

1223 Lisbon Street

Coral Gables, Florida 33143

Expansion & Remodel to Existing Single Family Home

INTERIOR FIELD REVISION

10 OCT. / 2019

3

ISSUED FOR PERMITTING

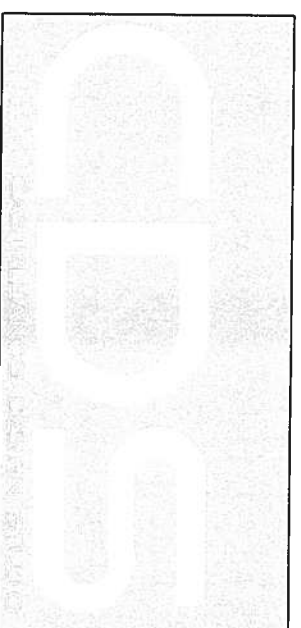
23 April / 2017

CONSTRUCTION DOCUMENTS

23 March / 2017

HISTORIC PRESERVATION BOARD PRESENTATION

Approved on 19 January / 2017



333 SE 2nd Avenue, Suite 2066

Miami, FL 33139

Tel: 786.218.5335

License #AA 26002467

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FIELD REV - 1223 Lisbon Street, Coral Gables 10 OCT/2019

A0.0

SITE LOCATION MAPS



1 LOCATION MAP
SCALE: SCALE N.T.S.



2 LOCATION MAP
SCALE: SCALE N.T.S.

SCOPE OF WORK

1. THE CLIENT HAS REQUESTED TO REMODEL THE EXISTING SINGLE FAMILY HOME AND EXPAND WITH A SECOND FLOOR. IT IS CURRENTLY 3 BEDROOM / 1 BATHROOM. THE REMODEL IS TO ADD SQUARE FOOTAGE TO ACCOMMODATE A FORMAL 3 BEDROOM / 3 BATHROOM.

2. A NEW IN-GROUND POOL IS PROPOSED.

PROPOSED WORK IS A LEVEL III ALTERATION.

ZONING INFORMATION

ZONING DESIGNATION: 0100 SINGLE FAMILY - GENERAL
 FOLIO NO.: 04-1407-018-6380
 PROPERTY ADDRESS: 1223 LISBON STREET CORAL GABLES, FL 33143
 OWNER: MARCEL MARTINEZ NOGUEROL
 MAILING ADDRESS: 1 N OCEAN BLVD 1004 POMPADOUR BEACH, FL 33062
 LAND USE: 0101 RESIDENTIAL - SINGLE FAM-1UNT
 BECSBATHHALF 3/10

CODE STATEMENT

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND GEORGIA STATUTES.
 ARCHITECTURAL STATEMENT:
 ALL ARCHITECTURAL WORK SHALL BE UNDER 2014 FLORIDA RESIDENTIAL BUILDING CODE.
 ZONING STATEMENT:
 ALL WORK MEETS THE CURRENT CITY OF CORAL GABLES ZONING DESIGNATION ORDINANCES AND UNDER 2014 FLORIDA RESIDENTIAL BUILDING CODE.
 CIVIL ENGINEERING STATEMENT:
 ALL CIVIL WORK MEETS UNDER 2014 FLORIDA RESIDENTIAL BUILDING CODE.
 LANDSCAPING & IRRIGATION STATEMENT:
 ALL LANDSCAPING AND IRRIGATION WORK MEETS 2014 FLORIDA RESIDENTIAL BUILDING CODE.
 STRUCTURAL STATEMENT:
 ALL STRUCTURAL WORK UNDER 2014 FLORIDA RESIDENTIAL BUILDING CODE.
 PLUMBING STATEMENT:
 ALL PLUMBING WORK MEETS 2014 FLORIDA RESIDENTIAL BUILDING CODE.
 MECHANICAL STATEMENT:
 ALL MECHANICAL WORK MEETS 2014 FLORIDA RESIDENTIAL BUILDING CODE.
 ELECTRICAL STATEMENT:
 ALL ELECTRICAL WORK MEETS 2014 FLORIDA RESIDENTIAL BUILDING CODE.
 LIFE SAFETY STATEMENT:
 ALL LIFE SAFETY WORK SHALL BE UNDER 2014 FLORIDA RESIDENTIAL BUILDING CODE.

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OPEN LANDSCAPING CALCULATION

LOT COVERAGE = 5,250 S.F.
 MINIMUM OPEN LANDSCAPING REQUIRED = 40% = 2,100 S.F.
 ACTUAL LANDSCAPING COVERAGE = 1,158 S.F. + 1,047 S.F. = 2,205 S.F.
 MINIMUM FRONT OPEN LANDSCAPING REQUIRED = 20% = 1,050 S.F.
 ACTUAL FRONT LANDSCAPING COVERAGE = 1,158 S.F.

AREA COVERAGE

LOT COVERAGE = 5,250 S.F.
 MAX. GROUND AREA COVERAGE: 35% = 1,838 SQ.FT.
 1,277 SQ.FT. - EXIST. BLDG. GRND. FL. AREA
 + 260 SQ.FT. - COVERED PATIO DECK
 + 206 SQ.FT. - GARAGE
 PROVIDED = 1,707 SQ.FT.

MAX. GROUND AREA COVERAGE WITH AUX. BUILDINGS:

37% = 2,363 SQ.FT.
 1,277 SQ.FT. - EXIST. BLDG. GRND. FL. AREA
 + 260 SQ.FT. - COVERED PATIO DECK
 + 206 SQ.FT. - GARAGE
 + 205 SQ.FT. - POOL
 PROVIDED = 1,948 SQ.FT.

BLDG. & LIFE SAFETY INFO.

OCCUPANCY CLASSIFICATION: RESIDENTIAL

CONSTRUCTION TYPE: IIIA - (F.B.C. ED. 2014)
 ALLOWABLE AREA: N/A
 DEADEND CORRIDOR: 20'-0" MAXIMUM
 MAXIMUM TRAVEL DISTANCE: 150'-0" MAXIMUM
 EGRESS WIDTH: 36" MINIMUM
 STAIR WIDTH: 44" MINIMUM
 HORIZ. FIRE SEPARATION: 0 HOUR
 CEILING / ROOF ASSEMBLY: 0 HOUR
 VERTICAL FIRE SEPARATION: NOT APPLICABLE
 PARTY WALL SEPARATION: NOT APPLICABLE
 MINIMUM DOOR WIDTH: 32" MINIMUM
 EXIT ACCESS CORRIDOR RATING: 1 HOUR
 MECHANICAL RM. SEPARATION: 1 HOUR
 MAXIMUM CHANGE IN ELEVATION: 1/2"
 MINIMUM NO. OF EXITS: 2

GOVERNING CODES

ALL CONSTRUCTION WORK, ACTIVITIES AND ALTERATIONS SHALL COMPLY WITH THE 2014 FLORIDA BUILDING CODE AND FLORIDA RESIDENTIAL BUILDING CODE.
 ALL CONSTRUCTION WORK, ACTIVITIES AND ALTERATIONS SHALL COMPLY WITH THE LATEST EDITION OF O.S.H.A. REQUIREMENTS.

MINIMUM REQUIRED FLAME SPREAD CLASSIFICATION FOR INTERIOR FINISHES
 WALL AND CEILING
 FINISHES
 EXITS AND CORRIDORS
 ROOMS & ENCLOSED AREAS
 VERTICAL EXITS & EXIT PASSAGEWAYS
 FURNISHINGS
 DRAPERY & UPHOLSTERED FURNITURE
 CLASS A
 CLASS B
 CLASS A
 CLASS I

CLIENT

Noguero! Residence
 Expansion & Remodel to Existing S.F.H.
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12	03 MAY17	CONSTRUCTION DOCUMENTS
13	19 AUG17	PERMITTING REVISION - 1
14	10 DEC18	AS-BUILT REVISION

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WESLEY ART CASTELLANOS
 FLORIDA ARCHITECT LICENSE #18133
 PROJECT NO. 2016-07

PROJECT DATA & INFORMATION

CHECKED BY: JWC
 DRAWN BY: JAM
 SCALE: AS NOTED
 SHEET NO.: GN-1
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CLIENT:
Noguerol Residence
 Expansion & Remodel to Existing S.F.H.
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 Coral Gables, FL 33134

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1st DATE ISSUED / REVISED
 12 09 JANUARY CONSTRUCTION DOCUMENTS

<p>1. CONTRACTOR TO REPAIR ALL DAMAGE TO EXISTING CONSTRUCTION CAUSED BY SCOPE OF DEMOLITION.</p> <p>2. CONTRACTOR IS TO VERIFY THE FREIGHT ELEVATOR SIZE TO DETERMINE MAXIMUM TRANSPORTATION SIZE FOR EQUIPMENT AND MATERIALS TO CONDUIT.</p> <p>3. FURNISH AND INSTALL OR REPAIR EXISTING PRE-PROOFING SYSTEMS AS REQUIRED BY SCOPE OF WORK AND CODE.</p> <p>4. FINE TREATED WOOD BLOCKING IS TO BE USED AT ALL LOCATIONS REQUIRING BLOCKING IN WALLS.</p> <p>5. REFER TO ENGINEERING DRAWINGS FOR FULL SCOPE OF REQUIRED REPAIR, REFINISH AND FACILITY MANAGER FOR SPECIFICATION WITH EXISTING DOORS AND FRAMES BEING REUSED.</p> <p>6. KEY DOORS AS PER TENANT/BUILDING STANDARDS.</p>	<p>1. CONTRACTOR TO REPAIR ALL DAMAGE TO EXISTING CONSTRUCTION CAUSED BY SCOPE OF DEMOLITION.</p> <p>2. CONTRACTOR IS TO VERIFY THE FREIGHT ELEVATOR SIZE TO DETERMINE MAXIMUM TRANSPORTATION SIZE FOR EQUIPMENT AND MATERIALS TO CONDUIT.</p> <p>3. FURNISH AND INSTALL OR REPAIR EXISTING PRE-PROOFING SYSTEMS AS REQUIRED BY SCOPE OF WORK AND CODE.</p> <p>4. FINE TREATED WOOD BLOCKING IS TO BE USED AT ALL LOCATIONS REQUIRING BLOCKING IN WALLS.</p> <p>5. REFER TO ENGINEERING DRAWINGS FOR FULL SCOPE OF REQUIRED REPAIR, REFINISH AND FACILITY MANAGER FOR SPECIFICATION WITH EXISTING DOORS AND FRAMES BEING REUSED.</p> <p>6. KEY DOORS AS PER TENANT/BUILDING STANDARDS.</p>	<p>1. CONTRACTOR TO REPAIR ALL DAMAGE TO EXISTING CONSTRUCTION CAUSED BY SCOPE OF DEMOLITION.</p> <p>2. CONTRACTOR IS TO VERIFY THE FREIGHT ELEVATOR SIZE TO DETERMINE MAXIMUM TRANSPORTATION SIZE FOR EQUIPMENT AND MATERIALS TO CONDUIT.</p> <p>3. FURNISH AND INSTALL OR REPAIR EXISTING PRE-PROOFING SYSTEMS AS REQUIRED BY SCOPE OF WORK AND CODE.</p> <p>4. FINE TREATED WOOD BLOCKING IS TO BE USED AT ALL LOCATIONS REQUIRING BLOCKING IN WALLS.</p> <p>5. REFER TO ENGINEERING DRAWINGS FOR FULL SCOPE OF REQUIRED REPAIR, REFINISH AND FACILITY MANAGER FOR SPECIFICATION WITH EXISTING DOORS AND FRAMES BEING REUSED.</p> <p>6. KEY DOORS AS PER TENANT/BUILDING STANDARDS.</p>	<p>1. CONTRACTOR TO REPAIR ALL DAMAGE TO EXISTING CONSTRUCTION CAUSED BY SCOPE OF DEMOLITION.</p> <p>2. CONTRACTOR IS TO VERIFY THE FREIGHT ELEVATOR SIZE TO DETERMINE MAXIMUM TRANSPORTATION SIZE FOR EQUIPMENT AND MATERIALS TO CONDUIT.</p> <p>3. FURNISH AND INSTALL OR REPAIR EXISTING PRE-PROOFING SYSTEMS AS REQUIRED BY SCOPE OF WORK AND CODE.</p> <p>4. FINE TREATED WOOD BLOCKING IS TO BE USED AT ALL LOCATIONS REQUIRING BLOCKING IN WALLS.</p> <p>5. REFER TO ENGINEERING DRAWINGS FOR FULL SCOPE OF REQUIRED REPAIR, REFINISH AND FACILITY MANAGER FOR SPECIFICATION WITH EXISTING DOORS AND FRAMES BEING REUSED.</p> <p>6. KEY DOORS AS PER TENANT/BUILDING STANDARDS.</p>
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WESLEY ART CASTELLANOS
 FLORIDA ARCHITECT LICENSE AR 091133
 PROJECT NO.: 201647

CHECKED BY: W.C. WICKHETT NO.:
 DRAWN BY: J.A. WC
 SCALE: AS SHOWN
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GN-2

GENERAL NOTES - DEMOLITION PLAN

- SCOPE OF REQUIRED DEMOLITION IS TO BE COORDINATED WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. DEMOLITION PLAN IS SEPARATE IN NATURE INDICATING ARCHITECTS INTENT. EXACT QUANTITIES AND EXTENT OF REQUIRED DEMOLITION IS TO BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI BEACH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI BEACH.
- REFER TO OTHER SECTIONS FOR SAMPLES TO BE RETURNED TO THE CONTRACTOR AT TIME OF USE. ON THE TRANSMITTAL, INDICATE SPECIAL REQUESTS REGARDING DISPOSITION OF SAMPLES SUBMITTED.
- PREPARE SUBMITTALS WHERE SAMPLES ARE FOR SELECTION OF COLOR, PATTERN, TEXTURE OR SIMILAR CHARACTERISTICS FROM A RANGE OF STANDARD CHOICES. SUBMIT A FULL SET OF CHOICES FOR THE REMOVAL SAMPLES WILL BE REVIEWED AND RETURNED WITH THE ARCHITECT'S MARK INDICATING SELECTION AND OTHER ACTION.
- SUBMITTALS EXCEPT FOR SAMPLES ILLUSTRATING ASSEMBLY DETAILS, WORKMANSHIP, FABRICATION TECHNIQUES, CONNECTIONS, OPERATIONAL AND SIMILAR CHARACTERISTICS, SUBMIT 3 SETS. ONE WILL BE RETURNED WITH THE ACTION TAKEN.
- MAINTAIN SETS OF SAMPLES, AS RETURNED, AT THE PROJECT SITE, FOR QUALITY COMPARISONS THROUGHOUT THE COURSE OF CONSTRUCTION. OBSERVE THE SUBMITTAL IN SETS AS THE FINAL SUBMITTAL.
- UNLESS NOTED OTHERWISE WITH CONTRACT DOCUMENT PROVISIONS IS OBSERVED. THE SUBMITTAL IN SETS AS THE FINAL SUBMITTAL.
- FIELD SAMPLES TO BE USED TO OBTAIN FINAL ACCEPTANCE OF THE CONSTRUCTION ASSOCIATED WITH EACH SET.
- FIELD SAMPLES SPECIFIED IN NONWALL SECTIONS ARE SPECIAL TYPES OF SAMPLES. FIELD SAMPLES ARE FULL-SIZE EXAMPLES SELECTED ON SITE TO ILLUSTRATE FINISHES, COATINGS, OR FINISH MATERIALS AND TO ESTABLISH THE STANDARD BY WHICH THE WORK WILL BE JUDGED.
- COMPLY WITH SUBMITTAL REQUIREMENTS TO PROVIDE A RECORD OF POSSIBLE REVISIONS THROUGHOUT THE COURSE OF CONSTRUCTION.
- ARCHITECTS ACTION
- EXCEPT FOR SUBMITTALS FOR RECORD, INFORMATION OR SAMPLES, SUBMITTALS SHALL BE REVIEWED AND APPROVED BY THE ARCHITECT. THE ARCHITECT WILL REVIEW EACH SUBMITTAL, MARK TO INDICATE ACTION TAKEN, AND RETURN PROMPTLY.
- COMPLIANCE WITH SPECIFIED CHARACTERISTICS IS THE CONTRACTORS RESPONSIBILITY.
- ACTION STAMP: THE ARCHITECT WILL STAMP EACH SUBMITTAL WITH A UNIFORM, SELF-EXPLANATORY ACTION STAMP. THE STAMP WILL BE APPROPRIATELY MARKED, AS FOLLOWS, TO INDICATE THE ACTION TAKEN.
- ACTION: MEANS THAT FABRICATION, MANUFACTURE, OR CONSTRUCTION MAY PROCEED PROVIDING SUBMITTAL COMPLETES WITH CONTRACT DOCUMENTS.
- ACTION: MEANS THAT FABRICATION, MANUFACTURE OR CONSTRUCTION SHALL BE REVIEWED AND APPROVED BY THE ARCHITECT. THE ARCHITECT WILL REVIEW EACH SUBMITTAL, MARK TO INDICATE ACTION TAKEN, AND RETURN PROMPTLY.

GENERAL NOTES - CONSTRUCTION PLAN

- CONTRACTOR TO REPAIR ALL DAMAGE TO EXISTING CONSTRUCTION CAUSED BY SCOPE OF DEMOLITION.
- CONTRACTOR IS TO VERIFY THE FREIGHT ELEVATOR SIZE TO DETERMINE MAXIMUM TRANSPORTATION SIZE FOR EQUIPMENT AND MATERIALS TO CONDUIT.
- FURNISH AND INSTALL OR REPAIR EXISTING PRE-PROOFING SYSTEMS AS REQUIRED BY SCOPE OF WORK AND CODE.
- FINE TREATED WOOD BLOCKING IS TO BE USED AT ALL LOCATIONS REQUIRING BLOCKING IN WALLS.
- REFER TO ENGINEERING DRAWINGS FOR FULL SCOPE OF REQUIRED REPAIR, REFINISH AND FACILITY MANAGER FOR SPECIFICATION WITH EXISTING DOORS AND FRAMES BEING REUSED.
- KEY DOORS AS PER TENANT/BUILDING STANDARDS.

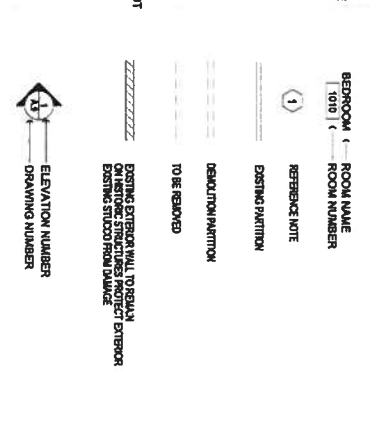
GENERAL NOTES - REFLECTED CEILING PLAN

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- CONTRACTOR IS TO VERIFY THE FREIGHT ELEVATOR SIZE TO DETERMINE MAXIMUM TRANSPORTATION SIZE FOR EQUIPMENT AND MATERIALS TO CONDUIT.
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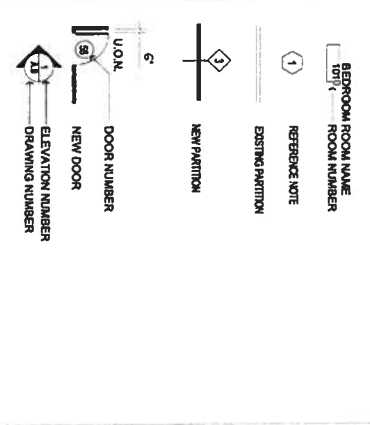
GENERAL NOTES - FINISHES PLAN

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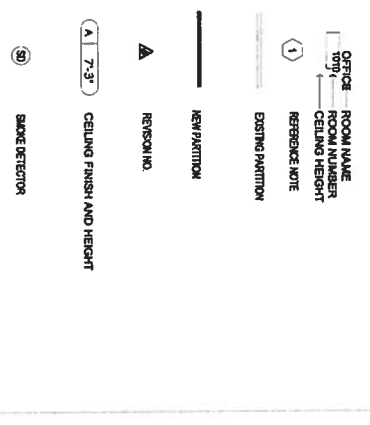
LEGEND - DEMOLITION PLAN



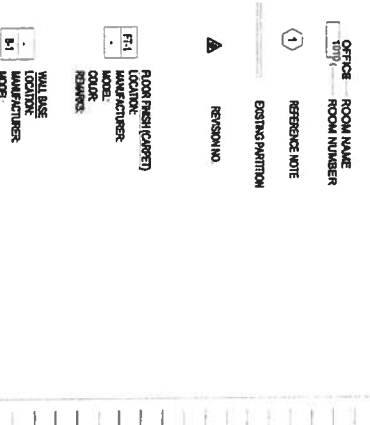
LEGEND - CONSTRUCTION PLAN



LEGEND - REFLECTED CEILING PLAN



LEGEND - FINISH PLAN



SHOP DRAWINGS

SUBMIT NEWLY PREPARED INFORMATION, DRAWN TO ACCURATE SCALE HIGHLIGHT, ENFORCE, OR OTHERWISE INDICATE DEVIATIONS FROM THE CONTRACT DOCUMENTS. DO NOT REPRODUCE CONTRACT DOCUMENTS OR INFORMATION FROM THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI BEACH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI BEACH.

SHOP DRAWINGS INCLUDE FABRICATION AND INSTALLATION DRAWINGS, SETTING OUTLINES, SCHEDULES, PATTERNS, TEMPLATES AND SIMILAR DIMENSIONS. THE FOLLOWING INFORMATION IS TO BE PROVIDED:

- IDENTIFICATION OF SPECIFIED STANDARDS.
- COMPLIANCE WITH PRODUCT AND MATERIALS INCLUDED.
- NOTATION OF DIMENSIONS REQUIRED BY FIELD MEASUREMENT.
- NOTATION OF DIMENSIONS REQUIRED BY FIELD MEASUREMENT.
- SHEET SIZE: EXCEPT FOR TEMPLATES, PATTERNS AND SIMILAR FULL-SIZE DRAWINGS, SUBMIT SHOP DRAWINGS ON SHEETS AT LEAST 6-1/2" X 11" BUT NO LARGER THAN 9" X 48".
- SUBMITTALS: SUBMIT ONE CORRECTABLE TRANSLUCENT REPRODUCIBLE PRINT AND ONE BLUE OR BLACK-LINE PRINT FOR THE ARCHITECT'S REVIEW. THE REPRODUCIBLE PRINT WILL BE RETURNED.
- DO NOT USE SHOP DRAWINGS WITHOUT AN APPROPRIATE FINAL STAMP INDICATING ACTION TAKEN IN CONNECTION WITH CONSTRUCTION.
- COORDINATION DRAWINGS ARE A SPECIAL TYPE OF SHOP DRAWING THAT SHOW THE RELATIONSHIP AND INTEGRATION OF DIFFERENT CONSTRUCTION ELEMENTS THAT REQUIRE CAREFUL COORDINATION AND CONSTRUCTION INSTALLATION TO FIT IN THE SPACE PROVIDED OR FUNCTION AS INTENDED.
- PREPARATION OF COORDINATION DRAWINGS IS SPECIFIED IN SECTION PROJECT COORDINATION AND MAY INCLUDE COMPONENTS PREVIOUSLY SHOWN IN DETAIL ON SHOP DRAWINGS OR PRODUCT DATA.
- SUBMIT COORDINATION DRAWINGS FOR INTEGRATION OF DIFFERENT CONSTRUCTION ELEMENTS, SHOW SEQUENCES AND RELATIONSHIPS OF SEPARATE COMPONENTS TO AVOID CONFLICTS IN USE OF SPACE.
- PRODUCT DATA
- COLLECT PRODUCT DATA INTO A SINGLE SUBMITTAL FOR EACH ELEMENT OF CONSTRUCTION OR SYSTEM. PRODUCT DATA INCLUDES PRINTED INFORMATION SUCH AS MANUFACTURER'S INSTALLATION INSTRUCTIONS, TECHNICAL SPECIFICATIONS, FINISHES, MATERIALS, PERFORMANCE CHARACTERISTICS, STANDARD WIRING DIAGRAMS AND PERFORMANCE CURVES, WHERE PRODUCT DATA MUST BE SPECIALLY PREPARED BY THE MANUFACTURER. PRINTED DATA IS NOT SUITABLE FOR USE, SUBMIT AS SHOP DRAWINGS.
- MARK EACH COPY TO SHOW APPLICABLE CHOICES AND OPTIONS, WHERE PRINTED PRODUCT DATA INCLUDES INFORMATION ON SEVERAL PRODUCTS, SOME OF WHICH ARE NOT REQUIRED, MARK COPIES TO INDICATE THE APPLICABLE INFORMATION. INCLUDE THE FOLLOWING INFORMATION:
 - MANUFACTURER'S PRINTED RECOMMENDATIONS.
 - COMPLIANCE WITH RECOGNIZED TRADE ASSOCIATION STANDARDS.
 - APPLICATION OF TESTING AGENCY LABELS AND SEALS.
 - NOTATION OF DIMENSIONS VERIFIED BY FIELD MEASUREMENT.
 - NOTATION OF COORDINATION REQUIREMENTS.
 - DO NOT SUBMIT PRODUCT DATA UNTIL COMPLIANCE WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS HAS BEEN CONFIRMED.
 - DISTRIBUTION: FURNISH COPIES OF FINAL SUBMITTAL TO INSTALLERS, SHOP DRAWING MANUFACTURERS, FIELD OFFICES AND OTHERS REQUIRED FOR PERFORMANCE OF CONSTRUCTION ACTIVITIES. SHOW DISTRIBUTION ON TRANSMITTAL FORMS.
 - DO NOT PROCESS WITH INSTALLATION UNTIL AN APPLICABLE COPY OF PRODUCT DATA APPLICABLE IS IN THE INSTALLER'S POSSESSION.
 - DO NOT PERMIT USE OF UNMARKED COPIES OF PRODUCT DATA IN CONNECTION WITH CONSTRUCTION.
- SAMPLES
- SUBMIT FULL-SIZE, FULLY FABRICATED SAMPLES CURED AND FINISHED AS SPECIFIED AND PHYSICALLY IDENTICAL WITH THE MATERIAL OR PRODUCT PROPOSED. SAMPLES INCLUDE PARTIAL SECTIONS OF MANUFACTURED OR FABRICATED COMPONENTS, CUTS OR CONTIGUOUS PORTIONS OF MATERIALS, COLOR MATCHING SAMPLES, AND SIMILAR SHOP DRAWING COLOR, TEXTURE AND PATTERN. MOUNT, DISPLAY, OR PACKAGE SAMPLES IN THE MANNER SPECIFIED TO FACILITATE REVIEW OF QUALITIES INDICATED. PREPARE SAMPLES TO MATCH THE ARCHITECT'S SAMPLE. INCLUDE THE FOLLOWING:
 - GENERIC DESCRIPTION OF THE SAMPLE.
 - SAMPLE SOURCE.
 - PRODUCT NAME OR NAME OF MANUFACTURER.
 - COMPLIANCE WITH RECOGNIZED STANDARDS.
 - AVAILABILITY AND DELIVERY TIME.
- SUBMIT SAMPLES FOR REVIEW OF COLOR, COLOR, PATTERN, AND TEXTURE. FOR A FINAL CHECK OF THESE CHARACTERISTICS WITH OTHER ELEMENTS, AND FOR A COMPARISON OF THESE CHARACTERISTICS BETWEEN THE FINAL SUBMITTAL AND THE ACTUAL COMPONENT AS DELIVERED AND INSTALLED. WHERE VARIATION IN COLOR, PATTERN, TEXTURE OR OTHER CHARACTERISTICS ARE IDENTIFIED IN THE MATERIAL, OR PRODUCT REPRESENTED, SUBMIT MULTIPLE LIMITS (NOT LESS THAN 3), THAT SHOW APPROXIMATE LIMITS OF THE VARIATIONS.

