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NEXTGEN MIAMI CORP.  
ADOLFO DANILLO LOPEZ R.A.  
AIA, LEED AP BD+C

REGISTERED ARCHITECT  
AR 0016093

Address:  
14331 SW 120th ST, Suite 114,  
Miami, FL 33186

Telephone #:  
786-615-2108

Email Address:  
info@nextgenmiami.com

Website:  
www.nextgenmiami.com

PROJECT NAME:  
**JUAN ARCE  
PROJECT**

OWNER:  
**JUAN ARCE**

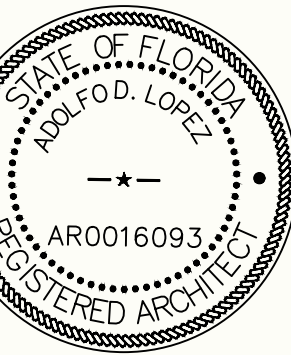
ADDRESS:  
**808 MAJORCA AV,  
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EE. UU 808**

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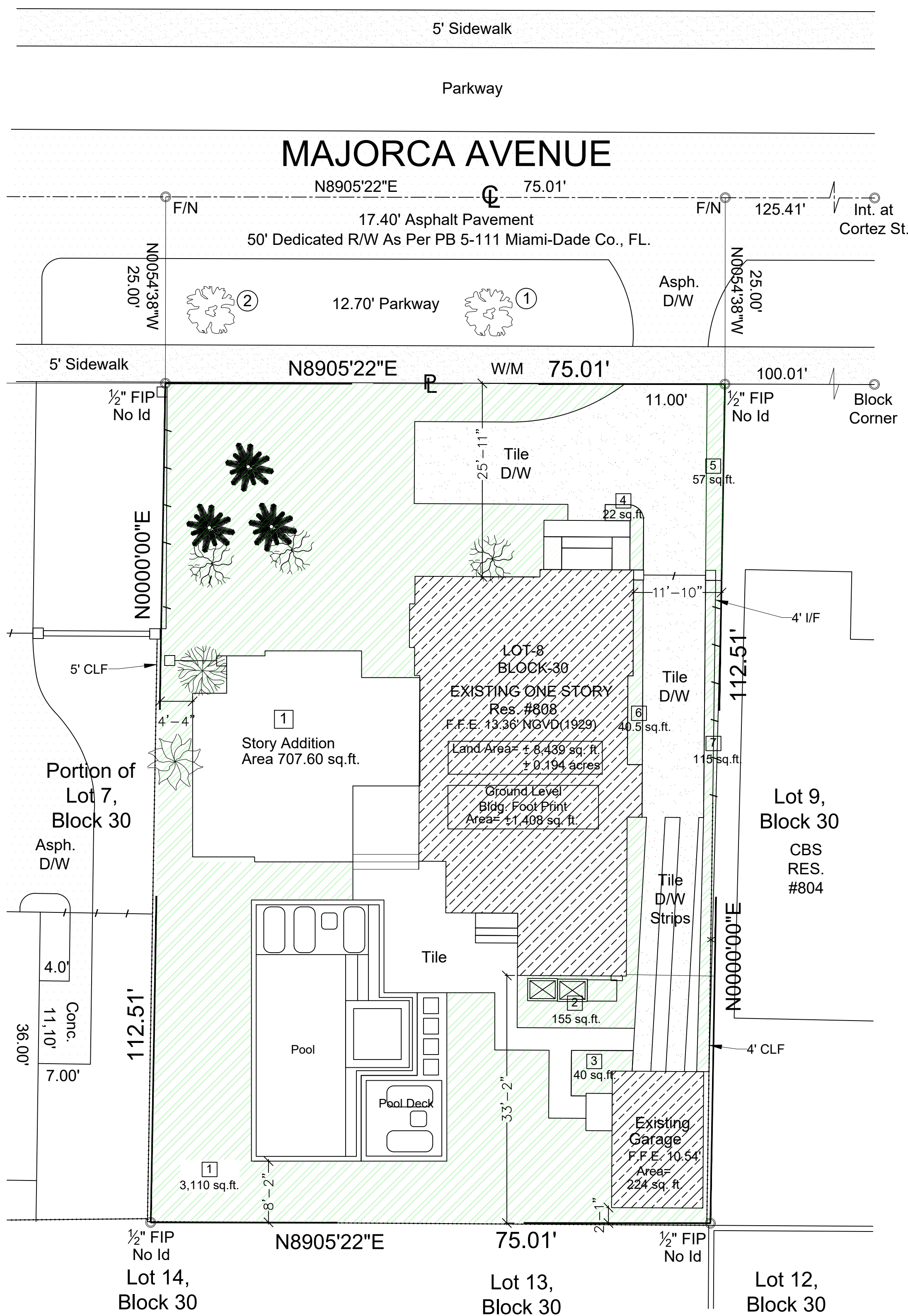
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**LANDSCAPED CALCULATIONS:**

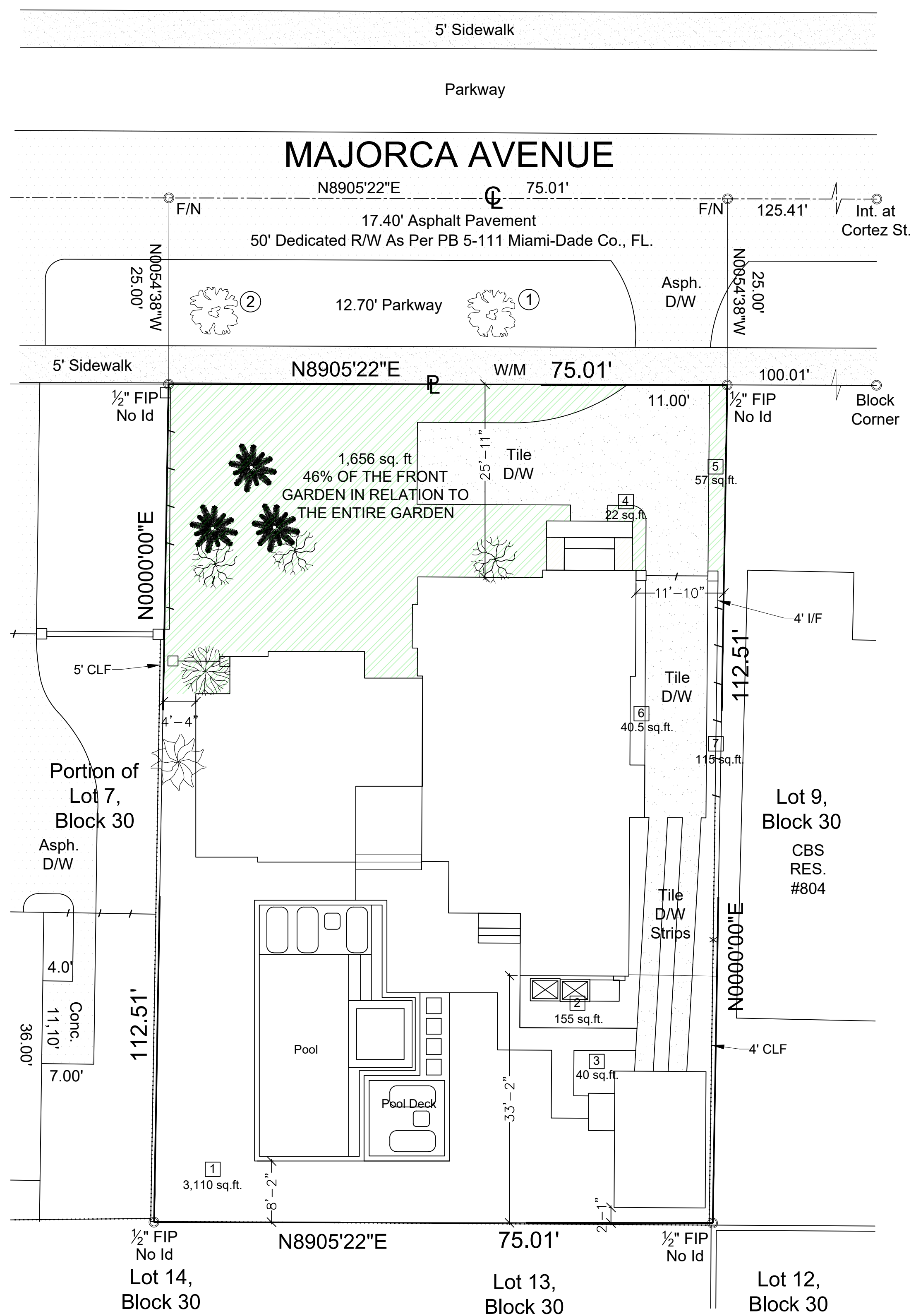
1 GREEN AREA	3,110 SQFT
2 GREEN AREA	155 SQFT
3 GREEN AREA	40 SQFT
4 GREEN AREA	22 SQFT
5 GREEN AREA	57 SQFT
6 GREEN AREA	40.5 SQFT
7 GREEN AREA	115 SQFT
<b>TOTAL</b>	<b>3,539.5 SQ.FT.</b>

**LEGEND: IMPERVIOUS AREAS :**

EXISTING A/C AREA	1,408 SQFT
A ADDITION A (A/C AREA)	707.60 SQFT
STAIRS	197 SQFT
POOL	636 SQFT
POOL DECK	176 SQFT
EXISTING GARAGE	224 SQFT
<b>TOTAL</b>	<b>3,348.6 SQ.FT.</b>

**GROUND AREA COVERAGE CALCULATIONS:**

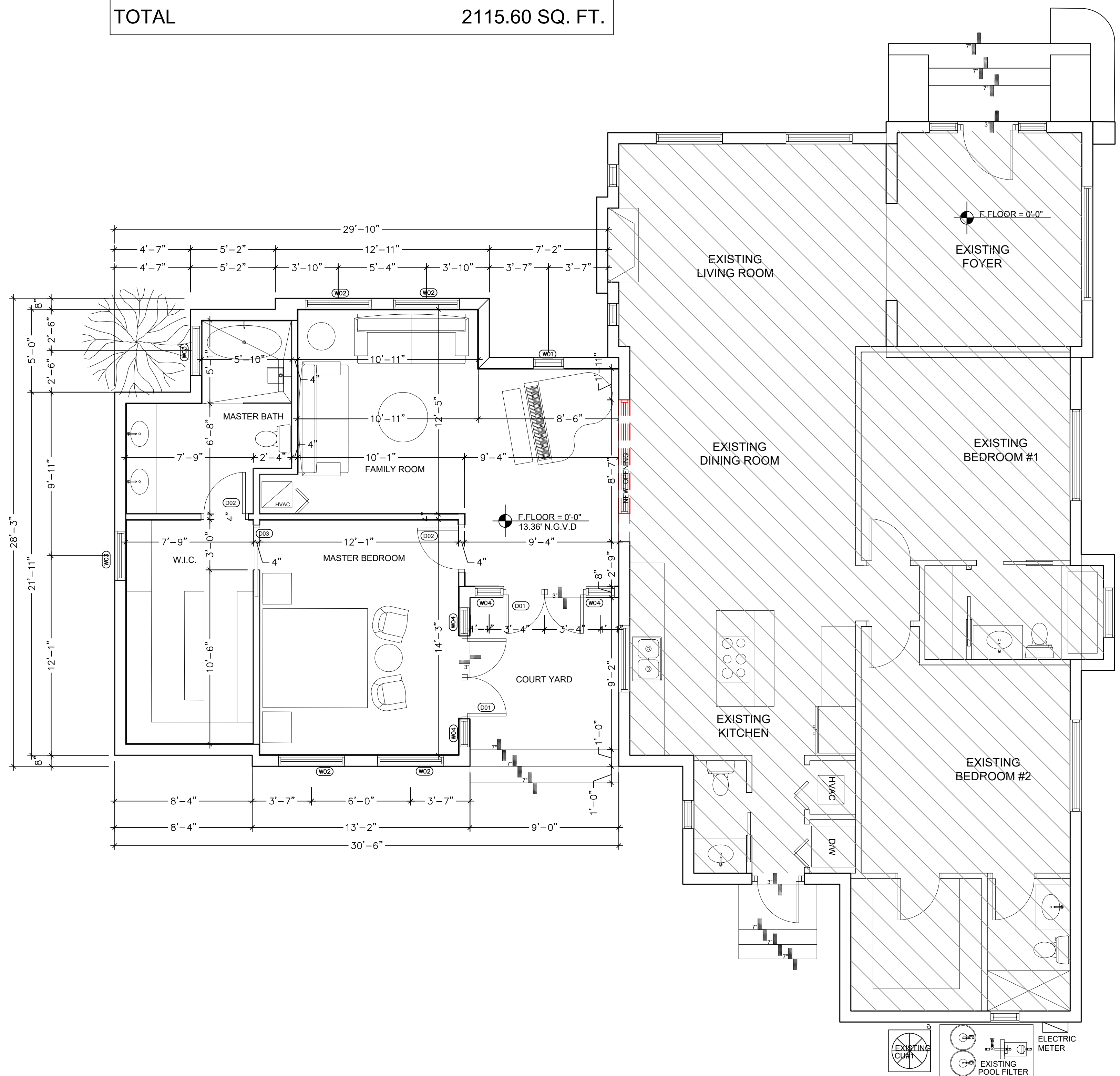
LANDSCAPE:	3,539.5 sq. ft.	(41.94%)
GROUND COVERAGE:	2,339.60 sq. ft.	(27.72%)
IMPERVIOUS COVERAGE:	3,348.6 sq. ft.	(39.68%)
LOT SIZE:	8,439 sq. ft.	(100%)



