



PROPERTY APPRAISER OF MIAMI-DADE COUNTY

Summary Report

Generated On: 10/30/2025

PROPERTY INFORMATION				
Folio	03-4117-005-1351			
Property Address	2555 PONCE DE LEON BLVD CORAL GABLES, FL 33134-0000			
Owner	PRISA PONCE DE LEON LLC			
Mailing Address	2800 POST OAK BLVD #5000 HOUSTON, TX 77056			
Primary Zone	5004 MIXED-USE 2			
Primary Land Use	1813 OFFICE BUILDING - MULTISTORY : OFFICE BUILDING			
Beds / Baths /Half	0 / 0 / 0			
Floors	6			
Living Units	0			
Actual Area				
Living Area				
Adjusted Area	95,863 Sq.Ft			
Lot Size	18,719 Sq.Ft			
Year Built	Multiple (See Building Info.)			
ASSESSMENT INFORMATION				
Year	2025	2024	2023	
Land Value	\$8,891,525	\$8,891,525	\$8,891,525	
Building Value	\$6,908,475	\$6,608,475	\$6,996,975	
Extra Feature Value	\$0	\$0	\$0	
Market Value	\$15,800,000	\$15,500,000	\$15,888,500	
Assessed Value	\$15,800,000	\$15,500,000	\$15,888,500	
BENEFITS INFORMATION				
Benefit	Type	2025	2024	2023
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				
SHORT LEGAL DESCRIPTION				
CORAL GABLES CRAFTS SEC				
PB 10-40				
ALL LOTS 22 THRU 26 & PORT OF LOT				
27 BLK 6 & PORT OF ALLEY BETW &				
ADJ TO BLK 6 DESC BEG NW COR OF				



TAXABLE VALUE INFORMATION			
Year	2025	2024	2023
COUNTY			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$15,800,000	\$15,500,000	\$15,888,500
SCHOOL BOARD			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$15,800,000	\$15,500,000	\$15,888,500
CITY			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$15,800,000	\$15,500,000	\$15,888,500
REGIONAL			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$15,800,000	\$15,500,000	\$15,888,500

SALES INFORMATION			
Previous Sale	Price	OR Book-Page	Qualification Description
08/01/2007	\$0	25850-2367	Sales which are disqualified as a result of examination of the deed

The information contained herein is for ad valorem tax assessment purposes only. The Property Appraiser of Miami-Dade County is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser of Miami-Dade County and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <https://www.miamidadepa.gov/pa/disclaimer.page>

655 Broad Street, 14th floor
Newark, NJ 07102

Title Authorized Person

Mahon, Nicole
655 Broad Street
14th floor
Newark, NJ 07102

Title Authorized Person

Ziegler, Amy
655 Broad Street
14th floor
Newark, NJ 07102

Annual Reports

Report Year	Filed Date
2023	03/22/2023
2024	04/22/2024
2025	04/25/2025

Document Images

04/25/2025 -- ANNUAL REPORT	View image in PDF format
04/22/2024 -- ANNUAL REPORT	View image in PDF format
03/22/2023 -- ANNUAL REPORT	View image in PDF format
03/29/2022 -- ANNUAL REPORT	View image in PDF format
04/07/2021 -- ANNUAL REPORT	View image in PDF format
05/27/2020 -- ANNUAL REPORT	View image in PDF format
04/13/2019 -- ANNUAL REPORT	View image in PDF format
04/16/2018 -- ANNUAL REPORT	View image in PDF format
04/13/2017 -- ANNUAL REPORT	View image in PDF format
04/21/2016 -- ANNUAL REPORT	View image in PDF format
01/13/2015 -- ANNUAL REPORT	View image in PDF format
01/10/2014 -- ANNUAL REPORT	View image in PDF format
01/10/2013 -- ANNUAL REPORT	View image in PDF format
01/06/2012 -- ANNUAL REPORT	View image in PDF format
01/05/2011 -- ANNUAL REPORT	View image in PDF format
01/06/2010 -- ANNUAL REPORT	View image in PDF format
01/16/2009 -- ANNUAL REPORT	View image in PDF format
06/24/2008 -- ANNUAL REPORT	View image in PDF format
08/09/2007 -- LC Amendment	View image in PDF format
07/31/2007 -- Foreign Limited	View image in PDF format

List of service addresses for 2555 Ponce de Leon Blvd

<u>Owner (Property appraiser address)</u> PRISA PONCE DE LEON LLC 2800 POST OAK BLVD, #5000 HOUSTON, TX 77056-6178	<u>Owner (Sunbiz mailing and principal addresses)</u> PRISA PONCE DE LEON LLC 655 BROAD STREET, FL 14 NEWARK, NJ 07102-4419
<u>Owner (Registered Agent address)</u> PRISA PONCE DE LEON LLC C T CORPORATION SYSTEM 1200 S. PINE ISLAND RD PLANTATION, FL 33324-4413	<u>Mortgagee (FDIC BankFind)</u> SYNOVUS BANK, AS SUCCESSOR TO GREAT FLORIDA BANK 33 W. 14TH ST COLUMBUS, GA 31901-2148
<u>Mortgagee (FDIC BankFind)</u> WELLS FARGO BANK, N. A. 3201 N 4TH AVE SIOUX FALLS, SD 57104-0700	<u>Mortgagee (mortgage address)</u> WELLS FARGO BANK, N.A. REAL ESTATE GROUP (AU# 02199) 1000 LOUISIANA STREET, FL 4 MAC: T5002-042 HOUSTON, TX 77002-5025 ATTN: JAY DEE SCHROLLER LOAN NO. 101052
<u>Mortgagee (mortgage address)</u> WELLS FARGO BANK, N.A. DISBURSEMENT AND OPERATION CENTER 2120 EAST PARK PLACE, STE 100 EL SEGUNDO, CA 90245-4741 ATTN: JUDY JACKSON	

BLDB-22-09-1042	FBC Building (Commercial)	Interior Build-Out/ Interior Alteration/Remodel	Final	09/06/2022	01/08/2024	07/11/2023	Interior remodeling (Mexican Consulate – Offices)	2555 PONCE DE LEON BLVD	
BLDB-22-09-1081	FBC Building (Commercial)	Interior Build-Out/ Interior Alteration/Remodel	Final	09/22/2022	05/26/2025	11/25/2024	Interior Remodeling for Corridor and Restrooms (5th Floor)	2555 PONCE DE LEON BLVD	
BLDB-22-12-1286	FBC Building (Commercial)	Interior Build-Out/ Interior Alteration/Remodel	Final	12/22/2022	04/29/2024	10/30/2023	Interior Buildout for Mexican Consulate Gallery	2555 PONCE DE LEON BLVD	Suite 520
BLDB-23-02-1436	FBC Building (Commercial)	Interior Build-Out/ Interior Alteration/Remodel	Final	02/21/2023	06/03/2024	12/04/2023	Interior Remodel Maxwell Engineers Office	2555 PONCE DE LEON BLVD	220
BLDB-23-12-2197	FBC Building (Commercial)	Interior Build-Out/ Interior Alteration/Remodel	Final	12/04/2023	02/10/2025	08/12/2024	Interior Remodel Office Space for UNIT #330	2555 PONCE DE LEON BLVD	330
BLDB-24-11-3042	FBC Building (Commercial)	Interior Build-Out/ Interior Alteration/Remodel	Issued	11/21/2024	01/06/2026		Concrete repair	2555 PONCE DE LEON BLVD	
ELEC-23-03-1157	Electrical Commercial	Other	Final	03/08/2023	11/14/2023	05/18/2023	Sub-permit to install: 386 Lights 228 Outlets & Special Outlets	2555 PONCE DE LEON BLVD	
ELEC-23-03-1158	Electrical Commercial	Other	Final	03/08/2023	04/29/2024	11/01/2023	Sub-permit to: Install 76 Lights & install 15 Outlets	2555 PONCE DE LEON BLVD	
ELEC-23-03-1199	Electrical Commercial	Low Voltage	Final	03/24/2023	10/16/2023	04/19/2023	ACCESS CONTROL SYSTEM	2525 PONCE DE LEON BLVD	825
ELEC-23-03-1202	Electrical Commercial	Low Voltage	Final	03/24/2023	11/08/2023	04/18/2023	Interior remodeling (Mexican Consulate – Offices DATA ONLY)	2555 PONCE DE LEON BLVD	
ELEC-23-04-1280	Electrical Commercial	Low Voltage - Fire Alarm	Final	04/18/2023	10/24/2023	04/27/2023	Interior remodeling (Mexican Consulate – Offices) (Access Control)	2555 PONCE DE LEON BLVD	
ELEC-23-04-1296	Electrical Commercial	Low Voltage - Fire Alarm	Final	04/21/2023	10/24/2023	04/27/2023	Fire alarm for suite 400 - Master permit BLDB22-09-1042/ sub electrical to fire alarm FIRE-23-04-0438	2555 PONCE DE LEON BLVD	
ELEC-23-05-1332	Electrical Commercial	Interior Build-Out/ Interior Alteration/Remodel	Final	05/08/2023	02/28/2024	09/01/2023	Installation of 32 lights and 14 outlets.	2555 PONCE DE LEON BLVD	
ELEC-23-05-1347	Electrical Commercial	Low Voltage	Final	05/15/2023	12/27/2023	06/29/2023	Data Cabling, CCTV & Speakers under Master #BLDB-22-12-1286	2555 PONCE DE LEON BLVD	
ELEC-23-05-1481	Electrical Commercial	Other	Final	06/28/2023	05/20/2024	11/22/2023	Electrical Interior Remodel Maxwell Engineers Office as per Master Permit # BLDB-23-02-1436	2555 PONCE DE LEON BLVD	Suite 230
ELEC-23-08-1580	Electrical Commercial	Low Voltage - Fire Alarm	Final	08/01/2023	02/07/2024	08/11/2023	EL sub permit for fire alarm FIRE -23-08-0503	2555 PONCE DE LEON BLVD	
ELEC-23-08-1595	Electrical Commercial	Low Voltage - Fire Alarm	Final	08/04/2023	02/07/2024	08/11/2023	Relocate existing and install new initiating devices. Electrical sub permit	2555 PONCE DE LEON BLVD	5TH FL G
ELEC-23-08-1607	Electrical Commercial	Low Voltage	Final	08/07/2023	05/28/2024	11/29/2023	computer drops installation	2555 PONCE DE LEON BLVD	
ELEC-23-08-1626	Electrical Commercial	Other	Expired	08/14/2023	02/13/2024		SUB PERMIT TO FIRE ALARM FIRE-23-06-0516	2555 PONCE DE LEON BLVD	
ELEC-23-09-1749	Electrical Commercial	Signs	Final	09/26/2023	07/14/2025	01/15/2025	Installation of two illuminated wall signs and connect to existing electric.	2555 PONCE DE LEON BLVD	
ELEC-24-01-2087	Electrical Commercial	Generator Plans Review (PDGPR)	Issued	01/19/2024	12/21/2025		Emergency Generator and Electrical Switchgear	2555 PONCE DE LEON BLVD	
ELEC-24-02-2202	Electrical Commercial	Low Voltage	Final	02/27/2024	11/04/2024	05/07/2024	Interior Remodel Office Space for UNIT #330 DATA CABLING Under Master #BLDB-23-12-2197	2555 PONCE DE LEON BLVD	330
ELEC-24-03-2226	Electrical Commercial	Interior Build-Out/ Interior Alteration/Remodel	Final	03/04/2024	01/14/2025	07/18/2024	Interior Remodel Office Space for UNIT #330. - Installation of Light Fixtures (44), Outlets (44) and Special Outlets (2).	2555 PONCE DE LEON BLVD	330
ELEC-24-04-2354	Electrical Commercial	Low Voltage - Fire Alarm	Final	04/11/2024	10/16/2024	04/19/2024	Access Control System for UNIT #330	2555 PONCE DE LEON BLVD	330
ELEC-24-05-2428	Electrical Commercial	Low Voltage - Fire Alarm	Final	05/03/2024	11/11/2024	05/13/2024	Interior Remodel Office Space for UNIT #330	2555 PONCE DE LEON BLVD	330
ELEC-24-11-3031	Electrical Commercial	Low Voltage - Fire Alarm	Expired	11/18/2024	05/31/2025		Electrical Low Voltage for Master r to Add to existing installation of makeup fan (1) Device. Under location address 2525 Ponce de Leon Blvd., for Flemmings	2555 PONCE DE LEON BLVD	
ELEC-25-04-3387	Electrical Commercial	Other	Expired	04/03/2025	11/02/2025		Mechanical Master AHU Upgrade Electrical sub work for the AHU Upgrades	2555 PONCE DE LEON BLVD	
FIRE-22-11-0290	Fire	Other	Issued	11/23/2022	12/03/2025		Replacement of the fire pump and jockey pump. (The old ones for new ones)	2555 PONCE DE LEON BLVD	
FIRE-23-03-0427	Fire	Access Control	Final	03/24/2023	10/04/2023	05/18/2023	Interior remodeling (Mexican Consulate – Offices)	2555 PONCE DE LEON BLVD	
FIRE-23-04-0438	Fire	Fire Alarm	Final	04/06/2023	10/18/2023	05/17/2023	Fire alarm for suite 400 - Master permit BLDB22-09-1042	2555 PONCE DE LEON BLVD	
FIRE-23-04-0439	Fire	Fire Sprinkler	Final	04/08/2023		05/05/2023	Interior remodeling (Mexican Consulate – Offices)	2555 PONCE DE LEON BLVD	
FIRE-23-05-0491	Fire	Fire Sprinkler	Final	05/30/2023		09/05/2023	Interior Buildout for Mexican Consulate Gallery	2555 PONCE DE LEON BLVD	Suite 520
FIRE-23-05-0493	Fire	Fire Sprinkler	Final	05/31/2023		09/05/2023	Interior Remodeling for Corridor and Restrooms (5th Floor)	2555 PONCE DE LEON BLVD	520
FIRE-23-06-0496	Fire	Fire Alarm	Final	06/05/2023		09/05/2023	Relocate existing and install new initiating devices	2555 PONCE DE LEON BLVD	5TH FL GALL
FIRE-23-06-0503	Fire	Fire Alarm	Final	06/07/2023		11/18/2024	Fire Alarm process for master BLDB-22-09-1081	2555 PONCE DE LEON BLVD	
FIRE-23-06-0516	Fire	Fire Alarm	Issued	06/20/2023			Fire Alarm Sequence Operation Change	2555 PONCE DE LEON BLVD	
FIRE-23-10-0735	Fire	Fire Sprinkler	Final	10/30/2023		11/20/2023	Interior Remodel Maxwell Engineers Office	2555 PONCE DE LEON BLVD	220
FIRE-24-03-0909	Fire	Access Control	Final	03/12/2024		05/02/2024	Interior Remodel Office Space for UNIT #330	2555 PONCE DE LEON BLVD	330
FIRE-24-04-0949	Fire	Fire Sprinkler	Final	04/05/2024		04/25/2024	Interior Remodel Office Space for UNIT #330	2555 PONCE DE LEON BLVD	330
FIRE-24-04-0950	Fire	Fire Alarm	Final	04/08/2024		05/17/2024	Interior Remodel Office Space for UNIT #330	2555 PONCE DE LEON BLVD	330
FIRE-24-10-1255	Fire	Fire Alarm	Denied	10/15/2024			Add (1) FACP (NEW) Add (1) Annunciator (NEW) Add (9) Terminal Cabinets (NEW)	2555 PONCE DE LEON BLVD	
FIRE-24-10-1270	Fire	Fire Alarm	Issued	10/31/2024			Add to existing installation of makeup fan (1) Device. Under location address 2525 Ponce de Leon Blvd., for Flemmings	2555 PONCE DE LEON BLVD	
FIRE-25-10-1753	Fire	Fire Alarm	Denied	10/14/2025			AHU Upgrades, adding devices to existing fire alarm system	2555 PONCE DE LEON BLVD	
MECB-23-01-0465	Mechanical Commercial	HVAC Changeout	Cancelled	01/24/2023		10/20/2025	*OK TO CLOSE/CANCEL SEE ME CB-25-01-1151* exact mechanical change out replacement for 2 water sourced heat pumps without electric heat - located inside restaurant 4 ton and 15 ton	2555 PONCE DE LEON BLVD	
MECB-23-02-0487	Mechanical Commercial	HVAC Changeout	Final	02/15/2023	11/14/2023	10/23/2023	Exact mechanical change-out replacement for 2 water sourced heat pumps w/out electric heat - located inside restaurant, 4 ton & 15 ton	2555 PONCE DE LEON BLVD	
MECB-23-03-0507	Mechanical Commercial	Interior Build-Out/ Interior Alteration/Remodel	Final	03/09/2023	11/20/2023	05/24/2023	Interior remodeling (Mexican Consulate – Offices)	2555 PONCE DE LEON BLVD	
MECB-23-03-0508	Mechanical Commercial	Interior Build-Out/ Interior Alteration/Remodel	Final	03/09/2023	01/08/2024	07/11/2023	Interior Remodeling for Corridor and Restrooms (5th Floor)	2555 PONCE DE LEON BLVD	
MECB-23-05-0597	Mechanical Commercial	Interior Build-Out/ Interior Alteration/Remodel	Final	05/05/2023	03/18/2024	09/19/2023	Interior Buildout for Mexican Consulate Gallery	2555 PONCE DE LEON BLVD	
MECB-23-09-0700	Mechanical Commercial	Interior Build-Out/ Interior Alteration/Remodel	Final	09/18/2023	04/22/2024	10/25/2023	Interior Remodel Maxwell Engineers Office	2555 PONCE DE LEON BLVD	220
MECB-24-03-0860	Mechanical Commercial	Interior Build-Out/ Interior Alteration/Remodel	Final	03/01/2024	10/28/2024	04/29/2024	Interior Remodel Office Space for UNIT #330	2555 PONCE DE LEON BLVD	330

MECB-25-01-1151	Mechanical Commercial	HVAC Changeout	Issued	01/15/2025	05/04/2026		Mechanical upgrades	2555 PONCE DE LEON BLVD	
PEXT-24-05-0903	Permit Extension/ Renewal	Electrical	Finald	05/31/2024		06/05/2024	***06/04/2024***Installation of two illuminated wall signs and c onnect to existing electric.	2555 PONCE DE LEON BLVD	
PEXT-24-11-1390	Permit Extension/ Renewal	Electrical	Finald	11/08/2024		11/14/2024	***11/13/2024***Installation of two illuminated wall signs and connect to existing electric.	2555 PONCE DE LEON BLVD	
PLUB-22-03-0106	Plumbing Commercial	Water Heater	Cancelled	03/03/2022		01/09/2023	Replace existing 120 WH for 120 WH, like for like	2555 PONCE DE LEON BLVD	
PLUB-22-03-0343	Plumbing Commercial	Interior Build-Out/ Interior Alterat ion/Remodel	Cancelled	09/19/2022		03/09/2023	CANCEL	2555 PONCE DE LEON BLVD	
PLUB-23-03-0454	Plumbing Commercial	Other	Finald	03/07/2023	11/13/2023	05/17/2023	Interior Remodeling, Three Restr oom, and two kitchen 4TH FLOOR Fourth Floor.	2555 PONCE DE LEON BLVD	
PLUB-23-03-0455	Plumbing Commercial	Other	Finald	03/07/2023	10/21/2024	04/22/2024	Interior Renovation, Pull and Set for two existing Restroom. 5TH FLOOR install new Two restroom and One Kitchen	2555 PONCE DE LEON BLVD	
PLUB-23-03-0517	Plumbing Commercial	Other	Finald	05/08/2023	01/29/2024	08/01/2023	Interior Remodeling, Fifth Floor 2 555 ponce suite 5th fl.		
PLUB-24-03-0795	Plumbing Commercial	Other	Finald	03/05/2024	10/28/2024	05/01/2024	new kitchen sink, rough and set.	2555 PONCE DE LEON BLVD	330
PLUB-25-03-1304	Plumbing Commercial	Other	Issued	05/23/2025	12/22/2025		Remove existing water pump & i nstall a new one - Mechanical up grades	2555 PONCE DE LEON BLVD	
PWKS-22-07-0840	Public Works Permit	Temporary ROW Obstruction	Finald	07/08/2022	02/26/2024	01/26/2024	obstruction of the right of way fo r pressure cleaning. Do not mobi lize without coordinating first wit h your Public Works Inspector. C all 305-460-5000 to coordinate.	2555 PONCE DE LEON BLVD	
PWKS-23-02-1398	Public Works Permit	Sewer Allocation Letter/ Calcula tions/ Agreement	Finald	02/15/2023		02/21/2023	Interior Buildout for Mexican Co nsulate Gablery.	2555 PONCE DE LEON BLVD	
PWKS-24-03-2499	Public Works Permit	Temporary ROW Obstruction	Finald	03/13/2024	06/21/2024	06/21/2024	Shoulder work between 2' and 1 5' from the travel way on Ponce De Leon and Valencia Ave at the Wells Fargo Bank to install new signage on south and west eleva tions	2555 PONCE DE LEON BLVD	
PWKS-25-07-3458	Public Works Permit	Temporary ROW Obstruction	Issued	07/08/2025	12/31/2025		Crane to setup on Valencia to ho ist steel and HVAC equipment to the roof	2555 PONCE DE LEON BLVD	
RECT-24-11-0420	Building Recertification	Recertification	Denied	11/21/2024			BUILDING RECERTIFICATION (Y EAR BUILT 1964)	2555 PONCE DE LEON BLVD	
REVR-23-02-0548	Revision to Permit	Commercial	Finald	02/08/2023		05/10/2023	REVISION - RELOCATED SHOWE R-ELECTRICAL/ PLUMBING/ ME CHANICAL/ FIRE (EDEN MASTE R PERMIT NO. BL-21-04-7159) C OMMERCIAL INTERIOR ALTERA TIONS @ SUITE 900 (KOZYAK, T ROPIN & THROCKMORTON) \$15 0.000	2555 PONCE DE LEON BLVD	
REVR-23-03-0838	Revision to Permit	Commercial	Finald	05/12/2023		06/13/2023	Change for supplementary unit R evision to Master Permit BLD-2 2-12-1286 (Gallery Mexican Con sulate)	2555 PONCE DE LEON BLVD	Suite 520
REVR-23-08-0927	Revision to Permit	Commercial	Finald	06/09/2023		06/24/2023	Revision to permit from master FD-21-11-6475	2555 PONCE DE LEON BLVD	
REVR-23-08-1168	Revision to Permit	Commercial	Finald	08/23/2023		08/30/2023	Interior Buildout for Mexican Co nsulate Gallery	2555 PONCE DE LEON BLVD	Suite 520
REVR-25-02-3328	Revision to Permit	Commercial	Finald	02/12/2025		03/04/2025	Revision to Permit MECB-25-01- 1151 to include plumbing and st ructural plans.	2555 PONCE DE LEON BLVD	



The City of Coral Gables

Development Services Department
CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134

March 30, 2016

Prisa Ponce de Leon LLC
2800 Post Oak Boulevard #5000
Houston, Texas 77056

LETTER OF BUILDING RECERTIFICATION IN ACCORDANCE WITH SECTION 8-11(f) OF THE CODE OF MIAMI-DADE COUNTY

PROPERTY FOLIO: # 03-4117-005-1351
ADDRESS: 2555 Ponce de Leon Boulevard

Dear Property Owner/Manager:

This Office is in receipt of your structural and electrical report stating that the above referenced building has been examined and found to be structurally and electrically safe for its continued occupancy.

Based on acceptance of this report, we herewith grant this LETTER OF RECERTIFICATION for the above subject premises in accordance with Section 8-11(f) of the Code of Miami-Dade County.

The expiration date of this approval, as stated in said Code, is 10 years from 2014. This recertification letter does not exclude the building from subsequent inspections as deemed necessary by the Building Official, as specified in the Florida Building Code.

As a routine matter, and in order to avoid possible misunderstanding, nothing in this letter should be construed directly, or indirectly as a guarantee of the safety of any portion of this structure. However, based on the term stated in Section 8-11(f) of the Code, continued occupancy of the building will be permitted in accordance with the minimum procedural guidelines for the recertification structural/electrical report on file with this office.

Yours truly,

A handwritten signature in blue ink, appearing to read "Manuel Z. Lopez", is written over a horizontal line.

Manuel Z. Lopez, P.E.
Building Official



CITY OF CORAL GABLES
Development Services Department

CITY HALL 405 BILTMORE WAY
CORAL GABLES, FL 33134

2/2/2023

VIA CERTIFIED MAIL

PRISA PONCE DE LEON LLC
2800 POST OAK BLVD #5000
HOUSTON, TX 77056

7021 1970 0000 4015 9736

RE: 2555 PONCE DE LEON BLVD
FOLIO # 341170051351
Process Number TBD

COURTESY 1-YEAR NOTICE

Notice of Required Inspection for Recertification of 30 Years or Older Building

Dear Property Owner:

Per the Miami-Dade County Property Appraiser's office the above referenced property address is thirty (30) years old, or older, having been built in 1964. In accordance with the Miami-Dade County Code, Chapter 8, Section 8-11(f), a qualified individual must inspect said building and a **completed** Recertification Report ("Report") must be submitted by you to this Department **in 2024**. A completed Report includes 1) Cover letters stating the structure meets (or does not meet) the electrical and structural requirements for recertification, 2) Building Structural Report, 3) Building Electrical Report, 4) Parking Lot Illumination Standards Form 5) Parking Lot Guardrails Requirements Form, and 6) (For threshold buildings only) Self-qualification letters from the inspecting engineers with accompanying DBPR proof of specialization. Submittal of the Report does not constitute recertification; it must be **approved** and the Letter of Recertification must be issued by this Department.

Threshold buildings (i.e. buildings greater than 3 stories or greater than 50 ft tall, or with an Assembly Occupancy>5000 s.f. & Occupant load > 500 people) shall be recertified by Structural and Electrical Professional Engineers only. Self-qualification letters will be required with proof of DBPR structural and electrical specialization.

Any buildings that are not threshold buildings may be recertified by any Florida Registered Architect or Professional Engineer and self-qualification letters will not be required.

If no deficiencies are identified, the structure will only be recertified once the reports and forms have been submitted and approved.

If deficiencies are identified, they shall be reported to the Building Official within 10 days, or within 24 hours if there is an immediate danger identified. A completed report shall be submitted to this Department. In addition, a structural and/or electrical affidavit from the inspector will be required, with additional affidavits every 180 days, as needed so that the building can continue to be occupied while repairs are carried out. The Building Official is able to grant an extension of one hundred fifty (150) calendar days from the due date or the date the deficiencies were identified (whichever is sooner) to allow time to obtain the necessary permits and perform the repairs. The structure will only

be recertified once a *revised* report and all required information is submitted and approved, and all required permits are closed.

Proprietary or modified recertification forms from the inspectors will not be accepted. Only current municipal recertification forms will be accepted. The Architect or Engineer shall obtain the required Forms from the following link:

<https://www.miamidade.gov/global/economy/building/recertification.page>.

If this is your first time using the online system, please register at the following link:

<https://coralgablesfl-energovpub.tylerhost.net/Apps/selfservice/CoralGablesFLProd#/register>

You can access your online process using the process number provided above at the following link:

<https://coralgablesfl-energovpub.tylerhost.net/Apps/SelfService#/myWork?tab=MyPermits>

The Recertification Report fee of \$500.00 and additional document and filing fees shall be paid online at the following link:

<https://coralgablesfl-energovpub.tylerhost.net/Apps/SelfService#/payinvoice>

Failure to submit the required Report within the allowed time will result in **declaring the structure unsafe** and referring the matter to the City's Construction Regulation Board ("Board") without further notice and a \$600.00 administrative fee will be imposed at that time. The Board may impose additional fines of \$250.00 for each day the violation continues, may enter an order of demolition, and may assess all costs of the proceedings along with the cost of demolition and any other required action.

Please contact Douglas Ramirez at dramirez@coralgables.com regarding any questions concerning building recertification.

Thank you for your prompt attention to this matter.



Manuel Z. Lopez, P.E.
Building Official



The City of Coral Gables

Development Services Department
CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134

5/3/2022

PRISA PONCE DE LEON LLC
2800 POST OAK BLVD #5000
HOUSTON, TX 77056

VIA CERTIFIED MAIL

7021 2720 0001 4958 8981

RE: 2555 PONCE DE LEON BLVD
FOLIO # 341170051351

*****COURTESY 2-YEAR NOTICE*****

Notice of Required Inspection for Recertification of 40 Years or Older Building

Dear Property Owner:

Per the Miami-Dade County Property Appraiser's office the above referenced property address will be forty (40) years old, or older, in **2024** having been built in 1964.

In accordance with the Miami-Dade County Code, Chapter 8, Section 8-11(f), a Recertification Report ("Report") must be submitted for this property to the City of Coral Gables in **2024**.

The Architect or Engineer may obtain the required Form, "*Minimum Inspection Procedural Guidelines for Building Recertification*," from the following link: <https://www.miamidade.gov/global/economy/building/40-year-recertification.page>

The Recertification Report fee of \$500.00 and additional document and filing fees shall be submitted to the Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, Florida, 33134.

Please note the Building Recertification Report must be dated **2024**.

Thank you for your prompt attention to this matter.

A handwritten signature in blue ink, appearing to read "Manuel Z. Lopez".

Manuel Z. Lopez, P.E.
Building Official



CITY OF CORAL GABLES
Development Services Department

CITY HALL 405 BILTMORE WAY
CORAL GABLES, FL 33134

1/31/2024

VIA CERTIFIED MAIL

7021 2720 0001 4959 1653

PRISA PONCE DE LEON LLC
2800 POST OAK BLVD #5000
HOUSTON, TX 77056

RE: 2555 PONCE DE LEON BLVD
FOLIO # 03-4117-005-1351

Notice of Required Inspection For Recertification of Building
Process Number: **TBD**

Dear Property Owner:

Per the Miami-Dade County Property Appraiser's office the above referenced property address is thirty (30) years old, or older, having been built in 1964. In accordance with the Miami-Dade County Code, Chapter 8, Section 8-11(f), a qualified individual must inspect said building and a **completed** Recertification Report ("Report") must be submitted by you to this Department within **ninety (90) calendar days** from the **date of this letter**. A completed Report includes 1) Cover letters stating the structure meets (or does not meet) the electrical and structural requirements for recertification, 2) Building Structural Report, 3) Building Electrical Report, 4) Parking Lot Illumination Standards Form 5) Parking Lot Guardrails Requirements Form, and 6) (For threshold buildings only) Self-qualification letters from the inspecting engineers with accompanying DBPR proof of specialization. Submittal of the Report does not constitute recertification; it must be **approved** and the Letter of Recertification must be issued by this Department.

Threshold buildings (i.e. buildings greater than 3 stories or greater than 50 ft tall, or with an Assembly Occupancy>5000 s.f. & Occupant load > 500 people) shall be recertified by Structural and Electrical Professional Engineers only. Self-qualification letters will be required with proof of DBPR structural and electrical specialization.

Any buildings that are not threshold buildings may be recertified by any Florida Registered Architect or Professional Engineer and self-qualification letters will not be required.

If no deficiencies are identified, the structure will only be recertified once the reports and forms have been submitted and approved.

If deficiencies are identified, they shall be reported to the Building Official within 10 days, or within 24 hours if there is an immediate danger identified. A completed report shall be submitted to this Department. In addition, a structural and/or electrical affidavit from the inspector will be required, with additional affidavits every 180 days, as needed so that the building can continue to be occupied while repairs are carried out. The Building Official is able to grant an extension of one hundred fifty (150) calendar days from the due date or the date the deficiencies were identified (whichever is sooner) to allow time to obtain the necessary permits and perform the repairs. The structure will only be recertified once a *revised* report and all required information is submitted and approved, and all required permits are closed.

Proprietary or modified recertification forms from the inspectors will not be accepted. Only current municipal recertification forms will be accepted. The Architect or Engineer shall obtain the required Forms from the following link:

<https://www.miamidade.gov/global/economy/building/recertification.page>.

If this is your first time using the online system, please register at the following link:

<https://coralgablesfl-energovpub.tylerhost.net/Apps/selfservice/CoralGablesFLProd#/register>

You can access your online process using the process number provided above at the following link:

<https://coralgablesfl-energovpub.tylerhost.net/Apps/SelfService#/myWork?tab=MyPermits>

The Recertification Report fee of \$500.00 and additional document and filing fees shall be paid online at the following link:

<https://coralgablesfl-energovpub.tylerhost.net/Apps/SelfService#/payinvoice>

Failure to submit the required Report within the allowed time will result in **declaring the structure unsafe** and referring the matter to the City's Construction Regulation Board ("Board") without further notice and a \$600.00 administrative fee will be imposed at that time. The Board may impose additional fines of \$250.00 for each day the violation continues, may enter an order of demolition, and may assess all costs of the proceedings along with the cost of demolition and any other required action.

Please contact Douglas Ramirez at dramirez@coralgables.com regarding any questions concerning building recertification.
Thank you for your prompt attention to this matter.

A handwritten signature in blue ink, appearing to read 'Manuel Z. Lopez'.

Manuel Z. Lopez, P.E.
Building Official



CITY OF CORAL GABLES

DEVELOPMENT SERVICES DEPARTMENT
427 BILTMORE WAY
CORAL GABLES, FL 33134

5/10/2024

VIA CERTIFIED MAIL

7019 1640 0001 2647 4224

PRISA PONCE DE LEON LLC
2800 POST OAK BLVD #5000
HOUSTON, TX. 77056

RE: 2555 PONCE DE LEON BLVD
FOLIO # 03-4117-005-1351

Notice of Required Inspection For Recertification of Building – **OVERDUE NOTICE**
Process Number **RECT-xx-xxxx**

Dear Property Owner:

In a certified letter dated 1/31/2024, this Department notified you the property referenced above requires Building Recertification pursuant to Miami-Dade County Code, Chapter 8, Section 8-11(f). The letter informed you it was necessary to submit to this Department a completed Report prepared by a qualified individual within ninety (90) calendar days certifying the structure meets the requirements for recertification.

Please be advised the submittal of the Report is overdue and the **structure has been deemed unsafe** due to non-compliance. This may result in the revocation of the Certificate of Occupancy, as well as being subject to other penalties as provided in the Code. A completed Report includes 1) Cover letters stating the structure meets (or does not meet) the electrical and structural requirements for recertification, 2) Building Structural Report, 3) Building Electrical Report, 4) Parking Lot Illumination Standards Form 5) Parking Lot Guardrails Requirements Form, and 6) (For threshold buildings only) Self-qualification letters from the inspecting engineers with accompanying DBPR proof of specialization. Submittal of the Report does not constitute recertification; it must be **approved** and the Letter of Recertification must be issued by this Department.

See original notice for additional information.

Failure to submit the completed Report within thirty (30) calendar days from the date of this letter will result in forwarding the matter to the City's Construction Regulation Board for further review and determination. A \$600.00 administrative fee will be imposed at that time. The Board may impose additional fines of \$250.00 for each day the violation continues, may enter an order of demolition, and may assess all costs of the proceedings along with the cost of demolition and any other required action.



CITY OF CORAL GABLES

7019 1640 0001 2647 4767

DEVELOPMENT SERVICES DEPARTMENT

6/17/2024

427 BILTMORE WAY

CORAL GABLES, FL 33134

PRISA PONCE DE LEON LLC
2800 POST OAK BLVD #5000
HOUSTON, TX 77056

RE: 2555 PONCE DE LEON BLVD

FOLIO # 03-4117-005-8171

Notice of Required Inspection For Recertification of Building – **FINAL NOTICE**

Dear Property Owner:

In a certified letter dated 1/31/2024, this Department notified you the property referenced above requires Building Recertification pursuant to Miami-Dade County Code, Chapter 8, Section 8-11(f). A Second Notice dated 5/10/2024, informed you it was necessary to submit to this Department a completed Report prepared by a qualified individual within thirty (30) calendar days certifying the structure meets the requirements for recertification.

See previous correspondence for additional information.