CLIENT:

Noguerol Residence

Expansion & Remodel to Existing S.F.H.

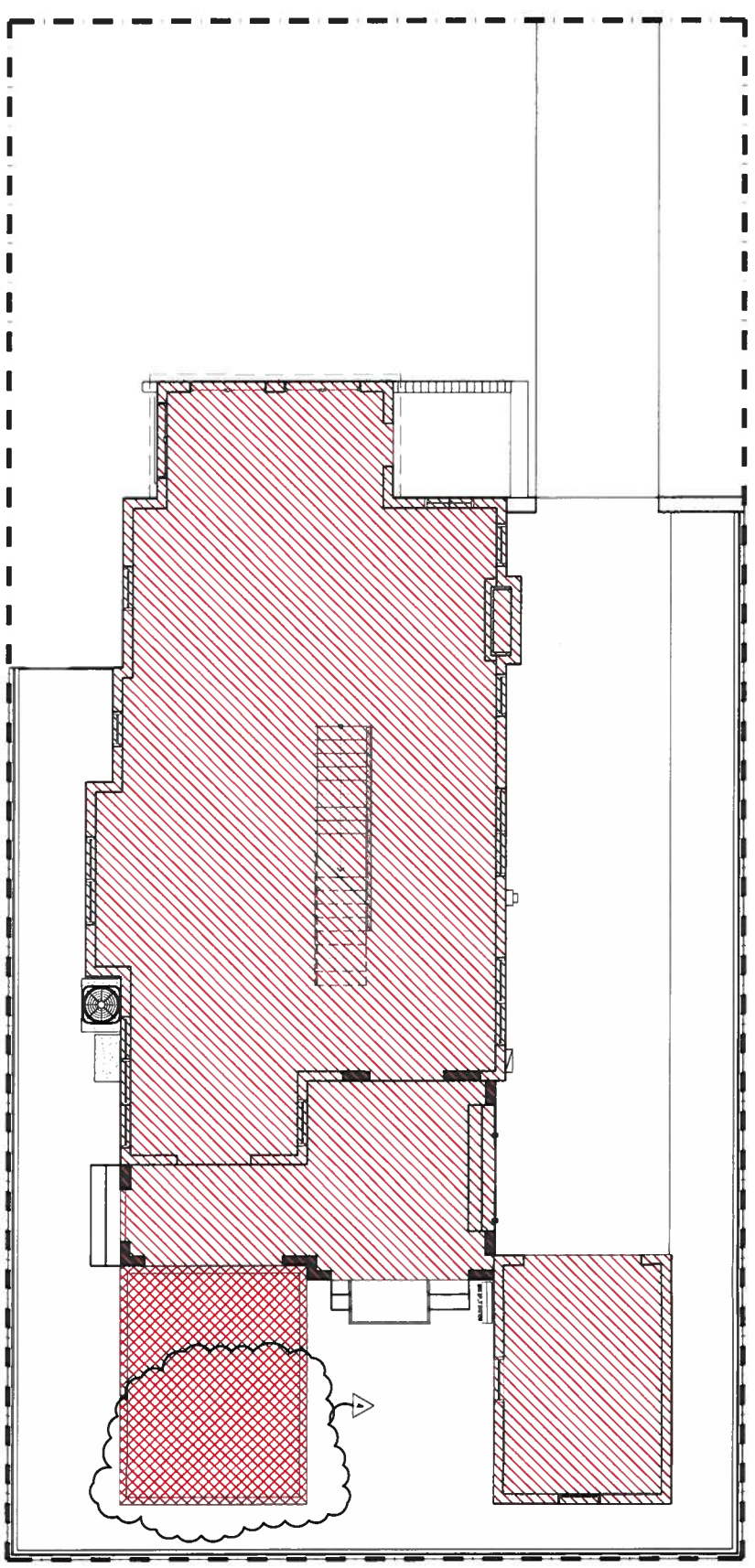
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1 LOT COVERAGE CALCULATIONS
SCALE: 3/16" = 1'-0"



AREA COVERAGE

LOT COVERAGE = 5,250 S.F.
MAX. GROUND AREA COVERAGE:
35% = 1,838 SQ.FT.

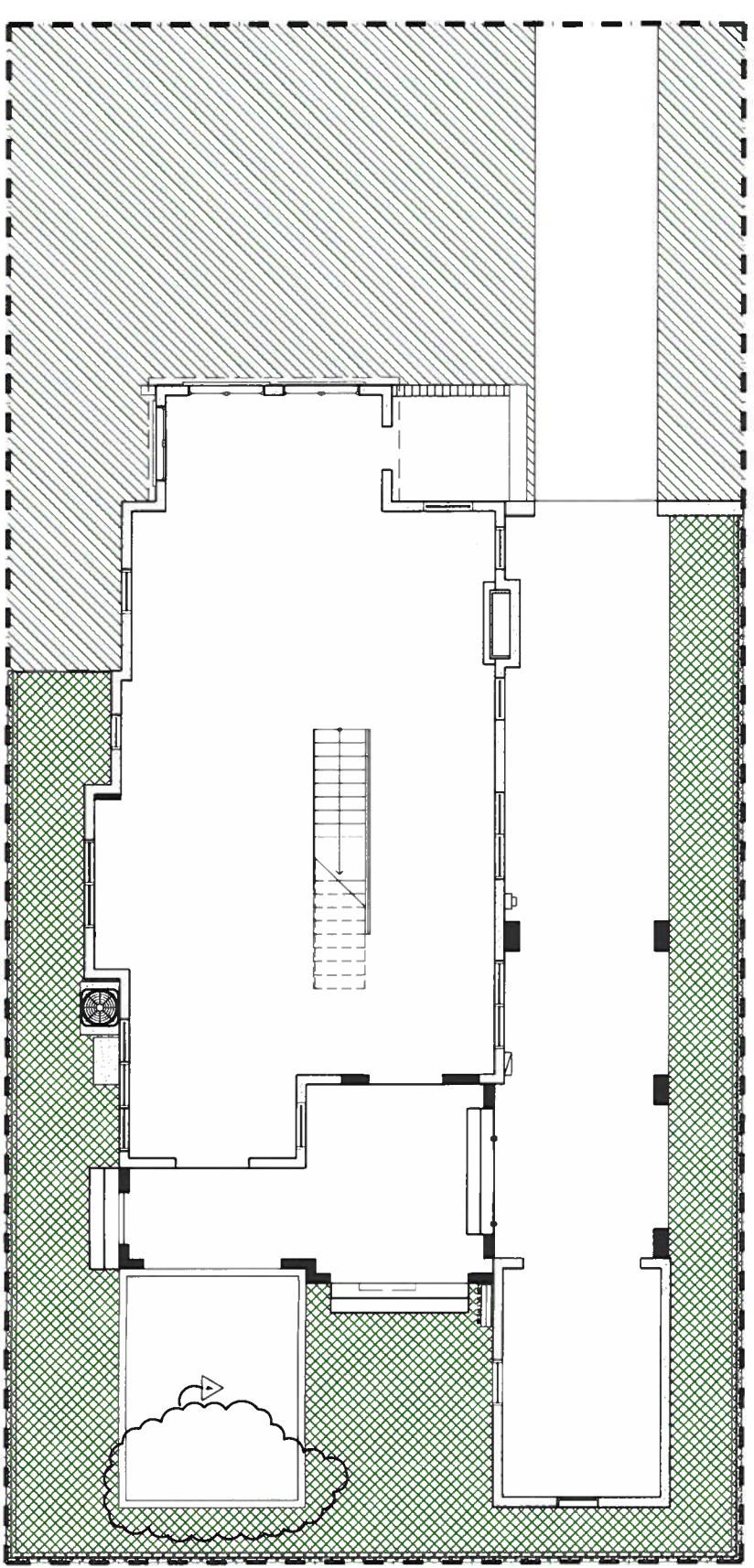
1,277 SQ.FT. - EXIST. BLDG. GRND. FL. AREA
+ 260 SQ.FT. - COVERED PATIO DECK
+ 208 SQ.FT. - GARAGE
PROVIDED = 1,707 SQ.FT.

MAX. GROUND AREA COVERAGE WITH AUX. BUILDINGS:
(POOL)
37% = 1,948 SQ.FT.

1,277 SQ.FT. - EXIST. BLDG. GRND. FL. AREA
+ 260 SQ.FT. - COVERED PATIO DECK
+ 208 SQ.FT. - GARAGE
+ 205 SQ.FT. - POOL
PROVIDED = 1,948 SQ.FT.

LEGEND

	LOT COVERAGE OF MAIN STRUCTURE
	LOT COVERAGE OF AUXILIARY STRUCTURE



2 GREEN SPACE CALCULATIONS
SCALE: 3/16" = 1'-0"



OPEN LANDSCAPING CALCULATION

LOT COVERAGE = 5,250 S.F.
MINIMUM OPEN LANDSCAPING REQUIRED = 40% =
2,100 S.F.

ACTUAL LANDSCAPING COVERAGE =
1,158 S.F. + 1,047 S.F. = 2,205 S.F.

MINIMUM FRONT OPEN LANDSCAPING REQUIRED =
20% = 1,050 S.F.

ACTUAL FRONT LANDSCAPING COVERAGE =
1,158 S.F.

LEGEND

	FRONT YARD AREA
	GREEN AREA

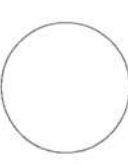
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SEAL:



WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE #181133
PROJECT NO.: 2018-07

ZONING CALCULATIONS

CHECKED BY: JWC SHEET NO.:
DRAWN BY: JAA
SCALE: AS NOTED
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GN-4

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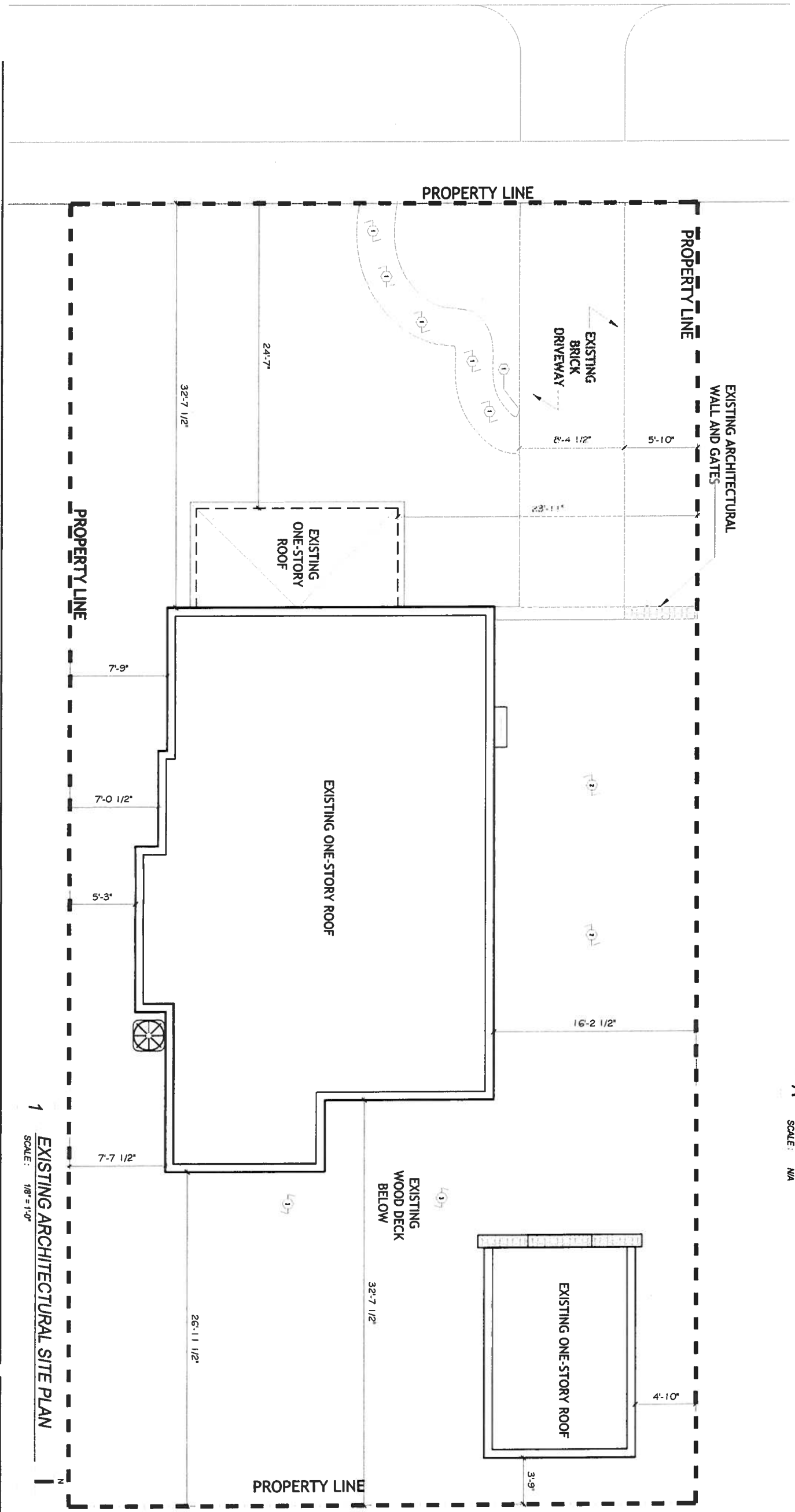
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A BIRDS EYE VIEW
SCALE: N/A

1. LAND IS CURRENTLY WITH A RECENTLY CATERGORIZED HISTORIC STRUCTURE AS PER THE CORAL GABLES HISTORIC PRESERVATION BOARD ON JANUARY 18, 2017.
2. POOL TO BE UNDER SEPARATE CONTRACT.
3. THE EXISTING CROWN OF ROAD ELEVATION IS 11.00' NGVD. THE FFE OF THE RESIDENCE IS 14.74' FFE.
4. GARAGE SHALL BE 8" ABOVE CROWN OF ROAD AT 11.87' NGVD.

- Proposed Reference Notes:**
- EXISTING WALKWAY SHALL BE REMOVED AND SOD SHALL BE PLACED.
 - EXISTING BRICK DRIVEWAY WAS NOT PRESENT
 - EXISTING WOOD DECK TO BE REMOVED AND DISPOSED.



1 EXISTING ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"

WESLEY CASTELLANOS
FLORIDA ARCHITECT LICENSE #0896133
PROJECT NO.: 2016-07

EXISTING ARCHITECTURAL SITE PLAN

CHECKED BY: WC SHEET NO.:
DRAWN BY: JA
SCALE: AS NOTED
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ES-1

ALL DIMENSIONS AND MATERIALS INDICATED HEREON ARE THE EXACT DIMENSIONS AND MATERIALS INDICATED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.

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Tel: 786.218.3335

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12	03 MAY/17	CONSTRUCTION DOCUMENTS
13	18 AUG/17	PERMITTING REVISION - 1
14	10 OCT/19	INTERIOR FIELD REVISION
15	10 DEC/19	PERMITTING COMMENT

Site Plan General Notes:

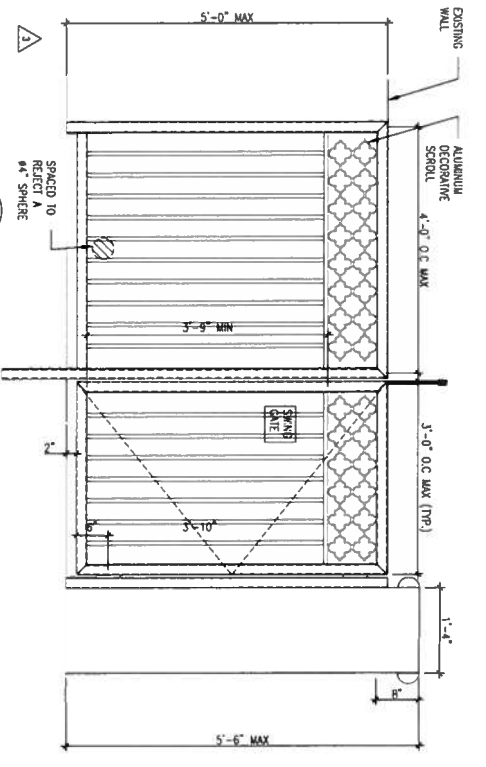
1. POOL TO BE UNDER SEPARATE CONTRACT.
2. ALL ELECTRICAL EQUIPMENT SHALL BE RAISED ABOVE REQUIRED NGVD.
3. CROWN OF ROAD IS 11.04' NGVD. THE FFE OF THE RESIDENCE IS 4.36' ABOVE THE CROWN OF ROAD AT 14.74' NGVD. GUEST HOUSE SHALL BE 36" ABOVE CROWN OF ROAD AT 14.74' NGVD.
4. NO TREES TO BE AFFECTED BY THE PROPOSED WORK.
5. ALL RAINWATER MUST BE RETAINED ON PRIVATE PROPERTY.

Proposed Reference Notes:

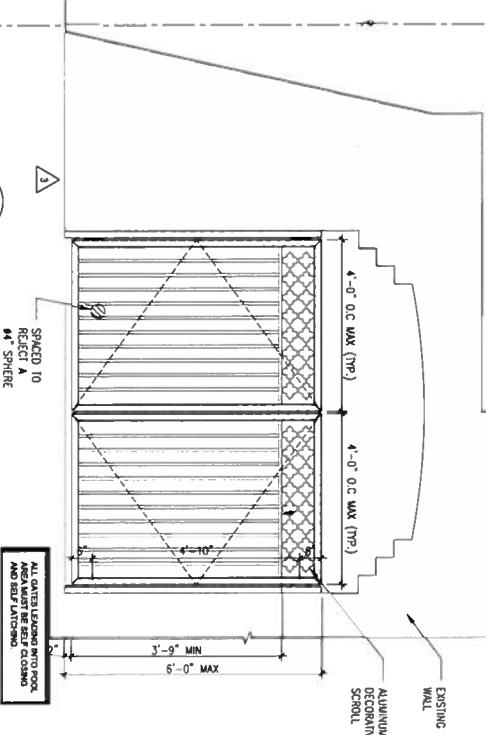
1. PROVIDE 4" CONCRETE SLAB WITH W.W.F. ON GRADE ON COMPACTED LAND FOR POOL AND MECHANICAL EQUIPMENT.
2. EXISTING CORAL GABLES APPROVED BRICK WALKWAY TO BE EMBEDDED INTO GRADE FOR SOD TO MATCH, PAINT (CORAL GABLES APPROVED COLOR).
3. CONTINUE EXISTING BRICK PAVERS FOR ENTIRE DRIVEWAY. EMBED INTO GRADE.
4. NEW GREEN SCREEN FENCE & GATE SHALL BE INSTALLED AT AN EVEN LEVEL. NO DIVIATIONS. IN INSTALLATIONS SHALL OCCUR AT TO RAILS. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
5. THE TRIANGLE OF VISIBILITY SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A HALF (2'-6") FEET AND EIGHT (8) FEET ABOVE THE ESTABLISHED GRADE.
6. CONCRETE PERIMETER 8" WITH CONTINUOUS #5 REBAR FOR PAVEMENT/DRIVEWAY APPROACH.



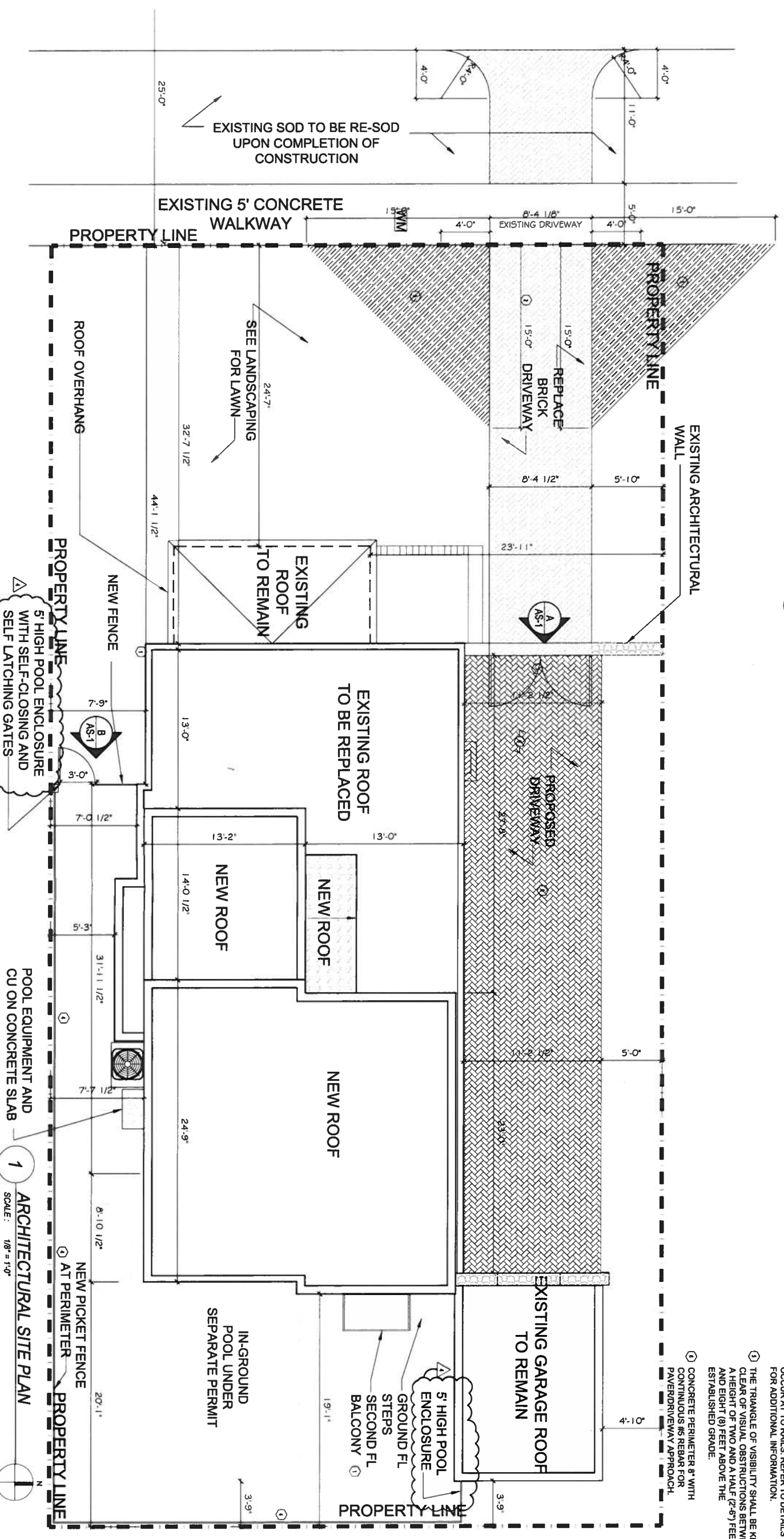
C BIRDS EYE VIEW
SCALE: N/A



B GATE ELEVATION
SCALE: 3/4" = 1'-0"



A DRIVE GATE ELEVATION
SCALE: 1/2" = 1'-0"



1 ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"

WESTLEY ART CASTELLANOS
FLORIAN ARCHITECT LICENSE #A19113
PROJECT NO.: 2016-67

PROPOSED ARCHITECTURAL SITE PLAN

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DRAWN BY: JAA
SCALE: AS NOTED
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**Nogueroi
Residence**