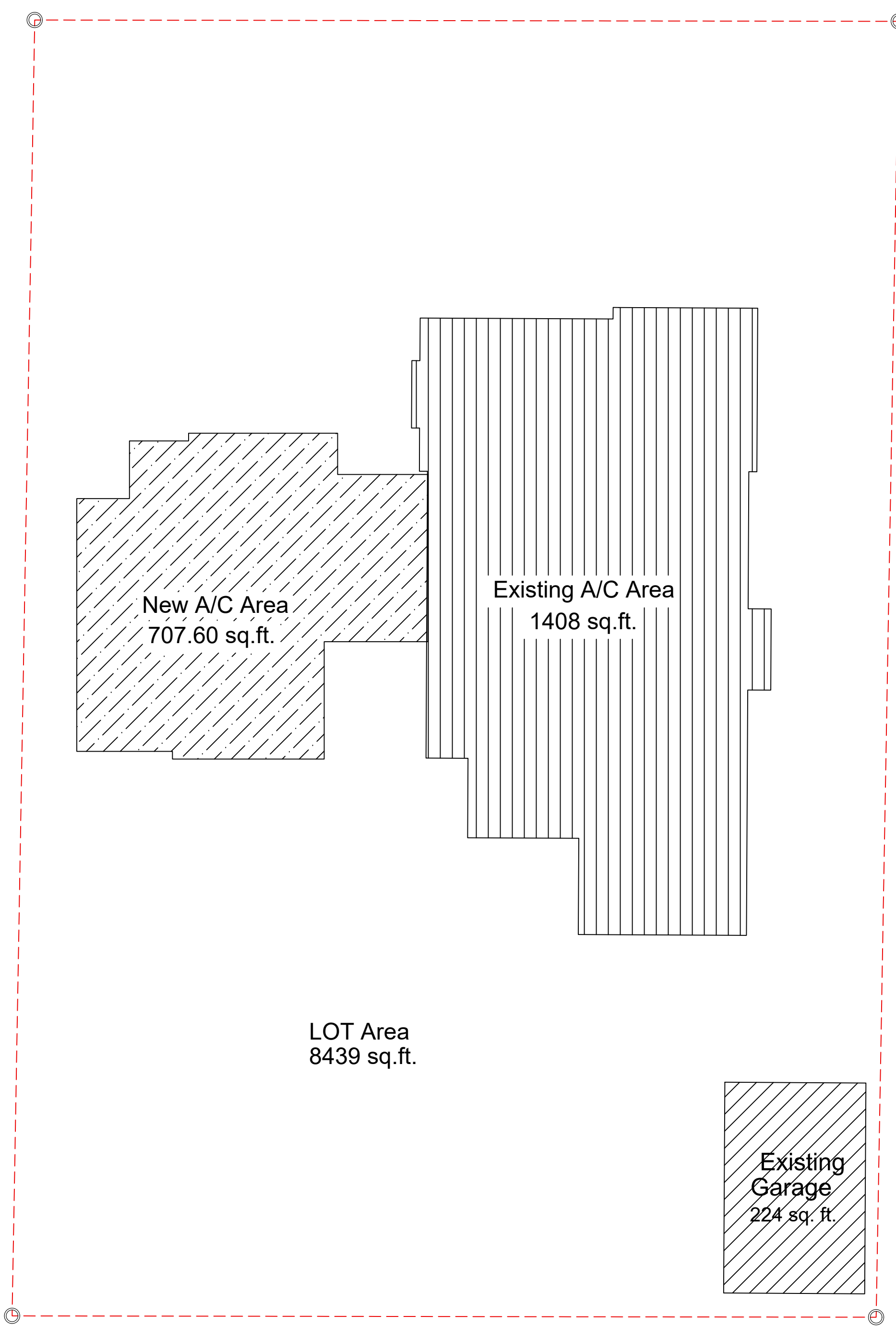
# AREAS CALCULATIONS:

EXISTING A/C AREA : 1408 SQ. FT.  
NEW A/C AREA: 707.60 SQ. FT.

**TOTAL 2115.60 SQ. FT.**



**FLOOR AREA CALCULATIONS**  
SCALE: 1/4"=1'-0"



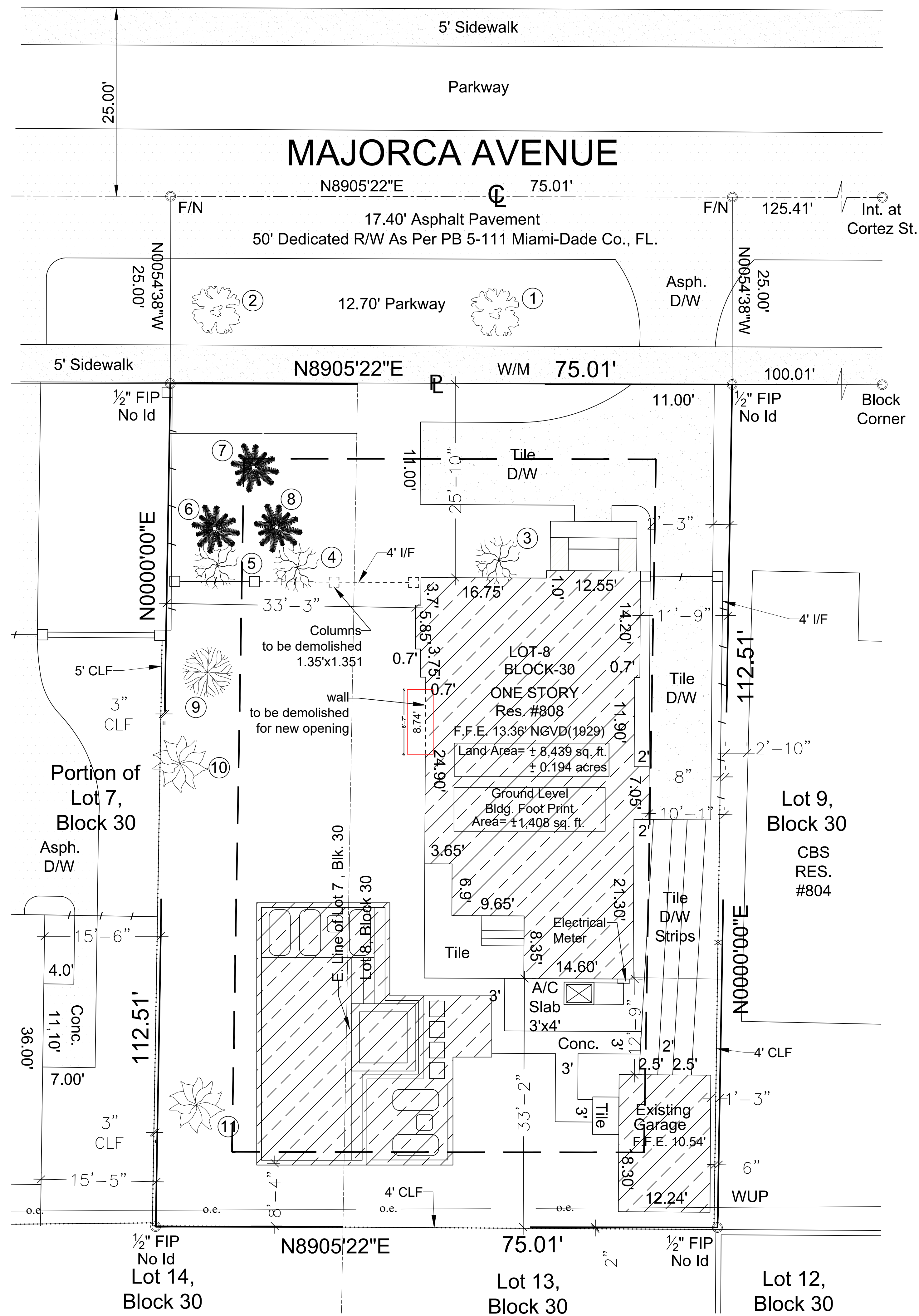
**DIAGRAM F.A.R.**  
SCALE: 1/8"=1'-0"

**LEGEND**

- EXISTING A/C AREA
- NEW A/C AREA
- EXISTING GARAGE
- LOT AREA

## FLOOR AREA RATIO (F.A.R):

LOT AREA:	8,439 SQ.FT.
EXISTING AREA:	1,408 SQ.FT.
NEW ADDITION:	707.60 SQ.FT.
EXISTING GARAGE:	224 SQ.FT.
<b>TOTAL BUILDING AREA:</b>	<b>2,339.60 SQ.FT.</b>
<b>F.A.R =</b>	<b>0.28</b>



**SCOPE OF WORK**

ADDITION TO THE SQUARE FOOTAGE OF EXISTING RESIDENCE:

- EXISTING RESIDENCE TO REMAIN ONLY ONE WALL TO BE PARTIALLY DEMOLISHED.
- NEW ADDITION ONE STORY RESIDENCE.
- NEW STRUCTURAL SYSTEM IN ADDITION.
- NEW MECHANICAL, ELECTRICAL AND PLUMBING SYSTEM IN ADDITION.

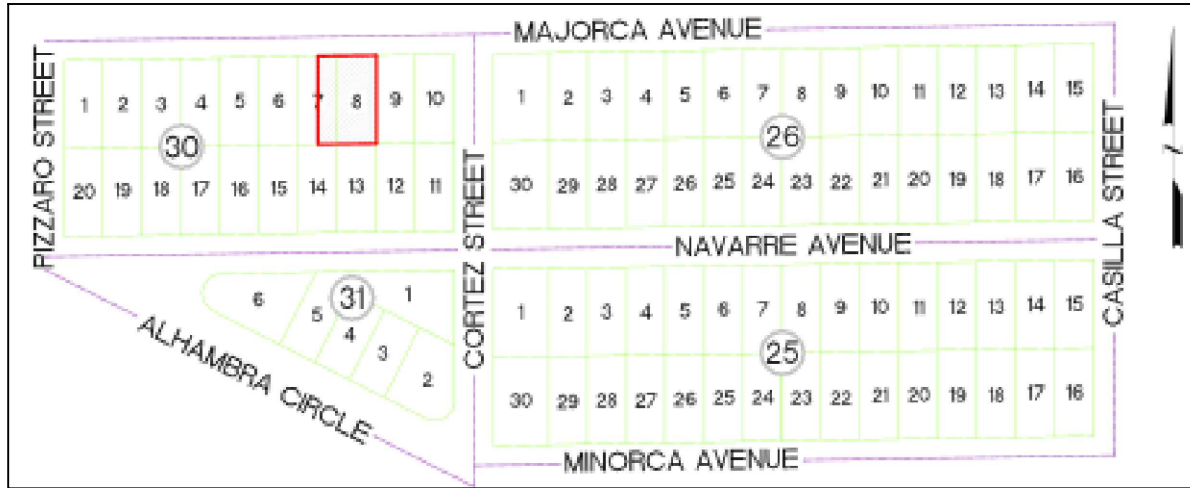
**CODE COMPLIANCE**

**BUILDING:**  
 2020 FLORIDA BUILDING CODE 7TH EDITION - EXISTING BUILDING  
 2020 FLORIDA BUILDING CODE 7TH EDITION - RESIDENTIAL  
 2020 FLORIDA BUILDING CODE 7TH EDITION - BUILDING

