



NORTH PONCE DE LEON BOULEVARD RESIDENTIAL INFILL REGULATIONS

*City Commission
February 14, 2017*

PUBLIC MEETINGS

1. October 28, 2014: City Commission Discussion
2. January 13, 2015: City Commission Discussion
3. June 12 – 13, 2015: Community Visioning Workshop
4. August 25, 2015: City Commission Discussion
5. October 27, 2015: City Commission Workshop
6. April 12, 2016: City Commission Discussion
7. May 5, 2016: Community Planning Meeting
8. May 11, 2016: Planning and Zoning Board Discussion
9. June 14, 2016: Commission Implementation Discussion
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13. February 1, 2017 Planning and Zoning Board Meeting



NORTH PONCE WEBPAGE

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NORTH PONCE COMMUNITY PLANNING

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December 14, 2016 Planning and Zoning Board Meeting

- [North Ponce de Leon Boulevard Mixed Use District and East Ponce de Leon Boulevard Residential Infill District](#)

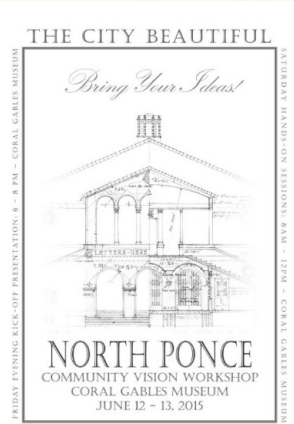
November 9, 2016 Planning and Zoning Board Meeting

- [North Ponce de Leon Boulevard Mixed Use District and East Ponce de Leon Boulevard Residential Infill District](#)

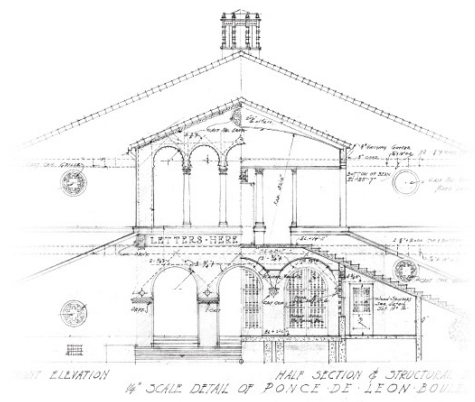
October 25, 2016 City Commission Meeting

- [North Ponce Neighborhood Conservation District - 1st Reading Cover Memo with Exhibits](#)

October 19, 2016 Planning and Zoning Board Meeting



North Ponce Community Visioning Workshop Report



A follow-up report to the Coral Gables City Commission on the findings and recommendations from the June 12 - June 13, 2015 North Ponce Community Vision Workshop

Illustrative Master Plan - Recommended Short-Term Action Steps



Recommended Long-Range Action Steps

1. Historic Preservation
 - (A) Promote historic preservation of existing small apartment buildings as an affordable housing strategy.
2. Public Space, Streets and Pedestrian-Friendly Design
 - (B) Develop neighborhood park and landscape master plan.
3. East Ponce Boulevard Quadrant
 - (C) Study design of neighborhood streets, with an emphasis on reducing pavement, enhancing tree cover and widening sidewalks.
4. Large Scale Development on Major Commercial Corridors
 - (D) Prepare Ponce Mixed Use Zoning Overlay, which should include:
 - Requirements for building massing and setbacks to limit overall building bulk
 - Guidelines for paseos and public space
 - Parking requirements, including shared parking strategies
 - Flexible uses, including bed and breakfast and live-work units
 - Incentives for more affordable housing typologies
 - Preservation Incentives for historic multi-family buildings
5. Public Outreach
 - (E) Continue to engage residents and property owners on North Ponce planning efforts.
 - Continue quarterly meetings with the community.
 - Monthly updates of a North Ponce study webpage with an online survey for community members to provide feedback.
 - Email listserve of community members interested in North Ponce with area-specific email updates.



NORTH PONCE RESIDENTIAL INFILL REGULATIONS (RIR)



REQUEST #1:

COMPREHENSIVE PLAN TEXT AMENDMENT

REQUEST #2:

ZONING CODE TEXT AMENDMENT

NORTH PONCE RESIDENTIAL INFILL REGULATIONS (RIR)



SUMMARY OF REQUESTS:

- NORTH PONCE RIR IS PROPOSED AS AN OVERLAY FOR MF2 ZONED PROPERTIES IN THE DOUGLAS SECTION.
- ALLOWS AN INCREASE IN DENSITY UP TO 75 UNITS/ACRE.
- ALLOWS AN INCREASE IN INTENSITY UP TO 2.5 FAR.
- APPLICABLE ONLY FOR DEVELOPMENTS WITH AT LEAST 20,000 SF OF SITE AREA.
- INCLUDES LANGUAGE ALLOWING FOR AN INCREASE IN DENSITY IF PERMITTED IN ACCORDANCE WITH ANY AFFORDABLE / WORKFORCE HOUSING DENSITY BONUS PROGRAM.

NORTH PONCE RIR



REQUEST #1: COMPREHENSIVE PLAN TEXT AMENDMENT

Table FLU-1. Residential Land Uses.			
Classification	Description	Density / Intensity	Height
Multi-Family Medium Density.	Multi-family residential of medium height and density.	<p>Maximum 40 units/acre, or 50 units/acre with architectural incentives per the Zoning Code.</p> <p><u>If developed pursuant to Residential Infill Regulations: Maximum 60 units/acre, or 75 units/acre with architectural incentives per the Zoning Code. Additional density may be permitted in accordance with any workforce / attainable housing density program.</u></p>	Up to 70' maximum (no limitation on floors), or up to 97' maximum (with a maximum 2 additional floors) with architectural incentives per the Zoning Code.

