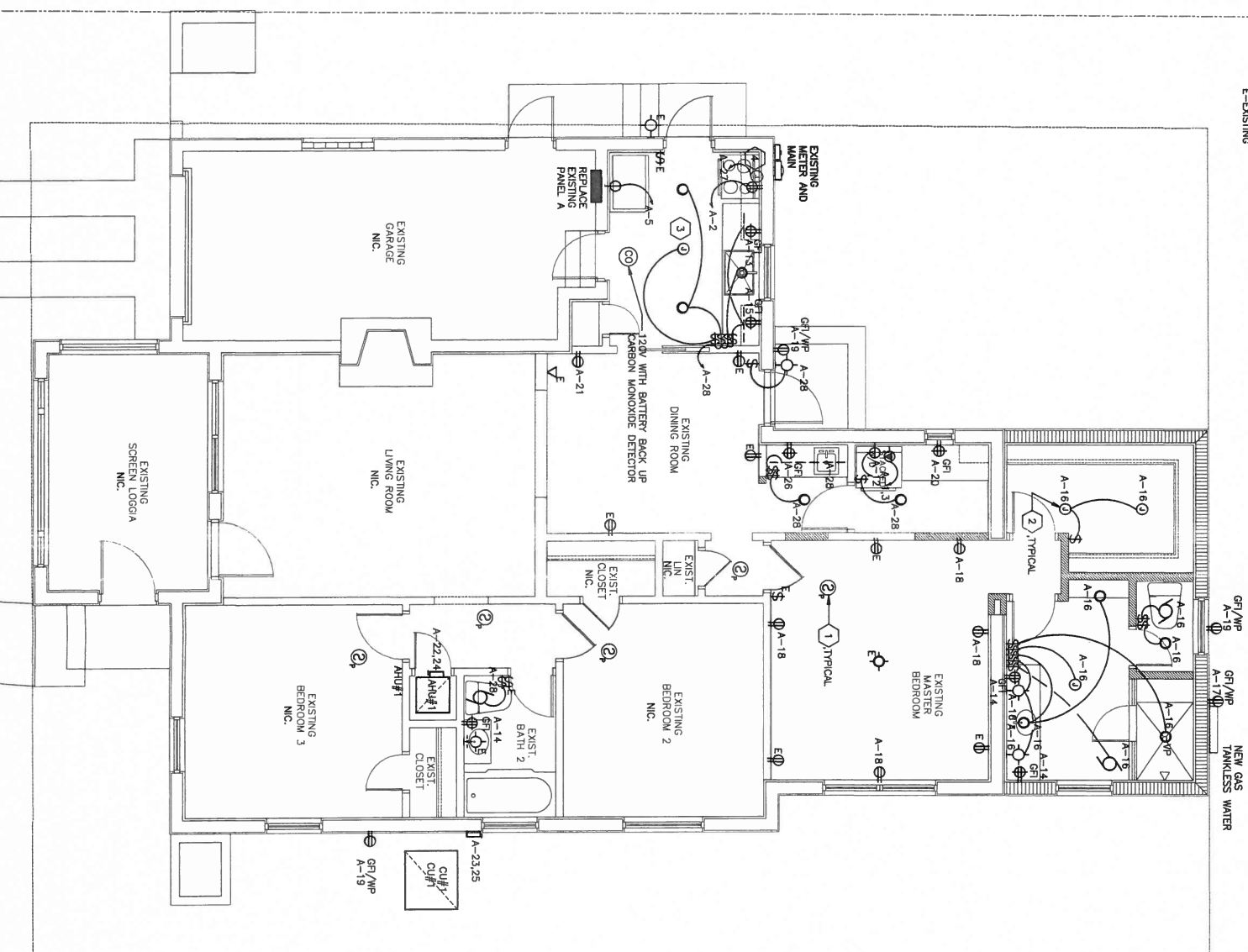
Antonio Rodriguez, P.E.
 License Number 60226
 C.A. 3688