**MECHANICAL:**  
 2020 FLORIDA BUILDING CODE 7TH EDITION - MECHANICAL

**ELECTRICAL:**  
 NATIONAL ELECTRIC CODE 2017

**PLUMBING:**  
 2020 FLORIDA BUILDING CODE 7TH EDITION - PLUMBING



LOCATION SKETCH  
NOT TO SCALE

**Tree Table**

#	Tree	Spread	Dia.	Height
1	Oak	20'	1'	20'
2	Oak	20'	1'	20'
3	Areca	3'	1.50'	20'
4	Areca	3'	1'	15'
5	Areca	3'	1'	15'
6	Palm	6'	0.60'	25'
7	Palm	6'	0.60'	25'
8	Palm	6'	0.60'	25'
9	Mango	8'	1.50'	20'
10	Avocado	8'	0.50'	10'
11	Avocado	4'	0.50'	12'

**LIMITATION OF DRAWINGS:**

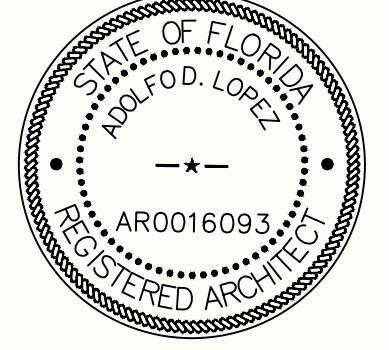
THESE DRAWINGS DELINEATE THE SCOPE OF THIS PROJECT AND ESTABLISH THE PERFORMANCE STANDARD, WHICH SHALL BE REQUIRED BY THE GENERAL CONTRACTOR. PRIOR TO SUBMITTING BIDS, THE GENERAL CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS, EXISTING FACILITIES AND ALL BUILDING STRUCTURES, EXTENT OF WORK TO BE DONE AND ANY OTHER CONDITIONS WHICH MAY AFFECT WORK TO BE DONE, EQUIPMENT, MATERIALS AND LABOR REQUIREMENTS. IN THE CONTEXT OF INSTALLATION AND OTHER CONSTRUCTION ASPECTS, THESE DRAWINGS MAY NOT BE COMPLETE. IF SUCH IS THE CASE, THE GENERAL CONTRACTOR MUST SUPPLEMENT THE DRAWINGS WITH FIELD INVESTIGATION NOTES PRIOR TO SUBMITTAL OF BIDS. THE GENERAL CONTRACTOR SHALL ANTICIPATE VARIATIONS OF ROUTINES AND CONSTRUCTION, TO AVOID CONFLICT WITH OTHER TRADES. THIS EXTRA WORK SHALL BE INCLUDED AS PART OF THE REQUIRED WORK AT NO ADDITIONAL COST TO THE OWNER. ALL WORK AND/OR MATERIALS REQUIRED TO COMPLETE THE SCOPE OF THIS PROJECT SHALL IN NO WAY CAUSE FOR ADDITIONAL COMPENSATION. IGNORANCE SHALL IN NO WAY RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATION AND RESPONSIBILITIES AS ESTABLISHED UNDER THE CONTRACT DOCUMENTS.

**CLASSIFICATION OF WORK**

SECTION 606 - ADDITION

**SITE PLAN GENERAL NOTES:**

- CONTRACTOR TO VERIFY ALL UTILITY CONNECTIONS.
- PROVIDE FULL SOD ALL AREAS NOT LANDSCAPED OR HARDSCAPED.
- EXTERIOR DECKS, DRIVEWAY, PORCH FLOORS, AND WALKWAYS TO BE SLOPED AWAY FROM THE BUILDING A MINIMUM SLOPE OF 1/8" PER FOOT.



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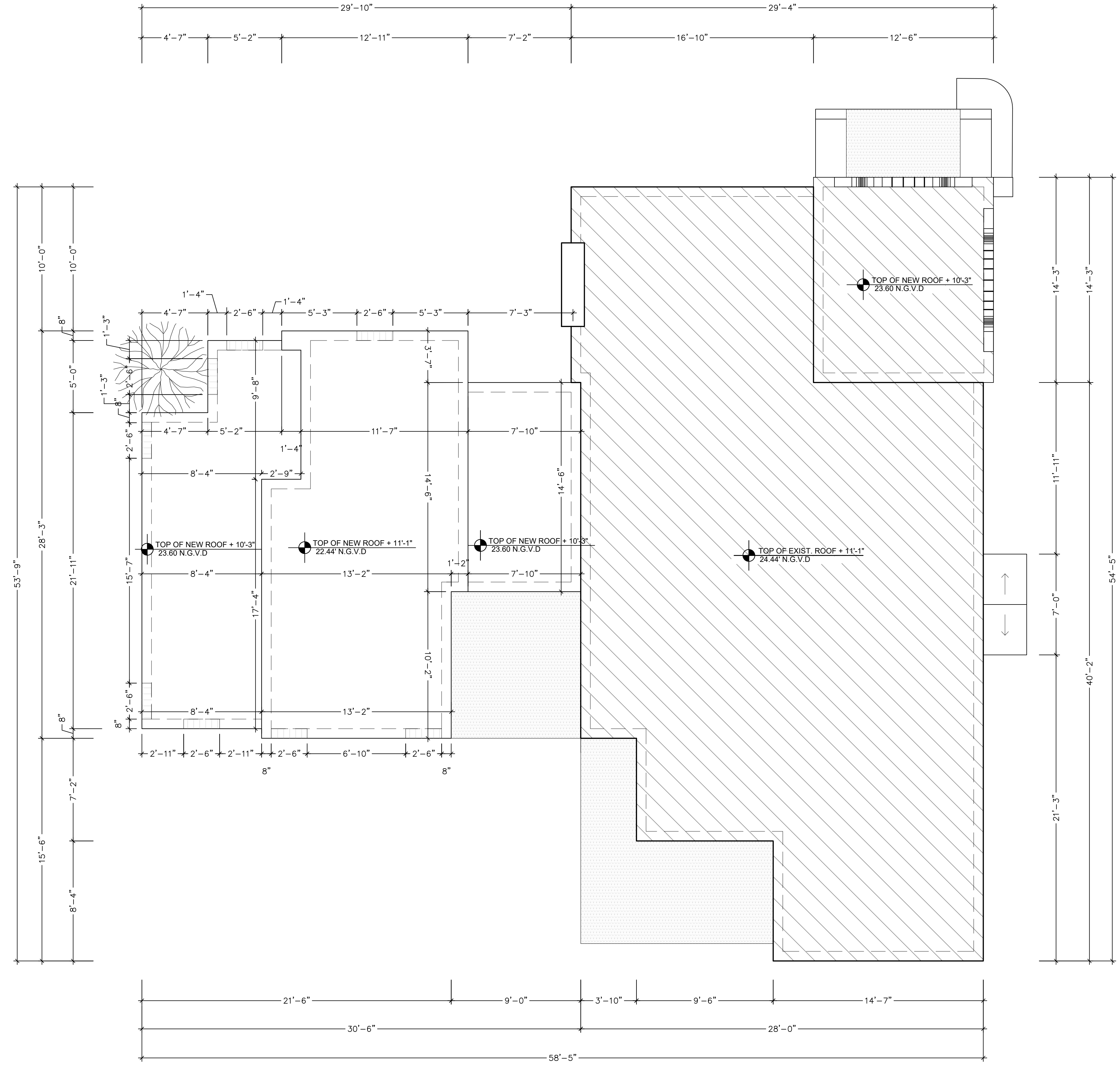
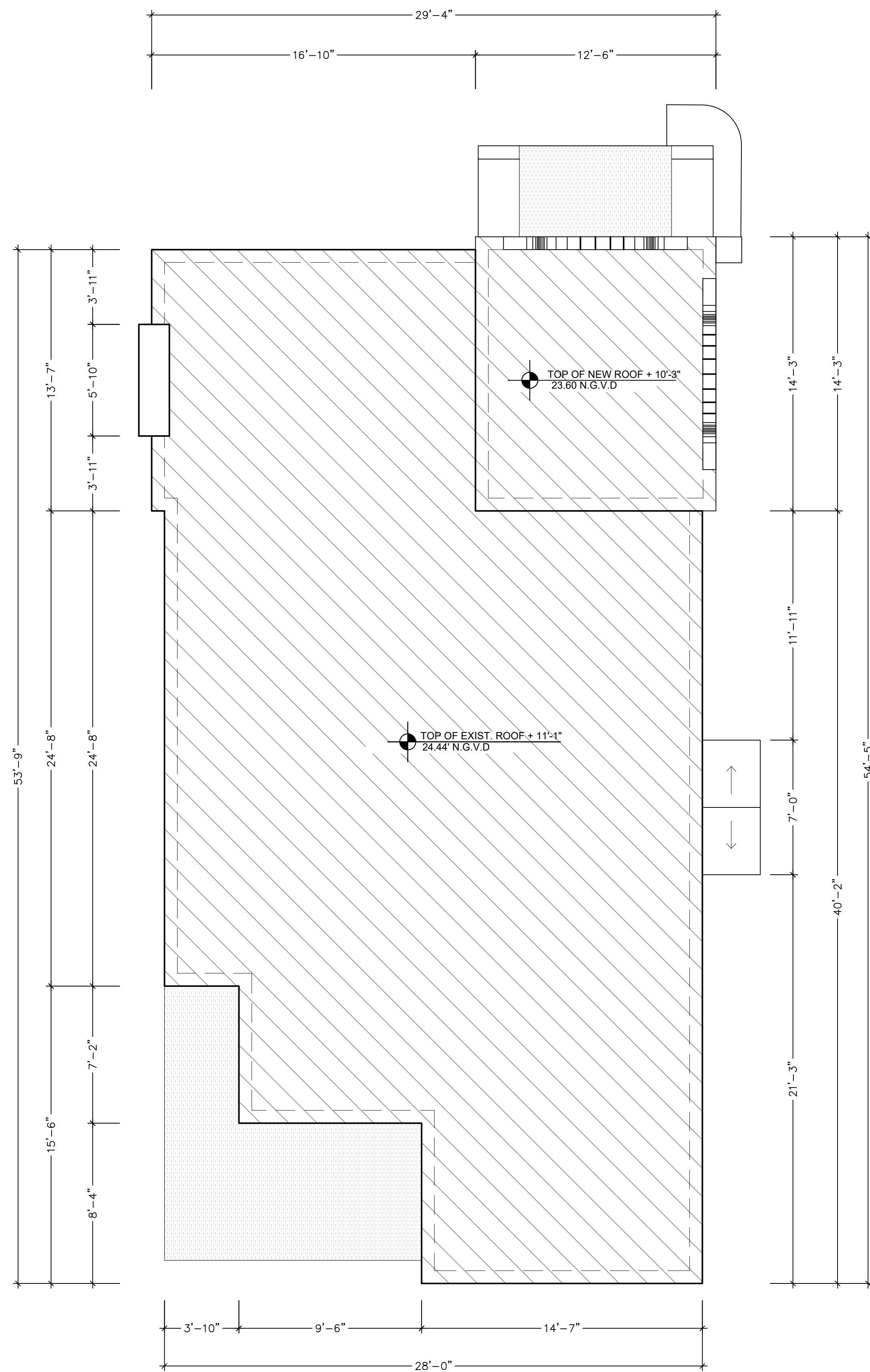
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LEGEND	
	EXISTING WITHOUT MODIFICATIONS

**NOTES:**  
 FLAT ROOF WITH PARAPET REQUESTED UNDER VARIANCE APPROVED BY HISTORIC PRESERVATION DEPARTMENT.  
 ROOF DESIGN SHALL COMPLY WITH APPROVED HISTORIC GUIDELINES.



