



PROPERTY APPRAISER OF MIAMI-DADE COUNTY

Summary Report

Generated On: 02/04/2026

PROPERTY INFORMATION	
Folio	03-4117-035-0001 (Reference)
Property Address	0 , FL
Owner	REFERENCE ONLY
Mailing Address	
Primary Zone	5000 HOTELS & MOTELS - GENERAL
Primary Land Use	0000 REFERENCE FOLIO
Beds / Baths /Half	0 / 0 / 0
Floors	0
Living Units	0
Actual Area	0 Sq.Ft
Living Area	0 Sq.Ft
Adjusted Area	0 Sq.Ft
Lot Size	0 Sq.Ft
Year Built	0



ASSESSMENT INFORMATION				
Year	2025	2024	2023	
Land Value	\$0	\$0	\$0	
Building Value	\$0	\$0	\$0	
Extra Feature Value	\$0	\$0	\$0	
Market Value	\$0	\$0	\$0	
Assessed Value	\$0	\$0	\$0	

TAXABLE VALUE INFORMATION				
Year	2025	2024	2023	
COUNTY				
Exemption Value	\$0	\$0	\$0	
Taxable Value	\$0	\$0	\$0	
SCHOOL BOARD				
Exemption Value	\$0	\$0	\$0	
Taxable Value	\$0	\$0	\$0	
CITY				
Exemption Value	\$0	\$0	\$0	
Taxable Value	\$0	\$0	\$0	
REGIONAL				
Exemption Value	\$0	\$0	\$0	
Taxable Value	\$0	\$0	\$0	

BENEFITS INFORMATION				
Benefit	Type	2025	2024	2023
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				

SHORT LEGAL DESCRIPTION	
THE BILTMORE REGENT CONDO	
CORAL GABLES BILTMORE SEC	
LOTS 24 THRU 32 BLK 1 PB 20-28	
F/A/U 03-4117-008-0200	

SALES INFORMATION				
Previous Sale	Price	OR Book-Page	Qualification Description	

The information contained herein is for ad valorem tax assessment purposes only. The Property Appraiser of Miami-Dade County is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser of Miami-Dade County and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <https://www.miamidadepa.gov/pa/disclaimer.page>

City's Exhibit #1



PROPERTY APPRAISER OF MIAMI-DADE COUNTY

Generated On: 10/08/2025

	Folio ↑	Sub-Division	Owner	Address
1	03-4117-035-0010	THE BILTMORE REGENT CONDO	PRISCILLA J PAGAN	721 BILTMORE WAY UNIT: 101 - CORAL GABLES
2	03-4117-035-0020	THE BILTMORE REGENT CONDO	CHARLES D IRWIN - DONA C IRWIN	721 BILTMORE WAY UNIT: 201 - CORAL GABLES
3	03-4117-035-0030	THE BILTMORE REGENT CONDO	FRANCISCO V CARRERA JUSTIZ - VIVIEN E BROWN	721 BILTMORE WAY UNIT: 301 - CORAL GABLES
4	03-4117-035-0040	THE BILTMORE REGENT CONDO	FABIANO VIVACQUA - MARIA CECILIA VIVACQUA	721 BILTMORE WAY UNIT: 401 - CORAL GABLES
5	03-4117-035-0050	THE BILTMORE REGENT CONDO	MARIA AURORA PUENTE DUANY TRS - MARIA AURORA PUENTE DUANY TR	721 BILTMORE WAY UNIT: 501 - CORAL GABLES
6	03-4117-035-0060	THE BILTMORE REGENT CONDO	GLADYS MARSHALL TRS - GLADYS MARSHALL AMENDED	721 BILTMORE WAY UNIT: 601 - CORAL GABLES
7	03-4117-035-0070	THE BILTMORE REGENT CONDO	SYLVIA VIYELLA TRS - SYLVIA VIYELLA REVOCABLE TRUST	721 BILTMORE WAY UNIT: 701 - CORAL GABLES
8	03-4117-035-0080	THE BILTMORE REGENT CONDO	ALEN DEVELOPMENT CORP	721 BILTMORE WAY UNIT: 801 - CORAL GABLES
9	03-4117-035-0090	THE BILTMORE REGENT CONDO	JULIO V BRACHE & W GAZHIR	721 BILTMORE WAY UNIT: 901 - CORAL GABLES
10	03-4117-035-0100	THE BILTMORE REGENT CONDO	JUBRAC LLC	721 BILTMORE WAY UNIT: 1001 - CORAL GABLES

11	03-4117-035-0110	THE BILTMORE REGENT CONDO	GAIL G VINING TRS - GAIL G VINING REVOCABLE TRUST	721 BILTMORE WAY UNIT: 202 - CORAL GABLES
12	03-4117-035-0120	THE BILTMORE REGENT CONDO	SHERYL FLORENCE GOLD TRS - SHERYL FLORENCE GOLD LIV TR	721 BILTMORE WAY UNIT: 302 - CORAL GABLES
13	03-4117-035-0130	THE BILTMORE REGENT CONDO	PERTIN INC	721 BILTMORE WAY UNIT: 402 - CORAL GABLES
14	03-4117-035-0140	THE BILTMORE REGENT CONDO	ALFRED J HOLZMAN - LUCY L K HOLZMAN	721 BILTMORE WAY UNIT: 502 - CORAL GABLES
15	03-4117-035-0150	THE BILTMORE REGENT CONDO	JUAN LARRAIN - MARIA ELVIRA LARRAIN	721 BILTMORE WAY UNIT: 602 - CORAL GABLES
16	03-4117-035-0160	THE BILTMORE REGENT CONDO	ANTHONY J CHISENA &W - MARISA M CHISENA	721 BILTMORE WAY UNIT: 702 - CORAL GABLES
17	03-4117-035-0170	THE BILTMORE REGENT CONDO	LISSETTE JUCOSA	721 BILTMORE WAY UNIT: 802 - CORAL GABLES
18	03-4117-035-0180	THE BILTMORE REGENT CONDO	LUCIA G DARNELL TRS - LUCIA G DARNELL TRUST	721 BILTMORE WAY UNIT: 902 - CORAL GABLES
19	03-4117-035-0190	THE BILTMORE REGENT CONDO	MANDRISA ENTERPRISES LTD	721 BILTMORE WAY UNIT: 1002 - CORAL GABLES
20	03-4117-035-0200	THE BILTMORE REGENT CONDO	MANUEL SCHIAPPA PIETRA	721 BILTMORE WAY UNIT: PH-1 - CORAL GABLES
21	03-4117-035-0210	THE BILTMORE REGENT CONDO	CHARLES HOWARD WILLIAMS TRS - CHARLES AND COROLINA WILLIAMS	721 BILTMORE WAY UNIT: PH-2 - CORAL GABLES
22	03-4117-035-0220	THE BILTMORE REGENT CONDO	MARIE JEANNETTE ORLANDINI TRS - MARIE JEANNETTE ORLANDINI	721 BILTMORE WAY UNIT: PH-3 - CORAL GABLES
23	03-4117-035-0230	THE BILTMORE REGENT CONDO	FRANCISCO V CARRERA JUSTIZ - VIVIEN E BROWN	721 BILTMORE WAY UNIT: PH-4 - CORAL GABLES

721 Biltmore Way

This is a 10-unit condominium, so the address for service of the initial notice of unsafe structure is the condominium association. However, if the association does not respond, the City will have to serve each individual unit owner and any related interested parties for each unit.

<p><u>Association (Sunbiz principal address)</u> THE BILTMORE REGENT CONDOMINIUM ASSOCIATION, INC. 721 BILTMORE WAY CORAL GABLES, FL 33134-7524</p>	<p><u>Association (Sunbiz mailing address)</u> THE BILTMORE REGENT CONDOMINIUM ASSOCIATION, INC. C/O SOUTH FLORIDA CONDOMINIUM MANAGEMENT, INC. 2800 BISCAYNE BLVD, STE 310 MIAMI, FL 33137-4500</p>
<p><u>Association (Registered Agent address)</u> THE BILTMORE REGENT CONDOMINIUM ASSOCIATION, INC. C/O BECKER & POLIAKOFF, PA REGISTERED AGENT 2525 PONCE DE LEON BLVD, STE 825 CORAL GABLES, FL 33134-6051</p>	



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Permits and Inspections: Search Results

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[New Permit Search](#)

1 **2** **3** **>>** **>|**

Permit Search Results

Permit#:	App. Date	Street Address	Type	Description	Status	Issue Date	Final Date	Fees Due
EX-22-10-7891	10/27/2022	721 BILTMORE WAY	PERMIT EXTENSION & RENEWAL	***CREATED IN ERROR**	canceled		11/15/2022	0.00
EL-21-07-7870	07/16/2021	721 BILTMORE WAY	ELEC COMMERCIAL / RESIDENTIAL WORK	CANCELED COMMERCIAL * CHANGE FEEDER CABLES FOR 3/0 THHN IN EXISTING PIPE 1-1/2" \$10,250	canceled	07/27/2021	10/29/2021	0.00
PL-21-03-8813	03/30/2021	721 BILTMORE WAY	PLUMB COMMERCIAL / RESIDENTIAL WORK	PLUMBING WORK FOR COMMERCIAL* INTERIOR RENOVATION OF GUEST BATHROOM \$15,000	final	08/12/2021	09/28/2021	0.00
BL-21-03-8664	03/26/2021	721 BILTMORE WAY	INTERIOR ALTERATION ONLY	COMMERCIAL* INTERIOR RENOVATION OF GUEST BATHROOM \$15,000	final	06/08/2021	02/07/2022	0.00
EX-20-10-7263	10/30/2020	721 BILTMORE WAY	PERMIT EXTENSION & RENEWAL	EXTENSION FOR BL-19-07-4311- APPROVED FOR 30 DAYS COMM INTERIOR RENOVATIONS- MASTER BATHROOM \$25,500	final	11/30/2020	11/30/2020	0.00
PL-20-10-6981	10/23/2020	721 BILTMORE WAY	PLUMB COMMERCIAL / RESIDENTIAL WORK	PLUMBING WORK FOR COM* INTERIOR DEMO. REMOVAL OF TILE FLOORING, KITCHEN CABINETS, BATHROOM WALLS, PLUMBING FIXTURES, BATHROOM SHOWER AND TUB \$12000	canceled		01/14/2022	0.00
PL-20-10-6436	10/12/2020	721 BILTMORE WAY	PLUMB COMMERCIAL / RESIDENTIAL WORK	PLUMBING WORK FOR COMMERCIAL- INTERIOR ALTERATION TO BATHROOM.	final	11/23/2020	12/11/2020	0.00
EL-20-10-6316	10/09/2020	721 BILTMORE WAY	ELEC COMMERCIAL / RESIDENTIAL WORK	COMMERCIAL- INTERIOR ALTERATION TO BATHROOM.	canceled		12/21/2020	0.00
BL-20-10-6086	10/05/2020	721 BILTMORE WAY	INTERIOR ALTERATION ONLY	COMMERCIAL- INTERIOR RENOVATIONS- BATHROOM \$20,000	final	11/06/2020	12/22/2020	0.00

City's Exhibit #3

EL-20-08-6669	08/17/2020	721 BILTMORE WAY	ELEC COMMERCIAL / RESIDENTIAL WORK	COM* INTERIOR DEMO.	canceled	01/28/2021	01/14/2022	0.00
BL-20-08-6274	08/06/2020	721 BILTMORE WAY	INTERIOR ALTERATION ONLY	CANCELED COM* INTERIOR DEMO. REMOVAL OF TILE FLOORING, KITCHEN CABINETS, BATHROOM WALLS, PLUMBING FIXTURES, BATHROOM SHOWER AND TUB \$12000	canceled	10/31/2020	01/27/2022	0.00
FD-20-06-6376	06/09/2020	721 BILTMORE WAY	FIRE SPRINKLER SYSTEM	FIRE SPRINKLER	final	07/09/2020	10/08/2020	0.00
PL-20-05-6849	05/26/2020	721 BILTMORE WAY	PLUMB COMMERCIAL / RESIDENTIAL WORK	PLUMBING WORK FOR INTERIOR ALTERATIONS* MOBILE PERMIT * KITCHEN CABINENTS #PH2 \$5,000	final	08/03/2020	08/27/2020	0.00
EL-20-05-6851	05/26/2020	721 BILTMORE WAY	ELEC COMMERCIAL / RESIDENTIAL WORK	INTERIOR ALTERATIONS* MOBILE PERMIT * KITCHEN CABINENTS #PH2 WORK AS PER FBC 2017 AND NEC 2014	final	07/07/2020	10/08/2020	0.00
BL-20-05-6847	05/26/2020	721 BILTMORE WAY	INTERIOR ALTERATION ONLY	INTERIOR ALTERATIONS* MOBILE PERMIT * KITCHEN CABINENTS #PH2 \$34,000	final	06/01/2020	04/26/2021	0.00
CE-20-02-6012	02/28/2020	721 BILTMORE WAY	CODE ENF LIEN SEARCH	LIEN SEARCH	final	03/02/2020	03/02/2020	0.00
ZN-20-02-5429	02/19/2020	721 BILTMORE WAY	PAINT / RESURFACE FL / CLEAN	COMMERCIAL *PRESSURE CLEAN AND PAINT (80590 SQFT) *RE-ISSUE ZN- 08-03-0007 - WALLS: SW6309 CHARMING PINK/ TRIM: SW7006 EXTRA WHITE \$205,750	final	02/19/2020	08/06/2020	0.00
AB-20-02-5426	02/19/2020	721 BILTMORE WAY	BOA PRELIMINARY/MED BONUS/FINAL	COMMERCIAL *PRESSURE CLEAN AND PAINT (80590 SQFT) *RE-ISSUE ZN- 08-03-0007 - WALLS: SW6309 CHARMING PINK/ TRIM: SW7006 EXTRA WHITE \$205,750	final	02/19/2020	08/06/2020	0.00
PL-20-02-5196	02/14/2020	721 BILTMORE WAY	PLUMB COMMERCIAL / RESIDENTIAL WORK	COMMERCIAL INTERIOR RENOVATION (KITCHEN) \$13,000	final	01/07/2021	01/08/2021	0.00
EL-20-02-5192	02/14/2020	721 BILTMORE WAY	ELEC COMMERCIAL / RESIDENTIAL WORK	COMMERCIAL INTERIOR RENOVATION (KITCHEN) \$13,000	final	01/07/2021	12/29/2021	0.00
BL-20-02-5105	02/12/2020	721 BILTMORE WAY	INTERIOR ALTERATION ONLY	COMMERCIAL INTERIOR RENOVATION (KITCHEN) \$13,000	final	02/18/2020	01/26/2022	0.00
ME-19-12-4260	12/13/2019	721 BILTMORE WAY	MECH COMMERCIAL / RESIDENTIAL WORK	AC CHANGE OUT - \$4,100	final	01/02/2020	11/10/2021	0.00
BL-19-08-4753	08/05/2019	721 BILTMORE WAY	COMMERCIAL FLOORING (INTERIOR ONLY)	CHANGE OF CONTRACTOR TO EDEN-22-11-0016	canceled	08/20/2019	11/17/2022	0.00

Permit ID	Issue Date	Address	Category	Description	Status	Start Date	End Date	Amount
				****COMM. INTR. FLOORING W/ SOUND PROOF. \$8,900				
ME-19-07-4598	07/09/2019	721 BILTMORE WAY	MECH COMMERCIAL / RESIDENTIAL WORK	NEW EXHAUST FAN	final	10/17/2019	11/19/2019	0.00
PL-19-07-4401	07/02/2019	721 BILTMORE WAY	PLUMB COMMERCIAL / RESIDENTIAL WORK	PLUMBING WORK FOR COMM. INTERIOR RENOVATIONS @ MASTERBATH AREA	final	08/28/2019	11/18/2019	0.00
EL-19-07-4387	07/02/2019	721 BILTMORE WAY	ELEC COMMERCIAL / RESIDENTIAL WORK	INTR. ALTERATIONS TO MASTER BATHROOM \$25,000 6 LIGHTS, 2 OUTLETS, HEAT LAMP,	final	09/18/2019	11/06/2019	0.00
UP-19-07-4312	07/01/2019	721 BILTMORE WAY	UPFRONT FEE - THIS IS NOT A PERMIT	*UPFRONT FEES BL19074311-INTR. ALTERATIONS TO MASTER BATHROOM \$25,000	final	07/01/2019	07/01/2019	0.00
BL-19-07-4311	07/01/2019	721 BILTMORE WAY	INT / EXT ALTERATIONS	COMM INTERIOR RENOVATIONS- MASTER BATHROOM \$25,500	final	07/16/2019	12/18/2020	0.00
UP-19-06-4748	06/06/2019	721 BILTMORE WAY	UPFRONT FEE - THIS IS NOT A PERMIT	COMMERCIAL INTERIOR FLOORING \$9,000	final	06/06/2019	06/06/2019	0.00
BL-19-06-4746	06/06/2019	721 BILTMORE WAY	COMMERCIAL FLOORING (INTERIOR ONLY)	COMMERCIAL INTERIOR SOUNDPROOFING & FLOORING \$9,000	final	06/18/2019	07/15/2019	0.00
UP-18-11-3855	11/30/2018	721 BILTMORE WAY	UPFRONT FEE - THIS IS NOT A PERMIT	INTERIOR FLOORING - TILE INSTALLATION \$ 6,000	final	11/30/2018	11/30/2018	0.00
BL-18-11-3870	11/30/2018	721 BILTMORE WAY	COMMERCIAL FLOORING (INTERIOR ONLY)	*OK TO CLOSE/CANCEL - FORM SUBMITTED*INTERIOR FLOORING - TILE INSTALLATION \$ 6,000	canceled	12/12/2018	08/28/2023	0.00
EL-18-02-2822	02/26/2018	721 BILTMORE WAY	ELEC COMMERCIAL / RESIDENTIAL WORK	REPLACE EXISTING EXHAUST AND LOUVERS IN PARKING LOT	final	02/26/2018	04/05/2018	0.00
ME-18-02-2668	02/22/2018	721 BILTMORE WAY	MECH COMMERCIAL / RESIDENTIAL WORK	REPLACE EXISTING EXHAUST AND LOUVERS IN PARKING LOT \$45,000	final	02/23/2018	10/07/2019	0.00
UP-17-11-1130	11/02/2017	721 BILTMORE WAY	UPFRONT FEE - THIS IS NOT A PERMIT	UPFRONT FEE FOR BL17111129 INSTALLATION OF SOUNDPROOFING & TILE IN DINING ROOM & LIVING ROOM \$8512	final	11/02/2017	11/02/2017	0.00
BL-17-11-1129	11/02/2017	721 BILTMORE WAY	COMMERCIAL FLOORING (INTERIOR ONLY)	INSTALLATION OF SOUNDPROOFING & TILE IN DINING ROOM & LIVING ROOM \$8,512	final	11/20/2017	04/17/2018	0.00
EL-17-05-1429	05/09/2017	721 BILTMORE WAY	ELEC COMMERCIAL / RESIDENTIAL WORK	***cancel***	canceled		12/01/2021	0.00
UP-17-05-1342	05/08/2017	721 BILTMORE WAY	UPFRONT FEE - THIS IS NOT A PERMIT	UPFRONT FEE FOR PL- 17-05-1341 REPLACE EXISTING PUMPS (2) VALVE TO AND FROM BOTH PUMPS - \$16,195	final	05/08/2017	05/08/2017	0.00

PL-17-05-1341	05/08/2017	721 BILTMORE WAY	PLUMB COMMERCIAL / RESIDENTIAL WORK	PLUMBING WORK TO SET NEW BOOSTER PUMP ASSEMBLY	final	05/10/2017	12/01/2021	0.00
UP-16-09-5703	09/13/2016	721 BILTMORE WAY	UPFRONT FEE - THIS IS NOT A PERMIT	CONCRETE REPAIR @ BALCONIES UNITS 601 & 401 \$7500	final	09/13/2016	09/13/2016	0.00
BL-16-09-5702	09/13/2016	721 BILTMORE WAY	GENERAL REPAIRS	CONCRETE REPAIR @ BALCONIES UNITS 601 & 401 \$7500	final	09/22/2016	01/19/2017	0.00
CE-16-09-5488	09/08/2016	721 BILTMORE WAY	CODE ENF LIEN SEARCH	LIEN SEARCH	final	09/14/2016	09/14/2016	0.00
PL-16-08-7225	08/31/2016	721 BILTMORE WAY	PLUMB COMMERCIAL / RESIDENTIAL WORK	PLUMBING WORK FOR COMM INTERIOR RENOVATIONS - KITCHEN & MASTER BATHROOM	final	02/01/2017	06/12/2017	0.00
EL-16-08-7209	08/31/2016	721 BILTMORE WAY	ELEC COMMERCIAL / RESIDENTIAL WORK	COMM INTERIOR RENOVATIONS - KITCHEN & MASTER BATHROOM 20 OUTLETS; 4 SPECIAL OUTLETS AND 10 LIGHTS	final	03/13/2017	05/09/2017	0.00
UP-16-08-7124	08/30/2016	721 BILTMORE WAY	UPFRONT FEE - THIS IS NOT A PERMIT	UPFRONT FEE FOR BL16087123 COMM INTERIOR RENOVATIONS - KITCHEN & MASTER BATHROOM \$40,000	final	08/30/2016	08/30/2016	0.00
BL-16-08-7123	08/30/2016	721 BILTMORE WAY	INTERIOR ALTERATION ONLY	COMM INTERIOR RENOVATIONS - KITCHEN & MASTER BATHROOM \$40,000	final	10/24/2016	06/13/2017	0.00
ME-16-04-6061	04/08/2016	721 BILTMORE WAY	MECH CHANGE OF CONTRACTOR	WINTERGRATE CHANGE OF CONT P#6100202 REPLACE 4 TON ROOFTOP A/C UNIT #3,200.	final	04/08/2016	04/14/2016	0.00
BL-16-04-6030	04/08/2016	721 BILTMORE WAY	BLD SIMPLE CHANGE OF CONTRACTOR	WINTERGRATE CHANGE OF CONT P#07020419 12 ACCORDIANS & 1 ROLL-UP \$19,995	final	04/08/2016	04/14/2016	0.00
CE-16-04-5797	04/04/2016	721 BILTMORE WAY	CODE ENF LIEN SEARCH	LIEN SEARCH	final	04/06/2016	04/06/2016	0.00
CE-16-01-1502	01/04/2016	721 BILTMORE WAY	CODE ENF LIEN SEARCH	LIEN SEARCH	final	01/06/2016	01/06/2016	0.00

The City's online services are protected with an **SSL encryption certificate**. For technical assistance, please call 305-569-2448 (8am-5pm, M-F).

RECT-24-04-0297	Building Recertification	Recertification	Denied	04/29/2024			BUILDING RECERTIFICATION (YEAR BUILT 1990) MUST RECERTIFY BY 12/31/24	721 BILTMORE WAY	
PWKS-22-01-0323	Public Works Permit	Sidewalk	Finalized	01/27/2022	03/18/2022	02/21/2023	REMOVE AND REPLACE SEWER LATERALS PER CITY SPECS (sidewalk)	721 BILTMORE WAY	1001
PWKS-22-01-0322	Public Works Permit	Sidewalk	Cancelled	01/27/2022		01/10/2023	Repair building connection to city (this section belongs to the city) (sidewalk)	721 BILTMORE WAY	1001
PWKS-22-01-0321	Public Works Permit	Sidewalk	Cancelled	01/27/2022		01/10/2023	Repair building connection to the city. (This section belongs to the city) (sidewalk)	721 BILTMORE WAY	1001
PLUB-22-03-0111	Plumbing Commercial	Interior Build-Out/ Interior Alteration/Remodel	Cancelled	03/12/2022		05/02/2024	Master permit BLDB-22-02-0393 Cancelled-Change bathtub for shower.	721 BILTMORE WAY	PH-4
MECR-24-07-1139	Mechanical Residential	HVAC Changeout	Finalized	07/12/2024	02/05/2025	08/09/2024	Air conditioning replacement - elevator room	721 BILTMORE WAY	1001
MECR-22-02-0123	Mechanical Residential	HVAC Changeout	Cancelled	02/08/2022		12/06/2022	Cancelled. Please see application completeness check	721 BILTMORE WAY	202
MECR-21-12-0063	Mechanical Commercial	HVAC Changeout	Finalized	12/15/2021	09/06/2022	12/08/2022	Exact Changeout 3-Ton A/C system with 9kw heater.	721 BILTMORE WAY	PH-2
ELEC-25-08-3823	Electrical Commercial	Other	Issued	08/21/2025	03/02/2026		Electrical repairs following the 50- year recertification report within the unit, this includes installing AFCI/GFCI receptacles (bathroom, balcony, or laundry room) as appropriate, updating the schedule panel accordingly.	721 BILTMORE WAY	1002
ELEC-25-08-3788	Electrical Commercial	Other	Issued	08/12/2025	02/17/2026		The primary work content is to make electrical repairs following the building recertification report in common areas (parking garage, lobby, equipment room, pool and pool deck).	721 BILTMORE WAY	101
ELEC-25-08-3770	Electrical Commercial	Other	Issued	08/06/2025	02/09/2026		Electrical repairs following the 50- year recertification report within the unit, this includes installing AFCI/GFCI receptacles (bathroom, balcony, or laundry room) as appropriate, updating the schedule panel accordingly.	721 BILTMORE WAY	801
ELEC-25-05-3552	Electrical Commercial	Other	Denied	05/21/2025			Electrical Scope	721 BILTMORE WAY	1001



CITY OF CORAL GABLES
Development Services Department

CITY HALL 405 BILTMORE WAY
CORAL GABLES, FL 33134

2/1/2023

VIA CERTIFIED MAIL

THE BILTMORE REGENT CONDOMINIUM ASSOCIATION, INC.
ROSA DE LA CAMARA, ESQ.
121 ALHAMBRA PLAZA, 10TH FLOOR
CORAL GABLES, FL 33134

7021 2720 0001 4959 0816

RE: 721 Biltmore Way
FOLIO # 03-4117-035-001
Process Number **TBD**

*****COURTESY 1-YEAR NOTICE*****

Notice of Required Inspection for Recertification of 30 Years or Older Building

Dear Property Owner:

Per the Miami-Dade County Property Appraiser's office the above referenced property address is thirty (30) years old, or older, having been built in 1990. In accordance with the Miami-Dade County Code, Chapter 8, Section 8-11(f), a qualified individual must inspect said building and a **completed** Recertification Report ("Report") must be submitted by you to this Department **in 2024**. A completed Report includes 1) Cover letters stating the structure meets (or does not meet) the electrical and structural requirements for recertification, 2) Building Structural Report, 3) Building Electrical Report, 4) Parking Lot Illumination Standards Form 5) Parking Lot Guardrails Requirements Form, and 6) (For threshold buildings only) Self-qualification letters from the inspecting engineers with accompanying DBPR proof of specialization. Submittal of the Report does not constitute recertification; it must be **approved** and the Letter of Recertification must be issued by this Department.

Threshold buildings (i.e. buildings greater than 3 stories or greater than 50 ft tall, or with an Assembly Occupancy > 5000 s.f. & Occupant load > 500 people) shall be recertified by Structural and Electrical Professional Engineers only. Self-qualification letters will be required with proof of DBPR structural and electrical specialization.

Any buildings that are not threshold buildings may be recertified by any Florida Registered Architect or Professional Engineer and self-qualification letters will not be required.

If no deficiencies are identified, the structure will only be recertified once the reports and forms have been submitted and approved.

If deficiencies are identified, they shall be reported to the Building Official within 10 days, or within 24 hours if there is an immediate danger identified. A completed report shall be submitted to this Department. In addition, a structural and/or electrical affidavit from the inspector will be required, with additional affidavits every 180 days, as needed so that the building can continue to be occupied while repairs are carried out. The Building Official is able to grant an extension of one hundred fifty (150) calendar days from the due date or the date the deficiencies were identified (whichever is sooner) to allow time to obtain the necessary permits and perform the repairs. The structure will only

City's Exhibit #4



CITY OF CORAL GABLES

DEVELOPMENT SERVICES DEPARTMENT
427 BILTMORE WAY
CORAL GABLES, FL 33134

10/1/2024

VIA CERTIFIED MAIL

THE BILTMORE REGENT CONDOMINIUM ASSOCIATION, INC.
C/O SOUTH FLORIDA CONDOMINIUM MANAGEMENT, INC.
2800 BISCAYNE BLVD., SUITE 310
MIAMI, FL 33137

9589 0710 5270 1801 7211 84

RE: 721 BILTMORE WAY
FOLIO # 03-4117-035-0001

Notice of Required Inspection For Recertification of Building
Process Number: **TBD**

Dear Property Owner:

Per the Miami-Dade County Property Appraiser's office the above referenced property address is thirty (30) years old, or older, having been built in 1990. In accordance with the Miami-Dade County Code, Chapter 8, Section 8-11(f), a qualified individual must inspect said building and a **completed** Recertification Report ("Report") must be submitted by you to this Department within **ninety (90) calendar days** from the **date of this letter**. A completed Report includes 1) Cover letters stating the structure meets (or does not meet) the electrical and structural requirements for recertification, 2) Building Structural Report, 3) Building Electrical Report, 4) Parking Lot Illumination Standards Form 5) Parking Lot Guardrails Requirements Form, and 6) (For threshold buildings only) Self-qualification letters from the inspecting engineers with accompanying DBPR proof of specialization. Submittal of the Report does not constitute recertification; it must be **approved** and the Letter of Recertification must be issued by this Department.

Threshold buildings (i.e. buildings greater than 3 stories or greater than 50 ft tall, or with an Assembly Occupancy > 5000 s.f. & Occupant load > 500 people) shall be recertified by Structural and Electrical Professional Engineers only. Self-qualification letters will be required with proof of DBPR structural and electrical specialization.

Any buildings that are not threshold buildings may be recertified by any Florida Registered Architect or Professional Engineer and self-qualification letters will not be required.