Nelson de Leon
 AR 13357

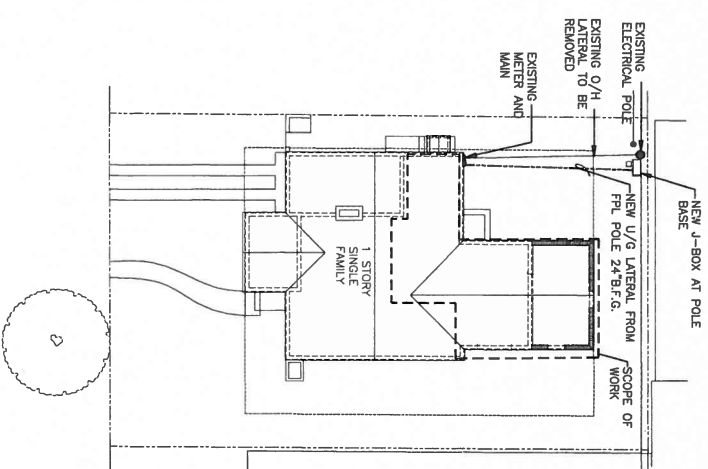
SHEET NO.
 M-02

ELECTRICAL CONSTRUCTION NOTES:

1. 120V SMOKE AND CARBON MONOXIDE ALARMS COMB WITH BATTERY BACK UP INTERCONNECTED WITH 3/4" TO MASTER BATHROOM LIGHT CIRCUIT. THIS CIRCUIT SHALL BE ARC FAULT PROTECTED.
2. LIGHT FIXTURES IN CLOSET SHALL NOT BE INSTALLED WITHIN 12" OF SHELF.
3. PROVIDE J BOX FOR CEILING FAN AT ALL CENTER LIGHT FIXTURE. TYPICAL ALL ROOMS.
4. HOOD FAN COORDINATE MOUNTING PRIOR TO INSTALLATION.



ELECTRICAL SITE PLAN
SCALE 1/8" = 1'-0"



CITY OF CORAL GABLES
Development Services Department
Electrical Division
Reviewed by: *[Signature]*
Date: 11/19/17

PROJECT TEAM
ARCHITECT:
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500 South Dixie Highway, Suite 307
Coral Gables, Florida 33134
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Fax: (305) 740-5798
License No. AA0002733
MECHANICAL / ELECTRICAL / PLUMBING
FIRE PROTECTION:

STRUCTURAL ENGINEER:

OWNER:

GENERAL CONTRACTOR:

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Coral Gables, Florida 33146
Tel: (305) 740-0120
Fax: (305) 740-5798
License No. AA0002733
CONSULTANTS:

NO.	REVISION/SUBMISSION	DATE

PROJECT
Addition and Alterations
— Residence

239 Sarto Avenue
Coral Gables, Florida 33134

DRAWING
Electrical
Floor Plan

SCALE
1/4"=1'-0"

REVIEWED
NEL

DRAWN

PROJ. NO.

AR 13937

SHEET NO.

E-01

ELECTRICAL FLOOR PLAN
SCALE 1/8" = 1'-0"



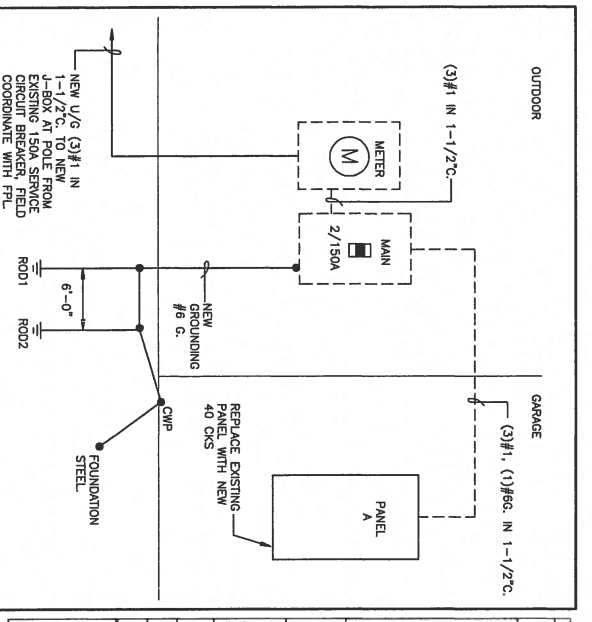
engineering inc
Coral Gables International Plaza
2065 La Jolla Road, Suite 1109
Coral Gables, Florida 33134
Phone > 305 444 8827
Fax > 305 444 8827
www.ape-eng.com

Signature: *[Signature]*
Date: 11/19/17

14-1035
Amirilis Rodriguez, P.E.
License Number: 00208
C.A. 588

GENERAL CONTRACTOR:
OWNER:
STRUCTURAL ENGINEER:

HOUSE DEMAND LOAD CALCULATION SERVICE
TABLE with columns: SE, 1500/240 V 1 PHASE, 1407 SQFT, QTY, UNIT, VA, TOTAL KVA
Includes sub-totals for HEATING/LOAD, TOTAL HVAC LOAD, HEATING/LOAD, TOTAL CONNECTED LOAD, TOTAL DEMAND LOAD.