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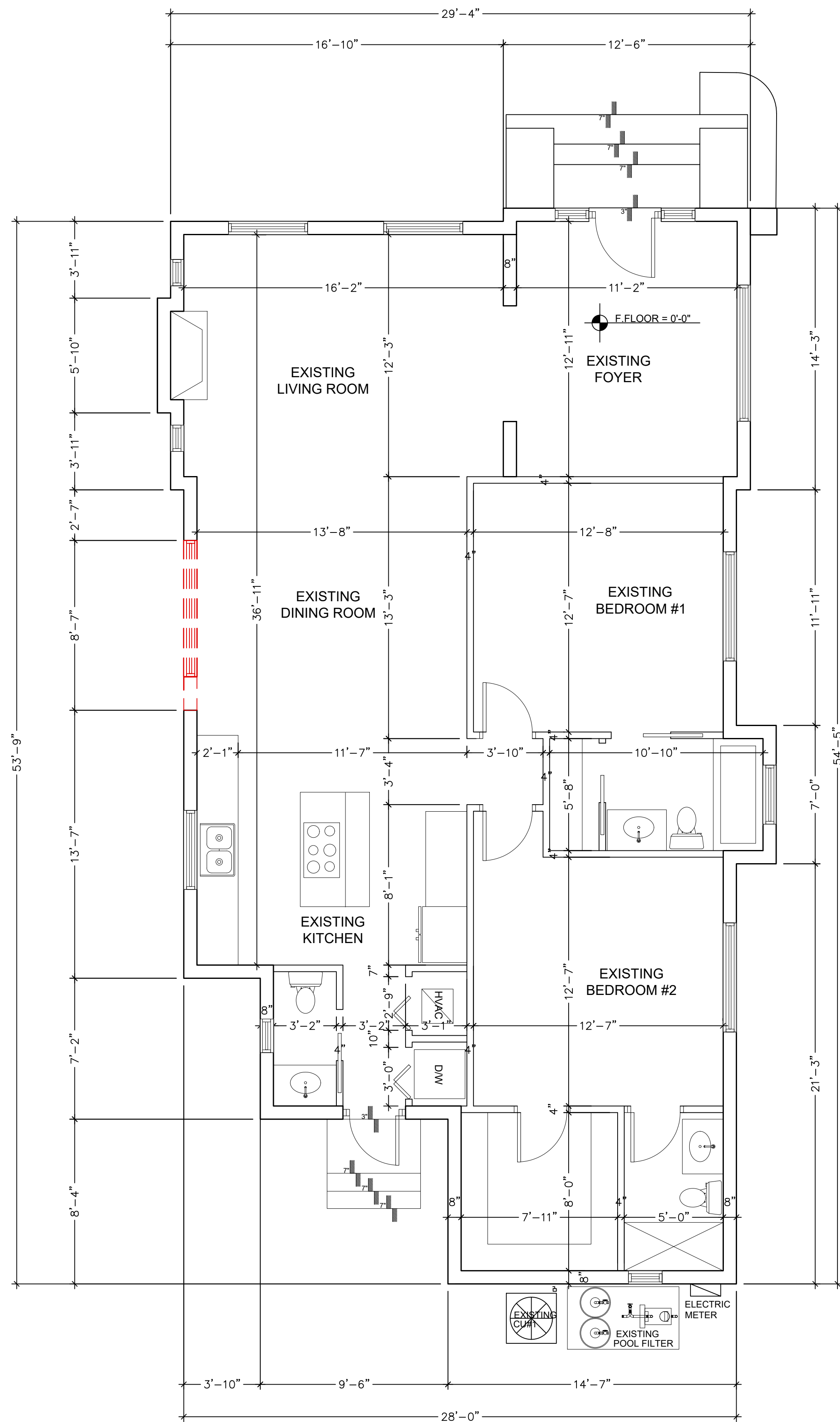
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LEGEND	
---	ITEM TO BE DEMOLISHED
▭	EXISTING CONCRETE WALL TO REMAIN
▨	NEW CONCRETE WALL
▩	NEW LOAD BEARING WALL
▧	NEW PARTITION WALL
⊕ #	DOOR No
⊖ #	WINDOW
⬚	E.P. ELECTRICAL PANEL

**GENERAL SCOPE OF WORK:**

- EXISTING 2 BEDROOM, 3 BATH RESIDENCE NEEDS TO BE EXPANDED TO OBTAIN 3 BEDROOMS, 4 BATHS AND 1 FAMILY ROOM, SEE PROPOSED PLAN A-3.

**DEMOLITION SCOPE OF WORK:**

- WALL IN DINING ROOM.

**GENERAL DEMOLITION NOTES:**

1. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR HAULING AND LEGALLY DISPOSING OF MATERIAL REMOVED IN DEMOLITION WORK.
2. THE PROCEDURES PROPOSED FOR THE ACCOMPLISHMENT OF SALVAGE AND DEMOLITION WORK SHALL BE SUBMITTED FOR REVIEW. THE PROCEDURES SHALL PROVIDED FOR SAFE CONDUCT OF THE WORK, CAREFUL REMOVAL AND DISPOSITION OF MATERIALS, PROTECTION OF PROPERTY, COORDINATION WITH WORK OF OTHERS IN PROGRESS, AND TIMELY DISCONNECTION OF UTILITY SERVICES. THE PROCEDURES SHALL INCLUDE A DETAILED DESCRIPTION OF METHODS AND EQUIPMENT TO BE USED FOR EACH OPERATION AND SEQUENCE OF OPERATION.
3. TITLE TO MATERIALS: TITLE TO ALL MATERIALS AND EQUIPMENT TO BE DEMOLISHED AND REMOVED EXCEPTING ITEMS INDICATED TO BE TURNED OVER TO THE OWNER IS VESTED IN THE CONTRACTOR AT START OF PROJECT. ALL PLUMBING FIXTURES, LIGHTING FIXTURES, A/C EQUIPMENT, APPLIANCES, TRAYS, SPECIALTY ITEMS, ETC. SHALL BE EVALUATED BY A REPRESENTATIVE OF THE OWNER AS TO THE STATUS OF THEIR REMOVAL. THE OWNER WILL NOT BE RESPONSIBLE FOR THE CONDITIONS, LOSS OR DAMAGE OF SUCH PROPERTY AFTER NOTICE TO PROCEED.
4. THE CONTRACTOR SHALL VISIT THE SITE OF THE WORK AND EXAMINE THE PLANS AND IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INVESTIGATED AND IS FULLY INFORMED OF THE CONDITIONS AND MATERIALS TO BE ENCOUNTERED AS TO CHARACTER, QUALITY AND QUANTITIES OF WORK TO BE PERFORMED AND MATERIALS TO BE FURNISHED AND AS TO THE REQUIREMENTS OF THE PLANS.
5. THE CONTRACTOR SHALL REMOVE ALL SPECIFIC ITEMS INDICATED ON THESE DRAWINGS AND ALSO REMOVE ANY OTHER ITEMS OR CONSTRUCTION.

**WET AREAS NOTE:**

1. BATHROOM TO COMPLY WITH 2020 FBC, RESIDENTIAL (7TH EDITION) SECTION R307.1 &
2. 2020 FBC, PLUMBING (7TH EDITION) SECTION P2708.1.
3. BATHROOM SHALL HAVE TILE FLOOR & BASE OR OTHER APPROVED IMPERVIOUS MATERIAL.
4. FIBER-CEMENT, FIBER-MAT REINFORCED CEMENTITIOUS BACKER UNITS, GLASS MAT GYPSUM BACKERS OR FIBER-REINFORCED GYPSUM BACKERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS. 2020 FBC, RESIDENTIAL (7TH EDITION) SECTION R 702.4.2
5. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET (1829 MM) ABOVE THE FLOOR. 2020 FBC, RESIDENTIAL (7TH EDITION) SECTION R307.2.

**CONTRACTORS NOTES:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO PRESENT AND TO BE APPROVED NOA & SHOW DRAWING FOR WINDOWS, RAILING, HANDRAIL & EXTERIOR DOORS DURING THE CONSTRUCTION.
2. ALL DIMENSIONS ARE TO BE FIELD VERIFIED IF ANY DISCREPANCIES ARE FOUND ENGINEER IS TO BE NOTIFIED.
3. REFER TO STRUCTURAL DRAWINGS FOR REINFORCING SIZES, NOTES, AND SPECS. ON FOUNDATION, TIE COLUMNS, COLUMNS, SLABS, STRUCTURAL BEAMS, DROP BEAMS AND REINFORCED MASONRY.
4. DO NOT FABRICATE ANY ITEMS REQUIRING FABRICATION UNTIL APPROVED PLANS BY CITY.

**EXISTING CONDITIONS:**

CONTRACTOR, BY AND THROUGH SUBMISSION OF HIS BID, AGGRESS THAT HE SHALL BE RESPONSIBLE FOR HAVING EXAMINED THE SITE, THE LOCATION OF ALL PROPOSED WORK AND HAVING SATISFIED HIMSELF FROM HIS OWN PERSONAL KNOWLEDGE AND EXPERIENCE OR PROFESSIONAL ADVICE AS TO THE CHARACTER AND LOCATION OF THE SITE, THE NATURE OF THE EXISTING CONDITIONS.

THE LOCATION OF EXISTING UTILITIES AND ANY OTHER CONDITIONS SURROUNDING AND AFFECTING THE WORK. ANY OBSTRUCTIONS, THE NATURE OF EXISTING CONSTRUCTION AND ALL OTHER PHYSICAL CHARACTERISTICS OF THE JOB. IN ORDER THAT HE MAY INCLUDE IN THE PRICES WHICH HE BIDS ALL COSTS PERTAINING TO THE WORK AND THEREBY PROVIDE FOR THE SATISFACTORY COMPLETION THEREOF, INCLUDING THE REMOVAL, RELOCATION OF ANY OBJECTS OR CONSTRUCTION WHICH MAY BE ENCOUNTERED IN DOING THE PROPOSED WORK.

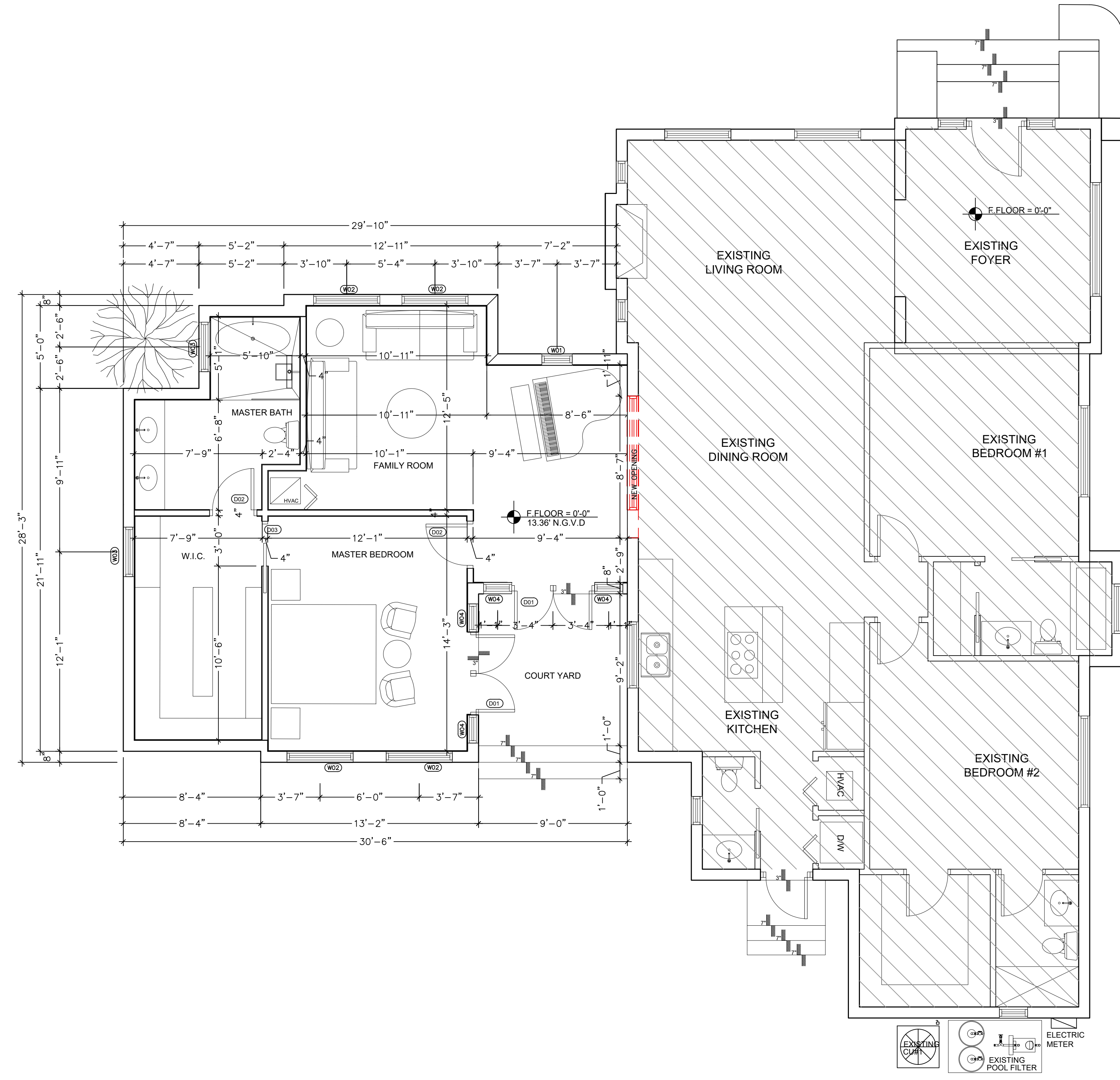
**FLAME SPREAD NOTE:**

FLAME SPREAD FOR WALL CEILING FINISHES MAX. 200, SMOKE DEVELOPED MAX. TO COMPLY WITH 450 2020 FBC, RESIDENTIAL (7TH EDITION) SECTION 302.9 AND FLAME SPREAD FOR INSULATION MAX. 25, SMOKE DEVELOPED MAX. 450 TO COMPLY WITH 2020 FBC, RESIDENTIAL (7TH EDITION) SECTION R302.10

**SMOKE-DEVELOPED INDEX NOTE:**

WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450. 2020 FBC, RESIDENTIAL (7TH EDITION) SECTION R302.9.2.