If no deficiencies are identified, the structure will only be recertified once the reports and forms have been submitted and approved.

If deficiencies are identified, they shall be reported to the Building Official within 10 days, or within 24 hours if there is an immediate danger identified. A completed report shall be submitted to this Department. In addition, a structural and/or electrical affidavit from the inspector will be required, with additional affidavits every 180 days, as needed so that the building can continue to be occupied while repairs are carried out. The Building Official is able to grant an extension of one hundred fifty (150) calendar days from the due date or the date the deficiencies were identified (whichever is sooner) to allow time to obtain the necessary permits and perform the repairs. The structure will only be recertified once a *revised* report and all required information is submitted and approved, and all required permits are closed.

Proprietary or modified recertification forms from the inspectors will not be accepted. Only current municipal recertification forms will be accepted. The Architect or Engineer shall obtain the required Forms from the following link:

<https://www.miamidade.gov/global/economy/building/recertification.page>.

If this is your first time using the online system, please register at the following link:

<https://coralgablesfl-energovpub.tylerhost.net/Apps/selfservice/CoralGablesFLProd#/register>

You can access your online process using the process number provided above at the following link:

<https://coralgablesfl-energovpub.tylerhost.net/Apps/SelfService#/myWork?tab=MyPermits>

The Recertification Report fee of \$500.00 *and* additional document and filing fees shall be paid online at the following link:

<https://coralgablesfl-energovpub.tylerhost.net/Apps/SelfService#/payinvoice>

Failure to submit the required Report within the allowed time will result in **declaring the structure unsafe** and referring the matter to the City's Construction Regulation Board ("Board") without further notice and a \$600.00 administrative fee will be imposed at that time. The Board may impose additional fines of \$250.00 for each day the violation continues, may enter an order of demolition, and may assess all costs of the proceedings along with the cost of demolition and any other required action.

Please contact Douglas Ramirez at dramirez@coralgables.com regarding any questions concerning building recertification. Thank you for your prompt attention to this matter.



Manuel Z. Lopez, P.E.
Building Official



CITY OF CORAL GABLES

DEVELOPMENT SERVICES DEPARTMENT
427 BILTMORE WAY
CORAL GABLES, FL 33134

1/31/2025

9589 0710 5270 1801 7246 80

THE BILTMORE REGENT CONDOMINIUM ASSOCIATION, INC.
C/O SOUTH FLORIDA CONDOMINIUM MANAGEMENT, INC.
2800 BISCAYNE BLVD., SUITE 310
MIAMI, FL. 33137

RE: 721 BILTMORE WAY
FOLIO # 03-4117-035-0001

Notice of Required Inspection For Recertification of Building – **OVERDUE NOTICE**
Process Number **RECT-xx-xxxx**

Dear Property Owner:

In a certified letter dated 10/1/2024, this Department notified you the property referenced above requires Building Recertification pursuant to Miami-Dade County Code, Chapter 8, Section 8-11(f). The letter informed you it was necessary to submit to this Department a completed Report prepared by a qualified individual within ninety (90) calendar days certifying the structure meets the requirements for recertification.

Please be advised the submittal of the Report is overdue and the **structure has been deemed unsafe** due to non-compliance. This may result in the revocation of the Certificate of Occupancy, as well as being subject to other penalties as provided in the Code. A completed Report includes 1) Cover letters stating the structure meets (or does not meet) the electrical and structural requirements for recertification, 2) Building Structural Report, 3) Building Electrical Report, 4) Parking Lot Illumination Standards Form 5) Parking Lot Guardrails Requirements Form, and 6) (For threshold buildings only) Self-qualification letters from the inspecting engineers with accompanying DBPR proof of specialization. Submittal of the Report does not constitute recertification; it must be **approved** and the Letter of Recertification must be issued by this Department.

See original notice for additional information.

Failure to submit the completed Report within thirty (30) calendar days from the date of this letter will result in forwarding the matter to the City's Construction Regulation Board for further review and determination. A \$600.00 administrative fee will be imposed at that time. The Board may impose additional fines of \$250.00 for each day the violation continues, may enter an order of demolition, and may assess all costs of the proceedings along with the cost of demolition and any other required action.

If this is your first time using the online system, please register at the following link:

<https://coralgablesfl-energovpub.tylerhost.net/Apps/selfservice/CoralGablesFLProd#/register>

You can access your online process using the process number provided above at the following link:

<https://coralgablesfl-energovpub.tylerhost.net/Apps/SelfService#/myWork?tab=MyPermits>

The Recertification Report fee of \$500.00 and additional document and filing fees shall be paid online at the following link:

<https://coralgablesfl-energovpub.tylerhost.net/Apps/SelfService#/payinvoice>

Please govern yourself accordingly.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Manuel Z. Lopez', with a stylized flourish at the end.

Manuel Z. Lopez, P.E.
Building Official

BEFORE THE CONSTRUCTION REGULATION BOARD
FOR THE CITY OF CORAL GABLES

CITY OF CORAL GABLES,
Petitioner,

Case No. 25-9898
RECT-24-04-0297

vs.

Certified Mail Return Receipt & Via USPS Regular Mail
7020 1290 0001 5682 9518

The Biltmore Regent Condominium Association, Inc.
721 Biltmore Way
Coral Gables, FL 33134-7524
Respondent.

**NOTICE OF UNSAFE STRUCTURE VIOLATION FOR FAILURE TO RECERTIFY
AND NOTICE OF HEARING**

Date: January 22, 2026

Re: 721 Biltmore Way, Coral Gables, FL 33134, THE BILTMORE REGENT CONDO, CORAL GABLES BILTMORE SEC, LOTS 24 THRU 32 BLK 1 PB 20-28, and 03-4117-035-0001 ("Property").

The City of Coral Gables ("City") Building Official has inspected the records relating to the Structure in accordance with Article III, Chapter 105 of the City Code, pertaining to unsafe structures, and Section 8-11 of the Miami-Dade County Code, as applicable in the City, pertaining to existing buildings. **The Structure is hereby declared unsafe** by the Building Official and is presumed unsafe pursuant to Section 105-89 10 (m) of the City Code for failure to timely comply with the maintenance and recertification requirements of the Florida Building Code or Section 8-11 of the Miami-Dade County Code.

Therefore, this matter is set for hearing before the City's Construction Regulation Board ("Board") in the Fairchild Tropical Board Room, 427 Biltmore Way, 1st Floor, Coral Gables, Florida 33134, on February 9, 2026 at 2:00 p.m.

You may appeal the decision of the Building Official to the Board by appearing at the hearing. You have the right to be represented by an attorney and may present and question witnesses and evidence; however, formal rules of evidence shall not apply. Failure to appear at the hearing will result in the matter being heard in your absence. Please be advised that if someone other than an attorney will be attending the hearing on your behalf, he or she must provide a power of attorney from you at the time of the hearing. Requests for continuance must be made in writing to, Anayn Hernandez, at City of Coral Gables, Development Services Department, 427 Biltmore Way, Coral Gables, FL 33134, ahernandez2@coralgables.com, tel: (305) 460-5250. The Development Services Department's hours are Monday through Friday, 7:30 a.m. to 2:30 p.m.

City's Exhibit #5

If the Required Action is not completed before the above hearing date, the Building Official may order that the structure be vacated, boarded, secured, and posted (including but not limited to, requesting the electric utility to terminate service to the Structure) to prevent further occupancy until the Required Action is completed. The Building Official may also order demolition of the Structure and the City may recover the costs incurred against the Property and the Owner of record.

If the Property owner or other interested party does not take all Required Action or prevail at the hearing, the Construction Regulation Board may impose fines not to exceed \$250 for each day the violation continues past the date set for compliance and may also enter an order of demolition and assess all costs of the proceedings, in an amount not less than \$600, and the costs of demolition and other required action, for which the City shall have a lien against the Property owner and the Property.

Please govern yourself accordingly.

Analyln Hernandez

Analyln Hernandez
Secretary to the Board

ADA NOTICES

Any person who acts as a lobbyist pursuant to the City of Coral Gables Ordinance No. 2006-11, must register with the City Clerk, prior to engaging in lobbying activities before the city staff, boards, committees and/or the City Commission. A copy of the Ordinance is available in the Office of the City Clerk, City Hall.

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Board, with respect to any matter considered at such hearing or meeting, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made; which record includes the testimony and evidence upon which the appeal is to be based. Although a court reporter usually attends the hearing at the City's cost, the City is not required to provide a transcript of the hearing, which the Respondent may request at the Respondent's cost.

Any person who needs assistance in another language in order to speak during the public hearing or public comment portion of the meeting should contact the City's ADA Coordinator, Jose Rodriguez, Interim Director of Human Resources (E-mail: jrodriguez4@coralgables.com, Telephone: 305-722-8675, TTY/TDD: 305-442-1600), at least three (3) business days before the meeting.

Any person with a disability requiring communication assistance (such as a sign language interpreter or other auxiliary aide or service) in order to attend or participate in the meeting should contact the City's ADA Coordinator, Jose Rodriguez, Interim Director of Labor Relations and Risk Management (E-mail: jrodriguez4@coralgables.com, Telephone: 305-722-8675, TTY/TDD: 305-442-1600), at least three (3) business days before the meeting.

c: THE BILTMORE REGENT CONDOMINIUM ASSOCIATION, INC., C/O SOUTH FLORIDA CONDOMINIUM MANAGEMENT, INC.
2800 BISCAYNE BLVD, STE 310, MIAMI, FL 33137-4500
7020 1290 0001 5682 9525

THE BILTMORE REGENT CONDOMINIUM ASSOCIATION, INC., C/O BECKER & POLIAKOFF, PA, REGISTERED AGENT
2525 PONCE DE LEON BLVD, STE 825, CORAL GABLES, FL 33134-6051
7020 1290 0001 5682 9532



CITY OF CORAL GABLES
DEVELOPMENT SERVICES DEPARTMENT
Affidavit of Posting

Title of Document Posted: Notice of Unsafe Structure Violation for Failure to Recertify and Notice of Hearing

I, Sebastian Ramos, DO HEREBY SWEAR/AFFIRM THAT THE AFOREMENTIONED NOTICE WAS PERSONALLY POSTED, BY ME, AT THE ADDRESS OF 721 BILTMORE WAY, ON 1/23/20 AT 12:32 P.M.

Sebastian Ramos
Employee's Printed Name

[Signature]
Employee's Signature

STATE OF FLORIDA)
SS.
COUNTY OF MIAMI-DADE)

Sworn to (or affirmed) and subscribed before me by means of physical presence or online notarization, this 2 day of February, in the year 2020 by Sebastian Ramos who is personally known to me.

My Commission Expires: 12/14/2029

[Signature]
Notary Public



City's Exhibit #6

**BEFORE THE CONSTRUCTION REGULATION BOARD
FOR THE CITY OF CORAL GABLES**

CITY OF CORAL GABLES,
Petitioner,

Case No. 25-9898
RECT-24-04-0297

vs.

Certified Mail Return Receipt & Via USPS Regular Mail
7020 1290 0001 5682 9518

The Biltmore Regent Condominium Association, Inc.
721 Biltmore Way
Coral Gables, FL 33134-7524
Respondent.

**NOTICE OF UNSAFE STRUCTURE VIOLATION FOR FAILURE TO RECERTIFY
AND NOTICE OF HEARING**

Date: January 22, 2026

Re: **721 Biltmore Way**, Coral Gables, FL 33134, THE BILTMORE REGENT CONDO, CORAL GABLES BILTMORE SEC, LOTS 24 THRU 32 BLK 1 PB 20-28, and 03-4117-035-0001 ("Property").

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You may appeal the decision of the Building Official to the Board by appearing at the hearing. You have the right to be represented by an attorney and may present and question witnesses and evidence; however, formal rules of evidence shall not apply. Failure to appear at the hearing will result in the matter being heard in your absence. Please be advised that if someone other than an attorney will be attending the hearing on your behalf, he or she must provide a power of attorney from you at the time of the hearing. Requests for continuance must be made in writing to, Anayn Hernandez, at City of Coral Gables, Development Services Department, 427 Biltmore Way, Coral Gables, FL 33134, ahernandez2@coralgables.com, tel: (305) 460-5250. The Development Services Department's hours are Monday through Friday, 7:30 a.m. to 2:30 p.m.

City's Exhibit #7

Jan 23, 2026



Jan 23, 2026

This Property is Managed by
SFCM
SOUTH FLORIDA
CONDOMINIUM MANAGEMENT, INC.
(305) 637-3699

BILTMORE REGENT
PRESS * & CODE #

APT NO	CODE	APT NO	CODE
201	02	202	03
301	04	302	05
401	06	402	07
501	08	502	09
601	10	602	11
701	12	702	13
801	14	802	15
901	16	902	17
1001	18	1002	19
PH1	20	PH2	21
PH3	22	PH4	23
101		01	

FRONT DESK *00
OPEN 24 HRS
ENTRADA PRESIONE *00

Intercom panel with a numeric keypad (1-9, *, #) and a small display screen.

NOTICE OF EMERGENCY EVACUATION PROCEDURES FOR BILTMORE REGENT

TO ALL RESIDENTS AND VISITORS:

PLEASE READ THIS NOTICE CAREFULLY AND FOLLOW THE INSTRUCTIONS PROVIDED HEREIN.

IN THE EVENT OF AN EMERGENCY, YOU WILL BE REQUIRED TO EVACUATE THE BUILDING IMMEDIATELY. YOU MUST FOLLOW THE EVACUATION ROUTES AND PROCEDURES AS POSTED IN THE BUILDING.

IF YOU ARE UNABLE TO EVACUATE THE BUILDING IMMEDIATELY, YOU MUST REMAIN IN YOUR APARTMENT AND WAIT FOR INSTRUCTIONS FROM THE EMERGENCY SERVICES.

IF YOU ARE UNABLE TO EVACUATE THE BUILDING IMMEDIATELY, YOU MUST REMAIN IN YOUR APARTMENT AND WAIT FOR INSTRUCTIONS FROM THE EMERGENCY SERVICES.

IF YOU ARE UNABLE TO EVACUATE THE BUILDING IMMEDIATELY, YOU MUST REMAIN IN YOUR APARTMENT AND WAIT FOR INSTRUCTIONS FROM THE EMERGENCY SERVICES.



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Not For Profit Corporation
 THE BILTMORE REGENT CONDOMINIUM ASSOCIATION, INC.

Filing Information

Document Number N31455
FEI/EIN Number 65-0179381
Date Filed 03/31/1989
State FL
Status ACTIVE

Principal Address

721 BILTMORE WAY
 CORAL GABLES, FL 33134

Changed: 03/25/2009

Mailing Address

C/O SOUTH FLORIDA CONDOMINIUM MANAGEMENT, INC.
 2800 BISCAYNE BLVD
 Suite 310
 Miami, FL 33137

Changed: 04/06/2023

Registered Agent Name & Address

Becker & Poliakoff, PA
 Becker & Poliakoff, PA
 2525 Ponce De Leon Blvd
 Suite 825
 Coral Gables, FL 33134

Name Changed: 07/28/2025

Address Changed: 07/28/2025

Officer/Director Detail

Name & Address

City's Exhibit #8

Title Secretary

PAGAN, PRISCILLA
 C/O South Florida Condominium Management, Inc.
 2800 Biscayne Blvd
 Suite 310
 Miami, FL 33137

Title Treasurer

IRWIN, CHARLES
 C/O South Florida Condominium Management, Inc.
 2800 Biscayne Blvd
 Suite 310
 Miami, FL 33137

Title President

CHISENA, MARISA M.
 C/O South Florida Condominium Management, Inc.
 2800 Biscayne Blvd
 Suite 310
 Miami, FL 33137

Title VP

PIETRA, MANUEL SCHIAPPA
 C/O South Florida Condominium Management, Inc.
 2800 Biscayne Blvd
 Suite 310
 Miami, FL 33137

Annual Reports

Report Year	Filed Date
2025	03/05/2025
2025	03/13/2025
2025	07/28/2025

Document Images

07/28/2025 -- AMENDED ANNUAL REPORT	View image in PDF format
03/13/2025 -- AMENDED ANNUAL REPORT	View image in PDF format
03/05/2025 -- ANNUAL REPORT	View image in PDF format
02/23/2024 -- ANNUAL REPORT	View image in PDF format
04/06/2023 -- ANNUAL REPORT	View image in PDF format

04/29/2022 -- ANNUAL REPORT	View image in PDF format
12/03/2021 -- AMENDED ANNUAL REPORT	View image in PDF format
12/02/2021 -- AMENDED ANNUAL REPORT	View image in PDF format
04/21/2021 -- ANNUAL REPORT	View image in PDF format
01/15/2020 -- ANNUAL REPORT	View image in PDF format
04/19/2019 -- ANNUAL REPORT	View image in PDF format
04/28/2018 -- ANNUAL REPORT	View image in PDF format
04/12/2017 -- ANNUAL REPORT	View image in PDF format
04/28/2016 -- ANNUAL REPORT	View image in PDF format
04/24/2015 -- ANNUAL REPORT	View image in PDF format
09/18/2014 -- AMENDED ANNUAL REPORT	View image in PDF format
05/01/2014 -- ANNUAL REPORT	View image in PDF format
02/20/2013 -- ANNUAL REPORT	View image in PDF format
04/19/2012 -- ANNUAL REPORT	View image in PDF format
02/27/2011 -- ANNUAL REPORT	View image in PDF format
01/12/2010 -- ANNUAL REPORT	View image in PDF format
03/25/2009 -- ANNUAL REPORT	View image in PDF format
04/10/2008 -- ANNUAL REPORT	View image in PDF format
05/17/2007 -- ANNUAL REPORT	View image in PDF format
05/10/2006 -- ANNUAL REPORT	View image in PDF format
03/29/2005 -- ANNUAL REPORT	View image in PDF format
08/02/2004 -- ANNUAL REPORT	View image in PDF format
05/12/2003 -- ANNUAL REPORT	View image in PDF format
05/06/2002 -- ANNUAL REPORT	View image in PDF format
03/19/2001 -- ANNUAL REPORT	View image in PDF format
04/25/2000 -- ANNUAL REPORT	View image in PDF format
03/04/1999 -- ANNUAL REPORT	View image in PDF format
02/06/1998 -- ANNUAL REPORT	View image in PDF format
05/08/1997 -- ANNUAL REPORT	View image in PDF format

Florida Department of State, Division of Corporations



BUILDING RECERTIFICATION INSPECTION REPORT FORM - ELECTRICAL

- Initial Inspection Report Amended Inspection Report after completion of repairs

Licensed Engineer(s) or Architect(s) Responsible for Recertification Inspection

Inspection Firm Name (if applicable): The Falcon Group

Address: 15405 NW 7th Ave. Miami, FL 33169

Telephone Number: (305) 663-1970 Email: info@thefalcongroun.us

Assuming Responsibility for: All Portion If portion, please list:

Inspection Commencement Date: 10/21/25 Inspection Completion Date: 10/22/25

NOTE: Add pages as required to list all additional design professionals assuming responsibility for the Recertification Inspections or portions thereof. Each Design Professional must sign and seal their portion of the work in accordance with Florida Statutes.

Please check the condition that applies:

- Dangerous Condition Observed. Notify Building Official within 10 days
- Immediate Dangerous Condition Observed. Notify Building and Fire Officials within 24 hours
- Maintenance needed but does not rise to the level of Dangerous
- Passed the Inspection

Jose Urdaneta, State of Florida, Professional Engineer,
 License No. 97604

This item has been digitally signed and sealed by
 Jose Urdaneta on the date indicated here.

Printed copies of this documents are not considered
 signed and sealed and the signature must be verified on
 any electronic copies.

Licensed Design Professional: Engineer Architect

Name: Jose Urdaneta

License Number: P.E. 97604

I am qualified to practice in the discipline in which I am hereby signing:

Signature: 

Date: 12/8/25



Seal

This report has been based upon the minimum inspection requirements of Miami-Dade County Code Sec. 8-11(f). To the best of my knowledge and ability, this report represents an accurate appraisal of the present conditions of the electrical system, based on careful evaluation of conditions, to the extent reasonably possible.

City's Exhibit #9

MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR BUILDING ELECTRICAL RECERTIFICATION

CASE REFERENCE NUMBER:

JURISDICTION NAME:

CITY OF CORAL GABLES

*Use separate sheets for additional responses by referencing the report section number.

1. DESCRIPTION OF BUILDING	
a. Name on Title: THE BILTMORE REGENT	
b. Building Street Address: 721 Biltmore Way, Coral Gables, FL 33134	Bldg. #: 1
c. Legal Description: See Annex "A"	Attached: <input checked="" type="checkbox"/>
d. Owner's Name: THE BILTMORE REGENT CONDOMINIUM ASSOCIATION, INC	
e. Owner's Mailing Address: 2525 Ponce de Leon Blvd., Suite 825, Coral Gables, FL 33134	
f. Owner's email:	
g. Owner's Contact Phone Number:	
h. Corresponding Property Folio Number: 03-4117-035-0001 (Reference)	
i. Name of Condominium or Cooperative Association (if applicable):	
j. Building Code Occupancy Classification R-2	
k. Present Use: Residential	
l. General description, type of construction, size, number of stories, and special features:	
The Biltmore Regent Condominium is comprised of 14-story residential building with a total of 24 residential units. The property has a cover parking garage, Lobby, pool deck, and equipment rooms.	
The building was built in 1990.	
m. Number of Stori 14	n. Is this a Threshold Bui ¹ as per 553.71(12) F.S. (Yes/No): Yes
o. Additional Comments:	
The building has two (02) main services identified, one (1) generator, one (1) electrical room and one (1) Firepump.	

2. INSPECTIONS

a. Date of Notice of Required Inspection: 01/31/2024

b. Date(s) of actual inspection: 10/22/2025

c. Name and qualifications of licensee submitting report

Jose Urdaneta P.E. 97604

d. Are Any Electrical Repairs Required? (YES/NO): No

1. If required, describe, and indicate acceptance:

e. Can the building continue to be occupied while recertification and repairs are ongoing? (YES/NO):

1. Explanation/Conditions:

3. ELECTRICAL SERVICE **PROVIDE PHOTO 3**

a. Size: Voltage (208) Amperage (1200) Type: Fuses () Breakers (X)

b. Phase: Three-Phase (●) Single Phase (○)

c. Condition: Good (●) Fair (○) Needs Repair (○)

Comments:

Main Services "1 of 2 and 2 of 2".

See Annex "A", photo #3.

4. METERING EQUIPMENT **PROVIDE PHOTO 4**

1. Clearances: Good (●) Fair (○) Needs Correction (○)

Comments:

See Annex "A", photo #4.

5. ELECTRIC ROOMS	Not Applicable: <input type="checkbox"/>	PROVIDE PHOTO 5
1. Clearances:	Good (<input checked="" type="radio"/>)	Fair (<input type="radio"/>) Needs Correction (<input type="radio"/>)
Comments:		
See Annex "A", photo #5.		

6. GUTTERS	Not Applicable: <input type="checkbox"/>	PROVIDE PHOTO 6
1. Location:	Good (<input checked="" type="radio"/>)	Needs Repair (<input type="radio"/>)
2. Taps and Fill:	Good (<input checked="" type="radio"/>)	Needs Repair (<input type="radio"/>)
Comments:		
See Annex "A", photo #6.		

7. ELECTRICAL PANELS	PROVIDE PHOTO 7
1. Panel # (EB)	Location: Main Electrical Room. See Annex "A", photo #7.
	Good (<input checked="" type="radio"/>) Needs Repair (<input type="radio"/>)
2. Panel # (EDP)	Location: Main Electrical Room.
	Good (<input checked="" type="radio"/>) Needs Repair (<input type="radio"/>)
3. Panel # (EP)	Location: Main Electrical Room.
	Good (<input checked="" type="radio"/>) Needs Repair (<input type="radio"/>)
4. Panel # (House)	Location: Main Electrical Room.
	Good (<input checked="" type="radio"/>) Needs Repair (<input type="radio"/>)
5. Panel # (LE)	Location: Main Electrical Room.
	Good (<input checked="" type="radio"/>) Needs Repair (<input type="radio"/>)
Use separate sheets for additional panels.	

Comments:
See Annex "A", photo #7.

8. BRANCH CIRCUITS (Exiting panel enclosure)				PROVIDE PHOTO 8
1. Identified:	Yes (<input checked="" type="radio"/>)	Must be Identified	(<input type="radio"/>)	
2. Conductors:	Good (<input checked="" type="radio"/>)	Deteriorated	(<input type="radio"/>)	Must be Replaced (<input type="radio"/>)
Comments:				
See Annex "A", photo #8.				

9. GROUNDING OF SERVICE		PROVIDE PHOTO 9
	Good (<input checked="" type="radio"/>)	Needs Repair (<input type="radio"/>)
Comments:		
See Annex "A", photo #9.		

10. BRANCH CIRCUIT EQUIPMENT GROUNDING SYSTEM		PROVIDE PHOTO 10
	Good (<input checked="" type="radio"/>)	Needs Repair (<input type="radio"/>)
Comments:		
See Annex "A", photo #10.		

11. SERVICE CONDUIT/RACEWAYS**PROVIDE PHOTO 11**Good ()Needs Repair ()

Comments:

See Annex "A", photo #11.

12. GENERAL CONDUIT/RACEWAYS**PROVIDE PHOTO 12**Good ()Needs Repair ()

Comments:

See Annex "A", photo #12.

13. WIRE AND CABLES**PROVIDE PHOTO 13**Good ()Needs Repair ()

Comments:

See Annex "A", photo #13.

14. BUSWAYSNot Applicable: **PROVIDE PHOTO 14**Good ()Needs Repair ()

Comments:

N/A

15.THERMOGRAPHY INSPECTION RESULTSNot Applicable: **PROVIDE PHOTO 15**

Design Professional to summarize results below. Attach thermography report by certified thermographer.

Are there any anomalies reported in the thermography report? (Yes/No): No

Comments: See Thermography Report

16.OTHER CONDUCTORS**PROVIDE PHOTO 16**Good () Needs Repair ()

Comments:

See Annex "A", photo #16.

17.TYPES OF WIRING METHODS**PROVIDE PHOTO 17**

- | | | | |
|-------------------------------|---|--|--|
| 1. Conduit Raceways Metallic: | Good (<input checked="" type="radio"/>) | Needs Repair (<input type="radio"/>) | N/A (<input type="radio"/>) |
| 2. Conduit PVC: | Good (<input checked="" type="radio"/>) | Needs Repair (<input type="radio"/>) | N/A (<input type="radio"/>) |
| 3. NM Cable: | Good (<input type="radio"/>) | Needs Repair (<input type="radio"/>) | N/A (<input checked="" type="radio"/>) |
| 4. Other Conductors/Cables: | Good (<input type="radio"/>) | Needs Repair (<input type="radio"/>) | N/A (<input checked="" type="radio"/>) |

a. Other Conductors/Cables (Specify):

Comments:

See Annex "A", photo #17.

18.EXISTING EMERGENCY LIGHTING (BUILDING INTERIOR)**PROVIDE PHOTO 18**Good () Needs Repair () N/A ()

Comments:

See Annex "A", photo #18.

19. EXISTING BUILDING EGRESS ILLUMINATION (BUILDING EXTERIOR)	PROVIDE PHOTO 19
Good (<input checked="" type="radio"/>)	Needs Repair (<input type="radio"/>) N/A (<input type="radio"/>)
Comments:	
See Annex "A", photo #19.	

20. EXISTING FIRE ALARM SYSTEM	PROVIDE PHOTO 20
Good (<input checked="" type="radio"/>)	Needs Repair (<input type="radio"/>) N/A (<input type="radio"/>)
Comments:	
See Annex "A", photo #20.	

21. EXISTING SMOKE DETECTORS (Part of a fire alarm system only)	Not Applicable: <input type="checkbox"/>	PROVIDE PHOTO 21
Good (<input checked="" type="radio"/>)	Needs Repair (<input type="radio"/>)	N/A (<input type="radio"/>)
Comments:		
See Annex "A", photo #21.		

22. EXISTING EXIT SIGNS (ILLUMINATED)	PROVIDE PHOTO 22
Good (<input checked="" type="radio"/>)	Needs Repair (<input type="radio"/>) N/A (<input type="radio"/>)
Comments:	
See Annex "A", photo #22.	

23. EMERGENCY GENERATOR	PROVIDE PHOTO 23
Good (<input checked="" type="radio"/>)	Needs Repair (<input type="radio"/>) N/A (<input type="radio"/>)
Comments:	
See Annex "A", photo #23.	

24. WIRING IN OPEN OR UNDERCOVER PARKING GARAGE AREAS	PROVIDE PHOTO 24
Good (<input checked="" type="radio"/>)	Requires Additional Illumination(<input type="radio"/>) N/A (<input type="radio"/>)
Comments:	
See Annex "A", photo #24.	

25. OPEN OR UNDERCOVER PARKING GARAGE ND EGRESS ILLUMINATION	PROVIDE PHOTO 25
Good (<input checked="" type="radio"/>)	Requires Additional Illumination(<input type="radio"/>) N/A (<input type="radio"/>)
Comments:	
See Annex "A", photo #25.	

26. SWIMMING POOL WIRING	PROVIDE PHOTO 26
Good (<input checked="" type="radio"/>)	Needs Repair (<input type="radio"/>) N/A (<input type="radio"/>)
Comments:	
See Annex "A", photo #26.	

27. WIRING TO MECHANICAL EQUIPMENT**PROVIDE PHOTO 27**Good ()Needs Repair ()N/A ()

Comments:

See Annex "A", photo #27.