HOUSE DEMAND LOAD CALCULATION SERVICE
TOTAL DEMAND LOAD 13.7 + 0.5 = 24.2 KVA
TOTAL CONNECTED LOAD 19.2 + 10.5 = 29.7 KVA

ELECTRICAL LEGEND

Table with columns for symbols, descriptions, and abbreviations. Symbols include light fixture, receptacle, switch, and various wiring notations. Abbreviations include A.C., A.F.F., A.S.K., B.F.C., B.F.L., C.B., C.L., D, E.M., F.R.L., G.C.L., U.L., M.P., T.P., W.P., A.M.S., and C.L.C.

ELECTRICAL GENERAL NOTES

- 1. IT SHALL BE UNDERSTOOD THAT ALL WORK PERFORMED SHALL BE BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANSHIP UNDER SAID CONTRACTOR'S SUPERVISION AND CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND EQUIPMENT.
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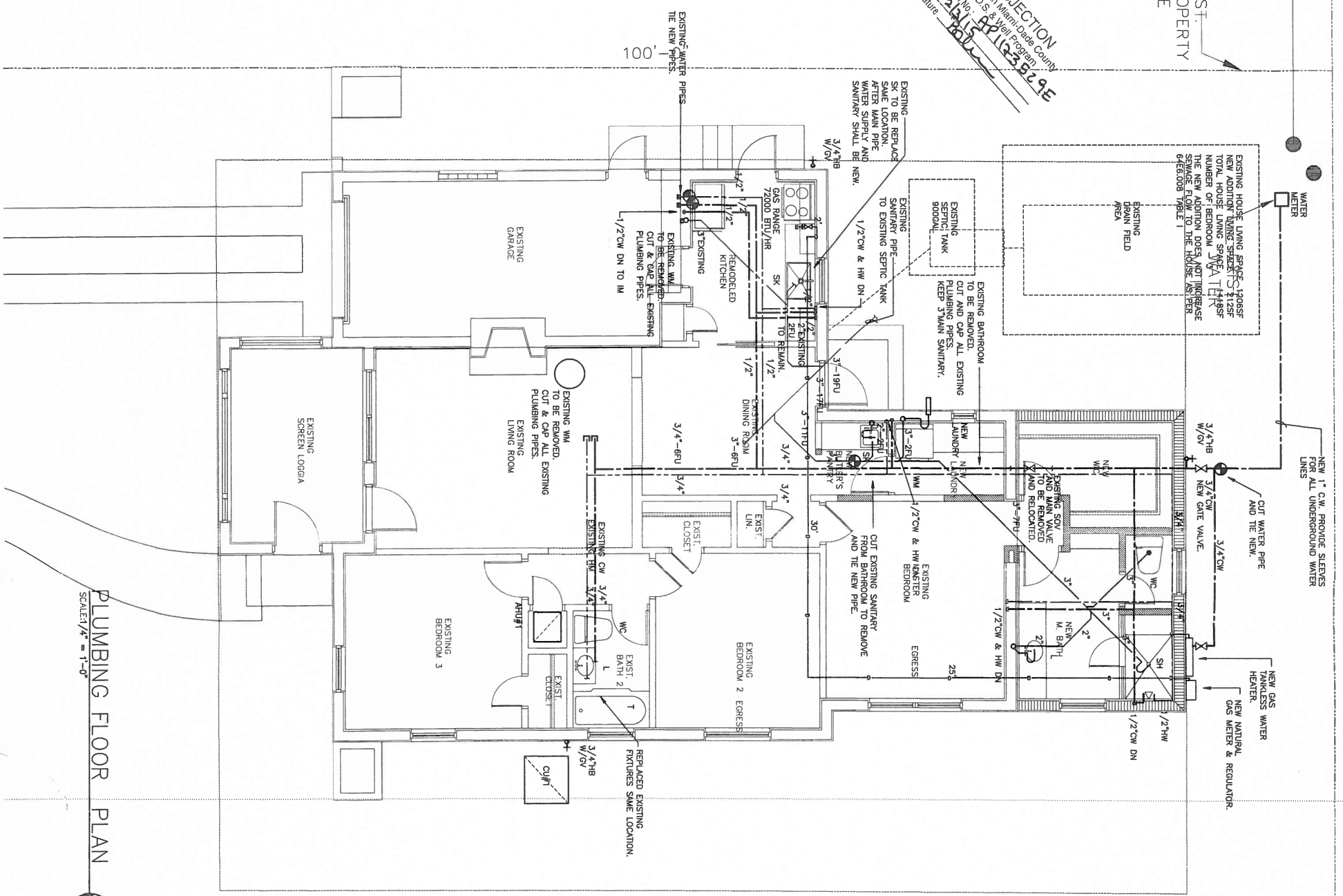
ELECTRICAL NOTES & DETAIL
SCALE: 1/8" = 1'-0"