**EXISTING AND DEMOLITION FLOOR PLAN**  
SCALE: 1/4"=1'-0"



LEGEND	
	ITEM TO BE DEMOLISHED
	EXISTING CONCRETE WALL TO REMAIN
	NEW CONCRETE WALL
	NEW LOAD BEARING WALL
	NEW PARTITION WALL
	DOOR No
	WINDOW
	E.P. ELECTRICAL PANEL

**AREAS CALCULATIONS:**

EXISTING A/C AREA :	1408 SQ. FT.
NEW A/C AREA:	707.60 SQ. FT.
<b>TOTAL</b>	<b>2115.60 SQ. FT.</b>

**SCOPE OF WORK:**  
**INTERIOR REMODELING:**  
 -NEW FAMILY ROOM, MASTER BEDROOM, W.I.C AND BASTER BATH.



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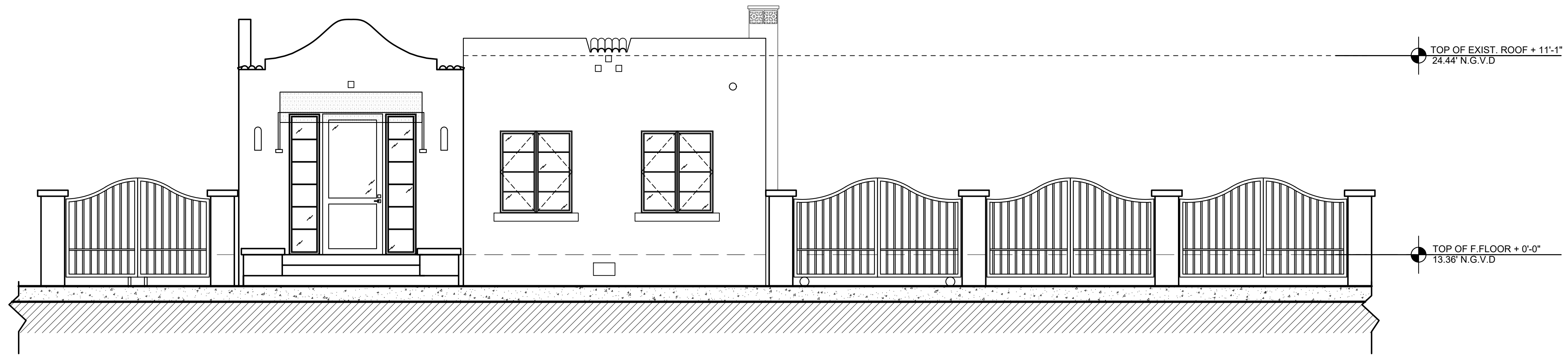
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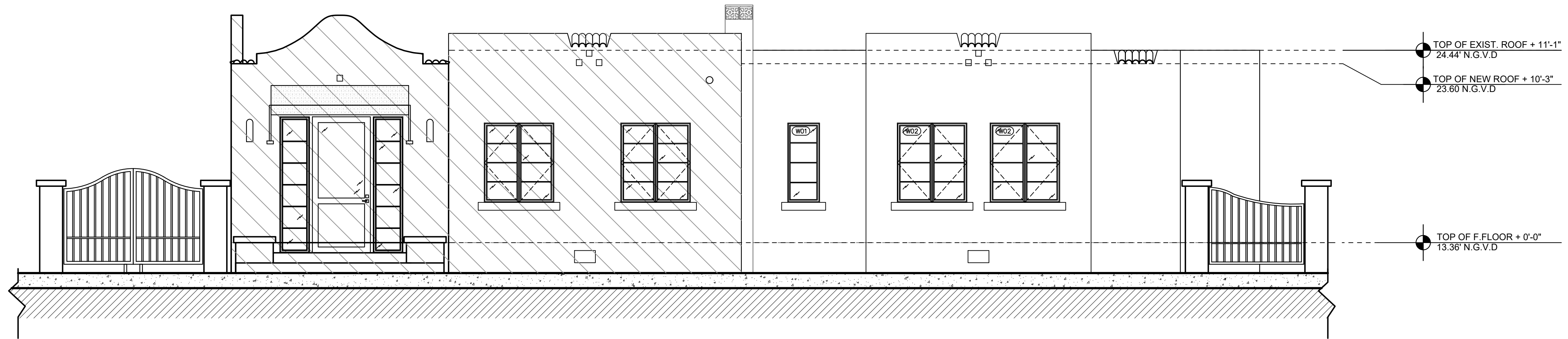
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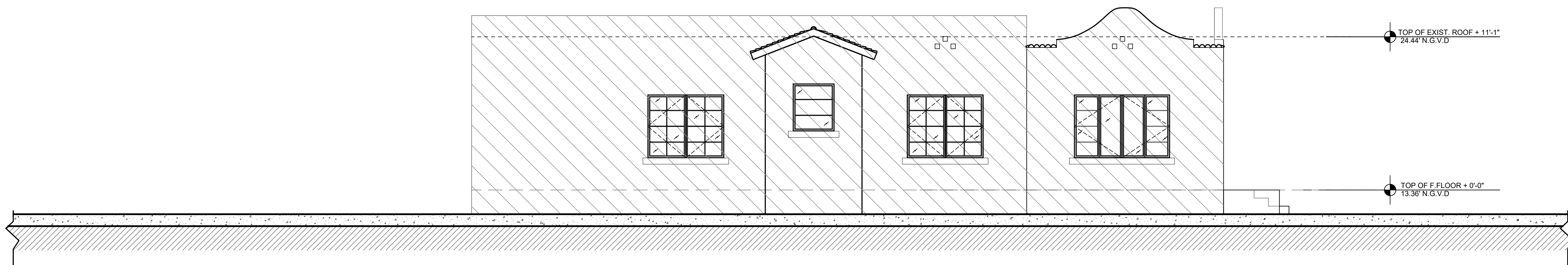
**EXISTING ELEVATION (FRONT)**

SCALE: 1/4" = 1'-0"



**PROPOSED ELEVATION (FRONT)**

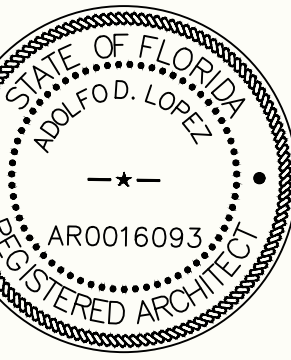
SCALE: 1/4" = 1'-0"



**EXISTING ELEVATION (LEFT)**

SCALE: 1/4" = 1'-0"

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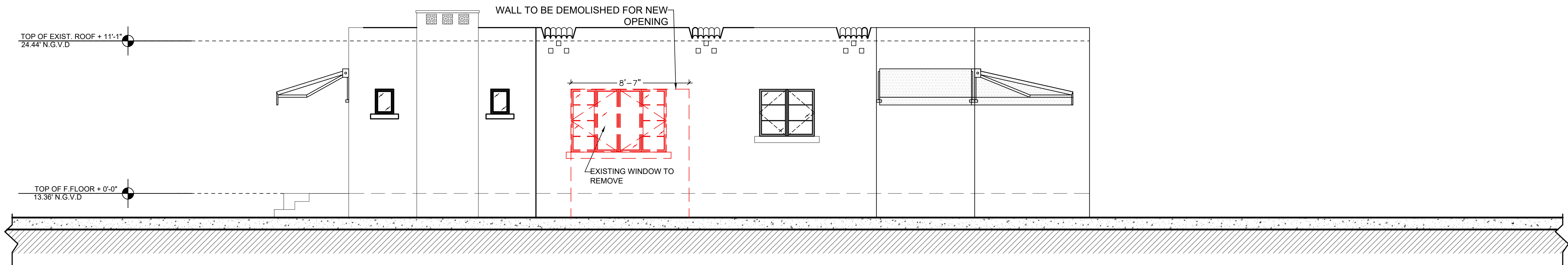
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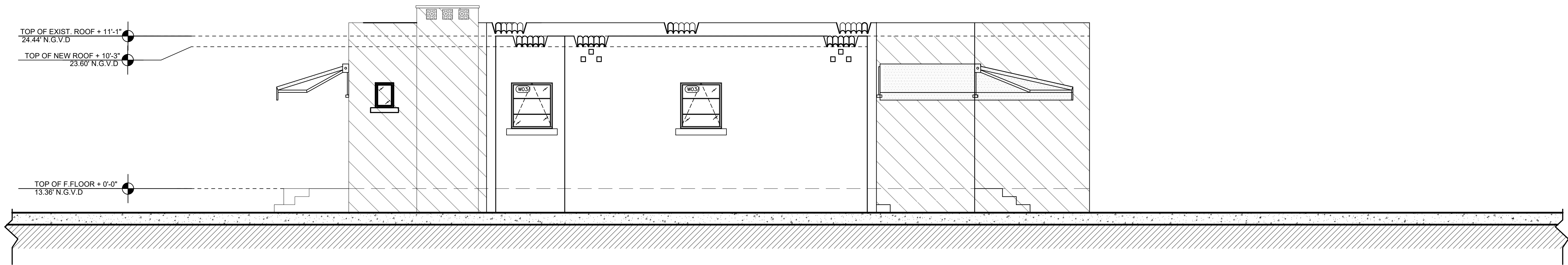
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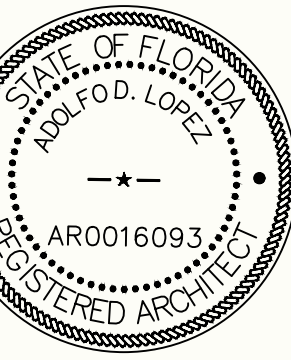