**Expansion & Remodel
to Existing S.F.H.**

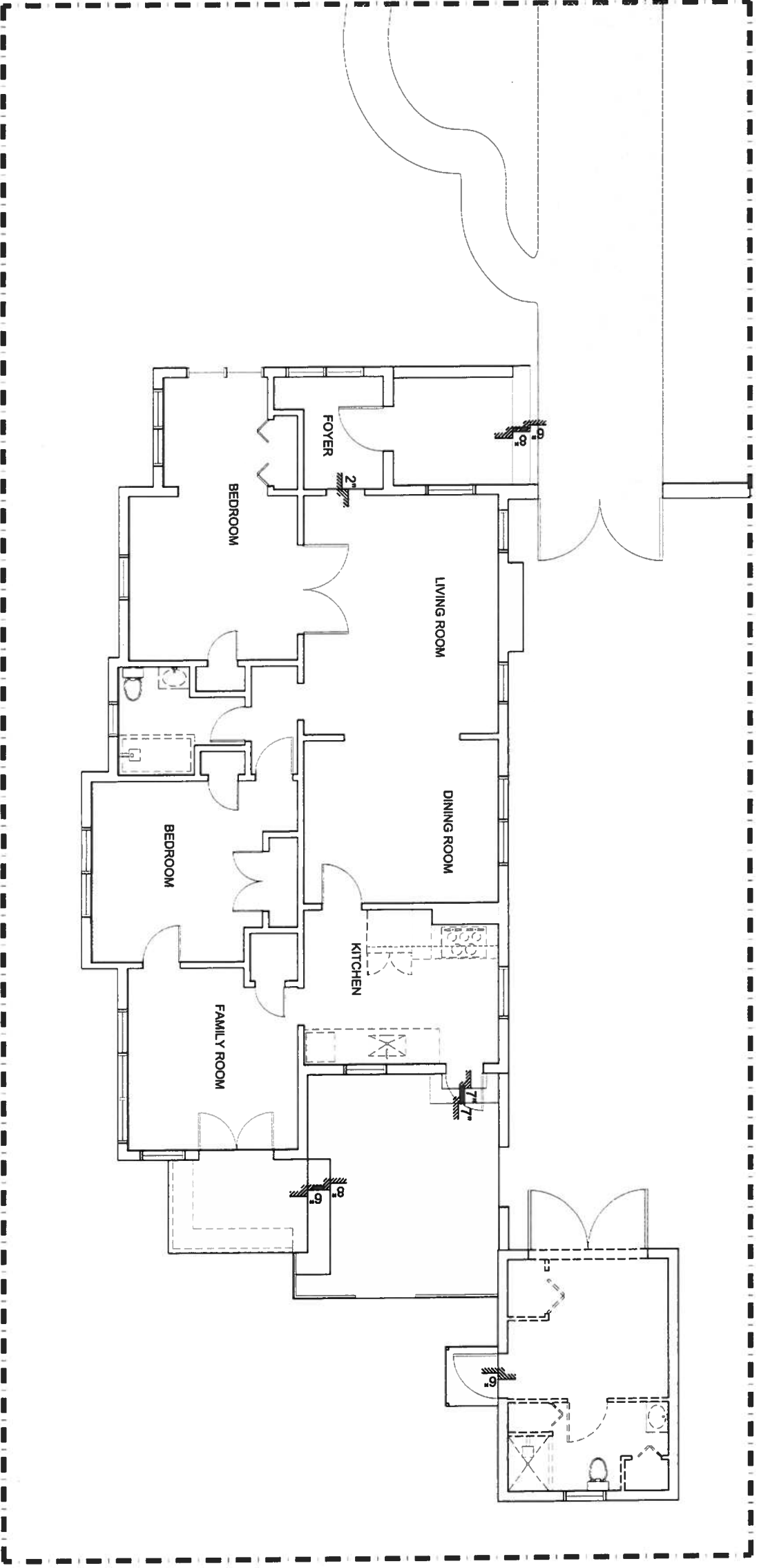
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12	03 MAR17	CONSTRUCTION DOCUMENTS



1 EXISTING GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

WESLEY AUST CASTELLANOS
FLORIDA ARCHITECT LICENSE #AR 96113

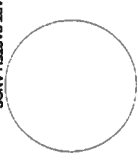
PROJECT NO: 2018-07

**EXISTING
GROUND FLOOR
PLAN**

CHECKED BY: WC
DRAWN BY: AA
SCALE: AS NOTED

SHEET NO:
EX-1.1

ALL DIMENSIONS AND VERTICALS, UNLESS OTHERWISE SPECIFIED, SHALL BE IN FEET AND INCHES. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. FINISHES SHALL BE AS NOTED. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



CLIENT:

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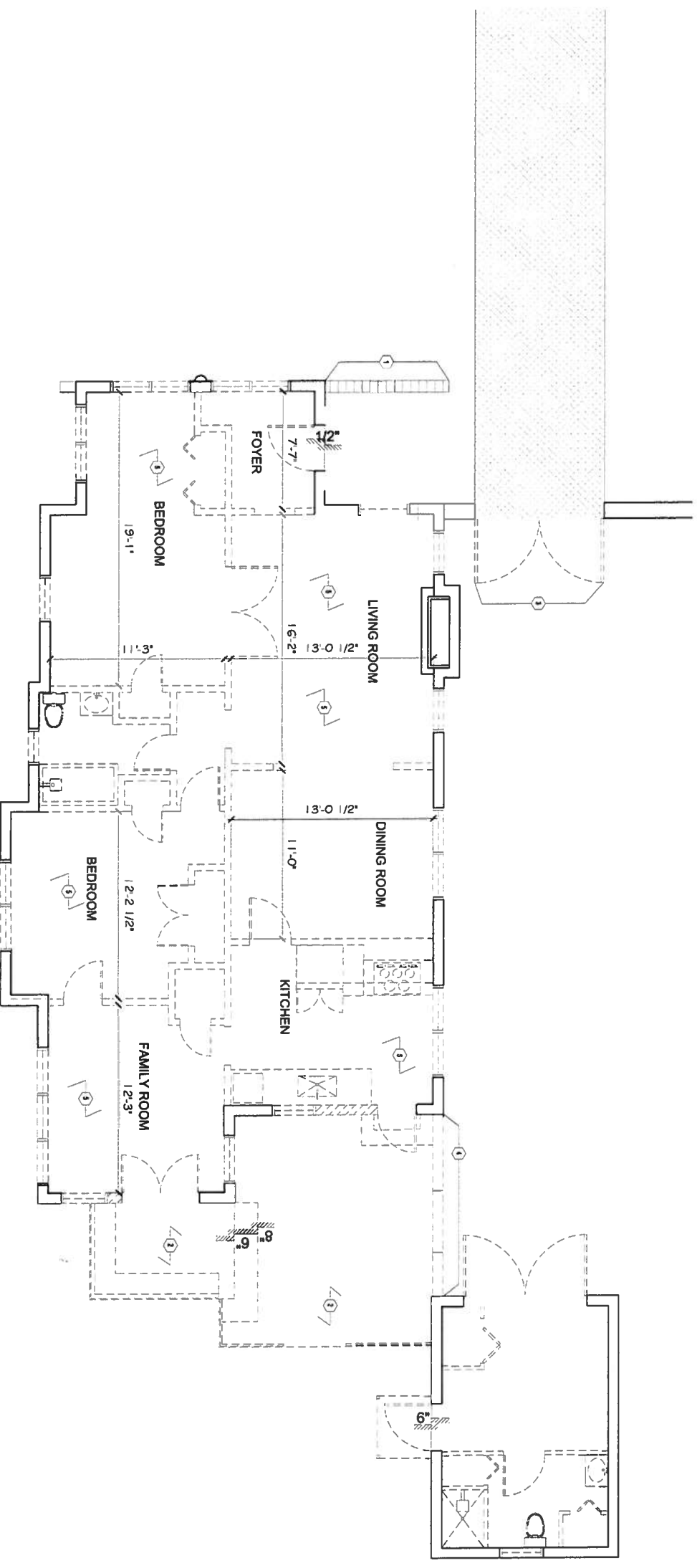
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1b.	DATE	ISSUED / REVISION
12	03/04/17	CONSTRUCTION DOCUMENTS

- Demolition General Notes:**
1. ALL EXTERIOR STUCCO SHALL BE PROTECTED FROM DEMOLITION.
 2. EXISTING PLUMBING LINES TO REMAIN SHALL BE CAPPED AND PROTECTED FROM DEBRIS. A PLUMBING SUBPERMIT IS REQUIRED.
 3. ALL EXISTING ELECTRICAL TO BE REMOVED AND DISPOSED BY LICENSED ELECTRICAL CONTRACTOR. AN ELECTRICAL SUB PERMIT IS REQUIRED.
 4. ALL EXISTING MECHANICAL AND HVAC SHALL BE REMOVED AND DISPOSED. A MECHANICAL SUB PERMIT IS REQUIRED.
 5. GENERAL CONTRACTOR TO PROVIDE SHORING THROUGHOUT FOR COORDINATION OF DEMOLITION OF ROOF AND FLOORING TO ACCOMMODATE THE NEW.

- Demolition Reference Notes:**
- 1 EXISTING LOW WALL TO REMAIN
 - 2 EXISTING DECK TO BE REMOVED AND DISPOSED.
 - 3 EXISTING GATES TO BE REMOVED. PATCH STUCCO FROM REMOVALS
 - 4 EXISTING CONCRETE LOW WALL
 - 5 EXISTING FLOORING TO BE REMOVE. G.C. TO CONTACT ARCHITECT & STRUCTURAL ENGINEER TO EVALUTE THE FLOOR JOISTS.

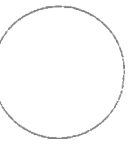


1 DEMOLITION GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"



ALL WORKMANSHIP, MATERIALS, CONTAINED HEREIN IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MATERIALS TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MATERIALS TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MATERIALS TO REMAIN.



REGISTERED ARCHITECT
FLORIDA ARCHITECTS LICENSE #190133
PROJECT NO.: 2016-07

**DEMOLITION
GROUND FLOOR
PLAN**

CHECKED BY: WC SHEET NO:
DRAWN BY: JA
SCALE: AS NOTED
D-1.1

CLIENT:

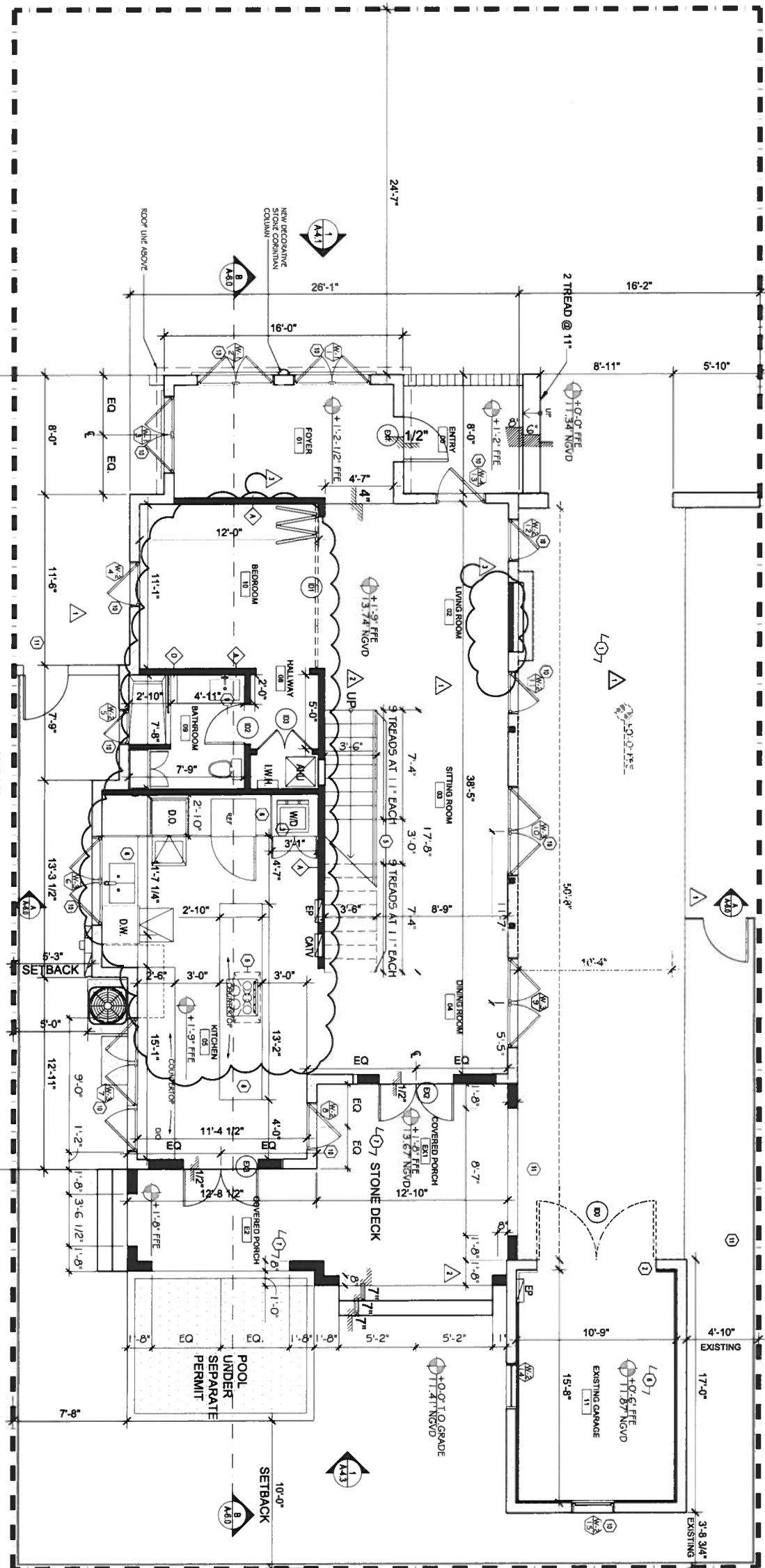
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NO.	DATE	ISSUED / REVISED
12	03 MAY17	CONSTRUCTION DOCUMENTS
13	18 AUG17	PERMITTING REVISION - 1
14	18 JAN18	PERMITTING REVISION - 2
15	10 OCT18	INTERIOR FIELD REVISION

- Proposed General Notes:**
1. ALL EXTERIOR WALLS AT GARAGE SHALL BE MASONRY. PROVIDE RIGID INSULATION AT WALL OR INSULATED MASONRY WITH A MINIMUM R-9 VALUE.
 2. ALL OTHER INTERIOR WALLS SHALL BE TYPE C. PARTITION TYPES UNLESS OTHERWISE NOTE. ALL EXTERIOR PERIMETER MASONRY WALLS SHALL HAVE INSULATION WITH 5/8" DRYWALL WITH LEVEL 5 FINISH.
 3. FRC. CH. 10 SECTION 1005.4 - SILL HEIGHT SHALL NOT EXCEED 4" INCHES ABOVE THE FLOOR. MINIMUM NET CLEAR OPENING SHALL BE 5.7' SQUARE FEET. EXCEPTION - GRADE LEVEL WINDOWS MAY HAVE A MINIMUM CLEAR OPENING OF 5' FEET. MINIMUM NET CLEAR HEIGHT SHALL BE 24" INCHES WITH SHALL BE 20" INCHES.
 4. POOL TO BE UNDER SEPARATE CONTRACT.
 5. ALL ELECTRICAL EQUIPMENT SHALL BE RAISED ABOVE REQUIRED NGVD.
 6. CROWN OF ROAD IS 11.04' NGVD. THE FFE OF THE RESIDENCE IS +36" ABOVE THE CROWN OF ROAD AT 14.74' NGVD. GUEST HOUSE SHALL BE 36" ABOVE CROWN OF ROAD AT 14.74' NGVD.
 7. NO TREES TO BE AFFECTED BY THE PROPOSED WORK.
 8. ALL WALLS SHALL HAVE INSULATION AT R-4.1 MIN.
 9. ALL ROOF SHALL HAVE INSULATION AT R-19 OR GREATER.
 10. REFER TO ROOF PLAN FOR ROOFING DETAILS.
 11. ALL RAINWATER MUST BE RETAINED ON PRIVATE PROPERTY.
- Proposed Reference Notes:**
- 1 CONCRETE PERIMETER 8" WITH CONTINUOUS #6 REBAR FOR CONTINUE EXISTING BRICK PAVED/DRIVEWAY APPROACH.
 - 2 AUTOMATIC GARAGE DOOR OPENER
 - 3 WASHER AND DRYER
 - 4 NOT USED
 - 5 METAL WOOD AND GLASS STAIR BY MARRETTI STAIRS OR APPROVED EQUAL. PROVIDE SHOP DRAWINGS FOR ARCHITECT AND BUILDING APPROVALS.
 - 6 KITCHEN HOOD EXHAUST SHALL VENT OUTDOORS.
 - 7 GARAGE SHALL HAVE RESIN COVER AT FLOORING AND 12" UP SIDEWALLS.
 - 8 STONE PAVERS. PROVIDE SAMPLES FOR APPROVAL
 - 9 GENERAL CONTRACTOR SHALL COORDINATE WITH ORNARE (LARA) FOR KITCHEN & CLOSET DESIGNS. CLIENT TO PROVIDE APPLIANCES
 - 10 SHOWER GLASS DOORS SHALL BE TEMPERED CATEGORY II CLEAR FINISH AND INSTALL 4" CURB FOR SHOWER. PROVIDE LINEAR DRAIN STAINLESS STEEL FULL LENGTH
 - 11 EXISTING WINDOW OPENING TO BE REUSED.
 - 12 REPLACE WINDOW WITH NEW
 - 13 4" HIGH POOL ENCLOSURE WITH SELF-CLOSING AND SELF LATCHING GATES.



1 PROPOSED GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE #A 98133
PROJECT NO.: 2018-07

PROPOSED GROUND FLOOR PLAN

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DRAWN BY: JA
SCALE: AS NOTED
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SEAL:



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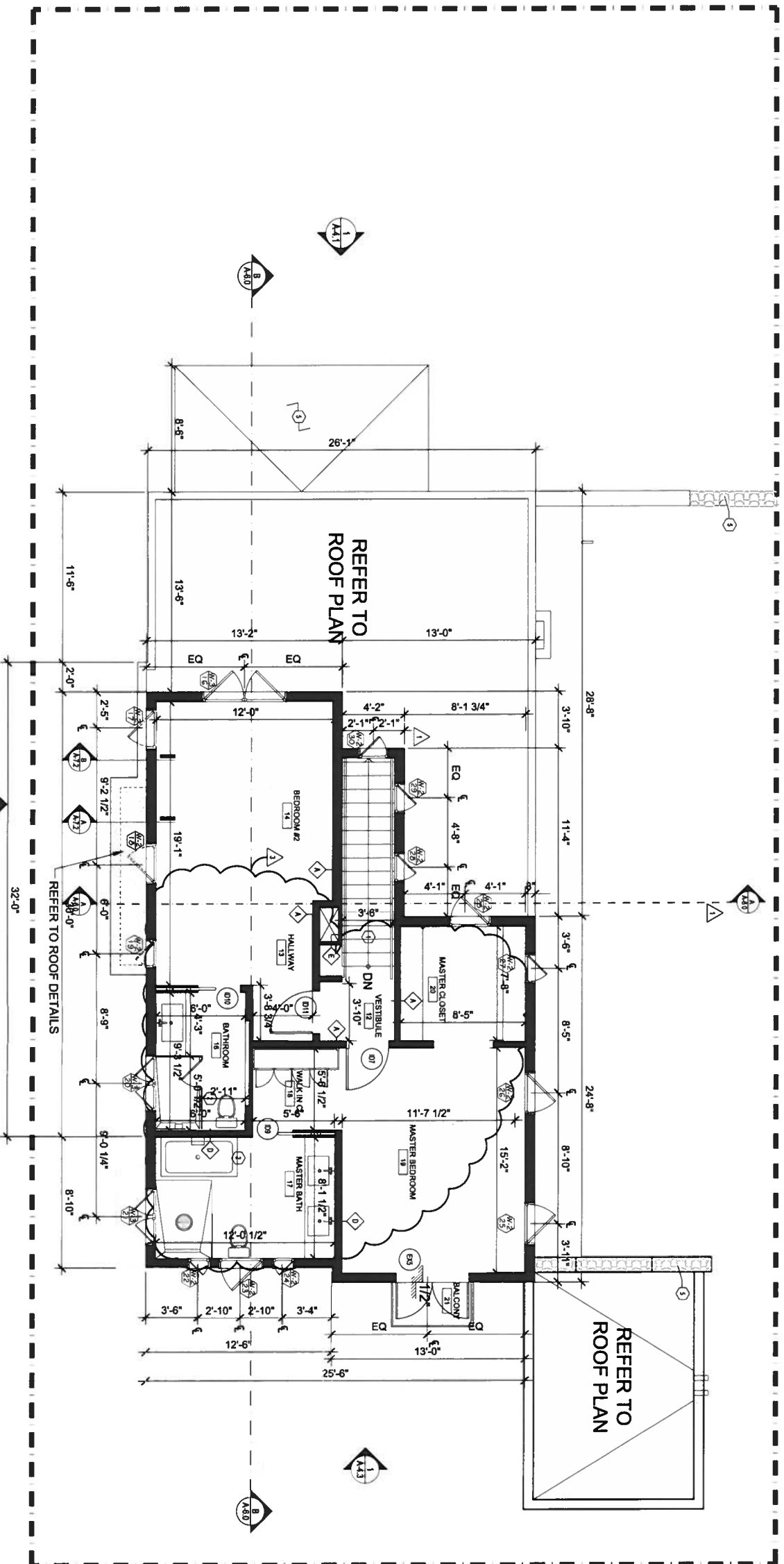
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NO.	DATE	ISSUED / REVISED
12	03 MAY17	CONSTRUCTION DOCUMENTS
13	18 AUG17	PERMITTING REVISION - 1
14	10 OCT19	INTERIOR FIELD REVISION

- Proposed General Notes:**
1. ALL OTHER INTERIOR WALLS SHALL BE TYPE C PARTITION TYPES UNLESS OTHERWISE NOTE. ALL EXTERIOR PERIMETER MASONRY WALLS SHALL HAVE INSULATION WITH 56" DRYWALL WITH LEVEL 5 FINISH.
 2. FBC: CH. 10 SECTION 1005.4 - SILL HEIGHT SHALL NOT EXCEED 44 INCHES ABOVE THE FLOOR. MINIMUM NET CLEAR OPENING SHALL BE 5.7 SQUARE FEET. EXCEPTION - GRADE LEVEL WINDOWS MAY HAVE A MINIMUM CLEAR HEIGHT SHALL BE 24 INCHES WITH SHALL BE 20 INCHES.
 3. POOL TO BE UNDER SEPARATE CONTRACT.
 4. ALL ELECTRICAL EQUIPMENT SHALL BE RAISED ABOVE REQUIRED NGVD.
 5. CROWN OF ROAD IS 11.04' NGVD. THE FFE OF THE RESIDENCE IS +36" ABOVE THE CROWN OF ROAD AT 14.74' NGVD. GUEST HOUSE SHALL BE 36" ABOVE CROWN OF ROAD AT 14.74' NGVD.
 6. NO TREES TO BE AFFECTED BY THE PROPOSED WORK.
 7. ALL WALLS SHALL HAVE INSULATION AT R-4.1 MIN.
 8. ALL ROOF SHALL HAVE INSULATION AT R-19 OR GREATER

Proposed Reference Notes:

- 1 METAL, WOOD AND GLASS STAIR BY MARETTI STAIRS OR APPROVED EQUAL. PROVIDE SHOP DRAWINGS FOR ARCHITECT AND BUILDING APPROVALS.
- 2 SHOWER STALL GLASS SHALL BE CATEGORY II FOR DOORS AND WALLS. FURNISH AND INSTALL 4" CURB FOR SHOWER. PROVIDE LINEAR DRAIN STAINLESS STEEL FULL LENGTH
- 3 EXTERIOR DECORATIVE GUARDRAILING SHALL PROVIDE SHOP DRAWINGS AND CALCULATIONS FOR ARCHITECTS, ENGINEERS AND BUILDING DEPARTMENT APPROVALS.
- 4 PROVIDE P.T. WOOD BLOCKING IN CLOSETS FOR FUTURE SHELVING
- 5 ROOFING TILE SHALL BE CLAY BY SANTIAFE TILE CORPORATION, SPANISH 'SPANISH' NO.48 12x20.01 COLOR TO BE RED S GALERIAS. GENERAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL BY ARCHITECT, ENGINEER, HISTORIC PRESERVATION AND BUILDING DEPARTMENT. ALL ANCHORING SHALL BE AS PER NOA. PROVIDE FLASHING AND REGLETS AT WALL CONNECTIONS. G.C. SHALL PROVIDE UNDERLAYMENT, NAILERS, BOARDS AND FLASHING AS REQUIRED FOR ALL INSTALLATIONS.