engineering inc
2655 Le Jeune Road, Suite 1109
Coral Gables, Florida 33134
Tel (305) 444-9999
Fax (305) 444-9927

PROJECT: Addition and Alterations - Residence
DRAWING: ELECTRICAL NOTES AND DETAIL
SHEET NO. E-02
DATE: 11.18.14

EXIST. PROPERTY LINE

NO OBJECTION
 Florida Health Dept. - Dade County
 O.S.T.D.S. & Well Program
 Application No. **201415111233295**
 Date: **11/18/14**
 Signature: **[Signature]**



PLUMBING FLOOR PLAN

SCALE: 1/4" = 1'-0"



LOCUS ARCHITECTURE INCORPORATED
 500 South Dixie Highway, Suite 307
 Coral Gables, Florida 33146
 Tel. (305) 740-5758
 Fax. (305) 740-5758
 License No. AA0002733
 CONSULTANT(S)

PROJECT
 Addition and Alterations
 - Residence
 239 Serto Avenue
 Coral Gables, Florida 33134

DRAWING
 Plumbing
 Floor Plan

SCALE
 1/4" = 1'-0"

REVISIONS
 NO. REVISION/SUBMISSION DATE

DESIGNED BY
 Nelson de Leon
 AS 13937

SHEET NO.
 201
PROJECT NO.
 P-01

engineering inc
 20551 Le Jeune Road, Suite 1109
 Coral Gables, FL 33134
 Phone: 305-444-9827
 Fax: 305-444-9827
 www.epr-eng.com

Signature: [Signature]
Date: 11/18/14

License Number: 00238
License Expiration: 01/31/15

REVISIONS

PLUMBING FIXTURE SCHEDULE						
MARK	DESCRIPTION	FIXTURE UNITS	HOT WATER	COLD WATER	TRAP	REMARKS
WC	WATER CLOSET	3	---	1/2"	3"	
L	LAVATORY	1	1/2"	1/2"	1 1/4"	
SH	SHOWER	2	1/2"	3/4"	2"	W/W/NTI-SCALD VALVE
T	BATH TUB	2	1/2"	1/2"	2"	W/W/NTI-SCALD VALVE
SK	KITCHEN SINK	2	1/2"	1/2"	1 1/2"	PROVIDE WM BOX W/ (2) 1/2" HB & 3" DRAIN
WM	WASHING MACHINE	2	1/2"	1/2"	3"	PROVIDE WM BOX W/ (2) 1/2" HB & 3" DRAIN
FD	FLOOR DRAIN	2	-	-	3"	SEE PLAN
REF	REFRIGERATOR			1/2"		PROVIDE BACKFLOW DEVICES & FILTER IN LINE
BD	BIODIET	2	1/2"	1/2"	2"	
HB	HOSE BIBB				3/4"	PROVIDE SQUIRREL BUSH W/ W/NTI AIR BREAK
DW	DISHWASHER	2	1/2"		1 1/2"	PROVIDE INDIRECT WASTE