**EXISTING ELEVATION (RIGHT)**  
SCALE: 1/4" = 1'-0"



**PROPOSED ELEVATION (RIGHT)**  
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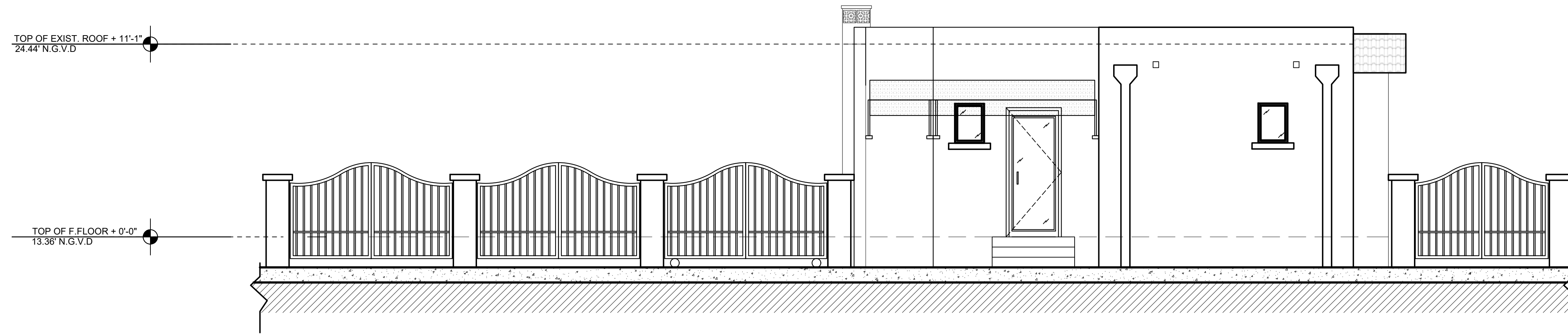
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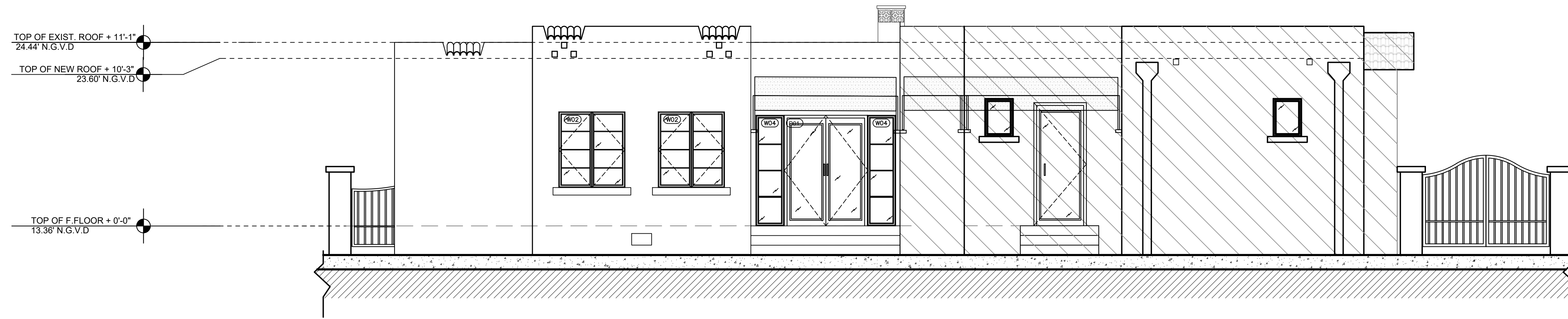
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**EXISTING ELEVATION (REAR)**  
SCALE: 1/4" = 1'-0"

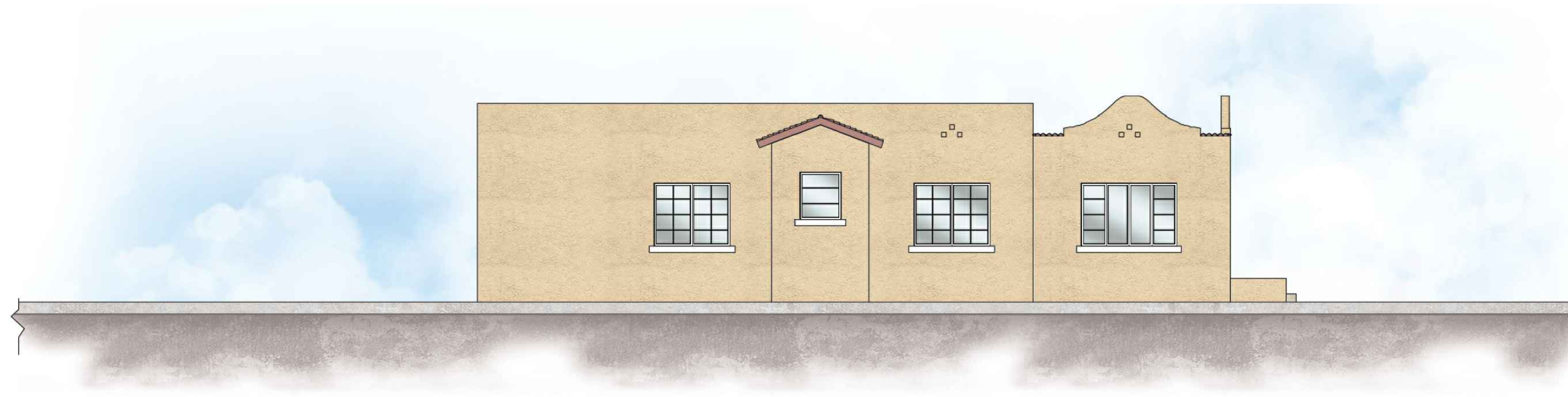


**PROPOSED ELEVATION (REAR)**  
SCALE: 1/4" = 1'-0"

LEGEND	
	EXISTING WITHOUT MODIFICATIONS



PROPOSED ELEVATION FRONT



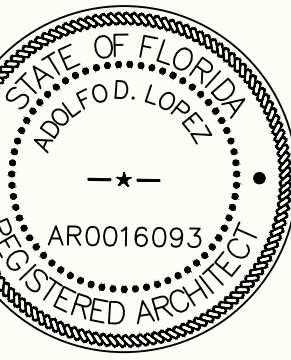
PROPOSED ELEVATION LEFT



PROPOSED ELEVATION RIGHT

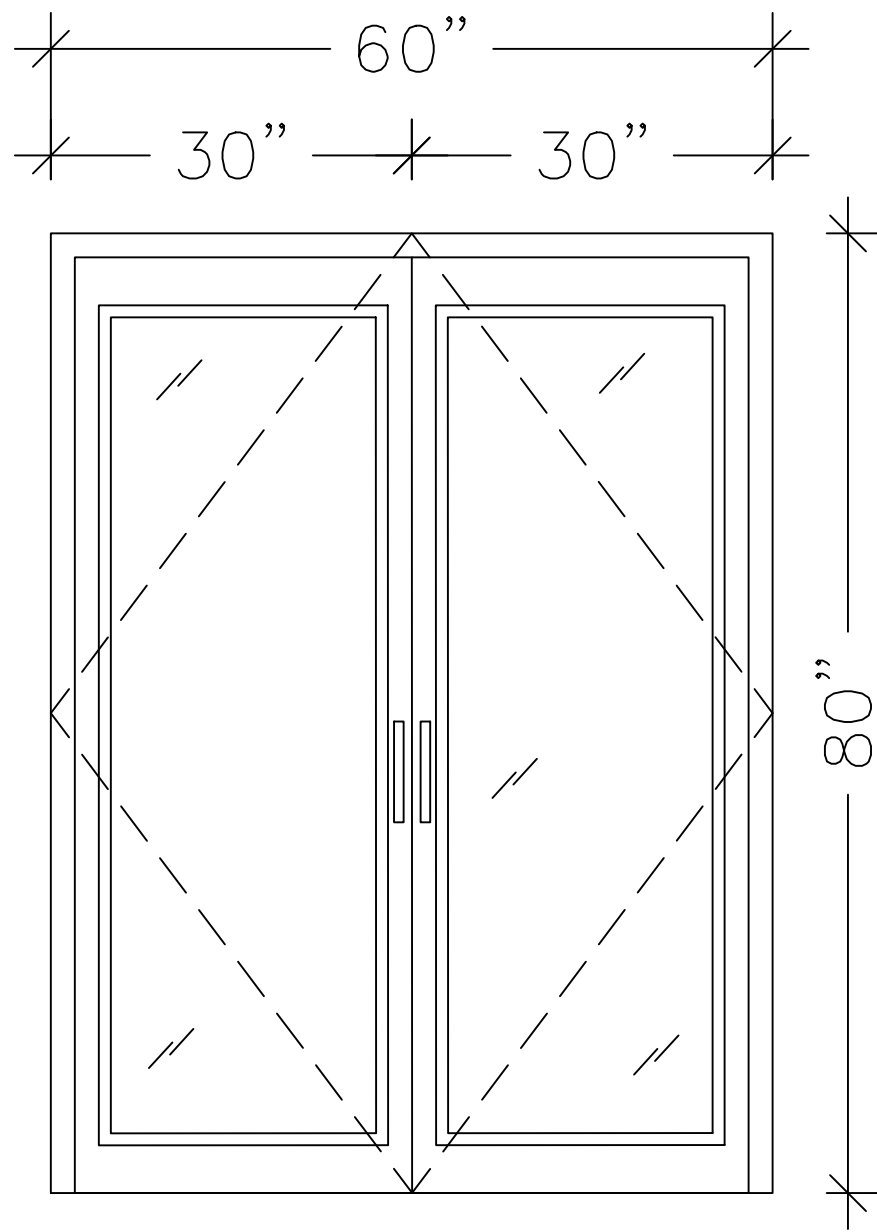


PROPOSED ELEVATION REAR

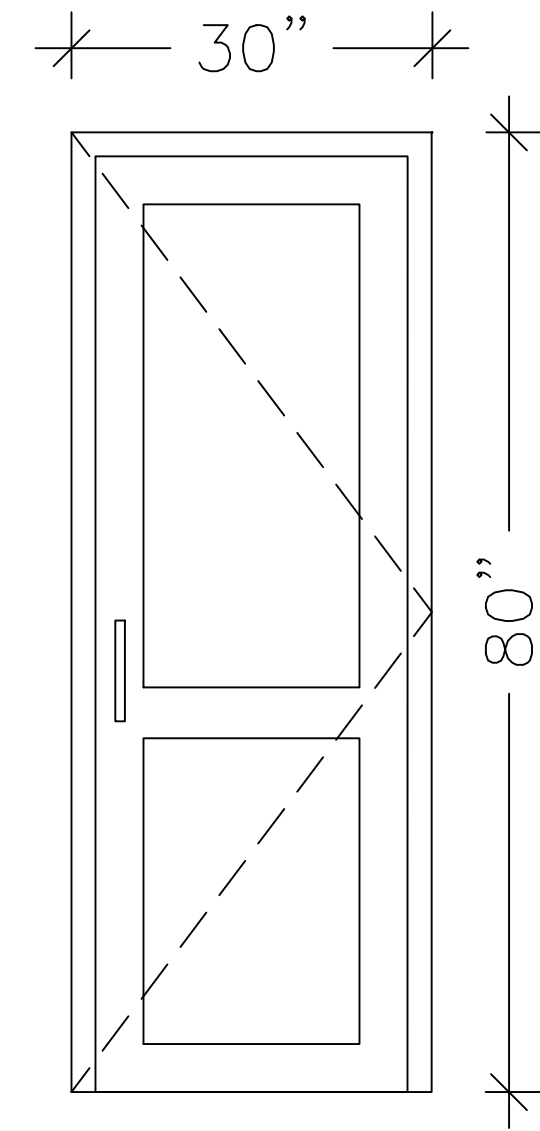


# DOORS ELEVATIONS DESIGN

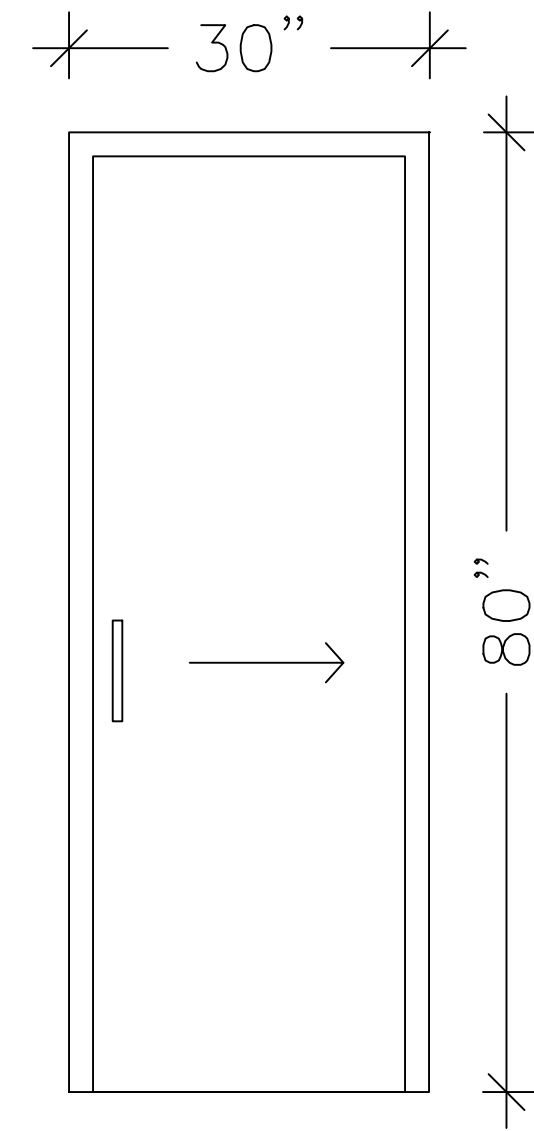
SCALE: 3/4"=1'-0"