1 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

WESLEY ART CASTELLANOS
 FLORIDA ARCHITECT LICENSE: AR 94113
 PROJECT NO.: 2018-07

PROPOSED SECOND FLOOR PLAN

CHECKED BY: WJC SHEET NO.:
 DRAWN BY: JAA
 SCALE: AS NOTED
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CLIENT :

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12	03 MAY/17	CONSTRUCTION DOCUMENTS
13	18 AUG/17	PERMITTING REVISION - 1
14	10 OCT/18	INTERIOR FIELD REVISION









Reflected Ceiling General Notes :

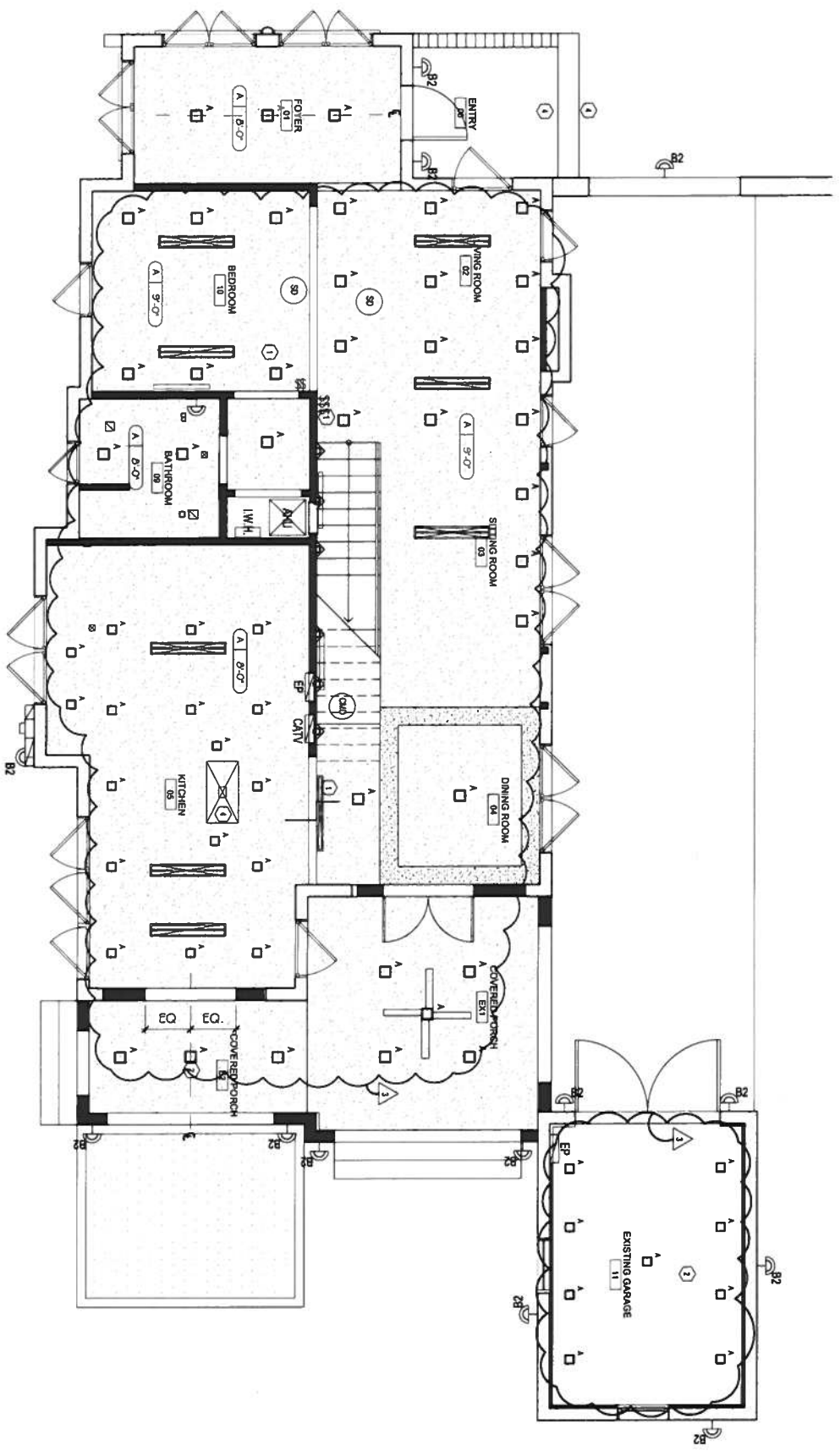
1. PROVIDE LARSENS L-MFG AT ALL WALL AND CEILING ACCESS PANELS AT ALL VALVES, LIGHT TRANSFORMERS AND HVAC REQUIRED CONTROLS. PROVIDE FIRE RATED PANELS AT ALL FIRE WALLS AND CEILINGS.
2. ALL LIGHT FIXTURES SHALL BE INSTALLED AT CENTER OF ROOM UNLESS OTHERWISE NOTED.
3. REFER TO ELEVATIONS FOR ELEVATIONS OF SCANCES
4. ALL INTERIOR SCANCES SHALL BE 54" AFF. COORDINATE ALL DIFFUSERS AND SUPPLIES WITH LIGHTING.
5. ALL LIGHT SWITCHES SHALL BE LEGRAND WHISPER DIMMER.
7. GENERAL CONTRACTOR TO COORDINATE SELECTION OF FIXTURES (DELTA OR APPROVED EQUAL).
9. GENERAL CONTRACTOR TO COORDINATE WITH CLIENT WITH SECURITY CAMERAS UNDER A SEPARATE LOW VOLTAGE PERMIT.
10. LANDSCAPE LIGHTING SHALL BE UNDER A SEPARATE SUBPERMIT

Proposed Reflected Ceiling References Notes :

1. SOFFIT WITH FASCIA RETURNED UP WALL
2. LIGHT FIXTURE SHALL BE COORDINATED IN THE FIELD BY ARCHITECT.
3. COORDINATE ROLL UP GARAGE DOOR TRACK WITH STRUCTURAL GARAGE TRUSSES AND LIGHTING.
4. RECESSED LIGHTING IN RISER STEP
4. KITCHEN OVEN EXHAUST

Proposed Reflected Ceiling Legend :

-  1' x 1' x 3' LED GYPSUM WALL BOARD - SUSPENDED ON METALS AND PROVIDE R30 BATT INSULATION AT ROOF
-  NEW RECESSED DOWNLIGHT LED FIXTURE - A AT WET LOCATIONS
-  NEW RECESSED DOWNLIGHT LED FIXTURE - AW AT WET LOCATIONS
-  NEW SCONCE WALL MOUNTED FIXTURE - B4 AT WET LOCATIONS
-  NEW 1X4 SURFACE MOUNTED LED FIXTURE - AT WET LOCATIONS
-  NEW LINEAR DIFFUSER
-  SMOKE DETECTOR - TO BE INTERCONNECTED WITH BATTERY BACK-UP AND 36" AWAY FROM ANY VENT
-  CARBON MONOXIDE DETECTOR - TO BE INTERCONNECTED WITH BATTERY BACK-UP AND 36" AWAY FROM ANY VENT



1 REFLECTED CEILING PLAN (GROUND)

SCALE : 1/4" = 1'-0"



ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE AS SHOWN IN THE DRAWINGS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE #W 86113
PROJECT NO : 2016-07

PROPOSED GROUND FLOOR REFLECTED CEILING PLAN

CHECKED BY : WC SHEET NO :
DRAWN BY : AA
SCALE : AS NOTED
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A-2.1

CLIENT:

Nogueroi Residence
Expansion & Remodel to Existing S.F.H.
1223 Lisbon Street
Coral Gables, FL 33134



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333 SE 2nd Avenue, Suite 2066
Miami, FL 33131
Tel: 786.218.5335
License: #AA 26002467

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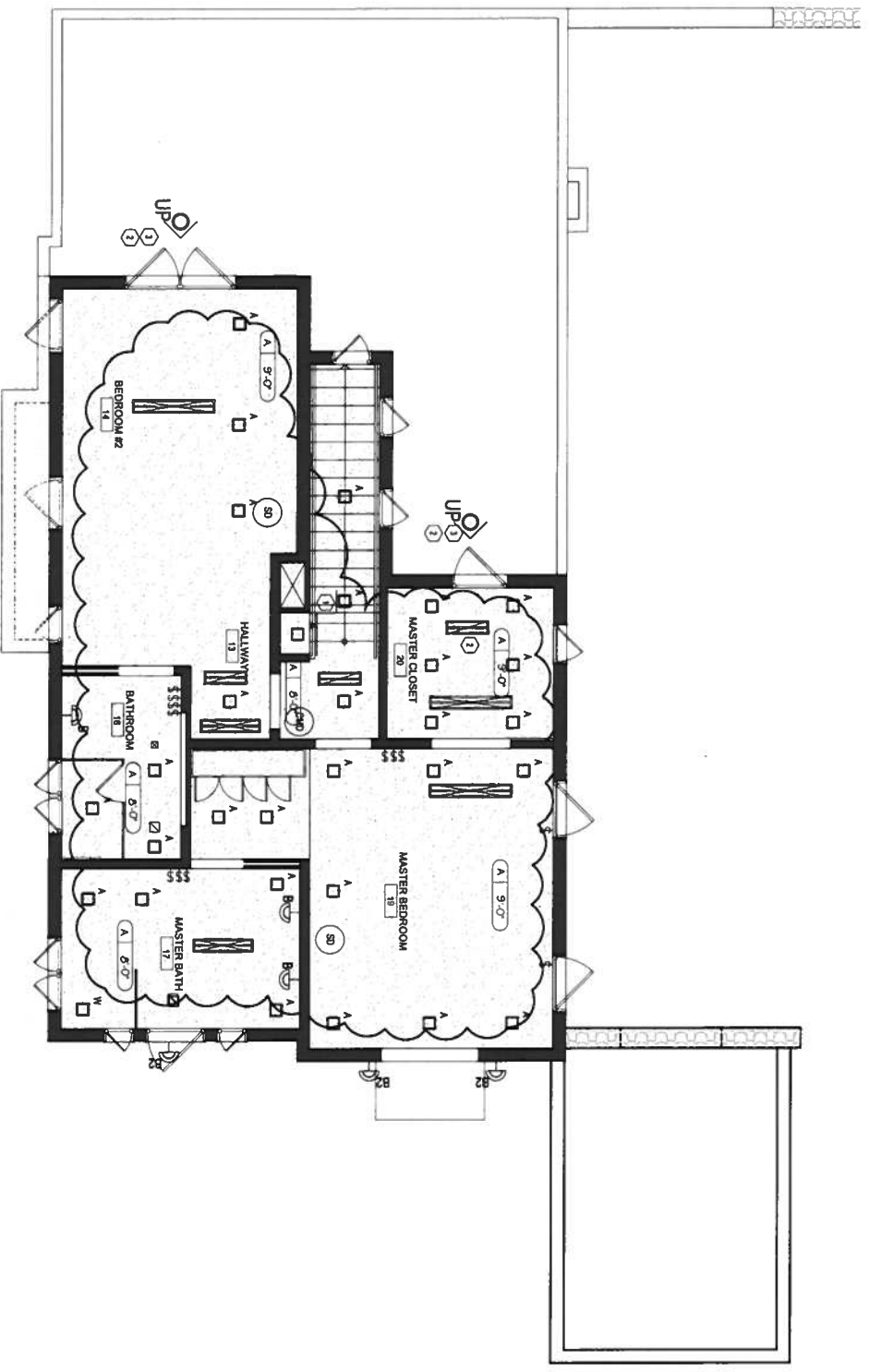
NO.	DATE	ISSUED / REVISED
12	03 MAY/17	CONSTRUCTION DOCUMENTS
13	18 AUG/17	PERMITTING REVISION - 1
14	10 OCT/19	INTERIOR FIELD REVISION

- Reflected Ceiling General Notes:**
1. PROVIDE LARSENS L-MFG AT ALL WALL AND CEILING ACCESS PANELS AT ALL VALVES, LIGHT TRANSFORMERS AND HVAC REQUIRED CONTROLS. PROVIDE FIRE RATED PANELS AT ALL FIRE WALLS AND CEILINGS.
 2. ALL LIGHT FIXTURES SHALL BE INSTALLED AT CENTER OF ROOM UNLESS OTHERWISE NOTED.
 3. REFER TO ELEVATIONS FOR ELEVATIONS OF SCENCES
 4. ALL INTERIOR SCENCES SHALL BE 64" AFF. COORDINATE ALL DIFFUSERS AND SUPPLIES WITH LIGHTING.
 5. ALL LIGHT SWITCHES SHALL BE LEGRAND WHISPER DIMMER.
 6. GENERAL CONTRACTOR TO COORDINATE SELECTION OF FIXTURES (DELTA OR APPROVED EQUAL).
 7. GENERAL CONTRACTOR TO COORDINATE WITH CLIENT WITH SECURITY CAMERAS UNDER A SEPARATE LOW VOLTAGE PERMIT.
 8. LANDSCAPE LIGHTING SHALL BE UNDER A SEPARATE SUPPLEMENT

- Proposed Reflected Ceiling Reference Notes:**
1. SOFFIT WITH FASCIA RETURNED UP WALL.
 2. LIGHT FIXTURE SHALL BE COORDINATED IN THE FIELD BY ARCHITECT.
 3. FLOOD LIGHTS ILLUMINATING BUILDING ADDITION

Proposed Reflected Ceiling Legend:

- 1/2" GYPSUM WALL BOARD - SUSPENDED ON METAL STUDS PROVIDE R30 BATT INSULATION AT ROOF.
- NEW RECESSED DOWNLIGHT LED FIXTURE - A AT WET LOCATIONS
- NEW RECESSED DOWNLIGHT LED FIXTURE - AW AT WET LOCATIONS
- NEW SCENCE WALL MOUNTED FIXTURE - B AT WET LOCATIONS
- NEW LINEAR DIFFUSER AT WET LOCATIONS
- SMOKE DETECTOR - TO BE INTERCONNECTED WITH BATTERY BACK-UP AND 36" AWAY FROM ANY VENT
- CARBON MONOXIDE DETECTOR - TO BE INTERCONNECTED WITH BATTERY BACK-UP AND 36" AWAY FROM ANY VENT



1 REFLECTED CEILING PLAN (GROUND)
SCALE: 1/4" = 1'-0"



WESLEY/ART CASTELLANOS
FLORIDA ARCHITECT LICENSE #AR 80133
PROJECT NO: 2019-07

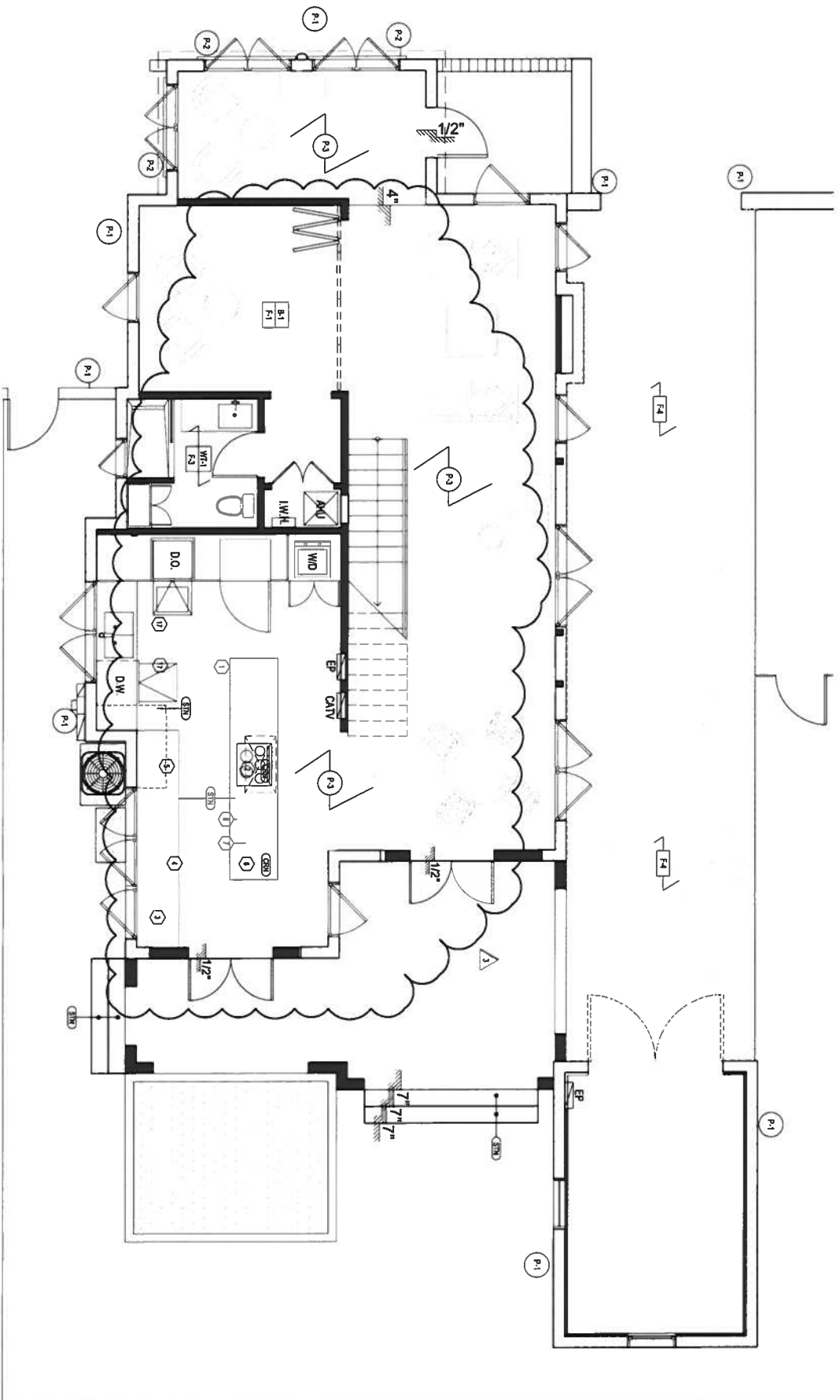
PROPOSED SECOND FLOOR REFLECTED CEILING PLAN

CHECKED BY: WC
DRAWN BY: JA
SCALE: AS NOTED
SHEET NO: A-2.2
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- Finish General Notes :**
1. CEILING THROUGHOUT SHALL BE PAINTED WHITE
 2. ALL ELECTRICAL SHALL BE PROTECTED FROM FINISHES.
 3. BATHROOMS SHALL RECEIVE FULL HEIGHT WALL TILES AS PER MANUFACTURERS SPECIFICATIONS.
 4. ALL DOORS AND FRAMES SHALL BE PAINTED WITH SHERWIN WILLIAMS SEMI GLOSS WHITE.

Finish Legend :

F1	THROUGHOUT	FLOORING	FLOORING	FLOORING
F1	LOCATION: THROUGHOUT	MANUFACTURER: POLYTRON TO CONCRETE SLAB	MODEL: POLYTRON TO CONCRETE SLAB	REMARKS: PROVIDE LOCK-UP FOR APPROVAL
F2	BATHROOMS	FLOORING	FLOORING	FLOORING
F2	LOCATION: BATHROOMS	MANUFACTURER: POLYTRON TO CONCRETE SLAB	MODEL: POLYTRON TO CONCRETE SLAB	REMARKS: PROVIDE LOCK-UP FOR APPROVAL
F3	BATHROOMS	FLOORING	FLOORING	FLOORING
F3	LOCATION: BATHROOMS	MANUFACTURER: POLYTRON TO CONCRETE SLAB	MODEL: POLYTRON TO CONCRETE SLAB	REMARKS: PROVIDE LOCK-UP FOR APPROVAL
F4	BATHROOMS	FLOORING	FLOORING	FLOORING
F4	LOCATION: BATHROOMS	MANUFACTURER: POLYTRON TO CONCRETE SLAB	MODEL: POLYTRON TO CONCRETE SLAB	REMARKS: PROVIDE LOCK-UP FOR APPROVAL
B1	WOOD CASE	WOOD CASE	WOOD CASE	WOOD CASE
B1	LOCATION: BATHROOMS	MANUFACTURER: SHERWIN WILLIAMS	MODEL: SHERWIN WILLIAMS	REMARKS: PROVIDE SAMPLE MATCH TO MATCH FOR TILE
P1	PAINT	PAINT	PAINT	PAINT
P1	LOCATION: BATHROOMS	MANUFACTURER: SHERWIN WILLIAMS	MODEL: SHERWIN WILLIAMS	REMARKS: PROVIDE SAMPLE MATCH TO MATCH FOR TILE
P2	PAINT	PAINT	PAINT	PAINT
P2	LOCATION: BATHROOMS	MANUFACTURER: SHERWIN WILLIAMS	MODEL: SHERWIN WILLIAMS	REMARKS: PROVIDE SAMPLE MATCH TO MATCH FOR TILE
P3	PAINT	PAINT	PAINT	PAINT
P3	LOCATION: BATHROOMS	MANUFACTURER: SHERWIN WILLIAMS	MODEL: SHERWIN WILLIAMS	REMARKS: PROVIDE SAMPLE MATCH TO MATCH FOR TILE
CE1	CABINETS	CABINETS	CABINETS	CABINETS
CE1	LOCATION: BATHROOMS	MANUFACTURER: SHERWIN WILLIAMS	MODEL: SHERWIN WILLIAMS	REMARKS: PROVIDE SAMPLE MATCH TO MATCH FOR TILE
CE2	CABINETS	CABINETS	CABINETS	CABINETS
CE2	LOCATION: BATHROOMS	MANUFACTURER: SHERWIN WILLIAMS	MODEL: SHERWIN WILLIAMS	REMARKS: PROVIDE SAMPLE MATCH TO MATCH FOR TILE
CE3	CABINETS	CABINETS	CABINETS	CABINETS
CE3	LOCATION: BATHROOMS	MANUFACTURER: SHERWIN WILLIAMS	MODEL: SHERWIN WILLIAMS	REMARKS: PROVIDE SAMPLE MATCH TO MATCH FOR TILE



- Accessory General Notes :**
1. REFER TO ELEVATIONS AND ADDITIONAL INFORMATION.
 2. REFER TO PLUMBING PLANS FOR PLUMBING FIXTURES CONNECTIONS. REFER TO ACCESSORIES BELOW FOR FIXTURES.
 3. REFER TO ELECTRICAL PLANS FOR CIRCUITING AND ADDITIONAL INFORMATION.
 4. ALL WALL HUNG MOUNTED FIXTURES AND ACCESSORIES SHALL HAVE BLOCKING.
 5. ALL ANCHORS OF ACCESSORIES IN WET AREAS SHALL BE COORDINATED WITH OWNER.
 6. PROTECT ALL PLUMBING STACK LINES FROM INSTALLATIONS.
 7. PROVIDE BLOCKING AT ALL WALL HUNG FIXTURES, ACCESSORIES AND EQUIPMENT.
 8. CONTRACTOR TO COORDINATE WITH ALL BATHROOM ACCESSORIES WITH ARCHITECT PRIOR TO INSTALLATION.

- Accessory Material Notes :**
1. NEW REFRIGERATOR SUBZERO WITH INTEGRATED FINISHED PANEL
 2. NEW FREEZER DRAWER SUBZERO SIDE-BY-SIDE FREEZER STAINLESS
 3. NEW DISH WASHER
 4. NEW KITCHEN SINK WITH UNDERMOUNT FERGUSON STERILINK S11444NA *MCALLISTER, AND TRASH DISPOSAL BY FRAWKE 3/4 HP WD75R
 5. NEW DOUBLE OVEN / RANGE - ELECTRICAL
 6. NEW RECESSED MICROWAVE CONNECTION
 7. NEW VENTILATION OVER COOKTOP THERMADOR
 8. NEW RECESSED GAS COOK TOP INDUCTION WITH 5 BURNERS MODEL
 9. NEW AUDIO, VISUAL AND COMPONENTS CLOSET (UNDER SEPARATE PERMIT)
 10. BATHROOM FAUCETS
 11. VANITY CABINET OF COUNTERTOP AND DOOR PANELS.
 12. BATHROOM NEW TOILET
 13. NEW POLISHED CHROME TOWEL ROD
 14. NEW POLISHED CHROME MODERN TRAIN RACK BY RESTORATION HARDWARE SMALL
 15. NEW POLISHED CHROME MODERN TOWEL RING BY RESTORATION HARDWARE
 16. NEW POLISHED CHROME MODERN HOOK BY CLIENT.
 17. A. NEW POLISHED CHROME MODERN TOILET TISSUE HOLDER BY CLIENT AT ALL TOILETS.
B. NEW POLISHED CHROME MODERN WALL-MOUNT SOAP DISH BY CLIENT AT ALL LAVATORIES. (TWO IN MASTER)
 18. WASHER AND DRYERS INSTALLED BY OTHERS

CLIENT :

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12	03 MAY17	CONSTRUCTION DOCUMENTS
13	18 AUG17	PERMITTING REVISION - 1
14	10 OCT19	INTERIOR FIELD REVISION

ALL WORK AND MATERIALS, UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS, SHALL BE PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

WESTLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE #A 18113

PROJECT NO : 2018-07

GROUND FLOOR FINISH AND ACCESSORY PLAN

CHECKED BY : WC
DRAWN BY : AA
SCALE AS NOTED

SHEET NO :
A-3.1

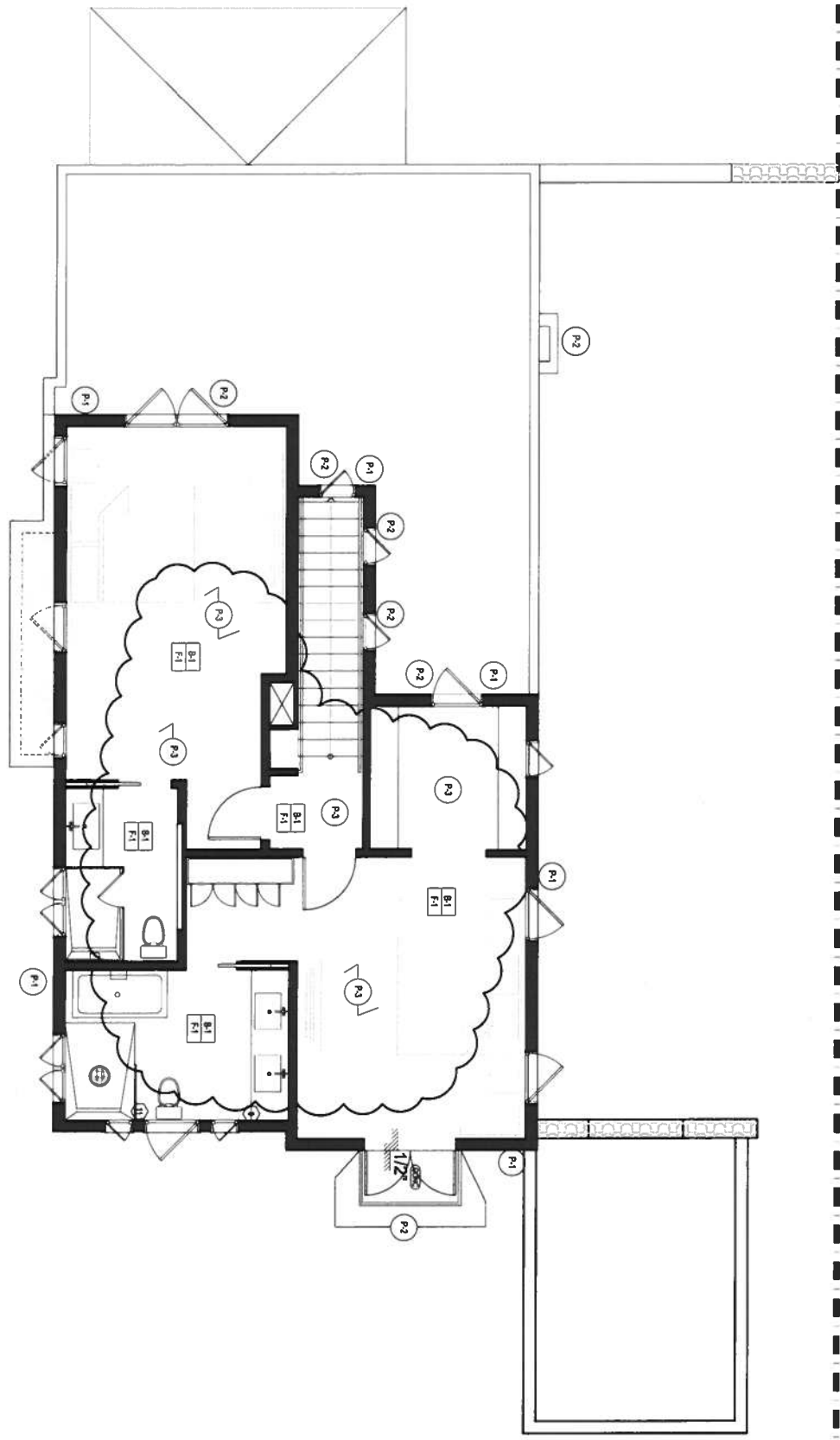
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1 FINISH & ACCESSORY PLAN (GROUND)
SCALE : 1/4" = 1'-0"

- Finish General Notes:**
1. CEILING THROUGHOUT SHALL BE PAINTED WHITE
 2. SHERWIN WILLIAMS SEMI GLOSS.
 3. ALL ELECTRICAL SHALL BE PROTECTED FROM FINISHES.
 4. BATHROOMS SHALL RECEIVE FULL HEIGHT WALL TILES AS PER MANUFACTURERS SPECIFICATIONS.
 5. ALL DOORS AND FRAMES SHALL BE PAINTED WITH SHERWIN WILLIAMS SEMI GLOSS WHITE.