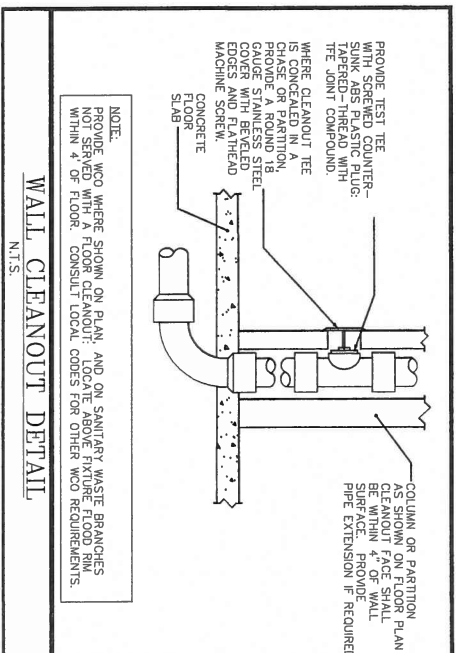
- 1) FIXTURES TO COMPLY WITH REFERENCE STANDARDS AS PER FBC 2010 PLUMBING SEC. 406 THROUGH 421.
- 2) RESIDENCIAL FIXTURES SHALL COMPLY WITH 2010 FBC SECTION P2701.
- 3) ANTI-SCALD VALVE: ALL SHOWERS & BATH/SHOWER COMBINATIONS SHALL BE PROTECTED WITH A CONTROL VALVE OF THE PRESSURE-BALANCE, THERMOSTATIC MIXING OR COMBINATION TYPE SETTING THE SET POINTS PER MANUFACTURERS INSTRUCTIONS. INSTALLATION TO A MAXIMUM MIXED WATER OUTLET TEMPERATURE OF 110° F.
- 4) ALL DRAINS 3"Ø OR ABOVE SHOULD HAVE 1/8" SLOPE & BELOW 3"Ø SHOULD HAVE 1/4" SLOPE.
- 5) ICE MAKERS, REFRIGERATORS & DRINKING FOUNTAINS TO BE IN LINE BACKFLOW DEVICE & FILTER.
- 6) DISHWASHERS & REFRIGERATORS SHALL CONFORM TO NSF-3 WATER SUPPLY SHALL BE PROTECTED WITH AN BACKFLOW DEVICES AND PROVIDE INDIRECT WASTE W/AN AIR BREAK.

PLUMBING GENERAL NOTES AND SPECIFICATIONS:

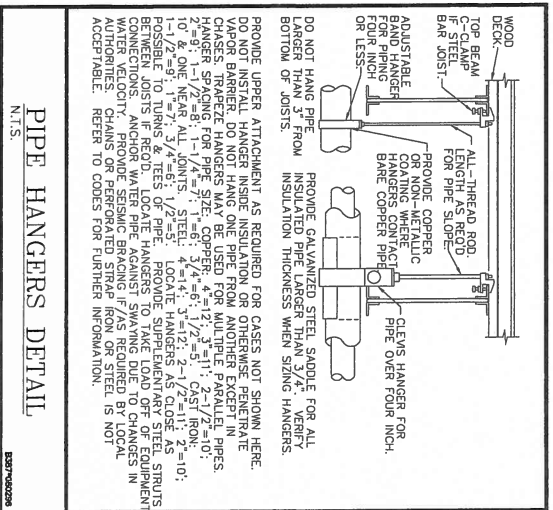
- 1. A. SCOPE OF WORK:**
- THE WORK SHALL INCLUDE ALL PLUMBING NECESSARY SHOWN ON THE DRAWINGS, SPECIFIED HEREIN AND/OR AS NEEDED FOR A COMPLETE SYSTEM, INCLUDING BUT NOT NECESSARILY LIMITED TO:
- DOMESTIC COLD AND HOT WATER PIPING SYSTEMS
 - SANITARY DRAIN AND VENT SYSTEMS
 - PLUMBING FIXTURES AND TRIM
 - FRONTIER TEMPERATURE RELIEF AND PAN DRAIN
 - FRONTIER HEATER
 - SUPPORTS AND HANGERS
- B. ALL PLUMBING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE "FLORIDA BUILDING CODE" AND LOCAL ORDINANCES AND IN COMPLIANCE WITH THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION AND THE ENERGY REGULATIONS IN THE ENERGY CONSERVATION AND ENERGY EFFICIENCY CODE.**
- CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND SIZE OF ALL EXISTING LINES FOR CONNECTION BEFORE INSTALLATION OF ANY PIPING.
 - UNDERGROUND METAL PIPING SHALL BE PROTECTED WITH A COAT OF BITUMINOUS WATER-RESISTANT FINISH.
 - WATER-HAMMER ARRESTORS SHALL BE INSTALLED WHERE QUICK-CLOSING VALVES ARE INSTALLED AND SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES.
 - ALL FLOOR DRAINS TO HAVE TRAP PRIMERS 1/2" LINE FROM THE NEAREST PLUMBING FIXTURE.
 - PLUMBING FIXTURES SHALL BE CONSTRUCTED WITH THE APPROVED MATERIALS. SHALL HAVE SMOOTH IMPERVIOUS SURFACES AND SHALL BE FREE FROM DEFECTS AND CONCEALED REPAIRS. ALL FITTINGS SHALL BE THE CHROME PLATED BRASS. FITTINGS SHALL BE PROVIDED WITH SIZES, DOWNS, ETC.
 - WASTE LINES 3"Ø OR MORE, SLOPE @ 1/8" / FT. AND 2" AND UNDER, SLOPE @ 1/4" / FT.
 - PROVIDE FULLY ACCESSIBLE CLEAN OUTS ON SANITARY AND ANY WASTE PIPING AT EVERY CHANGE OF DIRECTION, AND AT BOTH ENDS OF EACH RUN OF PIPING. ALL CLEAN OUTS SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES. SHALL NOT BE SEEN FROM ANY LIVING SPACE ROOMS. THEY MUST BE LOCATED UNDER SINKS, LAVATOIRES & CABINETS.
 - VENT LINES TO EXTEND 9" MIN. ABOVE ROOF AND FLASH WITH LEAD.
 - THE MAXIMUM WATER CONSUMPTION FLOW RATES AND QUANTITIES FOR ALL PLUMBING FIXTURES SHALL BE IN ACCORDANCE WITH TABLE 604.4 F.B.C.
 - CONTRACTOR SHALL CORROBORATE WITH OWNER AMOUNT & LOCATION OF HOSE BIBBS PRIOR TO INSTALLATION.