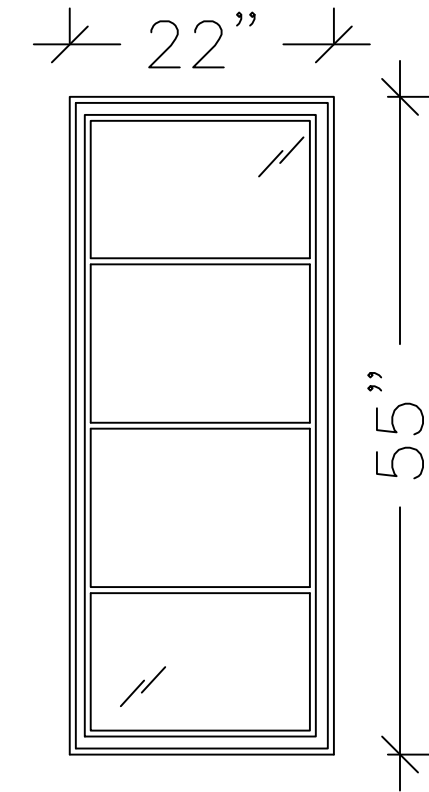
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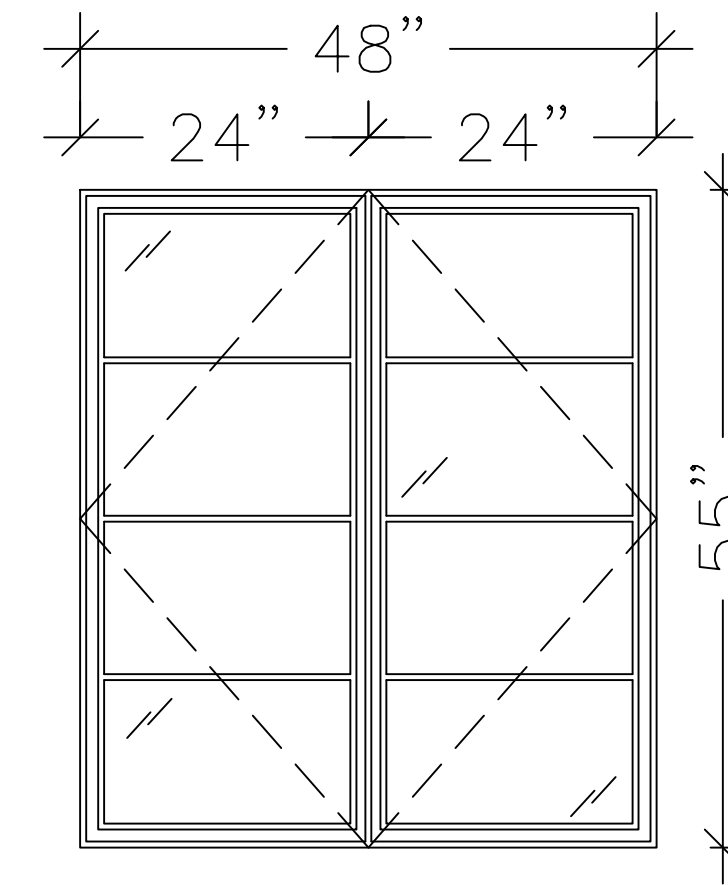
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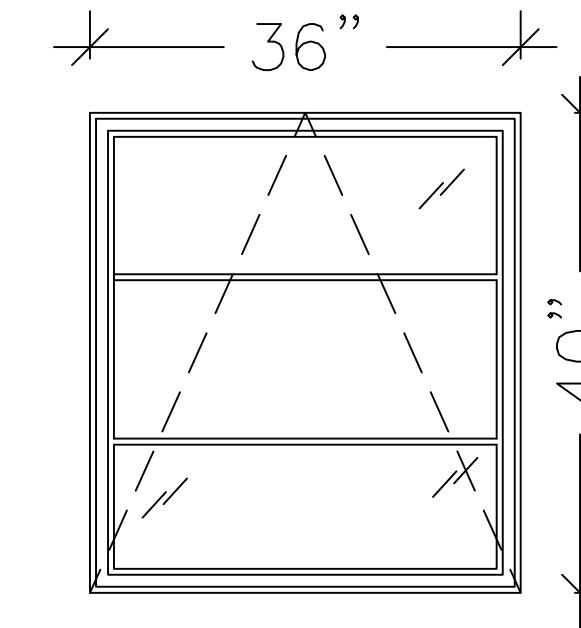
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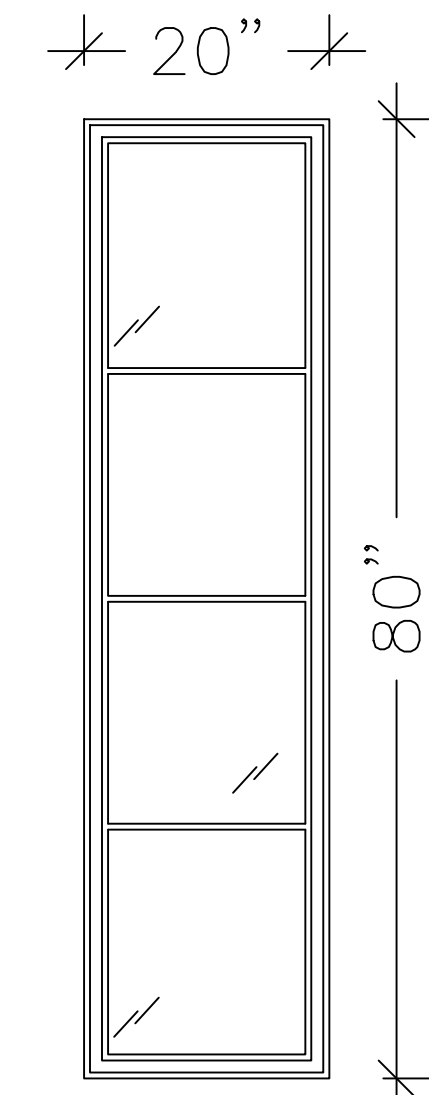
W01



W02



W03



W04

# WINDOWS SCHEDULE

SCALE: 3/4"=1'-0"

ROOM FINISH SCHEDULE													
ROOM NAME	FLOOR	BASEBOARD	WALL								CEILING		REMARKS
			NORTH		SOUTH		EAST		WEST		FINISH	HEIGHT	
MATERIAL	FINISH	MAT	FIN	MAT	FIN	MAT	FIN	MAT	FIN	MAT			FIN
BEDROOMS	TILE	WOOD TRIM	GB	PAINT	GB	PAINT	GB	PAINT	GB	PAINT	GB	8'-0"	
BATHROOMS	TILE	WOOD TRIM	GB	P/T	GB	P/T	GB	P/T	GB	P/T	GB	8'-0"	CEMENT BOARD ON WET AREAS
FLORIDA ROOM	TILE	WOOD TRIM	GB	PAINT	GB	PAINT	GB	PAINT	GB	PAINT	GB	8'-0"	

NOTE: P/T = PAINT AND TILE, GB = GYPSUM BOARD

DOOR SCHEDULE									
No.	Location	Qty.	Size		Type	Material	Remarks	Wind Loads	
			Width	Height				NOA	On Site
D01	COURT YARD	2	60"	80"	FRENCH DOOR				
D02	MASTER BEDROOM / MASTER BATHROOM	1	30"	80"	FRENCH DOOR				
D03	WC	1	30"	80"	SWING DOOR				

WINDOWS SCHEDULE										
No.	SERIES	QTY.	SIZE		TYPE	MATERIAL	FINISH	REMARKS	WIND LOADS	
			WIDTH	HEIGHT					ON SITE	NOA
W01		1	22"	55"	HANG HUNG	ALUM-GLASS	CLEAR			
W02		4	48"	55"	HANG HUNG	ALUM-GLASS	CLEAR			
W03		2	36"	40"	HANG HUNG	ALUM-GLASS	CLEAR			
W04		4	20"	80"	HANG HUNG	ALUM-GLASS	CLEAR			

**GLAZING NOTES:**

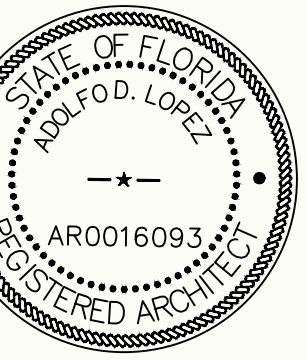
- ANY GLAZING MATERIAL WITHIN 48 INCHES OF AN EXTERIOR DOOR SHALL BE CATEGORY II SAFETY GLASS. 2020 FBC, RESIDENTIAL (7TH EDITION) SECTION R308.
- ANY GLAZING MATERIAL IN ANY WINDOW ADJACENT TO TUB AND SHOWER COMPARTMENTS SHALL BE CATEGORY II SAFETY GLASS. 2020 FBC, RESIDENTIAL (7TH EDITION) SECTION R308.
- ANY GLAZING MATERIAL IN ANY GLASS DOOR SHALL BE CATEGORY II SAFETY GLASS. 2020 FBC, RESIDENTIAL (7TH EDITION) SECTION R308.
- ANY GLAZING MATERIAL IN SHOWER ENCLOSURES SHALL BE CATEGORY II SAFETY GLASS. 2020 FBC, RESIDENTIAL (7TH EDITION) SECTION R308.
- ALL GLAZING LARGER THAN 9 SQ. FT. MUST BE CATEGORY II SAFETY GLASS. MANUFACTURER SHALL STORE GLASS ON SITE READILY ACCESSIBLE FOR INSPECTION. 2020 FBC BUILDING (7TH EDITION) SECTION 2406.1

**SAFETY GLAZING NOTE:**

INDIVIDUAL GLAZED AREAS, INCLUDING GLASS MIRRORS, IN HAZARDOUS LOCATIONS AS DEFINED IN SECTION 2406.4 SHALL COMPLY WITH SECTIONS 2406.1.1 THROUGH 2406.1.4. 2020 FBC BUILDING (7TH EDITION) SECTION 2406.1

**WINDOWS AND DOORS NOTES:**

- ALL WINDOWS AND DOORS MUST BE MIAMI-DADE COUNTY PRODUCT APPROVAL AND BE SUBMITTED TO THE ARCHITECT/ ENGINEER PRIOR TO ORDERING, FABRICATION, OR INSTALLATION.
- USE OF ALTERNATE BUCKS MUST BE APPROVED BY THE ARCHITECT/ ENGINEER PRIOR TO ORDERING, FABRICATION, OR INSTALLATION.
- GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING, VERIFYING, AND PROVIDING CORRECT MASONRY OPENINGS, ACCORDING TO REQUIREMENTS OF THE ACTUAL WINDOWS/DOORS USED. MASONRY OPENINGS SHOWN ON SCHEDULES ARE FOR DESIGN/ ILLUSTRATIVE PURPOSES ONLY.
- ALL WINDOWS AND DOORS SHALL MEET CODE REQUIREMENT FOR SECURITY AND FORCED ENTRY.
- ALL WINDOWS AND DOORS THAT DO NOT MEET THE REQUIREMENTS FOR IMPACT TEST SHALL BE PROTECTED WITH APPROVED SHUTTERS.