28. UNDERGROUND OR LOWER-LEVEL PARKING GARAGESN/A: **PROVIDE PHOTO 28**

CHECKLIST ITEMS TO CONFIRM OR CONSIDER FOR UNDERGROUND PARKING GARAGE:

Number of Levels Below Grade Plane: 1

A. Are the sump pumps operational? Select: (Yes/Need Repair/N/A) Yes

Explanation:

B. If the elevator(s) travel below grade plane:

1. Are they programmed to return to a level at or above BFE plus freeboard:

Select: (Yes, No, Needs Repair, Will Retrofit): Yes

Explanation:

2. Are they equipped with sensors that prevent the cab from descending into a flooded hoistway?

Select: (Yes, No, Needs Repair, Will Retrofit): Yes

Explanation:

C. Are the branch electrical circuits feeding devices below grade plane protected by a Ground Fault Circuit Interrupter (GFCI) breaker?

Select: (Yes, No, Needs Repair, Will Retrofit): Yes

Explanation:

29. GENERAL ADDITIONAL COMMENTS**Reset Form**

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West Palm Beach, FL 33407

1211 1st Avenue N., Suite 106
St. Petersburg, FL 33705

October 15, 2025

City of Coral Gables– Development Services Department
Building Official
c/o Mr. Manuel Z. Lopez
427 Biltmore Way,
Coral Gables, FL 33143

RE: The Biltmore Regent Condominium Association, 721 Biltmore Way, Coral Gables, FL 33134
Folio # 03-4117-035-0001 – Electrical Safe to Occupy Letter

Y:\2023\23-0346\002_30 Y Recertification\01_Assessment\Documents\Safe To Occupy Letter\Electrical\L251015 Biltmore Regent -Electrically Safe To Remain Occupied.Docx

Building Department Official:

The Falcon Group (Falcon) conducted a 30-Year **Electrical** Recertification of the referenced building in accordance with the requirements of section 8-11(f) of Miami Dade County and City of Coral Gables “General Considerations & Guidelines” for the building safety inspections. In summary, in accordance with the above regulations and guidelines, the recertification is not approved since repairs are required to meet current standards of safety.

The building’s owner is currently in the process of completing the electrical repairs under permit No. **ELEC-25-08-3788**. At this point and based on current condition, the building continues to be “Safe to be Occupied” during the repair process. Falcon’s authorized representatives will be conducting periodic inspections of the current electrical condition of the building.

As a routine matter, in order to avoid possible misunderstandings, nothing in this report should be construed directly or indirectly as a guarantee of any portion of the electrical infrastructure. To the best of our knowledge and ability, this report represents an accurate appraisal of the present condition of the building based upon evaluation of observed conditions, to the extent reasonably possible.

Please contact our office for any questions at (305) 663-1970.

Respectfully Submitted,

Jose Urdaneta, P.E.
Lic.No.97604



Jose Urdaneta, State of Florida, Professional Engineer,
License No. 97604

This item has been digitally signed and sealed by
Jose Urdaneta on the date indicated here.

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West Palm Beach, FL 33407

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December 02, 2025

City of Coral Gables
Development Services Department
Building Official
c/o Manuel Z. Lopez, P.E
City Hall 405 Biltmore Way
Coral Gables, FL 33134

RE: The Biltmore Regent Condominium, 721 Biltmore Way, Coral Gables, FL 33134.
Folio # 03-4117-035-0001 (Reference) / 30 Year Electrical Recertification Report.

*Y:\2023\23-0346\006_Electrical Repairs\02-Inspections\Approval Reports\L251202_Biltmore Regent_30 Yrs Cover Letter
Electrical Recertification.Docx*

Dear Building Official:

The Falcon Group ("Falcon") conducted a 30-Year Electrical Recertification of the building "The Biltmore Regent", located at 721 Biltmore Way, Coral gables, FL 33134, in accordance with the requirements of section 8-11(f) of Miami Dade County. Please refer to the attached Electrical Safety Inspection Report.

The deficiencies noted in the previous report have been corrected under Permit No. ELEC-25-08-3788.

I certify that the aforementioned property is electrically safe for its occupancy classification.

Please note that this report is based upon sampling and is not intended to be an all-inclusive, exhaustive list of each location or condition.

As a routine matter, in order to avoid possible misunderstanding, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the structure. To the best of our knowledge and ability, this report represents accurate appraisal of the present electrical condition of the building based upon evaluation of observed conditions.

Please contact our office for any additional questions at (305) 663-1970.

Respectfully Submitted,

Jose J. Urdaneta, PE, FL #97604
Division Manager of MEP
The Falcon Group
JJU/dm
Attachments: Building Safety Inspection Reports (Electrical)



Jose Urdaneta, State of Florida, Professional Engineer,
License No. 97604

This item has been digitally signed and sealed by
Jose Urdaneta on the date indicated here.

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CERTIFICATION OF COMPLIANCE WITH PARKING LOT ILLUMINATION STANDARDS IN CHAPTER 8C-3 OF THE CODE OF MIAMI-DADE COUNTY

Case No. _____

Folio No. _____

Property Address: _____

Bldg. No. _____, Sq. Footage: _____

Building Description: _____

1. I am a Florida registered professional engineer / architect with an active license.

2. On _____, 20____, at _____ AM / PM, I measured the level of illumination in the parking lot(s) serving the above-referenced building.

3. Maximum _____ foot candle
Minimum _____ foot candle
Maximum to Minimum Ration _____ foot candle

4. The level of illumination provided in the parking lot meets / does not meet the minimum standards for the occupancy classification of the building as established in Section 8C-3 of the Miami-Dade County Code.

Signature and Seal of Architect or Engineer

Print Name

Date

Jose Urdaneta, State of Florida, Professional Engineer, License No. 97604
This item has been digitally signed and sealed by Jose Urdaneta on the date indicated here.
Printed copies of this documents are not considered signed and sealed and the signature must be verified on any electronic copies.

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St. Petersburg, FL 33705

April 17, 2024

City of Coral Gables
Development Services Department
c/o Manuel Lopez, Building Official.
City Hall 405 Biltmore Way.
Coral Gables, FL 33134

RE: The Biltmore Regent Condo – 721 Biltmore Way, Coral Gables, FL 33134
Folio # 03-4117-035-0001_ 30/40 Year Electrical Recertification Report.
*Y:\Clients\Falcon2023\23-0346\002_30 Y Recertification\Electrical\L20240412 - Biltmore Regent_30 Yrs Cover Letter
Electrical Recertification.Docx*

Dear Building Official:

The Falcon Group (Falcon) conducted a 30-Year Electrical Recertification Inspection of the referenced building in accordance with the requirements of section 8-11(f) of Miami Dade County. In summary, the Electrical Recertification is not approved as electrical repairs are necessary to meet current standards of safety. **Please note that we have not identified any condition that represents an imminent danger to the occupants of the building.**

Please also note, this report is based upon sampling and is not intended to be an all-inclusive, exhaustive list of each location of repair, scope of work or otherwise. It is recommended the Client retain the services of an engineering firm to prepare project scope and specifications that will include proper detailing, materials, bidding forms and project requirements.

As a routine matter, in order to avoid possible misunderstanding, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the structure. To the best of our knowledge and ability, this report represents an accurate appraisal of the present condition of the building based upon evaluation of observed conditions.

Please contact our office for any additional questions at (305) 663-1970.

Respectfully Submitted,

Jose J. Urdaneta, PE, FL #97604
Division Manager of MEP
The Falcon Group
JJU/dm
Attachments: Building Safety Inspection Reports (Electrical)





CERTIFICATION OF COMPLIANCE WITH PARKING LOT ILLUMINATION STANDARDS IN CHAPTER 8C-3 OF THE CODE OF MIAMI-DADE COUNTY

Date: April 10, 2024

Case No. _____ FYear 30

PropertyAddress: 721 Biltmore Way, Coral Gables FL 33134, Bldg. No.: _____, Sq. Ft.: _____

Folio Number: 03-4117-035-0001

Building Description: The Building has one (01) stories cover level parking garage and one (01) open level parking.

1. I am a Florida registered professional engineer architect with an active license.
2. On, 04/10/2024 at 9:00 AM PM, I measured the level of illumination in the parking lot(s) serving the above referenced building.
3. Maximum 13.38 foot candle
Minimum 3.97 foot candle
Maximum to Minimum Ratio 3.37 : 1, foot candle
4. The level of illumination provided in the parking lot meets does not meet the minimum standards for the occupancy classification of the building as established in Section 8C-3 of Miami-Dade County Code.

Signature and Seal of Professional

Print Name Engineer or Architect



**MINIMUM INSPECTION PROCEDURAL GUIDELINES
 FOR BUILDING ELECTRICAL RECERTIFICATION**

CASE REFERENCE NUMBER: _____ **LICENSEE NAME:** Jose Urdaneta
TITLE: PROFESSIONAL ENGINEER, FL #97604
ADDRESS: 15405 NW 7th Ave. Miami, FL 33169

SIGNATURE: _____

***Use separate sheets for additional responses by referencing the report number.**

1. DESCRIPTION OF BUILDING	
a. Name on Title:	THE BILTMORE REGENT
b. Building Street Address:	721 Biltmore Way, Coral Gables, FL 33124. Bldg. #: 1
c. Legal Description:	THE BILTMORE REGENT CONDO CORAL GABLES BILTMORE SEC LOTS 24 THRU 32 BLK 1 PB 20-28 F/A/U 03-4117-008-0200 Attached:
d. Owner's Name:	THE BILTMORE REGENT CONDOMINIUM ASSOCIATION, INC.
e. Owner's Mailing and email Addresses:	
f. Folio Number of Property on which Building is Located:	03-4117-035-0001
g. Building Code Occupancy Classification:	R2 Multifamily
h. Present use:	R2 Multifamily
i. General Description of building (overall description, structural systems, special features):	The Biltmore Regent Condominium is comprised of a fourteen (14) story building with 24 residential units. Additionally, it includes a cover parking garage, lobby, pool and pool deck, and equipment rooms. The building was built in 1990.
j. Number of Stories:	14 k. Is this a Threshold Building as per 553.71(12) F.S. (Yes/No): YES
l. Provide an aerial of the property identifying the building being certified on a separate sheet.	Attached:
m. Additional comments:	The Biltmore regent consist of two (02) main services identified, one (1) Electrical meter room, one (1) generator and one (1) Electrical Fire pump. Out of the twenty-four (24) existing units, a total of eleven (11) were entered upon availability and were inspected to identify "typical" electrical deficiencies. Deficiencies noted in this report are assumed to be common and may be present in other similar circumstances. A qualified Electrical Contractor shall use this report as a guide to investigate and identify similar deficiencies which may be present throughout the building, including all residences, and rectify them under proper permits. The electrical Contractor shall bring new deficiencies to the attention of the Engineer of Record, and to the owner's representative.

2. INSPECTIONS

a. Date of Notice of Required Inspection:	January 31, 2024
b. Date(s) of actual inspection:	03/19/24 to: 03/19/24
c. Name and qualifications of licensee submitting report:	Jose Urdaneta P.E. 97604
d. Are Any Electrical Repairs Required? (YES/NO):	YES
1. If required, describe, and indicate acceptance:	Refer to each section for explanation. All items to be repaired in accordance with the latest adopted edition of the NEC.
e. Can the building continue to be occupied while recertification and repair ongoing? (YES/NO):	YES
1. Explanation/Conditions:	The issues identified during the inspection do not represent an imminent danger to the occupants of the building.

3. ELECTRICAL SERVICE

PROVIDE PHOTO

1. MAIN SERVICE- 1 of 2									
Size:	Voltage	208	Amperage	1200	Type:	Fuses	1200	Breakers	
Phase:	Three-phase	<input checked="" type="radio"/>	Single-phase	<input type="radio"/>					
Condition:	Good	<input checked="" type="radio"/>	Fair	<input type="radio"/>	Needs repair	<input type="radio"/>			
Comments:	None. See Annex "A", photo #1.								
	Location:		Electrical ROOM						

2. MAIN SERVICE- 2 of 2									
Size:	Voltage	208	Amperage	800	Type:	Fuses	800	Breakers	
Phase:	Three-phase	<input checked="" type="radio"/>	Single-phase	<input type="radio"/>					
Condition:	Good	<input type="radio"/>	Fair	<input type="radio"/>	Needs repair	<input checked="" type="radio"/>			
Comments:	Repairs are required as follows: a. Missing proper circuit identification. See Annex "A", photo #2.								
	Location:		Electrical ROOM						

4. METERING EQUIPMENT

PROVIDE PHOTO

1. Clearances:	Good	<input checked="" type="radio"/>	Fair	<input type="radio"/>	Needs correction	<input type="radio"/>
Comments:	None. a. See Annex "A", photo #3. b. See Annex "A", photo #4.					

5. ELECTRIC ROOMNot Applicable

PROVIDE PHOTO

1. Clearances:	Good <input type="radio"/>	Fair <input type="radio"/>	Needs correction <input checked="" type="radio"/>
Comments: Repairs are required as follows: a. All temporary wiring and receptacles must be removed. See Annex "A", photo #5.			

6. GUTTERSNot Applicable

PROVIDE PHOTO

1. Location:	Good <input checked="" type="radio"/>	Needs repair <input type="radio"/>
2. Taps and fill:	Good <input type="radio"/>	Needs repair <input checked="" type="radio"/>
Comments: Repairs are required as follows: Roof. Domestic Water Pump. Gutter is open, missing screws. See Annex "A", photo #6.		

7. ELECTRICAL PANELS

PROVIDE PHOTO

1. Panel #:	EDP	Location:	Meter Electrical Room
		Good <input type="radio"/>	Needs repair <input checked="" type="radio"/>
Comments:	Size: 600 AMPS	Volt: 208/120	Phases: 3
			Type: MLO
Repairs are required as follows: Missing screws. See Annex "A", photo #7.			

2. Panel #:	EP	Location:	Meter Electrical Room
		Good <input type="radio"/>	Needs repair <input checked="" type="radio"/>
Comments:	Size: No rating	Volt: 208/120	Phases: 3
			Type: MLO
Repairs are required as follows: Missing proper circuit identification. See Annex "A", photo #8.			

3. Panel #:	EB	Location:	Meter Electrical Room
		Good <input checked="" type="radio"/>	Needs repair <input type="radio"/>
Comments:	Size: No rating	Volt: 208/120	Phases: 3
			Type: MLO
None. See Annex "A", photo #9.			

4. Panel #:	HOUSE	Location:	Meter Electrical Room
		Good <input type="radio"/>	Needs repair <input checked="" type="radio"/>
Comments:	Size: No rating	Volt: 208/120	Phases: 3
			Type: MLO
Repairs are required as follows: a. Missing proper circuit identification. See Annex "A", photo #10. b. Missing screws. See Annex "A", photo #11.			

5. Panel #: LE	Location: Meter Electrical Room			
	Good <input type="radio"/>	Needs repair <input checked="" type="radio"/>		
Comments:	Size: No rating	Volt: 480/277	Phases: 3	Type: MLO
Repairs are required as follows: Missing proper circuit identification. See Annex "A", photo #12.				

6. Panel #: GP	Location: Generator - Fire Pump Room			
	Good <input type="radio"/>	Needs repair <input checked="" type="radio"/>		
Comments:	Size: 800 AMPS	Volt: 208/120	Phases: 3	Type: MLO
Repairs are required as follows: Missing proper circuit identification. See Annex "A", photo #13.				

8. BRANCH CIRCUITS	PROVIDE PHOTO
---------------------------	----------------------

1. Identified:	Yes <input type="radio"/>	Must be identified <input checked="" type="radio"/>	
2. Conductors:	Good <input checked="" type="radio"/>	Deteriorated <input type="radio"/>	Must be replaced <input type="radio"/>
Comments: Branch circuits must be identified at the location of the overcurrent protection device. Refer to "ELECTRICAL PANEL" section for specific identification requirements for each panel.			

9. GROUNDING OF SERVICE	PROVIDE PHOTO
--------------------------------	----------------------

	Good <input checked="" type="radio"/>	Needs Repair <input type="radio"/>
Comments: None. See Annex "A", photo #14.		

10. GROUNDING OF EQUIPMENT	PROVIDE PHOTO
-----------------------------------	----------------------

	Good <input checked="" type="radio"/>	Needs Repair <input type="radio"/>
Comments: None.		

11. SERVICE CONDUIT/RACEWAYS	PROVIDE PHOTO
-------------------------------------	----------------------

	Good <input checked="" type="radio"/>	Needs Repair <input type="radio"/>
Comments: None.		

12. GENERAL CONDUIT/RACEWAYS	PROVIDE PHOTO
-------------------------------------	----------------------

	Good <input checked="" type="radio"/>	Needs Repair <input type="radio"/>
Comments: None.		

13. WIRE AND CABLES

PROVIDE PHOTO

Good Needs Repair Comments:
None.**14. BUSWAYS**

PROVIDE PHOTO

Good Needs Repair Comments:
N/A.**15. THERMOGRAPHY INSPECTION RESULT**Not Applicable

PROVIDE PHOTO

Design Professional to summarize results below. Attach thermography report by certified thermographer.

Are there any anomalies reported in the thermography report? (Yes/No) Yes

Comments:

The inspection was conducted in accordance with NFPA 70B. The thermographic report depicts some deficiencies and possible deficiencies that are required to be corrected. No major deficiencies were identified. See the thermographic report for details.

16. OTHER CONDUCTORS

PROVIDE PHOTO

Good Needs Repair

Comments:

Repairs are required as follows:

- a. Conference area. Kitchennete. Missing GFCI protection for receptacles above countertop. See Annex "A", photo #15.
- b. Drinking fountain. Missing GFCI protection for receptacles. See Annex "A", photo #16.
- c. Maintenance office. Missing 1-gang cover for receptacles. See Annex "A", photo #17.

17. TYPE OF WIRING METHODS

PROVIDE PHOTO

1. Conduit Raceways Metallic:	Good	<input checked="" type="radio"/>	Needs Repair	<input type="radio"/>	N/A	<input type="radio"/>
2. Conduit PVC:	Good	<input checked="" type="radio"/>	Needs Repair	<input type="radio"/>	N/A	<input type="radio"/>
3. NM cable:	Good	<input type="radio"/>	Needs Repair	<input type="radio"/>	N/A	<input checked="" type="radio"/>
4. Other Conductors/Cables:	Good	<input checked="" type="radio"/>	Needs Repair	<input type="radio"/>	N/A	<input type="radio"/>

a. Other Conductors/Cables (Specify): EMT conduit

Comments:

None.

18. EMERGENCY LIGHTING

PROVIDE PHOTO

Good Needs Repair N/A Comments:
None.

19. BUILDING EGRESS ILLUMINATION**PROVIDE PHOTO**

Good

Needs Repair

N/A

Comments:

None.

See Annex "A", photo #18.

20. FIRE ALARM SYSTEM**PROVIDE PHOTO**

Good

Needs Repair

N/A

Comments:

None.

See Annex "A", photo #19.

21. SMOKE DETECTORS (Part of a Fire Alarm System Only)

Not Applicable

PROVIDE PHOTO

Good

Needs Repair

N/A

Comments:

The following items need to be repaired:

Residential units require smoke alarm inside sleeping rooms per Florida Fire Prevention Code - NFPA 101 rule 31.3.4.5 (Refer to Item 29).

22. EXIT LIGHTS**PROVIDE PHOTO**

Good

Needs Repair

N/A

Comments:

None.

23. EMERGENCY GENERATOR**PROVIDE PHOTO**

Good

Needs Repair

N/A

Comments:

None.

Emergency Generator. See Annex "A", photo #21.

24. WIRING IN OPEN OR UNDER COVER PARKING GARAGE AREAS**PROVIDE PHOTO**

Good

Requires Additional Illumination

N/A

Comments:

None.

25. OPEN OR UNDER COVER PARKING GARAGE AND EGRESS ILLUMINATION**PROVIDE PHOTO**

Good Requires Additional Illumination N/A

Comments:

None.

- a. Cover parking: See Annex "A", photo #22.
- b. Open parking: See Annex "A", photo #23.

26. SWIMMING POOL WIRING**PROVIDE PHOTO**

Good Needs Repair N/A

Comments:

Repairs are required as follows:

- a. Pool equipotential bonding: Failed test between pumps and metal parts. See Annex "A", photo #24.
- b. Pool pump. Disconnect switch is unsafely rusted. See Annex "A", photo #25.

27. WIRING TO MECHANICAL EQUIPMENT**PROVIDE PHOTO**

Good Needs Repair N/A

Comments:

Repairs are required as follows:

- a. Roof. Elevator machine room. Missing motor cover protection. See Annex "A", photo #26.
- b. Roof. Disconnect Switch is unsafely rusted. See Annex "A", photo #27.
- c. Basements Level. Elevator Pit. Missing GFCI protection for receptacle. See Annex "A", photo #28.

28. UNDERGROUND OR LOWER-LEVEL PARKING GARAGESN/A **PROVIDE PHOTO**

CHECKLIST ITEMS TO CONFIRM OR CONSIDER FOR UNDERGROUND PARKING GARAGE:

Number of Levels Below Grade Plane: 1

A. Are the sump pumps operational? Select: (Yes/Needs Repair/N.A.) Yes

Explanation: None.

B. If the elevator(s) travel below grade plane:

1. Are they programmed to return to a level at or above BFE plus freeboard:

Select: (Yes, No, Needs Repair, Will Retrofit): Yes

Explanation: None.

2. Are they equipped with sensors that prevent the cab from descending into a flooded hoistway?

Select: (Yes, No, Needs Repair, Will Retrofit): Yes

Explanation: None.

3. Are the branch electrical circuits feeding devices below grade plane protected by a Ground Fault Circuit Interrupter (GFCI) breaker?

Select: (Yes, No, Needs Repair, Will Retrofit): Needs Repair

Explanation: Missing GFCI protection for receptacle below grade of elevator. See Annex "A", photo #28.

29. ADDITIONAL COMMENTS

PROVIDE PHOTO

Out of the 24 existing units, a total of 11 were entered upon availability and were inspected to identify “typical” electrical deficiencies.

These deficiencies are assumed to be common and may be present in other similar circumstances. A qualified electrical contractor shall utilize this report as a guide to investigate and identify similar deficiencies which may be present in all units throughout the facility and rectify under proper permits. The electrical contractor shall also bring all deficiencies to the attention of the engineer of record, and the board’s representative.

The following table depicts the inferred percentages of incidence of the typical deficiencies found inside the units.

No	Description	Found	% Incidence	Units potentially affected	Devices potentially affected
1	Missing GFCI protection for receptacles in the kitchen	6	55%	14	28
2	Missing GFCI protection for receptacles in the bathrooms	4	36%	9	11
3	Missing GFCI protection for receptacles in the balcony	1	9%	3	4
4	Missing GFCI protection for receptacles on the Laundry	6	55%	14	14
5	Missing smoke alarm inside the sleeping rooms	6	55%	14	31
6	Missing smoke alarm outside of the sleeping rooms	1	9%	3	6
7	Smoke alarm location non-conforming	0	0%	0	0
8	Electrical panel: working space clearance violation	0	0%	0	0
9	Electrical panel: missing proper circuit directory	5	45%	11	11

1. Missing GFCI protection for receptacles in the kitchen. See Annex “A”, photo #29, photo #30, and photo #31.
2. Missing GFCI protection for receptacles in the bathroom. See Annex “A”, photo #32, and photo #33.
3. Missing GFCI protection for receptacles on the balcony. See Annex "A", photo #34.
4. Missing GFCI protection for receptacles in the laundry. See Annex "A", photo #35.
5. Missing smoke alarm inside the sleeping rooms. See Annex “A”, photos #36, and photo #37.
6. Missing smoke alarm outside the sleeping rooms. See Annex “A”, photos #38.
7. Missing smoke alarm location non- conforming. Not found in the inspected sample.
8. Electrical panel: working space clearance violation. Not found in the inspected sample.
9. Electrical panel: missing or incomplete proper circuit directory. See Annex “A”, photos #39, and photo #40.

Annex "A"

Site Photographs

THE BILTMORE REGENT
721 Biltmore Way, Coral Gables, FL 33124



Photo # 1. Item 3.1. Meter Electrical Room. Disconnect Switch. Main 1 of 2.



Photo # 2. Item 3.2. Meter Electrical Room. Panelboard. Main 2 of 2. Missing proper circuit identification.



Photo # 3. Item 4.1.a. Meter Electrical Room. Meter Units.

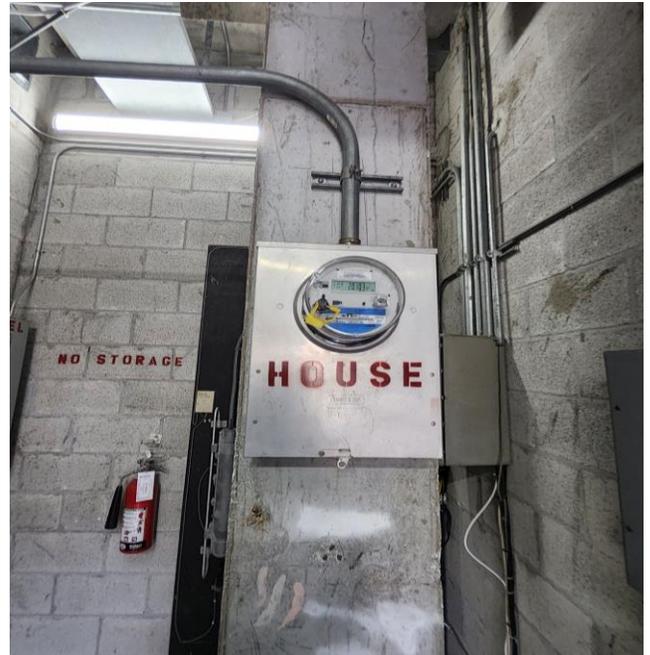


Photo # 4. Item 4.1.b. Meter Electrical Room. Meter House.



Photo # 5. Item 5.1.a. Meter Electrical Room. All temporary wiring and receptacles must be removed.



Photo # 6. Item 6.1. Roof. Water domestic pump. Gutter is open, missing screws.



Photo # 7. Item 7.1. Meter Electrical Room. Panelboard EDP. Missing screws.



Photo # 8. Item 7.2. Meter Electrical Room. Panelboard EP. Missing proper circuit identification.



Photo # 9. Item 7.3. Meter Electrical Room. Panelboard EB.



Photo # 10. Item 7.4.a. Meter Electrical Room. Panelboard HOUSE. Missing proper circuit identification.



Photo # 11. Item 7.4.b. Meter Electrical Room. Panelboard HOUSE. Missing screws.



Photo # 12. Item 7.5. Meter Electrical Room. Panelboard LE. Missing proper circuit identification.



Photo # 13. Item 7.6. Meter Generator - Fire Pump Room. Panelboard GP. Missing proper circuit identification.

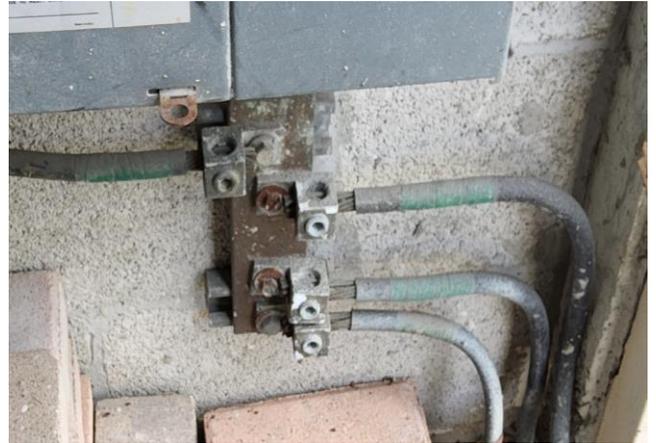


Photo # 14. Item 9.1. Meter Electrical Room. Grounding.



Photo # 15. Item 16.a. Conference Area. Kitchennete. Missing GFCI protection for receptacle - Test Fail.



Photo # 16. Item 16.b. Drinking fountain. Missing GFCI protection for receptacles.



Photo # 17. Item 16.c. Maintenance office. Missing cover for receptacles.



Photo # 18. Item 19.a. Level 2. West Stair Illumination



Photo # 19. Item 20.1. Level G. Fire Alarm Central Panel.

DELETED

Photo # 20. Deleted



Photo # 21. Item 23.1. Level G. Emergency Generator.



Photo # 22. Item 25.1. Basement Level - Cover parking, Fc = 13.38.

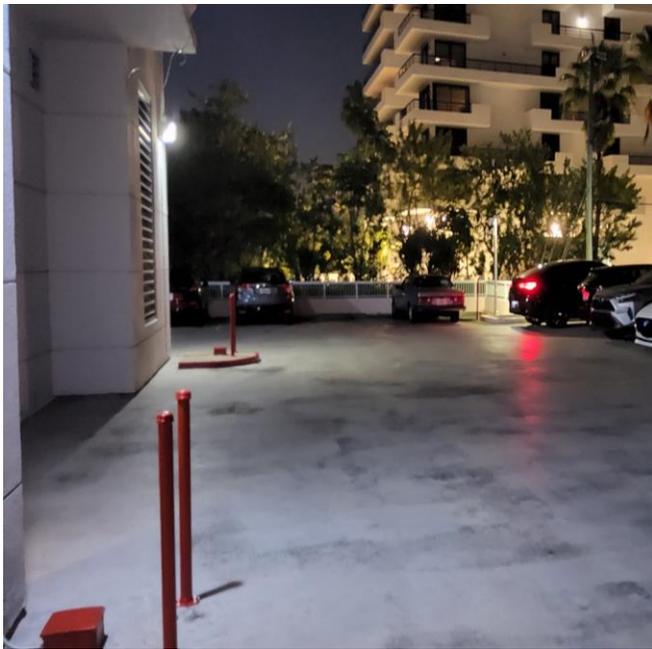


Photo # 23. Item 24.2. Level 1 - Open parking, Fc = 9.7.



Photo # 24. Item 26.a. Pool equipotential bonding: Failed test between pumps and metal parts.



Photo # 25. Item 26.b. Pool pump. Disconnect switch is unsafely rusted.



Photo # 26. Item 27.a. Roof. Elevator room. Missing motor cover protection.