12. PIPING
 - SUPPORT ALL PIPE FROM SOUND PORTIONS OF STRUCTURE AND AT PROPER INTERVALS ACCORDING WITH CODE.
 - PROVIDE SLEEVES FOR ALL PIPING PASSING THROUGH FOUNDATION SLABS OR MASONRY WALLS. CAULK OPENINGS BETWEEN PIPE AND SLEEVES.
 - WHERE EXPOSED PIPES PASS THROUGH FLOORS, WALLS OR CEILINGS, PROVIDE ESCUTCHEONS FINALY SECURED TO THE PIPES AND OF SUFFICIENT OUTSIDE DIAMETER TO COVER THE PIPING. PROVIDE ESCUTCHEONS IN BATHROOMS, CHROMIUM PLATED ESCUTCHEONS IN BATHROOMS.
 - LOCATION OF FULL-OPEN VALVES, AS PER PFC 606.1.
 - LOCATION OF SHUTOFF VALVES, AS PER PFC 606.2.
 - SANITARY WASTE, VENTS & STORM DRAIN SHALL BE STANDARD WEIGHT CAST IRON PIPE AND FITTINGS. ALL CAST IRON PIPE SHALL BE ENAMEL COATED WITH NEOPRENE GASKETS OR ABLI BEST COUPLING, WHERE PERMITTED, BY LOCAL AUTHORITY. APPROVED PVC OR ABS PLASTIC PIPE AND FITTINGS, PER ASTM D2688-89 OR D2868-89, MAY BE USED.
 - CONDENSATE PIPING SHALL BE CONDENSATE CONDENSING UNITS, PVC SCHEDULE 40 PIPE & FITTINGS.
 - DOMESTIC WATER PIPE MATERIAL SHALL CONFORM TO NSF-61 AND SHALL CONFORM TO ONE OF THE STANDARDS LISTED TO PFC TABLES 605.3, 605.4, & 605.5.
 - ALL CONTROL VALVES FOR DOMESTIC WATER SHALL BE CAST BRASS OR B-88 BRONZE GATE VALVES.
 - PROVIDE DIELECTRIC FITTINGS FOR JOINING DISSIMILAR METALS.