Finish Legend:

F1	LOCATION: THROUGHOUT MANUFACTURER: POLISH TOPPING TO CONCRETE SLAB MODEL: T80 COLOR: PROVIDE KICKAP 75% APPROVAL REMARKS:	B1	LOCATION: THROUGHOUT MANUFACTURER: WOOD WITH REBELED EDGE MODEL: T80 COLOR: COLOR TO MATCH FLOOR TILE REMARKS:
F2	LOCATION: BATHROOMS FLOOR MANUFACTURER: FLOORA TILE MODEL: SHERWIN WILLIAMS STAGERED HORIZONTAL COLOR: ALL OUTWARD CORNERS TO HAVE BALUNGE REMARKS:	P1	LOCATION: EXTERIOR (MAIN HOUSE) MANUFACTURER: SHERWIN WILLIAMS MODEL: SEMI GLOSS COLOR: PROVIDE 2 COATS REMARKS: PROVIDE SAMPLE MATCH ON STUDIO FOR APPROVAL
F3	LOCATION: BATHROOMS FLOOR MANUFACTURER: FLOORA TILE MODEL: SHERWIN WILLIAMS STAGERED HORIZONTAL COLOR: ALL OUTWARD CORNERS TO HAVE BALUNGE REMARKS:	P2	LOCATION: EXTERIOR (DETAILS (BILL & BAN)) MANUFACTURER: SHERWIN WILLIAMS MODEL: SEMI GLOSS COLOR: PROVIDE 2 COATS REMARKS: PROVIDE SAMPLE MATCH ON STUDIO FOR APPROVAL
F4	LOCATION: BATHROOMS FLOOR MANUFACTURER: FLOORA TILE MODEL: SHERWIN WILLIAMS STAGERED HORIZONTAL COLOR: ALL OUTWARD CORNERS TO HAVE BALUNGE REMARKS:	P3	LOCATION: BATHROOMS MANUFACTURER: SHERWIN WILLIAMS MODEL: SEMI GLOSS COLOR: PROVIDE 2 COATS REMARKS: PROVIDE SAMPLE MATCH ON STUDIO FOR APPROVAL
		P4	LOCATION: BATHROOM WALLS MANUFACTURER: SHERWIN WILLIAMS MODEL: SEMI GLOSS COLOR: PROVIDE 2 COATS REMARKS: PROVIDE SAMPLE MATCH ON STUDIO FOR APPROVAL
		WT1	LOCATION: BATHROOM WALLS MANUFACTURER: SHERWIN WILLIAMS MODEL: SEMI GLOSS COLOR: PROVIDE 2 COATS REMARKS: PROVIDE SAMPLE MATCH ON STUDIO FOR APPROVAL
		WT2	LOCATION: MASTER BATHROOM WALLS MANUFACTURER: SHERWIN WILLIAMS MODEL: SEMI GLOSS COLOR: PROVIDE 2 COATS REMARKS: PROVIDE SAMPLE MATCH ON STUDIO FOR APPROVAL
		CS1	LOCATION: EXTERIOR ENTRY / OULINGS MANUFACTURER: NATURAL STONE MODEL: DESIGNED WHITE COLOR: HIGH IMPACT / SCRATCH RESISTANT REMARKS:
		CS2	LOCATION: COUNTERTOPS MANUFACTURER: NATURAL WHITE MODEL: DESIGNED WHITE COLOR: HIGH IMPACT / SCRATCH RESISTANT REMARKS:
		CS3	LOCATION: EXTERIOR ENTRY AND PERIMTRY MANUFACTURER: NATURAL WHITE MODEL: BUTT JOINTS STAGERED COLOR: TEXTURED REMARKS: PROVIDE SAMPLE MATCH FOR APPROVAL



- Accessory General Notes:**
1. REFER TO ELEVATIONS AND ADDITIONAL INFORMATION.
 2. REFER TO PLUMBING PLANS FOR PLUMBING FIXTURES CONNECTIONS. REFER TO ACCESSORIES BELOW FOR FIXTURES.
 3. REFER TO ELECTRICAL PLANS FOR CIRCUITING AND ADDITIONAL INFORMATION.
 4. ALL WALL HUNG MOUNTED FIXTURES AND ACCESSORIES SHALL HAVE BLOCKING.
 5. ALL ANCHORS OF ACCESSORIES IN WET AREAS SHALL BE COORDINATED WITH OWNER.
 6. PROTECT ALL PLUMBING STACK LINES FROM INSTALLATIONS.
 7. PROVIDE BLOCKING AT ALL WALL HUNG FIXTURES.
 8. ACCESSORIES AND EQUIPMENT CONTRACTOR TO COORDINATE WITH ALL BATHROOM ACCESSORIES WITH ARCHITECT PRIOR TO INSTALLATION.

- Accessory/Reference Notes:**
- 1 NEW REFRIGERATOR SUBZERO WITH INTEGRATED FINISHED PANEL
 - 2 NEW FREEZER DRAWER SUBZERO SIDE-BY-SIDE FREEZER-STAINLESS
 - 3 NEW DISH WASHER
 - 4 NEW KITCHEN SINK WITH UNDERMOUNT FERGUSON STERILINK S1144ANA *MCALLISTER, AND TRASH DISPOSAL BY FRANKIE 3/4 HP WD75R
 - 5 NEW DOUBLE OVEN / RANGE - ELECTRICAL
 - 6 NEW RECESSED MICROWAVE CONNECTION
 - 7 NEW VENTILATION OVER COOKTOP THERMADOR
 - 8 NEW RECESSED GAS COOK TOP INDUCTION WITH 5 BURNERS MODEL
 - 9 NEW AUDIO, VISUAL AND COMPONENTS CLOSET (UNDER SEPARATE PERMIT)
 - 10 BATHROOM FAUCETS
 - 11 VANITY CABINET OF COUNTERTOP AND DOOR PANELS
 - 12 BATHROOM NEW TOILET
 - 13 NEW POLISHED CHROME TOWEL ROD
 - 14 NEW POLISHED CHROME MODERN TRAIN RACK BY RESTORATION HARDWARE SMALL
 - 15 NEW POLISHED CHROME MODERN TOWEL RING BY RESTORATION HARDWARE
 - 16 NEW POLISHED CHROME MODERN HOOK BY CLIENT. A. NEW POLISHED CHROME MODERN TOILET TISSUE HOLDER BY CLIENT AT ALL TOILETS. B. NEW POLISHED CHROME MODERN WALL-MOUNT SOAP DISH BY CLIENT AT ALL LAVATORIES. (TWO IN MASTER)
 - 17 WASHER AND DRYERS INSTALLED BY OTHERS

CLIENT:

Nogueroi Residence

Expansion & Remodel to Existing S.F.H.

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Coral Gables, FL 33134

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03 MAY/17	CONSTRUCTION DOCUMENTS
13 AUG/17	PERMITTING REVISION - 1
14 10 OCT/18	INTERIOR FIELD REVISION

01 JAN/15 PERMITTING RESPONSE

SEAL:

WESTLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE #A 89133
PROJECT NO.: 2018-07

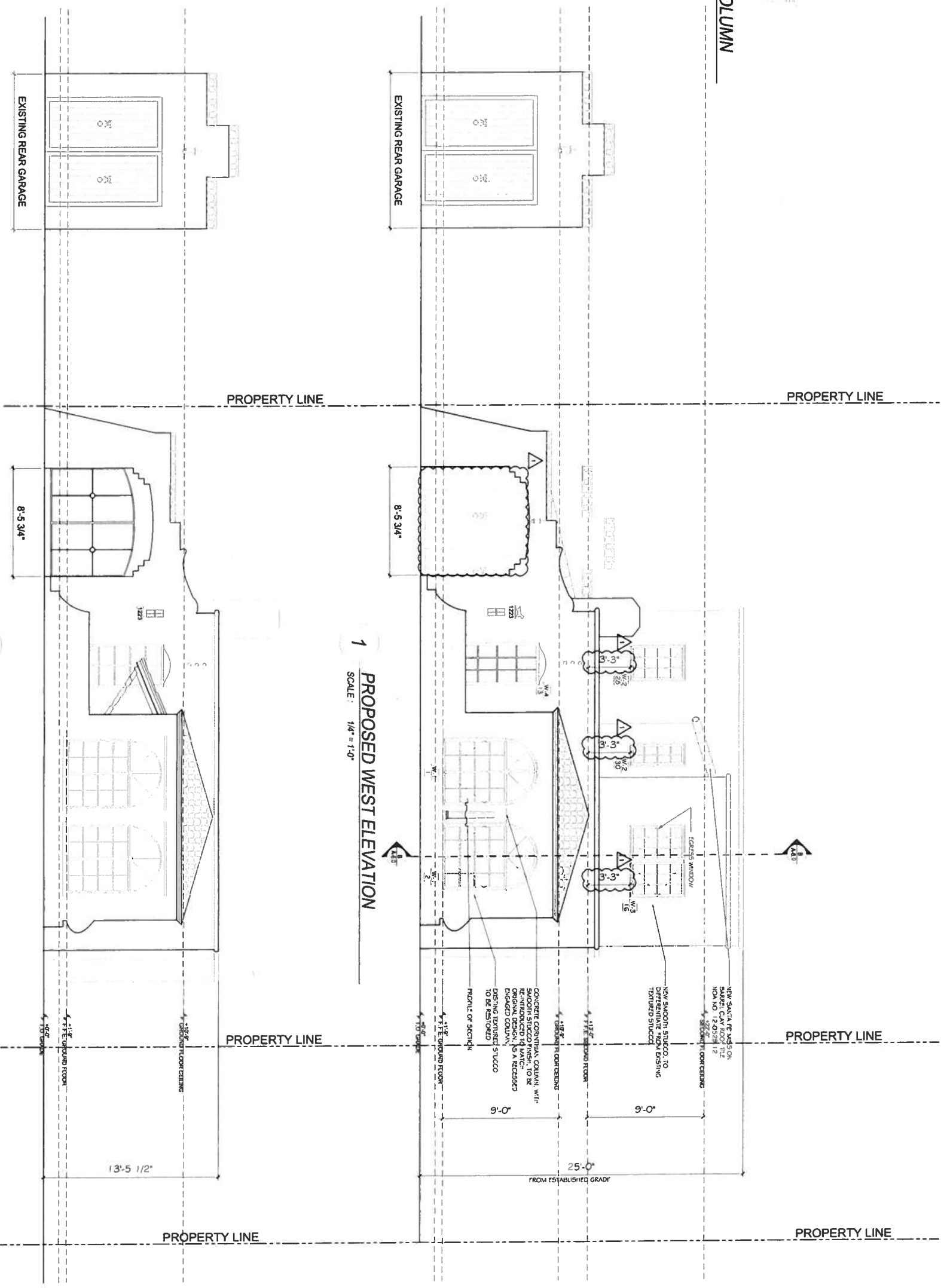
SECOND FLOOR FINISH & ACCESSORY PLAN

CHECKED BY: WC SHEET NO: A-3.2
DRAWN BY: AA
SCALE: AS NOTED
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1 FINISH & ACCESSORY PLAN (SECOND)
SCALE: 1/4" = 1'-0"



A DETAIL OF COLUMN
SCALE: 1" = 1'-0"



1 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

2 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

CLIENT
Nogueroi Residence
Expansion & Remodel to Existing S.F.H.
1223 Lisbon Street
Coral Gables, FL 33134



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12	03 MAR17	CONSTRUCTION DOCUMENTS
13	18 AUG17	PERMITTING REVISION - 1

WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE #189133
PROJECT NO: 2016-07

EXISTING & PROPOSED EXTERIOR EST ELEVATION

CHECKED BY: WC SHEET NO:
DRAWN BY: AA
SCALE AS NOTED
A-4.1
C 2016 BY CDS

SEAL:

NO. 004, VANCE, WALTER, ARCHITECT, REGISTERED PROFESSIONAL ARCHITECT, STATE OF FLORIDA, LICENSE NO. 189133, EXPIRES 12/31/2018. I HAVE REVIEWED THIS SET OF ARCHITECTURAL DRAWINGS AND I CERTIFY THAT THEY COMPLY WITH ALL APPLICABLE REGULATIONS AND I AM NOT PROVIDING ANY ADVICE OR OPINION ON THE MERIT OF THE DESIGN OR THE QUALITY OF THE WORK. I AM NOT PROVIDING ANY GUARANTEE OF THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. I AM NOT PROVIDING ANY GUARANTEE OF THE COMPLETION OF THE PROJECT OR THE TIMELINESS OF THE DELIVERY OF THE WORK. I AM NOT PROVIDING ANY GUARANTEE OF THE SUITABILITY OF THE WORK FOR ANY PARTICULAR PURPOSE. I AM NOT PROVIDING ANY GUARANTEE OF THE PROTECTION OF THE INTERESTS OF ANY PARTY. I AM NOT PROVIDING ANY GUARANTEE OF THE PROTECTION OF THE ENVIRONMENT. I AM NOT PROVIDING ANY GUARANTEE OF THE PROTECTION OF THE CULTURAL HERITAGE. I AM NOT PROVIDING ANY GUARANTEE OF THE PROTECTION OF THE HISTORIC CHARACTER OF ANY PROPERTY. I AM NOT PROVIDING ANY GUARANTEE OF THE PROTECTION OF THE PUBLIC SAFETY. I AM NOT PROVIDING ANY GUARANTEE OF THE PROTECTION OF THE HEALTH OF ANY PERSON. I AM NOT PROVIDING ANY GUARANTEE OF THE PROTECTION OF THE INTERESTS OF ANY PARTY. I AM NOT PROVIDING ANY GUARANTEE OF THE PROTECTION OF THE ENVIRONMENT. I AM NOT PROVIDING ANY GUARANTEE OF THE PROTECTION OF THE CULTURAL HERITAGE. I AM NOT PROVIDING ANY GUARANTEE OF THE PROTECTION OF THE HISTORIC CHARACTER OF ANY PROPERTY. I AM NOT PROVIDING ANY GUARANTEE OF THE PROTECTION OF THE PUBLIC SAFETY. I AM NOT PROVIDING ANY GUARANTEE OF THE PROTECTION OF THE HEALTH OF ANY PERSON.

CLIENT:

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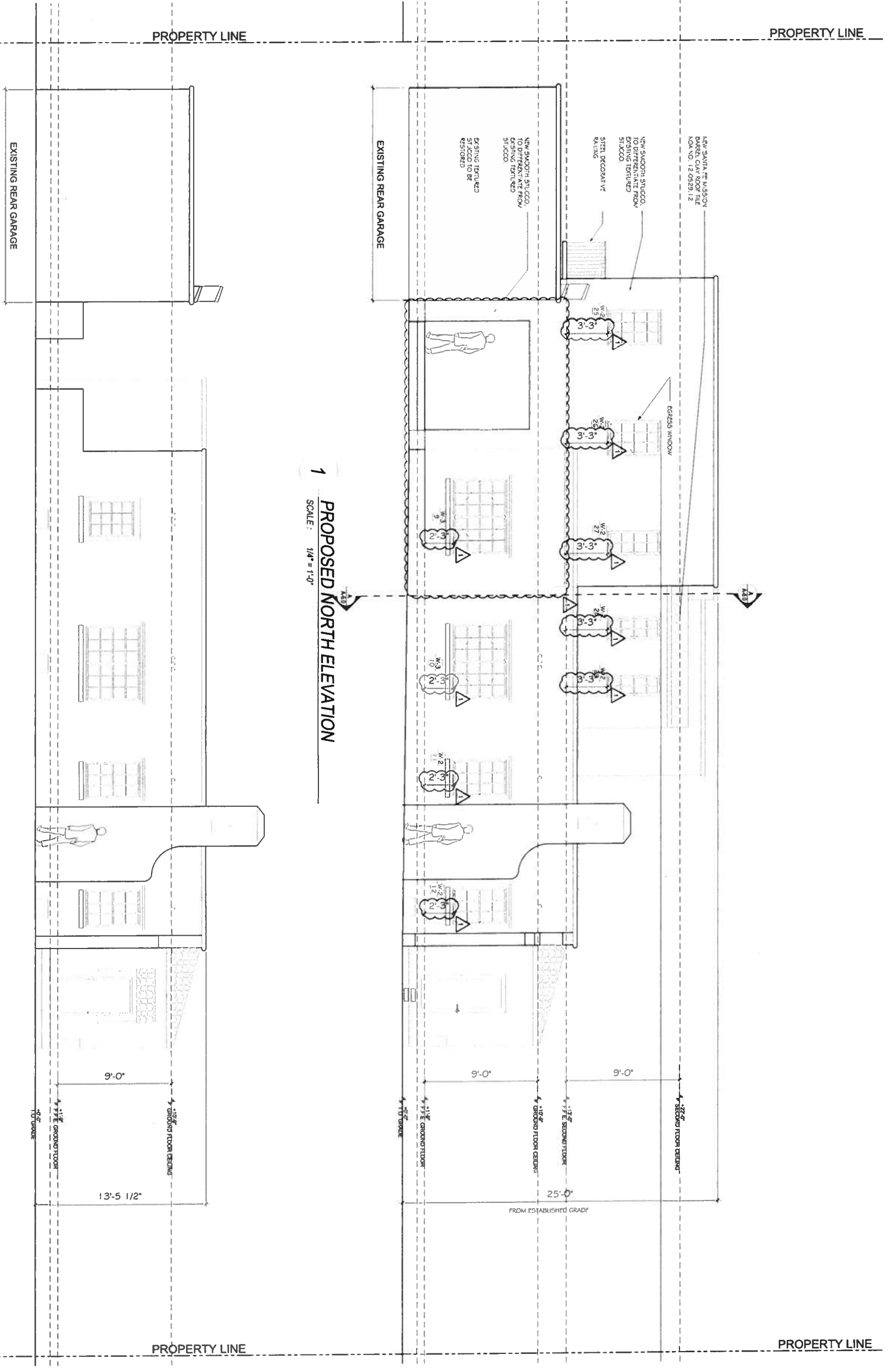
ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE FLORIDA BUILDING CODE (FBC). THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WORK SHOWN ON THESE DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE WORK SHOWN ON THESE DOCUMENTS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WORK SHOWN ON THESE DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE WORK SHOWN ON THESE DOCUMENTS.

SEAL:

WESLEY ART CASTELLANOS
 FLORIDA ARCHITECT LICENSE #181133
 PROJECT NO.: 2016-07

EXISTING & PROPOSED EXTERIOR NORTH

CHECKED BY: WC SHEET NO.
 DRAWN BY: JA A-4.2
 SCALE: AS NOTED
 C 2016 BY CDS



1 PROPOSED NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

2 EXISTING NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

Noguerol Residence
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12	03 JUNE 17	CONSTRUCTION DOCUMENTS
13	18 AUG 17	PERMITTING REVISION - 1

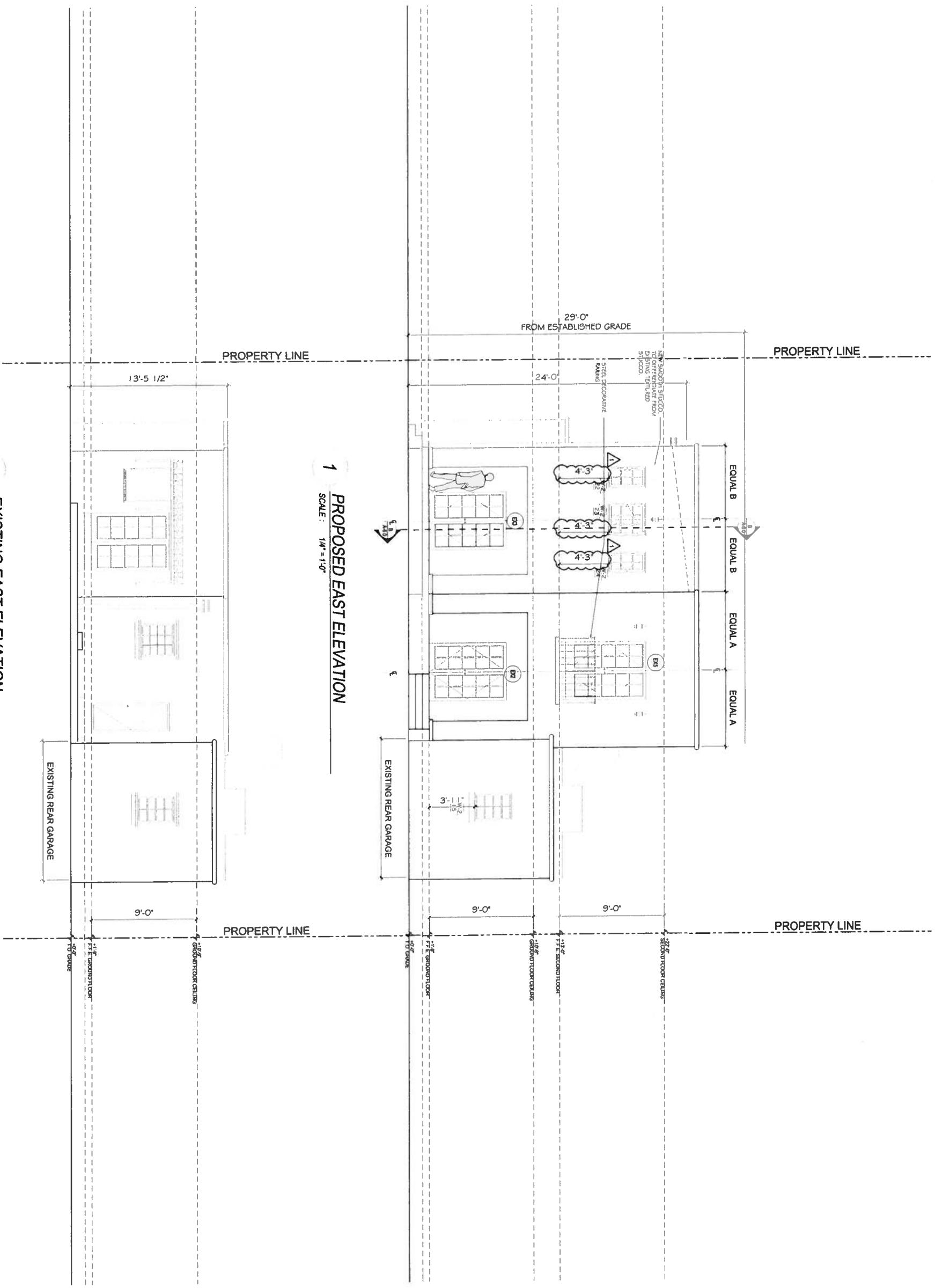
I, WESLEY ART CASTELLANOS, ARCHITECT, LICENSE #AR 961133, STATE OF FLORIDA, DO HEREBY CERTIFY THAT I AM THE DESIGNER OF THE ABOVE PROJECT AND THAT I AM A duly licensed and qualified professional architect in the State of Florida. I am not providing any services for this project that require a separate license or certification. I am not providing any services for this project that require a separate license or certification. I am not providing any services for this project that require a separate license or certification.