As of this date, the completed Report has not been submitted and the **structure remains unsafe** due to non-compliance. Please be advised the matter will be forwarded to the City's Construction Regulation Board ("Board"); a \$600.00 Administrative Fee will be imposed once the Case is scheduled. The Board may impose additional fines of \$250.00 for each day the violation continues, may also enter an order of revocation of the Certificate of Occupancy and/or demolition and assess all costs of the proceedings along with the cost of demolition and any other required action for which the City shall have a lien against the Property Owner and the Property. The completed Report may be submitted Monday through Friday, 7:30am to 2:30pm to this Department. Contact Virginia Goizueta at vgoizueta@coralgables.com if any questions regarding building recertification.

Please govern yourself accordingly.

Sincerely,

A handwritten signature in blue ink, appearing to read "Manuel Z. Lopez", is written over a light blue horizontal line.

Manuel Z. Lopez, P.E.
Building Official

BEFORE THE CONSTRUCTION REGULATION BOARD
FOR THE CITY OF CORAL GABLES

CITY OF CORAL GABLES,
Petitioner,

Case No. 25-1006
RECT-24-11-0420

vs.

Certified Mail Return Receipt & Via USPS Regular Mail
7020 2450 0001 8406 2274

PRISA PONCE DE LEON LLC
2800 POST OAK BLVD, #5000
HOUSTON, TX 77056
Respondent.

**NOTICE OF UNSAFE STRUCTURE VIOLATION FOR FAILURE TO RECERTIFY
AND NOTICE OF HEARING**

Date: October 31, 2025

Re: 2555 Ponce De Leon Blvd, Coral Gables, FL 33134, ALL LOTS 22 THRU 26 & PORT OF LOT 27
BLK 6 & PORT OF ALLEY BETW & ADJ TO BLK 6 DESC BEG NW COR OF LOT 22 TH N 89
DEG E 166.18FT S 00 DEG E 111.96FT S 90 DEG W 168.96FT N 01 DEG E 111.49FT TO PB 10-40
and 03-4117-005-1351 ("Property").

The City of Coral Gables ("City") Building Official has inspected the records relating to the Structure in accordance with Article III, Chapter 105 of the City Code, pertaining to unsafe structures, and Section 8-11 of the Miami-Dade County Code, as applicable in the City, pertaining to existing buildings. **The Structure is hereby declared unsafe** by the Building Official and is presumed unsafe pursuant to Section 105-89 10 (m) of the City Code for failure to timely comply with the maintenance and recertification requirements of the Florida Building Code or Section 8-11 of the Miami-Dade County Code.

Therefore, this matter is set for hearing before the City's Construction Regulation Board ("Board") in the Fairchild Tropical Board Room, 427 Biltmore Way, 1st Floor, Coral Gables, Florida 33134, on November 10, 2025, at 2:00 p.m.

You may appeal the decision of the Building Official to the Board by appearing at the hearing. You have the right to be represented by an attorney and may present and question witnesses and evidence; however, formal rules of evidence shall not apply. Failure to appear at the hearing will result in the matter being heard in your absence. Please be advised that if someone other than an attorney will be attending the hearing on your behalf, he or she must provide a power of attorney from you at the time of the hearing. Requests for continuance must be made in writing to, Analyn Hernandez, at City of Coral Gables, Development Services Department, 427 Biltmore Way, Coral Gables, FL 33134, ahernandez2@coralgables.com, tel: (305) 460-5250. The Development Services Department's hours are Monday through Friday, 7:30 a.m. to 2:30 p.m.

If the Required Action is not completed before the above hearing date, the Building Official may order that the structure be vacated, boarded, secured, and posted (including but not limited to, requesting the electric utility to terminate service to the Structure) to prevent further occupancy until the Required Action is completed. The Building Official may also order demolition of the Structure and the City may recover the costs incurred against the Property and the Owner of record.

If the Property owner or other interested party does not take all Required Action or prevail at the hearing, the Construction Regulation Board may impose fines not to exceed \$250 for each day the violation continues past the date set for compliance and may also enter an order of demolition and assess all costs of the proceedings, in an amount not less than \$600, and the costs of demolition and other required action, for which the City shall have a lien against the Property owner and the Property.

Please govern yourself accordingly.

Analyn Hernandez

Analyn Hernandez
Secretary to the Board

ADA NOTICES

Any person who acts as a lobbyist pursuant to the City of Coral Gables Ordinance No. 2006-11, must register with the City Clerk, prior to engaging in lobbying activities before the city staff, boards, committees and/or the City Commission. A copy of the Ordinance is available in the Office of the City Clerk, City Hall.

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Board, with respect to any matter considered at such hearing or meeting, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made; which record includes the testimony and evidence upon which the appeal is to be based. Although a court reporter usually attends the hearing at the City's cost, the City is not required to provide a transcript of the hearing, which the Respondent may request at the Respondent's cost.

Any person who needs assistance in another language in order to speak during the public hearing or public comment portion of the meeting should contact the City's ADA Coordinator, Jose Rodriguez, Esq., Interim Director of Human Resources (E-mail: jrodriguez4@coralgables.com , Telephone: 305-722-8675, TTY/TDD: 305-442-1600), at least three (3) business days before the meeting.

Any person with a disability requiring communication assistance (such as a sign language interpreter or other auxiliary aide or service) in order to attend or participate in the meeting should contact the City's ADA Coordinator, Jose Rodriguez, Esq., Interim Director of Labor Relations and Risk Management (E-mail: jrodriguez4@coralgables.com, Telephone: 305-722-8675, TTY/TDD: 305-442-1600), at least three (3) business days before the meeting.

c: Prisa Ponce De Leon, LLC, C T Corporation System, Registered Agent
1200 South Pine Island Road, Plantation, Fl 33324 7020 2450 0001 8406 2281

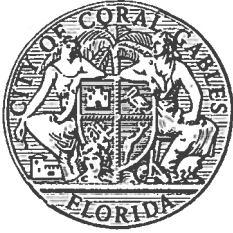
Prisa Ponce De Leon LLC, 655 Broad Street, Fl 14, Newark, NJ 07102-4419 7020 2450 0001 8406 1178

Synovus Bank, As Succesor To Great Florida Bank, 33 W. 14th St, Columbus, Ga 31901-2148 7020 2450 0001 8406 1277

Wells Fargo Bank, N. A., 3201 N 4th Ave, Sioux Falls, Sd 57104-0700. 7020-2450-0001-8406-1284

Wells Fargo Bank, N.A., Real Estate Group (Au# 02199), 1000 Louisiana Street, Fl 4, Mac: T5002-042,Houston, Tx 77002-5025
Attn: Jay Dee Schroller Loan No. 101052 7020 2450 0001 8406 1291

Wells Fargo Bank, N.A., Disbursement And Operation Center, 2120 East Park Place, Ste 100, El Segundo, Ca 90245-4741
Attn: Judy Jackson 7020 2450 0001 8406 1307



CITY OF CORAL GABLES
DEVELOPMENT SERVICES DEPARTMENT
Affidavit of Posting

Title of Document Posted: Notice of Pending Building Recertification

I, Sebastian Ramos, DO HEREBY SWEAR/AFFIRM THAT
THE AFOREMENTIONED NOTICE WAS PERSONALLY POSTED, BY ME, AT THE
ADDRESS OF 2555 Ponce De Leon Blvd, ON 10/31/25 AT
10:44 am.

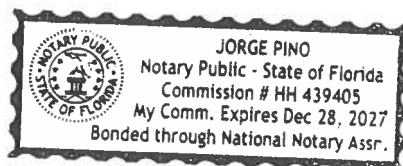
Sebastian Ramos
Employee's Printed Name

[Signature]
Employee's Signature

STATE OF FLORIDA)
ss.
COUNTY OF MIAMI-DADE)

Sworn to (or affirmed) and subscribed before me by means of ___ physical presence or ___ online
notarization, this 31 day of Dec., in the year 2025, by
S. Ramos who is personally known to me.

My Commission Expires:



[Signature]
Notary Public

**BEFORE THE CONSTRUCTION REGULATION BOARD
FOR THE CITY OF CORAL GABLES**

CITY OF CORAL GABLES,
Petitioner,

Case No. 25-1006
RECT-24-11-0420

vs.

Certified Mail Return Receipt & Via USPS Regular Mail
7020 2450 0001 8406 2274

PRISA PONCE DE LEON LLC
2800 POST OAK BLVD, #5000
HOUSTON, TX 77056
Respondent.

**NOTICE OF UNSAFE STRUCTURE VIOLATION FOR FAILURE TO RECERTIFY
AND NOTICE OF HEARING**

Date: October 31, 2025

Re: 2555 Ponce De Leon Blvd, Coral Gables, FL 33134, ALL LOTS 22 THRU 26 & PORT OF LOT 27
BLK 6 & PORT OF ALLEY BETW & ADJ TO BLK 6 DESC BEG NW COR OF LOT 22 TH N 89
DEG E 166.18FT S 00 DEG E 111.96FT S 90 DEG W 168.96FT N 01 DEG E 111.49FT TO PB 10-40
and 03-4117-005-1351 ("Property").

The City of Coral Gables ("City") Building Official has inspected the records relating to the Structure in accordance with Article III, Chapter 105 of the City Code, pertaining to unsafe structures, and Section 8-11 of the Miami-Dade County Code, as applicable in the City, pertaining to existing buildings. **The Structure is hereby declared unsafe** by the Building Official and is presumed unsafe pursuant to Section 105-89 10 (m) of the City Code for failure to timely comply with the maintenance and recertification requirements of the Florida Building Code or Section 8-11 of the Miami-Dade County Code.

Therefore, this matter is set for hearing before the City's Construction Regulation Board ("Board") in the Fairchild Tropical Board Room, 427 Biltmore Way, 1st Floor, Coral Gables, Florida 33134, on November 10, 2025, at 2:00 p.m.

You may appeal the decision of the Building Official to the Board by appearing at the hearing. You have the right to be represented by an attorney and may present and question witnesses and evidence; however, formal rules of evidence shall not apply. Failure to appear at the hearing will result in the matter being heard in your absence. Please be advised that if someone other than an attorney will be attending the hearing on your behalf, he or she must provide a power of attorney from you at the time of the hearing. Requests for continuance must be made in writing to, Analyn Hernandez, at City of Coral Gables, Development Services Department, 427 Biltmore Way, Coral Gables, FL 33134, ahernandez2@coralgables.com, tel: (305) 460-5250. The Development Services Department's hours are Monday through Friday, 7:30 a.m. to 2:30 p.m.

If the Required Action is not completed before the above hearing date, the Building Official may order that the structure be vacated, boarded, secured, and posted (including but not limited to, requesting the electric utility to terminate service to the Structure) to prevent further occupancy until the Required Action is completed. The Building Official may also order demolition of the Structure and the City may recover the costs incurred against the Property and the Owner of record.

Oct 31, 2025









CFN 2007R0797352
OR Bk 25850 Pgs 2367 - 2372 (6pgs)
RECORDED 08/13/2007 09:27:34
DEED DOC TAX 0.60
SURTAX 0.45
HARVEY RUVIN, CLERK OF COURT
MIAMI-DADE COUNTY, FLORIDA

This instrument was prepared by:

Kimberly Epstein
One Shell Plaza
910 Louisiana Street
Houston, Texas 77002

Folio Nos. 03 41170051350;
03 41170051351; and
03 41170052730

RETURN TO:
FIDELITY NATIONAL TITLE
INSURANCE COMPANY
ATTN: JENNIE CLAYTON
5690 W. Cypress St., Ste A
Tampa, FL 33607
NAPS / FNT File No. 2007-1175

this space reserved for recording information

SPECIAL WARRANTY DEED

THIS INDENTURE, made this 1st day of August, 2007, between **CORAL GABLES HINES DEVELOPMENT, LLC**, a Delaware limited liability company whose address is 2800 Post Oak Boulevard, Suite 5000, Houston, Texas 77056 ("Grantor"), to **PRISA PONCE DE LEON, LLC**, a Delaware limited liability company, whose address is 2800 Post Oak Boulevard, Suite 5000, Houston, Texas 77056 ("Grantee"):

WITNESSETH THAT:

Grantor, for and in consideration of the sum of Ten and No/100 U.S. Dollars (\$10.00), lawful money of the United States of America, to it in hand paid by Grantee, ensealing and delivery of these presents, the receipt of which is hereby acknowledged, has granted, bargained, sold, aliened, remised, released, conveyed and confirmed and by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto Grantee and its successors and assigns forever, all right, title, and interest in and to, the following described land, situate and being in Miami-Dade County, Florida (the "Property"):

Lots 1 through 42, inclusive, Block 6, CORAL GABLES CRAFTS SECTION, according to the Plat thereof, as recorded in Plat Book 10, Page 40 of the Public Records of Miami-Dade County, Florida

AND

Lots 7 through 17, inclusive, Block 11, CORAL GABLES CRAFTS SECTION, according to the Plat thereof, as recorded in Plat Book 10, Page 40 of the Public Records of Miami-Dade County, Florida

AND

All of that certain alley in Block 6, CORAL GABLES CRAFTS SECTION, according to the Plat thereof, as recorded in Plat Book 10, Page 40 of the Public Records of Miami-Dade County, Florida, said alley having been vacated by the City of Coral Gables by Ordinance No. 878, passed and adopted January 11, 1955, Ordinance No. 1691, passed and adopted July 9, 1968 and

HOU03:1119682.3

Ordinance No. 2149, passed and adopted July 22, 1975, with certain conditions and requirements being removed and released by City Ordinance No. 3456, passed and adopted May 9th, 2000.

LESS THE FOLLOWING DESCRIBED PARCEL:

Lots 17 through 21, Lots 38 through 42 and a portion of Lots 16 and 37, Block 6, CORAL GABLES CRAFTS SECTION, according to the Plat thereof, as recorded in Plat Book 10, Page 40 of the Public Records of Miami-Dade County, Florida

AND

A portion of that certain alley in Block 6, CORAL GABLES CRAFTS SECTION, according to the Plat thereof, as recorded in Plat Book 10, Page 40 of the Public Records of Miami-Dade County, Florida, said alley having been vacated by the City of Coral Gables by Ordinance No. 878, passed and adopted January 11, 1955, Ordinance No. 1691, passed and adopted July 9, 1968 and Ordinance No. 2149, passed and adopted July 22, 1975, with certain conditions and requirements being removed and released by City Ordinance No. 3456, passed and adopted May 9th, 2000.

ALL MORE FULLY DESCRIBED AS FOLLOWS:

Beginning of the Northeast Corner of said Lot 21: thence South 01' 15' 07" West on the East line of said Block 6, a distance of 226.13 feet; thence North 90' 00' 00" West on the South line of said Block 6, a distance of 135.92 feet; thence North 00' 09' 44" West, a distance of 225.66 feet, to a point on the North line of said Block 6: thence North 89' 49' 51" East on the said North line, a distance of 141.50 feet to the Point of Beginning of the herein described parcel and containing 31,329 square feet or 0.7192 acres, more or less.

SUBJECT TO:

- (1) Taxes and assessments for the year 2007 and subsequent years;
- (2) The exceptions listed on Exhibit A attached hereto;
- (3) All laws, ordinances, codes, zoning matters and other governmental requirements applicable to the Property; and
- (4) All tenants under leases.

TOGETHER with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in any way appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

AND Grantor hereby specially warrants the title to the Property (but subject to the matters

set forth above) and will defend the same against the lawful claims of all persons whomsoever claiming by, through or under Grantor (but not otherwise).

[Remainder of page intentionally left blank; Signatures on following page]

IN WITNESS WHEREOF, Grantor has caused these presents to be executed the day and year first above written.

Signed, sealed and delivered
in the presence of:

Name of Grantor

CORAL GABLES HINES DEVELOPMENT, LLC,
a Delaware limited liability company

By: HINES 1999 U.S. OFFICE DEVELOPMENT FUND, L.P.
a Delaware limited partnership, its sole member

By: HINES 1999 U.S. ODF GP LIMITED PARTNERSHIP,
a Texas limited partnership, its general partner

By: HINES 1997 U.S. ODF LLC,
a Delaware limited liability company,
its general partner

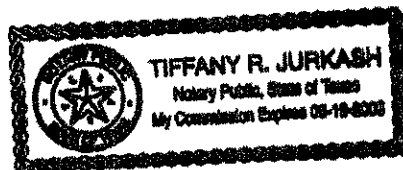
By: HINES INTERESTS LIMITED
PARTNERSHIP,
a Delaware limited partnership, its sole member

By: HINES HOLDINGS, INC.
a Texas corporation, its general partner

By: Thomas Owens
Thomas Owens
Senior Vice President

STATE OF Texas)
COUNTY OF Harris) SS:

The foregoing instrument was acknowledged before me this 30th day of July, 2007, by Thomas D. Owens as Senior Vice President of Hines Holdings, Inc., as general partner of Hines Interests Limited Partnership, as sole member of Hines 1997 U.S. ODF LLC, as general partner of Hines 1999 U.S. ODF GP Limited Partnership, as general partner of Hines 1999 U.S. Office Development Fund, L.P., as sole member of Coral Gables Hines Development, LLC, a Delaware limited liability company, on behalf of such limited liability company who is personally known to me or has produced a Florida driver's license as identification.



Tiffany R. Jurkash
Notary Public
Tiffany R. Jurkash
Type, Print or Stamp Name

My Commission Expires: 3-19-2008

EXHIBIT A

PERMITTED EXCEPTIONS

1. Utility easement for water service, if any, as referenced in the Warranty Deed from Coral Gables Corporation to Utilities Land Company, dated March 31, 1926, recorded April 2, 1926, in Deed Book 939, page 443, of the Public Records of Miami-Dade County, Florida.
2. Utility easement for electric service, if any, as referenced in the Warranty Deed from Coral Gables Corporation to Utilities Land Company, dated March 31, 1926, recorded April 2, 1926, in Deed Book 939, page 435, of the Public Records of Miami-Dade County, Florida.
3. Easement in favor of Florida Power & Light Company dated December 2, 1976, recorded December 15, 1976, in Office Record Book 9528, page 421, of the Public Records of Miami-Dade County, Florida.
4. Covenants, conditions and restrictions contained in the Declaration of Restrictions recorded January 2, 2001 in Office Record Book 19433, page 209, as re-recorded January 26, 2000 in Office Record Book 19468, page 1683, as amended pursuant to the Amendment to Declaration of Restrictive Covenants recorded May 14, 2003 in Official Record Book 21249, page 1016, all of the Public Records of Miami-Dade County, Florida.
5. Amended and Restated Memorandum of Lease between Coral Gables Hines Development, LLC, as landlord, and Wachovia Bank, National Association, as Tenant, dated May 12, 2003, recorded May 14, 2003, in Official Record Book 21249, page 999, all of the Public Records of Miami-Dade County, Florida.
6. Terms and conditions of the Agreement for Water Facilities between Miami-Dade County and Coral Gables Hines Development, LLC dated June 8, 2001, recorded July 10, 2001 in Official Record Book 19767, page 4374, as amended by the Addendum Number One to Agreement for Water Facilities between Miami-Dade County and Coral Gables Hines Development, LLC, recorded January 22, 2003 in Official Record Book 20966, page 2890, and the Partial Release recorded July 9, 2003 in Official Record Book 21409, page 4591, of the Public Records of Miami-Dade County, Florida.
7. Covenants, conditions, restrictions and easement set forth in the Construction, Operations and Reciprocal Easement Agreement dated May 12, 2003, recorded May 14, 2003, in Official Record Book 21249, page 1032, of the Public Records of Miami-Dade County, Florida.
8. Covenants, conditions and restrictions set forth in the Declaration of Restrictive Covenants, dated March 13, 2003, recorded May 7, 2003, in Official Record Book 21228, page 4278, of the Public Records of Miami-Dade County, Florida.

9. Terms and conditions of the Lease Agreement as evidenced by the Memorandum of Lease by and between Coral Gables Hines Development, LLC, as Landlord and First Union National Bank, dated May 12, 2003, recorded May 14, 2003, in the Official Record Book 21249, page 1173, of the Public Records of Miami-Dade County Florida.
10. Easement granted in favor of Southern Atlantic Telephone & Telegraph Company, dated February 7, 1924, recorded April 3, 1926, in Deed Book 839, page 106, of the Public Records of Miami-Dade County, Florida.
11. Easement in favor of Florida Power & Light Company recorded August 10, 2004, in Official Record Book 22559, page 2735, of the Public Records of Miami-Dade County, Florida.
12. Notice of Commencement recorded September 19, 2006, Book 24924, page 3831.
13. Notice of Commencement recorded January 25, 2007, Book 25037, page 19.
14. Notice of Commencement recorded February 1, 2007, Book 25330, page 1230.



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Foreign Limited Liability Company
PRISA PONCE DE LEON, LLC

Filing Information

Document Number	M07000004570
FEI/EIN Number	26-0604256
Date Filed	07/31/2007
State	DE
Status	ACTIVE
Last Event	LC AMENDMENT
Event Date Filed	08/09/2007
Event Effective Date	NONE

Principal Address

655 Broad Street, 14th floor
Newark, NJ 07102

Changed: 04/25/2025

Mailing Address

655 Broad Street, 14th floor
Newark, NJ 07102

Changed: 04/25/2025

Registered Agent Name & Address

C T CORPORATION SYSTEM
1200 SOUTH PINE ISLAND ROAD
PLANTATION, FL 33324

Authorized Person(s) Detail

Name & Address

Title Sole Member

PRISA LHC, LLC

This instrument prepared by:
Fernando S. Arán, Esq.
Arán Correa Guarch & Shapiro, P.A.
255 University Drive
Coral Gables, Florida 33134

CFN 2007R0490517
DR Bk 25621 Pgs 2066 - 2105 (40pgs)
RECORDED 05/15/2007 14:45:27
MTG DOC TAX 5,250.00
INTANG TAX 3,000.00
HARVEY RUVIN, CLERK OF COURT
MIAMI-DADE COUNTY, FLORIDA

LEASEHOLD MORTGAGE, ASSIGNMENT OF LEASES AND RENTS AND SECURITY AGREEMENT

THIS LEASEHOLD MORTGAGE, ASSIGNMENT OF LEASES AND RENTS AND SECURITY AGREEMENT (the "Mortgage"), made and delivered as of the 30 day of March, 2007, by Grossman Roth, P.A., a Florida professional association, having offices at 2665 S. Bayshore Drive, Penthouse 1, Miami, Florida 33133 ("Mortgagor"), in favor of **Great Florida Bank**, a Florida banking corporation, having offices at 15050 NW 79th Court, Miami Lakes, FL 33016 ("Mortgagee")

WITNESSETH

I. CORAL GABLES HINES DEVELOPMENT, LLC (the "Lessor"), and Mortgagor heretofore entered into that certain Lease Agreement dated July 28, 2006 (the "Lease Agreement"). Pursuant to the foregoing Office Lease Agreement, the Lessor is leasing to Mortgagor Suite 1150 within that certain property situated in the City of Coral Gables, County of Miami-Dade and State of Florida (hereinafter called the "Leased Property") described in Exhibit A, attached hereto and incorporated herein by this reference, together with the buildings, structures and other improvements on the property (the Land and such buildings, structures and other improvements being hereinafter collectively called the "Property").

II. Mortgagor is indebted to Mortgagee in the principal sum of ONE MILLION FIVE HUNDRED THOUSAND and no/100 Dollars (\$1,500,000.00) Dollars, together with interest thereon, as evidenced by a certain Promissory Note (the "Note") of even date herewith, executed by Mortgagor and other parties and delivered to Mortgagee.

NOW, THEREFORE, to secure the performance and observance by Mortgagor of all the covenants and conditions in the Note, and all amendments, modifications, consolidations and extensions thereto, and in this Mortgage and in all other instruments securing the Note, and in order to charge the properties, interests and rights hereinafter described with such payment, performance and observance, and for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) paid by Mortgagee to Mortgagor, and for other valuable considerations, the receipt and sufficiency of which are hereby acknowledged, Mortgagor does hereby grant, bargain, sell, alien, remise, release, convey, assign, transfer, mortgage hypothecate, pledge, deliver, set over and grant a security interest in, warranty and confirm unto Mortgagee, its successors and assigns, forever all of Mortgagor's estate, right, title and interest in, to and under any and all of the property described in paragraphs A, B, C, D, E and F, following, whether now owned or hereafter acquired, subject to the Permitted Encumbrances as thereafter defined (all such properties being hereinafter collectively called the "Mortgaged Property"):

Leasehold Mortgage, Assignment of Leases and Rents & Security Agreement
Page 1 of 38


Initials

5.2 Notice.

All notices, demands, requests, approvals, consents or other communications (hereinafter collectively called "Notices") required or permitted to be given by either party hereto to the other party shall be in writing and shall be sent by registered or certified mail, postage prepaid, return receipt requested, or by reputable commercial overnight delivery service providing a receipt, addressed to the parties at their addresses set forth below or such other address or addresses as they may theretofore have specified by like Notices:

If to Mortgagor:

Grossman Roth, P.A.
2665 S. Bayshore Drive
Penthouse 1
Miami, Florida 33133
Attention: Neal A. Roth

If to Mortgagee:

Great Florida Bank
9079 South Dixie Highway
Miami, FL 33156
Attn: Lisa Lebron

Notices given in the manner aforesaid shall be deemed served or given for all purposes on the first to occur of the following events; (a) actual receipt, or (b) the third day (excluding the either case Saturdays, Sundays and legal holidays) after the date so mailed.

5.3 Headings. The headings of the articles, sections, paragraphs and subdivisions of this Mortgage are for convenience of reference only, and are not to be considered a part hereof, and shall not limit or expand or otherwise affect any of the terms hereof.

5.4 Invalid Provisions to Affect No Others. In case any one or more of the covenants, agreements, terms or provisions contained in this Mortgage or in the Note or in any other Loan Documents shall be invalid, illegal or unenforceable in any respect, the validity of the remaining covenants, agreements, terms or provisions contained herein or in the Note or in any other Loan Documents shall be in no way affected, prejudiced or disturbed thereby.

5.5 Future Advances. This Mortgage is given to secure not only existing indebtedness, but also all future advances, whether such advances are obligatory or are to be made at the option of the Mortgagee, or otherwise, as are made by Mortgagee to Mortgagor within twenty (20) years from the date hereof, to the same extent as if such future advances were made on the date of the execution of this Mortgage. The total amount of indebtedness that may be so secured may decrease or increase from time to time, but the total unpaid balance of such indebtedness so secured at one time by this Mortgage shall not exceed twice the face amount of

Leasehold Mortgage, Assignment of Leases and Rents & Security Agreement

Page 35 of 38



Initials

IN WITNESS WHEREOF, Mortgagor has caused this instrument to be duly executed as of the date first above written.

Signed, sealed and delivered
in the presence of:

GROSSMAN ROTH, P.A.
a Florida professional association

Donna M. Burroughs
Print Name: NEAL A. ROTH
Donna M. Burroughs
Alice Holmstrom
Print Name: Alice Holmstrom

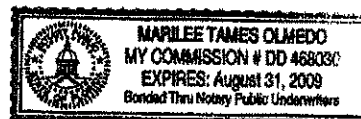
BY: *Neal A. Roth*
NAME: Neal A. Roth
TITLE: President

(CORPORATE SEAL)

STATE OF FLORIDA)
)
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this 20th day of March, 2007 by Neal A. Roth as President of Grossman Roth, P.A., a Florida professional association, who is ☒ personally known to me or () has produced _____, as identification.

[Signature]
Notary Public



Leasehold Mortgage, Assignment of Leases and Rents & Security Agreement
Page 38 of 38

h
Initials

EXHIBIT A

A portion of Lots 4, 8, 9, 10, 11, 22, 27 and 30 and all of Lots 1, 2, 3, 5, 6, 7, 28 and 29, Block 6, "CORAL GABLES CRAFTS SECTION", according to the Plat thereof, recorded in Plat Book 10, Page 40 of the Public Records of Miami-Dade County, Florida.

TOGETHER WITH:

A portion of that certain alley in Block 6 "CORAL GABLES CRAFTS SECTION", according to the Plat thereof, recorded in Plat Book 10, Page 40 of the Public Records of Miami-Dade County, Florida, said alley having been vacated by the City of Coral, by Ordinance No. 878, passed and adopted January 11, 1955, Ordinance No. 1691, passed and adopted July 9, 1968, and Ordinance No. 2148, passed and adopted July 22, 1975, with certain conditions and requirements being removed and released by City Ordinance No. 3456, passed and adopted May 9, 2000.

All being more fully described as follows:

Commencing at the Northeast corner of said Block 6, thence South 89 degrees 49 minutes 51 seconds West on the North line of said Block 6, a distance of 266.59 feet to the Point of Beginning; thence continuing South 89 degrees 49 minutes 51 seconds West on the North line of said Block 6, a distance of 292.85 feet to a point on the West line of said Block 6; thence South 01 degrees 15 minutes 47 seconds West on the West line of said Block 6, a distance of 110.11 feet; thence North 89 degrees 49 minutes 45 seconds East, a distance of 168.11 feet; thence South 00 degree 09 minutes 57 seconds East, a distance of 114.84 feet to a point on the South line of said Block 6; thence North 90 degrees 00 minute 00 second East on the South line of said Block 6, a distance of 67.84 feet; thence North 00 degree 13 minutes 51 seconds West, a distance of 128.35 feet; thence South 89 degrees 46 minutes 09 seconds West a distance of 1.66 feet; thence North 00 degree 10 minutes 14 seconds East, a distance of 11.69 feet; thence North 89 degrees 46 minutes 09 seconds East, a distance of 48.99 feet; thence North 00 degree 13 minutes 51 seconds West, a distance of 67.47 feet; thence North 89 degrees 46 minutes 09 seconds East, a distance of 12.50 feet; thence North 00 degree 13 minutes 51 seconds West, a distance of 17.54 feet to the Point of Beginning.

A portion of lots 8, 9, 10, 11, 16, 30 and all of Lots 12, 13, 14, 15, 31, 32, 33, 34, 35 and 36, Block 6, CORAL GABLES CRAFTS SECTION, according to the Plat thereof, recorded in Plat Book 10, Page 40 of the Public Records of Miami-Dade County, Florida.

TOGETHER WITH:

A portion of that certain alley in Block 6, CORAL GABLES CRAFTS SECTION, according to the Plat thereof, recorded in Plat Book 10, Page 40 of the Public Records of Miami-Dade County, Florida, said alley having been vacated by the City of Coral Gables by Ordinance No. 878, passed and adopted January 11, 1955, Ordinance No. 1691, passed and adopted July 9, 1968, and Ordinance No. 2149, passed and adopted July 22, 1975. With certain conditions and requirements being removed and released by City Ordinance No. 3456, passed and adopted May 9, 2000.

All being more fully described as follows:

Commencing at the Northeast corner of said Block 6, thence South 89 degrees 49 minutes 51 seconds West on the North line of said Block 6, a distance of 141.50 feet to the Point of Beginning; thence continuing South 89 degrees 49 minutes 51 seconds West on the North line of said Block 6, a distance of 125.09 feet; thence South 00 degree 13 minutes 51 seconds East, a distance of 17.54 feet; thence South 89 degrees 46 minutes 09 seconds West, a distance of 12.50 feet; thence South 00 degrees 13 minutes 51 seconds East, a distance of 67.47 feet; thence South 89 degrees 46 minutes 09 seconds West, a distance of 48.99 feet; thence South 00 degree 10 minutes 14 seconds West, a distance of 11.69 feet; thence North 89 degrees 46 minutes 09 seconds East, a distance of 1.66 feet; thence South 00 degree 13 minutes 51 seconds East, a distance of 128.35 feet to

a point on the South line of Block 6; thence North 90 degrees 00 minute 00 second East on the South line of said Block 6, a distance of 184.73 feet; thence North 00 degree 09 minutes 44 seconds West, a distance of 225.65 feet to the Point of Beginning.

Great Florida Bank

Download Results

Data as of 10/24/2025

- Institution Details
- Locations
- History
- Financials
- Other Names

Institution Details



Institution Closed

Merged or acquired on 02/01/2014 without government assistance

See the succeeding institution for more information.



Synovus Bank
Cert - 873



FDIC Cert #
57719

Established
06/30/2004

Bank Charter Class
State Chartered Banks, not member of the Federal Reserve System (FRS)



Primary Federal Regulator
Federal Deposit Insurance Corporation

Corporate Headquarters
150 Alahambra Circle, Suite 120
Coral Gables, FL 33134

Consumer Assistance
[Federal Reserve](#) ...

Contact the FDIC
[Questions about Bank Information](#)

Other Institution Identifiers used by Regulatory Agencies

Identifier Name (Hover for description)		Identifier Value
FDIC Unique Number (UNINUM)		423008
FRB ID (RSS-ID)		3277876

 BankFind Suite Home

Back to Search Results

Synovus Bank

Download Results

Data as of 10/24/2025

Institution
Details

Locations

History

Financials

Other Names

Institution Details



FDIC Insured
Since
01/01/1934

See the
succeeding
institution
for more
information.

Synovus
Bank
Cert - 873



FDIC Insured
Since
01/01/1934

FDIC Cert #
873

Established
01/01/1888

Bank Charter Class
State Chartered
Banks, member of
the Federal
Reserve System
(FRS)

Primary Federal Regulator
Federal Reserve
Board

Secondary Federal Regulator
CFPB

Corporate Headquarters
33 W 14th St.
Columbus, GA
31901



Primary Website
www.synovus.com

Locations
252 domestic
locations: 5 states
and 0 territories.
0 in foreign
locations.

Consumer Assistance
[Federal Reserve ...](#)

Contact the FDIC
[Questions about Bank Information](#)

Other Institution Identifiers used by Regulatory Agencies

Identifier Name (Hover for description)	Identifier Value
FDIC Unique Number (UNINUM)	 556
FRB ID (RSS-ID)	 395238



CFN 2004R0849819
DR Bk 22690 Pgs 1656 - 1676; (21pgs)
RECORDED 09/29/2004 11:11:14
MTG DOC TAX 59,500.00
INTANG TAX 34,000.00
HARVEY RUVIN, CLERK OF COURT
MIAMI-DADE COUNTY, FLORIDA

RECORDING REQUESTED BY
AND WHEN RECORDED MAIL TO:
Wells Fargo Bank, National Association
Real Estate Group (AU# 02199)
1000 Louisiana, Fourth Floor
Houston, Texas 77002

Attn: Jay Dee Schroller
Loan No. 101052

THIS MORTGAGE SECURES A NOTE WHICH PROVIDES FOR A VARIABLE INTEREST RATE

CONSTRUCTION MORTGAGE

**WITH ABSOLUTE ASSIGNMENT OF LEASES AND RENTS,
SECURITY AGREEMENT AND FIXTURE FILING**

THE PARTIES TO THIS CONSTRUCTION MORTGAGE WITH ABSOLUTE ASSIGNMENT OF LEASES AND RENTS, SECURITY AGREEMENT AND FIXTURE FILING ("Mortgage"), made as of September 22, 2004, are **CORAL GABLES HINES DEVELOPMENT, LLC**, a Delaware limited liability company, ("Mortgagor"), for the benefit of **WELLS FARGO BANK, NATIONAL ASSOCIATION** ("Mortgagee").

ARTICLE 1. GRANT IN TRUST

1.1 **GRANT.** For the purposes of and upon the terms and conditions in this Mortgage, Mortgagor irrevocably grants, conveys, assigns and mortgages to Mortgagee and its successors and assigns forever all of that real property located in the City of Coral Gables, County of Miami-Dade, State of Florida, described on Exhibit A attached hereto, together with all right, title, interest, and privileges of Mortgagor in and to all streets, ways, roads, and alleys used in connection with or pertaining to such real property, all development rights or credits, air rights, water, water rights and water stock related to the real property, and all minerals, oil and gas, and other hydrocarbon substances in, on or under the real property, and all appurtenances, easements, rights and rights of way appurtenant or related thereto; Tower I Owner and Tower II Owner's rights under that certain Construction, Operation and Reciprocal Easement Agreement (including all supplemental addenda thereto, the "CC&Rs") dated as of May 12, 2003, pertaining to the real property described on Exhibit A, hereto, provided, however, that Mortgagee shall have no liability under such Declarant's Rights unless and until Mortgagee forecloses on the real property; all buildings, other improvements and fixtures now or hereafter located on the real property, including, but not limited to, all apparatus, equipment, and appliances used in the operation or occupancy of the real property, it being intended by the parties that all such items shall be conclusively considered to be a part of the real property, whether or not attached or affixed to the real property (the "Improvements"); all interest or estate which Mortgagor may hereafter acquire in the property described above, and all additions and accretions thereto, and the proceeds of any of the foregoing; (all of the foregoing being collectively referred to as the "Subject Property"). The listing of specific rights or property shall not be interpreted as a limit of general terms.