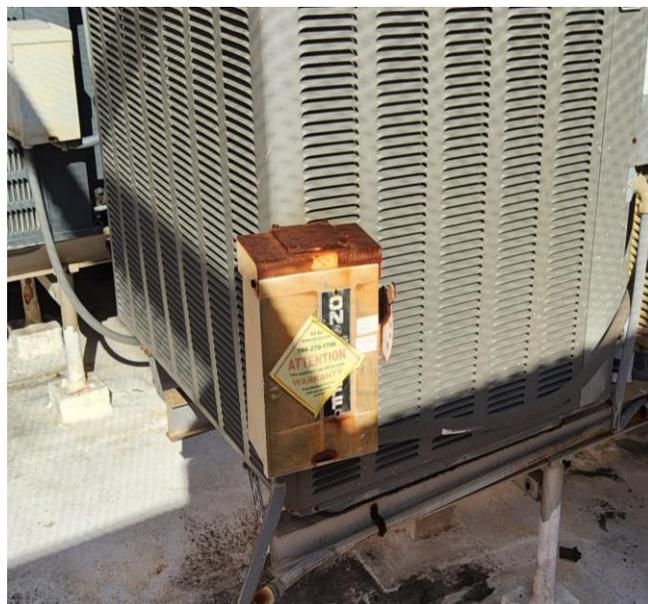


Photo # 27. Item 27.b. Roof. Disconnect Switch is unsafely rusted.



Photo # 28. Item 27.c. Level Bassement. Elevator. Missing GFCI protection for receptacle.



Photo # 29. Item 28.1. Missing GFCI protection for receptacles in the kitchen.



Photo # 30. Item 28.1. Missing GFCI protection for receptacles in the kitchen.



Photo # 31. Item 28.1. Missing GFCI protection for receptacles in the kitchen.



Photo # 32. Item 28.2. Missing GFCI protection for receptacles in the bathroom- test fail.



Photo # 33. Item 28.2 Missing GFCI protection for receptacles in the bathroom- test fail.



Photo # 34. Item 28.3. Missing GFCI protection for receptacles in the balcony.



Photo # 35. Item 28.4. Missing GFCI protection for receptacles in the laundry.



Photo # 36. Item 28.5. Missing smoke alarm inside the sleeping rooms.



Photo # 37. Item 28.3. Missing smoke alarm inside the sleeping rooms.

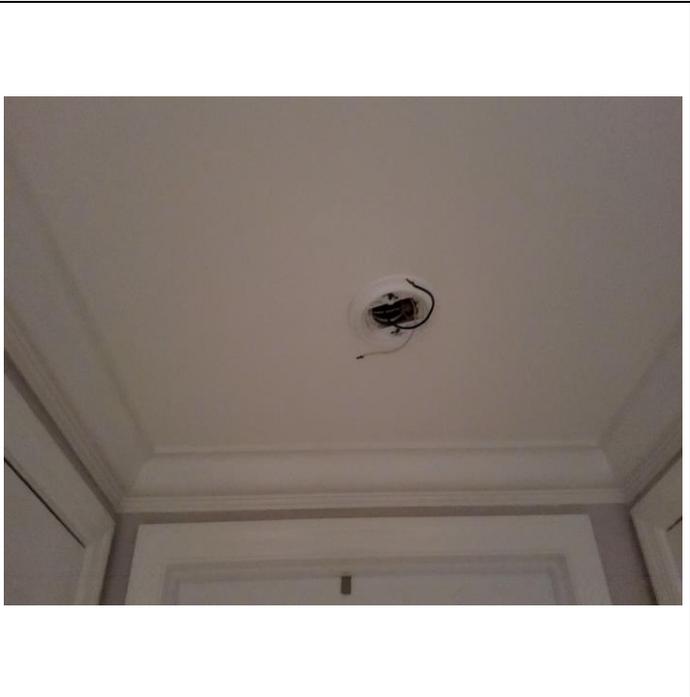


Photo # 38. Item 28.6. Missing smoke alarm outside the sleeping rooms.

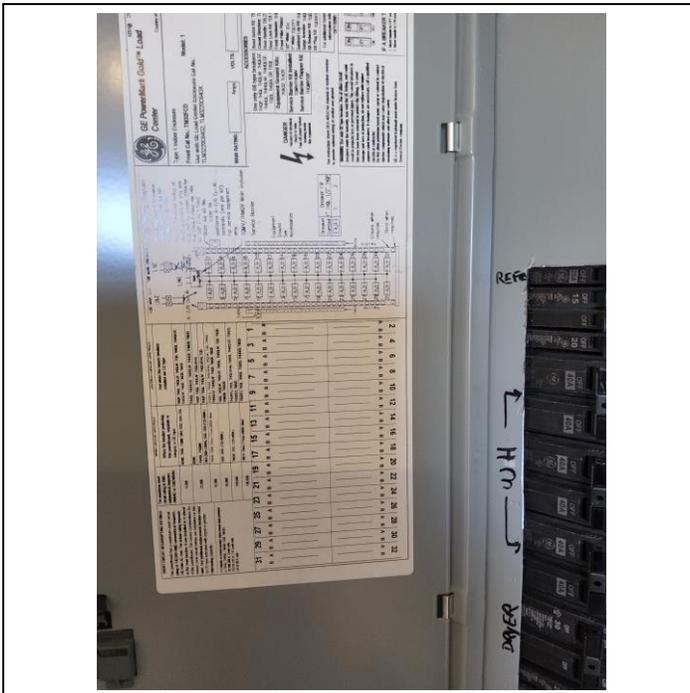


Photo # 39. Items 28.7. Electrical panel missing or incomplete proper circuit directory.



Photo # 40. Item 28.7. Electrical panel missing or incomplete proper circuit directory.

ENGINEERS
 ARCHITECTS
 RESERVE
 SPECIALISTS

T H E
FALCON
 G R O U P

15405 NW 7th Avenue
 Miami, FL 33169
 P (305) 663-1970
 TheFalconGroup.us

THERMAL IMAGE REPORT

Client	
Name	THE BILTMORE REGENT CONDO
Site	721 Biltmore Way. Coral Gables, FL 33134
Insp. Date	10/14/2025, 04/10/2024

Inspection	
Name	The Falcon Group 15405 NW 7th Avenue Miami, FL 33169
Thermographer	Juan Tovar
Sign	
Certification No.	271643
E-mail	jtovar@thefalcongroup.us
Phone	305-6631970 Ext 736, 786-718-7380



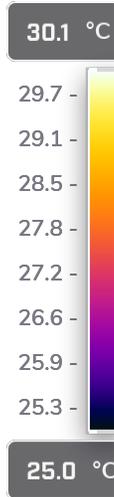
The analysis criterion of the failure of the component due to temperature difference is based on the ANSI/ NETA MTS standard / NFPA 70B, where the temperature of a component with possible failure is compared with a similar reference component under the same load conditions.

Temperature Differences of 1°C to 3°C	Indicate possible deficiency and warrant investigation
Temperature Differences of 4°C to 15°C	Indicate deficiency; repairs should be made as time permits
Temperature Differences of 16°C and above	Indicate major deficiency; repairs should be made immediately

SUMMARY

File name	Equipment	Component	Page number	Condition
FLIR1353.jpg	Main 1 of 2	Circuit breaker	3	NORMAL
FLIR1357.jpg	ATS	ATS	4	NORMAL
FLIR1373.jpg	Main 2 of 2	Panelboard	6	NORMAL
FLIR1371.jpg	Main 2 of 2	Panelboard-Neutral bar	5	NORMAL
FLIR1395.jpg	EDP	Panelboard	7	NORMAL
FLIR1409.jpg	EDP	Panelboard-busbar	8	NORMAL
FLIR5211.jpg	EP	Panelboard	9	NORMAL
FLIR1475.jpg	EB	Panelboard	10	NORMAL
FLIR1491.jpg	LE	Panelboard	11	NORMAL
FLIR5189.jpg	House	Panelboard	12	NORMAL
FLIR5201.jpg	House Panelboard	Circuit breaker #30-32	13	NORMAL
FLIR1525.jpg	GP	Panelboard	14	NORMAL

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	Main 1 of 2
Component	Circuit breaker
File name	FLIR1353.jpg
Condition	NORMAL



Temp. Measurements

Sp1	26.2 °C
Sp2	26.2 °C
Sp3	26.6 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

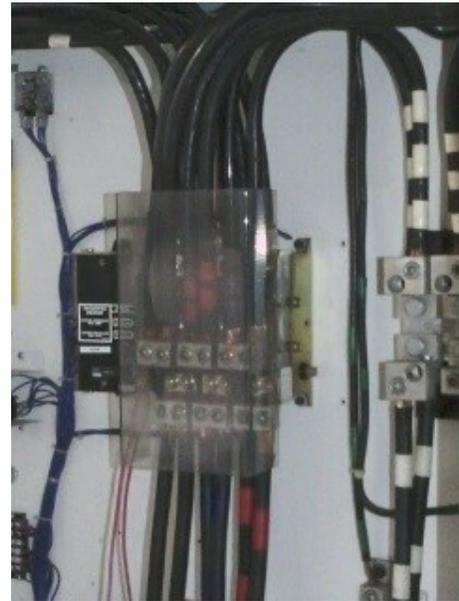
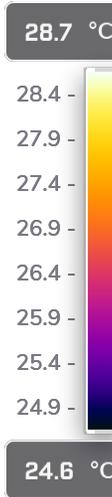
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	ATS
Component	ATS
File name	FLIR1357.jpg
Condition	NORMAL



Temp. Measurements

Sp1	27.3 °C
Sp2	27.6 °C
Sp3	26.4 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

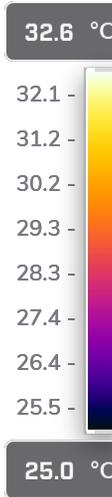
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	Main 2 of 2
Component	Panelboard-Neutral bar
File name	FLIR1371.jpg
Condition	NORMAL



Temp. Measurements

Sp1	26.4 °C
Sp2	26.5 °C
Sp3	26.7 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

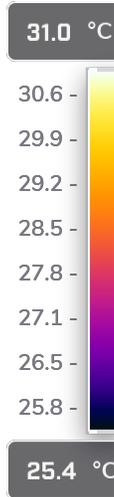
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	Main 2 of 2
Component	Panelboard
File name	FLIR1373.jpg
Condition	NORMAL



Temp. Measurements

Sp1	26.9 °C
Sp2	26.9 °C
Sp3	26.9 °C
Sp4	26.9 °C
Sp5	26.7 °C
Sp6	26.4 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

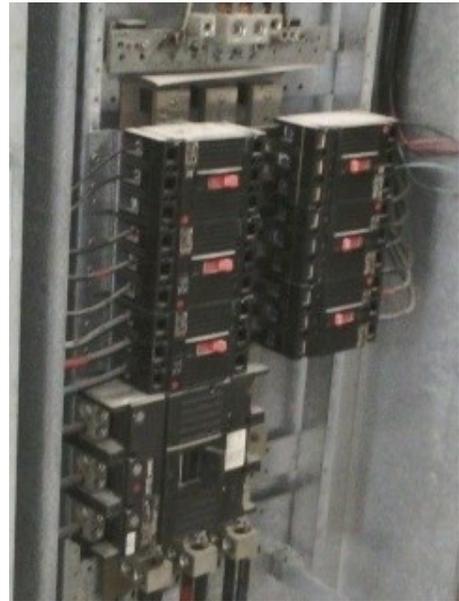
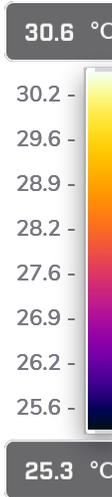
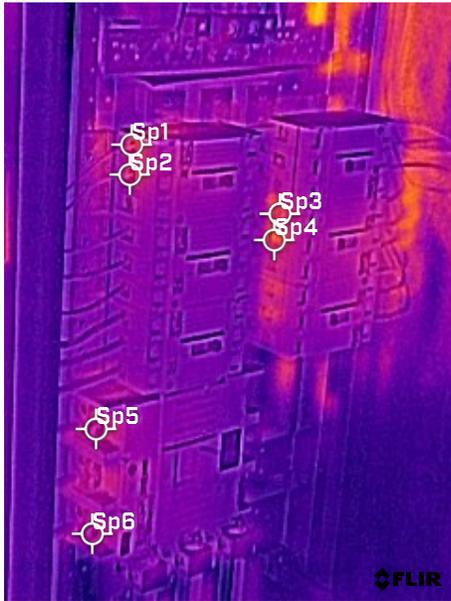
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	EDP
Component	Panelboard
File name	FLIR1395.jpgg
Condition	NORMAL



Temp. Measurements

Sp1	27.7 °C
Sp2	27.4 °C
Sp3	27.6 °C
Sp4	27.9 °C
Sp5	27.0 °C
Sp6	26.9 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

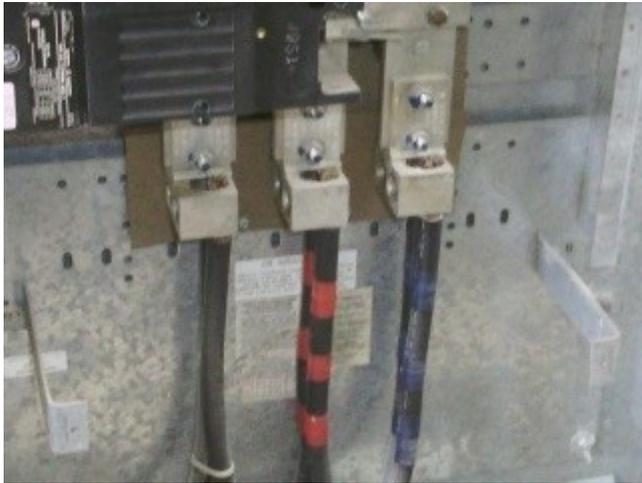
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	EDP
Component	Panelboard-busbar
File name	FLIR1409.jpg
Condition	NORMAL



Temp. Measurements

Sp1	26.6 °C
Sp2	26.7 °C
Sp3	26.5 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

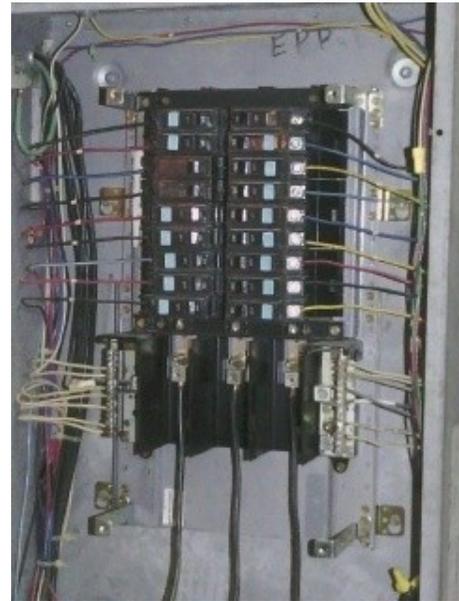
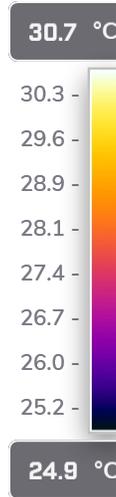
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	10/14/2025
Location	Electric meter room
Equipment	EP
Component	Panelboard
File name	FLIR5211.jpg
Condition	NORMAL



Temp. Measurements

Bx1	
Max	30.3 °C
Bx2	
Max	30.4 °C
Bx3	
Max	28.1 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	28.0 °C

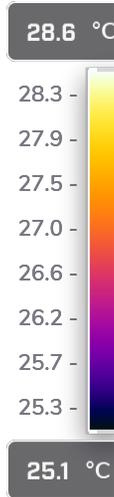
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	EB
Component	Panelboard
File name	FLIR1475.jpg
Condition	NORMAL



Temp. Measurements

Sp1	26.5 °C
Sp2	26.6 °C
Sp3	27.4 °C
Sp4	27.2 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

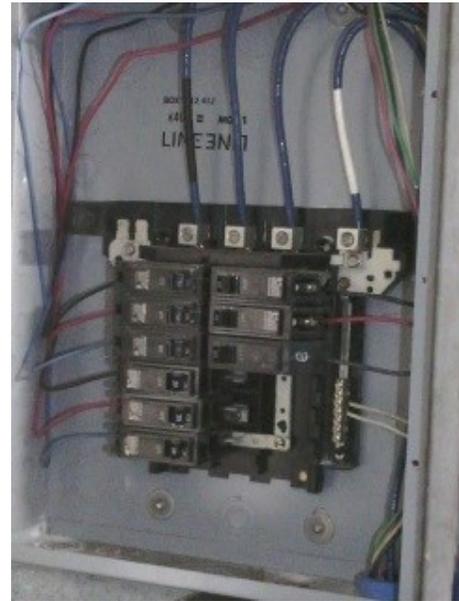
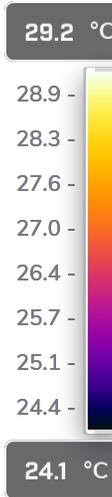
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	LE
Component	Panelboard
File name	FLIR1491.jpgg
Condition	NORMAL



Temp. Measurements

Sp1	25.4 °C
Sp2	25.4 °C
Sp3	25.6 °C
Sp4	25.9 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

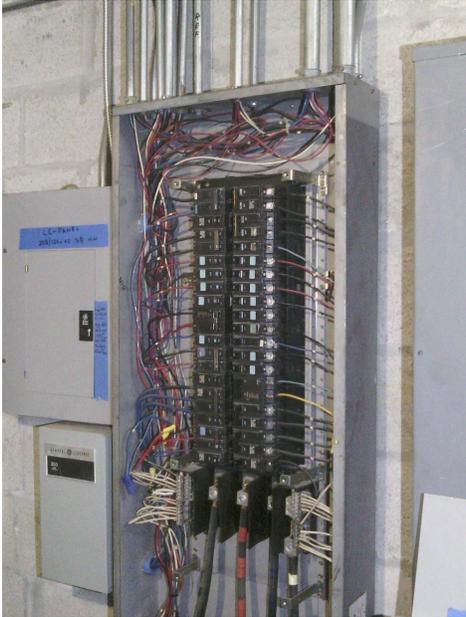
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	10/14/2025
Location	Electric meter room
Equipment	House
Component	Panelboard
File name	FLIR5189.jpg
Condition	NORMAL



Temp. Measurements

Bx1	
Max	32.2 °C
Bx2	
Max	33.9 °C
Bx3	
Max	29.7 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	28.0 °C

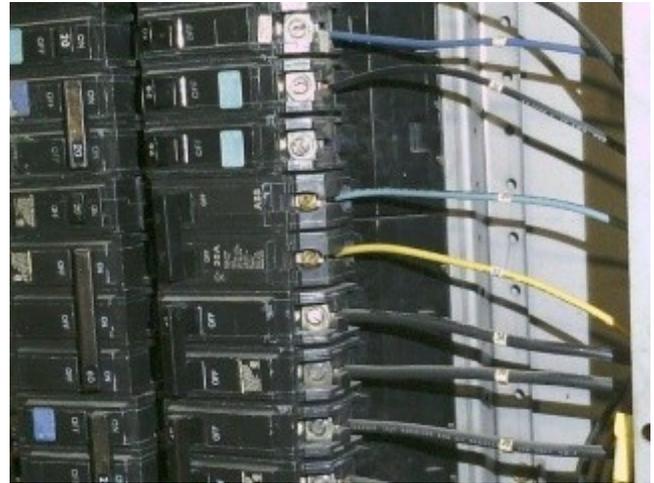
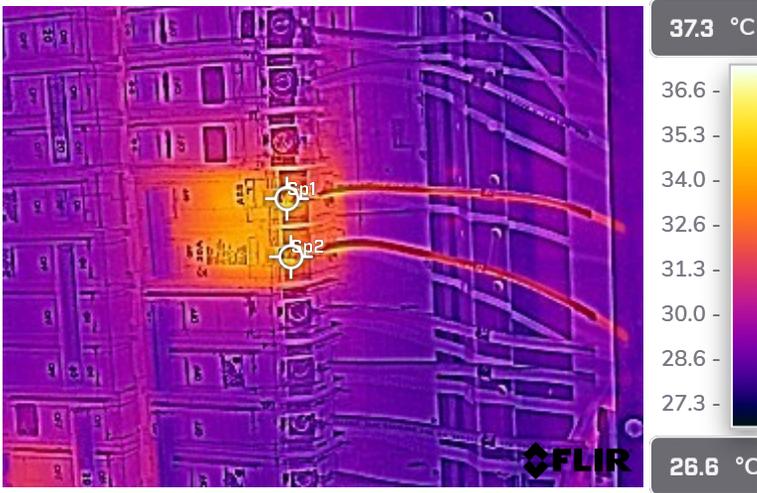
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	10/14/2025
Location	Electric meter room
Equipment	House Panelboard
Component	Circuit breaker #30-32
File name	FLIR5201.jpg
Condition	NORMAL



Temp. Measurements

Sp1	34.7 °C
Sp2	34.0 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	28.0 °C

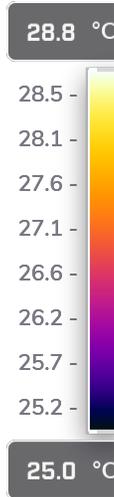
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Generator & Fire Pump Room
Equipment	GP
Component	Panelboard
File name	FLIR1525.jpgg
Condition	NORMAL



Temp. Measurements

Sp1	26.3 °C
Sp2	26.4 °C
Sp3	26.4 °C
Sp4	26.2 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

Problem:

None.

Recommendation:

None.

Annex "A"

Thermographer Certificate



Annex "A"

Site Photographs

The BILTMORE REGENT.
721 Biltmore Way, Coral Gables, FL 33124

Legal Description

THE BILTMORE REGENT CONDO
CORAL GABLES BILTMORE SEC
LOTS 24 THRU 32 BLK 1 PB 20-28
F/A/U 03-4117-008-0200

Jose Urdaneta, State of Florida, Professional Engineer,
License No. 97604

This item has been digitally signed and sealed by
Jose Urdaneta on the date indicated here.

Printed copies of this documents are not considered
signed and sealed and the signature must be verified on
any electronic copies.



Photo # 3. Item 3. Electrical Service.



Photo # 4. Item 4. Metering Equipment.



Photo # 5. Item 5. Electric Rooms.



Photo # 6. Item 6. Gutters.



Photo # 7. Item 7. Electrical Panels. Panelboard EB.

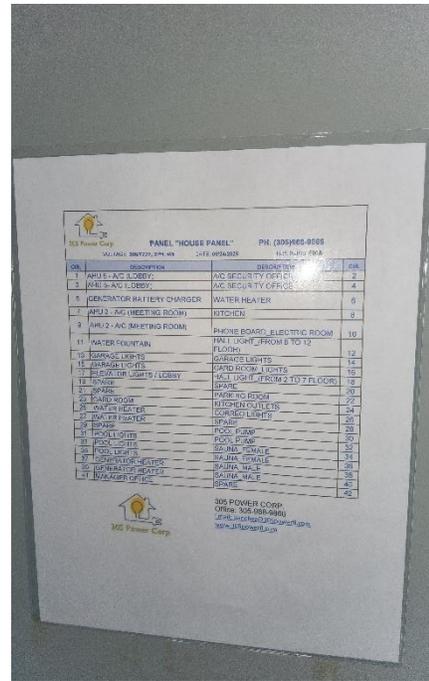


Photo # 8. Item 8. Branch Circuits

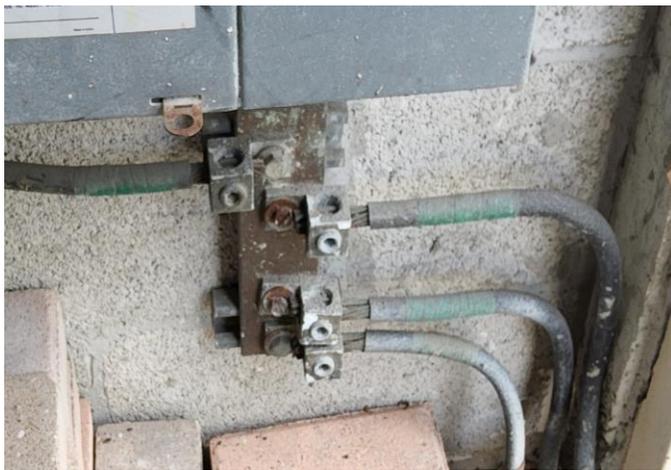


Photo # 9. Item 9. Grounding Service.



Photo # 10. Item 10. Branch Circuit Equipment Grounding System.



Photo # 11. Item 11. Service Conduit /Raceways.



Photo # 12. Item 12. General Conduit /Raceways.

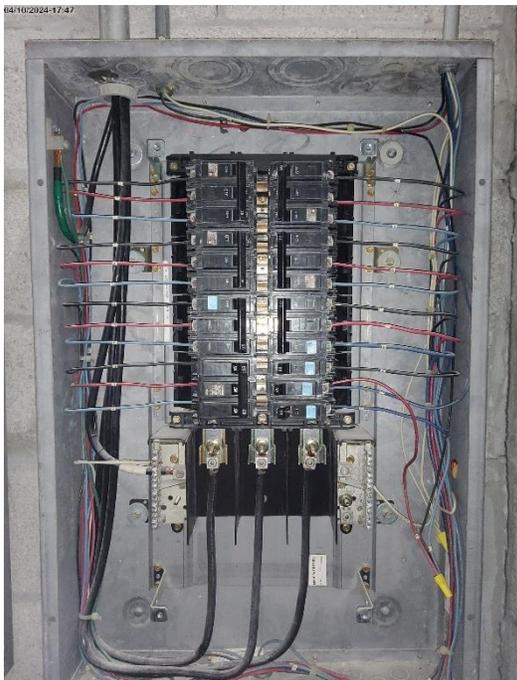


Photo # 13. Item 13. Wire and Cable.

Not Applicable

Photo # 14. Item 14. Busways. Not Applicable.

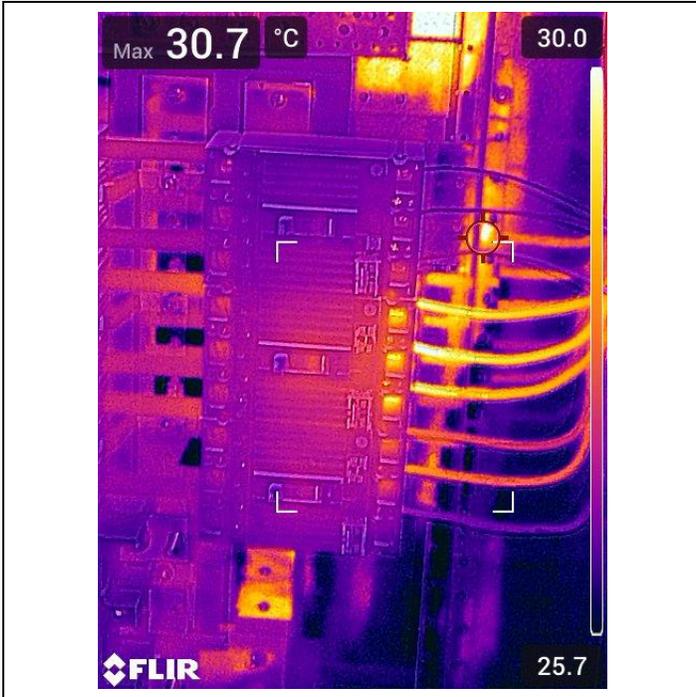


Photo # 15. Item 15. Thermography Inspection Results. See Thermography Report.

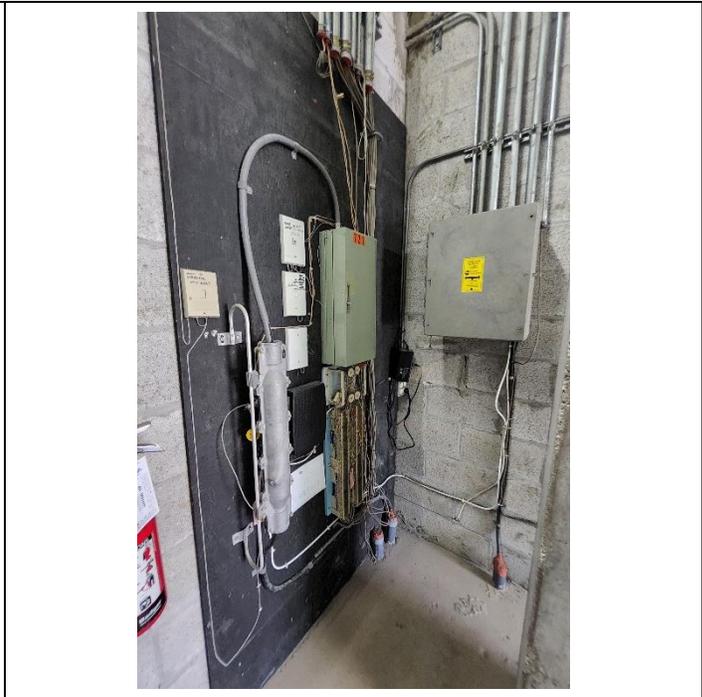


Photo # 16. Item 16. Other Conductors.

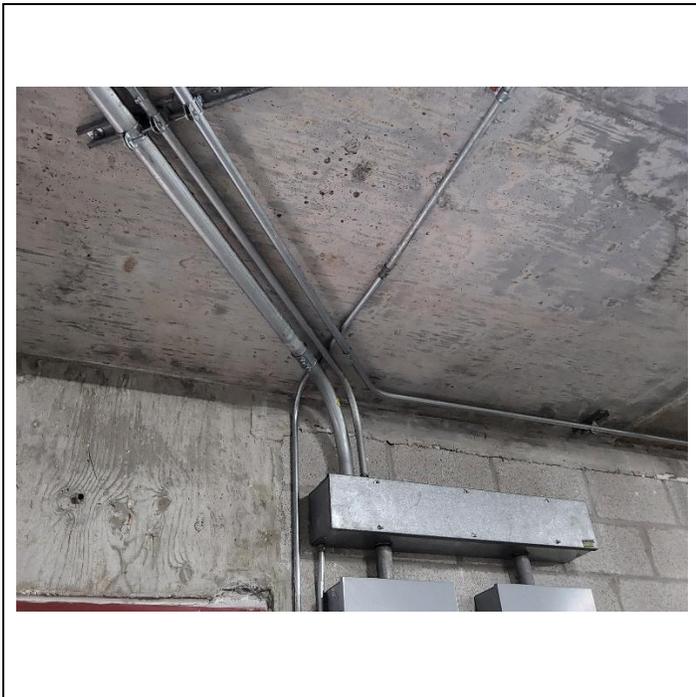


Photo # 17. Item 17. Types of wiring.