SEAL:

WESLEY ART CASTELLANOS
 FLORIDA ARCHITECT LICENSE #AR 961133
 PROJECT NO: 2016-07

EXISTING & PROPOSED EXTERIOR EAST

CHECKED BY: WC SHEET NO:
 DRAWN BY: JA
 SCALE AS NOTED
 C-2018 BY CBS
A-4.3



2 EXISTING EAST ELEVATION
 SCALE: 1/4" = 1'-0"

1 PROPOSED EAST ELEVATION
 SCALE: 1/4" = 1'-0"

CLIENT:

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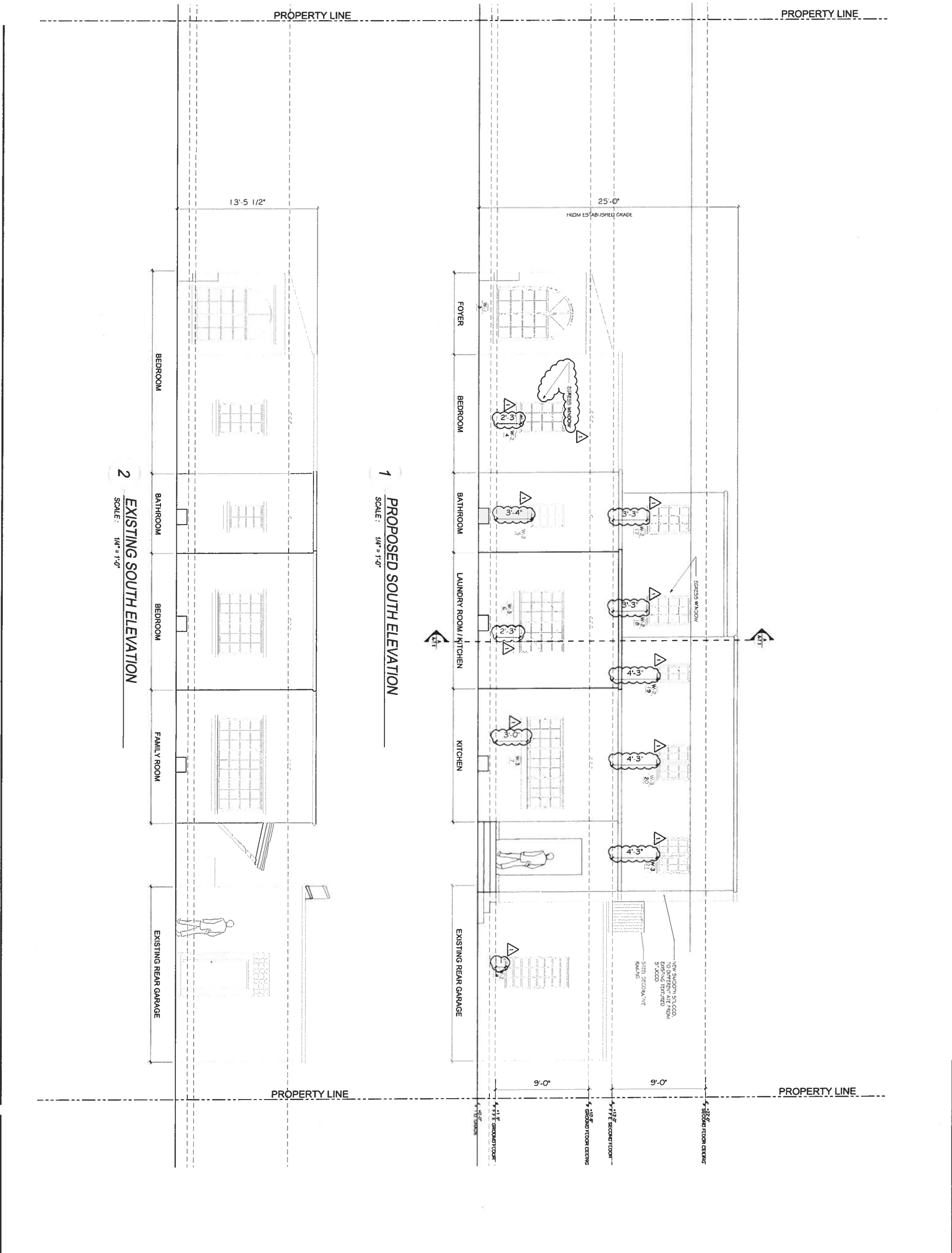
NO.	DATE	ISSUED / REVISED
12	03 MAR/17	CONSTRUCTION DOCUMENTS
13	18 AUG/17	PERMITTING REVISION - 1

DESIGN: WESLEY ART CASTELLANOS, ARCHITECT
 PROJECT NO. 2016-07
 FLORIDA ARCHITECT LICENSE #R 86133

SEAL:

WESLEY ART CASTELLANOS
 PROPOSED & EXISTING
 EXTERIOR SOUTH

CHECKED BY: WIC SHEET NO.
 DRAWN BY: JAA
 SCALE: AS NOTED
 C 2016 BY CDS
A-4.4



1
 PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

2
 EXISTING SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

CLIENT :

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NO. DATE ISSUED / REVISION

12	03 MAY/17	CONSTRUCTION DOCUMENTS
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DATE :

NO. :

ISSUED / REVISION :

CONSTRUCTION DOCUMENTS :

DATE :

NO. :

ISSUED / REVISION :

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DATE :

NO. :

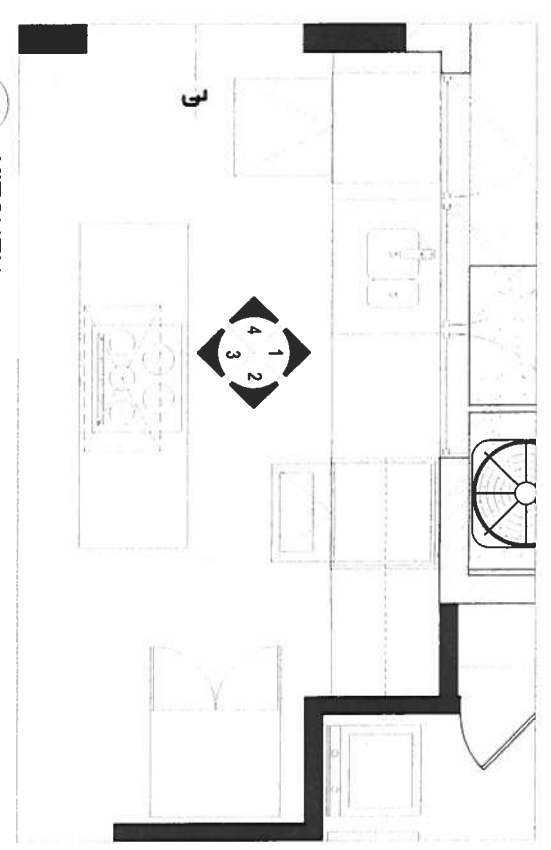
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CONSTRUCTION DOCUMENTS :

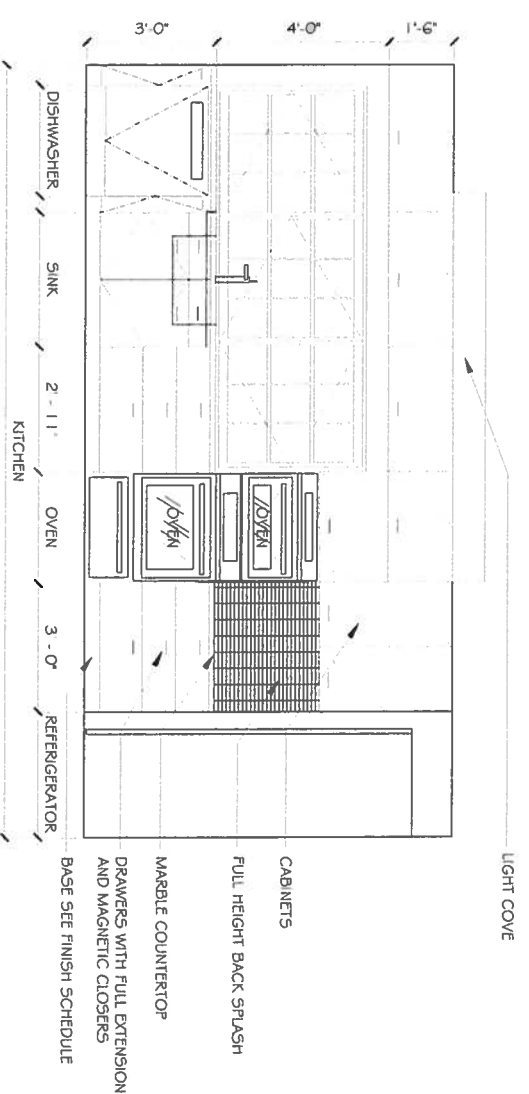
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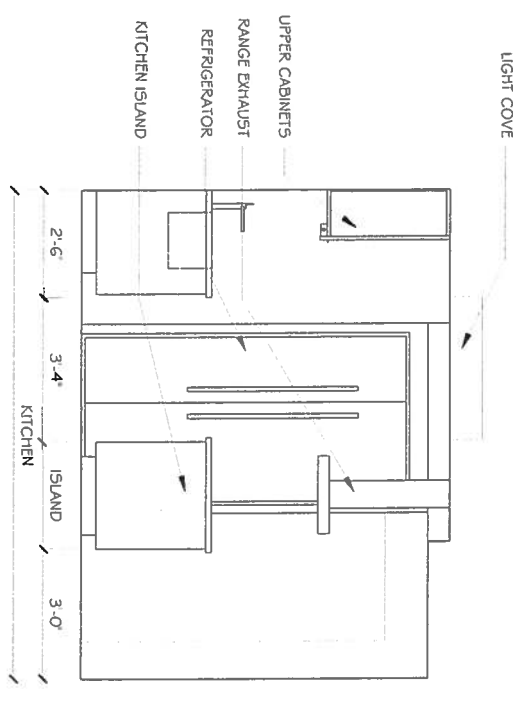
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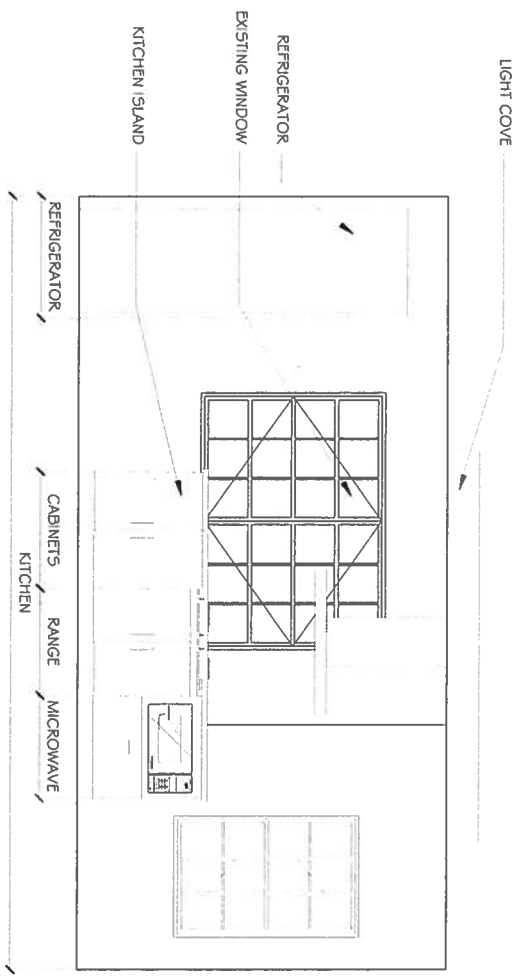
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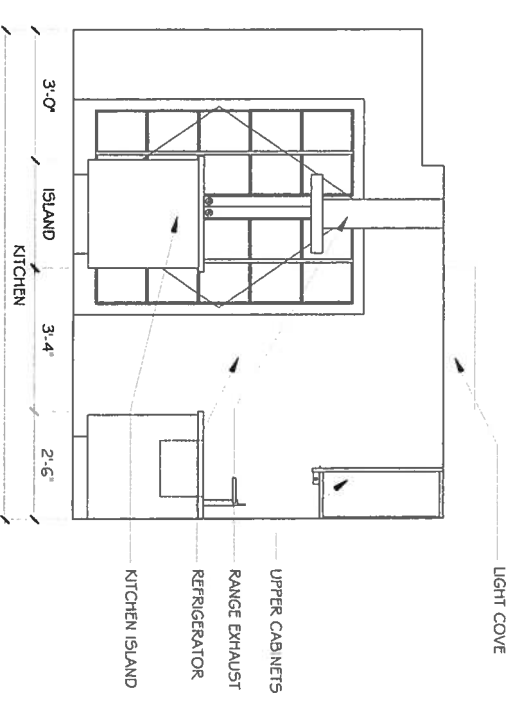
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2 PROPOSED ELEVATION
SCALE: 1/2" = 1'-0"



3 PROPOSED ELEVATION
SCALE: 1/2" = 1'-0"



4 PROPOSED ELEVATION
SCALE: 1/2" = 1'-0"

WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 98133
PROJECT NO. : 2016-017

PROPOSED INTERIOR ELEVATIONS
KITCHEN

CHECKED BY: WC SHEET NO.:
DRAWN BY: AA
SCALE: AS NOTED
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A-51

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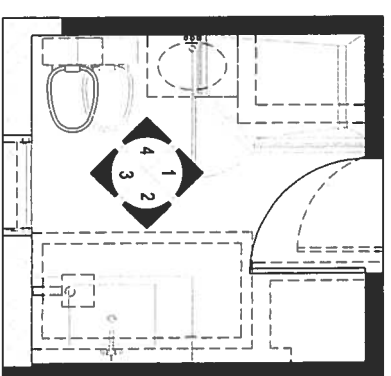
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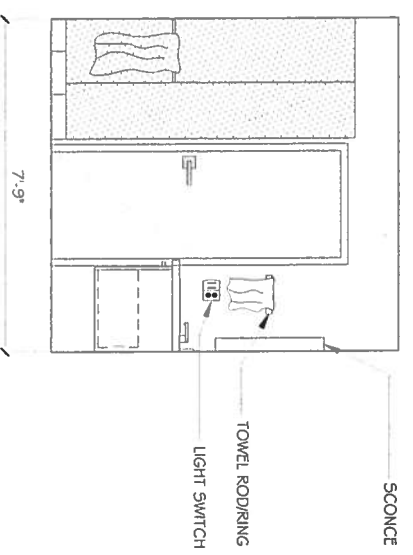
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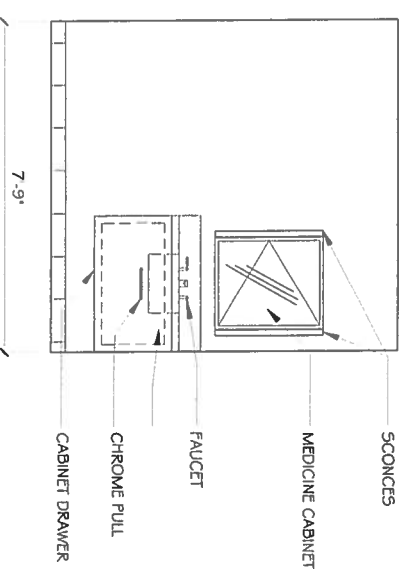
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12 03MAY17 CONSTRUCTION DOCUMENTS



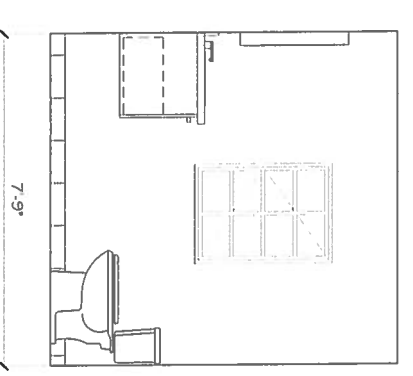
A ELEVATION - GUEST BATHROOM
SCALE: 1/2" = 1'-0"



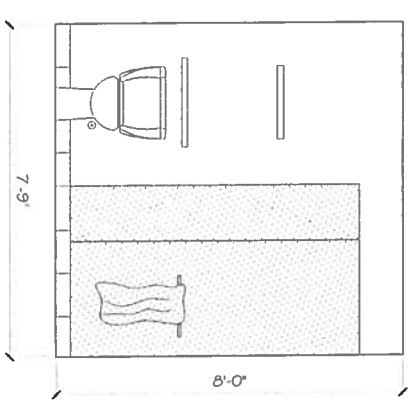
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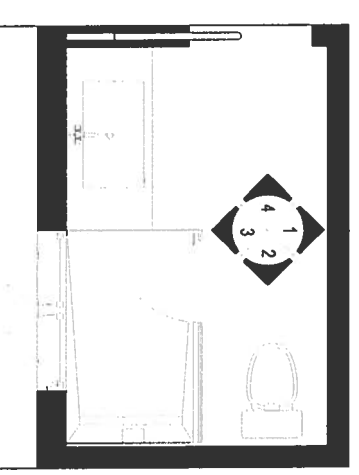
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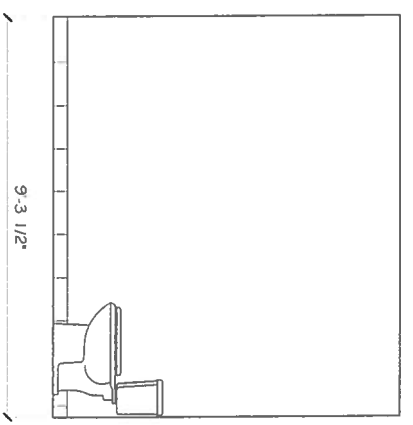
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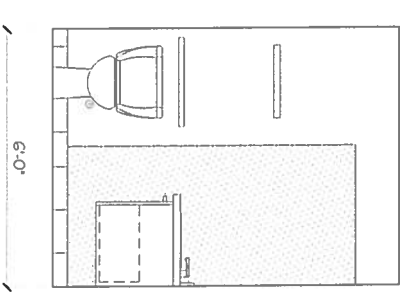
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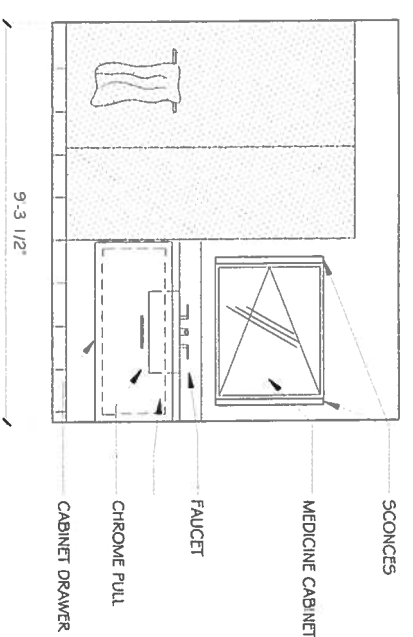
A ELEVATION - BEDROOM BATHROOM
SCALE: 1/2" = 1'-0"



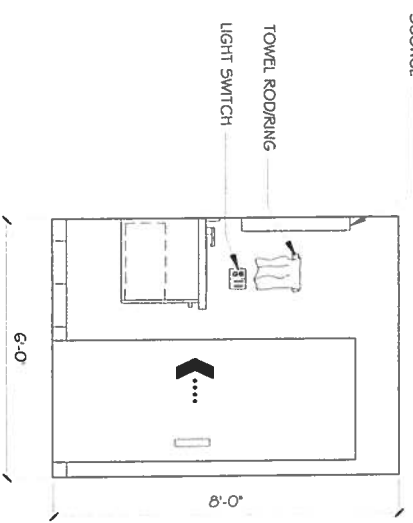
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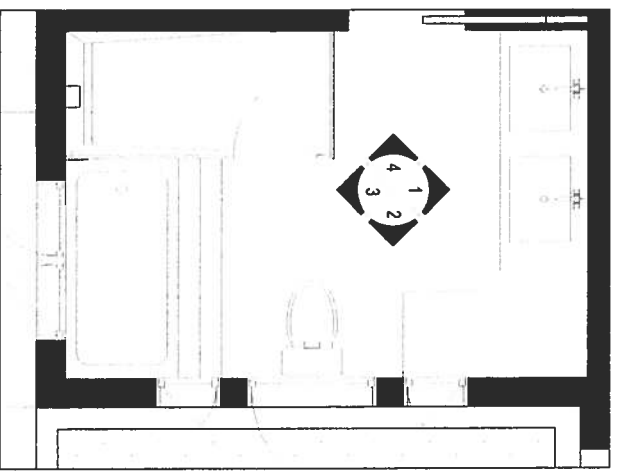
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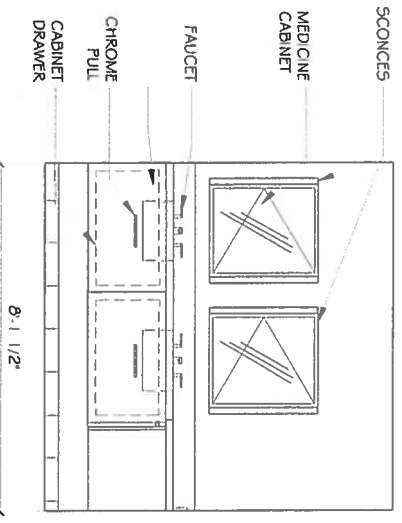
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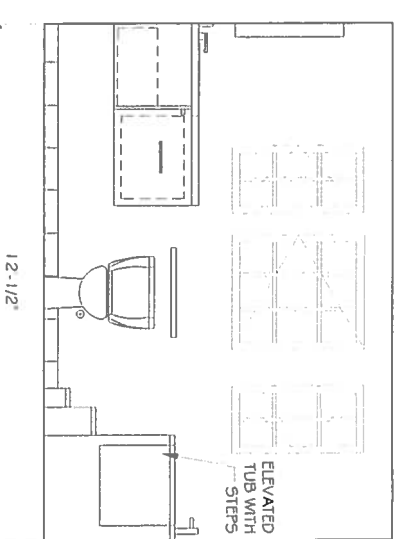
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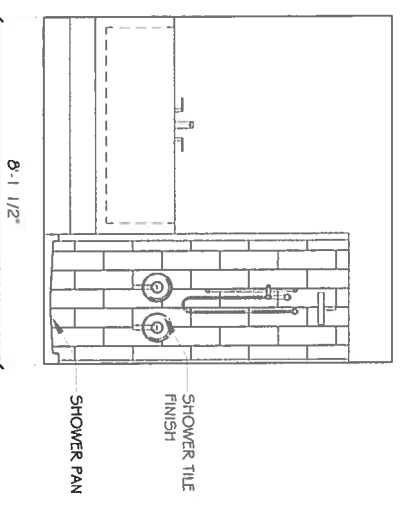
A ELEVATION - MASTER BATHROOM
SCALE: 1/2" = 1'-0"



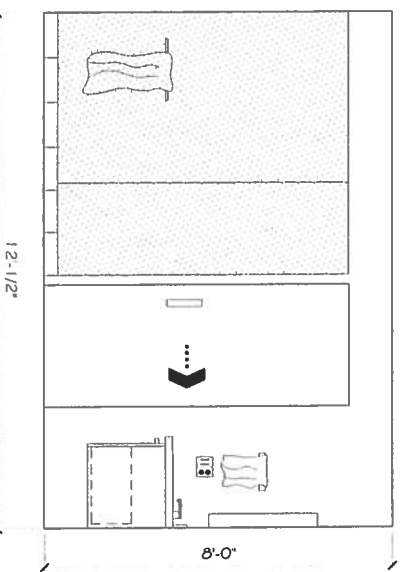
1 SCALE: 1/2" = 1'-0"



2 SCALE: 1/2" = 1'-0"



3 SCALE: 1/2" = 1'-0"



4 SCALE: 1/2" = 1'-0"

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SEAL:
WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE #AR 98133
PROJECT NO. 2016-07

PROPOSED
INTERIOR
ELEVATIONS
BATHROOMS

CHECKED BY: JWC SHEET NO. **A-12**
DRAWN BY: JAA
SCALE: AS NOTED
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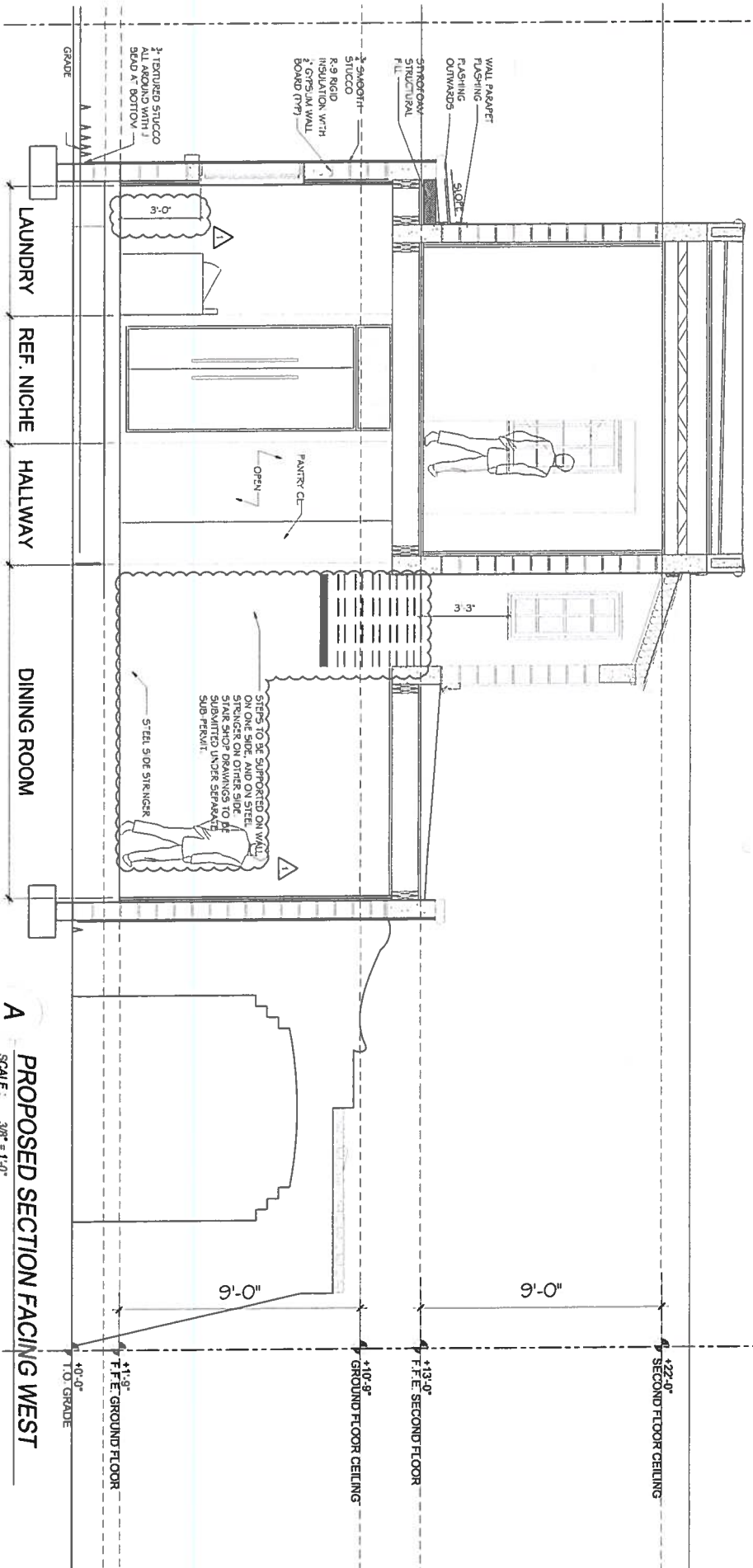
CLIENT

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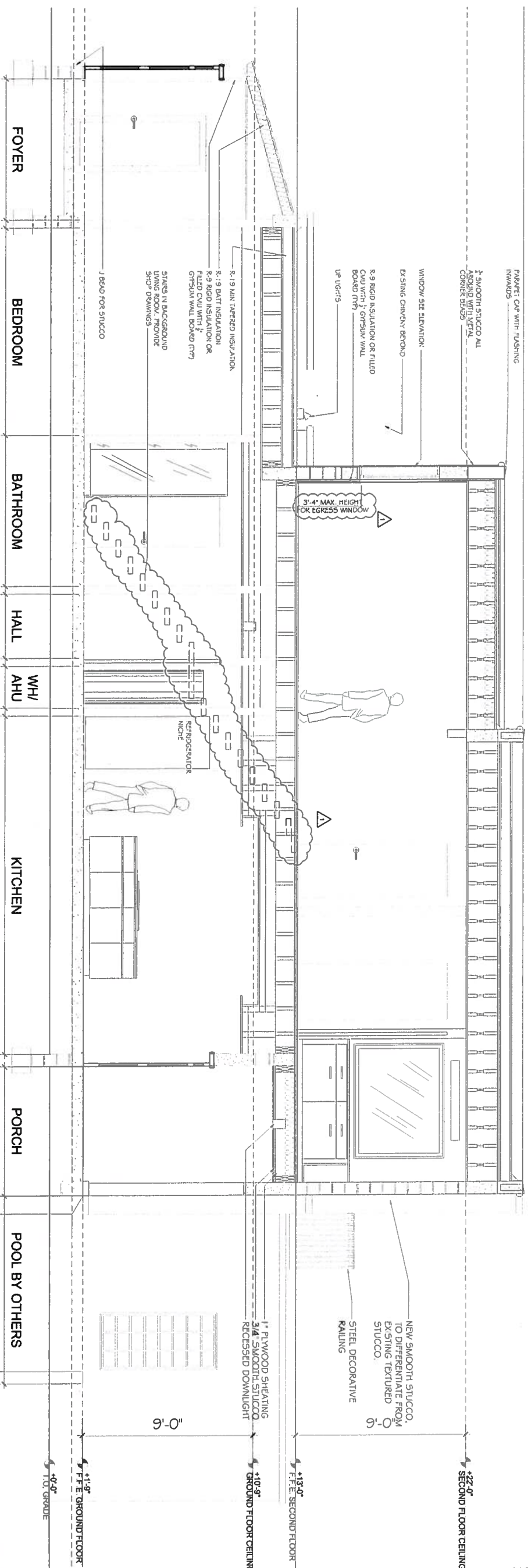


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12	03 MAR17	CONSTRUCTION DOCUMENTS
13	18 AUG17	PERMITTING REVISION - 1



A PROPOSED SECTION FACING WEST
SCALE: 3/8" = 1'-0"



B PROPOSED SECTION FACING NORTH
SCALE: 3/8" = 1'-0"

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND THE ENVIRONMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ARCHITECTURAL FEATURES AND MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE AND PLANTINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND THE ENVIRONMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ARCHITECTURAL FEATURES AND MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE AND PLANTINGS.