1.2 **ADDRESS.** The address of the Subject Property (if known) is: 2525 and 2555 Ponce de Leon Boulevard and 152 Valencia Avenue, Coral Gables, Florida 33134. However, neither the failure to designate an address nor any inaccuracy in the address designated shall affect the validity or priority of the lien of this Mortgage on the Subject Property as described on Exhibit A.

24525826.7 21-Sep-04 08:51 04308824

21

7.7 **EXECUTION IN COUNTERPARTS.** To facilitate execution, this document may be executed in as many counterparts as may be convenient or required. It shall not be necessary that the signature or acknowledgment of, or on behalf of, each party, or that the signature of all persons required to bind any party, or the acknowledgment of such party, appear on each counterpart. All counterparts shall collectively constitute a single document. It shall not be necessary in making proof of this document to produce or account for more than a single counterpart containing the respective signatures of, or on behalf of, and the respective acknowledgments of, each of the parties hereto. Any signature or acknowledgment page to any counterpart may be detached from such counterpart without impairing the legal effect of the signatures or acknowledgments thereon and thereafter attached to another counterpart identical thereto except having attached to it additional signature or acknowledgment pages.

7.8 **CHOICE OF LAW.** It is understood and agreed that Texas has a substantial relationship to the parties and to the underlying transactions embodied by the Loan Documents. This Mortgage, the Note and each of the other Loan Documents shall be governed by and construed in accordance with the internal laws of the State of Texas without regard to principles of conflicts of law. Notwithstanding the foregoing, Mortgagor and Mortgagee agree that:

- (a) The procedures governing the enforcement by Mortgagee of its foreclosure and provisional remedies against Mortgagor under the Mortgage and the other Loan Documents with respect to the Subject Property or other assets situated in Florida, including by way of illustration but not limitation, actions for foreclosure, replevin, for claim and delivery of property, for injunctive relief or for the appointment of a receiver shall be governed by the laws of the State of Florida;
- (b) Mortgagor shall comply with applicable law in the State of Florida to the extent required in connection with the foreclosure of the security interest and liens created under the Mortgage and the other Loan Documents with respect to the Subject Property or other assets situated in Florida; and
- (c) The procedural aspects of the laws of the State of Florida shall apply with respect to any future advances permitted under the terms of the Mortgage.

Nothing contained in this Section 7.8 shall be construed to provide that the substantive law of the State of Florida shall apply to the parties' rights and obligations hereunder or under the other Loan Documents, which are and shall continue to be governed by the substantive law of the State of Texas. In addition, the fact that portions of the Loan Documents may include provisions drafted to conform to the law of the State of Florida is not intended, nor shall it be deemed, in any way, to derogate the parties' choice of law as set forth in this Section 7.8. The parties further agree that Lender may enforce its rights under the Loan Documents, including, but not limited to, its rights to sue the undersigned or to collect any outstanding indebtedness, in accordance with applicable law.

7.9 **INCORPORATION.** Exhibit A and Schedule 1, both as attached, are incorporated into this Mortgage by this reference.

7.10 **NOTICES.** All notices, demands or other communications required or permitted to be given pursuant to the provisions of this Mortgage shall be in writing and shall be considered as properly given if delivered personally or sent by first class United States Postal Service mail, postage prepaid, except that notice of Default may be sent by certified mail, return receipt requested, or by Overnight Express Mail or by overnight commercial courier service, charges prepaid. Notices so sent shall be effective three (3) days after mailing, if mailed by first class mail, and otherwise upon receipt at the address set forth below; provided, however, that non-receipt of any communication as the result of any change of address of which the sending party was not notified or as the result of a refusal to accept delivery shall be deemed receipt of such communication. For purposes of notice, the address of the parties shall be:

Mortgagor:	Coral Gables Hines Development, LLC c/o Hines 2800 Post Oak Boulevard, Suite 5000 Houston, Texas 77056 Attn: C. Hastings Johnson
With a copy to:	Coral Gables Hines Development, LLC c/o Hines 2800 Post Oak Boulevard Houston, Texas 77056 Attn: Doug Donovan
Mortgagee:	Wells Fargo Bank, National Association Real Estate Group (AU# 02199) 1000 Louisiana, Fourth Floor, MAC: T5002-042 Houston, Texas 77002 Attn: Jay Dee Schroller Loan No. 101052
With a copy to:	Wells Fargo Bank, National Association Disbursement and Operations Center 2120 East Park Place, Suite 100 El Segundo, California 90245 Attention: Judy Jackson

Any party shall have the right to change its address for notice hereunder to any other location within the continental United States by the giving of thirty (30) days notice to the other party in the manner set forth hereinabove. Mortgagor shall forward to Mortgagee, without delay, any notices, letters or other communications delivered to the Subject Property or to Mortgagor naming Mortgagee, "Lender" or the "Construction Lender" or any similar designation as addressee, or which could reasonably be deemed to affect the construction of the Improvements or the ability of Mortgagor to perform its obligations to Mortgagee under the Note or the Loan Agreement.

7.11 FUTURE ADVANCES. This Mortgage secures such future or additional advances (in addition to the principal amount of the Note) as may be made by Mortgagee or the holder hereof, at its exclusive option, to Mortgagor or its successors or assigns in title, for any purpose, provided that all such advances are made within twenty (20) years from the date of this Mortgage or within such lesser period of time as may be provided by law as a prerequisite for the sufficiency of actual notice or record notice of such optional future or additional advances as against the rights of creditors or subsequent purchasers for valuable consideration to the same extent as if such future or additional advances were made on the date of the execution of this Mortgage. The total amount of Secured Obligations secured by this Mortgage may be increased or decreased from time to time, but the total unpaid balance so secured at any one time shall not exceed the maximum principal amount of \$55,500,000.00 plus interest thereon and any disbursements made under the Mortgage for the payment of impositions, taxes, assessments, levies, insurance, or otherwise, with interest on such disbursements. It is the intent of the parties that this Mortgage shall secure the payment of the Note and any additional advances made from time to time pursuant to any additional notes or otherwise, all of said indebtedness being equally secured hereby and having the same priority as any amounts advanced as of the date of this Mortgage. It is agreed that any additional sum or sums advanced by Mortgagee shall be equally secured with, and have the same priority as, the original Secured Obligations and shall be subject to all of the terms, provisions and conditions of this Mortgage, whether or not such additional loans or advances are evidenced by other promissory notes of Mortgagor and whether or not identified by a recital that it or they are secured by this Mortgage.

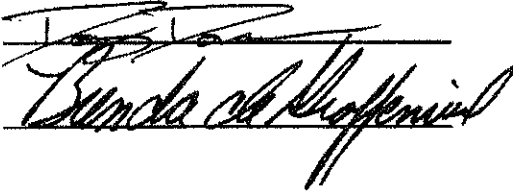
7.12 WAIVER OF RIGHT TO TRIAL BY JURY. EACH PARTY TO THIS MORTGAGE, AND BY ITS ACCEPTANCE HEREOF, MORTGAGEE, HEREBY EXPRESSLY WAIVES ANY RIGHT TO

IN WITNESS WHEREOF, Mortgagor has executed this Mortgage as of the day and year set forth above.

WITNESSES:

"MORTGAGOR"

CORAL GABLES HINES DEVELOPMENT, LLC,
a Delaware limited liability company



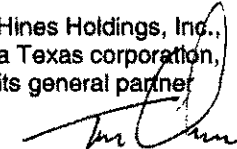
By: Hines 1999 U.S. Office Development Fund, L.P.,
a Delaware limited partnership, its sole member

By: Hines 1999 U. S. ODF GP Limited
Partnership, a Texas limited partnership,
its general partner

By: Hines 1997 U.S. ODF LLC,
a Delaware limited liability company,
its general partner

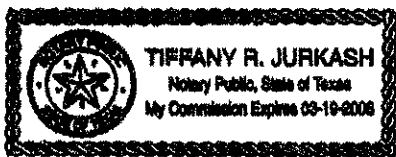
By: Hines Interests Limited
Partnership, a Delaware limited
partnership, its sole member

By: Hines Holdings, Inc.,
a Texas corporation,
its general partner

By: 
Thomas Owens,
Senior Vice President

THE STATE OF TEXAS §
 §
COUNTY OF HARRIS §

This instrument was acknowledged before me on September 22 2004, by **THOMAS OWENS**, Senior Vice President of **HINES HOLDINGS, INC.**, a Texas corporation, acting in its capacity as the general partner of **HINES INTERESTS LIMITED PARTNERSHIP**, a Delaware limited partnership, acting in its capacity as the sole member of **HINES 1997 U.S. ODF LLC**, a Delaware limited liability company, acting in its capacity as the general partner of **HINES 1999 U.S. ODF GP LIMITED PARTNERSHIP**, a Texas limited partnership, acting in its capacity as the general partner of **HINES 1999 U.S. OFFICE DEVELOPMENT FUND, L.P.**, a Delaware limited partnership, acting in its capacity as the sole member of **CORAL GABLES HINES DEVELOPMENT, LLC**, a Delaware limited liability company, on behalf of said limited liability company.



Tiffany R Jurkash
Notary Public in and for
the State of TEXAS
Name: Tiffany R Jurkash
[PRINT OR TYPE NAME]
My commission expires: 3-19-2008

DESCRIPTION OF SUBJECT PROPERTY

Exhibit A to Construction Mortgage with Absolute Assignment of Leases and Rents, Security Agreement and Fixture Filing executed by CORAL GABLES HINES DEVELOPMENT, LLC, a Delaware limited liability company, as Mortgagor for the benefit of WELLS FARGO BANK, NATIONAL ASSOCIATION, as Mortgagee, dated as of September 22, 2004.

All the certain real property located in the County of Miami-Dade, State of Florida, described as follows:

Lots 1 through 42, inclusive, Block 6, CORAL GABLES CRAFTS SECTION, according to the Plat thereof, as recorded in Plat Book 10, Page 40 of the Public Records of Miami-Dade County, Florida.

AND

Lots 7 through 17, inclusive, Block 11, CORAL GABLES CRAFTS SECTION, according to the Plat thereof, as recorded in Plat Book 10, Page 40, of the Public Records of Miami-Dade County, Florida.

AND

All of that certain alley in Block 6, CORAL GABLES CRAFTS SECTION, according to the Plat thereof, as recorded in Plat Book 10, Page 40 of the Public Records of Miami-Dade County, Florida, said alley having been vacated by the City of Coral Gables by Ordinance No. 878, passed and adopted January 11, 1955, Ordinance No. 1691, passed and adopted July 9, 1968 and Ordinance No. 2149, passed and adopted July 22, 1975. With certain conditions and requirements being removed and released by City Ordinance No. 3456, passed and adopted May 9th, 2000.

LESS THE FOLLOWING DESCRIBED PARCEL:

Lots 17 through 21, Lots 38 through 42 and a portion of Lots 16 and 37, Block 6, CORAL GABLES CRAFTS SECTION, according to the Plat thereof, as recorded in Plat Book 10, Page 40 of the Public Records of Miami-Dade County, Florida.

AND

A portion of that certain alley in Block 6, CORAL GABLES CRAFTS SECTION, according to the Plat thereof, as recorded in Plat Book 10, Page 40 of the Public Records of Miami-Dade County, Florida, said alley having been vacated by the City of Coral Gables by Ordinance No. 878, passed and adopted January 11, 1955, Ordinance No. 1691, passed and adopted July 9, 1968 and Ordinance No. 2149, passed and adopted July 22, 1975. With certain conditions and requirements being removed and released by City Ordinance No. 3456, passed and adopted May 9th, 2000.

ALL MORE FULLY DESCRIBED AS FOLLOWS:

Beginning at the Northeast Corner of said Lot 21; thence South 01°15'07" West, on the East line of said Block 6, a distance of 226.13 feet; thence North 90°00'00" West on the South line of said Block 6, a distance of 135.92 feet; thence North 00°09'44" West, a distance of 225.66 feet, to a point on the North Line of said Block 6; thence North 89°49'51" East on the said North line, a distance of 141.50 feet to the Point of Beginning of the herein described parcel and containing 31,329 square feet or 0.7192 Acres, more or less.

SCHEDULE OF LEASES

Schedule 1 to Construction Mortgage with Absolute Assignment of Leases and Rents, Security Agreement and Fixture Filing dated as of September 22, 2004, executed by CORAL GABLES HINES DEVELOPMENT, LLC, a Delaware limited liability company, as Mortgagor for the benefit of WELLS FARGO BANK, NATIONAL ASSOCIATION, as Mortgagee ("Mortgage").

1. That certain Office Lease Agreement between Coral Gables Hines Development, LLC, as "Lessor", and Adorno & Yoss, PA, as "Lessee", dated May 1, 2003 and amended on August 11, 2004 and for that certain 45,118 rentable square foot premises located at 2525 Ponce de Leon, Coral Gables, FL 33134, together with all exhibits and addenda attached thereto
2. That certain Garage Lease Agreement between Coral Gables Hines Development, LLC, as "Lessor", and Wachovia Bank, National Association, as "Lessee", dated May 12, 2003 and for that certain New Drive-In located at 2525 Ponce de Leon, Coral Gables, FL 33134, together with all exhibits and addenda attached thereto.
3. That certain Office Lease Agreement between Coral Gables Hines Development, LLC, as "Lessor", and Raymond James and Associates, Inc., as "Lessee", dated December 23, 2003 and for that certain 6,665 rentable square foot premises located at 2525 Ponce de Leon, Coral Gables, FL 33134, together with all exhibits and addenda attached thereto.
4. That certain Office Lease Agreement between Coral Gables Hines Development, LLC, as "Lessor", and Kozyak, Tropin & Throckmorton, PA, as "Lessee", dated January 30, 2004 and amended on May 12, 2004 and for that certain 21,857 rentable square foot premises located at 2525 Ponce de Leon, Coral Gables, FL 33134, together with all exhibits and addenda attached thereto.
5. That certain Office Lease Agreement between Coral Gables Hines Development, LLC, as "Lessor", and Schumann/Steier, Inc., as "Lessee", dated February 2, 2004 and for that certain 2,596 rentable square foot premises located at 2525 Ponce de Leon, Coral Gables, FL 33134, together with all exhibits and addenda attached thereto.
6. That certain Retail Lease Agreement between Coral Gables Hines Development, LLC, as "Lessor", and Fleming's/Southeast I, Limited Partnership, as "Lessee", dated May 21, 2004 and for that certain 8,658 rentable square foot premises located at 2525 Ponce de Leon, Coral Gables, FL 33134, together with all exhibits and addenda attached thereto.
7. That certain Retail Lease Agreement between Coral Gables Hines Development, LLC, as "Lessor", and La Ficelle, Inc., as "Lessee", dated May 25, 2004 and for that certain 1,586 rentable square foot premises located at 2525 Ponce de Leon, Coral Gables, FL 33134, together with all exhibits and addenda attached thereto.
8. That certain Retail Lease Agreement between Coral Gables Hines Development, LLC, as "Lessor", and La Cofradia Restaurant, LLC, as "Lessee", dated August 23, 2004 and for that certain 3,344 rentable square foot premises located at 2525 Ponce de Leon, Coral Gables, FL 33134, together with all exhibits and addenda attached thereto.
9. That certain Office Lease Agreement between Coral Gables Hines Development, LLC, as "Lessor", and Adorno & Yoss, PA, as "Lessee", dated May 1, 2003 and amended on August 11, 2004 and for that certain 16,298 rentable square foot premises located at 2555 Ponce de Leon, Coral Gables, FL 33134, together with all exhibits and addenda attached thereto.

10. That certain Office Lease Agreement between Coral Gables Hines Development, LLC, as "Lessor", and Adorno & Yoss, PA, as "Lessee", dated May 1, 2003 and amended in 2003 and again on August 11, 2004 and for that certain 10,079 rentable square foot premises located at 2555 Ponce de Leon, Coral Gables, FL 33134, together with all exhibits and addenda attached thereto.
11. That certain Office Lease Agreement between Coral Gables Hines Development, LLC, as "Lessor", and Medical Business Services as "Lessee", dated February 12, 1996 and amended on May 27, 1999 and on November 13, 2003, and for that certain 17,120 square foot premises located at 2555 Ponce de Leon, Coral Gables, FL 33134, together with all exhibits and addenda attached thereto.
12. That certain Office Lease Agreement between Coral Gables Hines Development, LLC, as "Lessor", and Hines Interests Limited Partnership, as "Lessee", dated May 1, 2002, and for that certain 800 rentable square foot premises located at 2555 Ponce de Leon, Coral Gables, FL 33134, together with all exhibits and addenda attached thereto.
13. That certain Office Lease Agreement between Coral Gables Hines Development, LLC, as "Lessor", and Hines Interests Limited Partnership, as "Lessee", dated October 1, 2002, and amended on March 1, 2004, and for that certain 3,599 rentable square foot premises located at 2555 Ponce de Leon, Coral Gables, FL 33134, together with all exhibits and addenda attached thereto.
14. That certain Lease Agreement between Coral Gables Hines Development, LLC, as "Lessor", and Sullivan, Admire & Sullivan, PA, as "Lessee", dated May 13, 1997 and amended April 27, 2000, for that certain 4,137 rentable square foot premises located at 2555 Ponce de Leon, Coral Gables, FL 33134, together with all exhibits and addenda attached thereto.
15. That certain Lease Agreement between Coral Gables Hines Development, LLC, as "Lessor", and First Union National Bank, as "Lessee", dated December 28, 2000, and for that certain 15,153, rentable square foot premises located at 2555 Ponce de Leon, Coral Gables, FL 33134, together with all exhibits and addenda attached thereto.
16. That certain Lease Agreement between Coral Gables Hines Development, LLC, as "Lessor", and Coach USA, as "Lessee", dated May 13, 1998, June 1998, July 21, 1998 September 28, 1998, and October 8, 1998 and for that certain 6,826 rentable square foot premises located at 2555 Ponce de Leon, Coral Gables, FL 33134, together with all exhibits and addenda attached thereto.


Wells Fargo Bank, National Association

Download Results

Data as of 10/24/2025

- Institution Details
- Locations
- History
- Financials
- Other Names

Institution Details



FDIC Insured
Since 01/01/1934

FDIC Cert #
3511

Established
01/01/1870

Bank Charter Class
National Banks, member of the Federal Reserve Systems (FRS)

Primary Federal Regulator
Comptroller of the Currency

Secondary Federal Regulator
CFPB

Corporate Headquarters
3201 N 4th Ave
Sioux Falls, SD 57104

Primary Website
www.wellsfargo.com

Locations
4,191 domestic locations:
40 states and 0 territories.
27 in foreign locations.

Consumer Assistance
HelpWithMyBank.gov

Contact the FDIC
[Questions about Bank Information](#)

Other Institution Identifiers used by Regulatory Agencies

Identifier Name (Hover for description)	Identifier Value
FDIC Unique Number (UNINUM)	 2239
FRB ID (RSS-ID)	 451965
FRB ID for Bank Holding Company (RSSDHCR)	 1120754
OCC Charter Number (CHARTER)	 1



MINIMUM INSPECTION PROCEDURAL GUIDELINES
FOR BUILDING ELECTRICAL RECERTIFICATION

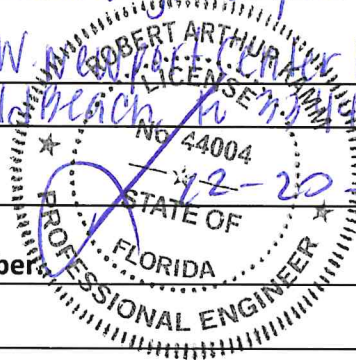
CASE REFERENCE NUMBER:

LICENSEE NAME: Robert A. Kamm
TITLE: Professional Engineer / CEO

JURISDICTION NAME:

ADDRESS: 407 W. Deerfield Dr
Deerfield Beach, FL 33442

SIGNATURE: _____



*Use separate sheets for additional responses by referencing the report number

1. DESCRIPTION OF BUILDING

a. Name on Title:

b. Building Street Address: 2555 Ponce de Leon, Coral Gables, FL 33134

Bldg. #:

c. Legal Description: Coral Gables Crafts Sec PB 10-40, All lots 22 thru 26 part of lot

Attached: ☐

d. Owner's Name: Prisa Ponce de Leon, LLC

e. Owner's Mailing Address: 2300 Post Oak BLVD #5000, Houston, TX 77056

f. Folio Number of Property on which Building is Located: 03-4117-005-1351

g. Building Code Occupancy Classification:

h. Present Use: Multi-story - office building

i. General Description of building (overall description, structural systems, special features):

101,700 sq ft

j. Number of Stories: 6

k. Is this a Threshold Building as per 553.71(12) F.S. (Yes/No):

l. Provide an aerial of the property identifying the building being certified on a separate sheet. Attached: ☒

m. Additional Comments:

2. INSPECTIONS

a. Date of Notice of Required Inspection:

b. Date(s) of actual inspection: 12/15/2023

c. Name and qualifications of licensee submitting report:

Robert A. Kamm, Professional engineer

d. Are Any Electrical Repairs Required? (YES/NO):

1. If required, describe, and indicate acceptance:

See attached exhibit "A"

e. Can the building continue to be occupied while recertification and repairs are ongoing? (YES/NO):

1. Explanation/Conditions: YES

3. ELECTRICAL SERVICE

PROVIDE PHOTO

a. Size: Voltage (480/277V) Amperage (4000A) Type: Fuses (✓ @ 2000A) Breakers ()

b. Phase: Three-Phase (✓) Single Phase ()

c. Condition: Good () Fair () Needs Repair (✓)

Comments: MAIN SWITCHBOARD NEEDS TO BE REPLACED. C.T.'S LEAKING, NO GROUND. PARTS NOT AVAILABLE

4. METERING EQUIPMENT

PROVIDE PHOTO

1. Clearances: Good () Fair () Needs Correction (✓)

Comments:

5. ELECTRIC ROOMS				PROVIDE PHOTO
1. Clearances:	Good (<input checked="" type="radio"/>)	Fair (<input type="radio"/>)	Needs Correction (<input type="radio"/>)	
Comments:				

6. GUTTERS				PROVIDE PHOTO
1. Location:	Good (<input checked="" type="radio"/>)	Needs Repair (<input type="radio"/>)		
2. Taps and Fill:	Good (<input checked="" type="radio"/>)	Needs Repair (<input type="radio"/>)		
Comments:				

7. ELECTRICAL PANELS				PROVIDE PHOTO
See attached exhibit "A"				
1. Panel # ()	Location:			
	Good (<input type="radio"/>)	Needs Repair (<input type="radio"/>)		
2. Panel # ()	Location:			
	Good (<input type="radio"/>)	Needs Repair (<input type="radio"/>)		
3. Panel # ()	Location:			
	Good (<input type="radio"/>)	Needs Repair (<input type="radio"/>)		
4. Panel # ()	Location:			
	Good (<input type="radio"/>)	Needs Repair (<input type="radio"/>)		
5. Panel # ()	Location:			
	Good (<input type="radio"/>)	Needs Repair (<input type="radio"/>)		

Comments:

8. BRANCH CIRCUITS				PROVIDE PHOTO
1. Identified:	Yes	(<input checked="" type="radio"/>)	Must be Identified	(<input checked="" type="radio"/>)
2. Conductors:	Good	(<input checked="" type="radio"/>)	Deteriorated	(<input type="radio"/>)
			Must be Replaced	(<input type="radio"/>)
Comments:				
See attached exhibit "A"				

9. GROUNDING OF SERVICE		PROVIDE PHOTO
Good	(<input type="radio"/>)	Needs Repair (<input checked="" type="radio"/>)
Comments:		

10. GROUNDING OF EQUIPMENT		PROVIDE PHOTO
Good	(<input type="radio"/>)	Needs Repair (<input checked="" type="radio"/>)
Comments:		
Chiller Room Panel		
NO GROUND		
MCC Poor Condition - REPLACE		
NO SERVICE DISCONNECT FOR COMPRESSOR		

11.SERVICE CONDUIT/RACEWAYS	PROVIDE PHOTO
Good (<input checked="" type="radio"/>)	Needs Repair (<input type="radio"/>)
Comments:	

12.GENERAL CONDUIT/RACEWAYS	PROVIDE PHOTO
Good (<input checked="" type="radio"/>)	Needs Repair (<input type="radio"/>)
Comments:	

13.WIRE AND CABLES	PROVIDE PHOTO
Good (<input checked="" type="radio"/>)	Needs Repair (<input type="radio"/>)
Comments:	

14.BUSWAYS	PROVIDE PHOTO
Good (<input checked="" type="radio"/>)	Needs Repair (<input type="radio"/>)
Comments:	

15.THERMOGRAPHY INSPECTION RESULTS**PROVIDE PHOTO**

(ADD SHEETS AS REQUIRED)

Comments:

BY OTHERS

16.OTHER CONDUCTORS**PROVIDE PHOTO**Good (☒)Needs Repair (☐)

Comments:

17.TYPES OF WIRING METHODS**PROVIDE PHOTO**

- | | | | |
|----------------------------|---|--|-------------------------------|
| 1. Conduit Raceways Rigid: | Good (<input checked="" type="radio"/>) | Needs Repair (<input type="radio"/>) | N/A (<input type="radio"/>) |
| 2. Conduit PVC: | Good (<input checked="" type="radio"/>) | Needs Repair (<input type="radio"/>) | N/A (<input type="radio"/>) |
| 3. NM Cable: | Good (<input type="radio"/>) | Needs Repair (<input type="radio"/>) | N/A (<input type="radio"/>) |
| 4. Other: | Good (<input type="radio"/>) | Needs Repair (<input type="radio"/>) | N/A (<input type="radio"/>) |

a. Other Wiring (Specify):

Comments:

18.EMERGENCY LIGHTING**PROVIDE PHOTO**Good (☒)Needs Repair (☐)N/A (☐)

Comments:

19.BUILDING EGRESS ILLUMINATION	PROVIDE PHOTO		
Good (<input checked="" type="radio"/>)	Needs Repair (<input type="radio"/>)	N/A (<input type="radio"/>)	
Comments:			

20.FIRE ALARM SYSTEM	PROVIDE PHOTO		
Good (<input checked="" type="radio"/>)	Needs Repair (<input type="radio"/>)	N/A (<input type="radio"/>)	
Comments:			

21.SMOKE DETECTORS	PROVIDE PHOTO		
Good (<input checked="" type="radio"/>)	Needs Repair (<input type="radio"/>)	N/A (<input type="radio"/>)	
Comments:			

22.EXIT LIGHTS	PROVIDE PHOTO		
Good (<input checked="" type="radio"/>)	Needs Repair (<input type="radio"/>)	N/A (<input type="radio"/>)	
Comments:			

23.EMERGENCY GENERATOR	PROVIDE PHOTO
Good (<input type="radio"/>) Needs Repair (<input type="radio"/>) N/A (<input type="radio"/>)	
Comments:	

24.WIRING IN OPEN OR UNDER COVER PARKING GARAGE AREAS	PROVIDE PHOTO
Good (<input type="radio"/>) Requires Additional Illumination(<input type="radio"/>) N/A (<input type="radio"/>)	
Comments:	

25.OPEN OR UNDER COVER PARKING GARAGE AND EGRESS ILLUMINATION	PROVIDE PHOTO
Good (<input type="radio"/>) Requires Additional Illumination(<input type="radio"/>) N/A (<input type="radio"/>)	
Comments:	

26.SWIMMING POOL WIRING	PROVIDE PHOTO
Good (<input type="radio"/>) Needs Repair (<input type="radio"/>) N/A (<input checked="" type="radio"/>)	
Comments:	

27.WIRING TO MECHANICAL EQUIPMENT			PROVIDE PHOTO
Good	(<input checked="" type="radio"/>)	Needs Repair	(<input type="radio"/>) N/A (<input type="radio"/>)
Comments:			

28.ADDITIONAL COMMENTS

Reset Form



Featured Online Tools

[Comparable Sales](#)

[Property Record Cards](#)

[Report Discrepancies](#)

[Tax Comparison](#)

[Value Adjustment Board](#)

[Glossary](#)

[Property Search Help](#)

[Report Homestead Fraud](#)

[Tax Estimator](#)

[Tax Visualizer](#)

[PA Additional Online Tools](#)

[Property Taxes](#)

[Special Taxing Districts and
Other Non-Ad valorem
Assessments](#)

[TRIM Notice](#)

ASSESSMENT INFORMATION ⓘ

Year	2023	2022	2021
Land Value	\$8,891,525	\$7,955,575	\$7,955,575
Building Value	\$8,008,475	\$7,044,425	\$6,902,136
Extra Feature Value	\$0	\$0	\$0

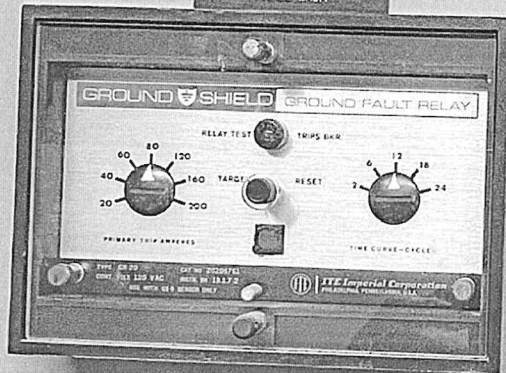
Exhibit "A"

Location	Panel	Comment
Main Electrical Room	HA	Good
Main Electrical Room	DA	Good
Main Electrical Room	A	Good
Main Electrical Room	EHDA	Good
Main Electrical Room	EA	Good
Roof	RHDA	Good
Roof	REHDA	Good
Roof	RA	Good
Basement	A	Good
Basement	CDP	Good
1 ST Floor	C	Good
1 ST Floor	EDA	Good
1 ST Floor	ZEA	Good
1 ST Floor	ZDA	Good
2 ND Floor	2A	Good
2 ND Floor	2HA	Good
2 ND Floor	2A1	Good
2 ND Floor	2F	Good
2 ND Floor	2C	Good
2 ND Floor	2B	Good
2 ND Floor	CED	Good
2 ND Floor	CEHA	Good
3 RD Floor	3A1	Good
3 RD Floor	3A	Good
3 RD Floor	3HA	Good
3 RD Floor	3EHA	Good
3 RD Floor	DB	Good
3 RD Floor	3C	Good
3 RD Floor	3B	NOT IN USE
3 RD Floor	3DA	Good
3 RD Floor	J	Good
3 RD Floor	DA3	Good
3 RD Floor	2D	Good
3 RD Floor	3DB	Good
4 TH Floor	4A	Good

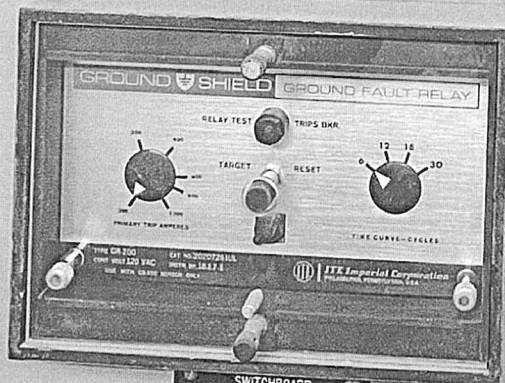
4 TH Floor	4HA	Good
4 TH Floor	J1	Good
4 TH Floor	4D1	Good
4 TH Floor	4B	Good
4 TH Floor	4B2	Good
5 TH Floor	5A2	Good
5 TH Floor	5A	Good
5 TH Floor	5HA	Good
5 TH Floor	5B	No Label – Provide updated directory
5 TH Floor	L	No Label – Provide updated directory
5 TH Floor	SE	Good
6 TH Floor	6HB	Good
6 TH Floor	6EM	No Label – Provide updated directory
6 TH Floor	6A	Good
6 TH Floor	6HA	Good
6 TH Floor	N	No Label – Provide updated directory
6 TH Floor	U	No Label – Provide updated directory
6 TH Floor	6C	Good
6 TH Floor	6B	Good

LEAD TEST SWITCHBOARD SECTION
NR

AUTO TRANSFER
SWITCH NO. 2
PANEL EHDA



TRANSFORMER T-1
PANEL DA



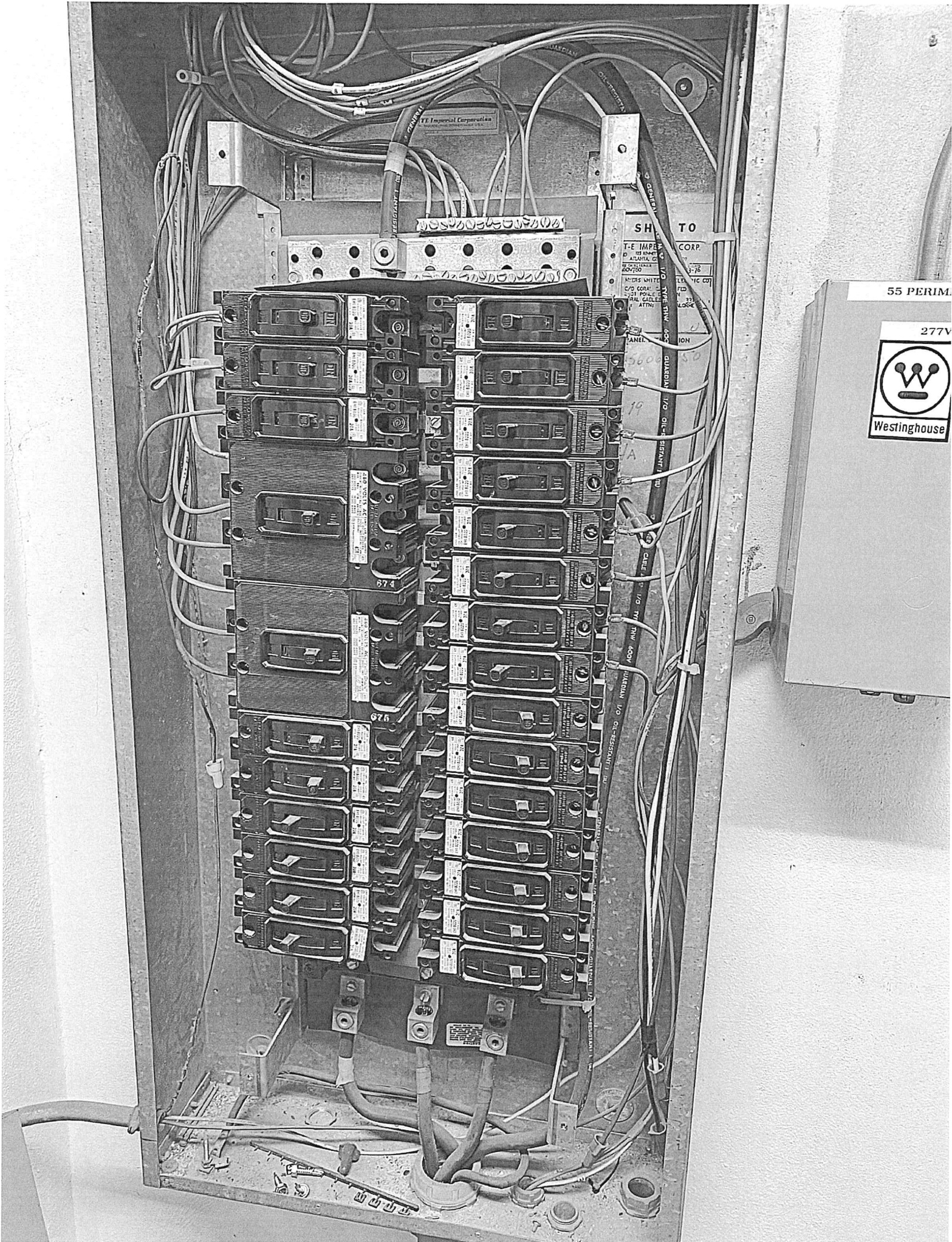
SWITCHBOARD



SWITCH NO. 1
FIRE PUMP

DANGER
HAZARD OF ELECTRICAL
SHOCK




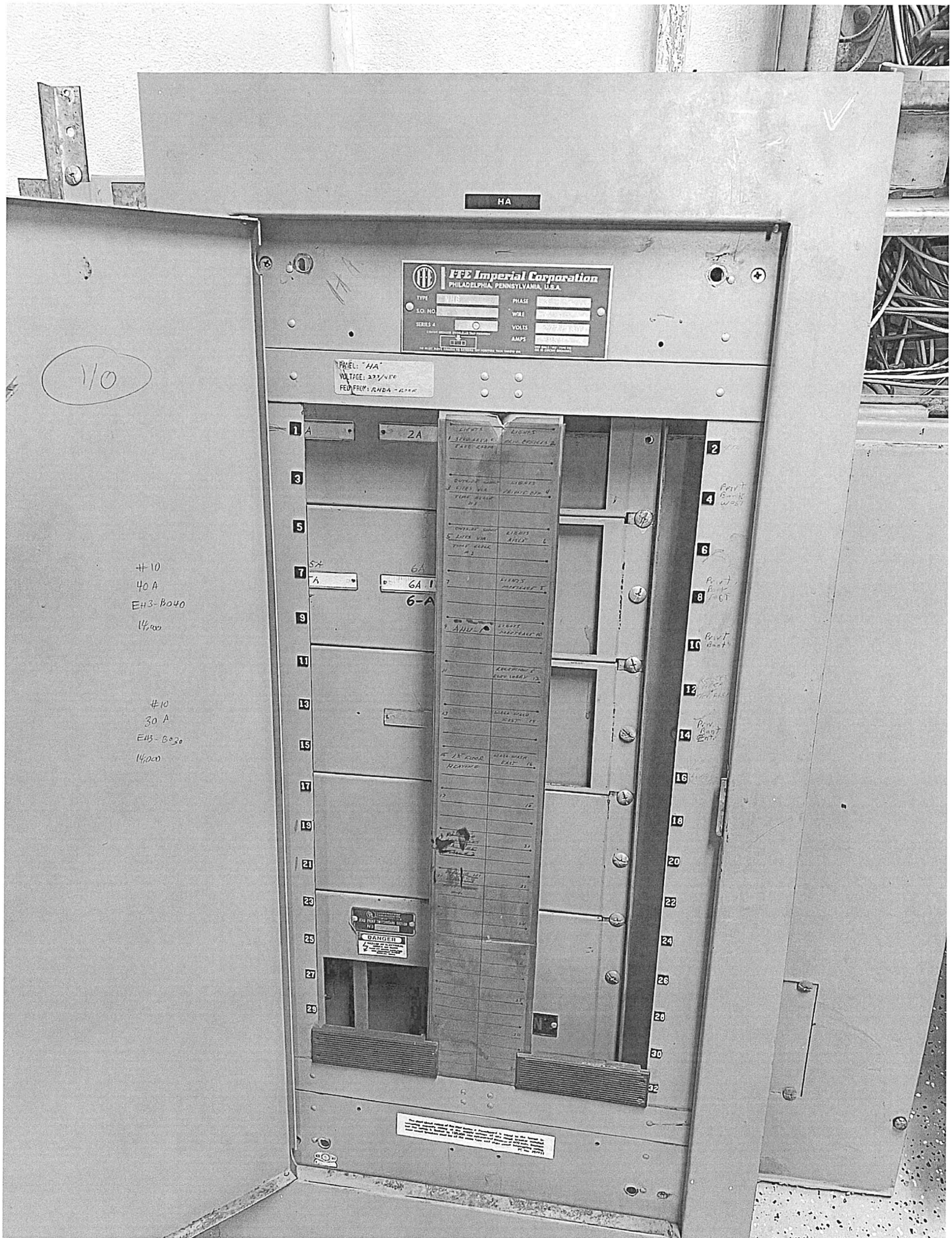


T-E Imperial Corporation

SH TO
T-E IMPERIAL CORP.
1150 N. HIGHWAY 10
ATLANTA, GA 30309
C/O CORAL
3110 POPE AVE
N. ATLANTA, GA 30305
ATTN: [illegible]