Photo # 18. Item 18. Emergency Lighting.



Photo # 19. Item 19. Building Egress Illumination.



Photo # 20. Item 20. Fire Alarm System.



Photo # 21. Item 21. Smoke detectors.



Photo # 22. Item 22. Exit Signs.



Photo # 23. Item 23. Emergency Generator.



Photo # 24. Item 24. Wiring in open or undercover parking garage areas.



Photo # 25. Item 25. Open parking garage areas.



Photo # 26. Item 26. Swimming Pool.



Photo # 27. Item 27. Wiring to Mechanical Equipment.



Photo # 28. Item 28. Underground or Lower-Level parking garages.

April 15, 2024

City of Coral Gables
Development Services Department
Office of the Building Official
c/o Manuel Z. Lopez, P.E.
City Hall 405 Biltmore Way,
Coral Gables, FL 33134

RE: The Biltmore Regent Condominium, 721 Biltmore Way, Coral Gables, FL 33134
Folio # 03-4117-035-0001 - 30 Year Structural Recertification Report.
Y:\Clients\Falcon2023\23-0346\002_30 Y Recertification\01_Assessment\Documents\Assessment
Report\Recertification\L240322 -Biltmore Regent- 30YR Building Recertification Structural Summary.Docx

Dear Building Official:

Per your request, The Falcon Group ("Falcon") conducted a 30-year structural recertification of The Biltmore Regent Condominium, located at 721 Biltmore Way, Coral Gables, FL 33134, with the requirements of the City of Coral Gables and Miami-Dade County Code Section 8-11(f) 30-Year Minimum Inspection Procedural Guidelines for Building's Structural Recertification. Please refer to the attached copies of the structural 30-year recertification report for the subject The Biltmore Regent Condominium property. In summary, in accordance with the above Miami-Dade County guidelines and regulations, the structural 30-year recertification is **"Not Approved."** Concrete repairs are required to meet safety standards, primarily at the basement garage and at the generator & fire pump room.

Falcon conducted visual examinations of the building, at representative locations, of reinforced concrete beams, columns, reinforced concrete slabs, and masonry walls. Falcon noted some areas with isolated concrete deficiencies. The following observed issues are progressive in nature and must be properly repaired:

1. The basement garage demonstrated extensive cracking throughout its walls, beams, reinforced slabs, and ceiling. Additionally, Falcon noted concrete spalling and delamination at the concrete beams, slabs, and walls at the basement garage, as well as exposed rebar corrosion. These structural elements should be closely monitored for further spalling/delamination until rebar repair/reinforcement and concrete pouring and curing.
2. At the generator & fire pump room located at the ground level of the building, Falcon noted concrete cracking/spalling and delamination at the concrete slab with exposed corroded rebar.

Falcon's evaluation of the main roof also revealed signs of cracked and chipped roof tiles. Falcon noted the roofing system with ponding water and corrosion. Based on our observations, roof replacement is required in the near future. Falcon recommends that a roof moisture survey be performed to evaluate the level of moisture within the roofing membrane.

During the evaluation, Falcon noted the roof equipment to be in fair condition. Falcon observed ponding water and slight corrosion. Based on Falcon's inspection, corroded metal components must be painted/treated with proper surface preparation per manufacturer's requirements.

Falcon also noted missing sealants/grout and pitting corrosion at the railing post of the balcony. Falcon also observed stucco delamination, cracked tiles, biological growth, and corroded door closers at the

balconies. Overall, Falcon recommends replacement of sealant at the balcony railing post throughout to avoid water penetration into the structural slab.

The painted surface finish of the building appears to be deteriorating at some areas. Although it is not a structural item, painting and filling small (hairline / fine) cracks (if any) will extend the life of the structures greatly, as well as maintenance items such as replacing failed sealants at windows and doors.

Based on Falcon's inspection findings, the deficiencies in the structural elements of the building should be addressed as soon as possible to bring the structure back to its original pre-damage condition. However, the distress observed at the time did not warrant a change in the pattern of occupancy for the building and the damages found were considered "**Less than Substantial.**" It is our professional opinion that the building may remain occupied (with appropriate temporary partial access restrictions) during the necessary repairs. Please note that we have not identified any condition that represents an imminent danger to the occupants of the building.

Please also note that this report is based upon sampling and is not intended to be an all-inclusive, exhaustive list of each location of repair, scope of work, or otherwise.

As a routine matter, in order to avoid possible misunderstandings, nothing in this report should be construed directly or indirectly as a guarantee of any portion of the structure. To the best of our knowledge and ability, this report represents an accurate appraisal of the present condition of the building based upon evaluation of observed conditions, to the extent reasonably possible.

We would like to thank you for the opportunity to provide these professional services. Should you have any questions, please feel free to contact us.

Respectfully submitted,



Sinisa Kolar, PE
Lic No. 77112

Attachments: Building Safety Inspection Reports (Structural)
Annex A, Annex B, and Annex C

ENGINEERS

ARCHITECTS

RESERVE
SPECIALISTS

(800) 839-7740
www.thefalcongroup.us

T H E
FALCON
G R O U P

15405 NW 7th Avenue
Miami, FL 33169

5651 Corporate Way, Suite 4
West Palm Beach, FL 33407

1211 1st Avenue N., Suite 106
St. Petersburg, FL 33705

upf 3/12/25

March 5, 2025

City of Coral Gables– Development Services Department
Building Official
c/o Mr. Manuel Z. Lopez
427 Biltmore Way,
Coral Gables, FL 33143

RE: The Biltmore Regent Condominium Association, 721 Biltmore Way, Coral Gables, FL 33134
Folio # 03-4117-035-0001 - Safe to Occupy Letter
Y:\Clients\Falcon2023\23-0346\002_30 Y Recertification\01_Assessment\Documents\Safe To Occupy Letter\L250305 Biltmore Regent -Electrically Safe To Remain Occupied.Docx

Building Department Official:

The Falcon Group (Falcon) conducted a 30-Year **Electrical** Recertification of the referenced building in accordance with the requirements of section 8-11(f) of Miami Dade County and City of Coral Gables "General Considerations & Guidelines" for the building safety inspections. In summary, in accordance with the above regulations and guidelines, the recertification is not approved since repairs are required to meet current standards of safety.

The building's owner is currently in the process of selecting a contractor to perform the necessary electrical repairs. At this point and based on current condition, the building continues to be "Safe to be Occupied" during the repair process. Falcon's authorized representatives will be conducting periodic inspections of the current electrical condition of the building.

As a routine matter, in order to avoid possible misunderstandings, nothing in this report should be construed directly or indirectly as a guarantee of any portion of the electrical infrastructure. To the best of our knowledge and ability, this report represents an accurate appraisal of the present condition of the building based upon evaluation of observed conditions, to the extent reasonably possible.

Please contact our office for any questions at (305) 663-1970.

Respectfully Submitted,

Jose Urdaneta, P.E.
Lic.No.97604



Digitally signed by Jose J Urdaneta
Date: 2025.03.10 08:43:38 -04'00'

Jose Urdaneta, State of Florida, Professional Engineer,
License No. 97604
This item has been digitally signed and sealed by
Jose Urdaneta on the date indicated here.
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FALCON
G R O U P

15405 NW 7th Avenue
Miami, FL 33169

5651 Corporate Way, Suite 4
West Palm Beach, FL 33407

111 Second Avenue NE, Suite 1003
St. Petersburg, FL 33701

October 15, 2025

City of Coral Gables– Development Services Department
Building Official
c/o Mr. Manuel Z. Lopez
427 Biltmore Way,
Coral Gables, FL 33143

RE: The Biltmore Regent Condominium Association, 721 Biltmore Way, Coral Gables, FL 33134
Folio # 03-4117-035-0001 – Structural Safe to Occupy Letter
https://Us-Partner-Integrations.Egnyte.Com/Msoffice/Wopi/Files/F7d0ebfb-22c5-44c1-B74f-82e17d8fa0f1/Wopiserviceid_TP_EGNYTE_PLUS/Wopiuserid_49.Thefalcongroup.Egnyte.Com/L251015 - Biltmore Regent - Safe To Occupy.Docx

Dear Building Official:

The Falcon Group (Falcon) was engaged by The Biltmore Regent Condominium Association to assess the current condition(s) of the building, and to provide repair specifications for the referenced building. Falcon performed a visual inspection of the representative sample residential units and all accessible common areas of the building and garage on March 19th, 2024, and noted areas throughout the garage that required repairs.

Based on the inspection findings and the observations during the investigations, the deficiencies found in the building structural elements were considered **“Less than Substantial” and required minor structural repairs to bring the building back to its original pre-damage condition.** As such, Falcon has not found any indications of the existence of significant deficiencies that would indicate an imminent structural concern at this time or the need for additional structural testing. Please note that the building continues to be **“Structurally Safe”** for its continued use as well as during the repair process.

The Association is has engaged a contractor to perform the necessary repairs for the Garage Restoration Project and are now in the process of finalizing a contract. Pending the contractor and Association come to an agreement to the contract terms quickly and the permit process, Falcon estimates the work will commence by end of November or early December 2025.

As a routine matter, in order to avoid possible misunderstandings, nothing in this report should be construed directly or indirectly as a guarantee of any portion of the structure. To the best of our knowledge and ability, this report represents an accurate appraisal of the present condition of the building based upon evaluation of observed conditions, to the extent reasonably possible.

Should you have any questions, please feel free to contact our office at (305) 663-1970.

Respectfully submitted,


Sinisa Kolar, PE
Principal
Lic No. 77112



Sinisa Kolar, State of Florida, Professional Engineer,
License No. 77112

This item has been digitally signed and sealed by
Sinisa Kolar on the date indicated here.

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on any electronic copies.



CERTIFICATION OF COMPLIANCE WITH PARKING LOT GUARDRAILS

Re: Case No. _____ FYear _____
Property Address: _____, Bldg. No.: _____, Sq. Ft.: _____
Building Description: _____

I am a Florida registered professional engineer architect with an active license.

On _____ 20____, I inspected the parking lots servicing the above referenced building for compliance with Section 8C-6 and determined the following (check only one):

- The parking lot(s) is not adjacent to or abutting a canal, lake, or other body of water.
- The parking lot(s) is adjacent to or abutting a canal, lake or other body of water and parked vehicles are protected by a guardrail that complies with Section 8C-6 of the Miami- Dade County Code.
- The parking lot(s) is adjacent to or abutting a canal, lake or other body of water and parked vehicles **are not** protected by a guardrail that complies with Section 8C-6 of Miami-Dade County Code. I have advised the property owner that he/she must obtain a permit for the installation of the guardrail and obtain all required inspection approvals to avoid enforcement action.

Signature and Seal of Architect or Engineer

Print Name

Date



**MINIMUM INSPECTION PROCEDURAL GUIDELINES
 FOR BUILDING STRUCTURAL RECERTIFICATION**

CASE REFERENCE NUMBER:

LICENSEE NAME: Sinisa Kolar

TBD

TITLE: Professional Engineer

JURISDICTION NAME:

ADDRESS: 15405 NW 7th Ave, Miami, FL 33169

Sinisa D Kolar



*Use separate sheets for additional responses by referencing the report section number.

1. DESCRIPTION OF BUILDING

a. Name on Title: **THE BILTMORE REGENT CONDOMINIUM**

b. Building Street Address: 721 BILTMORE WAY

Bldg. #: 1

c. Legal Description: SEE ANNEX A

Attached:

d. Owner's Name: **THE BILTMORE REGENT CONDOMINIUM ASSOCIATION, INC.**

e. Owner's Mailing Address: REFERENCE ONLY

f. Folio Number of Property on which Building is Located: 03-4117-035-0001

g. Building Code Occupancy Classification: **R-2**

h. Present Use: **RESIDENTIAL**

i. General Description of building (overall description, structural systems, special features):

The Biltmore Regent Condominium is comprised of a fourteen (14) story building with 24 residential units. Additionally, it includes a parking garage, lobby, pool and pool deck, and equipment rooms. The structural system of the building is a combination of concrete columns, beams, masonry walls, concrete joists, reinforced concrete slabs, and slab on grade. The building was built in 1990.

j. Number of Stories: **14**

k. Is this a Threshold Building¹ as per 553.71(12) F.S. (Yes/No): Yes

l. Provide an aerial of the property identifying the building being certified on a separate sheet. Attached:

m. Additional Comments:

The main roof is a combination of flat low-slope roof and gable roofs with clay barrel tiles.

n. Additions to original structure:	
N/A	
o. Total Actual Building Area of all floors: approx. 100,800	S.F.

2. INSPECTIONS

a. Date of Notice of Required Inspection: January 31, 2024
b. Date(s) of actual inspection: March 19, 2024
c. Name, license number, discipline of practice, and qualifications of licensee submitting report:
Sinisa Kolar (P.E. FL#77112, FBRSE). Professional Engineer (Structural)
d. Description of laboratory or other formal testing, if required, rather than manual or visual procedures: N/A: <input checked="" type="checkbox"/>
e. Are Any Structural Repairs Required? (YES/NO): Yes
1. If required, describe, and indicate acceptance:
The basement garage and the generator & fire pump room exhibit signs of concrete cracks and spalling with exposed corroded rebar at the concrete beams, slabs, columns, and walls. The extent of damage is fair. See Annex C.
f. Can the building continue to be occupied while recertification and repairs are ongoing? (YES/NO): Yes
1. Explanation/Conditions:
The distress observed at the time did not warrant a change in the pattern of occupancy and the damages found were considered "Less than Substantial."
g. Is it recommended that the building be vacated? (YES/NO): No
h. Has the property record been researched for violations or unsafe cases? (YES/NO): No
1. Explanation/Comments:

3. SUPPORTING DATA (Reference all photos indicated in report with corresponding section number)

- a. Annex A Number of Additional sheets of written data
- b. Annex B & C Number of Photographs provided (plus each building elevation)
- c. Annex B & C Number Drawings or sketches provided (aerial, site, footprint, etc.)
- d. N/A Number of Test reports attached

4. FOUNDATION

a. Describe the building foundation:

Not visible during inspection.

b. Is wood in contact or near soil? (Yes/No): No

c. Signs of differential settlement? (Yes/No): No

d. Describe any cracks or separation in the walls, columns, or beams that signal differential settlement:

PROVIDE PHOTO 4d

No signs of differential settlement observed during inspection.

e. Is water drained away from the foundation? (Yes/No/Needs Repair): Yes

f. Is there additional sub-soil investigation required? (Yes/No): No

1. Describe:

5. PRESENT CONDITION OF OVERALL STRUCTURE

a. General alignment: (Note: good, fair, needs attention, explain if significant)

PROVIDE PHOTO 5a

1. Bulging: Good

2. Settlement: Good

3. Deflections: Good

4. Expansion: Good

5. Contraction: Good

b. Portion showing distress: (Note, beams, columns, structural walls, floor, roofs, other)	PROVIDE PHOTO 5b
Concrete cracks and spalling were noted at the beams, columns, structural walls, and slabs located in the basement garage and at the generator and fire pump room. See Annex C.	
c. Surface conditions: Describe general conditions of finishes, cracking, spalling, peeling, signs of moisture penetration and stains.	PROVIDE PHOTO 5c
Evidence of cracked and spalled concrete with exposed corroded rebar at the basement garage and at the generator & fire pump room. Water ponding at the roof, corrosion at the roof flashing, and cracked and chipped tiles were noted at the mansard roof. Biological growth, rust spots, stucco delamination, missing sealant/grout at the railing posts, and cracked tiles at the balcony were also noted. Additionally, delaminated and deteriorated waterproofing noted at the parking garage deck. See Annex C.	
d. Cracks: Note location in significant members. Identify crack size as HAIRLINE if barely discernible; FINE if less than 1 mm in width; MEDIUM if between 1- and 2-mm width; WIDE if over 2 mm.	PROVIDE PHOTO 5d
Medium (1 - 2 mm)	Concrete cracks in parking garage's structural members varied from fine to medium at structural walls, columns, beams, and slabs. See Annex C.
e. General extent of deterioration: Cracking or spalling of concrete or masonry, oxidation of metals; rot or borer attack in wood.	PROVIDE PHOTO 5e
Concrete cracks and spalling with exposed corroded rebar noted at the parking garage's walls, columns, beams, and slabs. Also, concrete spalling noted at the generator and fire pump room. See Annex C.	
f. Previous patching or repairs (Provide description and identify location):	PROVIDE PHOTO 5f
Previous repairs noted at the basement garage.	
g. Nature of present loading: (Indicate residential, commercial, storage, other.)	
Residential	
h. Signs of overloading? (Yes/No): No	
1. Describe:	

6. MASONRY BEARING WALL: (Indicate good, fair, needs repair on appropriate lines)	This Section is N/A: <input type="checkbox"/>	PROVIDE PHOTO 6
a. Concrete masonry units: Good		
b. Clay tile or terra cotta units: N/A		
c. Reinforced concrete tie columns: Fair		
d. Reinforced concrete tie beams: Fair		
e. Lintel: N/A		
f. Other type bond beams: N/A	PROVIDE PHOTO 6f	
g. Exterior masonry finishes (choose those that apply):		
1. Stucco: Fair		
2. Veneer: N/A		
3. Paint only: Fair		
4. Other (describe): N/A		
h. Interior masonry finishes (choose those that apply):		PROVIDE PHOTO 6h
1. Vapor barrier: N/A		
2. Furring and plaster: N/A		
3. Paneling: N/A		
4. Paint only: Fair		
5. Other (describe): N/A		
i. Cracks:		PROVIDE PHOTO 6i
1. Location (note beams, columns, other): Noted.		
2. Description:		
Concrete cracks in parking garage's structural members varied from fine to medium at structural walls, columns, beams, and slabs. See Annex C.		
j. Spalling As Noted Below		PROVIDE PHOTO 6j
1. Location (note beams, columns, other): Noted.		
2. Description:		
Concrete cracks and spalling with exposed corroded rebar noted at the parking garage's walls, columns, beams, and slabs. Also, concrete spalling noted at the generator and fire pump room. See Annex C.		

k. Rebar corrosion (indicate worst case by selecting one from lines 1-4):	PROVIDE PHOTO 6k
1. None visible: <input type="checkbox"/>	
2. Minor (patching will suffice): <input type="checkbox"/>	
3. Significant (but patching will suffice): <input type="checkbox"/>	
4. Significant (structural repairs required) <input checked="" type="checkbox"/>	Concrete cracks and spalling with exposed corroded rebar were noted at the parking garage's walls, columns, beams, and slabs, and at the generator & fire pump room's slab.
I. Samples chipped out for examination in spalled areas (Yes/No):	NO
1. Yes – describe color, texture, aggregate, general quality:	

7. FLOOR AND ROOF SYSTEM	
a. Roof (Must access and provide)	
1. Describe (roof shape, type roof covering, type roof deck, framing system, condition):	PROVIDE PHOTO 7a1
The main roof includes flat low-slope and gable roofs covered with clay barrel tiles and a silicon base resurfacing at the lower flat roofs, and bitumen membrane at the porte-cochere roof. The main roof was noted with cracked and chipped tiles. The flat roofs were noted with water ponding and corrosion of roof flashings. The roofing system of the main roof consists of wood trusses and wood decking. The	
2. Note water tanks, cooling towers, air conditioning equipment, signs, other heavy equipment and condition of supports:	PROVIDE PHOTO 7a2
Roof equipment is in fair condition, with minor corrosion and ponding water. See Annex C.	
3. Describe roof drainage system, main and overflow, and indicate condition:	PROVIDE PHOTO 7a3
The low slope flat roof drainage system is via roof drains and primary scuppers. The roof drains were noted with minor corrosion. The roof drainage is in fair condition. See Annex C.	
4. Describe parapet build and current conditions:	PROVIDE PHOTO 7a4
The roof concrete parapet walls are covered with stucco finishes and in good condition.	
5. Describe mansard build and current conditions:	PROVIDE PHOTO 7a5
The hip roof consists of clay barrel tiles and is in fair condition, with cracked and chipped tiles. See Annex C.	

6. Describe roofing membrane/covering and current conditions:	PROVIDE PHOTO 7a6
The roofing membrane is covered with silicon base coating resurfacing and bitumen membrane at the porte-cochere roof and is in fair condition, with noted water ponding stains. See Annex C.	
7. Describe any roof framing member with obvious overloading, overstress, deterioration or excessive deflection:	PROVIDE PHOTO 7a7
None noted.	
8. Note any expansion joints and condition:	PROVIDE PHOTO 7a8
Horizontal expansion joints were noted with cracks and deterioration and are in fair condition.	
b. Floor system(s):	
1. Describe the floor system at each level, framing, material, typical spans and indicate condition:	PROVIDE PHOTO 7b1
Floor system consists of reinforced concrete slabs at each floor, and is in fair condition with some localized spalled and delaminated concrete at the slab and ceiling of the parking garage and the generator & fire pump room. See Annex C.	
2. Balconies: Indicate location, framing system, material, and condition:	N/A: <input type="checkbox"/> PROVIDE PHOTO 7b2
Balconies located at residential units with tiles at the slab, rough stucco finishes at the walls, and wrought iron railings and brackets with a core-drilled post embedded at the slab. The balconies are in fair condition with observed stucco delamination, rust spots at slab edges, biological growth and stains, pitting corrosion at railing posts, and cracked tiles. See Annex C.	
3. Stairs and escalators: indicate location, framing system, material, and condition:	N/A: <input type="checkbox"/> PROVIDE PHOTO 7b3
Stairs located at each end of the building. All stairs are concrete stairs with an aluminum railing and are in good condition. See Annex C.	
4. Ramps: indicate location, framing type, material, and condition:	N/A: <input type="checkbox"/> PROVIDE PHOTO 7b4
Ramps are located at the parking garage (East and West side) and are reinforced concrete. The ramps are in fair condition, with localized concrete cracks and spalling with exposed corroded rebar at the ceiling slab. See Annex C.	
5. Guardrails and handrails: describe type, material, and condition:	N/A: <input type="checkbox"/> PROVIDE PHOTO 7b5
Guardrails are located in balcony railings at all elevations of the building. Handrails at the stairs located at each end of the building (East and West elevation). Guardrails and handrails are in fair condition, with observed pitting corrosion and missing sealants. See Annex C.	
c. Inspection – note exposed areas available for inspection, and where it was found necessary to open ceilings, etc. for inspection of typical framing members.	
Building facade and common areas were available during inspection.	

8. STEEL FRAMING SYSTEM		This Section is Not Applicable: <input checked="" type="checkbox"/>
a. Description of system at each level:		PROVIDE PHOTO 8a
b. Steel members: describe condition of paint and degree of corrosion:		PROVIDE PHOTO 8b
c. Steel connections: describe type and condition:		PROVIDE PHOTO 8c
d. Concrete or other fireproofing: note any cracking or spalling of encased member and note where any covering was removed for inspection:		PROVIDE PHOTO 8d
e. Identify any steel framing member with obvious overloading, overstress, deterioration, or excessive deflection (provide location):		PROVIDE PHOTO 8e
f. Elevator sheave beams and connections, and machine floor beams: note condition:	N/A: <input type="checkbox"/>	PROVIDE PHOTO 8f

9. CONCRETE FRAMING SYSTEM		This Section is Not Applicable: <input type="checkbox"/>
a. Full description of concrete structural framing system:		PROVIDE PHOTO 9a
The structural system of the building is a combination of concrete columns, beams, precast concrete joists, masonry walls, and reinforced concrete slab and slab-on-grade. The foundation consists of concrete footings, pile caps, and grade beams.		
b. Cracking		PROVIDE PHOTO 9b
1. Significant <input checked="" type="checkbox"/> or Not significant <input type="checkbox"/> :		
2. Location and description of members affected and type cracking:		
Concrete cracks in parking garage's structural members varied from fine to medium at structural walls, columns, beams, and slabs. See Annex C.		

c. General condition		
Fair condition.		
d. Rebar corrosion – check appropriate line		
1. None visible:	<input type="checkbox"/>	
2. Location and description of members affected and type cracking:	N/A <input type="checkbox"/>	PROVIDE PHOTO 9d2
3. Significant but patching will suffice:	N/A <input type="checkbox"/>	PROVIDE PHOTO 9d3
4. Significant: structural repairs required (describe):	N/A <input checked="" type="checkbox"/>	PROVIDE PHOTO 9d4
Concrete cracks and spalling with exposed corroded rebar were noted at the parking garage's walls, columns, beams, and slabs, and at the generator & fire pump room's slab.		
e. Samples chipped out in spall areas:		
1. No:	<input checked="" type="checkbox"/>	PROVIDE PHOTO 9e
2. Yes, describe color, texture, aggregate, general quality:		
f. Identify any concrete framing member (e.g. slabs and transfer elements) with obvious overloading, overstress, deterioration (e.g. efflorescence at underside of slab or at base of column or wall), or excessive deflection:		
N/A		

10. WINDOWS, STOREFRONTS, CURTAINWALLS AND EXTERIOR DOORS		
a. Windows/Storefronts/Curtainwalls/Skylights		PROVIDE PHOTO 10
1. Type (Wood, steel, aluminum, vinyl, jalousie, single hung, double hung, casement, awning, pivoted, fixed, other):		
Combination of impact and non-impact aluminum-framed fixed and single hung glass windows with accordion shutters and storefront windows. See Annex C.		
2. Anchorage: type and condition of fasteners and latches: Good		
Fair condition with corroded anchors, pitting frames and handles, and corroded door closer at the balcony doors. See Annex C.		

3. Sealant: type and condition of perimeter sealant and at mullions: Good	
4. Interiors seals: type and condition at operable vents: Good	
5. General condition: Good	
6. Describe any repairs needed:	
N/A	
b. Structural Glazing on the exterior envelope of Threshold Buildings (Yes/No): No	
1. Previous Inspection Date: N/A	
2. Description of Curtain Wall Structural Glazing and adhesive sealant:	
3. Describe Condition of System:	
N/A	
c. Exterior Swing and Overhead Doors	PROVIDE PHOTO 10c
1. Type (Wood, Steel, Aluminum, Sliding Glass Door, other):	
Exterior doors consist of aluminum-framed outswing glass doors with accordion shutters at the balconies and storefronts, and hollow metal doors for the common areas. See Annex C.	
2. Anchorage: type and condition of fasteners and latches: Fair	
Fair condition with corroded anchors, pitting frames and handles, and corroded door closer at the balcony doors. See Annex C.	
3. Sealant: type and condition of sealant: Good	

4. General condition: Fair
5. Describe any repairs needed: Repairs Required
Replacement of corroded anchors and door closer, and painting pitting frames and handles. See Annex C.

11. WOOD FRAMING	This Section is Not Applicable: <input checked="" type="checkbox"/>
a. Fully describe wood framing system:	PROVIDE PHOTO 11a
b. Indicate the condition of the following:	PROVIDE PHOTO 11b
1. Walls:	
2. Floors:	
3. Roof member, roof trusses:	
c. Note metal connectors (i.e., angles, plates, bolts, split pintles, other, and note condition):	PROVIDE PHOTO 11c
d. Joints: note if well fitted and still closed:	PROVIDE PHOTO 11d

e. Drainage: note accumulations of moisture	PROVIDE PHOTO 11e
f. Ventilation: note any concealed spaces not ventilated:	PROVIDE PHOTO 11f
g. Note any concealed spaces opened for inspection:	PROVIDE PHOTO 11g
h. Identify any wood framing member with obvious overloading, overstress, deterioration, or excessing deflection):	PROVIDE PHOTO 11h

12. BUILDING FAÇADE INSPECTION (Threshold Buildings)	This Section is N/A: <input type="checkbox"/>	PROVIDE PHOTO 12
a. Identify and describe the exterior walls and appurtenances on all sides of the building. (Cladding type, corbels, precast appliques, etc.)		
CMU walls with rough textured stucco and precast concrete panels and mouldings with simulated keystone finish. The building also has a gazebo and trellis.		
b. Identify the attachment type of each appurtenance type (mechanically attached or adhered):		
Mechanically attached and adhered.		
c. Indicate the condition of each appurtenance (distress, settlement, splitting, bulging, cracking, loosening of metal anchors and supports, water entry, movement of lintel or shelf angles, or other defects):		
N/A		

13. SPECIAL OR UNUSUAL FEATURES IN THE BUILDING	This Section is N/A	<input type="checkbox"/>	PROVIDE PHOTO 13
--	------------------------	--------------------------	-------------------------

a. Identify and describe any special or unusual feature (i.e. cable suspended structures, tensile fabric roof, large sculptures, chimneys, porte-cochere, retaining walls, seawalls, signs, etc.)

The building has a porte-cochere. The porte-cochere roof consists of precast concrete balustrades.

b. Indicate condition of the special feature, its supports, connections, and if repairs are required:

N/A

14. UNDERGROUND OR LOWER-LEVEL PARKING GARAGES	This Section is N/A:	<input checked="" type="checkbox"/>	PROVIDE PHOTO 14
---	-------------------------	-------------------------------------	-------------------------

CHECKLIST ITEMS TO CONFIRM OR CONSIDER FOR UNDERGROUND PARKING GARAGE:

14A. CURRENT BFE: _____ ft. (Select Datum)

Note: All elevation datums provided must be in the same datum as the Flood Insurance Rate Map (FIRM).