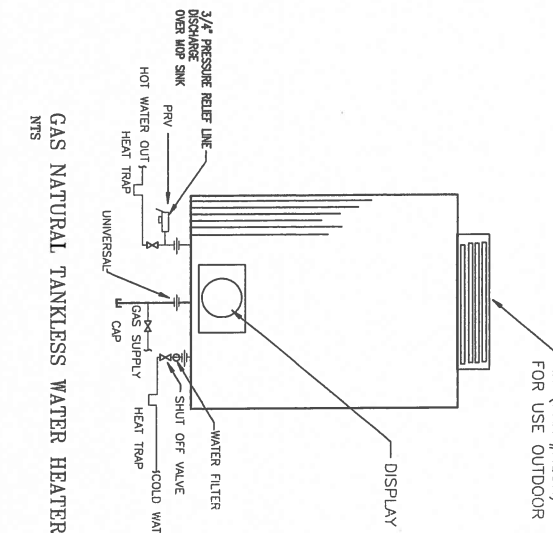
- 13. INSPECTIONS AND TESTS**
- CONTRACTOR SHALL BE RESPONSIBLE TO NSF FOR INSPECTIONS TO THE AUTHORITY'S HAVING JURISDICTION, AS THE WORK PROGRESSES. ALL SYSTEMS SHALL BE TESTED BY CODE AND/OR LOCAL REGULATIONS.
 - DRAINAGE PIPING, BEFORE INSTALLATION OF ANY DRAINS, THE ENDS OF SYSTEMS SHALL BE CAPPED AND ALL LINES FILLED WITH THE WATER TO THE HIGHEST POINT AND ALLOWED TO STAND UNTIL INSPECTION IS MADE BY AN OWNER.
 - STERILIZE ALL WATER LINES WITH A MIXTURE OF TWO (2) POUNDS OF CHLORINATED LIME TO EACH 1,000 GALLONS OF WATER (50 PPM OF AVAILABLE CHLORINE). FILL THE SYSTEM AND ALLOW TO STAND FOR 24 HOURS AND FLUSH THROUGHLY WITH FRESH WATER BEFORE PLACING IN SERVICE.
 - COMPLETE SYSTEM, FIXTURES AND EQUIPMENT SHALL BE GIVEN AN IN-SERVICE TEST AFTER COMPLETION OF THE INSTALLATION.



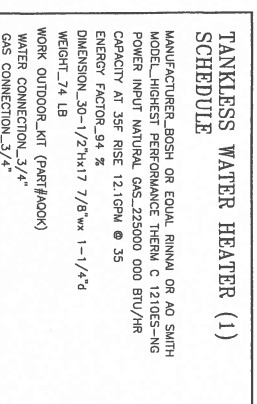
WALL CLEANOUT DETAIL
N.T.S.



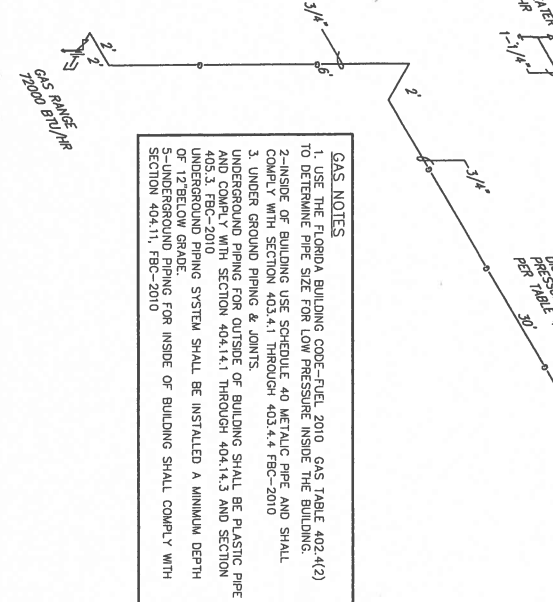
PIPE HANGERS DETAIL
N.T.S.



GAS NATURAL TANKLESS WATER HEATER
N.T.S.



TANKLESS WATER HEATER (1)
SCHEDULE



GAS ISOMETRIC
N.T.S.

engineering inc
Architectural
14-1005
19176
14-1005
Amalys Rodriguez, P.E.
License Number 00729
C.A. 3539

Signature: *[Handwritten Signature]*
Date

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CORPORATION
500 South Dixie Highway, Suite 307
Coral Gables, Florida 33146
Tel (305) 740-0120
Fax (305) 740-5798
License No. AB2007233
CONSULTANTS

NO.	REVISION/SUBMISSION	DATE

PRODUCT

Addition and Alterations
- Residence

239 Santo Avenue
Coral Gables, Florida 33134

DRAWING

Plumbing
Floor Plan

SCALE

1/4"=1'-0"

DRAWN	REVIEWED	PROJ. NO.
NEL	NEL	201

Nelson de Leon
AR 13037

SHEET NO.
P-02