NORTH PONCE RIR



REQUEST #2: ZONING CODE TEXT AMENDMENT

Article 4 – Zoning Districts

Division 2. Overlay and Special Purpose Districts

Section 4-206. Residential Infill Regulations (RIR).

A. Purpose and applicability.

1. The purpose of the Residential Infill Regulations (RIR) is to promote the goals, objectives, and policies of the City's Comprehensive Plan by encouraging greater housing opportunities within close proximity to transit, employment centers, parks and schools.
2. The regulations are established in order to maintain the following objectives:
 - a. Provide greater housing opportunities in strategic areas of the City that are in close proximity to transit, employment centers, parks, and schools, and that are not in environmentally vulnerable or sensitive areas.
 - b. Promote and encourage pedestrian activity by requiring pedestrian-oriented building design and site planning.
 - c. Protect and promote a garden-like feeling in Coral Gables' multi-family residential districts through clear and unified landscape standards.
 - d. Encourage harmonious and engaging streetscapes that support the Coral Gables Mediterranean brand, through mandatory Mediterranean Architecture Design Standards.

COMPREHENSIVE PLAN FINDINGS OF FACT

STANDARD	STAFF EVALUATION
WHETHER IT SPECIFICALLY ADVANCES ANY OBJECTIVE OR POLICY OF THE COMPREHENSIVE LAND USE PLAN.	COMPLIES.
WHETHER IT IS INTERNALLY CONSISTENT WITH COMPREHENSIVE LAND USE PLAN.	COMPLIES.
ITS EFFECT ON THE LEVEL OF SERVICE OF PUBLIC INFRASTRUCTURE.	COMPLIES.
ITS EFFECT ON ENVIRONMENTAL RESOURCES.	COMPLIES.
ITS EFFECT ON THE AVAILABILITY OF HOUSING THAT IS AFFORDABLE TO PEOPLE WHO LIVE OR WORK IN THE CITY OF CORAL GABLES.	COMPLIES.
ANY OTHER EFFECT THAT THE CITY DETERMINES IS RELEVANT TO THE CITY COMMISSION'S DECISION ON THE APPLICATION.	COMPLIES.

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ZONING CODE FINDINGS OF FACT

STANDARD	STAFF EVALUATION
PROMOTES THE PUBLIC HEALTH, SAFETY, AND WELFARE.	COMPLIES.
DOES NOT PERMIT USES THE COMPREHENSIVE PLAN PROHIBITS IN THE AREA AFFECTED BY THE DISTRICT BOUNDARY CHANGE OR TEXT AMENDMENT.	COMPLIES.
DOES NOT ALLOW DENSITIES OR INTENSITIES IN EXCESS OF THE DENSITIES AND INTENSITIES WHICH ARE PERMITTED BY THE FUTURE LAND USE CATEGORIES OF THE AFFECTED PROPERTY.	COMPLIES.
WILL NOT CAUSE A DECLINE IN THE LEVEL OF SERVICE FOR PUBLIC INFRASTRUCTURE WHICH IS THE SUBJECT OF A CONCURRENCY REQUIREMENT TO A LEVEL OF SERVICE WHICH IS LESS THAN THE MINIMUM REQUIREMENTS OF THE COMPREHENSIVE PLAN.	COMPLIES.
DOES NOT DIRECTLY CONFLICT WITH AN OBJECTIVE OR POLICY OF THE COMPREHENSIVE PLAN.	COMPLIES.

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STAFF'S RECOMMENDATION

STAFF'S DETERMINATION IS THAT THIS APPLICATION IS **CONSISTENT** WITH THE COMPREHENSIVE PLAN GOALS, OBJECTIVES AND POLICIES.

STAFF RECOMMENDS **APPROVAL**.

PLANNING AND ZONING BOARD RECOMMENDATION

THE PLANNING AND ZONING BOARD AT THEIR MEETING ON FEBRUARY 1, 2017 RECOMMENDED **DEFERRAL** (VOTE: 4-3) OF THE PROPOSED TEXT AMENDMENTS.



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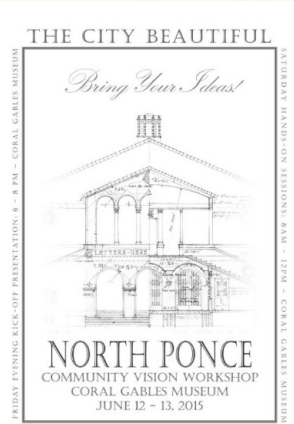
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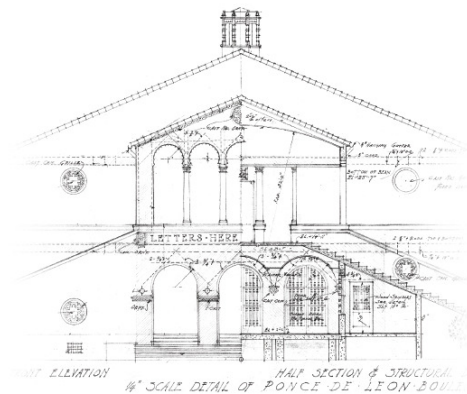
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City of Coral Gables Planning and Zoning Division
September 24, 2015

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