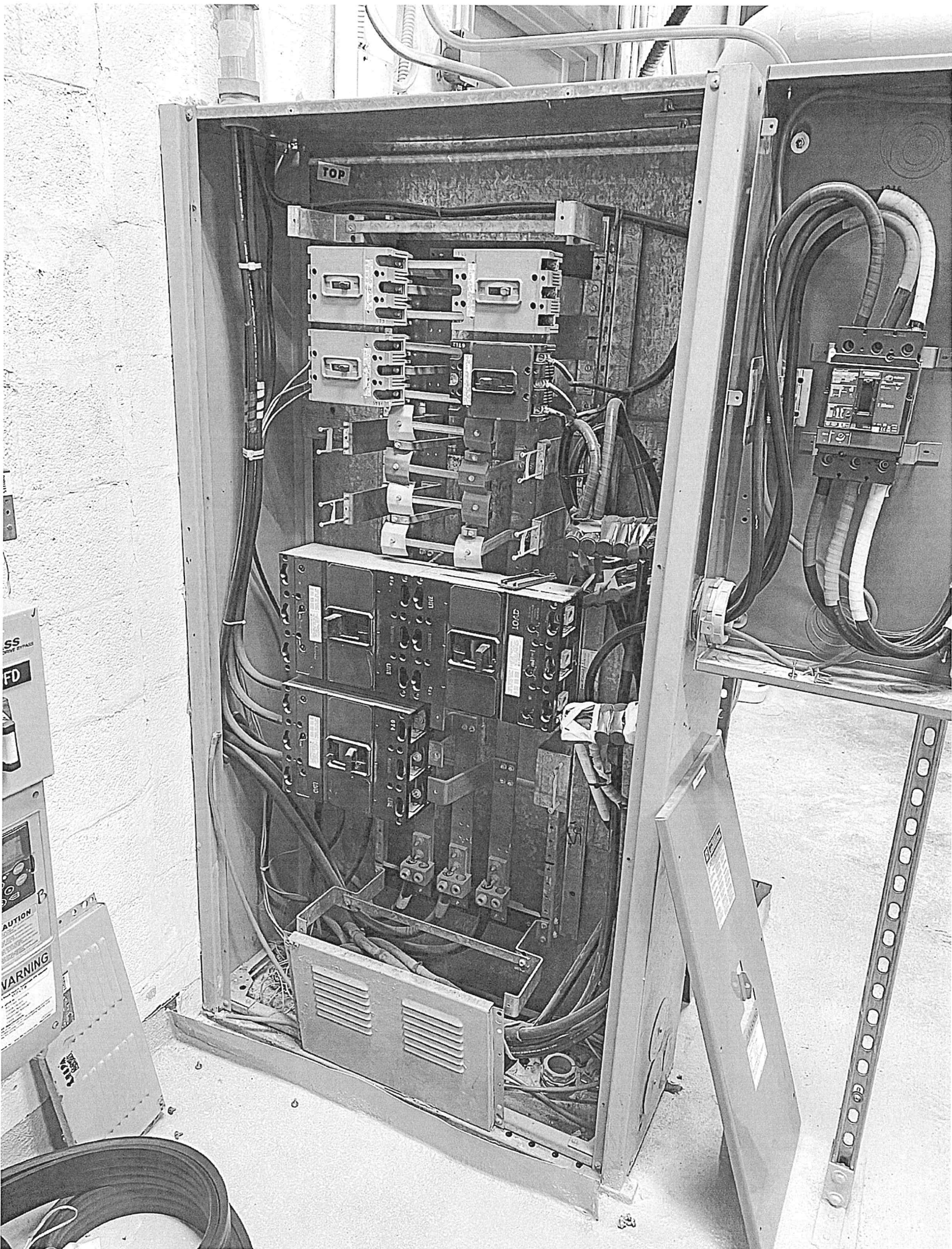
874
875
876
877
878
879
880
881
882
883
884
885
886
887
888
889
890
891
892
893
894
895
896
897
898
899
900
901
902
903
904
905
906
907
908
909
910
911
912
913
914
915
916
917
918
919
920
921
922
923
924
925
926
927
928
929
930
931
932
933
934
935
936
937
938
939
940
941
942
943
944
945
946
947
948
949
950
951
952
953
954
955
956
957
958
959
960
961
962
963
964
965
966
967
968
969
970
971
972
973
974
975
976
977
978
979
980
981
982
983
984
985
986
987
988
989
990
991
992
993
994
995
996
997
998
999
1000

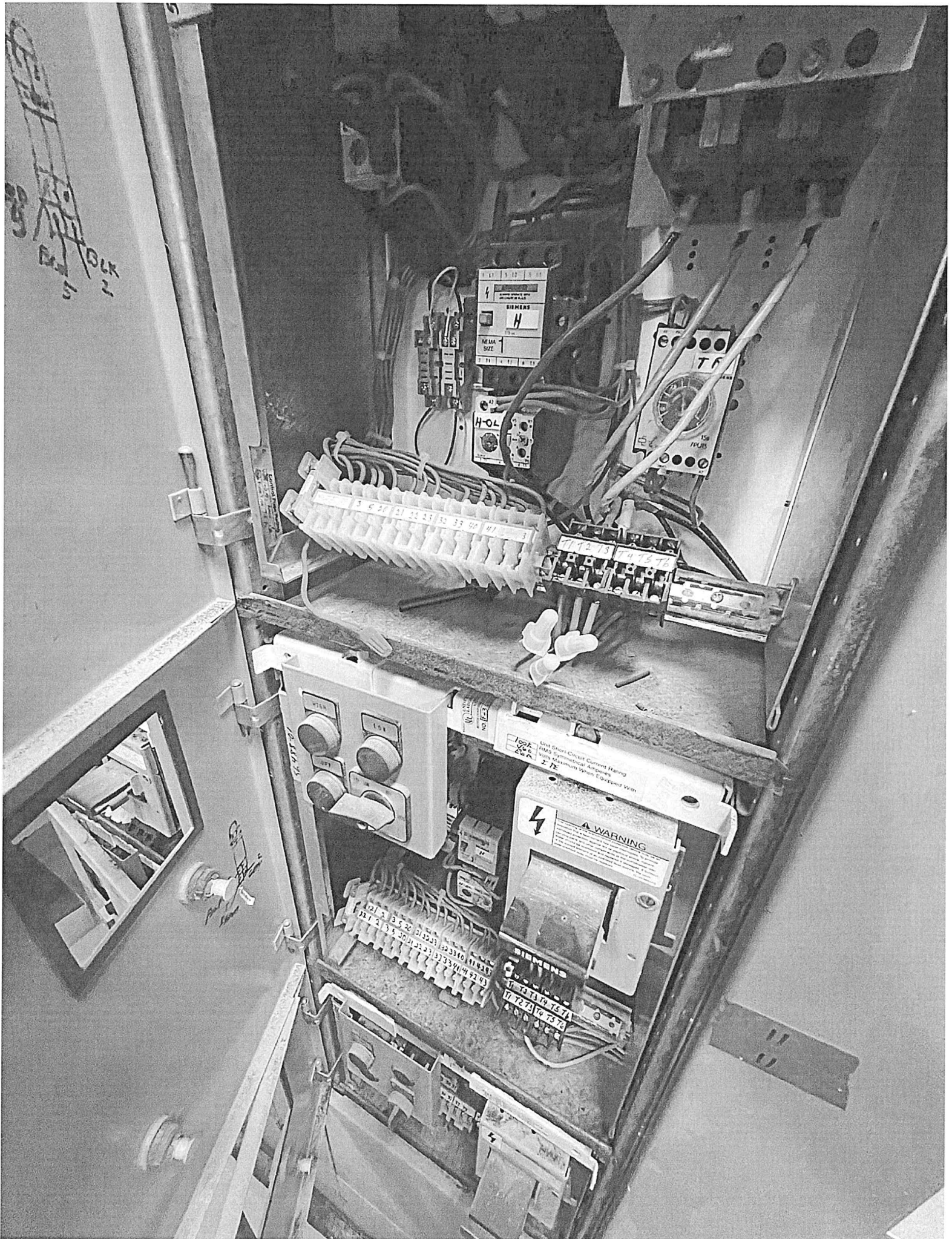
55 PERIM
277V

Westinghouse





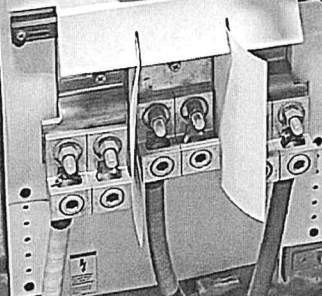
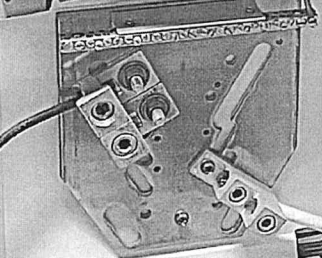
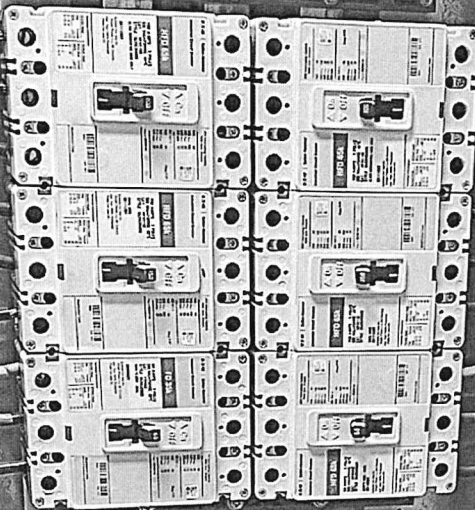






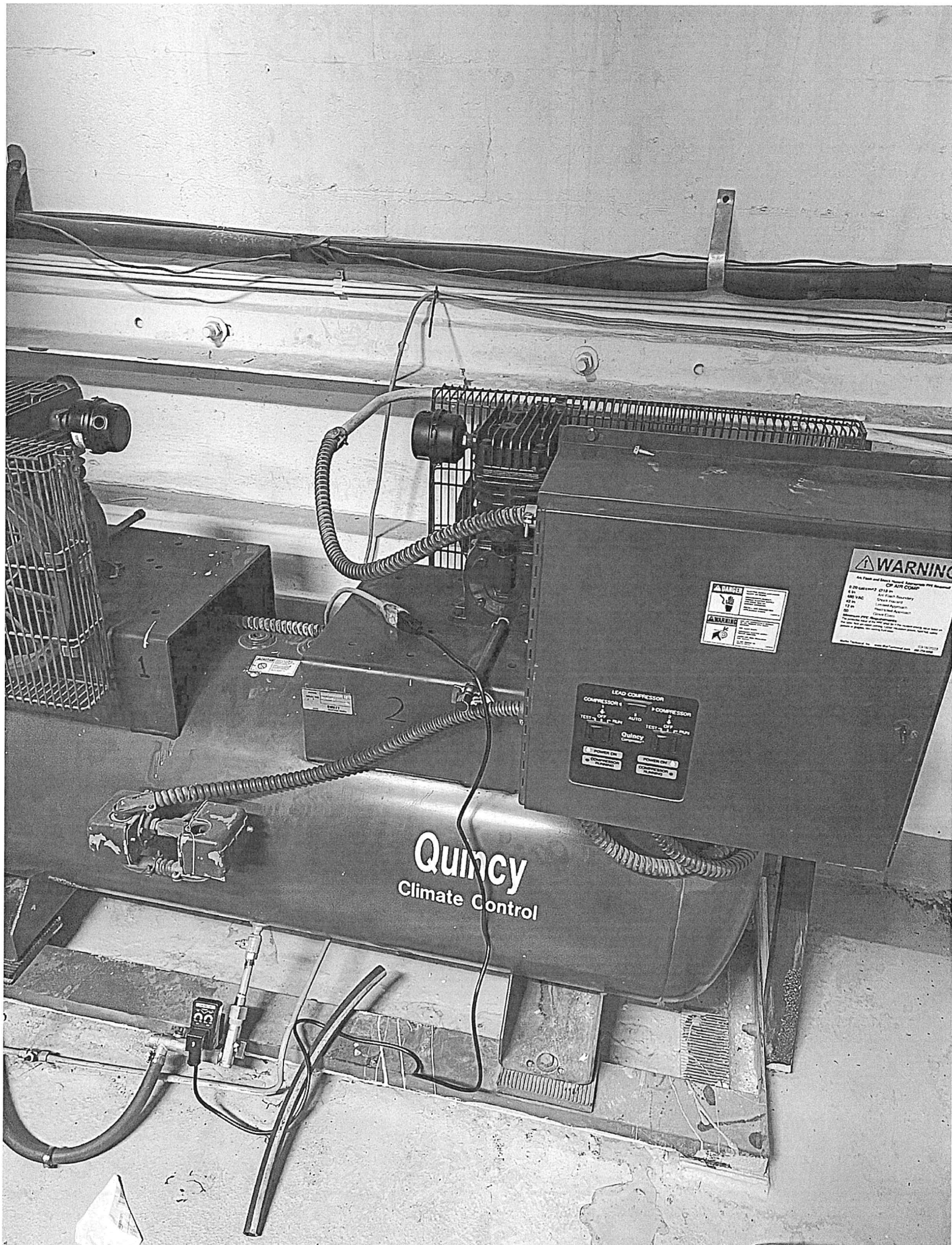
REHDA

NOTICE



⚠️ WARN





Quincy
Climate Control

WARNING
All Read and Understand Instructions First Before
Use of Air Compressor
• 20 Gallons 2719 in.
• 60 VAC Air-Push Assembly
• 43 in. Stroke Piston
• 12 in. Limited Assembly
• Heavy-Duty Assembly
• Quincy Climate
Remember: Read the full operating instructions before using this
unit. The unit is not to be used for any other purpose. Read the
full operating instructions before using this unit.

WARNING
• Do not touch the moving parts of the compressor.
• Do not touch the moving parts of the piston.
• Do not touch the moving parts of the crankshaft.
• Do not touch the moving parts of the connecting rod.
• Do not touch the moving parts of the flywheel.
• Do not touch the moving parts of the belt drive.
• Do not touch the moving parts of the pulley.
• Do not touch the moving parts of the belt.
• Do not touch the moving parts of the pulley.
• Do not touch the moving parts of the belt.

LEAD COMPRESSOR
COMPRESSION 1
TEST RUN
F COMPRESSOR
COMPRESSION 2
TEST RUN
Quincy
Climate Control
POWER ON
POWER OFF
COMPRESSION 1
COMPRESSION 2

BA-1



PANEL: 5A
VOLTAGE: 220/240
FED FROM: 2A - 500000000

[illegible]



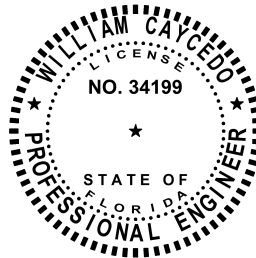
MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR BUILDING STRUCTURAL RECERTIFICATION

CASE REFERENCE NUMBER:

341170051351

JURISDICTION NAME:

Coral Gables



LICENSEE NAME: William Caycedo

TITLE: Principal/Partner

ADDRESS: 5835 Waterford District Dr. Suit #400 Miami, FL 331

SIGNATURE:

***Use separate sheets for additional responses by referencing the report number.**

1. DESCRIPTION OF BUILDING

a. Name on Title: 2555 PONCE DE LEON BLVD

b. Building Street Address: 2555 PONCE DE LEON BLVD

Bldg. #:

c. Legal Description: CORAL GABLES CRAFTS SEC PB 10-40 ALL LOTS 22 THRU 26 & F Attached: ☐

d. Owner's Name: Prisa Ponce De Leon LLC.

e. Owner's Mailing Address: 2800 Post Oak Blvd #5000 Houston, TX 77056-6178

f. Folio Number of Property on which Building is Located: 341170051351

g. Building Code Occupancy Classification: Business Group B

h. Present Use: Bank and Law offices

i. General Description of building (overall description, structural systems, special features):

The structure is 6 stories with a basement level. The original structure was constructed with a

composite metal deck spanning to steel beams framing to steel columns. In 1975, an 6 story addition was made

adjacent to the original structure with concrete slab framing to concrete beams supported by concrete columns.

j. Number of Stories: 6

k. Is this a Threshold Building as per 553.71(12) F.S. (Yes/No): Yes

l. Provide an aerial of the property identifying the building being certified on a separate sheet. Attached: ☒

m. Additional Comments:

n. Additions to original structure:	
In 1975, an 6 story addition was made adjacent to the original structure with concrete slab framing to concrete beams supported by concrete columns.	
o. Total Actual Building Area of all floors: Estimated 113,000	S.F.

2. INSPECTIONS
a. Date of Notice of Required Inspection: May 3rd, 2022
b. Date(s) of actual inspection: October 31st , 2023
c. Name, license number, discipline of practice, and qualifications of licensee submitting report:
William Caycedo PE #34199, Structural Engineer
d. Description of laboratory or other formal testing, if required, rather than manual or visual procedures:
None
e. Are Any Structural Repairs Required? (YES/NO): Yes
1. If required, describe, and indicate acceptance:
Cracks ranging from 0.016" to 0.025" found at concrete columns and beams. See photo 13, 15 , 16.
Corroded steel tube to be replaced. See photo 14.
f. Can the building continue to be occupied while recertification and repairs are ongoing? (YES/NO): Yes
1. Explanation/Conditions:
Damages stated in report do not raise concern for public safety.
g. Is it recommended that the building be vacated? (YES/NO): No
h. Has the property record been researched for violations or unsafe cases? (YES/NO): No
1. Explanation/Comments:
N/A

3. SUPPORTING DATA

- a. None Additional sheets of written data
- b. Attached. Photographs provided (where required plus each building elevation)
- c. Attached. Drawings or sketches (aerial, site, footprint, etc.)
- d. None. Test reports

4. FOUNDATION

a. Describe the building foundation:

Pile cap foundation system

b. Is wood in contact or near soil? (Yes/No): No

c. Signs of differential settlement? (Yes/No): No

d. Describe any cracks or separation in the walls, columns, or beams that signal differential settlement:

PROVIDE PHOTO

None.

e. Is water drained away from the foundation? (Yes/No): Yes

f. Is there additional sub-soil investigation required? (Yes/No): No

1. Describe:

None

5. PRESENT CONDITION OF OVERALL STRUCTURE

a. General alignment: (Note: good, fair, poor, explain if significant)

PROVIDE PHOTO

1. Bulging: Good

2. Settlement: Good

3. Deflections: Good

4. Expansion: Good

5. Contraction: Good

b. Portion showing distress: (Note, beams, columns, structural walls, floor, roofs, other)	PROVIDE PHOTO
None.	
c. Surface conditions: Describe general conditions of finishes, cracking, spalling, peeling, signs of moisture penetration and stains.	PROVIDE PHOTO
Cracking at brick veneer. See photo 3.	
Water staining at expansion joint. See photo 9.	
Stucco cracking at stairwells and mechanical rooms. See photo 19.	
d. Cracks: Note location in significant members. Identify crack size as HAIRLINE if barely discernible; FINE if less than 1 mm in width; MEDIUM if between 1- and 2-mm width; WIDE if over 2 mm.	PROVIDE PHOTO
Cracks ranging from 0.016" to 0.025" found at concrete columns and beams. See photo 13, 15 , 16.	
e. General extent of deterioration: Cracking or spalling of concrete or masonry, oxidation of metals; rot or borer attack in wood.	PROVIDE PHOTO
Fine cracks at concrete columns and beams. See photo 13, 15 , 16.	
Minor oxidation on springs supporting equipment. See photo 17.	
Corroded steel tube. See photo 14.	
f. Previous patching or repairs (Provide description and identify location):	PROVIDE PHOTO
None seen.	
g. Nature of present loading: (Indicate residential, commercial, storage, other - estimate magnitude for each level)	
Offices 50 psf live load, 20 psf dead load.	
Lobbies 100 psf live load, 20 psf dead load. Balconies 75 psf live load, 10 psf dead load.	
h. Signs of overloading? (Yes/No): No	
1. Describe:	
N/A	

6. MASONRY BEARING WALL: (Indicate good, fair, poor on appropriate lines)		PROVIDE PHOTO
a. Concrete masonry units: Good , visible in photo 18.		
b. Clay tile or terra cotta units:		
c. Reinforced concrete tie columns: Good		
d. Reinforced concrete tie beams: Good		
e. Lintel: Good		
f. Other type bond beams:		PROVIDE PHOTO
g. Exterior masonry finishes (choose those that apply):		
1. Stucco: Good , See photo 1, 2, 6		
2. Veneer: Fair , See photo 1, 2, 3		
3. Paint only: None		
4. Other (describe):		
N/A		
h. Interior masonry finishes (choose those that apply):		PROVIDE PHOTO
1. Vapor barrier: Not visible		
2. Furring and plaster:		
3. Paneling: Fair , areas with cracking, see photo 19.		
4. Paint only: Good , see photo 18.		
5. Other (describe):		
N/A		
i. Cracks:		PROVIDE PHOTO
1. Location (note beams, columns, other): Columns and beams		
2. Description:		
Fine cracks at concrete columns and beams. See photo 13, 15, 16.		
j. Spalling		PROVIDE PHOTO
1. Location (note beams, columns, other): None		
2. Description:		
N/A		

k. Rebar corrosion (indicate on lines 1-4):	PROVIDE PHOTO
1. None visible: <input checked="" type="checkbox"/>	
2. Minor (patching will suffice):	
3. Significant (but patching will suffice):	
4. Significant (structural repairs required)	
l. Samples chipped out for examination in spalled areas (Yes/No):	
1. Yes – describe color, texture, aggregate, general quality:	

7. FLOOR AND ROOF SYSTEM	
a. Roof (Must provide)	
1. Describe (roof shape, type roof covering, type roof deck, framing system, condition):	PROVIDE PHOTO
Flat roofs with asphaltic rolled roofing on reinforced concrete slabs in fair condition. See photo 4,5 ,6.	
Original structure has same roofing material over composite metal decking.	
2. Note water tanks, cooling towers, air conditioning equipment, signs, other heavy equipment and condition of supports:	PROVIDE PHOTO
Cooling tower stands in good condition. See photo 4.	
3. Describe roof drainage system, main and overflow, and indicate condition:	PROVIDE PHOTO
Overall draining in good condition. Scuppers and drains clear of debris. See photo 6.	
4. Describe parapet build and current conditions:	PROVIDE PHOTO
12 foot parapet consisting of tie columns and masonry block in good condition. See photo 5 & 6.	
5. Describe mansard build and current conditions:	PROVIDE PHOTO
None.	

6. Describe roofing membrane/covering and current conditions:	PROVIDE PHOTO
Flat roofs with asphaltic rolled roofing on reinforced concrete slabs in fair condition. See photo 4,5 ,6.	
Original structure has same roofing material over composite metal decking.	
7. Describe any roof framing member with obvious overloading, overstress, deterioration or excessive deflection:	PROVIDE PHOTO
None.	
8. Note any expansion joints and condition:	PROVIDE PHOTO
Expansion joint between original structure and addition.	
Water staining found near joint. See photo 9.	
b. Floor system(s):	
1. Describe the floor system at each level, framing, material, typical spans and indicate condition:	PROVIDE PHOTO
The original structure was constructed with a composite metal deck spanning to steel beams framing to steel columns.	
In 1975, an 6 story addition was made adjacent to the original structure with concrete slab framing to concrete beams	
supported by concrete columns.	
2. Balconies: Indicate location, framing system, material, and condition:	PROVIDE PHOTO
Level 5 has balconies wrapping the exterior of the building supported by the concrete framing system below.	
The system is concrete slab framing to concrete beams supported by concrete columns. See photo 10.	
3. Stairs and escalators: indicate location, framing system, material, and condition:	PROVIDE PHOTO
Three steel staircases in good condition. See photo 18.	
4. Ramps: indicate location, framing type, material, and condition:	PROVIDE PHOTO
None.	
5. Guardrails: describe type, material, and condition:	PROVIDE PHOTO
None.	
c. Inspection – note exposed areas available for inspection, and where it was found necessary to open ceilings, etc. for inspection of typical framing members.	
Electrical/Mechanical rooms were entered to view the floor structural system.	
Ceiling tiles were removed at varying locations at each floor to verify floor framing system and general condition.	
Level 5 had an area under remodel showing the exposed structure.	

8. STEEL FRAMING SYSTEM

a. Description of system at each level:

PROVIDE PHOTO

The original structure was constructed with a composite metal deck spanning to steel beams framing to steel columns. See photo 12.

b. Steel members: describe condition of paint and degree of corrosion:

PROVIDE PHOTO

No corrosion found, members are covered in fire proofing. See photo 12.

c. Steel connections: describe type and condition:

PROVIDE PHOTO

Steel connections weren't visible due to fireproofing. See photo 12.

d. Concrete or other fireproofing: note any cracking or spalling of encased member and note where any covering was removed for inspection:

PROVIDE PHOTO

e. Identify any steel framing member with obvious overloading, overstress, deterioration, or excessive deflection (provide location):

PROVIDE PHOTO

None.

f. Elevator sheave beams and connections, and machine floor beams: note condition:

PROVIDE PHOTO

Elevator hoist beam visible in machine room at roof in good condition. See photo 7.

9. CONCRETE FRAMING SYSTEM

a. Full description of concrete structural framing system:

PROVIDE PHOTO

In 1975, an 6 story addition was made adjacent to the original structure with concrete slab framing to concrete beams supported by concrete columns.

b. Cracking

1. Significant or Not significant: Not significant

2. Location and description of members affected and type cracking:

Cracks ranging from 0.016" to 0.025" found at concrete columns and beams. See photo 13, 15 , 16.

c. General condition	
Good condition.	
d. Rebar corrosion – check appropriate line	
1. None visible: <input checked="" type="checkbox"/>	
2. Location and description of members affected and type cracking:	PROVIDE PHOTO
3. Significant but patching will suffice:	PROVIDE PHOTO
4. Significant: structural repairs required (describe):	PROVIDE PHOTO
e. Samples chipped out in spall areas:	
1. No: <input checked="" type="checkbox"/>	PROVIDE PHOTO
2. Yes, describe color, texture, aggregate, general quality:	
f. Identify any concrete framing member with obvious overloading, overstress, deterioration, or excessive deflection:	
PROVIDE PHOTO	
None.	

10. WINDOWS, STOREFRONTS, CURTAINWALLS AND EXTERIOR DOORS	
a. Windows/Storefronts/Curtainwalls	PROVIDE PHOTO
1. Type (Wood, steel, aluminum, vinyl, jalousie, single hung, double hung, casement, awning, pivoted, fixed, other):	
Aluminum fixed. See photo 1, 2, & 20.	
Fixed curtainwall system, See photo 11.	
2. Anchorage: type and condition of fasteners and latches:	
Not visible.	

3. Sealant: type and condition of perimeter sealant and at mullions:	
Sealant around all joints	
4. Interiors seals: type and condition at operable vents:	
All joints sealed	
5. General condition:	
Good condition	
6. Describe any repairs needed:	
None.	
b. Structural Glazing on the exterior envelope of Threshold Buildings (Yes/No): Yes	
1. Previous Inspection Date: N/A	
2. Description of Curtain Wall Structural Glazing and adhesive sealant:	
Aluminum doors and windows in good condition. See photo 1, 2, 11,& 20	
3. Describe Condition of System:	
Good condition.	
c. Exterior Doors	PROVIDE PHOTO
1. Type (Wood, Steel, Aluminum, Sliding Glass Door, other):	
Aluminum doors and sliding glass doors in good condition. See photo 20.	
2. Anchorage: type and condition of fasteners and latches:	
Not visible.	
3. Sealant: type and condition of sealant:	
Sealant around all joints	

4. General condition:
Good condition.
5. Describe any repairs needed:
None.

11. WOOD FRAMING	
a. Fully describe wood framing system:	PROVIDE PHOTO
None.	
b. Indicate the condition of the following:	PROVIDE PHOTO
1. Walls:	
N/A	
2. Floors:	
N/A	
3. Roof member, roof trusses:	
N/A	
c. Note metal connectors (i.e., angles, plates, bolts, split pintles, other, and note condition):	PROVIDE PHOTO
N/A	
d. Joints: note if well fitted and still closed:	PROVIDE PHOTO
N/A	

e. Drainage: note accumulations of moisture	PROVIDE PHOTO
N/A	
f. Ventilation: note any concealed spaces not ventilated:	PROVIDE PHOTO
N/A	
g. Note any concealed spaces opened for inspection:	PROVIDE PHOTO
N/A	
h. Identify any wood framing member with obvious overloading, overstress, deterioration, or excessing deflection):	PROVIDE PHOTO
N/A	

12. BUILDING FAÇADE INSPECTION (Threshold Buildings)	PROVIDE PHOTO
a. Identify and describe the exterior walls and appurtenances on all sides of the building. (Cladding type, corbels, precast appliques, etc.)	
Exterior walls were stuccoed, have brick veneer, or precast paneling. No appurtenances.	
See photo 1 & 2.	
b. Identify the attachment type of each appurtenance type (mechanically attached or adhered):	
N/A	
c. Indicate the condition of each appurtenance (distress, settlement, splitting, bulging, cracking, loosening of metal anchors and supports, water entry, movement of lintel or shelf angles, or other defects):	
N/A	

13. SPECIAL OR UNUSUAL FEATURES IN THE BUILDING	PROVIDE PHOTO
a. Identify and describe any special or unusual feature (i.e. cable suspended structures, tensile fabric roof, large sculptures, chimneys, porte-cochere, retaining walls, seawalls, etc.)	
Retaining walls surround the envelope of the basement level.	
b. Indicate condition of the special feature, its supports, and connections:	
No visible cracking, spalling, or deterioration found.	

Reset Form

Photographic Log

Existing Conditions

Photo No. 1

Date:

10/31/2023

Area:

Ground Level – South View

Description:

General View of Building



Photo No. 2

Date:

10/31/2023

Area:

Ground Level – West View

Description:

General View of Building




Photo No. 3	Date: 10/31/2023	
Area:		
Ground Level – East		
Description:		
Brick veneer with visible cracking.		


Photo No. 4	Date: 10/31/2023	
Area:		
Roof Level		
Facing east		
Description:		
Cooling tower stands and roof in good condition		

Photo No. 5	Date: 10/31/2023
Area:	
Roof Level	
Facing east	
Description:	
Original structure roof in good condition.	



--


Photo No. 6	Date: 10/31/2023	
Area:		
Roof Level		
Description:		
Scuppers in good condition.		


Photo No. 7	Date: 10/31/2023	
Area:		
Roof Level		
Description:		
Elevator hoist beam in good condition.		


Photo No. 8	Date: 10/31/2023	
Area:		
Sixth Floor		
Description:		
Typical concrete framing system at addition.		


Photo No. 9	Date: 10/31/2023	
Area: Fifth Floor		
Description: Water staining at original structure brick veneer. Expansion joint not visible.		


Photo No. 10	Date: 10/31/2023	
Area:		
Fifth Floor		
Description:		
View of balconies in good condition.		

Photo No. 11	Date: 10/31/2023
Area:	
Fifth Floor	
Description:	
Window curtainwall system framing from ground of 5 th floor to top of 6 th floor.	




Photo No. 12	Date: 10/31/2023	
Area:		
Mezzanine Level		
Description:		
Typical steel framing system in original structure in good condition.		


Photo No. 13	Date: 10/31/2023	
Area: Sixth Floor – Mechanical Room		
Description: Hairline crack at column and cracking at beam – column connection.		


Photo No. 14	Date: 10/31/2023	
Area: Ground level		
Description: Corroded steel tube from secondary framing system for cladding.		

Photo No. 15	Date: 10/31/2023	
Area: Third Level – Electrical room		
Description: Cracking at concrete beam		


Photo No. 16	Date: 10/31/2023	
Area: Second level – Mechanical Room		
Description: Cracking at column		

Photo No. 17	Date: 10/31/2023	
Area:		
Mezzanine Level		
Description:		
Surface corrosion on springs supporting equipment.		

Photo No. 18	Date: 10/31/2023	
Area:		
Second Level		
Description:		
Typical steel staircase framing		



Photo No. 19	Date: 10/31/2023	
Area:		
Second Level		
Description:		
Drywall cracking in electrical room.		

Photo No. 20	Date: 10/31/2023
Area:	
Ground Level	
Description:	
Typical exterior doors and glazing view.	