1. What is the wet season² ground water elevation (water table): _____ ft. (Select Datum)

2. What is the elevation of lowest parking garage finished floor: _____ ft. (Select Datum)

3. What is the elevation of the parking garage entrance: _____ ft. (Select Datum)

4. Is the wet season ground water elevation (water table) higher than the lowest floor elevation? Select (Yes or No)

Explanation:

5. Is the garage entrance elevation lower than the base flood elevation? Select: (Yes or No)

Explanation:

6. List use of structure above the underground portion of the parking garage. (e.g. parking, terrace, occupiable space):

Describe:

7. Does underground parking structure show any evidence of bulging, settlement, cracking or deflection? Describe:

Describe:

8. Describe general surface conditions (cracking, spalling, peeling, or staining)
Explanation:
14B.
1. Do the parking garage slabs (overhead and floor slabs) and/or walls show evidence of leakage (efflorescence at the underside of slab or at base of column)? (Yes or No):
Explanation:
2. Is there any evidence of previous patching or repairs? (Yes or No):
Explanation:

¹ **THRESHOLD BUILDING:** In accordance with *Florida Statute*, any building which is greater than 3 stories or 50 feet in height, or which has an assembly occupancy classification that exceeds 5,000 square feet in area and an occupant content of greater than 500 persons.

² **WET SEASON:** Compare the current Base Flood Elevation (BFE) on the latest FEMA Flood Insurance Rate Map (FIRM) with the October water table elevation shown in the Miami-Dade County Average Ground Water October maps available with the Miami-Dade Department of Environmental Resource Management (DERM)

Reset Form

Annex “A”

Full Legal Description

THE BILTMORE REGENT CONDO
CORAL GABLES BILTMORE SEC
LOTS 24 THRU 32 BLK 1 PB 20-28
F/A/U 03-4117-008-0200

Sinisa
D Kolar

Digitally signed by Sinisa D Kolar
DN: C=US, O=The Falcon Group,
dnQualifier=
A01410D00000188BF3B3DF6002C20D2,
CN=Sinisa D Kolar
Reason: I am approving this document
Location:
Date: 2024.04.29 09:50:21-04'00'
Foxit PDF Reader Version: 12.1.2

Annex "B"

Aerial of the Property Identifying the Building Being Certified



**Sinisa
D Kolar**

Digitally signed by Sinisa D Kolar
DN: C=US, O=The Falcon Group,
dnQualifier=
A01410D00000188BF3B3DF600
2C20D2, CN=Sinisa D Kolar
Reason: I am approving this
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Date: 2024.04.29
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Foxit PDF Reader Version: 12.1.2

Annex “C”

Site Photographs

**Sinisa
D Kolar**

Digitally signed by Sinisa D Kolar
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, dnQualifier=
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2C20D2, CN=Sinisa D Kolar
Reason: I am approving this
document
Location:
Date: 2024.04.29 09:51:32-04'00'
Foxit PDF Reader Version:
12.1.2



Photo # 1. North building elevation.



Photo # 2. East building elevation.



Photo # 3. West building elevation.



Photo # 4. South building elevation.



Photo # 5. Overall view of the roof. (Mansard roof and gable roof with clay barrel tiles)



Photo # 6. Lower roof with TPO membrane roofing system.



Photo # 7. Porte-cochere roof with bitumen membrane roofing system.

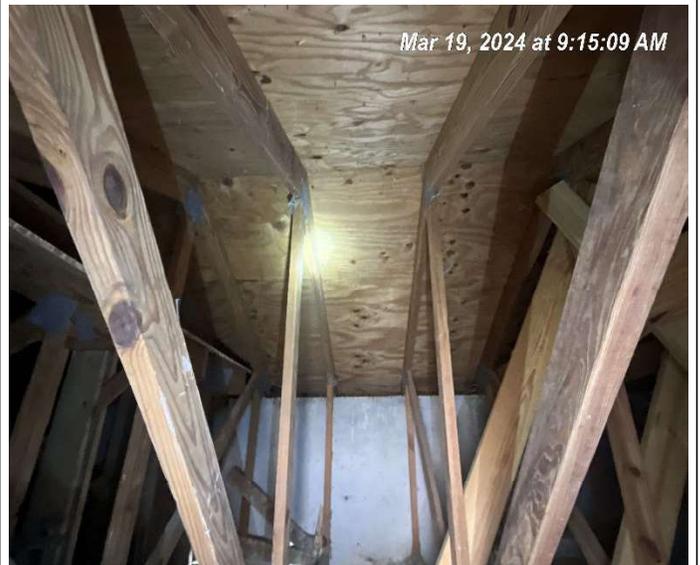


Photo # 8. Roof framing system consists of wood truss and wood deck.



Photo # 9. Pool and pool deck.



Photo # 10. Balcony railing.



Photo # 11. Balcony double outswing glass door.



Photo # 12. Typical window.



Photo # 13. Primary drain at the lower roof.



Photo # 14. Primary scupper at the lower roof.

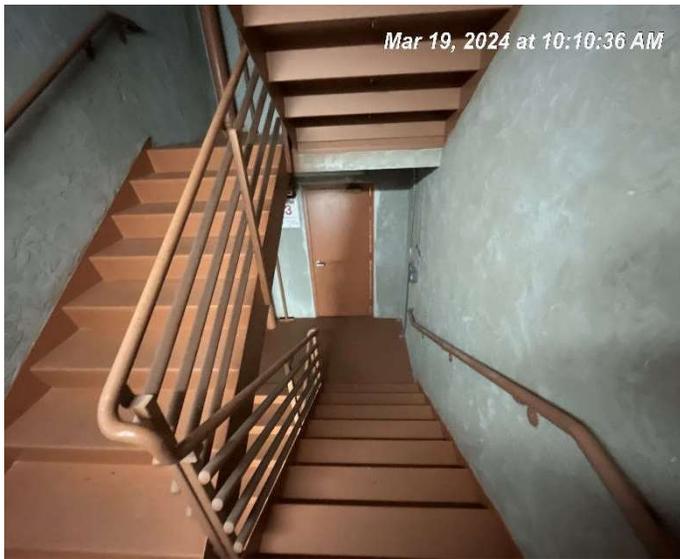


Photo # 15. Typical stairways. (East and West Elevations)

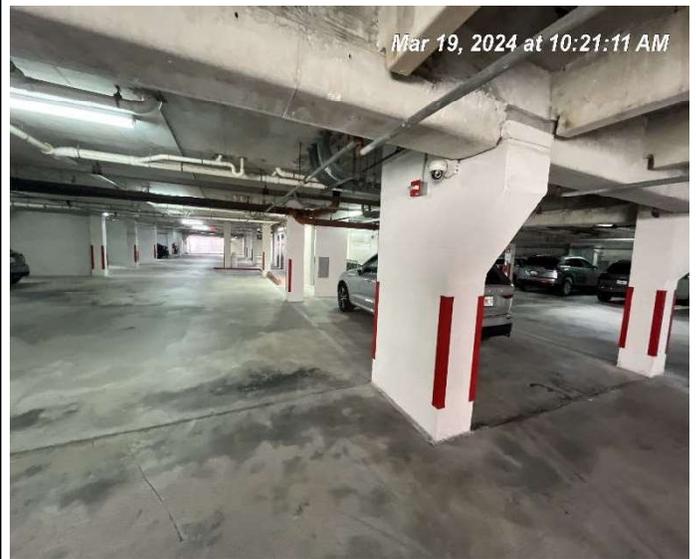


Photo # 16. Basement garage.



Photo # 17. **Garage deck.**



Photo # 18. **Water ponding at the lower flat roof.**



Photo # 19. **Water ponding stains at the PH floor flat roof.**



Photo # 20. **Corrosion stains at the roof flashing.**



Photo # 21. Chipped clay barrel tile at the PH floor roof.



Photo # 22. Cracked clay barrel tile at the PH floor roof.



Photo # 23. Cracked clay barrel tile at the PH floor roof.



Photo # 24. Cracked clay barrel tile at the PH floor roof.



Photo # 25. Cracked tiles at the balcony around the railing post.



Photo # 26. Rust spot at the balcony slab edge.



Photo # 27. Corroded door closer at the balcony throughout.



Photo # 28. Stucco delamination and rust spot at the balcony slab edge.



Photo # 29. Cracked tile at the balcony and missing sealant/grout at the railing post throughout.



Photo # 30. Pitting corrosion at the balcony railing post throughout.



Photo # 31. Biological growth and pitting corrosion at the balcony railing post.



Photo # 32. Biological growth and pitting corrosion at the balcony railing post.



Photo # 33. Cracked tile around the railing post.



Photo # 34. Missing sealant/grout and pitting corrosion at the balcony railing post.



Photo # 35. Concrete crack at the ceiling slab of the basement garage.



Photo # 36. Concrete crack at the wall of the basement garage.



Photo # 37. Concrete crack with water stains and efflorescence at the ceiling slab of the basement garage.



Photo # 38. Cracked and delaminated concrete at the column of the basement garage.



Photo # 39. Spalled concrete with exposed corroded rebar at the beam of the parking garage.



Photo # 40. Concrete crack at the beam of the basement garage.



Photo # 41. Concrete crack with water stains and efflorescence at the ceiling slab of the basement garage.



Photo # 42. Concrete cracks at the ceiling slab of the basement garage.



Photo # 43. Cracked and spalled concrete with exposed corroded rebar at the ramp ceiling slab (East Side)



Photo # 44. Cracked and spalled concrete at the ramp ceiling slab (West Side)



Photo # 45. Cracked and spalled concrete with exposed corroded rebar at the Generator & Fire Pump Room.



Photo # 46. Cracked and spalled concrete at the Generator & Fire Pump Room.



Photo # 47. Delaminated waterproofing coating at the parking deck.



Photo # 48. Deteriorated waterproofing coating at the parking deck.



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T H E
FALCON
G R O U P

15405 NW 7th Avenue
Miami, FL 33169

5651 Corporate Way, Suite 4
West Palm Beach, FL 33407

1211 1st Avenue N., Suite 106
St. Petersburg, FL 33705

April 17, 2024

City of Coral Gables
Development Services Department
c/o Manuel Lopez, Building Official.
City Hall 405 Biltmore Way.
Coral Gables, FL 33134

RE: The Biltmore Regent Condo – 721 Biltmore Way, Coral Gables, FL 33134
Folio # 03-4117-035-0001_ 30/40 Year Electrical Recertification Report.
*Y:\Clients\Falcon2023\23-0346\002_30 Y Recertification\Electrical\NL20240412 - Biltmore Regent_30 Yrs Cover Letter
Electrical Recertification.Docx*

Dear Building Official:

The Falcon Group (Falcon) conducted a 30-Year Electrical Recertification Inspection of the referenced building in accordance with the requirements of section 8-11(f) of Miami Dade County. In summary, the Electrical Recertification is not approved as electrical repairs are necessary to meet current standards of safety. **Please note that we have not identified any condition that represents an imminent danger to the occupants of the building.**

Please also note, this report is based upon sampling and is not intended to be an all-inclusive, exhaustive list of each location of repair, scope of work or otherwise. It is recommended the Client retain the services of an engineering firm to prepare project scope and specifications that will include proper detailing, materials, bidding forms and project requirements.

As a routine matter, in order to avoid possible misunderstanding, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the structure. To the best of our knowledge and ability, this report represents an accurate appraisal of the present condition of the building based upon evaluation of observed conditions.

Please contact our office for any additional questions at (305) 663-1970.

Respectfully Submitted,

Jose J. Urdaneta, PE, FL #97604
Division Manager of MEP
The Falcon Group
JJU/dm
Attachments: Building Safety Inspection Reports (Electrical)



Digitally signed by
Jose J Urdaneta
Date: 2024.04.23
20:20:34-04'00'





CERTIFICATION OF COMPLIANCE WITH PARKING LOT ILLUMINATION
STANDARDS IN CHAPTER 8C-3 OF THE CODE OF MIAMI-DADE COUNTY

Date: April 10, 2024

Case No. Year 30

Property Address: 721 Biltmore Way, Coral Gables FL 33134, Bldg. No.: , Sq. Ft.:

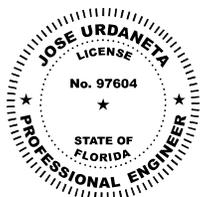
Folio Number: 03-4117-035-0001

Building Description: The Building has one (01) stories cover level parking garage and one (01) open level parking.

- 1. I am a Florida registered professional [X] engineer [] architect with an active license.
2. On, 04/10/2024 at 9:00 [] AM [X] PM, I measured the level of illumination in the parking lot(s) serving the above referenced building.
3. Maximum 13.38 foot candle
Minimum 3.97 foot candle
Maximum to Minimum Ratio 3.37 : 1, foot candle
4. The level of illumination provided in the parking lot [X] meets [] does not meet the minimum standards for the occupancy classification of the building as established in Section 8C-3 of Miami-Dade County Code.

Signature and Seal of Professional

Print Name Engineer or Architect



Digitally signed by
Jose J Urdaneta
Date: 2024.04.23
20:19:24-04'00'



**MINIMUM INSPECTION PROCEDURAL GUIDELINES
 FOR BUILDING ELECTRICAL RECERTIFICATION**

CASE REFERENCE NUMBER: _____ LICENSEE NAME: Jose Urdaneta
 TITLE: PROFESSIONAL ENGINEER, FL #97604
 ADDRESS: 15405 NW 7th Ave. Miami, FL 33169

 SIGNATURE: _____

*Use separate sheets for additional responses by referencing the report number.

1. DESCRIPTION OF BUILDING	
a. Name on Title:	THE BILTMORE REGENT
b. Building Street Address:	721 Biltmore Way, Coral Gables, FL 33124. Bldg. #: 1
c. Legal Description:	THE BILTMORE REGENT CONDO CORAL GABLES BILTMORE SEC LOTS 24 THRU 32 BLK 1 PB 20-28 F/A/U Attached: 03-4117-008-0200
d. Owner's Name:	THE BILTMORE REGENT CONDOMINIUM ASSOCIATION, INC.
e. Owner's Mailing and email Addresses:	
f. Folio Number of Property on which Building is Located:	03-4117-035-0001
g. Building Code Occupancy Classification:	R2 Multifamily
h. Present use:	R2 Multifamily
i. General Description of building (overall description, structural systems, special features):	The Biltmore Regent Condominium is comprised of a fourteen (14) story building with 24 residential units. Additionally, it includes a cover parking garage, lobby, pool and pool deck, and equipment rooms. The building was built in 1990.
j. Number of Stories:	14
k. Is this a Threshold Building as per 553.71(12) F.S. (Yes/No):	YES
l. Provide an aerial of the property identifying the building being certified on a separate sheet. Attached:	
m. Additional comments:	The Biltmore regent consist of two (02) main services identified, one (1) Electrical meter room, one (1) generator and one (1) Electrical Fire pump. Out of the twenty-four (24) existing units, a total of eleven (11) were entered upon availability and were inspected to identify "typical" electrical deficiencies. Deficiencies noted in this report are assumed to be common and may be present in other similar circumstances. A qualified Electrical Contractor shall use this report as a guide to investigate and identify similar deficiencies which may be present throughout the building, including all residences, and rectify them under proper permits. The electrical Contractor shall bring new deficiencies to the attention of the Engineer of Record, and to the owner's representative.

2. INSPECTIONS

a. Date of Notice of Required Inspection: January 31, 2024
b. Date(s) of actual inspection: 03/19/24 to: 03/19/24
c. Name and qualifications of licensee submitting report: Jose Urdaneta P.E. 97604
d. Are Any Electrical Repairs Required? (YES/NO): YES
1. If required, describe, and indicate acceptance: Refer to each section for explanation. All items to be repaired in accordance with the latest adopted edition of the NEC.
e. Can the building continue to be occupied while recertification and repair ongoing? (YES/NO): YES
1. Explanation/Conditions: The issues identified during the inspection do not represent an imminent danger to the occupants of the building.

3. ELECTRICAL SERVICE

PROVIDE PHOTO

1. MAIN SERVICE- 1 of 2									
Size:	Voltage	208	Amperage	1200	Type:	Fuses	1200	Breakers	
Phase:	Three-phase	<input checked="" type="radio"/>	Single-phase	<input type="radio"/>					
Condition:	Good	<input checked="" type="radio"/>	Fair	<input type="radio"/>	Needs repair	<input type="radio"/>			
Comments:	Location: Electrical ROOM								
None.									
See Annex "A", photo #1.									

2. MAIN SERVICE- 2 of 2									
Size:	Voltage	208	Amperage	800	Type:	Fuses	800	Breakers	
Phase:	Three-phase	<input checked="" type="radio"/>	Single-phase	<input type="radio"/>					
Condition:	Good	<input type="radio"/>	Fair	<input type="radio"/>	Needs repair	<input checked="" type="radio"/>			
Comments:	Location: Electrical ROOM								
Repairs are required as follows:									
a. Missing proper circuit identification.									
See Annex "A", photo #2.									

4. METERING EQUIPMENT

PROVIDE PHOTO

1. Clearances:	Good	<input checked="" type="radio"/>	Fair	<input type="radio"/>	Needs correction	<input type="radio"/>
Comments:	None.					
a. See Annex "A", photo #3.						
b. See Annex "A", photo #4.						

5. ELECTRIC ROOM

Not Applicable

PROVIDE PHOTO

1. Clearances:	Good	<input type="radio"/>	Fair	<input type="radio"/>	Needs correction	<input checked="" type="radio"/>
Comments: Repairs are required as follows: a. All temporary wiring and receptacles must be removed. See Annex "A", photo #5.						

6. GUTTERS

Not Applicable

PROVIDE PHOTO

1. Location:	Good	<input checked="" type="radio"/>	Needs repair	<input type="radio"/>
2. Taps and fill:	Good	<input type="radio"/>	Needs repair	<input checked="" type="radio"/>
Comments: Repairs are required as follows: Roof. Domestic Water Pump. Gutter is open, missing screws. See Annex "A", photo #6.				

7. ELECTRICAL PANELS

PROVIDE PHOTO

1. Panel #:	EDP	Location:	Meter Electrical Room		
		Good	<input type="radio"/>	Needs repair	<input checked="" type="radio"/>
Comments:	Size: 600 AMPS	Volt: 208/120	Phases: 3	Type: MLO	
Repairs are required as follows: Missing screws. See Annex "A", photo #7.					

2. Panel #:	EP	Location:	Meter Electrical Room		
		Good	<input type="radio"/>	Needs repair	<input checked="" type="radio"/>
Comments:	Size: No rating	Volt: 208/120	Phases: 3	Type: MLO	
Repairs are required as follows: Missing proper circuit identification. See Annex "A", photo #8.					

3. Panel #:	EB	Location:	Meter Electrical Room		
		Good	<input checked="" type="radio"/>	Needs repair	<input type="radio"/>
Comments:	Size: No rating	Volt: 208/120	Phases: 3	Type: MLO	
None. See Annex "A", photo #9.					

4. Panel #:	HOUSE	Location:	Meter Electrical Room		
		Good	<input type="radio"/>	Needs repair	<input checked="" type="radio"/>
Comments:	Size: No rating	Volt: 208/120	Phases: 3	Type: MLO	
Repairs are required as follows: a. Missing proper circuit identification. See Annex "A", photo #10. b. Missing screws. See Annex "A", photo #11.					

5. Panel #: LE	Location: Meter Electrical Room			
	Good <input type="radio"/>	Needs repair <input checked="" type="radio"/>		
Comments:	Size: No rating	Volt: 480/277	Phases: 3	Type: MLO
Repairs are required as follows: Missing proper circuit identification. See Annex "A", photo #12.				

6. Panel #: GP	Location: Generator - Fire Pump Room			
	Good <input type="radio"/>	Needs repair <input checked="" type="radio"/>		
Comments:	Size: 800 AMPS	Volt: 208/120	Phases: 3	Type: MLO
Repairs are required as follows: Missing proper circuit identification. See Annex "A", photo #13.				

8. BRANCH CIRCUITS	PROVIDE PHOTO
---------------------------	----------------------

1. Identified:	Yes <input type="radio"/>	Must be identified <input checked="" type="radio"/>	
2. Conductors:	Good <input checked="" type="radio"/>	Deteriorated <input type="radio"/>	Must be replaced <input type="radio"/>
Comments: Branch circuits must be identified at the location of the overcurrent protection device. Refer to "ELECTRICAL PANEL" section for specific identification requirements for each panel.			

9. GROUNDING OF SERVICE	PROVIDE PHOTO
--------------------------------	----------------------

	Good <input checked="" type="radio"/>	Needs Repair <input type="radio"/>
Comments: None. See Annex "A", photo #14.		

10. GROUNDING OF EQUIPMENT	PROVIDE PHOTO
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	Good <input checked="" type="radio"/>	Needs Repair <input type="radio"/>
Comments: None.		

11. SERVICE CONDUIT/RACEWAYS	PROVIDE PHOTO
-------------------------------------	----------------------

	Good <input checked="" type="radio"/>	Needs Repair <input type="radio"/>
Comments: None.		

12. GENERAL CONDUIT/RACEWAYS	PROVIDE PHOTO
-------------------------------------	----------------------

	Good <input checked="" type="radio"/>	Needs Repair <input type="radio"/>
Comments: None.		

13. WIRE AND CABLES

PROVIDE PHOTO

Good Needs Repair Comments:
None.**14. BUSWAYS**

PROVIDE PHOTO

Good Needs Repair Comments:
N/A.**15. THERMOGRAPHY INSPECTION RESULT**Not Applicable

PROVIDE PHOTO

Design Professional to summarize results below. Attach thermography report by certified thermographer.

Are there any anomalies reported in the thermography report? (Yes/No) Yes

Comments:

The inspection was conducted in accordance with NFPA 70B. The thermographic report depicts some deficiencies and possible deficiencies that are required to be corrected. No major deficiencies were identified. See the thermographic report for details.

16. OTHER CONDUCTORS

PROVIDE PHOTO

Good Needs Repair

Comments:

Repairs are required as follows:

- a. Conference area. Kitchennete. Missing GFCI protection for receptacles above countertop. See Annex "A", photo #15.
- b. Drinking fountain. Missing GFCI protection for receptacles. See Annex "A", photo #16.
- c. Maintenance office. Missing 1-gang cover for receptacles. See Annex "A", photo #17.

17. TYPE OF WIRING METHODS

PROVIDE PHOTO

1. Conduit Raceways Metallic:	Good	<input checked="" type="radio"/>	Needs Repair	<input type="radio"/>	N/A	<input type="radio"/>
2. Conduit PVC:	Good	<input checked="" type="radio"/>	Needs Repair	<input type="radio"/>	N/A	<input type="radio"/>
3. NM cable:	Good	<input type="radio"/>	Needs Repair	<input type="radio"/>	N/A	<input checked="" type="radio"/>
4. Other Conductors/Cables:	Good	<input checked="" type="radio"/>	Needs Repair	<input type="radio"/>	N/A	<input type="radio"/>

- a. Other Conductors/Cables (Specify): EMT conduit

Comments:

None.

18. EMERGENCY LIGHTING

PROVIDE PHOTO

Good Needs Repair N/A Comments:
None.

19. BUILDING EGRESS ILLUMINATION**PROVIDE PHOTO**

Good



Needs Repair



N/A



Comments:

None.

See Annex "A", photo #18.

20. FIRE ALARM SYSTEM**PROVIDE PHOTO**

Good



Needs Repair



N/A



Comments:

None.

See Annex "A", photo #19.

21. SMOKE DETECTORS (Part of a Fire Alarm System Only)

Not Applicable

PROVIDE PHOTO

Good



Needs Repair



N/A



Comments:

The following items need to be repaired:

Residential units require smoke alarm inside sleeping rooms per Florida Fire Prevention Code - NFPA 101 rule 31.3.4.5 (Refer to Item 29).

22. EXIT LIGHTS**PROVIDE PHOTO**

Good



Needs Repair



N/A



Comments:

None.

23. EMERGENCY GENERATOR**PROVIDE PHOTO**

Good



Needs Repair



N/A



Comments:

None.

Emergency Generator. See Annex "A", photo #21.

24. WIRING IN OPEN OR UNDER COVER PARKING GARAGE AREAS**PROVIDE PHOTO**

Good



Requires Additional Illumination



N/A



Comments:

None.

25. OPEN OR UNDER COVER PARKING GARAGE AND EGRESS ILLUMINATION**PROVIDE PHOTO**

Good Requires Additional Illumination N/A

Comments:

None.

- a. Cover parking: See Annex "A", photo #22.
- b. Open parking: See Annex "A", photo #23.

26. SWIMMING POOL WIRING**PROVIDE PHOTO**

Good Needs Repair N/A

Comments:

Repairs are required as follows:

- a. Pool equipotential bonding: Failed test between pumps and metal parts. See Annex "A", photo #24.
- b. Pool pump. Disconnect switch is unsafely rusted. See Annex "A", photo #25.

27. WIRING TO MECHANICAL EQUIPMENT**PROVIDE PHOTO**

Good Needs Repair N/A

Comments:

Repairs are required as follows:

- a. Roof. Elevator machine room. Missing motor cover protection. See Annex "A", photo #26.
- b. Roof. Disconnect Switch is unsafely rusted. See Annex "A", photo #27.
- c. Basements Level. Elevator Pit. Missing GFCI protection for receptacle. See Annex "A", photo #28.

28. UNDERGROUND OR LOWER-LEVEL PARKING GARAGES

N/A

PROVIDE PHOTO

CHECKLIST ITEMS TO CONFIRM OR CONSIDER FOR UNDERGROUND PARKING GARAGE:

Number of Levels Below Grade Plane: 1

A. Are the sump pumps operational? Select: (Yes/Needs Repair/N.A.) Yes

Explanation: None.

B. If the elevator(s) travel below grade plane:

1. Are they programmed to return to a level at or above BFE plus freeboard:

Select: (Yes, No, Needs Repair, Will Retrofit): Yes

Explanation: None.

2. Are they equipped with sensors that prevent the cab from descending into a flooded hoistway?

Select: (Yes, No, Needs Repair, Will Retrofit): Yes

Explanation: None.

3. Are the branch electrical circuits feeding devices below grade plane protected by a Ground Fault Circuit Interrupter (GFCI) breaker?

Select: (Yes, No, Needs Repair, Will Retrofit): Needs Repair

Explanation: Missing GFCI protection for receptacle below grade of elevator. See Annex "A", photo #28.

29. ADDITIONAL COMMENTS

PROVIDE PHOTO

Out of the 24 existing units, a total of 11 were entered upon availability and were inspected to identify “typical” electrical deficiencies.

These deficiencies are assumed to be common and may be present in other similar circumstances. A qualified electrical contractor shall utilize this report as a guide to investigate and identify similar deficiencies which may be present in all units throughout the facility and rectify under proper permits. The electrical contractor shall also bring all deficiencies to the attention of the engineer of record, and the board’s representative.

The following table depicts the inferred percentages of incidence of the typical deficiencies found inside the units.

No	Description	Found	% Incidence	Units potentially affected	Devices potentially affected
1	Missing GFCI protection for receptacles in the kitchen	6	55%	14	28
2	Missing GFCI protection for receptacles in the bathrooms	4	36%	9	11
3	Missing GFCI protection for receptacles in the balcony	1	9%	3	4
4	Missing GFCI protection for receptacles on the Laundry	6	55%	14	14
5	Missing smoke alarm inside the sleeping rooms	6	55%	14	31
6	Missing smoke alarm outside of the sleeping rooms	1	9%	3	6
7	Smoke alarm location non-conforming	0	0%	0	0
8	Electrical panel: working space clearance violation	0	0%	0	0
9	Electrical panel: missing proper circuit directory	5	45%	11	11

1. Missing GFCI protection for receptacles in the kitchen. See Annex “A”, photo #29, photo #30, and photo #31.
2. Missing GFCI protection for receptacles in the bathroom. See Annex “A”, photo #32, and photo #33.
3. Missing GFCI protection for receptacles on the balcony. See Annex "A", photo #34.
4. Missing GFCI protection for receptacles in the laundry. See Annex "A", photo #35.
5. Missing smoke alarm inside the sleeping rooms. See Annex “A”, photos #36, and photo #37.
6. Missing smoke alarm outside the sleeping rooms. See Annex “A”, photos #38.
7. Missing smoke alarm location non- conforming. Not found in the inspected sample.
8. Electrical panel: working space clearance violation. Not found in the inspected sample.
9. Electrical panel: missing or incomplete proper circuit directory. See Annex “A”, photos #39, and photo #40.

Annex "A"

Site Photographs

THE BILTMORE REGENT
721 Biltmore Way, Coral Gables, FL 33124



Photo # 1. Item 3.1. Meter Electrical Room. Disconnect Switch. Main 1 of 2.



Photo # 2. Item 3.2. Meter Electrical Room. Panelboard. Main 2 of 2. Missing proper circuit identification.



Photo # 3. Item 4.1.a. Meter Electrical Room. Meter Units.

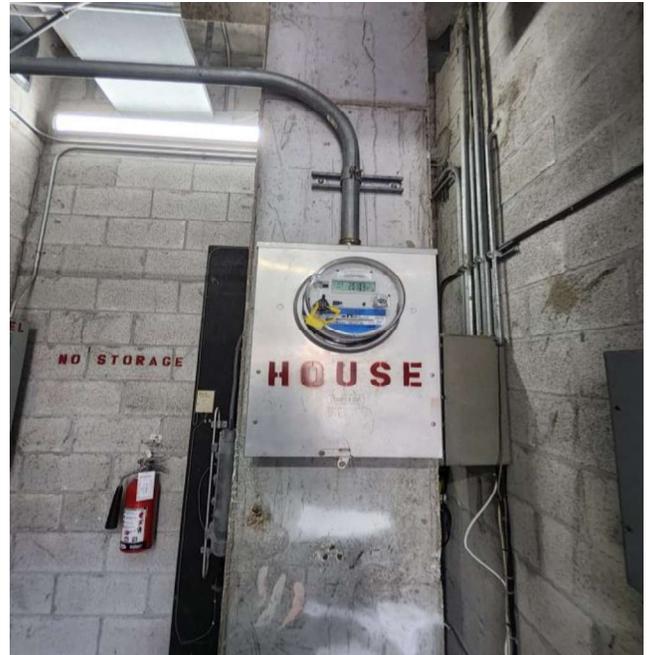


Photo # 4. Item 4.1.b. Meter Electrical Room. Meter House.