DESIGNED BY: CASTELLANOS
PROJECT NO: 2016-07
FLORIDA ARCHITECT LICENSE #198113

PROPOSED LONGITUDINAL & CROSS SECTIONS

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DRAWN BY: JA
SCALE: AS NOTED
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CLIENT:

**Nogueroi
Residence**

**Expansion & Remodel
to Existing S.F.:H.**

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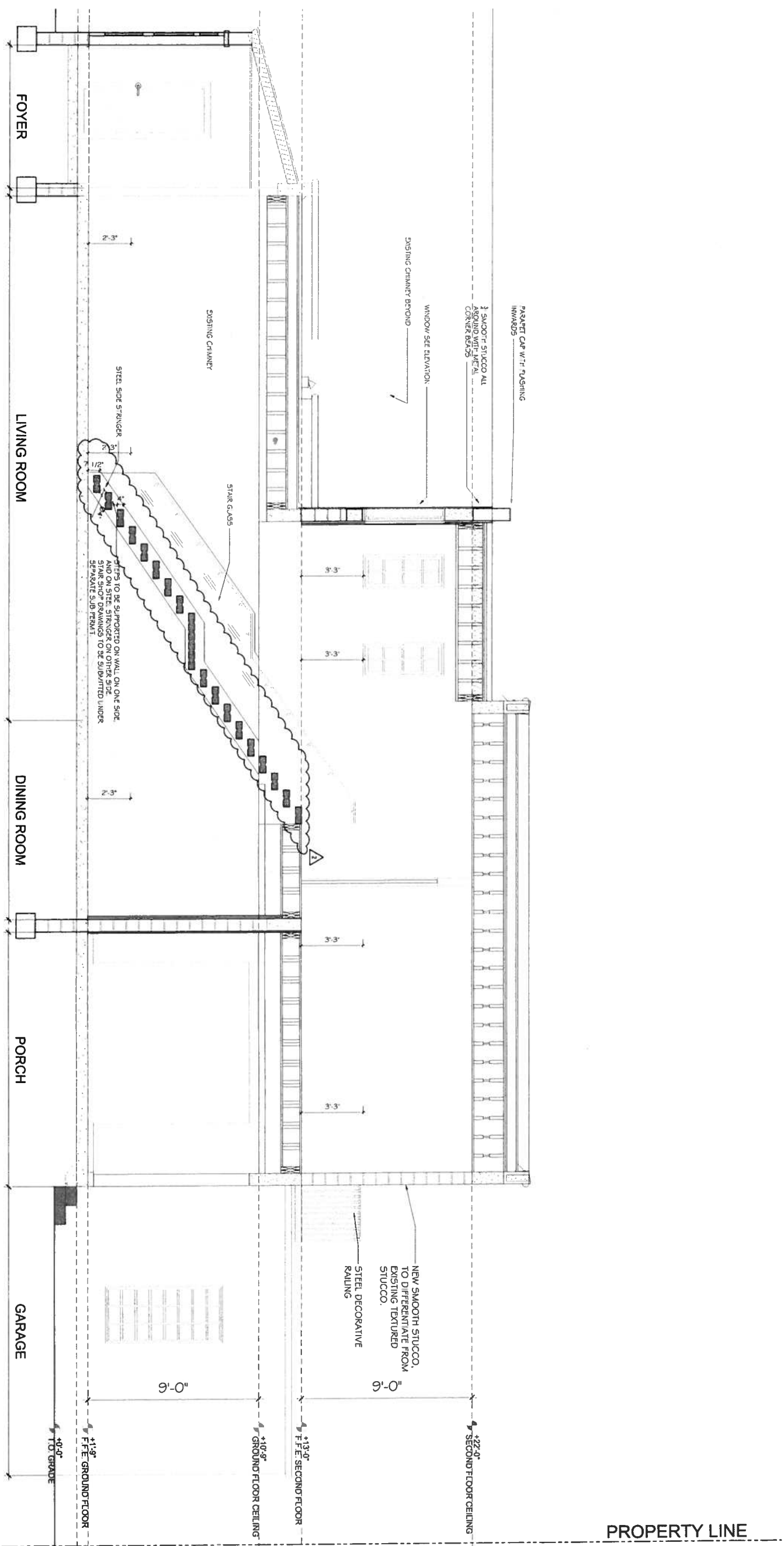
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12	03 MAY/17	CONSTRUCTION DOCUMENTS
13	18 AUG/17	PERMITTING REVISION - 1
14	18 JAN/18	PERMITTING REVISION - 2



PROPERTY LINE

A PROPOSED SECTION THROUGH STAIRS, FACING NORTH

SCALE: 3/8" = 1'-0"

ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE FLORIDA BUILDING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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FLORIDA ARCHITECT LICENSE #AR 66133
PROJECT NO: 2016-07

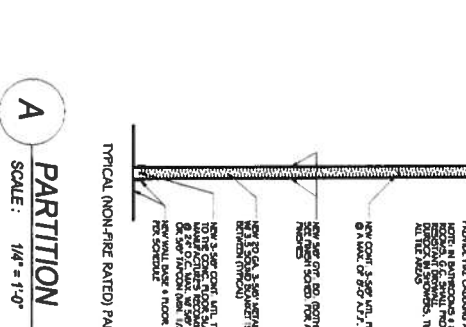
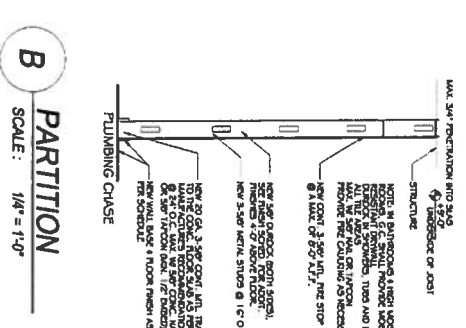
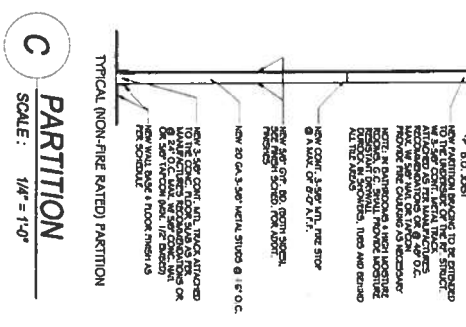
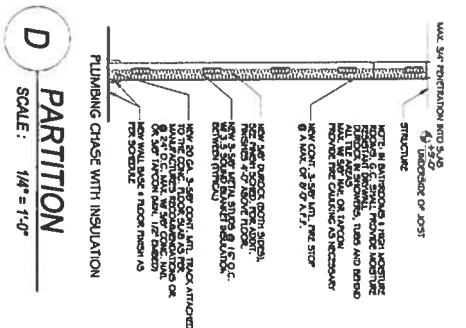
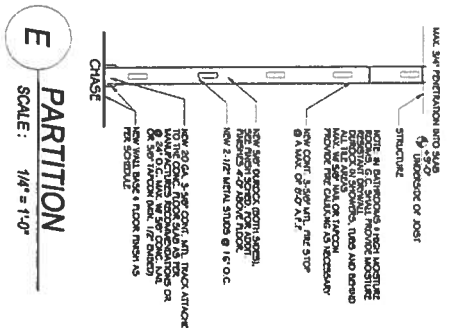
**PROPOSED
SECTION
THROUGH STAIR**

CHECKED BY: WC SHEET NO:
DRAWN BY: JA
SCALE AS NOTED
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WALL & PARTITION NOTES

1. ALL PARTITIONS & WALLS SHALL BE CONSTRUCTED FULL HEIGHT FROM TOP OF SLAB TO BOTTOM OF STRUCTURE OR FIRE RATED SOFFIT UNLESS SPECIFICALLY NOTED OTHERWISE.
2. PROVIDE CONTINUOUS CAULKING BEAD AT BOTH SIDES OF TOP & BOTTOM AND SIDES OF ALL PARTITIONS.
3. SEE FINISH SCHEDULE FOR FINISH AND BASE REQUIREMENTS.
4. FIRE STOP ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS AND WALLS. REFER TO DETAILS ABOVE.
5. EXTEND STRUCTURE OF ALL NEW WALLS TO DECK, UNLESS OTHERWISE NOTED.
6. PROVIDE 3-5/8" MIN. STUDS LATERAL BRACING @ 4'-0" O.C. AT ALL WALLS WHICH DO NOT EXTEND TO THE UNDERSIDE OF SCHEDULED STRUCTURE. PROVIDE MIN. 5/8" EMBEDMENT IN ANCHORING TO CONCRETE.
7. ALL STUDS SHALL BE 1/2" STUDS AND A MINIMUM OF 20 GAUGE UNLESS OTHERWISE NOTED.
8. AT WALL HUNG PLUMBING FIXTURES & CABINETS, STUDS SHALL BE A MINIMUM OF 20 GAUGE STUDS.
9. PROVIDE ALL NECESSARY BLOCKING FOR GRAB BARS, ACCESSORIES, PLUMBING FIXTURES, RAILING, ETC.
10. PROVIDE DUNROCK AT ALL SHOWERS, TUBS AND LOCATIONS SCHEDULED FOR NEW TILE FINISH (SEE FINISH SCHEDULE).
11. ALL PARTITIONS SHALL HAVE A CONTINUOUS FIRE STOP MAXIMUM HEIGHT OF 8'-0" A.F.F.
12. ALL WORK TO CONFORM TO IBC & MANUFACTURER RECOMMENDATIONS.
13. LABEL ALL SMOKE AND FIRE RATED WALLS WITH STENCILED 4" HIGH LETTERING, COLOR: WHITE RED, FIRE STANDARD BUILDING CODE, FTTING, ABOVE CEILING LINE ON BOTH SIDES OF THE PARTITION.
14. STUDS AND WOOD STUDS ARE AN ACCEPTABLE SUBSTITUTE FOR METAL PRESURE TREATED.
15. PAINT ALL WALLS 9'-0" AND ABOVE IN FLAT BLACK TO UNDERSIDE OF ROOF STRUCTURE.



CLIENT:

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FLORIDA ARCHITECT LICENSE AR 88133

PROJECT NO.: 2016-07

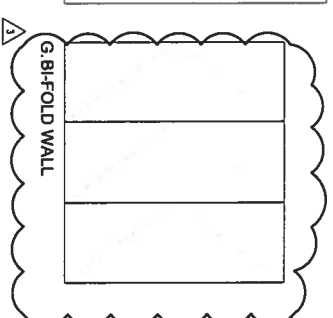
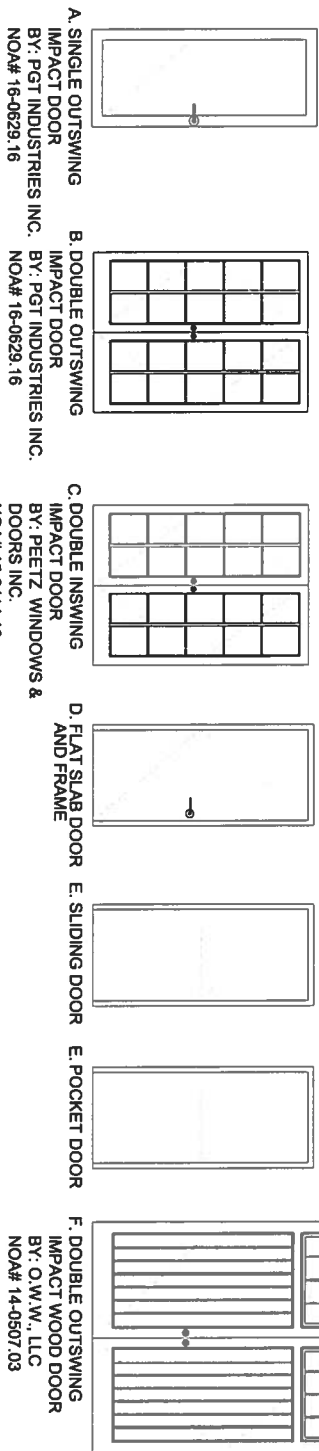
PARTITION TYPES

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SCALE AS NOTED
A-6.2
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DOOR SCHEDULE

DOOR NO.	ROOM NAME	DOOR TYPE	DOOR MATERIAL	FRAME MATL	WIDTH	HEIGHT	THICKNESS	RATING	GLASS TYPE	GLASS TINT	GLASS FINISH	UNDER CUT	WIND ZONE 4	WIND ZONE 5	WIND PRESSURES (MAXIMUM ALLOWED)	COMMENTS	SPACING
EX1	ENTRY DOOR	A	SC. WD.	MTL	3'-0"	7'-0"	1-3/4"	-					+38.6/-42.0	+80.0/-80.0	+80.0/-80.0		EQUALLY SPACED
EX2	PATIO DOOR	B	SC. WD.	MTL	2'(2'-6")	7'-0"	1-3/4"	-					+38.6/-42.0	+80.0/-80.0	+80.0/-80.0		
EX3	PATIO DOOR	B	SC. WD.	MTL	2'(2'-6")	7'-0"	1-3/4"	-					+38.6/-42.0	+80.0/-80.0	+80.0/-80.0		
ID0	GARAGE	F	SC. WD.	MTL	2'(4'-0")	8'-0"	1-3/4"	-					-	+38.6/-50.3	+80.0/-80.0		
EX5	BALCONY	C	SC. WD.	MTL	2'(2'-6")	7'-0"	1-3/4"	-					+38.6/-42.0	-	+100.0/-120.0		
ID1	BEDROOM	F	SC. WD.	WD	(4)-2'-4"	8'-0"	1-3/4"	-					-	-	-		
ID2	BATHROOM	D	SC. WD.	WD	2'-2"	7'-0"	1-3/4"	-					-	-	-		
ID3	AHU / WH	E	SC. WD.	WD	2'(2'-10")	7'-0"	1-3/4"	-					-	-	-		
ID4	NOT USED												-	-	-		
ID5	NOT USED												-	-	-		
ID6	NOT USED												-	-	-		
ID7	MASTER BEDROOM	D	SC. WD.	WD	2'-10"	7'-0"	1-3/4"	-					-	-	-		
ID8	NOT USED												-	-	-		
ID9	MASTER BATH	F	SC. WD.	WD	2'-8"	7'-0"	1-3/4"	-					-	-	-		
ID10	BATHROOM	F	SC. WD.	WD	2'-10"	7'-0"	1-3/4"	-					-	-	-		
ID11	HALLWAY BR2	D	SC. WD.	WD	2'-10"	7'-0"	1-3/4"	-					-	-	-		

NOTE: 1. ALL DOOR DIMENSIONS HAVE BEEN SPECIFIED BASED ON MANUFACTURERS LISTED BELOW.
 IF SPECIFIED DOORS ARE SUBSTITUTED WITH ANOTHER MANUFACTURER, FINAL AND ROUGH DIMENSIONS MAY VARY AND G.C. SHALL COORDINATE ALL DIMENSIONS AND BEFORE ORDERING, ANY SUBSTITUTIONS SHALL BE APPROVED AND OF EQUAL QUALITY.
 2. G.C. SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS OF ALL ROUGH OPENINGS.
 3. ALL EXISTING DOOR HEADERS SHALL REMAIN THE SAME.
 4. ALL GLASS TO BE CLASS II TEMP. SAFETY GLASS.
 5. ALLOW 6" BETWEEN WALL AND DOOR HINGE MIN. CONFIRM ALL ADA CLEARANCES.
 6. ALL GLASS SHALL HAVE U-VALUE MIN 0.65 AND SHADE COEFFICIENCY MINIMUM OF 0.30 SC. GRAY TINT



DOOR / HARDWARE KEYNOTES

- CONTRACTOR TO SUBMIT INDICATION OF MIAMI-DADE PRODUCT APPROVAL, PRODUCT DATA AND SHOP DRAWINGS FOR ALL DOORS FOR ARCHITECT REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR TO SUBMIT CUT-SHEETS FOR ALL HARDWARE FOR ARCHITECT REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL BE LEVER-OPERATED MECHANISMS, PUSH-TYPE MECHANISMS OR U-SHAPED HANDLES. HARDWARE SHALL BE MOUNTED NO HIGHER THAN 48 INCHES ABOVE THE FINISHED FLOOR.
- THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS:
 - A) EXTERIOR HINGED DOORS - 8.5 LBF
 - B) INTERIOR HINGED DOORS - 5 LBF
 - C) SLIDING OR FOLDING DOORS - 5 LBF
- EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

DOOR HARDWARE SCHEDULE

DOOR NO.	ROOM NAME	LOCKSET	SIGNAGE	HINGES	THRESHOLD / TRANSITION STRIP	SILENCERS	SWEEP	WEATHER STRIPPING	DOOR STOPS	CLOSERS	ASTRAGALS	KICK PLATES	FINISHES	COMMENTS
EX1	ENTRY DOOR	HDWR-1		4 (4-1/2")									ANODIZED	
EX2	PATIO DOOR	HDWR-1		4 (4-1/2")									ANODIZED	
EX3	PATIO DOOR	HDWR-1		4 (4-1/2")									ANODIZED	
ID0	GARAGE	HDWR-1		4 (4-1/2")									ANODIZED	
EX5	BALCONY	HDWR-1		4 (4-1/2")									ANODIZED	
ID1	BEDROOM	HDWR-1		4 (4-1/2")									PAINT	
ID2	BATHROOM	HDWR-1		4 (4-1/2")									PAINT	
ID3	AHU / WH	HDWR-2		4 (4-1/2")									PAINT	
ID4	NOT USED												PAINT	
ID5	NOT USED												PAINT	
ID6	NOT USED												PAINT	
ID7	MASTER BEDROOM	HDWR-1		4 (4-1/2")									PAINT	
ID8	NOT USED												PAINT	
ID9	MASTER BATH	HDWR-1		4 (4-1/2")									PAINT	
ID10	BATHROOM	HDWR-1		4 (4-1/2")									PAINT	
ID11	HALLWAY BR2	HDWR-1		4 (4-1/2")									PAINT	

NOTE: HARDWARE 1: LEVER (OFFICE FUNCTION)
 HARDWARE 2: LEVER (PASSAGE FUNCTION)
 HARDWARE 3: PULLS (AS BY MANUFACTURER)

CLIENT :

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13	18 AUG/17	PERMITTING REVISION - 1
14	10 OCT/18	INTERIOR FIELD REVISION

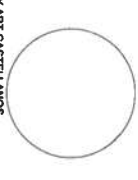
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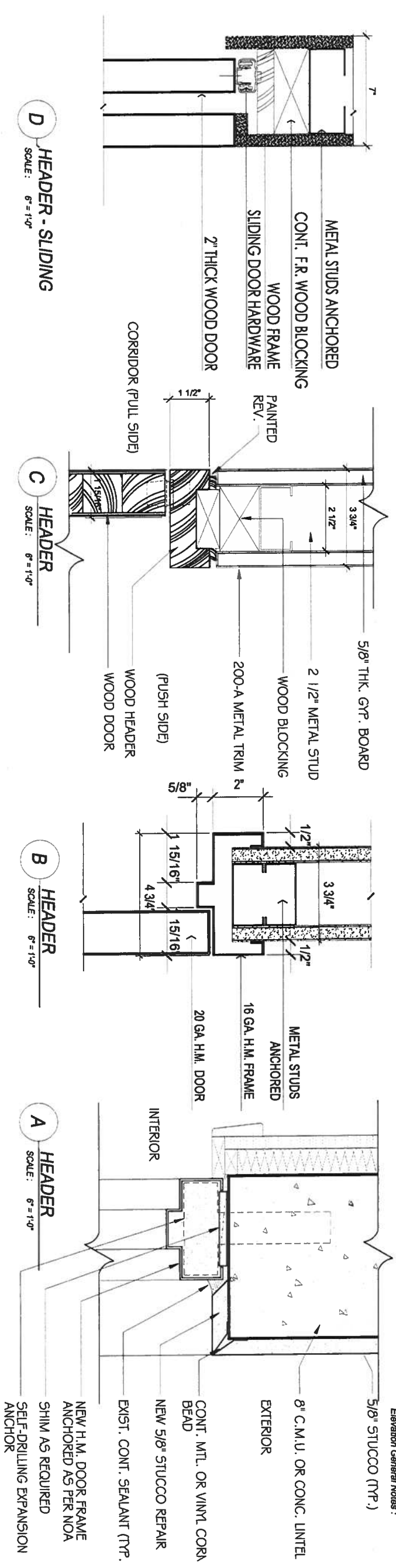


WESLEY ART CASTELLANOS
 FLORIDA ARCHITECT LICENSE #18133
 PROJECT NO: 2018-07

DOOR SCHEDULE

CHECKED BY: WJC SHEET NO:
 DRAWN BY: AA
 SCALE AS NOTED
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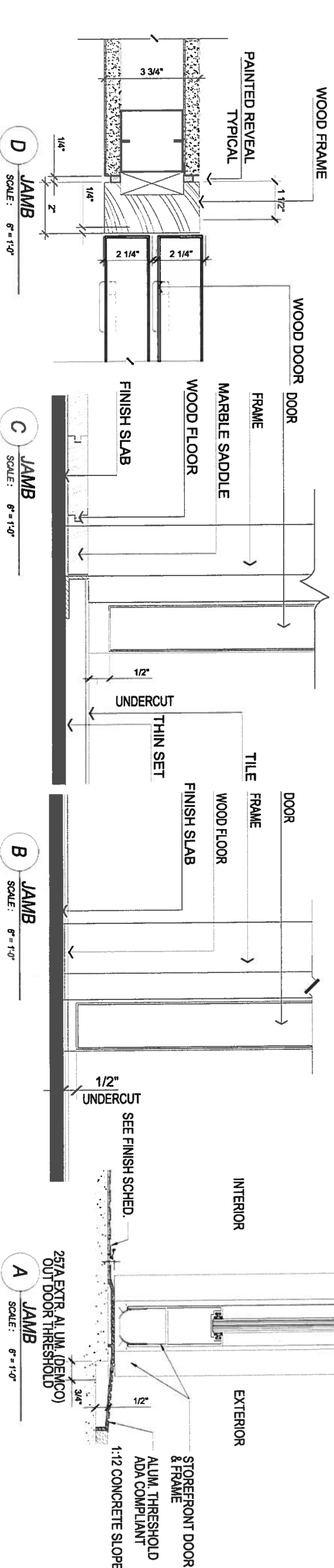


D HEADER - SLIDING
SCALE: 6" = 1'-0"

C HEADER
SCALE: 6" = 1'-0"

B HEADER
SCALE: 6" = 1'-0"

A HEADER
SCALE: 6" = 1'-0"

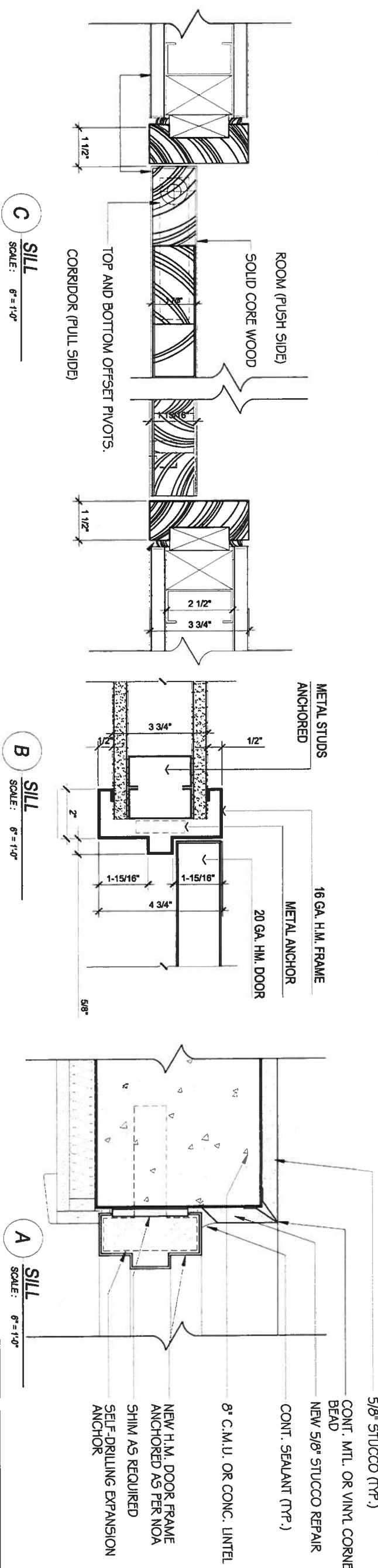


D JAMB
SCALE: 6" = 1'-0"