A photograph of a building entrance featuring a large glass door and window system set within a brick facade. A concrete ramp with metal handrails leads up to the entrance. The brickwork is a mix of red and tan colors. A sign on the glass door reads "2555 PINE BLVD" and "PINE BLVD". The entrance is covered by a brick overhang.

Aerial View



Infrared Thermography Inspection- 40 Year Recertification



Thermographer- Chad Leach
Company Name- Lar-Ken Electric Inc.
Inspection Date 12/15/23
Address- 2555 Ponce De Leon,
Coral Gables, FL 33134

Lar-Ken Electric Inc. (305)362-4004

www.lar-kenelectric.com

LAR-KEN ELECTRIC, INC.

IR ELECTRICAL INSPECTION

**LAR-KEN ELECTRIC, INC.
2740 WEST 78TH STREET
HIALEAH, FLORIDA, 33016**

DECEMBER 15, 2023

**HINES
2555 PONCE DE LEON BLVD.
CORAL GABLES, FL. 33134**

LAR-KEN ELECTRIC, INC.

December 15, 2023

Hines
2555 Ponce de Leon Blvd.
Coral Gables, Fl. 44134

To whom it may concern,

Enclosed you will find the infrared electrical inspection requested for your Building located at 2555 Ponce de Leon Blvd., Coral Gables, Fl. 33134, on December 15, 2023.

The components inspected are from your specifications, all panel covers and dead Fronts were removed throughout the entire building to give the most thorough And detail inspection at this facility.

The problems were detected by thermal and color visible light images which are documented in this report. Anomalies detected were based on temperature rise due to faults.

There were **ZERO** anomalies detected in this report.

Regards,



Lawrence T Weeks III

Lar-Ken Electric, Inc.

I hereby warrant that the inspection, which is the subject of this report, was conducted personally by me or by a thoroughly qualified assistant under my direction. I further warrant that this report has been prepared under my personal guidance and has been found by me to be totally accurate and complete to the best of my ability as a certified thermographer.

Chad Leach,

Certified Thermographer, Level II Thermal/Infrared Thermography- The Snell Group
Certificate No.-091030-10



I hereby warrant that I am a Level II Certified Thermographer meeting the experience required, as per the current "Minimum Inspection Procedural Guidelines for Building Electrical Inspections", revised and approved on November 18, 2021 by the Miami-Dade County Board of Rules and Appeals (BORA).

Chad Leach,

A handwritten signature of Chad Leach in black ink.

Certified Thermographer, Level II Thermal/Infrared Thermography- The Snell Group
Certificate No.-091030-10

LAR-KEN ELECTRIC, INC

SEVERITY OF PROBLEM CATEGORIES

CATEGORY	SUGGESTIONS
CRITICAL Fault/Temperature ≥ 135° F	<u>Immediate action is required!</u> Repair or replace component as required. Thorough physical inspection of all related components are suggested. It is recommended to have the infrared repeated after repairs are completed.
SERIOUS Fault/ Temperature 64°-135° F	<u>Repair/ Replace should be scheduled as soon as feasible possibly.</u> Physical inspection of all surrounding components is suggested.
INTERMEDIATE Fault/ Temperature 19°- 63° F	<u>Repairs should be made within a reasonable time.</u> Make note of any changes necessary regarding fluctuating load factors or possible physical change.
MINOR Fault/ Temperature 2°-18° F	<u>Repair can be made during normal Preventative maintenance.</u>

LAR-KEN ELECTRIC, INC.

HINES

2555 PONCE DE LEON BLVD.

CORAL GABLES, FLORIDA. 33134

December 15, 2023

COMPONENTS INSPECTED

AREA: CHILLER ROOM:

PANELS:

RA

RHDA

REHDA

DISCONNECTS:

ELEV 1 ELEV 4

ELEV 2

ELEV 3

STARTERS:

P1 P2 P3 P4

FAN A FAN B

AIR COMPRESSOR

E1 E2 E3 E4 E5

AREA: 6TH FLOOR.

PANELS:

6A 6B 6C 6HB

6HA 2F 2 PANELS NO LABEL

DISCONNECTS:

NEON

CONTACTORS:

AREA: 5TH FLOOR.

PANELS:

5HA L

2E 5B

DISCONNECTS:

CONTACTORS:

LAR-KEN ELECTRIC, INC.

NO LABEL

AREA: 4TH FLOOR:

PANELS:

JI 2D1 4B

4B2 4HA 4A

DISCONNECTS:

A/C

AREA: 3RD FLOOR:

PANELS:

3H 2DB DB 3A 3HA

3A1 3EHA 3EA 2D DA

3C 3B 3DA

DISCONNECTS:

5 DISCONNECTS W/ NO LABELS

AREA: 2ND FLOOR:

PANELS:

C CED 2B 2A

2HA F 2C

DISCONNECTS:

AHU 8

MAIN C

AREA: MEZZANINE:

PANELS:

DISCONNECTS:

LAR-KEN ELECTRIC, INC.

(TELLER) EDA 2EA

A/C 1B 2B 2B1

AREA: 1ST FLOOR:

PANELS:

C EHDA EA HA DA

DISCONNECTS:

MAIN B EHDA RHDA DA 3DA

AREA: BASEMENT:

PANELS:

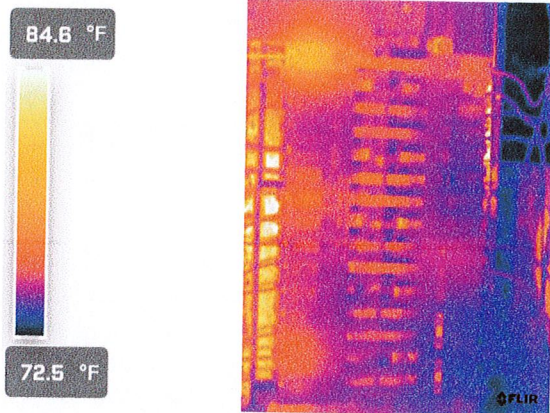
A BEHDA

DISCONNECT:

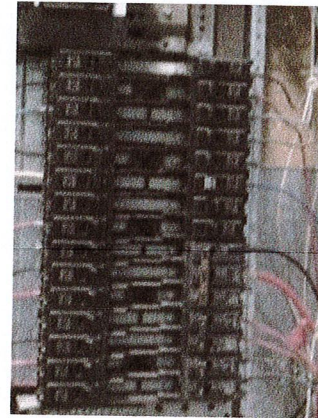
GENERATOR MAIN MOTOR CONTROL MAIN
MAIN B

2555 Ponce De Leon Blvd

12/15/2023 9:08:01 AM



FLIR0354.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0354.jpg
File size	267 KB
Width	240
Height	320
Minimum temp.	72.4 °F
Maximum temp.	91.6 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

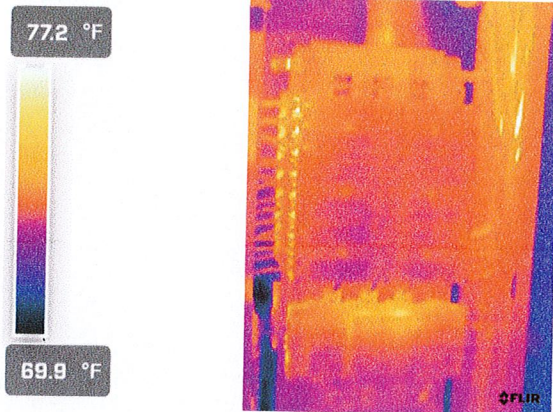
Location- Roof

Panel RA

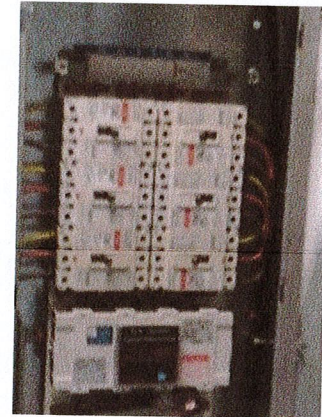
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:08:46 AM



FLIR0355.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0355.jpg
File size	249 KB
Width	240
Height	320
Minimum temp.	69.9 °F
Maximum temp.	83.3 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

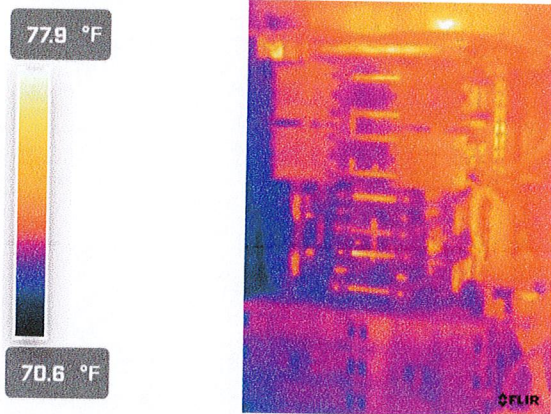
Location- Roof

Panel REHDA

Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:10:18 AM



FLIR0358.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0358.jpg
File size	235 KB
Width	240
Height	320
Minimum temp.	71.5 °F
Maximum temp.	78.9 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

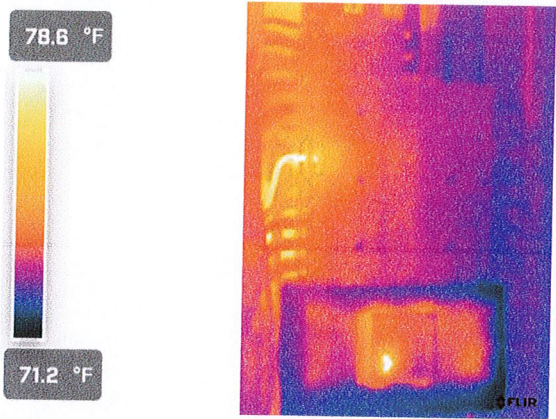
Location- Roof

Panel DP

Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:10:55 AM



FLIR0359.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0359.jpg
File size	245 KB
Width	240
Height	320
Minimum temp.	71.5 °F
Maximum temp.	83.0 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

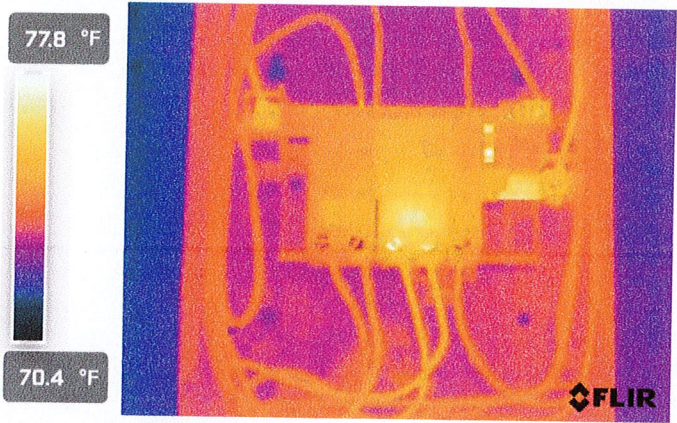
Location- Roof

Panel RHDA

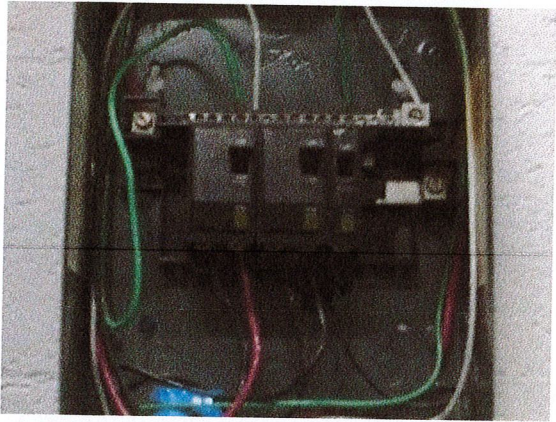
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:21:22 AM



FLIR0371.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0371.jpg
File size	249 KB
Width	320
Height	240
Minimum temp.	71.5 °F
Maximum temp.	80.2 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

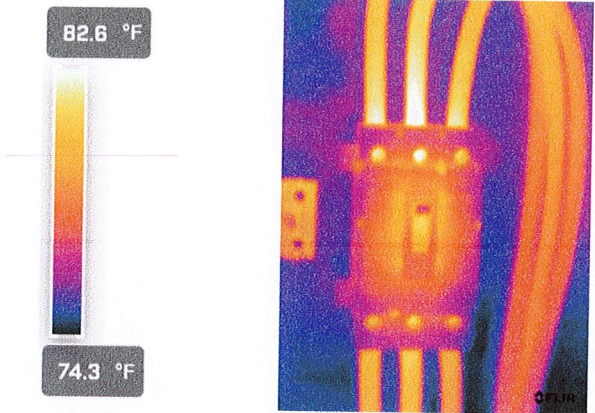
Location- Roof

Panel L

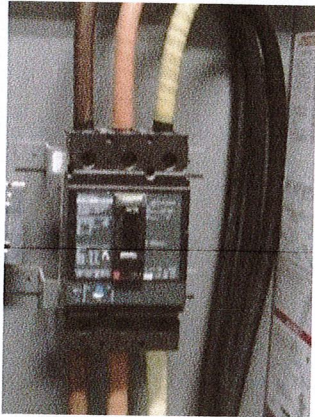
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:09:20 AM



FLIR0356.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0356.jpg
File size	236 KB
Width	240
Height	320
Minimum temp.	74.2 °F
Maximum temp.	83.2 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

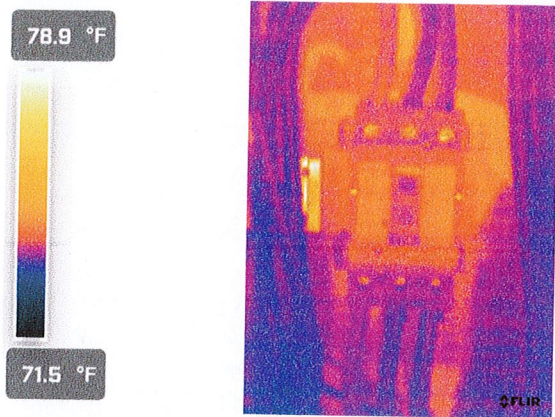
Location- Roof

Disconnect- Chiller #1

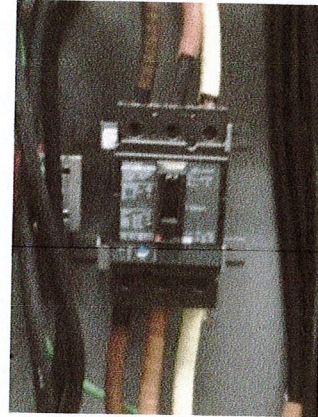
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:09:48 AM



FLIR0357.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0357.jpg
File size	229 KB
Width	240
Height	320
Minimum temp.	73.2 °F
Maximum temp.	81.7 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

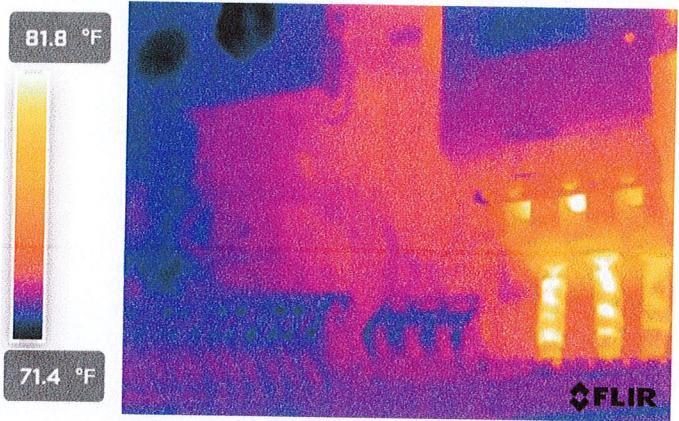
Location- Roof

Disconnect- Chiller #2

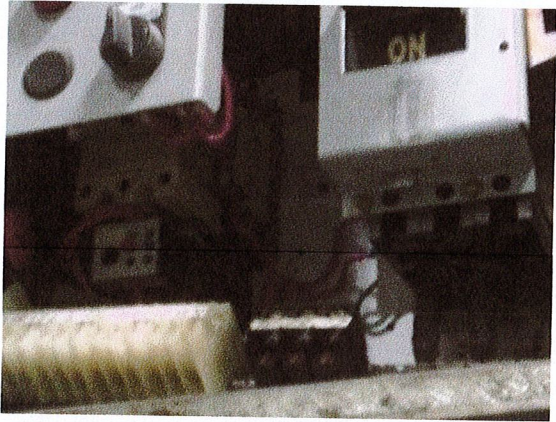
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:12:48 AM



FLIR0360.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0360.jpg
File size	243 KB
Width	320
Height	240
Minimum temp.	70.8 °F
Maximum temp.	82.9 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

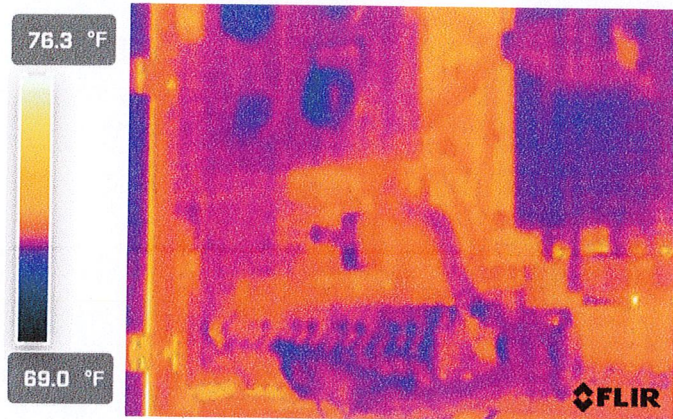
Location- Roof

Starter Cabinet- Chilled
Water 1

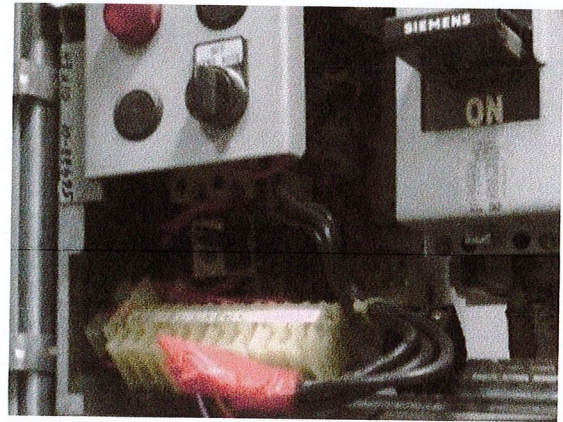
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:13:37 AM



FLIR0361.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0361.jpg
File size	234 KB
Width	320
Height	240
Minimum temp.	70.7 °F
Maximum temp.	77.1 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

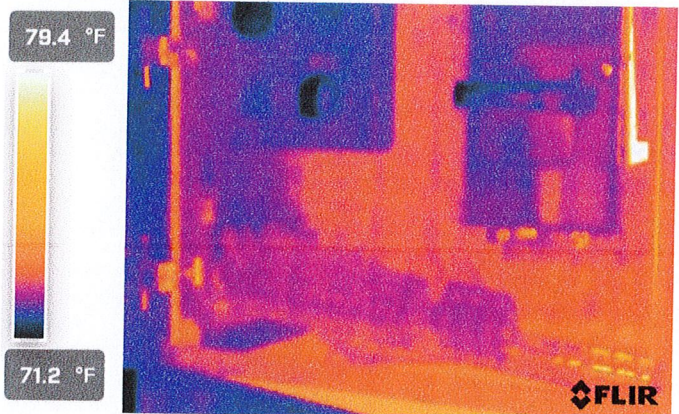
Location- Roof

Starter Cabinet- Chilled
Water 2

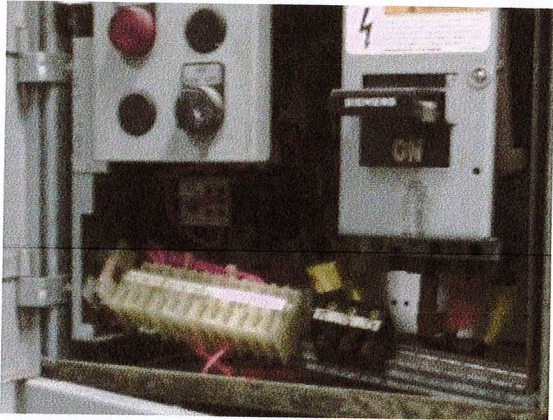
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:13:57 AM



FLIR0362.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0362.jpg
File size	231 KB
Width	320
Height	240
Minimum temp.	70.8 °F
Maximum temp.	80.4 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

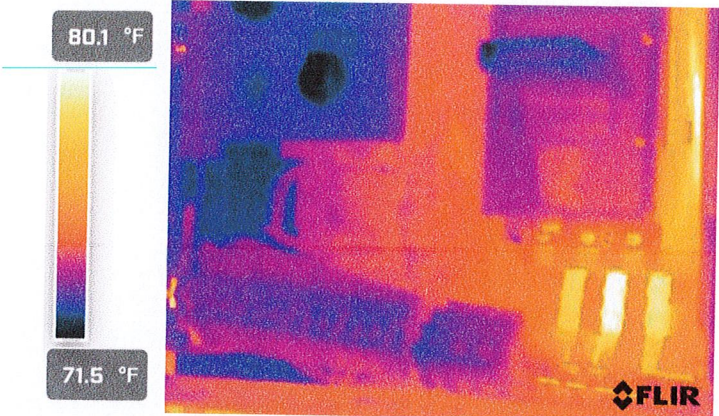
Location- Roof

Starter Cabinet- Chilled
Water 3

Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:14:17 AM



FLIR0363.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0363.jpg
File size	236 KB
Width	320
Height	240
Minimum temp.	71.2 °F
Maximum temp.	80.9 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

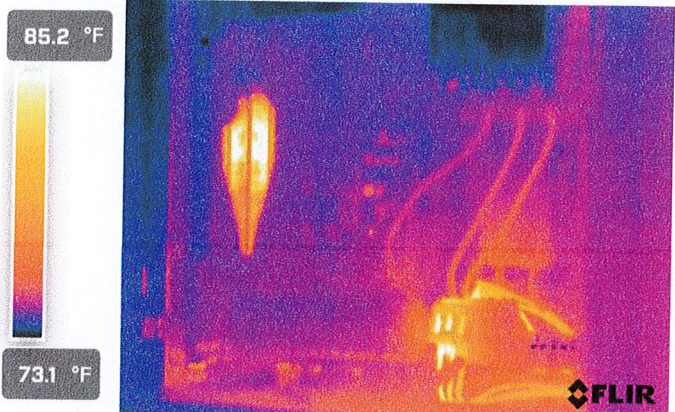
Location- Roof

Starter Cabinet- Chilled
Water 4

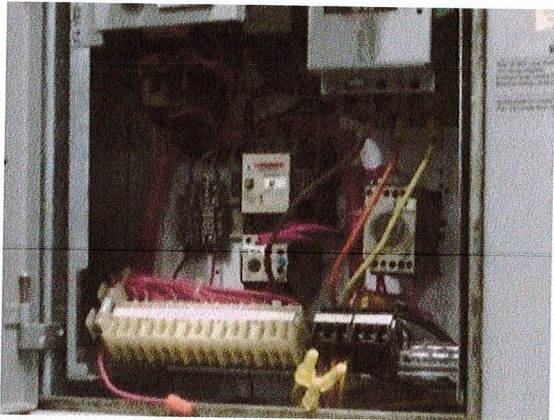
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:16:10 AM



FLIR0365.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0365.jpg
File size	254 KB
Width	320
Height	240
Minimum temp.	72.2 °F
Maximum temp.	90.9 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

Location- Roof

Starter Cabinet- Fan A

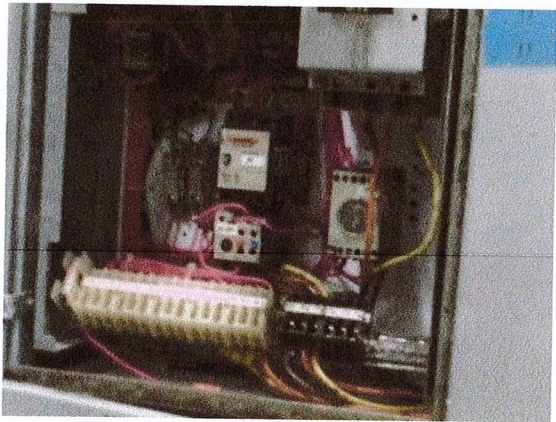
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:16:21 AM



FLIR0366.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0366.jpg
File size	249 KB
Width	320
Height	240
Minimum temp.	72.8 °F
Maximum temp.	145.0 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

Location- Roof

Starter Cabinet- Fan B

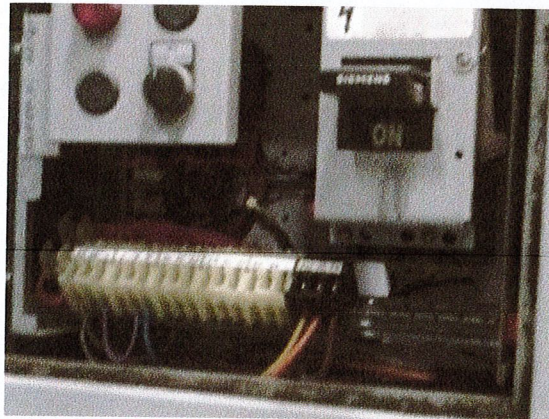
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:16:29 AM



FLIR0367.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0367.jpg
File size	224 KB
Width	320
Height	240
Minimum temp.	71.9 °F
Maximum temp.	83.6 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

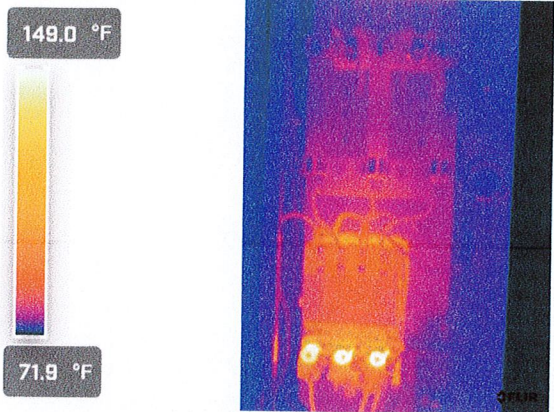
Location- Roof

Starter Cabinet- Air
Compressor

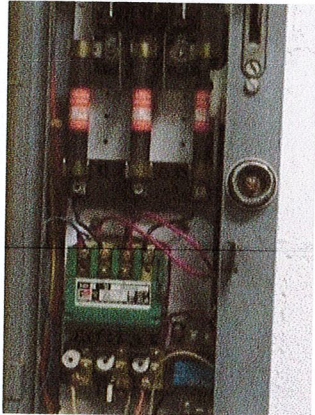
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:19:35 AM



FLIR0368.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0368.jpg
File size	271 KB
Width	240
Height	320
Minimum temp.	71.9 °F
Maximum temp.	160.7 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

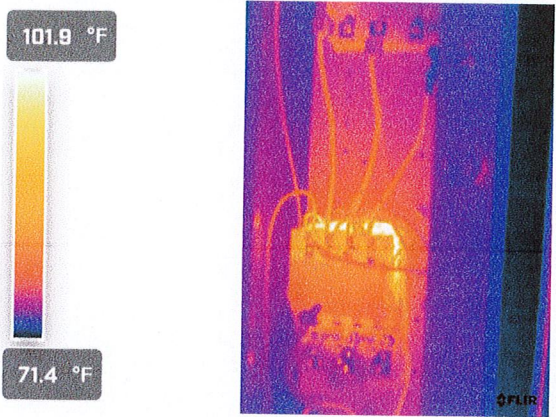
Location- Roof

Starter Cabinet- Starter E1

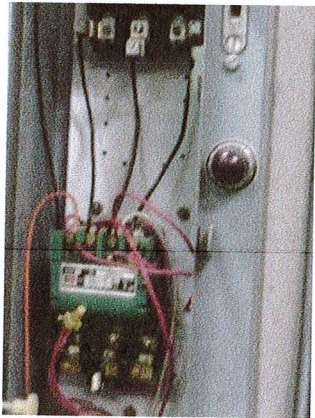
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:20:09 AM



FLIR0369.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0369.jpg
File size	254 KB
Width	240
Height	320
Minimum temp.	71.3 °F
Maximum temp.	113.8 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

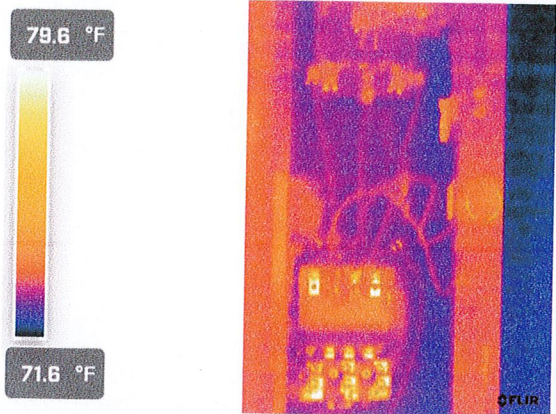
Location- Roof

Starter Cabinet- Starter E2

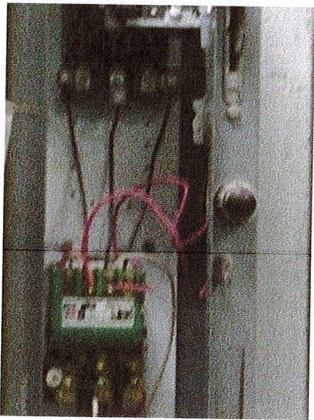
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:20:45 AM



FLIR0370.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0370.jpg
File size	235 KB
Width	240
Height	320
Minimum temp.	71.5 °F
Maximum temp.	85.5 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

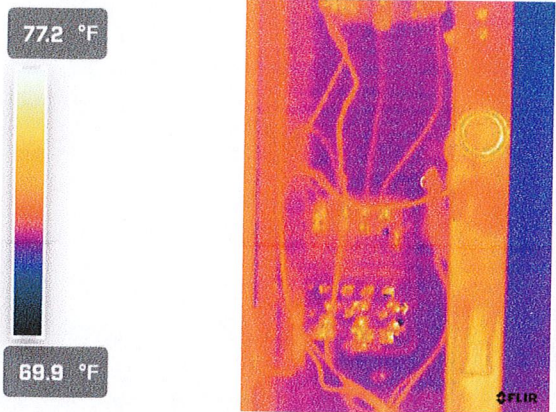
Location- Roof

Starter Cabinet- Starter E3

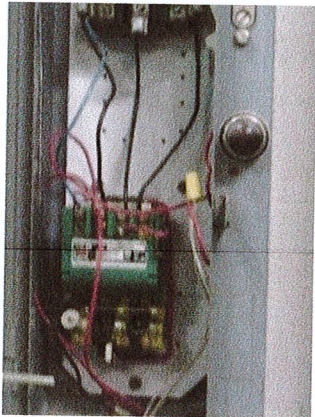
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:21:53 AM



FLIR0372.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0372.jpg
File size	248 KB
Width	240
Height	320
Minimum temp.	70.5 °F
Maximum temp.	81.3 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

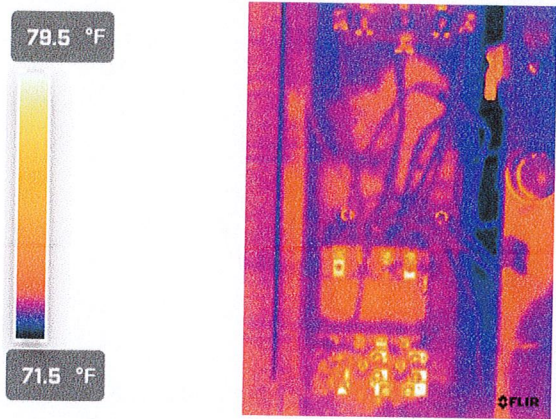
Location- Roof

Starter Cabinet- Starter E7

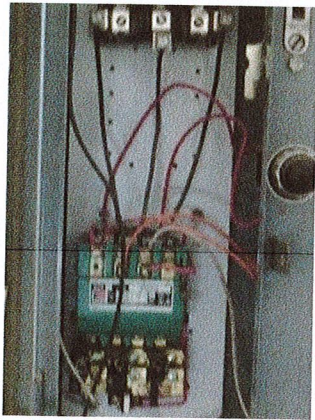
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:22:46 AM



FLIR0373.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0373.jpg
File size	249 KB
Width	240
Height	320
Minimum temp.	71.5 °F
Maximum temp.	81.3 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

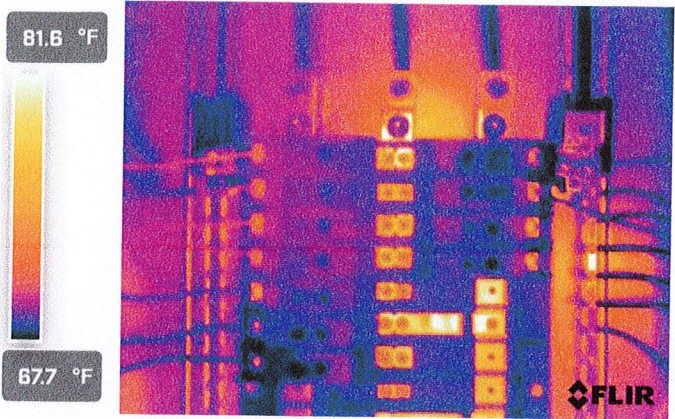
Location- Roof

Starter Cabinet- Starter
SPF-1

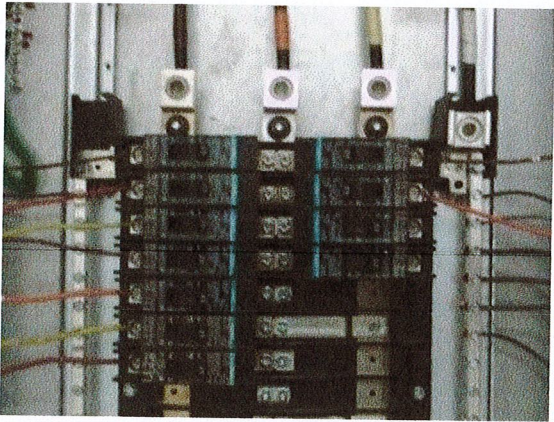
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:27:10 AM



FLIR0374.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0374.jpg
File size	282 KB
Width	320
Height	240
Minimum temp.	67.4 °F
Maximum temp.	86.6 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

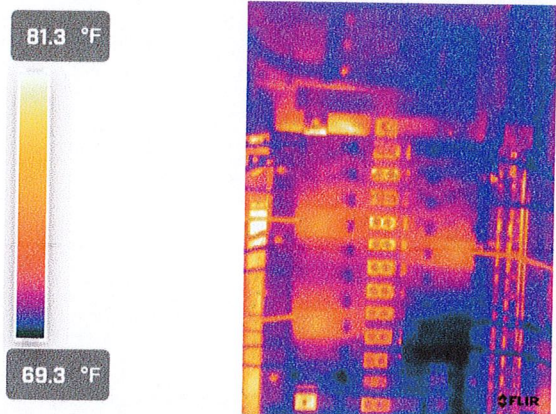
Location- 6th Floor Electric
Room

Panel 6HB

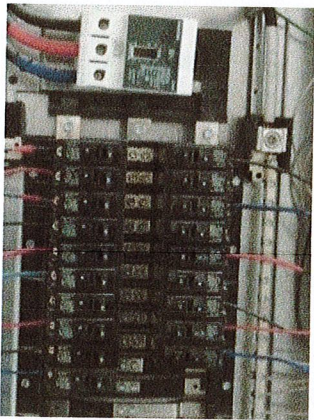
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:27:55 AM



FLIR0375.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0375.jpg
File size	323 KB
Width	240
Height	320
Minimum temp.	69.2 °F
Maximum temp.	84.3 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