Photo # 5. Item 5.1.a. Meter Electrical Room. All temporary wiring and receptacles must be removed.



Photo # 6. Item 6.1. Roof. Water domestic pump. Gutter is open, missing screws.



Photo # 7. Item 7.1. Meter Electrical Room. Panelboard EDP. Missing screws.



Photo # 8. Item 7.2. Meter Electrical Room. Panelboard EP. Missing proper circuit identification.



Photo # 9. Item 7.3. Meter Electrical Room. Panelboard EB.



Photo # 10. Item 7.4.a. Meter Electrical Room. Panelboard HOUSE. Missing proper circuit identification.



Photo # 11. Item 7.4.b. Meter Electrical Room. Panelboard HOUSE. Missing screws.



Photo # 12. Item 7.5. Meter Electrical Room. Panelboard LE. Missing proper circuit identification.



Photo # 13. Item 7.6. Meter Generator - Fire Pump Room. Panelboard GP. Missing proper circuit identification.



Photo # 14. Item 9.1. Meter Electrical Room. Grounding.



Photo # 15. Item 16.a. Conference Area. Kitchennete. Missing GFCI protection for receptacle - Test Fail.



Photo # 16. Item 16.b. Drinking fountain. Missing GFCI protection for receptacles.



Photo # 17. Item 16.c. Maintenance office. Missing cover for receptacles.



Photo # 18. Item 19.a. Level 2. West Stair Illumination



Photo # 19. Item 20.1. Level G. Fire Alarm Central Panel.

DELETED

Photo # 20. Deleted



Photo # 21. Item 23.1. Level G. Emergency Generator.



Photo # 22. Item 25.1. Basement Level - Cover parking, Fc = 13.38.

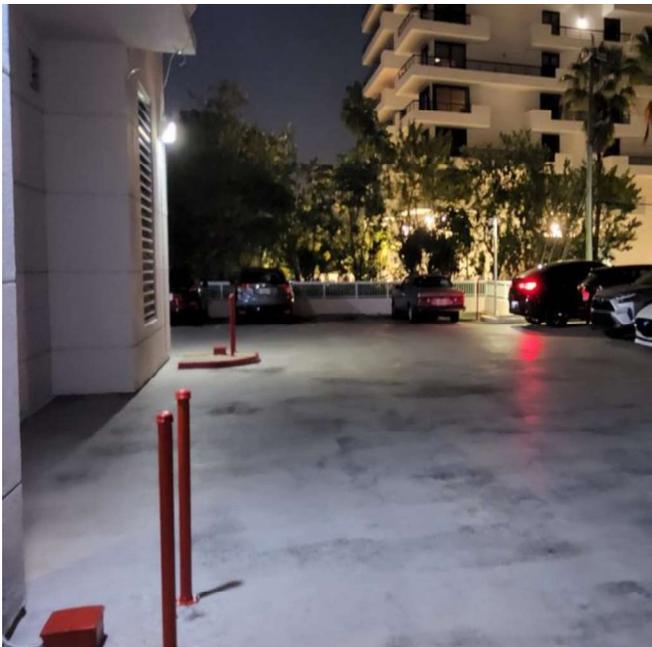


Photo # 23. Item 24.2. Level 1 - Open parking, Fc = 9.7.



Photo # 24. Item 26.a. Pool equipotential bonding: Failed test between pumps and metal parts.



Photo # 25. Item 26.b. Pool pump. Disconnect switch is unsafely rusted.

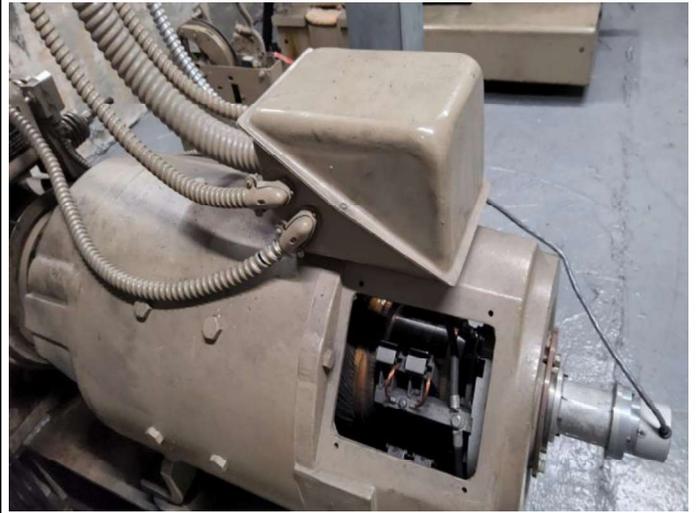


Photo # 26. Item 27.a. Roof. Elevator room. Missing motor cover protection.



Photo # 27. Item 27.b. Roof. Disconnect Switch is unsafely rusted.



Photo # 28. Item 27.c. Level Bassement. Elevator. Missing GFCI protection for receptacle.



Photo # 29. Item 28.1. Missing GFCI protection for receptacles in the kitchen.



Photo # 30. Item 28.1. Missing GFCI protection for receptacles in the kitchen.



Photo # 31. Item 28.1. Missing GFCI protection for receptacles in the kitchen.



Photo # 32. Item 28.2. Missing GFCI protection for receptacles in the bathroom- test fail.



Photo # 33. Item 28.2 Missing GFCI protection for receptacles in the bathroom- test fail.



Photo # 34. Item 28.3. Missing GFCI protection for receptacles in the balcony.



Photo # 35. Item 28.4. Missing GFCI protection for receptacles in the laundry.



Photo # 36. Item 28.5. Missing smoke alarm inside the sleeping rooms.



Photo # 37. Item 28.3. Missing smoke alarm inside the sleeping rooms.



Photo # 38. Item 28.6. Missing smoke alarm outside the sleeping rooms.

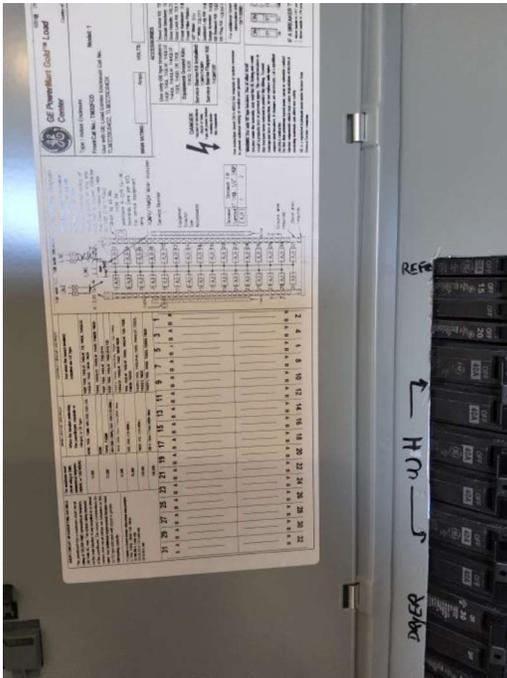


Photo # 39. Items 28.7. Electrical panel missing or incomplete proper circuit directory.



Photo # 40. Item 28.7. Electrical panel missing or incomplete proper circuit directory.

April 15, 2024

City of Coral Gables
Development Services Department
Office of the Building Official
c/o Manuel Z. Lopez, P.E.
City Hall 405 Biltmore Way,
Coral Gables, FL 33134

RE: The Biltmore Regent Condominium, 721 Biltmore Way, Coral Gables, FL 33134
Folio # 03-4117-035-0001 - 30 Year Structural Recertification Report.
Y:\Clients\Falcon2023\23-0346\002_30 Y Recertification\01_Assessment\Documents\Assessment
Report\Recertification\L240322 -Biltmore Regent- 30YR Building Recertification Structural Summary.Docx

Dear Building Official:

Per your request, The Falcon Group ("Falcon") conducted a 30-year structural recertification of The Biltmore Regent Condominium, located at 721 Biltmore Way, Coral Gables, FL 33134, with the requirements of the City of Coral Gables and Miami-Dade County Code Section 8-11(f) 30-Year Minimum Inspection Procedural Guidelines for Building's Structural Recertification. Please refer to the attached copies of the structural 30-year recertification report for the subject The Biltmore Regent Condominium property. In summary, in accordance with the above Miami-Dade County guidelines and regulations, the structural 30-year recertification is "Not Approved." Concrete repairs are required to meet safety standards, primarily at the basement garage and at the generator & fire pump room.

Falcon conducted visual examinations of the building, at representative locations, of reinforced concrete beams, columns, reinforced concrete slabs, and masonry walls. Falcon noted some areas with isolated concrete deficiencies. The following observed issues are progressive in nature and must be properly repaired:

1. The basement garage demonstrated extensive cracking throughout its walls, beams, reinforced slabs, and ceiling. Additionally, Falcon noted concrete spalling and delamination at the concrete beams, slabs, and walls at the basement garage, as well as exposed rebar corrosion. These structural elements should be closely monitored for further spalling/delamination until rebar repair/reinforcement and concrete pouring and curing.
2. At the generator & fire pump room located at the ground level of the building, Falcon noted concrete cracking/spalling and delamination at the concrete slab with exposed corroded rebar.

Falcon's evaluation of the main roof also revealed signs of cracked and chipped roof tiles. Falcon noted the roofing system with ponding water and corrosion. Based on our observations, roof replacement is required in the near future. Falcon recommends that a roof moisture survey be performed to evaluate the level of moisture within the roofing membrane.

During the evaluation, Falcon noted the roof equipment to be in fair condition. Falcon observed ponding water and slight corrosion. Based on Falcon's inspection, corroded metal components must be painted/treated with proper surface preparation per manufacturer's requirements.

Falcon also noted missing sealants/grout and pitting corrosion at the railing post of the balcony. Falcon also observed stucco delamination, cracked tiles, biological growth, and corroded door closers at the

balconies. Overall, Falcon recommends replacement of sealant at the balcony railing post throughout to avoid water penetration into the structural slab.

The painted surface finish of the building appears to be deteriorating at some areas. Although it is not a structural item, painting and filling small (hairline / fine) cracks (if any) will extend the life of the structures greatly, as well as maintenance items such as replacing failed sealants at windows and doors.

Based on Falcon's inspection findings, the deficiencies in the structural elements of the building should be addressed as soon as possible to bring the structure back to its original pre-damage condition. However, the distress observed at the time did not warrant a change in the pattern of occupancy for the building and the damages found were considered "**Less than Substantial.**" It is our professional opinion that the building may remain occupied (with appropriate temporary partial access restrictions) during the necessary repairs. Please note that we have not identified any condition that represents an imminent danger to the occupants of the building.

Please also note that this report is based upon sampling and is not intended to be an all-inclusive, exhaustive list of each location of repair, scope of work, or otherwise.

As a routine matter, in order to avoid possible misunderstandings, nothing in this report should be construed directly or indirectly as a guarantee of any portion of the structure. To the best of our knowledge and ability, this report represents an accurate appraisal of the present condition of the building based upon evaluation of observed conditions, to the extent reasonably possible.

We would like to thank you for the opportunity to provide these professional services. Should you have any questions, please feel free to contact us.

Respectfully submitted,



Sinisa Kolar, PE
Lic No. 77112

Attachments: Building Safety Inspection Reports (Structural)
Annex A, Annex B, and Annex C

ENGINEERS

ARCHITECTS

RESERVE
SPECIALISTS

(800) 839-7740
www.thefalcongroup.us

T H E
FALCON
G R O U P

15405 NW 7th Avenue
Miami, FL 33169

5651 Corporate Way, Suite 4
West Palm Beach, FL 33407

1211 1st Avenue N., Suite 106
St. Petersburg, FL 33705

up 3/12/25

March 5, 2025

City of Coral Gables– Development Services Department
Building Official
c/o Mr. Manuel Z. Lopez
427 Biltmore Way,
Coral Gables, FL 33143

RE: The Biltmore Regent Condominium Association, 721 Biltmore Way, Coral Gables, FL 33134
Folio # 03-4117-035-0001 - Safe to Occupy Letter
Y:\Clients\Falcon2023\23-0346\002_30 Y Recertification\01_Assessment\Documents\Safe To Occupy Letter\L250305 Biltmore Regent -Electrically Safe To Remain Occupied.Docx

Building Department Official:

The Falcon Group (Falcon) conducted a 30-Year **Electrical** Recertification of the referenced building in accordance with the requirements of section 8-11(f) of Miami Dade County and City of Coral Gables "General Considerations & Guidelines" for the building safety inspections. In summary, in accordance with the above regulations and guidelines, the recertification is not approved since repairs are required to meet current standards of safety.

The building's owner is currently in the process of selecting a contractor to perform the necessary electrical repairs. At this point and based on current condition, the building continues to be "Safe to be Occupied" during the repair process. Falcon's authorized representatives will be conducting periodic inspections of the current electrical condition of the building.

As a routine matter, in order to avoid possible misunderstandings, nothing in this report should be construed directly or indirectly as a guarantee of any portion of the electrical infrastructure. To the best of our knowledge and ability, this report represents an accurate appraisal of the present condition of the building based upon evaluation of observed conditions, to the extent reasonably possible.

Please contact our office for any questions at (305) 663-1970.

Respectfully Submitted,



Jose Urdaneta, P.E.
Lic.No.97604



Digitally signed by Jose J Urdaneta
Date: 2025.03.10 08:43:38 -04'00'

Jose Urdaneta, State of Florida, Professional Engineer,
License No. 97604

This item has been digitally signed and sealed by
Jose Urdaneta on the date indicated here.

Printed copies of this documents are not considered
signed and sealed and the signature must be verified on
any electronic copies.



CERTIFICATION OF COMPLIANCE WITH PARKING LOT GUARDRAILS

Re: Case No. _____ FYear 2024
Property Address: 721 BILTMORE WAY, Bldg. No.: 1, Sq. Ft.: 100,800
Building Description: RESIDENTIAL CONDOMINIUM

I am a Florida registered professional engineer architect with an active license.

On MARCH 26 2024, I inspected the parking lots servicing the above referenced building for compliance with Section 8C-6 and determined the following (check only one):

- The parking lot(s) is not adjacent to or abutting a canal, lake, or other body of water.
- The parking lot(s) is adjacent to or abutting a canal, lake or other body of water and parked vehicles are protected by a guardrail that complies with Section 8C-6 of the Miami- Dade County Code.
- The parking lot(s) is adjacent to or abutting a canal, lake or other body of water and parked vehicles **are not** protected by a guardrail that complies with Section 8C-6 of Miami-Dade County Code. I have advised the property owner that he/she must obtain a permit for the installation of the guardrail and obtain all required inspection approvals to avoid enforcement action.

Sinisa D Kolar

Digitally signed by Sinisa D Kolar
DN: cn=Sinisa D Kolar, o=Regulatory and Economic Resources, ou=Building, email=sinisa.kolar@miamidade.gov, c=US
Reason: I am approving this document
Location:
Date: 2024.04.29 09:49:36 -0400
Email PDF Reader Version: 1.0.1.2

Signature and Seal of Architect or Engineer

SINISA KOLAR

Print Name

04/29/2024

Date

ENGINEERS
ARCHITECTS
RESERVE
SPECIALISTS

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FALCON
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15405 NW 7th Avenue
Miami, FL 33169
P (305) 663-1970
TheFalconGroup.us

THERMAL IMAGE REPORT

Client	
Name	THE BILTMORE REGENT CONDO
Site	721 Biltmore Way. Coral Gables, FL 33134
Insp. Date	04/10/2024

Inspection	
Name	The Falcon Group 15405 NW 7th Avenue Miami, FL 33169
Thermographer	Juan Tovar
Sign	
Certification No.	271643
E-mail	jtovar@thefalcongroup.us
Phone	305-6631970 Ext 736, 786-718-7380



The analysis criterion of the failure of the component due to temperature difference is based on the ANSI/NETA MTS standard / NFPA 70B, where the temperature of a component with possible failure is compared with a similar reference component under the same load conditions.	
Temperature Differences of 1°C to 3°C	Indicate possible deficiency and warrant investigation
Temperature Differences of 4°C to 15°C	Indicate deficiency; repairs should be made as time permits
Temperature Differences of 16°C and above	Indicate major deficiency; repairs should be made immediately

SUMMARY

File name	Equipment	Component	Page number	Condition
FLIR1353.jpg	Main 1 of 2	Circuit breaker	3	NORMAL
FLIR1357.jpg	ATS	ATS	4	NORMAL
FLIR1373.jpg	Main 2 of 2	Panelboard	6	NORMAL
FLIR1371.jpg	Main 2 of 2	Panelboard-Neutral bar	5	NORMAL
FLIR1395.jpg	EDP	Panelboard	7	NORMAL
FLIR1409.jpg	EDP	Panelboard-busbar	8	NORMAL
FLIR1461.jpg	EP	Panelboard	9	DEFICIENCY
FLIR1475.jpg	EB	Panelboard	10	NORMAL
FLIR1491.jpg	LE	Panelboard	11	NORMAL
FLIR1507.jpg	House Panelboard	Neutral bar	12	DEFICIENCY
FLIR1519.jpg	House Panelboard	Circuit breaker #30-32	13	POSSIBLE DEFICIENCY
FLIR1525.jpg	GP	Panelboard	14	NORMAL

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	Main 1 of 2
Component	Circuit breaker
File name	FLIR1353.jpg
Condition	NORMAL



Temp. Measurements

Sp1	26.2 °C
Sp2	26.2 °C
Sp3	26.6 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

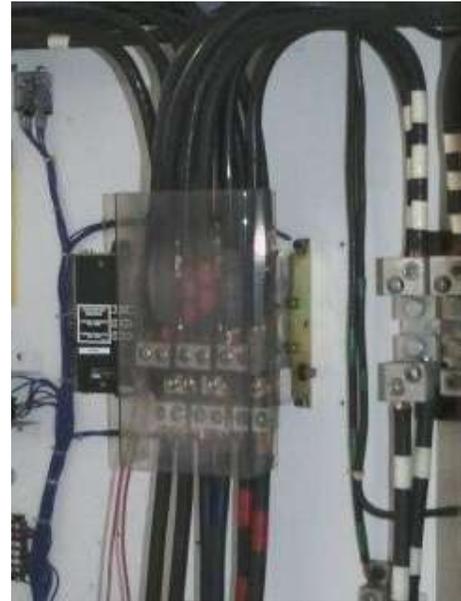
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	ATS
Component	ATS
File name	FLIR1357.jpg
Condition	NORMAL



Temp. Measurements

Sp1	27.3 °C
Sp2	27.6 °C
Sp3	26.4 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

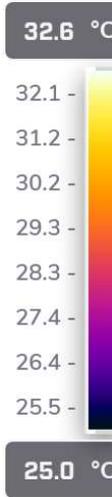
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	Main 2 of 2
Component	Panelboard-Neutral bar
File name	FLIR1371.jpg
Condition	NORMAL



Temp. Measurements

Sp1	26.4 °C
Sp2	26.5 °C
Sp3	26.7 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

Problem:

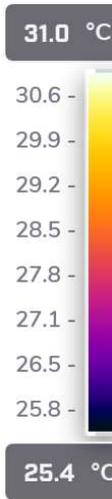
None.

Recommendation:

None.

THE BILTMORE REGENT CONDO

Date	04/10/2024
Location	Electric meter room
Equipment	Main 2 of 2
Component	Panelboard
File name	FLIR1373.jpg
Condition	NORMAL



Temp. Measurements

Sp1	26.9 °C
Sp2	26.9 °C
Sp3	26.9 °C
Sp4	26.9 °C
Sp5	26.7 °C
Sp6	26.4 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

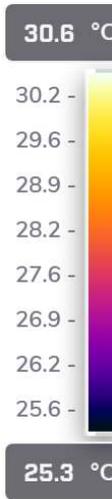
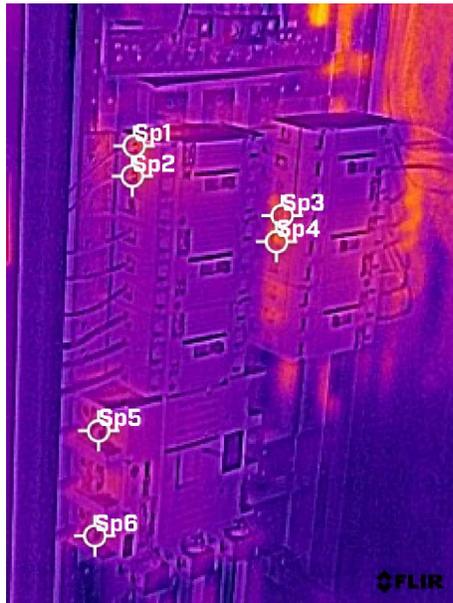
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	EDP
Component	Panelboard
File name	FLIR1395.jpg
Condition	NORMAL



Temp. Measurements

Sp1	27.7 °C
Sp2	27.4 °C
Sp3	27.6 °C
Sp4	27.9 °C
Sp5	27.0 °C
Sp6	26.9 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	EDP
Component	Panelboard-busbar
File name	FLIR1409.jpg
Condition	NORMAL



Temp. Measurements

Sp1	26.6 °C
Sp2	26.7 °C
Sp3	26.5 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

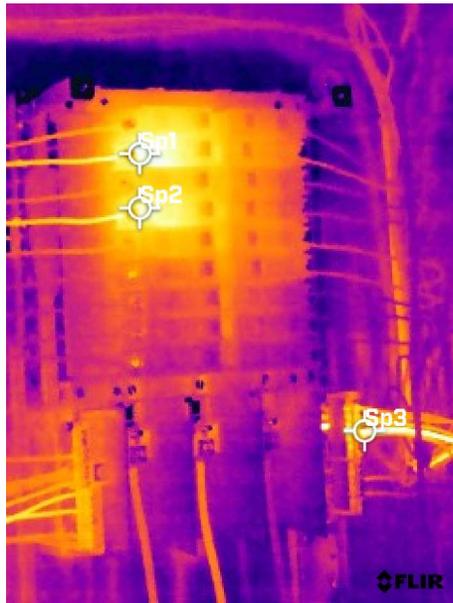
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	EP
Component	Panelboard
File name	FLIR1461.jpg
Condition	DEFICIENCY



Temp. Measurements

Sp1	29.9 °C
Sp2	29.6 °C
Sp3	35.4 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

Problem:

- 1.- Hot spot (Sp3) in conductor connected to the neutral bar.
- 2.- Possible deficiency in circuit breakers #5 and #7.

Recommendation:

- 1.- Remove conductor. Inspect conductor and bar.
-Clean the parts, and install the conductor (apply torque according to manufacturer specifications).
- 2.- Remove conductors. Inspect conductors and circuit breaker.
-Clean the parts, and install conductors (apply torque according to manufacturer specifications).

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	EB
Component	Panelboard
File name	FLIR1475.jpg
Condition	NORMAL



Temp. Measurements

Sp1	26.5 °C
Sp2	26.6 °C
Sp3	27.4 °C
Sp4	27.2 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

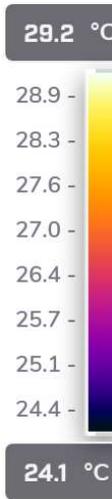
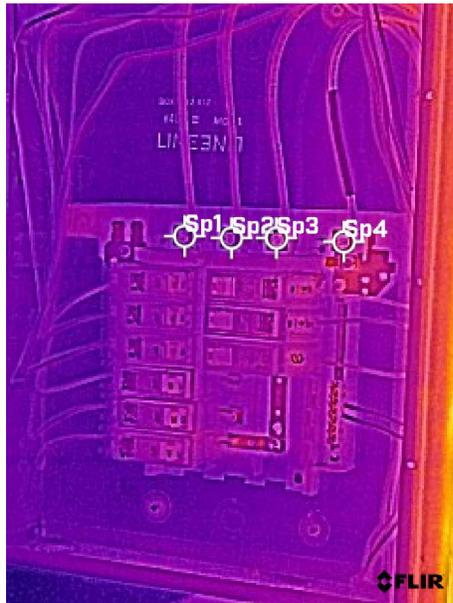
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	LE
Component	Panelboard
File name	FLIR1491.jpg
Condition	NORMAL



Temp. Measurements

Sp1	25.4 °C
Sp2	25.4 °C
Sp3	25.6 °C
Sp4	25.9 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

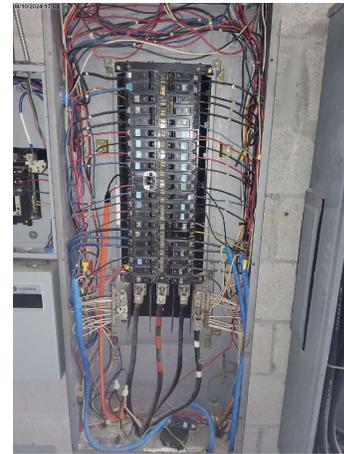
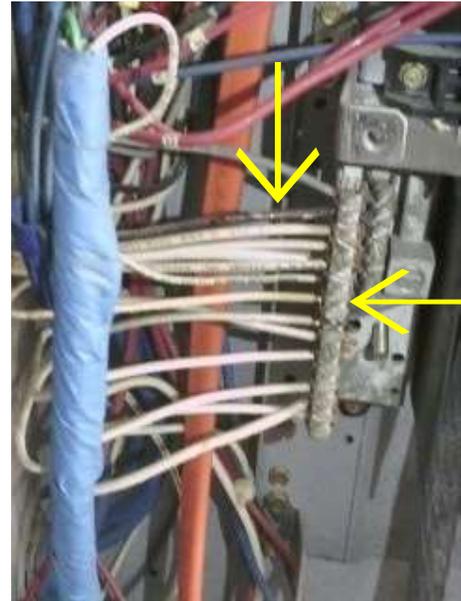
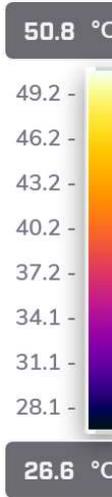
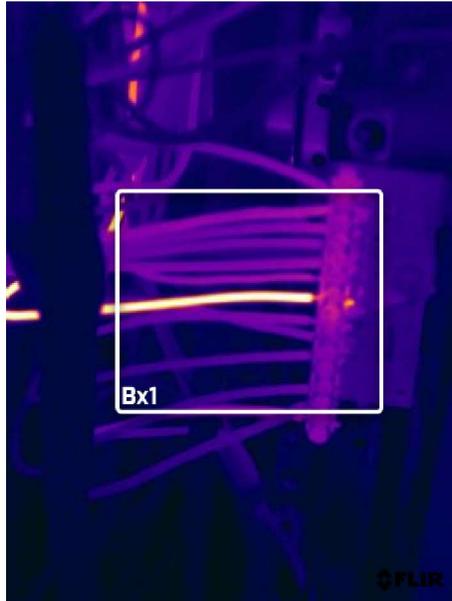
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	House Panelboard
Component	Neutral bar
File name	FLIR1507.jpg
Condition	DEFICIENCY



Temp. Measurements

Bx1	
Max	53.7 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

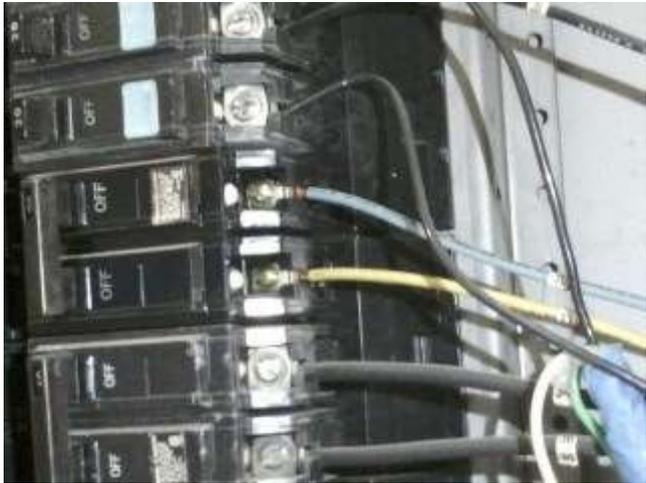
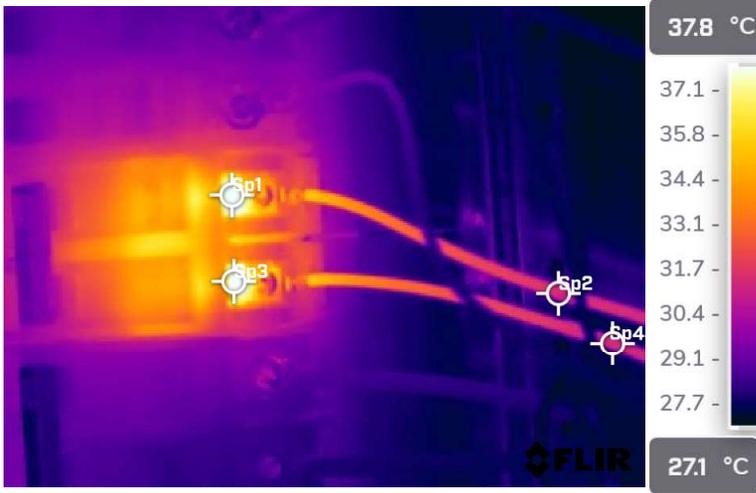
Problem:

- 1.- Hot spot (Bx1) in conductor connected to the neutral bar.
2. Conductors with signal of over heat.

Recommendation:

- 1.- 1.- Remove conductor. Inspect conductors and circuit breaker.
-Clean the parts, and install the conductor (apply torque according to manufacturer specifications).
- 2.- -Remove conductor, and cut the damaged section of the cable, clean the parts, and install (apply torque according to the manufacturer specifications).