C JAMB
SCALE: 6" = 1'-0"

B JAMB
SCALE: 6" = 1'-0"

A JAMB
SCALE: 6" = 1'-0"



C SILL
SCALE: 6" = 1'-0"

B SILL
SCALE: 6" = 1'-0"

A SILL
SCALE: 6" = 1'-0"

CLIENT:

Nogueroi Residence
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DESIGNED BY: ART CASTELLANOS
FLORIDA ARCHITECT LICENSE #AR 65153
PROJECT NO.: 2018-07

DOOR DETAILS

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DRAWN BY: JAA
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SHEET NO.:
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WINDOW SCHEDULE

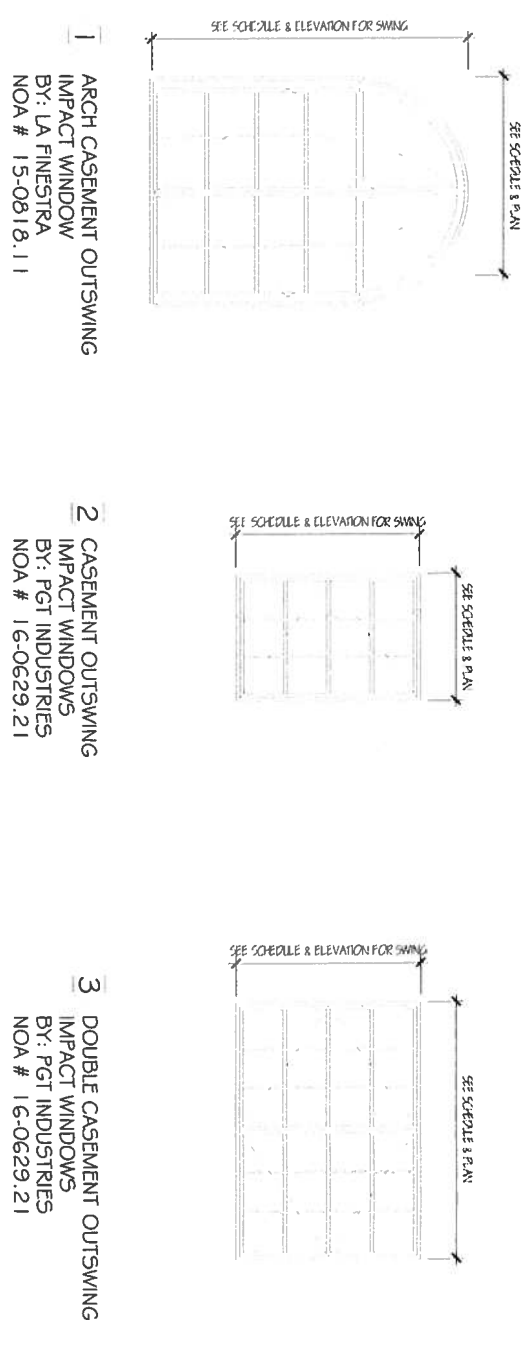
WINDOW LTR.	WINDOW STYLE	TYPE	MATERIAL	R.O. SIZE	HT.	SILL ELEV.	TYPE	GLASS THKNS	TINT	SILL DETAIL	HEAD DETAIL	JAMB DETAIL	WIND ZONE	PRESSURES	WIND ZONE	PRESSURES	COMMENTS	
W1	CASEMENT OUTSWING	1	ALUM.	5'-2"	7'-4"	0'-0"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W2	CASEMENT OUTSWING	1	ALUM.	5'-2"	7'-4"	0'-0"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W3	CASEMENT OUTSWING	1	ALUM.	5'-2"	7'-4"	0'-0"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W4	CASEMENT OUTSWING	2	ALUM.	3'-0"	4'-3"	2'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W5	CASEMENT OUTSWING	2	ALUM.	2'-4"	3'-2"	2'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W6	CASEMENT OUTSWING	3	ALUM.	2 (3'-0")	4'-3"	2'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W7	CASEMENT OUTSWING	3	ALUM.	3 (3'-0")	4'-3"	2'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W8	CASEMENT OUTSWING	2	ALUM.	3'-0"	4'-3"	2'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W9	CASEMENT OUTSWING	3	ALUM.	2 (3'-0")	4'-3"	2'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W10	CASEMENT OUTSWING	2	ALUM.	2 (3'-0")	4'-3"	2'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W11	CASEMENT OUTSWING	2	ALUM.	2 (3'-0")	4'-3"	2'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W12	CASEMENT OUTSWING	2	ALUM.	2 (3'-0")	4'-3"	2'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W13	CASEMENT OUTSWING	2	ALUM.	2 (3'-0")	4'-3"	2'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W14	CASEMENT OUTSWING	2	ALUM.	3'-4"	6'-2"	1'-6"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W15	CASEMENT OUTSWING	2	ALUM.	2 (3'-0")	4'-3"	2'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W16	CASEMENT OUTSWING	3	ALUM.	2 (2'-10")	4'-3"	3'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W17	CASEMENT OUTSWING	2	ALUM.	2 (2'-8")	4'-3"	3'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W18	CASEMENT OUTSWING	2	ALUM.	2 (2'-8")	4'-3"	3'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W19	CASEMENT OUTSWING	2	ALUM.	1'-10"	3'-3"	4'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W20	CASEMENT OUTSWING	3	ALUM.	2 (1'-10")	3'-3"	4'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W21	CASEMENT OUTSWING	3	ALUM.	2 (1'-10")	3'-3"	4'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W22	CASEMENT OUTSWING	2	ALUM.	1'-6"	3'-3"	4'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W23	CASEMENT OUTSWING	2	ALUM.	3'-0"	3'-3"	4'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W24	CASEMENT OUTSWING	2	ALUM.	1'-6"	3'-3"	4'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W25	CASEMENT OUTSWING	2	ALUM.	2'-10"	4'-3"	3'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W26	CASEMENT OUTSWING	2	ALUM.	2'-10"	4'-3"	3'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W27	CASEMENT OUTSWING	2	ALUM.	2'-10"	4'-3"	3'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W28	CASEMENT OUTSWING	2	ALUM.	2'-10"	4'-3"	3'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W29	CASEMENT OUTSWING	2	ALUM.	2'-0"	4'-3"	3'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W30	CASEMENT OUTSWING	2	ALUM.	2'-0"	4'-3"	3'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW
W31	CASEMENT OUTSWING	2	ALUM.	2'-0"	4'-3"	3'-3"	IMPACT	5/16"	LOW E				4	+40.5/-43.9	5	+40.5/-43.4	+75.0/-75.0	EGRESS WINDOW

NOTE: 1. ALL WINDOW DIMENSIONS HAVE BEEN SPECIFIED BASE SIZES PRODUCED BY WINDOW MANUFACTURERS LISTED BELOW. IF SPECIFIED WINDOWS ARE SUBSTITUTED WITH ANOTHER MANUFACTURE, FINAL AND ROUGH DIMENSIONS MAY VARY AND G.C. SHALL COORDINATE ALL DIMENSIONS BEFORE ORDERING. ANY SUBSTITUTIONS SHALL BE APPROVED AND OF EQUAL QUALITY

2. ALL WINDOWS SHALL BE SHIP PAINTED WENGE ALUMINUM FINISH BY MANUFACTURER

3. ALL GLASS TO BE ATLANTICA SOLARBAN 70XL (3) GLASS, U-VALUE OF 0.65 WITH 0.30 SC (SHADE COEFFICIENCY)

4. ALL GLASS SHALL HAVE U-VALUE MIN 0.65 AND SHADE COEFFICIENCY MINIMUM OF 0.30 SC. GRAY TINT



NOTE: BEFORE ORDERING G.C. TO VERIFY ROUGH OPENING AND EXISTING CONDITIONS.

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Expansion & Remodel to Existing S.F.H.
1223 Lisbon Street
Coral Gables, FL 33134

CDS
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Miami, FL 33131
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License #AA 20002467
WWW.CASTELLANOSDESIGN.COM

No.	DATE	ISSUED / REVISD
12	03 AUGUST	CONSTRUCTION DOCUMENTS
13	18 AUGUST	PERMITTING REVISION - 1

WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 98133
PROJECT NO. 2016-07

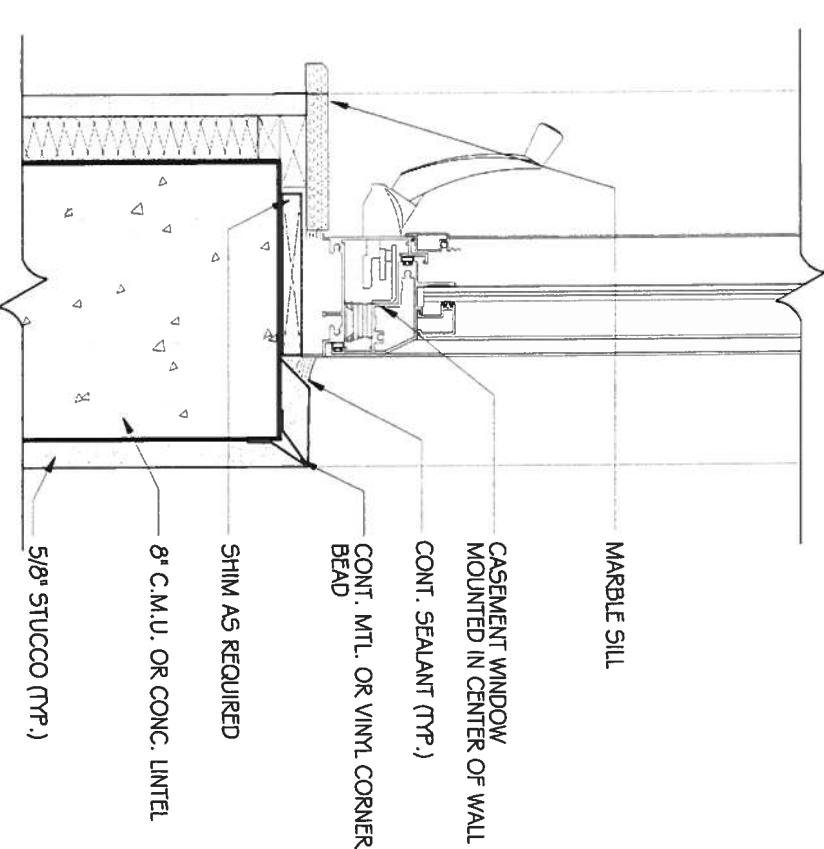
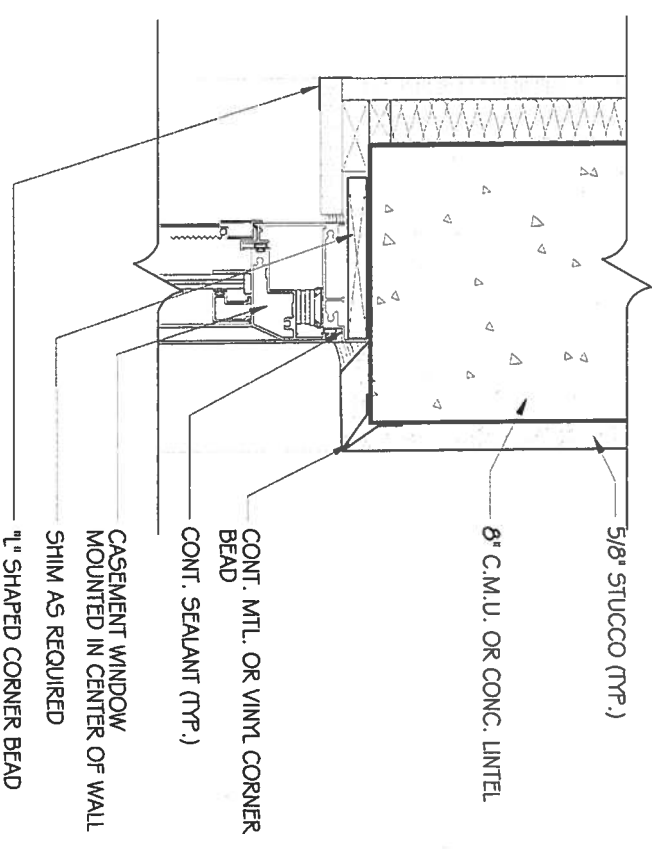
CHECKED BY: W.C. SHEET NO.
DRAWN BY: J.A. A-7.3
SCALE: AS NOTED
C 2016 BY CDS

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 SCHEDULE

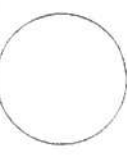
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No.	DATE	ISSUED / REVISED
12	03 MARCH	CONSTRUCTION DOCUMENTS



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DESIGNED BY: ART CASTELLANOS
 FLORIDA ARCHITECT LICENSE #13153
 PROJECT NO.: 2018-07

WINDOW DETAILS

CHECKED BY: WC SHEET NO.:
 DRAWN BY: JA A-7.4
 SCALE AS NOTED
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CLIENT :

**Nogueroi
Residence**
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Coral Gables, FL 33134



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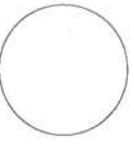
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No.	DATE	ISSUED / REVISED
12	03 MAR/17	CONSTRUCTION DOCUMENTS
13	10 OCT/19	INTERIOR FIELD REVISION

BACK COVER SHEET - LEFT INTENTIONALLY BLANK

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SEAL :



WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 86133
PROJECT NO : 201947

**BACK COVER
SHEET**

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DRAWN BY : JA X-X
SCALE AS NOTED
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JOHN IBARRA & ASSOCIATES, INC.

Professional Land Surveyors & Mappers

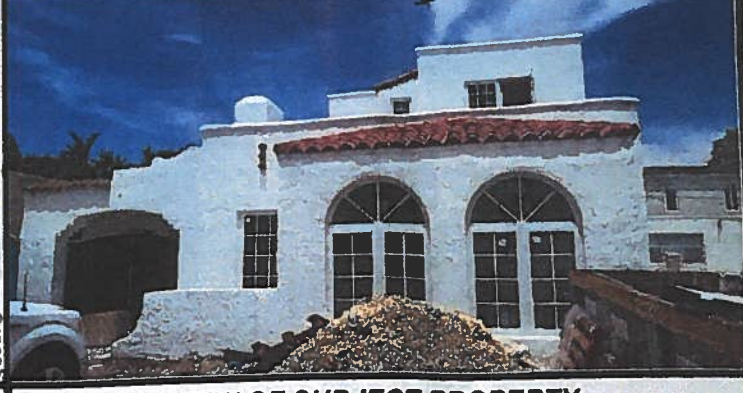
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FAX: (239) 540-2644



LOCATION SKETCH
SCALE = N.T.S.



VIEW OF SUBJECT PROPERTY
1223 LISBON STREET, CORAL GABLES, FLORIDA 33134

ABBREVIATIONS

A = ARC
 AC = AIR CONDITIONER PAD
 A.E. = ANCHOR EASEMENT
 A.R. = ALUMINUM ROOF
 A.S. = ALUMINUM SHED
 ASPH. = ASPHALT
 B.C. = BLOCK CORNER
 BLDG. = BUILDING
 B.M. = BENCH MARK
 B.C.R. = BROWARD COUNTY RECORDS
 B.O.B. = BASIS OF BEARING
 B.S.L. = BUILDING SETBACK LINE
 (C) = CALCULATED
 C.B. = CATCH BASIN
 C.B.S. = CONCRETE BLOCK STRUCTURE
 C.B.W. = CONCRETE BLOCK WALL
 CH. = CHORD
 CH.B. = CHORD BEARING
 CH.L. = CHORD LENGTH
 CL. = CLEAR
 C.O. = CLEAN OUT
 C.L.F. = CHAIN LINK FENCE
 C.M.E. = CANAL MAINTENANCE EASEMENT
 CONC. = CONCRETE
 C.U.P. = CONCRETE UTILITY POLE
 C.P. = CONCRETE PORCH
 C.S. = CONCRETE SLAB
 C.W. = CONCRETE WALK
 D.E. = DRAINAGE EASEMENT
 D.M.E. = DRAINAGE MAINTENANCE EASEMENT
 DRIVE = DRIVEWAY
 * = DEGREES
 EB = ELECTRIC BOX

E.T.P. = ELECTRIC TRANSFORMER PAD
 ELEV. = ELEVATION
 ENCR. = ENCROACHMENT
 F.H. = FIRE HYDRANT
 F.I.P. = FOUND IRON PIPE
 F.I.R. = FOUND IRON ROD
 F.F.E. = FINISHED FLOOR ELEVATION
 F.N.D. = FOUND NAIL & DISK
 FT. = FEET
 FNIP = FEDERAL NATIONAL INSURANCE PROGRAM
 F.N. = FOUND NAIL
 H. = HIGH OR (HEIGHT)
 IN & EG. = INGRESS AND EGRESS EASEMENT
 I.C.V. = IRRIGATION CONTROL VALVE
 I.F. = IRON FENCE
 L.B. = LICENSED BUSINESS
 LP = LIGHT POLE
 L.F.E. = LOWEST FLOOR ELEVATION
 L.M.E. = LAKE MAINTENANCE EASEMENT
 = MINUTES
 (M) = MEASURED DISTANCE
 M.B. = MAIL BOX
 M.D.C.R. = MIAMI DADE COUNTY RECORDS
 M.E. = MAINTENANCE EASEMENT
 M.H. = MANHOLE
 N.A.P. = NOT A PART OF
 NGVD = NATIONAL GEODETIC VERTICAL DATUM
 N.T.S. = NOT TO SCALE
 # OR NO. = NUMBER
 O.S. = OFFSET
 O.H. = OVERHEAD
 O.H.L. = OVERHEAD UTILITY LINES

O.R.B. = OFFICIAL RECORDS BOOK
 O.V.H. = OVERHANG
 P.V.M.T. = PAVEMENT
 PL. = PLANTER
 P.L. = PROPERTY LINE
 P.C.C. = POINT OF COMPOUND CURVATURE
 P.C. = POINT OF CURVATURE
 P.O.T. = POINT OF TANGENCY
 P.O.C. = POINT OF COMMENCEMENT
 P.O.B. = POINT OF BEGINNING
 P.R.C. = POINT OF REVERSE CURVATURE
 P.W.Y. = PARKWAY
 P.R.M. = PERMANENT REFERENCE MONUMENT
 P.L.S. = PROFESSIONAL LAND SURVEYOR
 P.P. = POWER POLE
 P.P.S. = POOL PUMP SLAB
 P.U.E. = PUBLIC UTILITY EASEMENT
 (R) = RECORD DISTANCE
 R.R. = RAIL ROAD
 RES. = RESIDENCE
 R.W. = RIGHT-OF-WAY
 RAD. = RADIUS OR RADIAL
 RGE. = RANGE
 R.O.E. = ROOF OVERHANG EASEMENT
 SEC. = SECTION
 STY. = STORY
 SWK. = SIDEWALK
 S.E.P. = SET IRON PIPE
 S. = SOUTH
 S.P. = SCREENED PORCH
 S.V. = SEWER VALVE
 * = SECONDS

I = TANGENT
 TB = TELEPHONE BOOTH
 T.B.M. = TEMPORARY BENCHMARK
 T.U.E. = TECHNOLOGY UTILITY EASEMENT
 TSB = TRAFFIC SIGNAL BOX
 T.S.P. = TRAFFIC SIGNAL POLE
 TWP. = TOWNSHIP
 UTIL. = UTILITY
 U.E. = UTILITY EASEMENT
 U.P. = UTILITY POLE
 W.M. = WATER METER
 W.F. = WOOD FENCE
 W.P. = WOOD PORCH
 W.R. = WOOD ROOF
 W.V. = WATER VALVE
 M. = MONUMENT LINE
 C. = CENTER LINE
 Δ = DELTA

LEGEND

— — — — — = OVERHEAD UTILITY LINES
 — — — — — = CONCRETE BLOCK WALL
 — — — — — = CHAIN LINK FENCE
 — — — — — = IRON FENCE
 — — — — — = WOOD FENCE
 — — — — — = BUILDING SETBACK LINE
 - - - - - = UTILITY EASEMENT
 - - - - - = LIMITED ACCESS RW
 - - - - - = NON-VEHICULAR ACCESS RW
 * 0.00 = EXISTING ELEVATIONS

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 372.027, FLORIDA STATUTES.

JOHN IBARRA (DATE OF FIELD WORK) 07/08/19

PROFESSIONAL LAND SURVEYOR NO. 5204 STATE OF FLORIDA (NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER)

REVISED ON: _____

REVISED ON: _____

FLOOD ZONE INFORMATION:

BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X (WITH A BASE FLOOD ELEVATION OF N/A). THIS PROPERTY WAS FOUND IN CITY OF CORAL GABLES, COMMUNITY NUMBER 120639, DATED 09/11/09.

DRAWN BY:	D. .
FIELD DATE:	7/8/2019
SURVEY NO:	15-002817-3
SHEET:	1 OF 2

SURVEYOR'S NOTES:

1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY. IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
3. CERTIFICATE OF AUTHORIZATION LB # 7808





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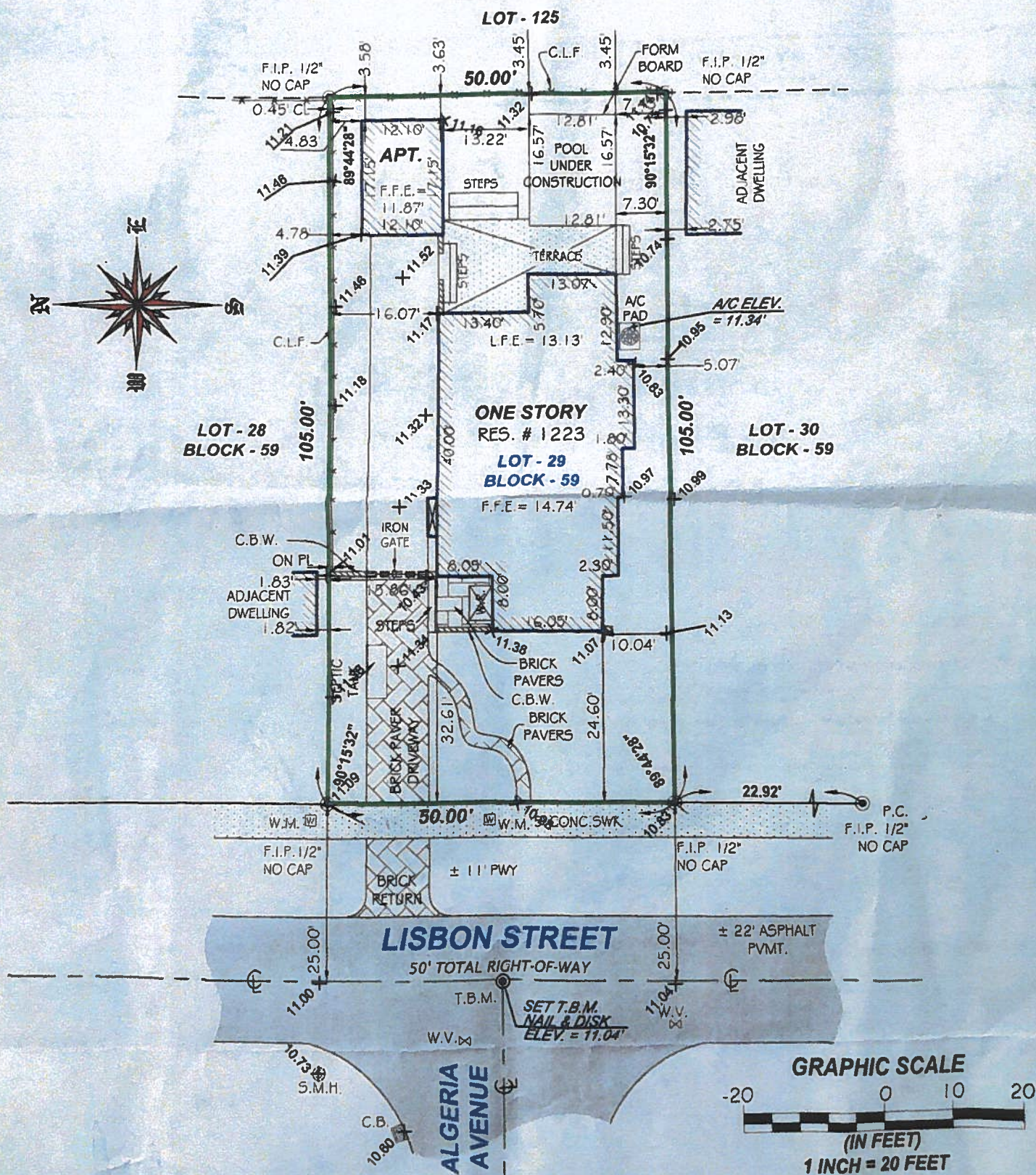
MAP OF BOUNDARY SURVEY

1223 LISBON STREET, CORAL GABLES, FLORIDA 33134

(REV.1 7/11/2019)

ADDITIONAL NOTES:

ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929. MIAMI-DADE COUNTY BENCHMARK #N 517, LOCATOR NO. 4001. ELEVATION IS 13.79 FEET OF N.G.V.D. OF 1929



LEGAL DESCRIPTION:

LOT 29, BLOCK 59, REVISED PLAT OF CORAL GABLES, GRANADA SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 113, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

CERTIFICATION:

MIGUEL NOGUEROL

DRAWN BY:	D.
FIELD DATE:	7/8/2019
SURVEY NO:	15-002817-3
SHEET:	2 OF 2