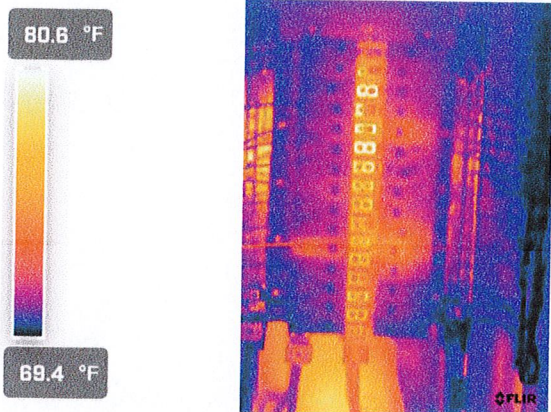
Location- 6th Floor Electric
Room

Panel 6EM

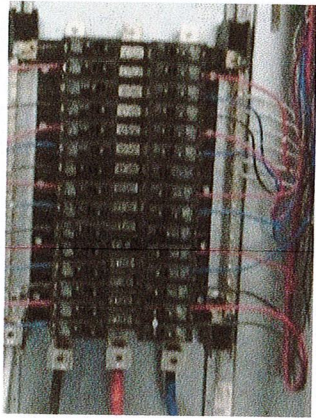
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:28:15 AM



FLIR0376.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0376.jpg
File size	292 KB
Width	240
Height	320
Minimum temp.	69.3 °F
Maximum temp.	84.7 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

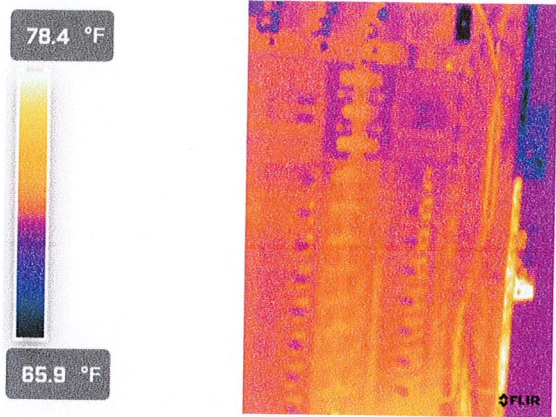
Location- 6th Floor Electric
Room

Panel 6A

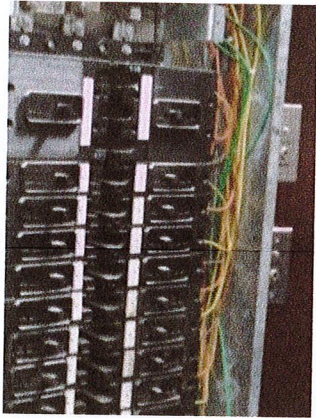
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:29:50 AM



FLIR0377.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0377.jpg
File size	261 KB
Width	240
Height	320
Minimum temp.	62.8 °F
Maximum temp.	81.0 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

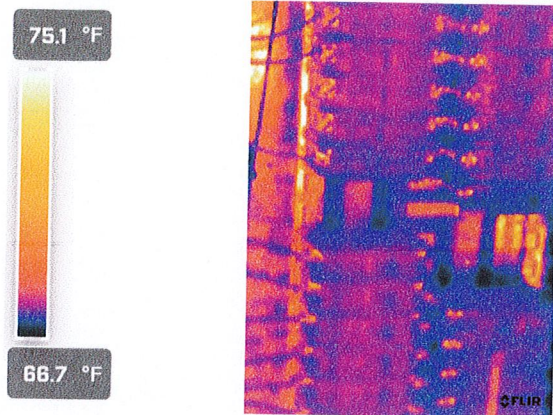
Location- 6th Floor Electric
Room

Panel 6HA

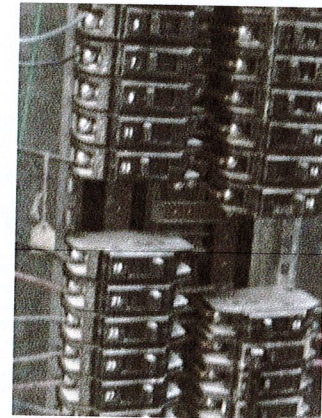
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:38:56 AM



FLIR0386.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0386.jpg
File size	278 KB
Width	240
Height	320
Minimum temp.	66.7 °F
Maximum temp.	78.1 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

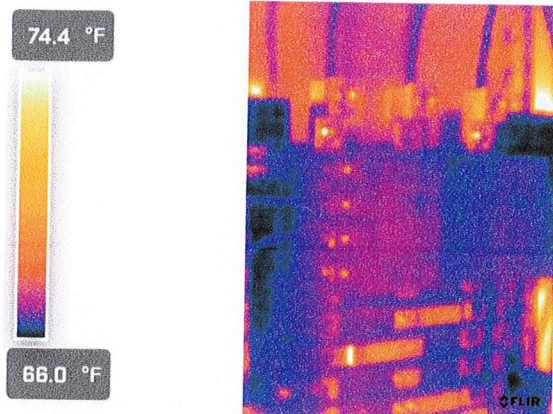
Location- 6th Floor Electric Room

Panel N

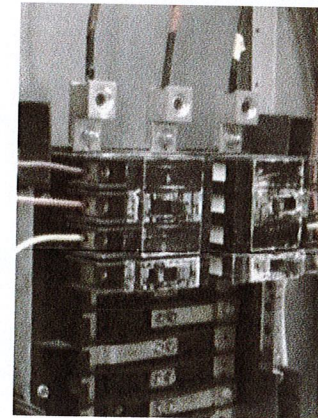
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:39:48 AM



FLIR0387.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0387.jpg
File size	267 KB
Width	240
Height	320
Minimum temp.	65.9 °F
Maximum temp.	77.4 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

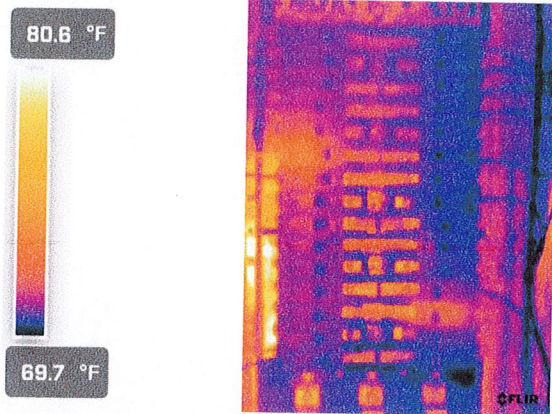
Location- 6th Floor Electric
Room

Panel 6H

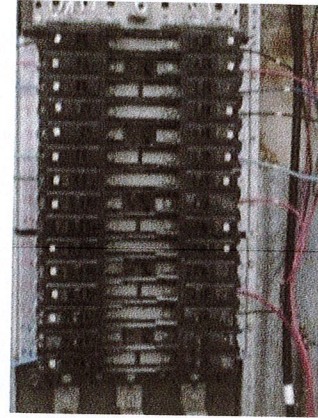
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:37:46 AM



FLIR0384.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0384.jpg
File size	270 KB
Width	240
Height	320
Minimum temp.	69.5 °F
Maximum temp.	82.4 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

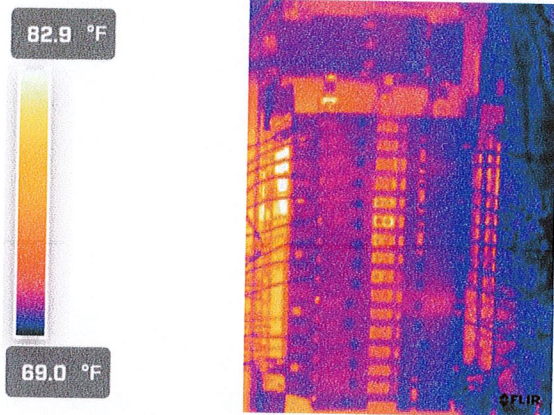
Location- 6th Floor Electric
Room

Panel 6B

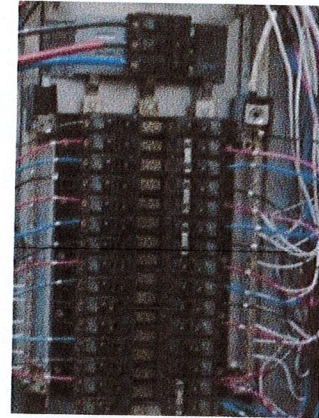
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:38:01 AM



FLIR0385.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0385.jpg
File size	282 KB
Width	240
Height	320
Minimum temp.	68.9 °F
Maximum temp.	87.2 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

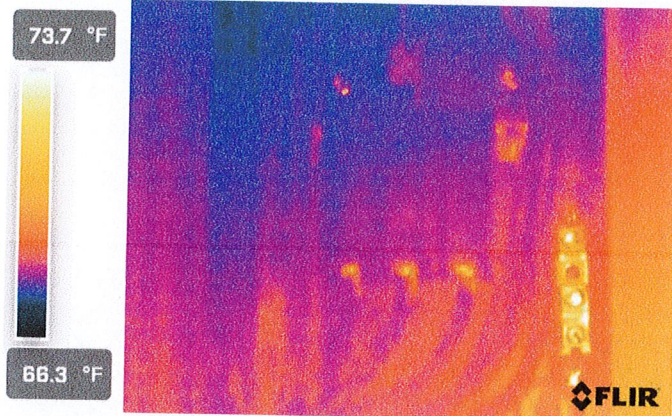
Location- 6th Floor Electric
Room

Panel 6C

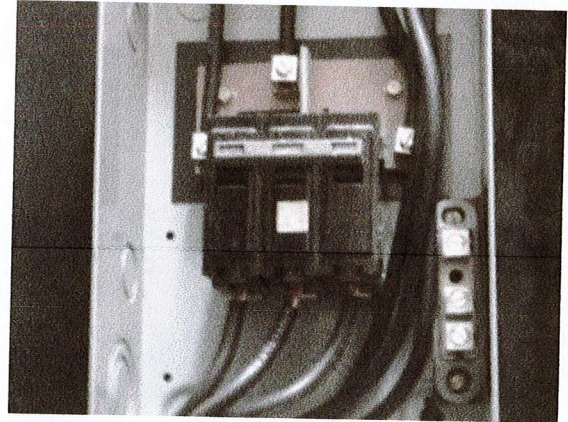
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:40:46 AM



FLIR0388.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0388.jpg
File size	245 KB
Width	320
Height	240
Minimum temp.	67.2 °F
Maximum temp.	80.5 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

Location- 6th Floor Electric
Room

Disconnect- Neon North

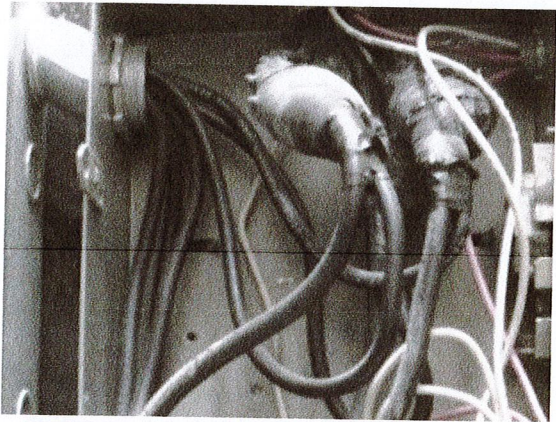
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:41:00 AM



FLIR0389.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0389.jpg
File size	270 KB
Width	320
Height	240
Minimum temp.	67.0 °F
Maximum temp.	74.8 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

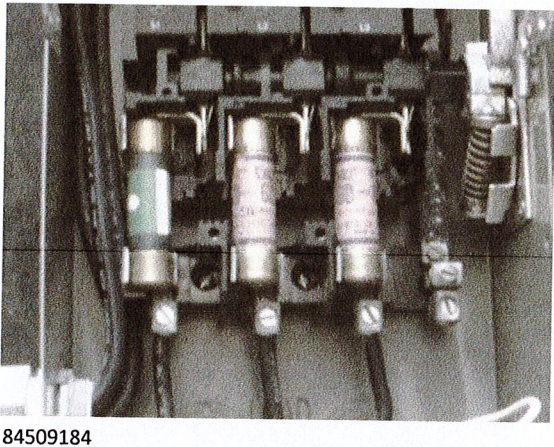
Location- 6th Floor Electric
Room

Disconnect- Neon Top

Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:41:09 AM



Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0390.jpg
File size	279 KB
Width	320
Height	240
Minimum temp.	67.1 °F
Maximum temp.	80.0 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

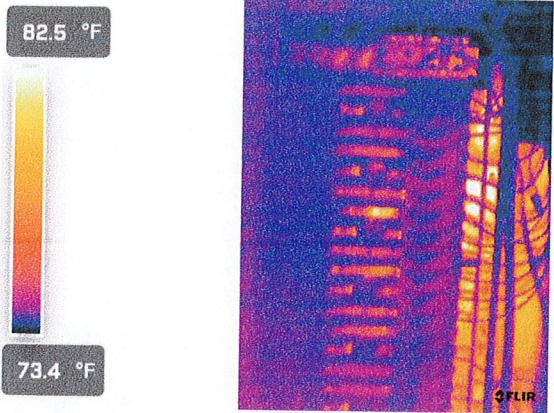
Location- 6th Floor Electric Room

Disconnect- Neon South East

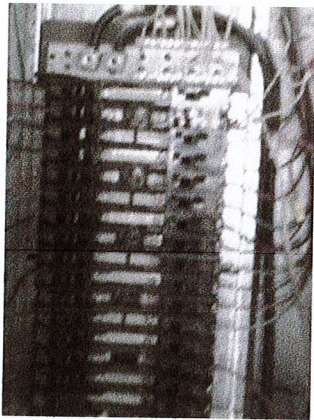
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:32:00 AM



FLIR0378.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0378.jpg
File size	302 KB
Width	240
Height	320
Minimum temp.	73.4 °F
Maximum temp.	84.7 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

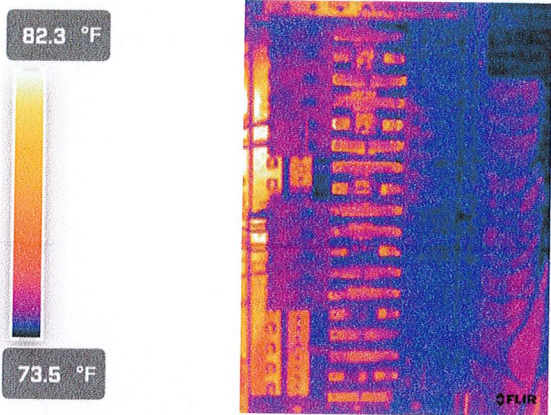
Location- 5th Floor Electric
Room

Panel-5A1

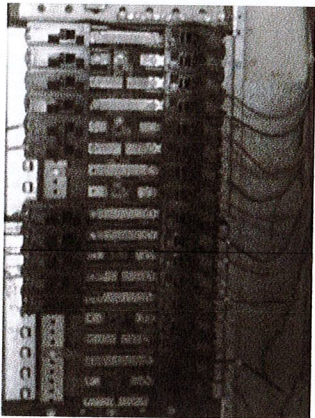
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:32:21 AM



FLIR0379.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0379.jpg
File size	290 KB
Width	240
Height	320
Minimum temp.	73.4 °F
Maximum temp.	85.0 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

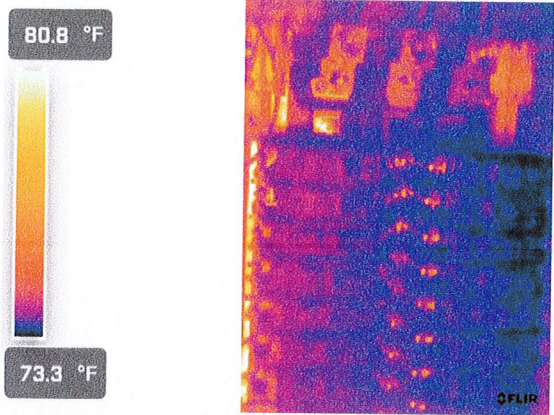
Location- 5th Floor Electric
Room

Panel-5A2

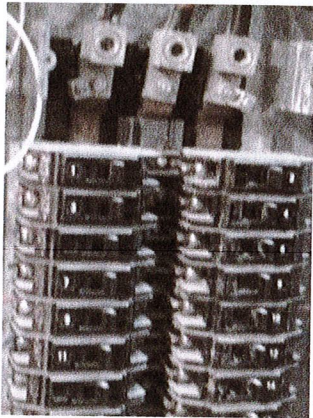
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:34:47 AM



FLIR0380.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0380.jpg
File size	288 KB
Width	240
Height	320
Minimum temp.	73.2 °F
Maximum temp.	87.0 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

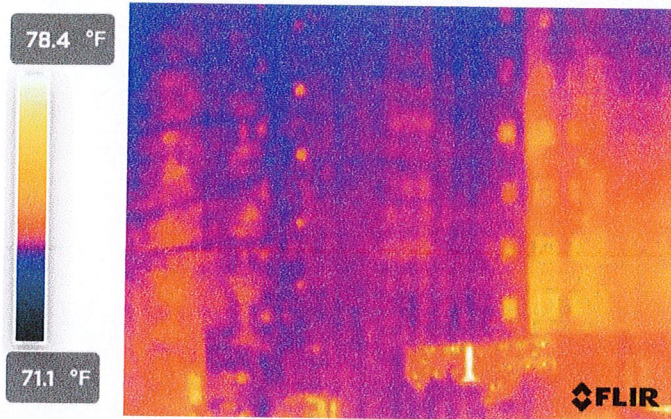
Location- 5th Floor Electric
Room

Panel- L

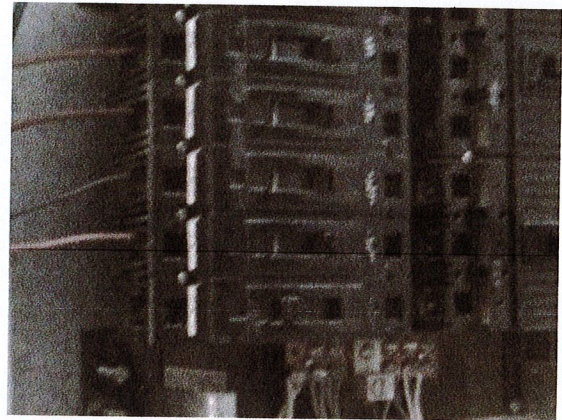
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:35:14 AM



FLIR0381.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0381.jpg
File size	269 KB
Width	320
Height	240
Minimum temp.	73.1 °F
Maximum temp.	80.3 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

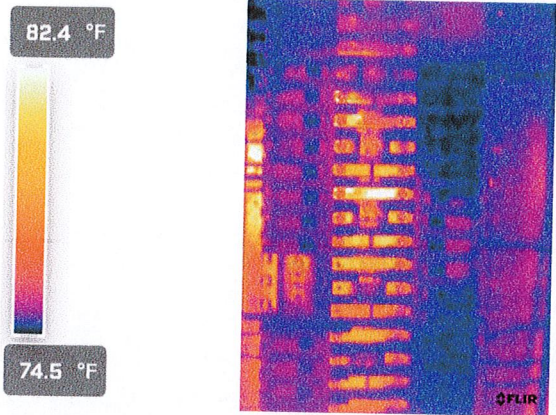
Location- 5th Floor Electric
Room

Panel-5E

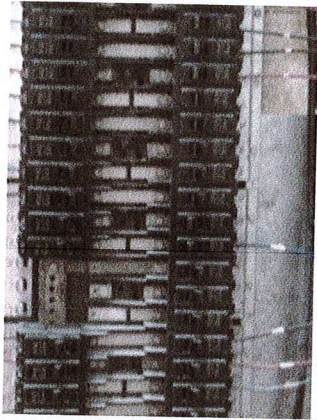
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:36:12 AM



FLIR0383.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0383.jpg
File size	271 KB
Width	240
Height	320
Minimum temp.	74.3 °F
Maximum temp.	84.2 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

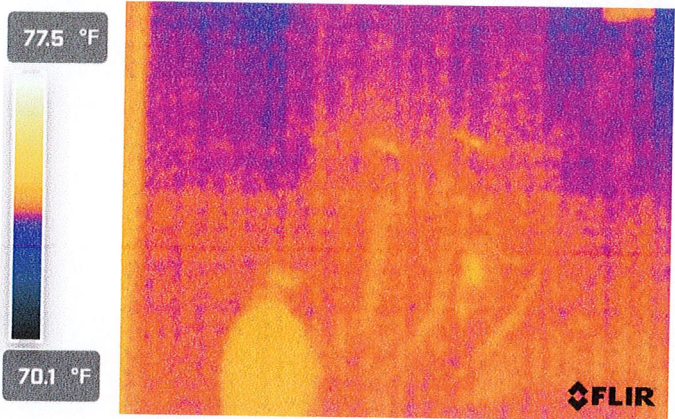
Location- 5th Floor Electric
Room

Panel-5B

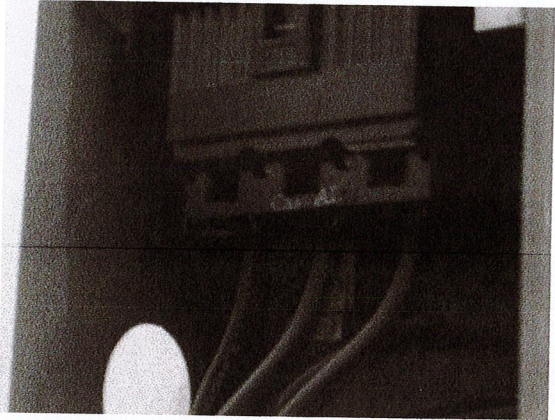
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:35:44 AM



FLIR0382.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0382.jpg
File size	217 KB
Width	320
Height	240
Minimum temp.	73.1 °F
Maximum temp.	74.6 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

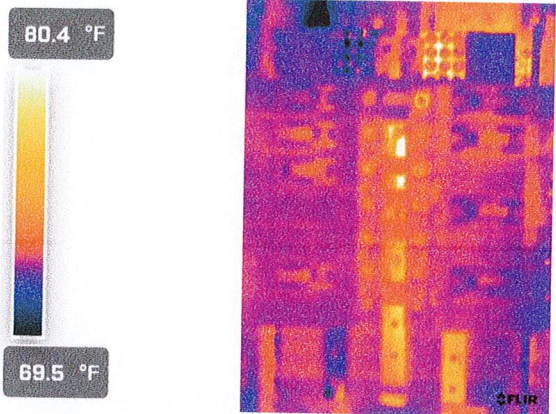
Location- 5th Floor Electric
Room

Disconnect- 5E

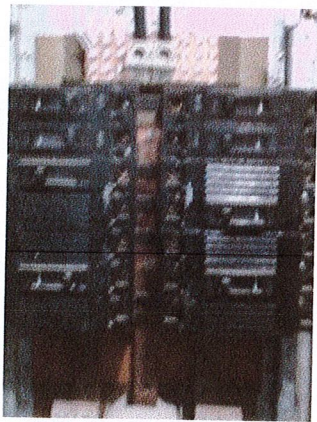
Anomaly- None

2555 Ponce De Leon Blvd

12/18/2023 10:52:29 AM



FLIR0446.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0446.jpg
File size	256 KB
Width	240
Height	320
Minimum temp.	66.1 °F
Maximum temp.	84.0 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

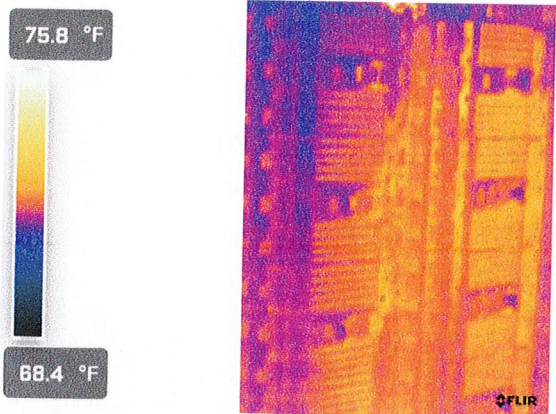
Location- 4th Floor Electric Room

Panel- 4DD1

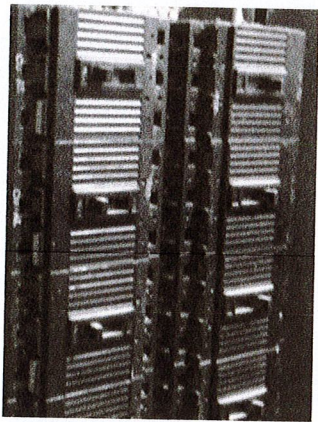
Anomaly- None

2555 Ponce De Leon Blvd

12/18/2023 10:52:06 AM



FLIR0445.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0445.jpg
File size	249 KB
Width	240
Height	320
Minimum temp.	71.0 °F
Maximum temp.	77.1 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

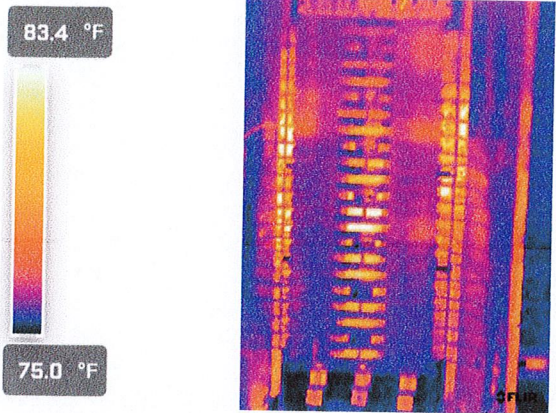
Location- 4th Floor Electric
Room

Panel- 4DD2

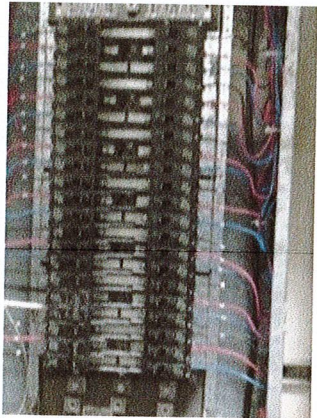
Anomaly- None

2555 Ponce De Leon Blvd

12/18/2023 11:05:14 AM



FLIR0448.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0448.jpg
File size	304 KB
Width	240
Height	320
Minimum temp.	74.8 °F
Maximum temp.	86.4 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

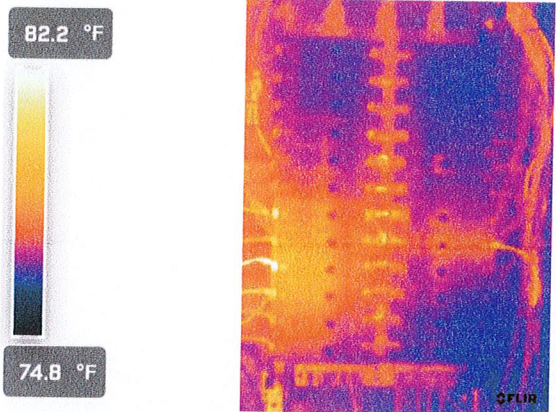
Location- 4th Floor Electric
Room

Panel- 4A

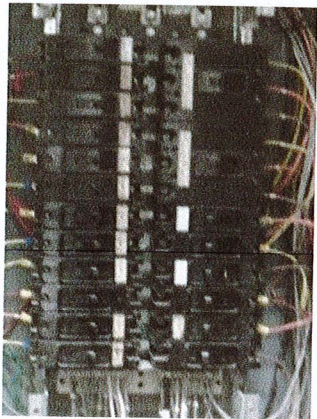
Anomaly- None

2555 Ponce De Leon Blvd

12/18/2023 11:05:40 AM



FLIR0449.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0449.jpg
File size	261 KB
Width	240
Height	320
Minimum temp.	76.0 °F
Maximum temp.	85.8 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

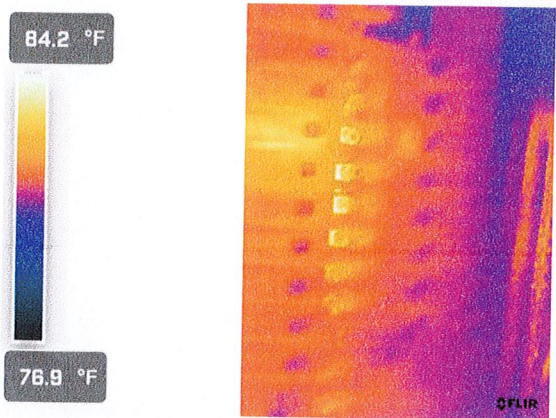
Location- 4th Floor Electric
Room

Panel- 4HA

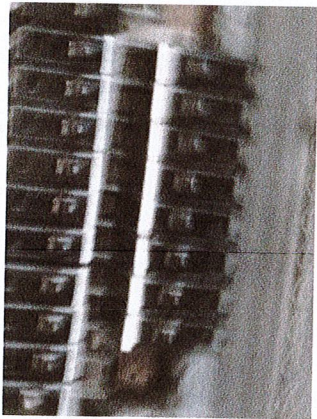
Anomaly- None

2555 Ponce De Leon Blvd

12/18/2023 11:13:18 AM



FLIR0450.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0450.jpg
File size	246 KB
Width	240
Height	320
Minimum temp.	80.2 °F
Maximum temp.	84.7 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

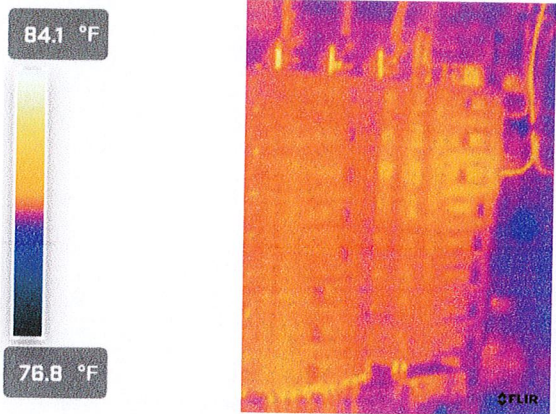
Location- 4th Floor Electric Room

Panel- J1

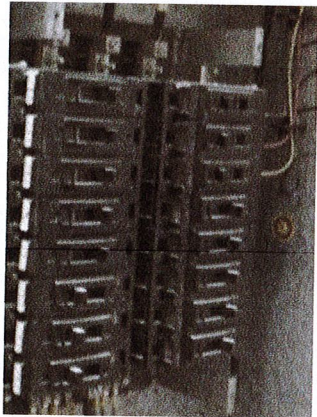
Anomaly- None

2555 Ponce De Leon Blvd

12/18/2023 11:13:39 AM



FLIR0451.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0451.jpg
File size	251 KB
Width	240
Height	320
Minimum temp.	79.5 °F
Maximum temp.	83.3 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

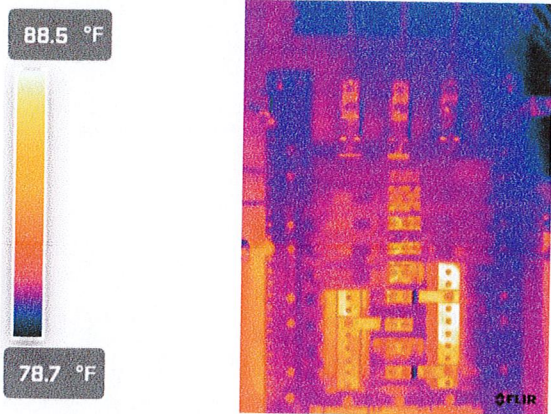
Location- 4th Floor Electric Room

Panel- 4D1

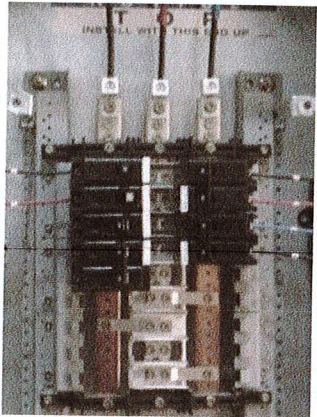
Anomaly- None

2555 Ponce De Leon Blvd

12/18/2023 11:19:26 AM



FLIR0452.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0452.jpg
File size	248 KB
Width	240
Height	320
Minimum temp.	78.4 °F
Maximum temp.	89.5 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

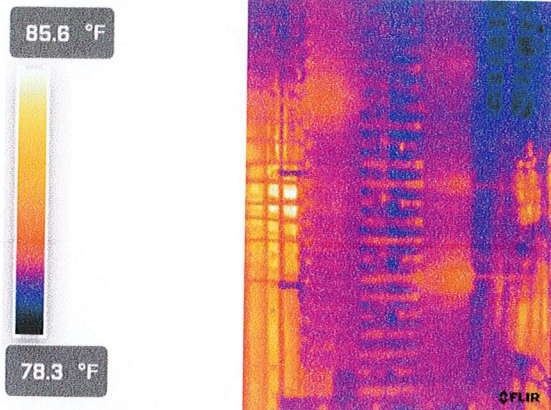
Location- 4th Floor Electric
Room

Panel- 4B2

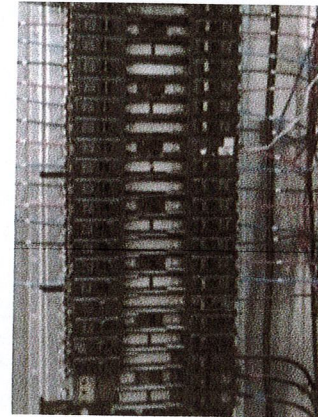
Anomaly- None

2555 Ponce De Leon Blvd

12/18/2023 11:20:13 AM



FLIR0453.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0453.jpg
File size	264 KB
Width	240
Height	320
Minimum temp.	78.6 °F
Maximum temp.	86.1 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

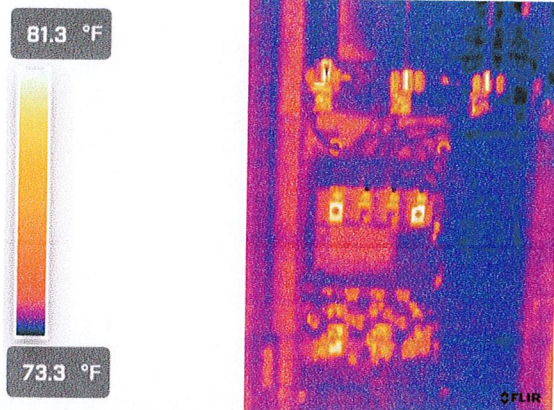
Location- 4th Floor Electric
Room

Panel- 4B

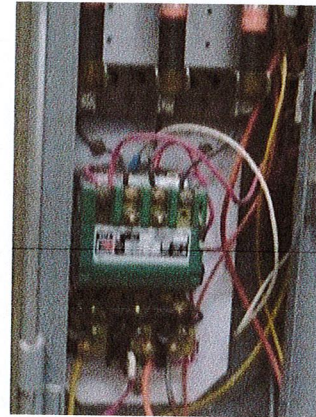
Anomaly- None

2555 Ponce De Leon Blvd

12/18/2023 11:00:48 AM



FLIR0447.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0447.jpg
File size	252 KB
Width	240
Height	320
Minimum temp.	72.1 °F
Maximum temp.	84.3 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

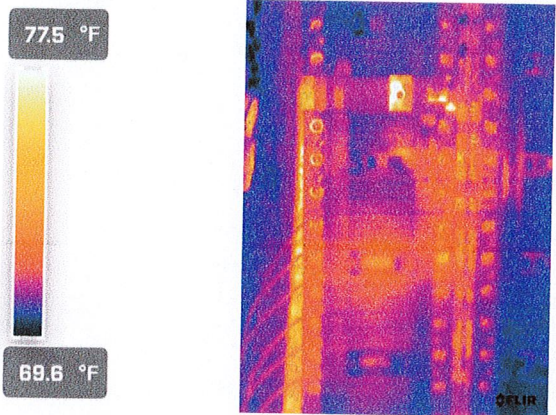
Location- 4th Floor Electric
Room

Disconnect- Fan SR

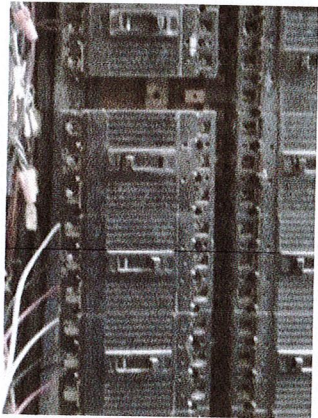
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:45:30 AM



FLIR0391.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0391.jpg
File size	287 KB
Width	240
Height	320
Minimum temp.	66.3 °F
Maximum temp.	88.2 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