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	House Panelboard
Component	Circuit breaker #30-32
File name	FLIR1519.jpg
Condition	POSSIBLE DEFICIENCY



Temp. Measurements

Sp1	38.9 °C
Sp2	31.4 °C
Sp3	38.9 °C
Sp4	31.5 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C



Problem:

2.- Possible deficiency in circuit breakers #30-32.

Recommendation:

2.- Remove conductors. Inspect conductors and circuit breaker.
-Clean the parts, and install conductors (apply torque according to manufacturer specifications).

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Generator & Fire Pump Room
Equipment	GP
Component	Panelboard
File name	FLIR1525.jpg
Condition	NORMAL



Temp. Measurements

Sp1	26.3 °C
Sp2	26.4 °C
Sp3	26.4 °C
Sp4	26.2 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

Problem:

None.

Recommendation:

None.

Annex "A"

Thermographer Certificate



ENGINEERS
 ARCHITECTS
 RESERVE
 SPECIALISTS

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15405 NW 7th Avenue
 Miami, FL 33169
 P (305) 663-1970
 TheFalconGroup.us

THERMAL IMAGE REPORT

Client	
Name	THE BILTMORE REGENT CONDO
Site	721 Biltmore Way. Coral Gables, FL 33134
Insp. Date	04/10/2024

Inspection	
Name	The Falcon Group 15405 NW 7th Avenue Miami, FL 33169
Thermographer	Juan Tovar
Sign	
Certification No.	271643
E-mail	jtovar@thefalcongroup.us
Phone	305-6631970 Ext 736, 786-718-7380



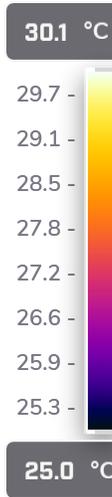
The analysis criterion of the failure of the component due to temperature difference is based on the ANSI/NETA MTS standard / NFPA 70B, where the temperature of a component with possible failure is compared with a similar reference component under the same load conditions.

Temperature Differences of 1°C to 3°C	Indicate possible deficiency and warrant investigation
Temperature Differences of 4°C to 15°C	Indicate deficiency; repairs should be made as time permits
Temperature Differences of 16°C and above	Indicate major deficiency; repairs should be made immediately

SUMMARY

File name	Equipment	Component	Page number	Condition
FLIR1353.jpg	Main 1 of 2	Circuit breaker	3	NORMAL
FLIR1357.jpg	ATS	ATS	4	NORMAL
FLIR1373.jpg	Main 2 of 2	Panelboard	6	NORMAL
FLIR1371.jpg	Main 2 of 2	Panelboard-Neutral bar	5	NORMAL
FLIR1395.jpg	EDP	Panelboard	7	NORMAL
FLIR1409.jpg	EDP	Panelboard-busbar	8	NORMAL
FLIR1461.jpg	EP	Panelboard	9	DEFICIENCY
FLIR1475.jpg	EB	Panelboard	10	NORMAL
FLIR1491.jpg	LE	Panelboard	11	NORMAL
FLIR1507.jpg	House Panelboard	Neutral bar	12	DEFICIENCY
FLIR1519.jpg	House Panelboard	Circuit breaker #30-32	13	POSSIBLE DEFICIENCY
FLIR1525.jpg	GP	Panelboard	14	NORMAL

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	Main 1 of 2
Component	Circuit breaker
File name	FLIR1353.jpg
Condition	NORMAL



Temp. Measurements

Sp1	26.2 °C
Sp2	26.2 °C
Sp3	26.6 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

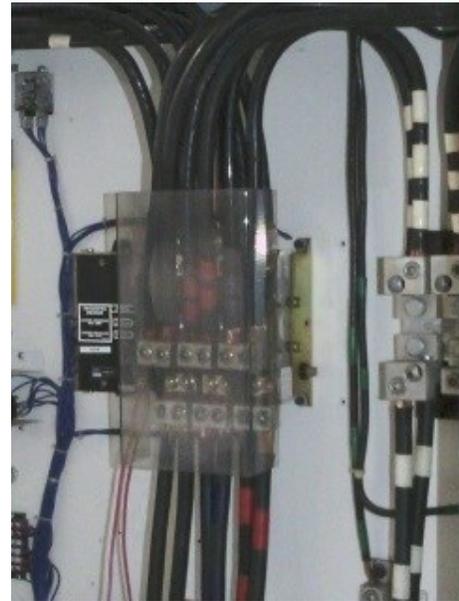
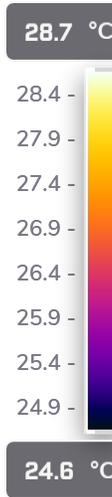
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	ATS
Component	ATS
File name	FLIR1357.jpg
Condition	NORMAL



Temp. Measurements

Sp1	27.3 °C
Sp2	27.6 °C
Sp3	26.4 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

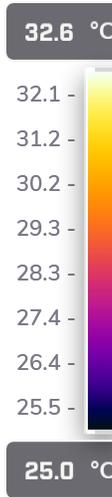
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	Main 2 of 2
Component	Panelboard-Neutral bar
File name	FLIR1371.jpg
Condition	NORMAL



Temp. Measurements

Sp1	26.4 °C
Sp2	26.5 °C
Sp3	26.7 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

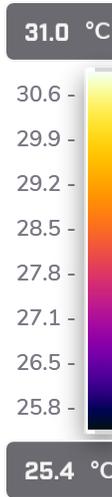
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	Main 2 of 2
Component	Panelboard
File name	FLIR1373.jpg
Condition	NORMAL



Temp. Measurements

Sp1	26.9 °C
Sp2	26.9 °C
Sp3	26.9 °C
Sp4	26.9 °C
Sp5	26.7 °C
Sp6	26.4 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

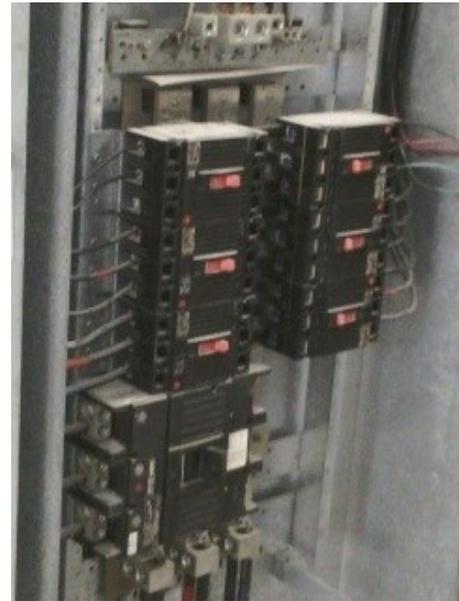
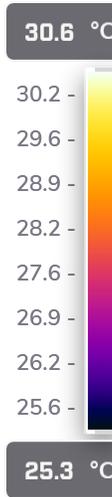
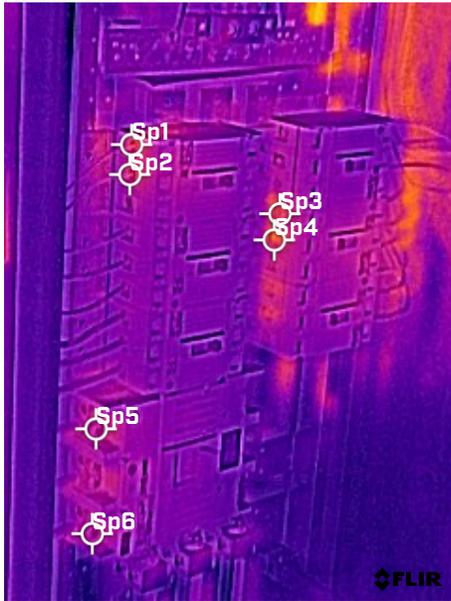
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	EDP
Component	Panelboard
File name	FLIR1395.jpg
Condition	NORMAL



Temp. Measurements

Sp1	27.7 °C
Sp2	27.4 °C
Sp3	27.6 °C
Sp4	27.9 °C
Sp5	27.0 °C
Sp6	26.9 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

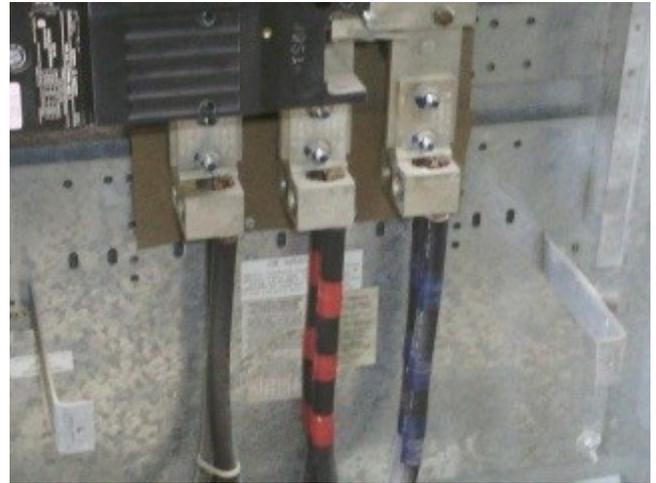
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	EDP
Component	Panelboard-busbar
File name	FLIR1409.jpg
Condition	NORMAL



Temp. Measurements

Sp1	26.6 °C
Sp2	26.7 °C
Sp3	26.5 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

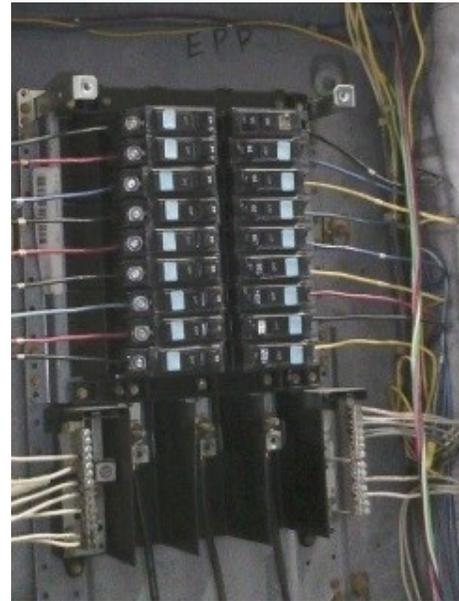
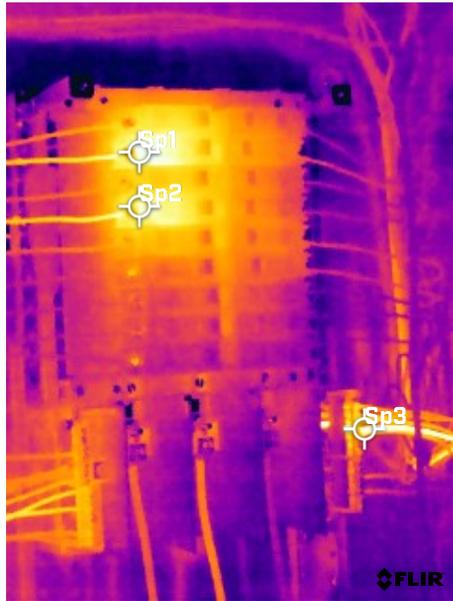
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	EP
Component	Panelboard
File name	FLIR1461.jpg
Condition	DEFICIENCY



Temp. Measurements

Sp1	29.9 °C
Sp2	29.6 °C
Sp3	35.4 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

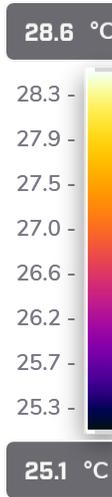
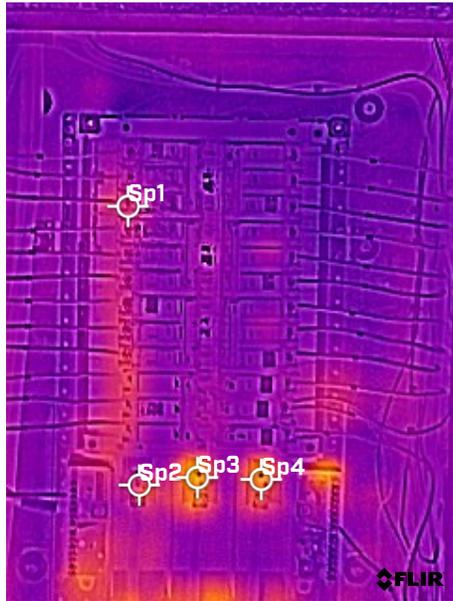
Problem:

- 1.- Hot spot (Sp3) in conductor connected to the neutral bar.
- 2.- Possible deficiency in circuit breakers #5 and #7.

Recommendation:

- 1.- Remove conductor. Inspect conductor and bar.
-Clean the parts, and install the conductor (apply torque according to manufacturer specifications).
- 2.- Remove conductors. Inspect conductors and circuit breaker.
-Clean the parts, and install conductors (apply torque according to manufacturer specifications).

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	EB
Component	Panelboard
File name	FLIR1475.jpg
Condition	NORMAL



Temp. Measurements

Sp1	26.5 °C
Sp2	26.6 °C
Sp3	27.4 °C
Sp4	27.2 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

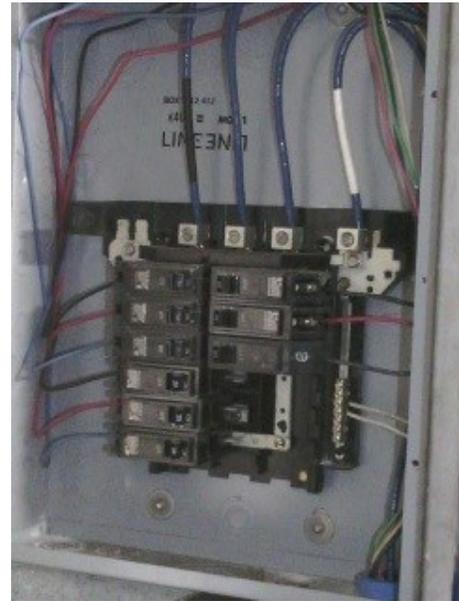
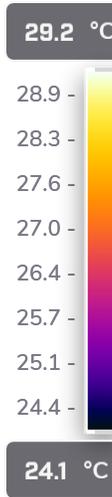
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	LE
Component	Panelboard
File name	FLIR1491.jpg
Condition	NORMAL



Temp. Measurements

Sp1	25.4 °C
Sp2	25.4 °C
Sp3	25.6 °C
Sp4	25.9 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

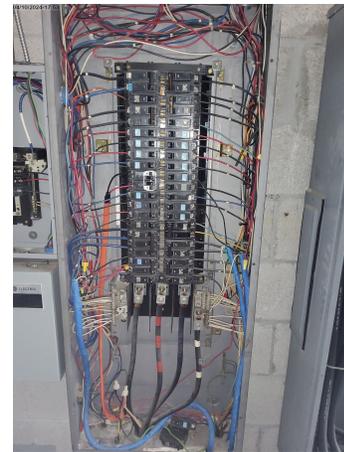
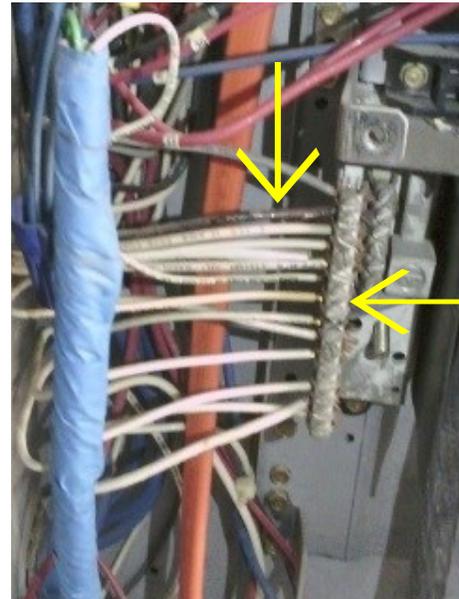
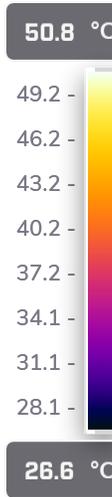
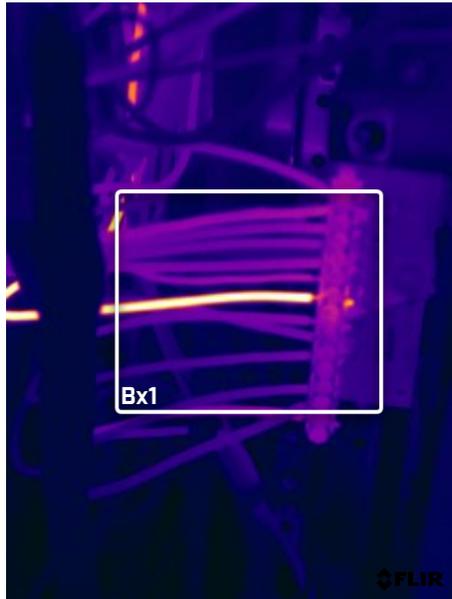
Problem:

None.

Recommendation:

None.

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	House Panelboard
Component	Neutral bar
File name	FLIR1507.jpg
Condition	DEFICIENCY



Temp. Measurements

Bx1	
Max	53.7 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

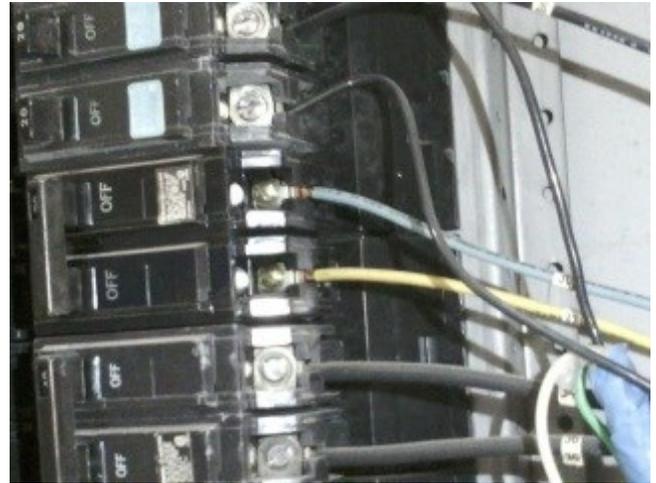
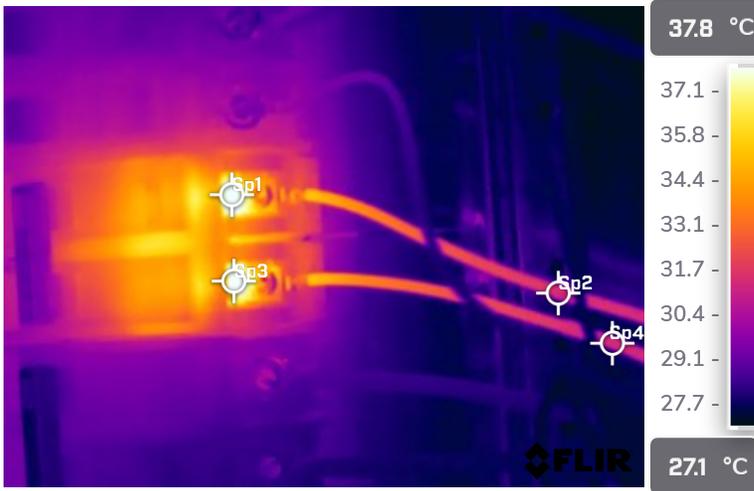
Problem:

- 1.- Hot spot (Bx1) in conductor connected to the neutral bar.
2. Conductors with signal of over heat.

Recommendation:

- 1.- 1.- Remove conductor. Inspect conductors and circuit breaker.
-Clean the parts, and install the conductor (apply torque according to manufacturer specifications).
- 2.- -Remove conductor, and cut the damaged section of the cable, clean the parts, and install (apply torque according to the manufacturer specifications).

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Electric meter room
Equipment	House Panelboard
Component	Circuit breaker #30-32
File name	FLIR1519.jpg
Condition	POSSIBLE DEFICIENCY

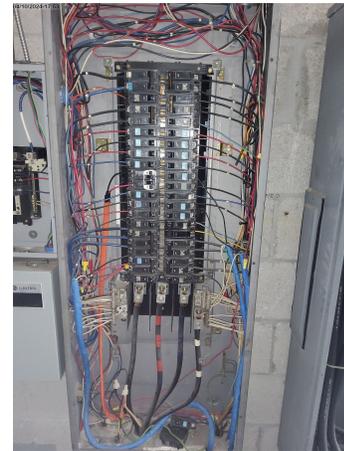


Temp. Measurements

Sp1	38.9 °C
Sp2	31.4 °C
Sp3	38.9 °C
Sp4	31.5 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C



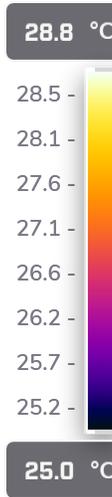
Problem:

2.- Possible deficiency in circuit breakers #30-32.

Recommendation:

2.- Remove conductors. Inspect conductors and circuit breaker.
-Clean the parts, and install conductors (apply torque according to manufacturer specifications).

THE BILTMORE REGENT CONDO	
Date	04/10/2024
Location	Generator & Fire Pump Room
Equipment	GP
Component	Panelboard
File name	FLIR1525.jpg
Condition	NORMAL



Temp. Measurements

Sp1	26.3 °C
Sp2	26.4 °C
Sp3	26.4 °C
Sp4	26.2 °C

Parameters

Emissivity	0.95
Distance	0.91 m
Atmospheric temp.	26.0 °C

Problem:

None.

Recommendation:

None.

Annex "A"

Thermographer Certificate



Annex “A”

Full Legal Description

THE BILTMORE REGENT CONDO
CORAL GABLES BILTMORE SEC
LOTS 24 THRU 32 BLK 1 PB 20-28
F/A/U 03-4117-008-0200

Annex "B"

Aerial of the Property Identifying the Building Being Certified



Annex “C”

Site Photographs



Photo # 1. North building elevation.



Photo # 2. East building elevation.



Photo # 3. West building elevation.



Photo # 4. South building elevation.

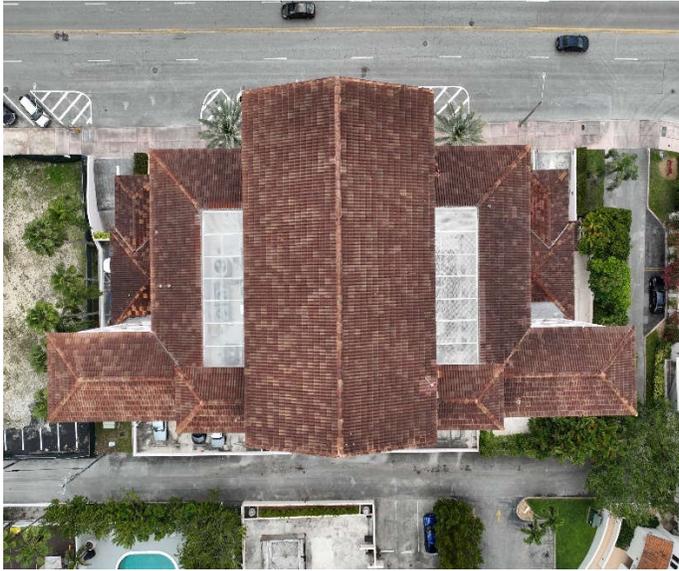


Photo # 5. Overall view of the roof. (Mansard roof and gable roof with clay barrel tiles)



Photo # 6. Lower roof with TPO membrane roofing system.



Photo # 7. Porte-cochere roof with bitumen membrane roofing system.

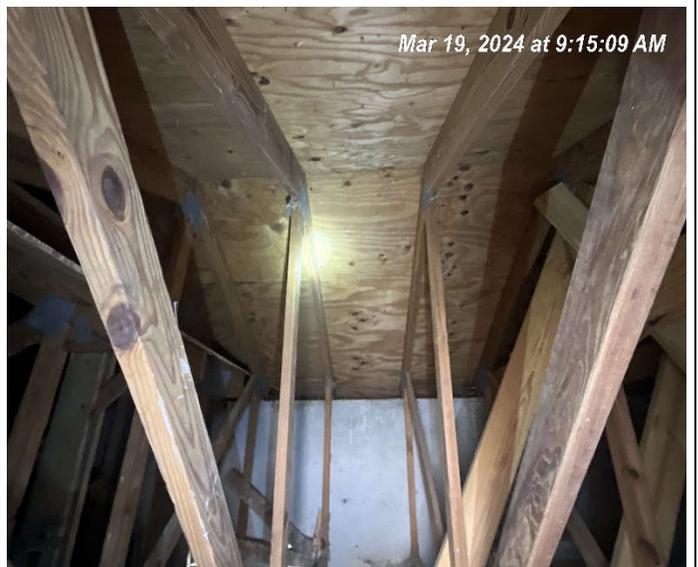


Photo # 8. Roof framing system consists of wood truss and wood deck.



Photo # 9. Pool and pool deck.



Photo # 10. Balcony railing.



Photo # 11. Balcony double outswing glass door.



Photo # 12. Typical window.



Photo # 13. Primary drain at the lower roof.



Photo # 14. Primary scupper at the lower roof.

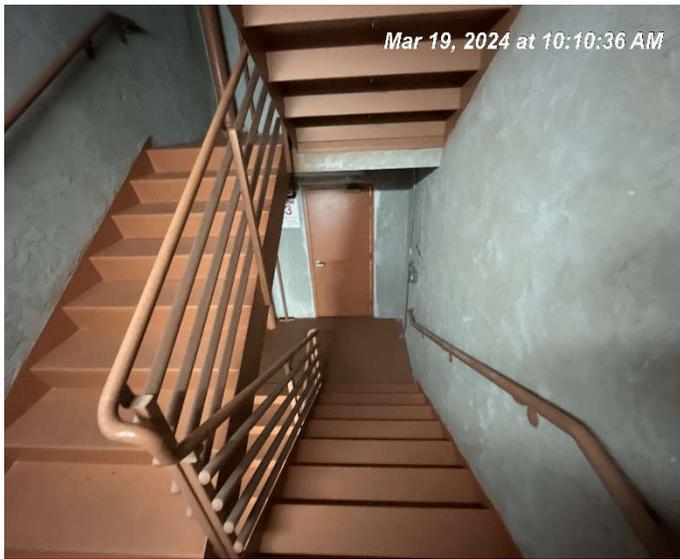


Photo # 15. Typical stairways. (East and West Elevations)

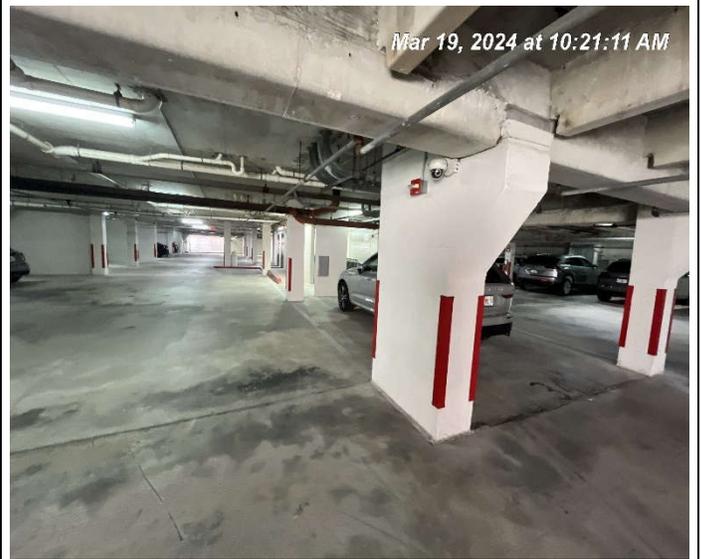


Photo # 16. Basement garage.



Photo # 17. **Garage deck.**



Photo # 18. **Water ponding at the lower flat roof.**



Photo # 19. **Water ponding stains at the PH floor flat roof.**



Photo # 20. **Corrosion stains at the roof flashing.**



Photo # 21. Chipped clay barrel tile at the PH floor roof.



Photo # 22. Cracked clay barrel tile at the PH floor roof.



Photo # 23. Cracked clay barrel tile at the PH floor roof.



Photo # 24. Cracked clay barrel tile at the PH floor roof.



Photo # 25. Cracked tiles at the balcony around the railing post.



Photo # 26. Rust spot at the balcony slab edge.



Photo # 27. Corroded door closer at the balcony throughout.



Photo # 28. Stucco delamination and rust spot at the balcony slab edge.



Photo # 29. Cracked tile at the balcony and missing sealant/grout at the railing post throughout.



Photo # 30. Pitting corrosion at the balcony railing post throughout.



Photo # 31. Biological growth and pitting corrosion at the balcony railing post.



Photo # 32. Biological growth and pitting corrosion at the balcony railing post.



Photo # 33. Cracked tile around the railing post.



Photo # 34. Missing sealant/grout and pitting corrosion at the balcony railing post.



Photo # 35. Concrete crack at the ceiling slab of the basement garage.



Photo # 36. Concrete crack at the wall of the basement garage.



Photo # 37. Concrete crack with water stains and efflorescence at the ceiling slab of the basement garage.



Photo # 38. Cracked and delaminated concrete at the column of the basement garage.



Photo # 39. Spalled concrete with exposed corroded rebar at the beam of the parking garage.



Photo # 40. Concrete crack at the beam of the basement garage.



Photo # 41. Concrete crack with water stains and efflorescence at the ceiling slab of the basement garage.



Photo # 42. Concrete cracks at the ceiling slab of the basement garage.



Photo # 43. Cracked and spalled concrete with exposed corroded rebar at the ramp ceiling slab (East Side)



Photo # 44. Cracked and spalled concrete at the ramp ceiling slab (West Side)



Photo # 45. Cracked and spalled concrete with exposed corroded rebar at the Generator & Fire Pump Room.



Photo # 46. Cracked and spalled concrete at the Generator & Fire Pump Room.



Photo # 47. Delaminated waterproofing coating at the parking deck.



Photo # 48. Deteriorated waterproofing coating at the parking deck.