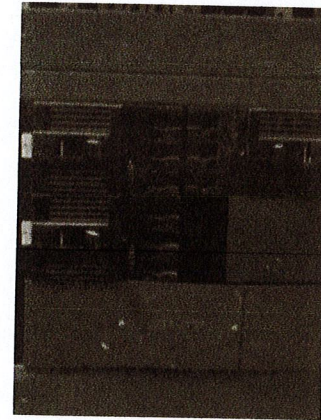
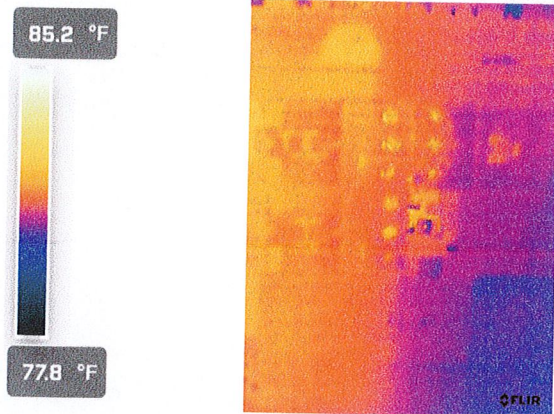
Location- 3rd Floor Electric
Room

Panel- 3DB

Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:48:48 AM



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0392.jpg
File size	252 KB
Width	240
Height	320
Minimum temp.	79.1 °F
Maximum temp.	83.7 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

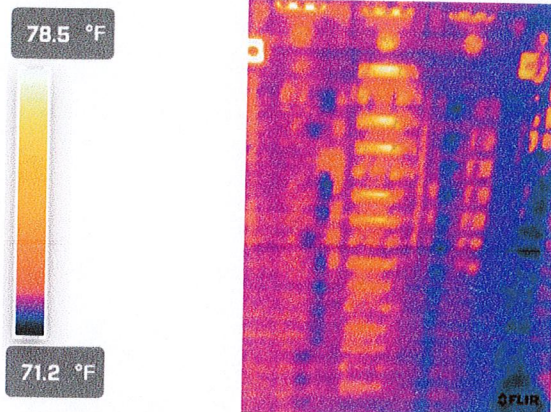
Location- 3rd Floor Electric
Room

Panel- DB

Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:53:05 AM



FLIR0396.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0396.jpg
File size	247 KB
Width	240
Height	320
Minimum temp.	71.3 °F
Maximum temp.	83.5 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

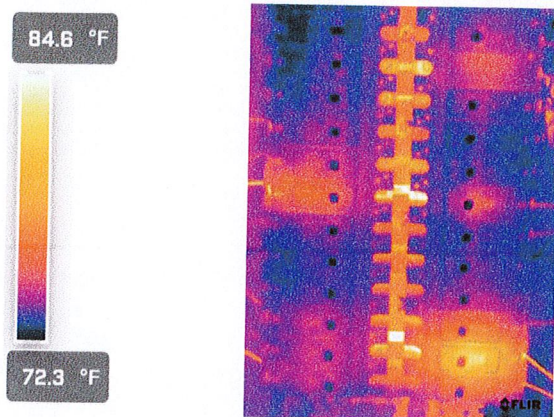
Location- 3rd Floor Electric
Room

Panel- 3A1

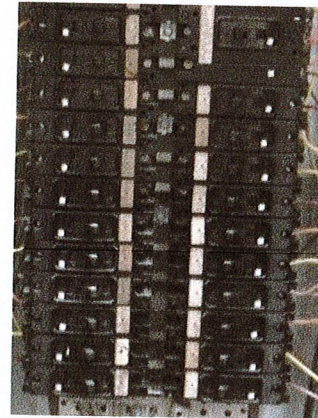
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:53:25 AM



FLIR0397.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0397.jpg
File size	309 KB
Width	240
Height	320
Minimum temp.	72.0 °F
Maximum temp.	92.2 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

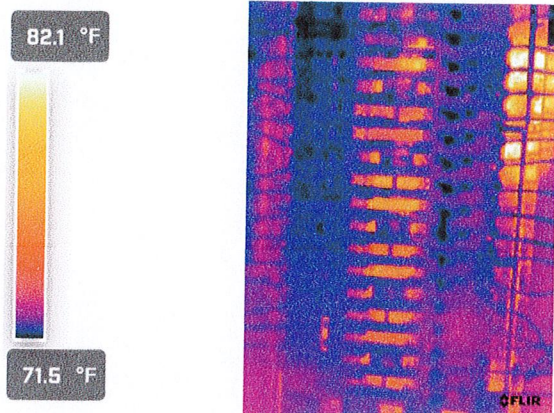
Location- 3rd Floor Electric
Room

Panel- 3HA

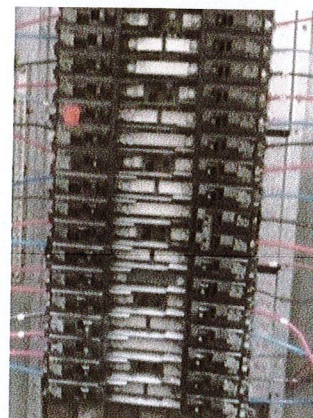
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:53:41 AM



FLIR0398.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0398.jpg
File size	312 KB
Width	240
Height	320
Minimum temp.	71.3 °F
Maximum temp.	84.4 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

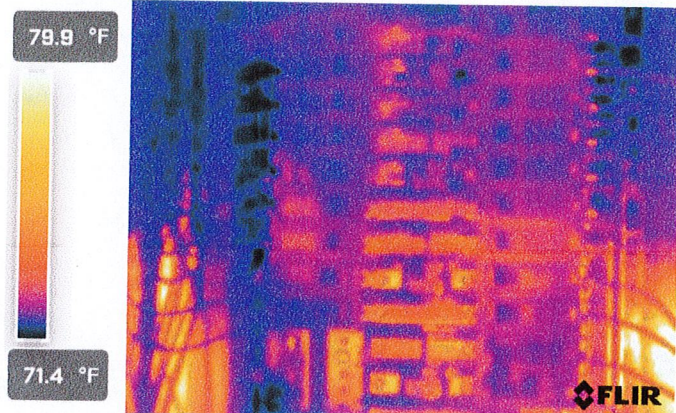
Location- 3rd Floor Electric
Room

Panel- 3A

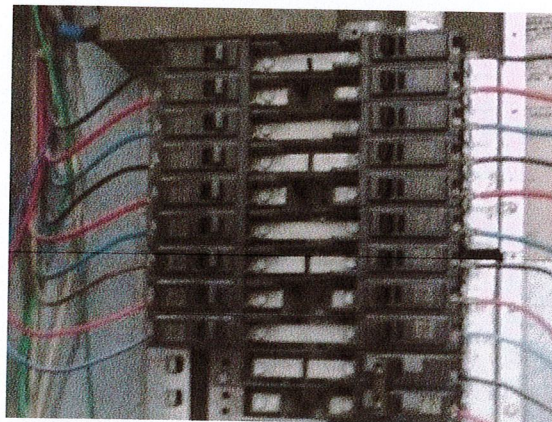
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:54:51 AM



FLIR0399.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0399.jpg
File size	285 KB
Width	320
Height	240
Minimum temp.	71.1 °F
Maximum temp.	82.8 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

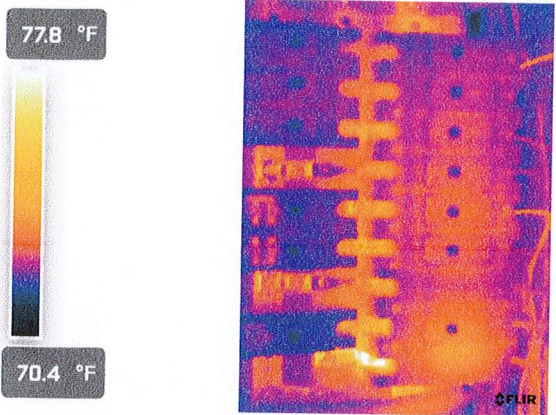
Location- 3rd Floor Electric Room

Panel- 3EA

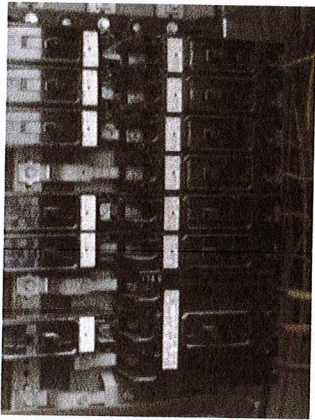
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:55:24 AM



FLIR0400.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0400.jpg
File size	256 KB
Width	240
Height	320
Minimum temp.	71.2 °F
Maximum temp.	79.3 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

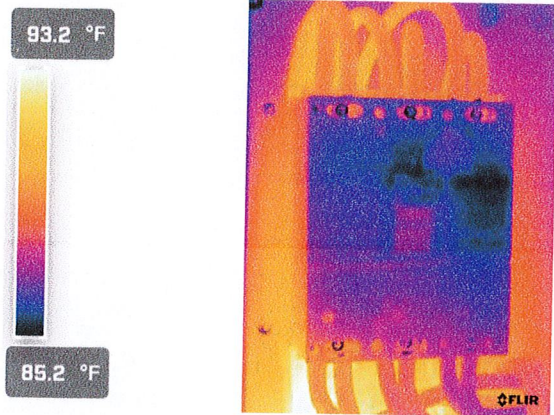
Location- 3rd Floor Electric
Room

Panel- 3EHA

Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:49:25 AM



FLIR0393.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0393.jpg
File size	247 KB
Width	240
Height	320
Minimum temp.	82.0 °F
Maximum temp.	93.5 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

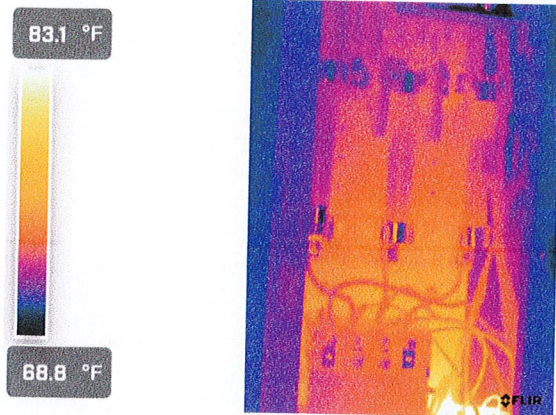
Location- 3rd Floor Electric
Room

Disconnect- D3

Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:50:57 AM



FLIR0394.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0394.jpg
File size	244 KB
Width	240
Height	320
Minimum temp.	66.2 °F
Maximum temp.	85.6 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

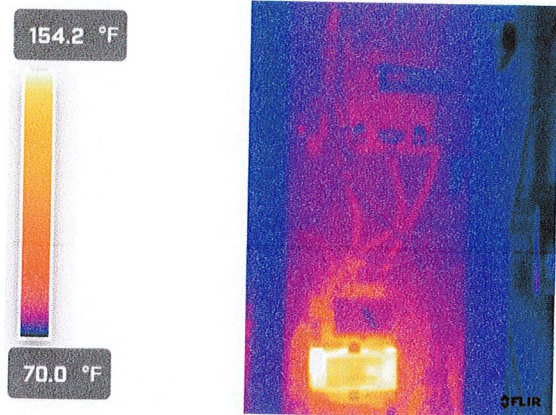
Location- 3rd Floor Electric Room

Disconnect- Smoke Fan

Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:51:43 AM



FLIR0395.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0395.jpg
File size	247 KB
Width	240
Height	320
Minimum temp.	70.0 °F
Maximum temp.	176.0 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

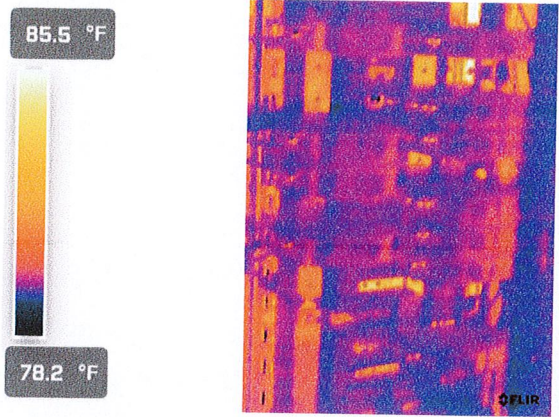
Location- 3rd Floor Electric Room

Disconnect- AHU 3

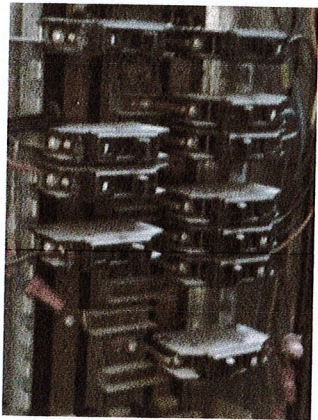
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:57:10 AM



FLIR0401.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0401.jpg
File size	289 KB
Width	240
Height	320
Minimum temp.	78.0 °F
Maximum temp.	86.5 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

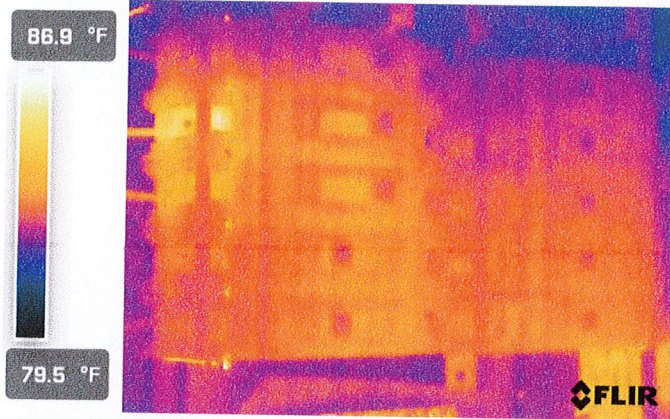
Location- 3rd Floor Electric
Room

Panel- J

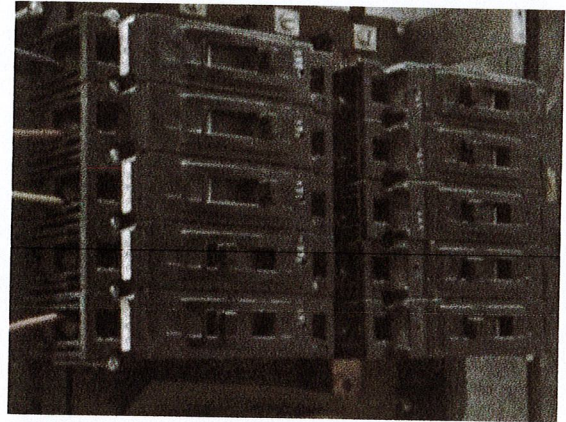
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:57:38 AM



FLIR0402.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0402.jpg
File size	274 KB
Width	320
Height	240
Minimum temp.	80.9 °F
Maximum temp.	89.1 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

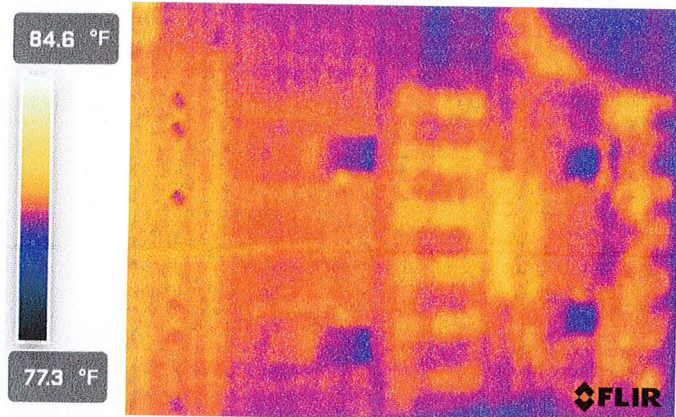
Location- 3rd Floor Electric
Room

Panel- 2D

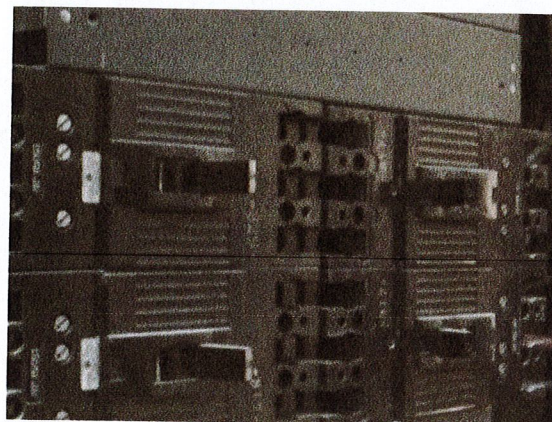
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:58:10 AM



FLIR0403.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0403.jpg
File size	273 KB
Width	320
Height	240
Minimum temp.	79.8 °F
Maximum temp.	82.1 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

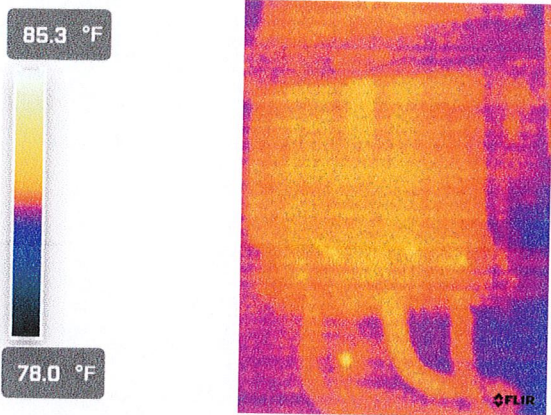
Location- 3rd Floor Electric Room

Panel- DA3

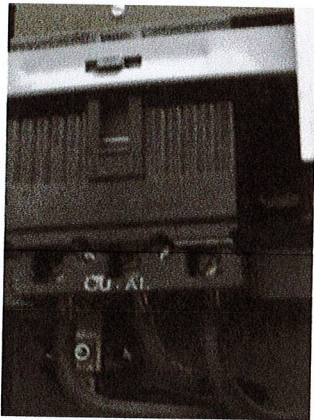
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:58:29 AM



FLIR0404.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0404.jpg
File size	258 KB
Width	240
Height	320
Minimum temp.	80.9 °F
Maximum temp.	84.2 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

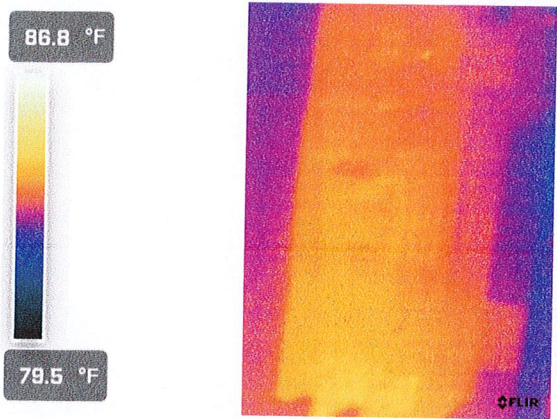
Location- 3rd Floor Electric
Room

Disconnect- 2D

Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:59:22 AM



FLIR0405.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0405.jpg
File size	234 KB
Width	240
Height	320
Minimum temp.	81.9 °F
Maximum temp.	84.5 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

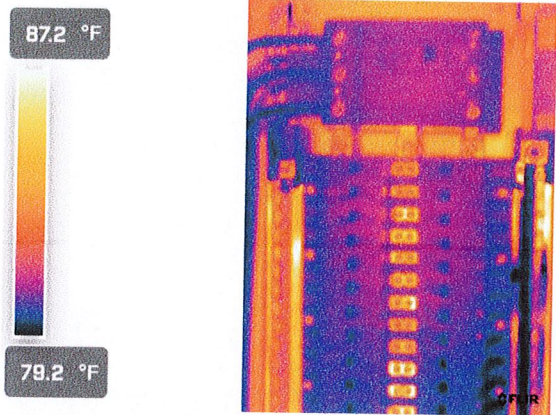
Location- 3rd Floor Electric
Room

Disconnect- DA3

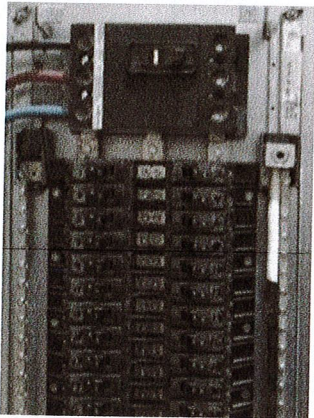
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 9:59:54 AM



FLIR0406.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0406.jpg
File size	272 KB
Width	240
Height	320
Minimum temp.	78.7 °F
Maximum temp.	90.6 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

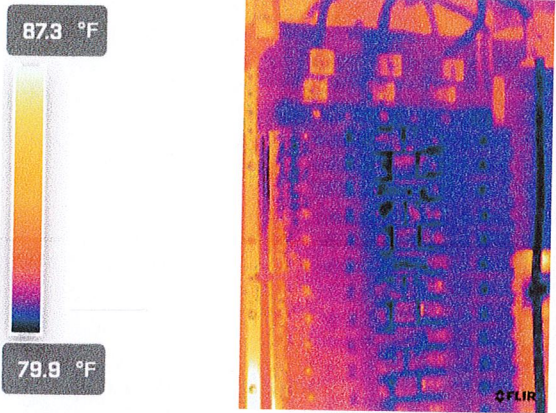
Location- 3rd Floor Electric
Room

Panel- 3C

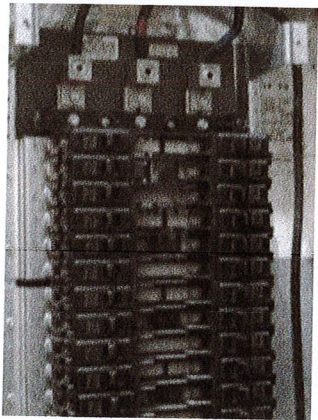
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:00:27 AM



FLIR0407.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0407.jpg
File size	257 KB
Width	240
Height	320
Minimum temp.	79.7 °F
Maximum temp.	93.2 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

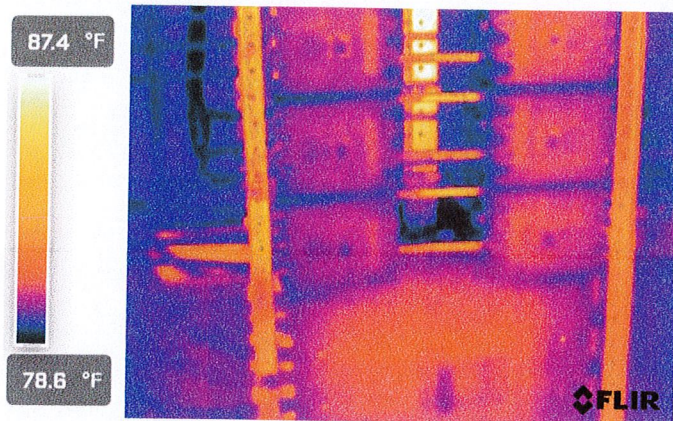
Location- 3rd Floor Electric Room

Panel- 3B

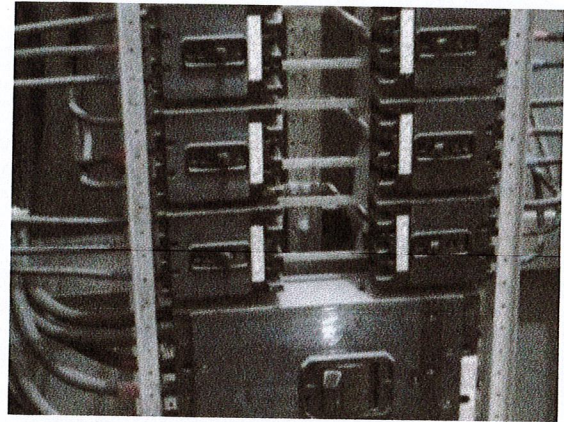
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:01:05 AM



FLIR0408.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0408.jpg
File size	285 KB
Width	320
Height	240
Minimum temp.	78.5 °F
Maximum temp.	90.8 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

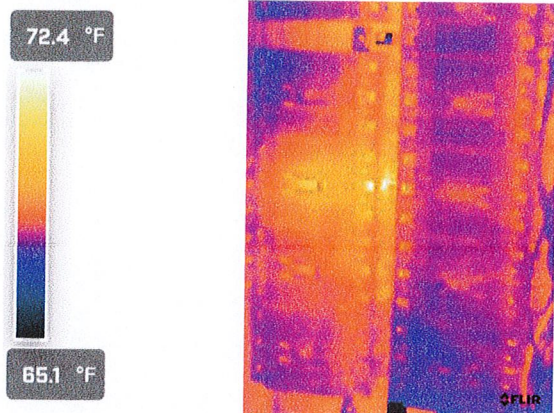
Location- 3rd Floor Electric Room

Panel- 3DA

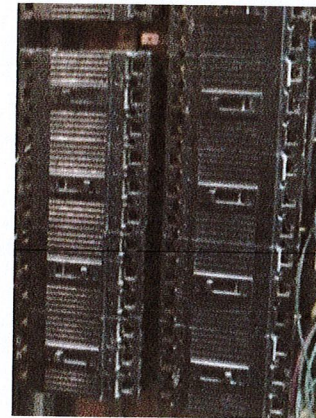
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 12:17:33 PM



FLIR0434.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0434.jpg
File size	288 KB
Width	240
Height	320
Minimum temp.	64.0 °F
Maximum temp.	73.2 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

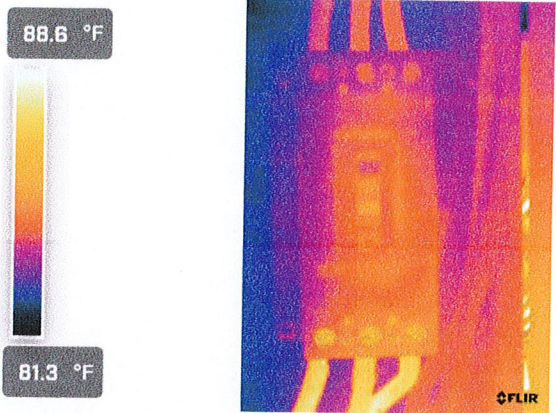
Location- 3rd Floor Electric
Room

Panel- 3DB

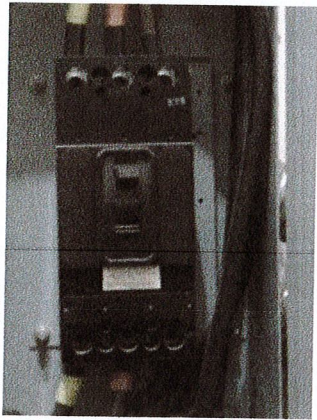
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:01:26 AM



FLIR0409.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0409.jpg
File size	242 KB
Width	240
Height	320
Minimum temp.	81.6 °F
Maximum temp.	95.5 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

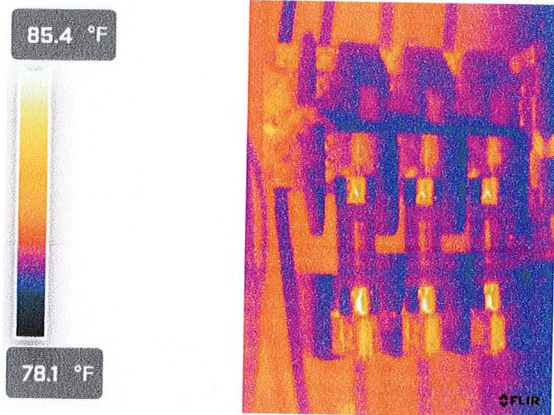
Location- 3rd Floor Electric
Room

Disconnect- T2

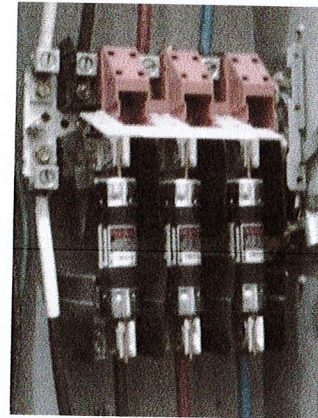
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:02:14 AM



FLIR0410.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0410.jpg
File size	268 KB
Width	240
Height	320
Minimum temp.	79.2 °F
Maximum temp.	88.4 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

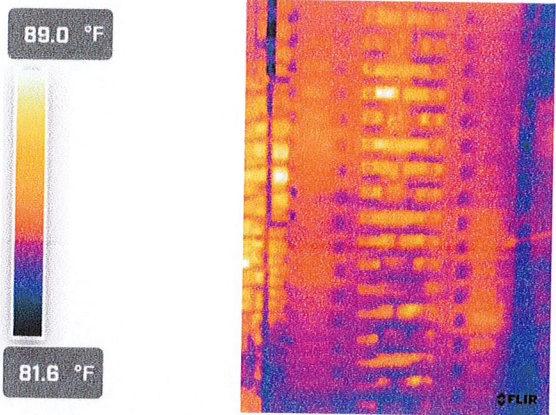
Location- 3rd Floor Electric
Room

Disconnect- "Not Labeled"

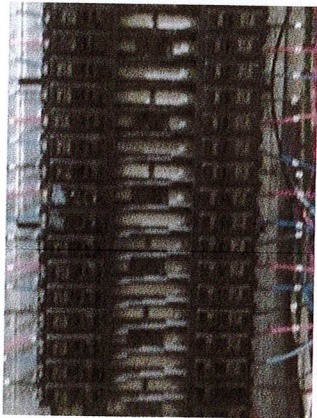
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:04:23 AM



FLIR0411.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0411.jpg
File size	278 KB
Width	240
Height	320
Minimum temp.	81.7 °F
Maximum temp.	89.1 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

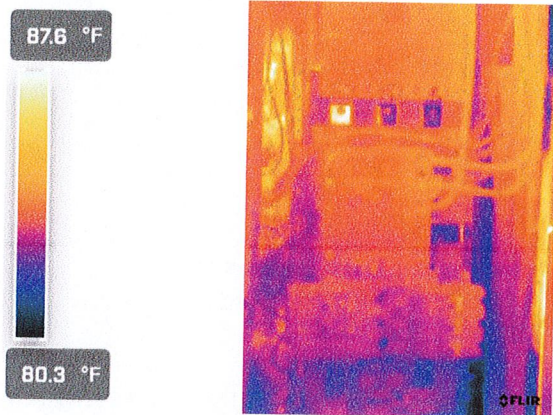
Location- 2nd Floor Electric
Room

Panel- 2B

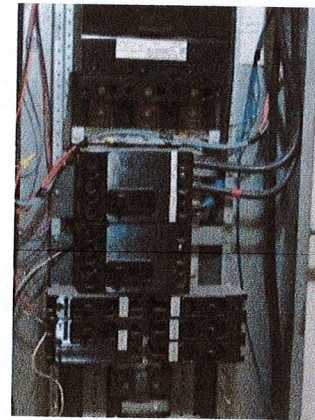
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:04:45 AM



FLIR0412.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0412.jpg
File size	275 KB
Width	240
Height	320
Minimum temp.	80.0 °F
Maximum temp.	89.7 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

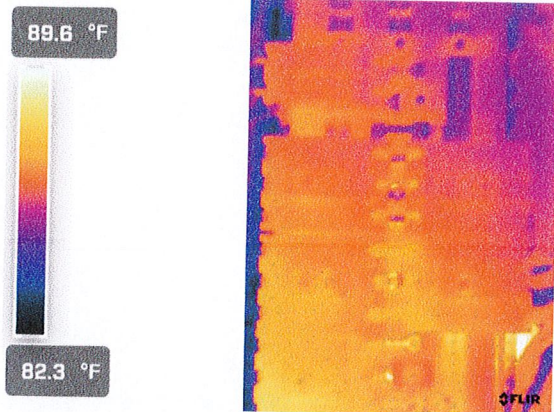
Location- 2nd Floor Electric
Room

Panel- CED

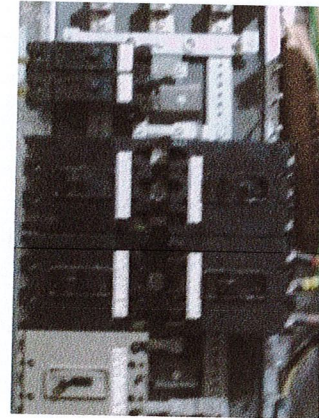
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:05:08 AM



FLIR0413.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0413.jpg
File size	242 KB
Width	240
Height	320
Minimum temp.	82.9 °F
Maximum temp.	90.1 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

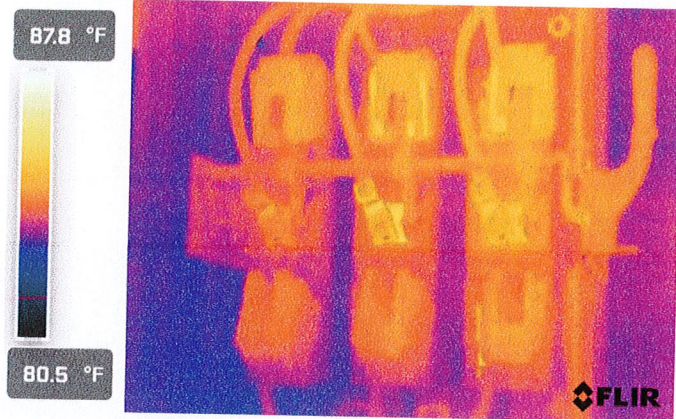
Location- 2nd Floor Electric
Room

Panel- CEHA

Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:05:38 AM



FLIR0414.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0414.jpg
File size	230 KB
Width	320
Height	240
Minimum temp.	82.5 °F
Maximum temp.	86.0 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

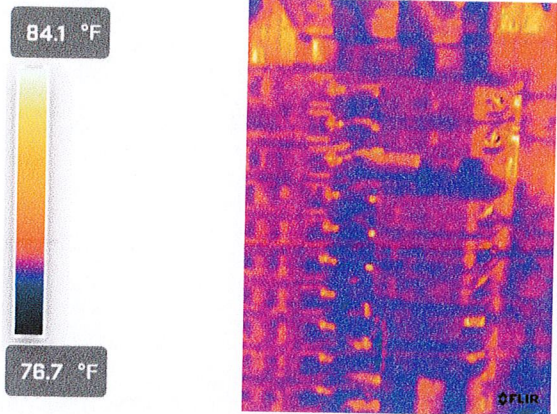
Location- 2nd Floor Electric
Room

Transfer Switch

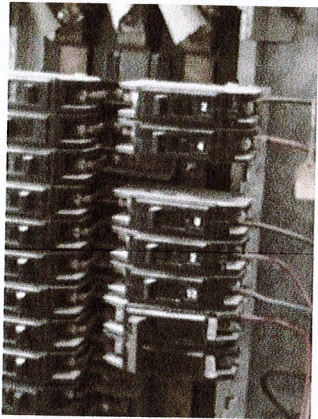
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:07:30 AM



FLIR0415.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0415.jpg
File size	303 KB
Width	240
Height	320
Minimum temp.	77.9 °F
Maximum temp.	85.1 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

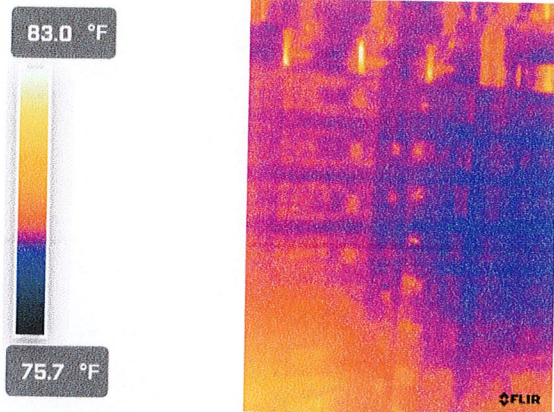
Location- 2nd Floor Electric Room

Panel- F

Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:08:54 AM



FLIR0416.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0416.jpg
File size	277 KB
Width	240
Height	320
Minimum temp.	77.9 °F
Maximum temp.	83.6 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

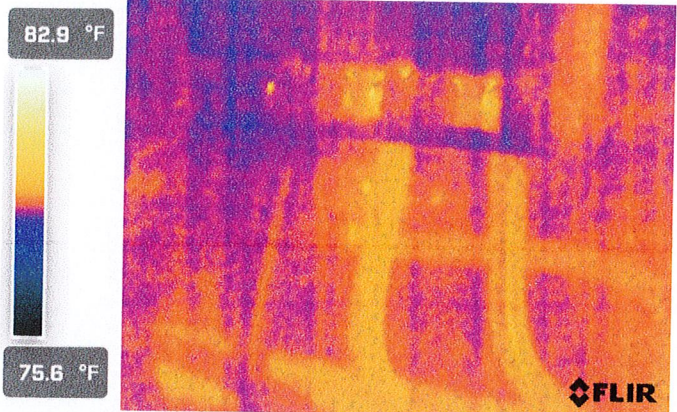
Location- 2nd Floor Electric
Room

Panel- H2

Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:11:08 AM



FLIR0418.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0418.jpg
File size	242 KB
Width	320
Height	240
Minimum temp.	78.7 °F
Maximum temp.	82.3 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

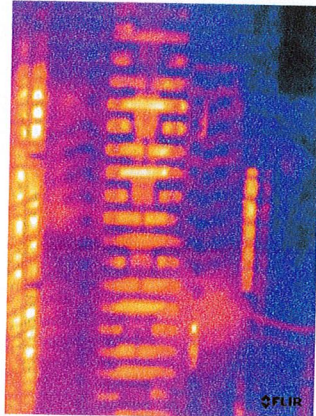
Location- 2nd Floor Electric
Room

Disconnect- 2H

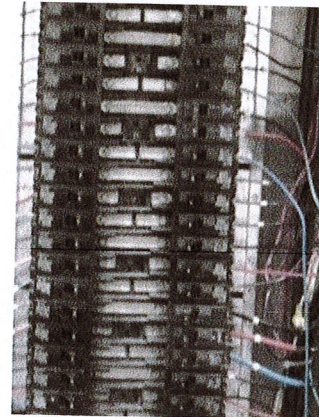
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:13:05 AM



FLIR0419.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0419.jpg
File size	292 KB
Width	240
Height	320
Minimum temp.	72.6 °F
Maximum temp.	84.6 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

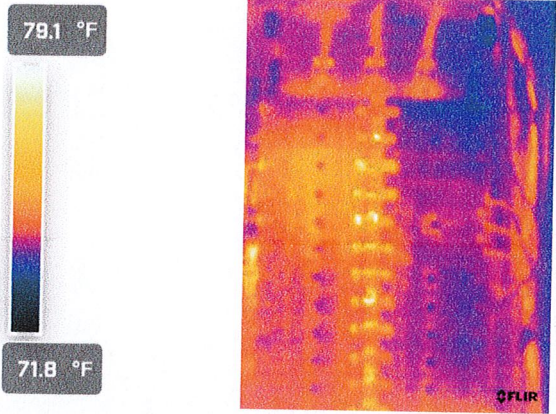
Location- 2nd Floor Electric
Room

Panel- 2A

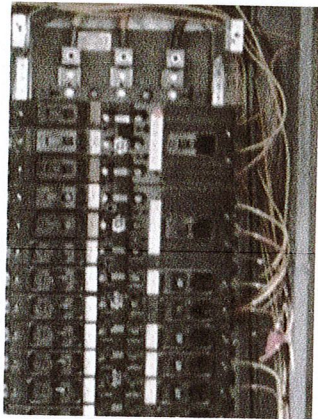
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:13:19 AM



FLIR0420.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0420.jpg
File size	276 KB
Width	240
Height	320
Minimum temp.	73.1 °F
Maximum temp.	80.3 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

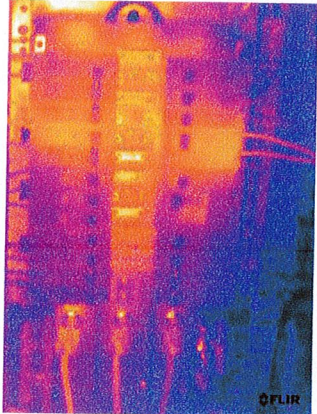
Location- 2nd Floor Electric
Room

Panel- 2HA

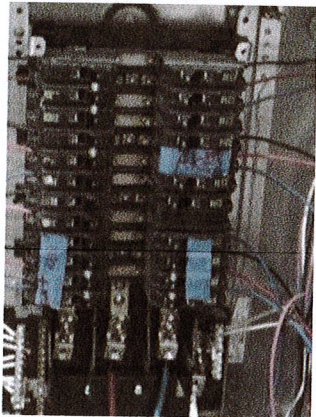
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:13:36 AM



FLIR0421.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0421.jpg
File size	275 KB
Width	240
Height	320
Minimum temp.	73.7 °F
Maximum temp.	82.9 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

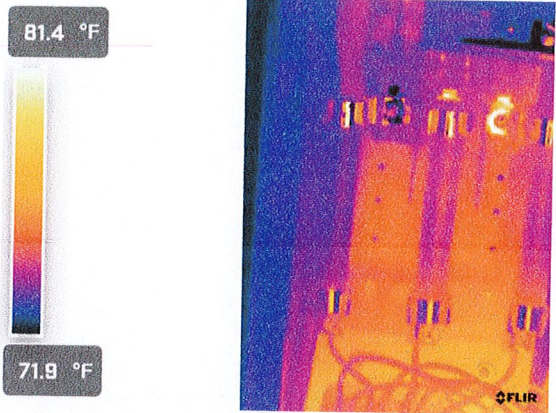
Location- 2nd Floor Electric
Room

Panel- 2A1

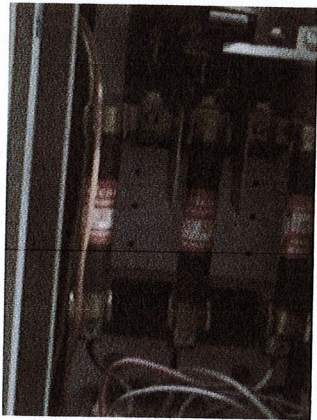
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:15:06 AM



FLIR0422.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0422.jpg
File size	245 KB
Width	240
Height	320
Minimum temp.	65.1 °F
Maximum temp.	85.1 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

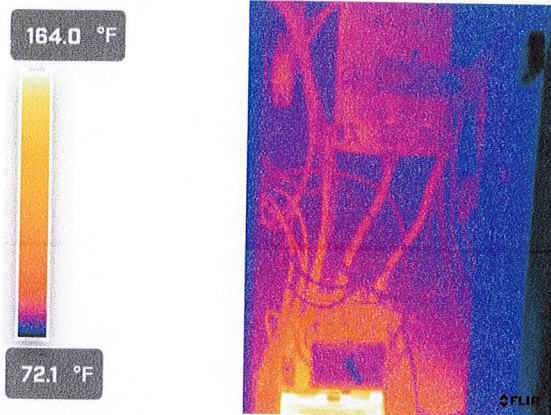
Location- 2nd Floor Electric
Room

Disconnect- FL

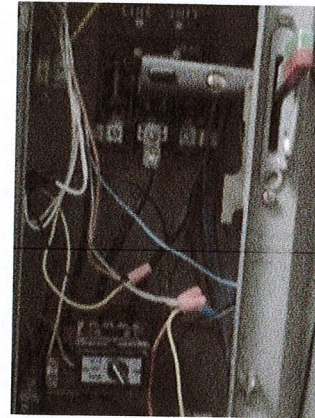
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:15:43 AM



FLIR0423.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0423.jpg
File size	255 KB
Width	240
Height	320
Minimum temp.	72.1 °F
Maximum temp.	196.9 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

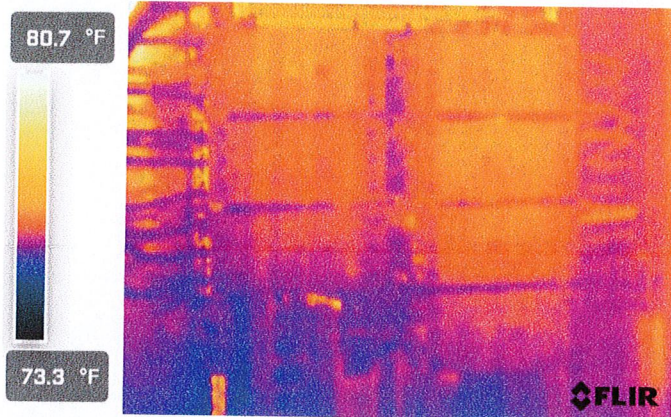
Location- 2nd Floor Electric
Room

Disconnect- AHU-2

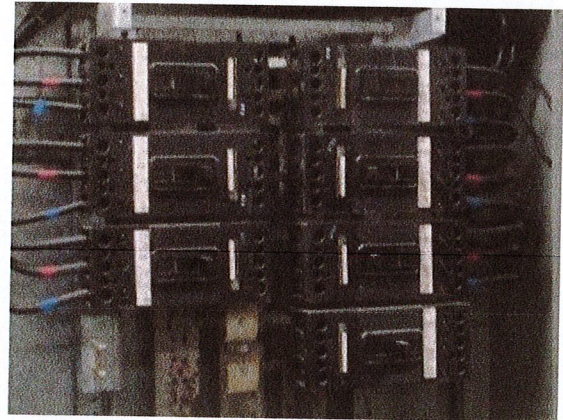
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:21:39 AM



FLIR0424.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0424.jpg
File size	233 KB
Width	320
Height	240
Minimum temp.	75.1 °F
Maximum temp.	84.3 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

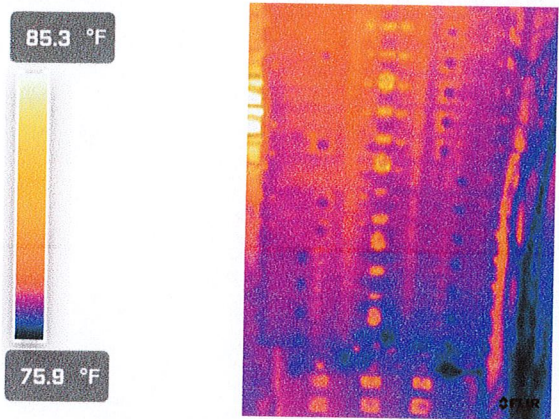
Location- 1st Floor Electric
Room

Panel- DA

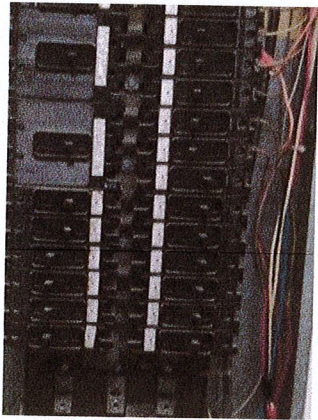
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:21:56 AM



FLIR0425.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0425.jpg
File size	269 KB
Width	240
Height	320
Minimum temp.	75.8 °F
Maximum temp.	89.6 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

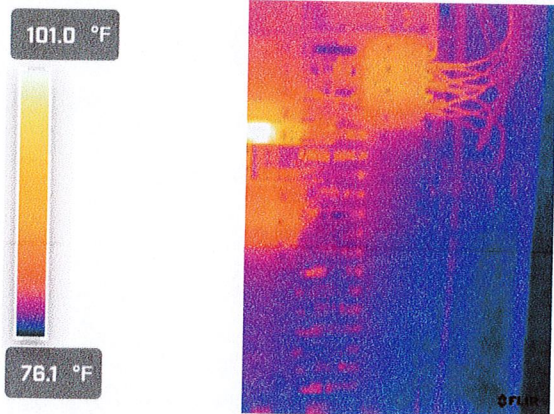
Location- 1st Floor Electric
Room

Panel- HA

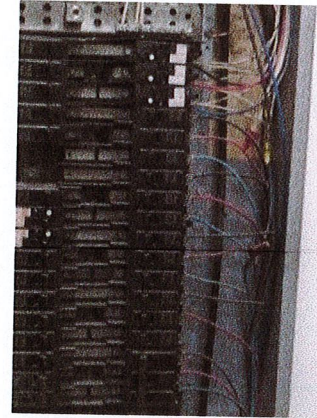
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:22:12 AM



FLIR0426.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0426.jpg
File size	293 KB
Width	240
Height	320
Minimum temp.	76.0 °F
Maximum temp.	104.8 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

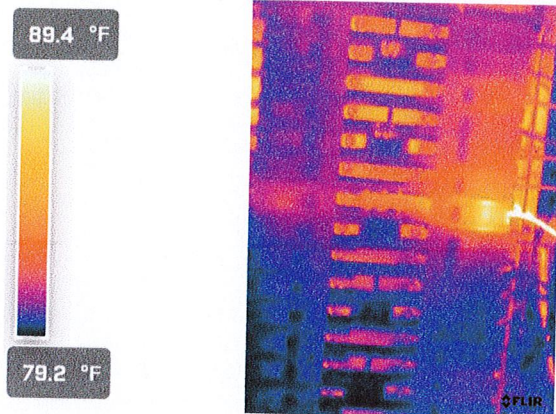
Location- 1st Floor Electric
Room

Panel- A

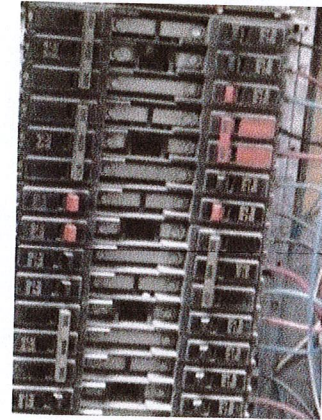
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:26:37 AM



FLIR0428.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0428.jpg
File size	308 KB
Width	240
Height	320
Minimum temp.	79.1 °F
Maximum temp.	102.0 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

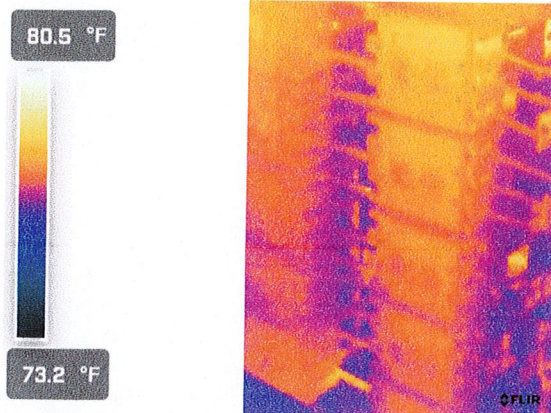
Location- 1st Floor Electric
Room

Panel- T5

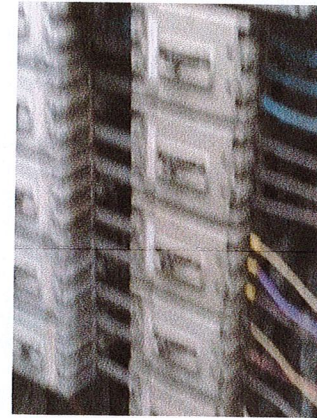
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:29:02 AM



FLIR0429.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0429.jpg
File size	230 KB
Width	240
Height	320
Minimum temp.	76.4 °F
Maximum temp.	79.6 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

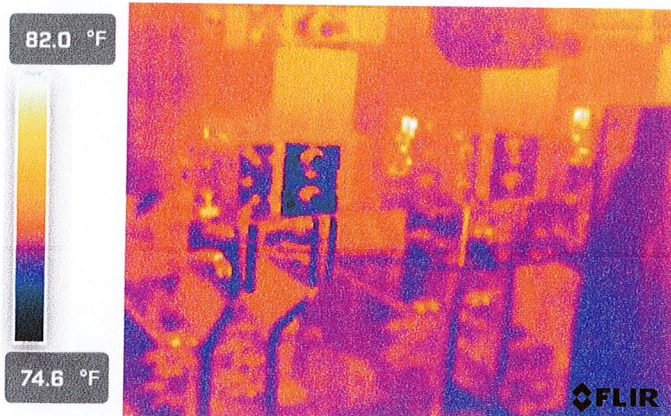
Location- 1st Floor Electric
Room

Panel- EHDA

Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:24:18 AM



FLIR0427.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0427.jpg
File size	226 KB
Width	320
Height	240
Minimum temp.	75.8 °F
Maximum temp.	82.9 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

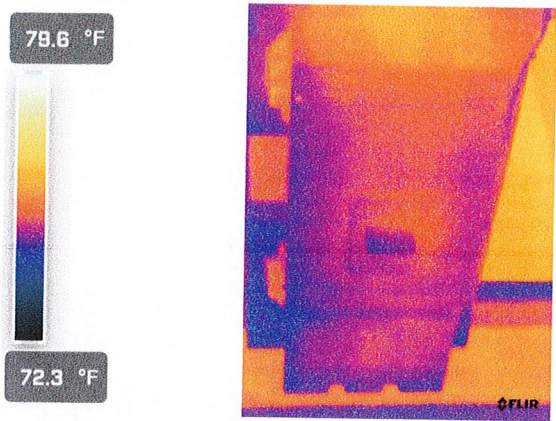
Location- 1st Floor Electric
Room

Main Disconnect- MSA

Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:35:02 AM



FLIR0430.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0430.jpg
File size	231 KB
Width	240
Height	320
Minimum temp.	74.5 °F
Maximum temp.	77.3 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

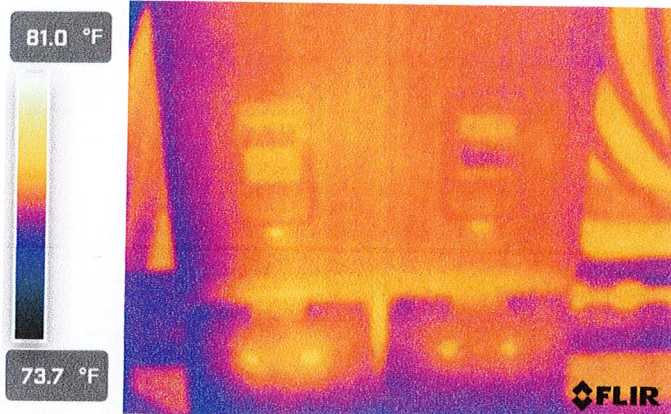
Location- 1st Floor Electric
Room

Panel- Main B

Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:37:20 AM



FLIR0431.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0431.jpg
File size	212 KB
Width	320
Height	240
Minimum temp.	76.1 °F
Maximum temp.	78.7 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

Location- 1st Floor Electric
Room

Panel- A/C Chiller RHDA

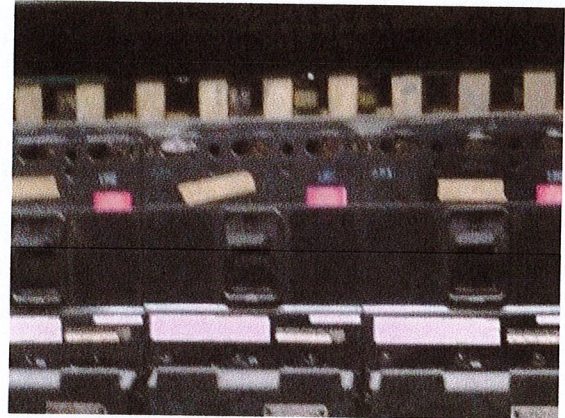
Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:39:12 AM



FLIR0432.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0432.jpg
File size	237 KB
Width	320
Height	240
Minimum temp.	76.4 °F
Maximum temp.	103.4 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

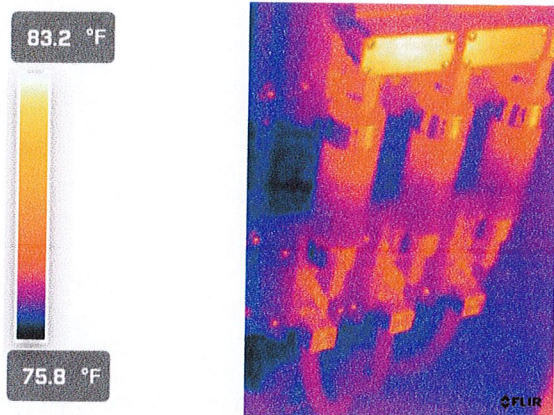
Location- 1st Floor Electric
Room

Panel- D8 EHDA Fire Pump

Anomaly- None

2555 Ponce De Leon Blvd

12/15/2023 10:50:13 AM



FLIR0433.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0433.jpg
File size	228 KB
Width	240
Height	320
Minimum temp.	76.0 °F
Maximum temp.	84.3 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

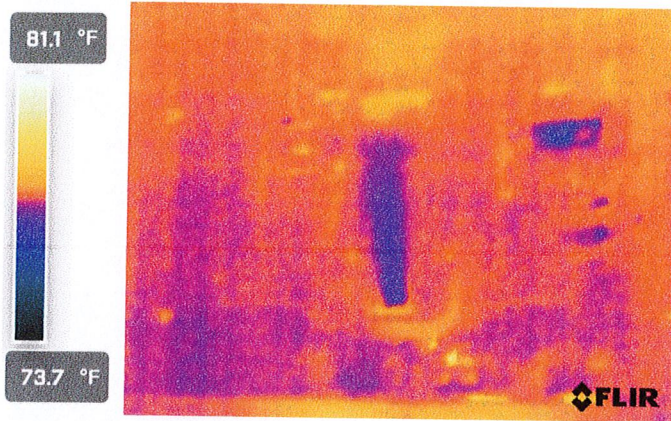
Location- 1st Floor Electric
Room

Disconnect- RHDB

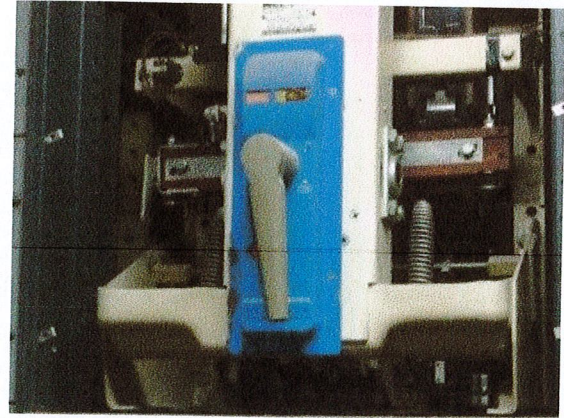
Anomaly- None

2555 Ponce De Leon Blvd

12/18/2023 10:04:16 AM



FLIR0435.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0435.jpg
File size	212 KB
Width	320
Height	240
Minimum temp.	76.2 °F
Maximum temp.	79.9 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

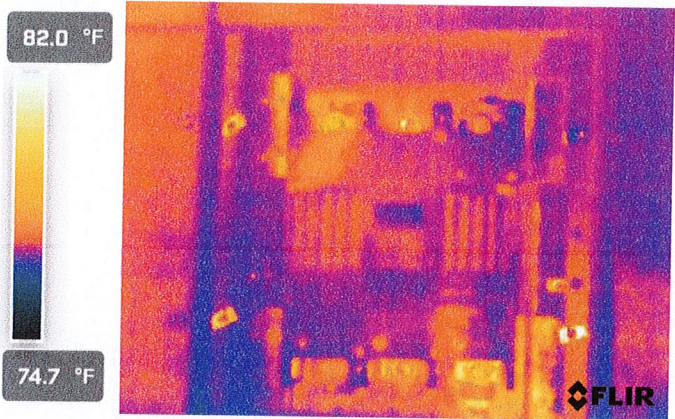
Location- Basement

Main Switch

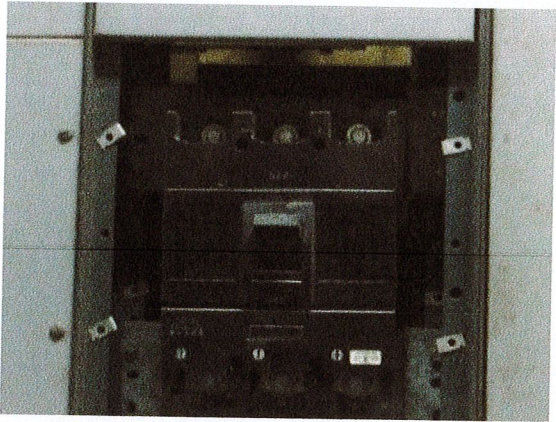
Anomaly- None

2555 Ponce De Leon Blvd

12/18/2023 10:05:00 AM



FLIR0436.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0436.jpg
File size	214 KB
Width	320
Height	240
Minimum temp.	76.5 °F
Maximum temp.	84.9 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

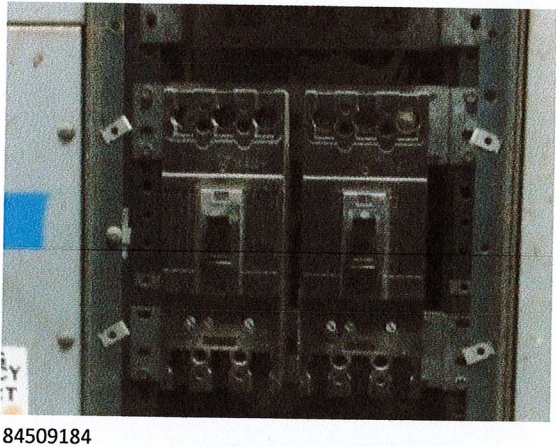
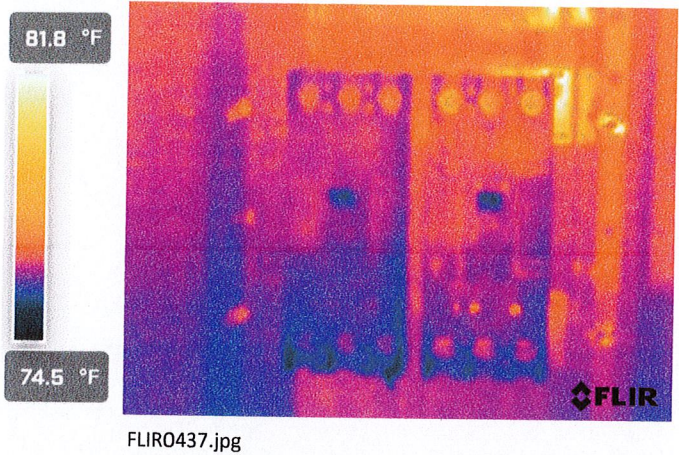
Location- Basement

Buss Duct Main

Anomaly- None

2555 Ponce De Leon Blvd

12/18/2023 10:05:10 AM



Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0437.jpg
File size	226 KB
Width	320
Height	240
Minimum temp.	75.2 °F
Maximum temp.	82.6 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

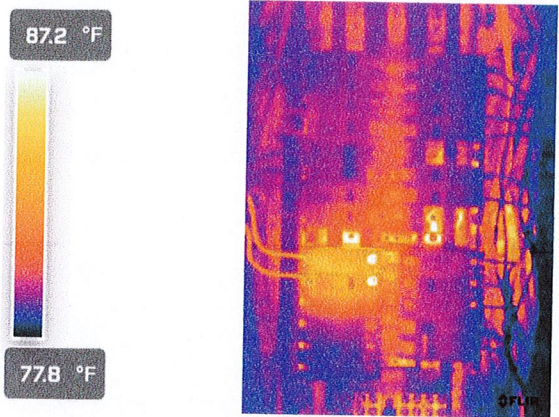
Location- Basement

Motor Control Board and Main
Strip Heaters

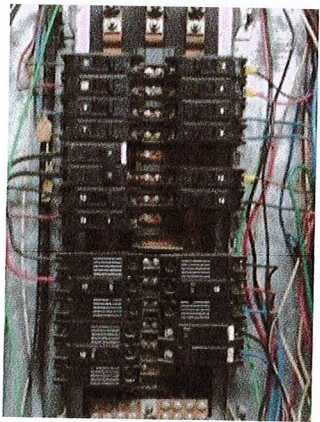
Anomaly- None

2555 Ponce De Leon Blvd

12/18/2023 10:17:50 AM



FLIR0438.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0438.jpg
File size	324 KB
Width	240
Height	320
Minimum temp.	77.7 °F
Maximum temp.	92.3 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

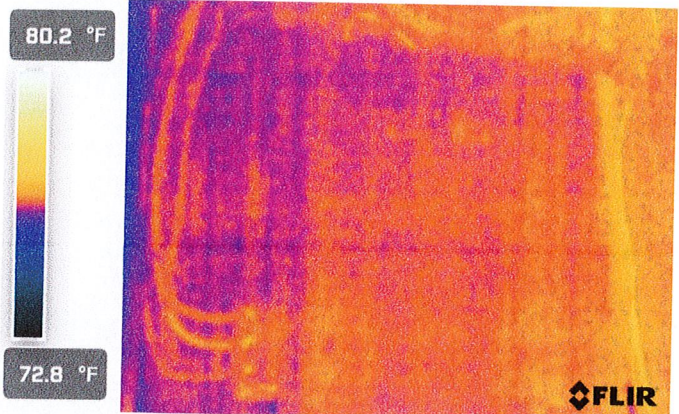
Location- Basement

Panel- A

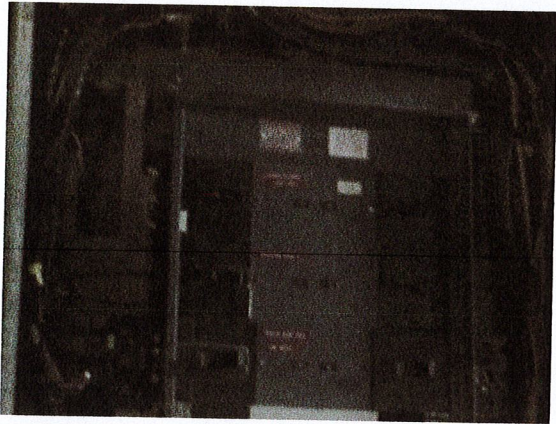
Anomaly- None

2555 Ponce De Leon Blvd

12/18/2023 10:24:26 AM



FLIR0440.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0440.jpg
File size	258 KB
Width	320
Height	240
Minimum temp.	75.8 °F
Maximum temp.	77.3 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

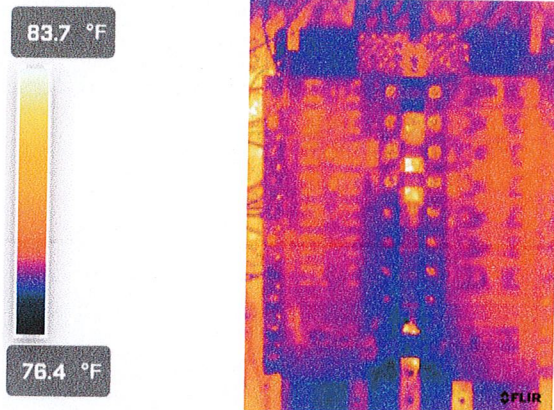
Location- Basement

Panel- 2EB

Anomaly- None

2555 Ponce De Leon Blvd

12/18/2023 10:36:41 AM



FLIR0443.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0443.jpg
File size	256 KB
Width	240
Height	320
Minimum temp.	77.2 °F
Maximum temp.	85.6 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

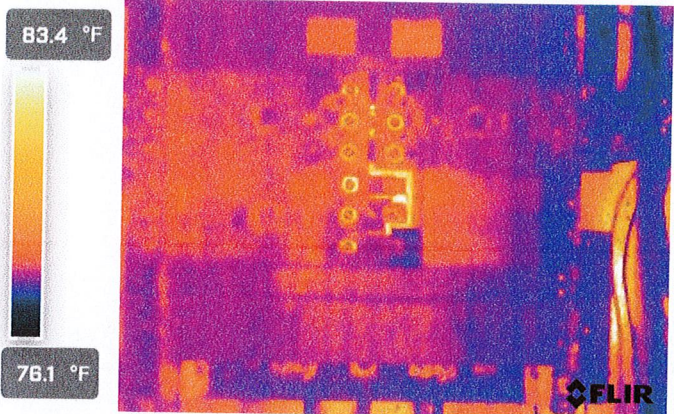
Location- Mezzanine

Panel- 2EA

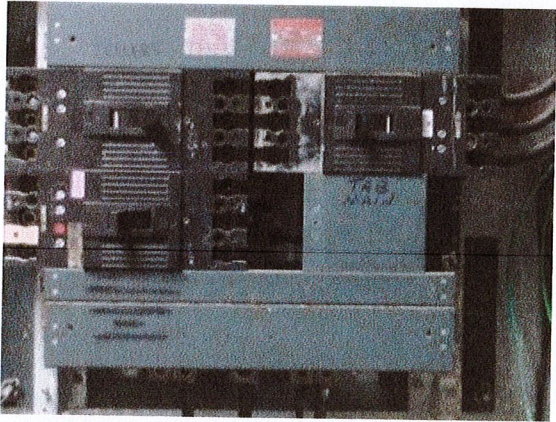
Anomaly- None

2555 Ponce De Leon Blvd

12/18/2023 10:32:30 AM



FLIR0441.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0441.jpg
File size	268 KB
Width	320
Height	240
Minimum temp.	76.9 °F
Maximum temp.	85.6 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

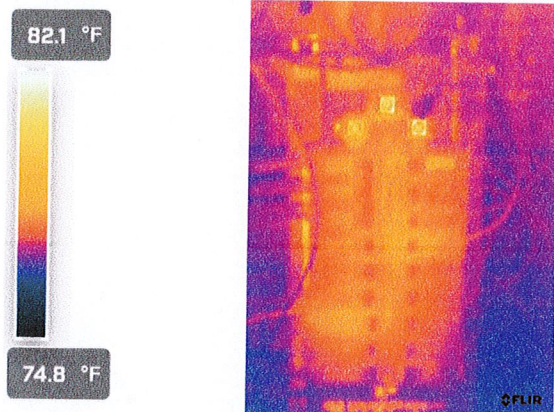
Location- Mezzanine

Panel- EDA

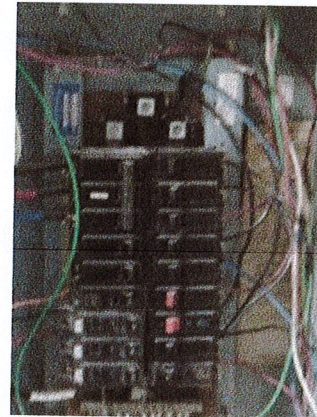
Anomaly- None

2555 Ponce De Leon Blvd

12/18/2023 10:35:32 AM



FLIR0442.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0442.jpg
File size	225 KB
Width	240
Height	320
Minimum temp.	76.3 °F
Maximum temp.	83.9 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

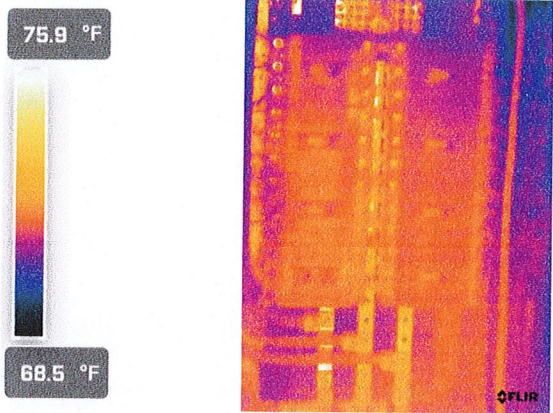
Location- Mezzanine

Panel- Teller Line

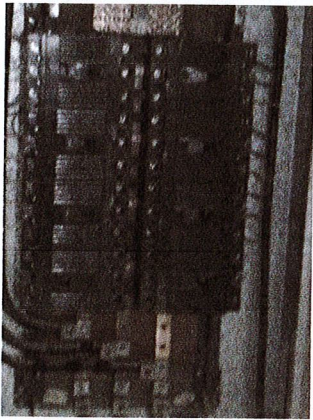
Anomaly- None

2555 Ponce De Leon Blvd

12/18/2023 10:45:23 AM



FLIR0444.jpg



84509184

Parameters

Emissivity	0.98
Distance	2.00 ft
Reflected temp.	97.0 °F
Atmospheric temp.	80.0 °F
Relative humidity	50.0%
Ext. optics temp.	68.0 °F
Ext. optics trans.	1.00

File information

File name	FLIR0444.jpg
File size	299 KB
Width	240
Height	320
Minimum temp.	69.0 °F
Maximum temp.	83.1 °F

Camera information

Camera model	FLIR E54
Lens	FOL18
Camera serial	84509184
Filter	
Range max.	248.0 °F
Range min.	-4.0 °F
Field of view	23.50

Location- Mezzanine

Panel- 2DA

Anomaly- None