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NEXTGEN MIAMI CORP.  
ADOLFO DANILLO LOPEZ R.A.  
AIA, LEED AP BD+C

REGISTERED ARCHITECT  
AR 0016093

Address:  
14331 SW 120th ST, Suite 114.  
Miami, FL 33186

Telephone #:  
786-615-2108

Email Address:  
info@nextgenmiami.com

Website:  
www.nextgenmiami.com

PROJECT NAME:  
**JUAN ARCE PROJECT**

OWNER:  
**JUAN ARCE**

ADDRESS:  
**808 MAJORCA AV,  
CORAL GABLES FL  
EE. UU 808**

REVISIONS:

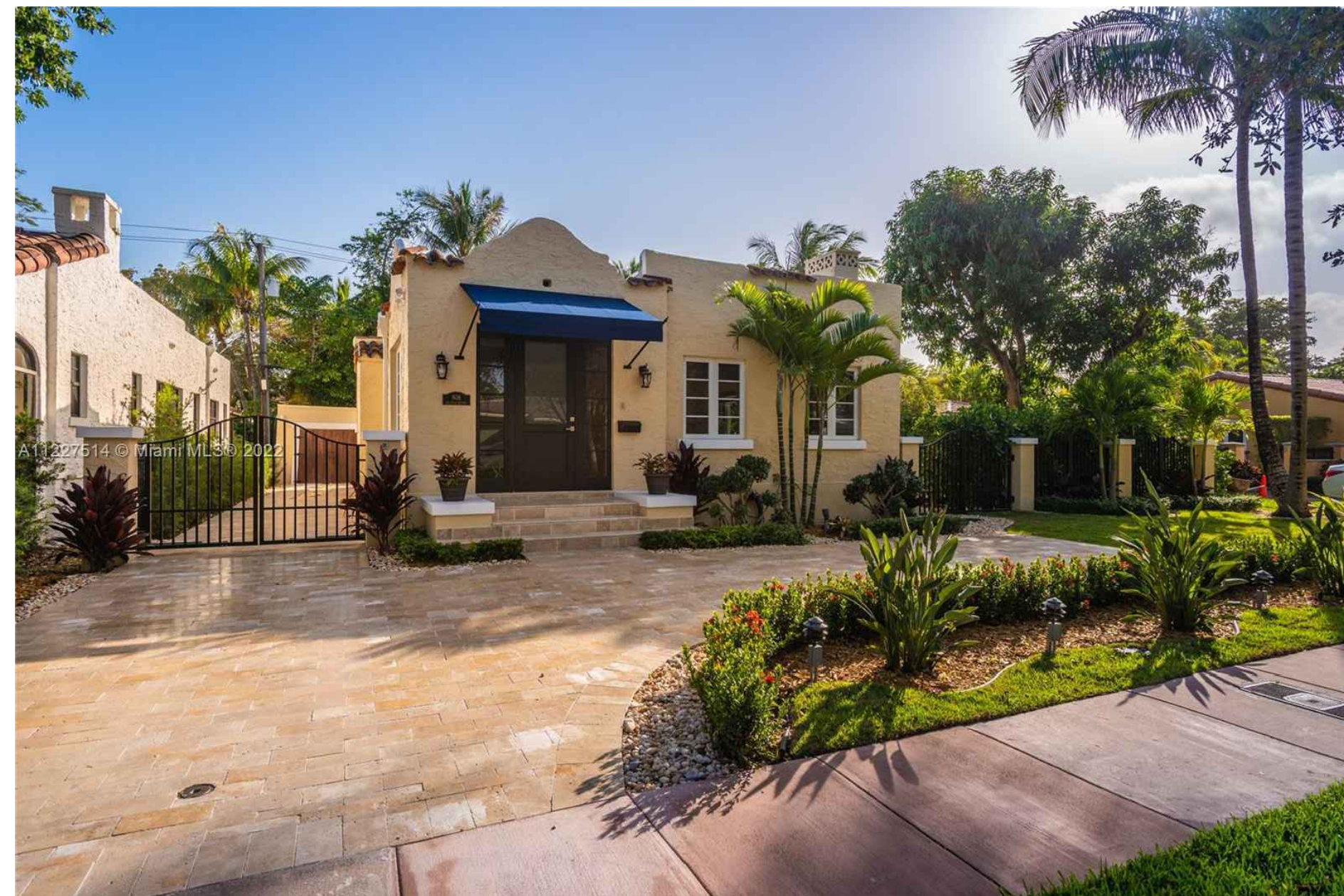
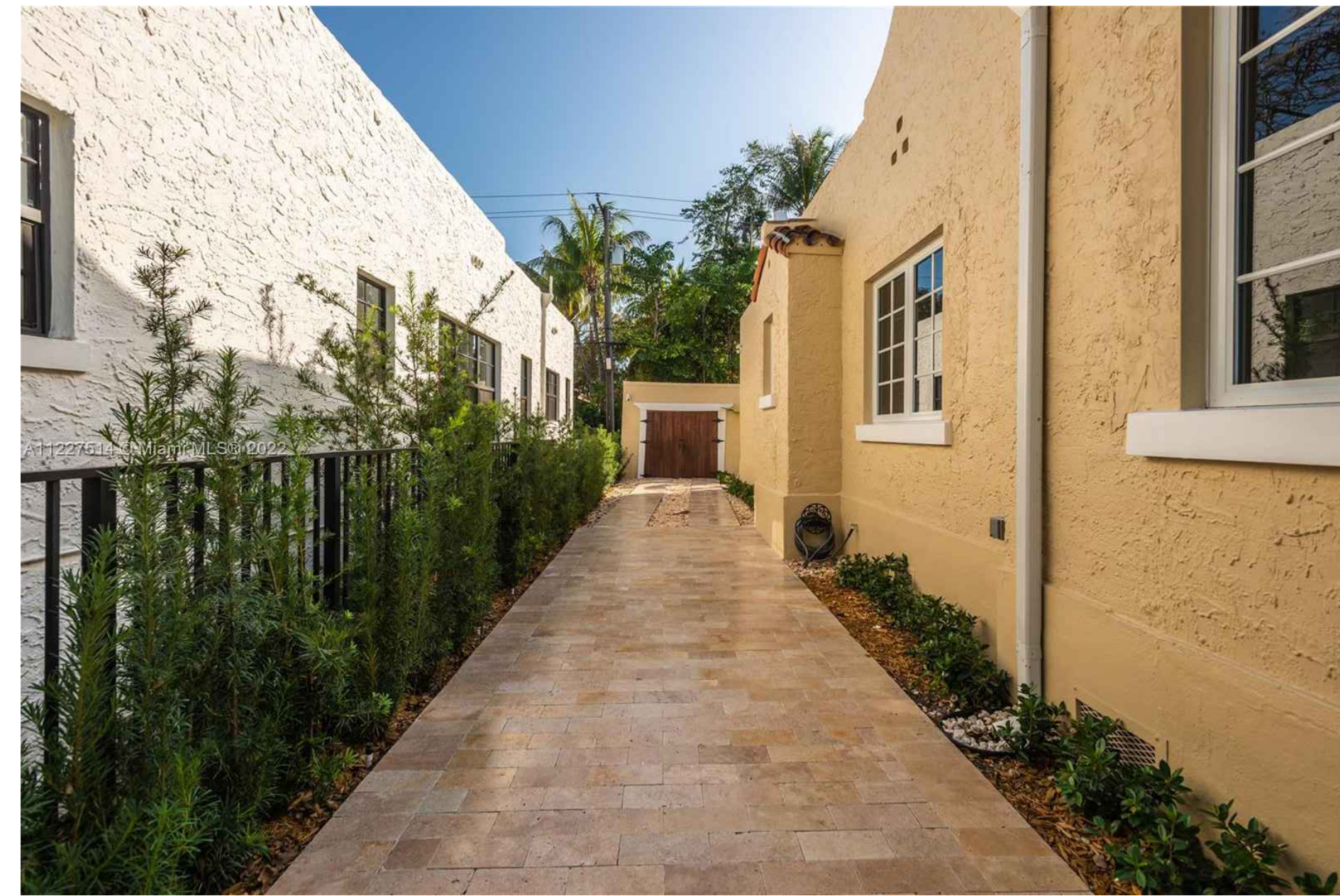
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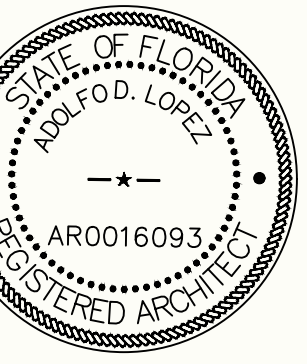
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EXISTING HOME PICTURES



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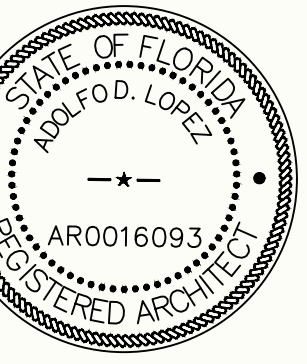
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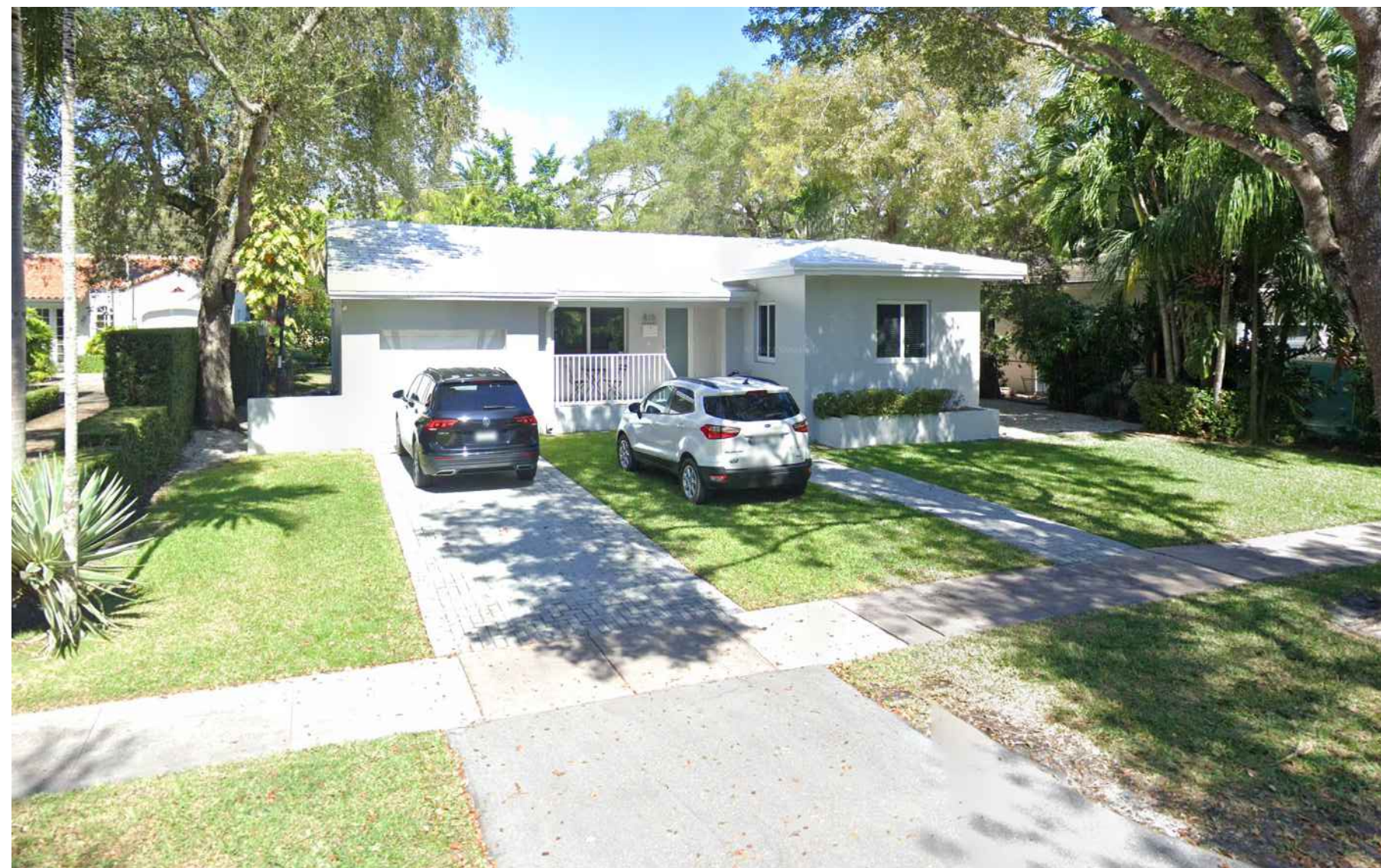
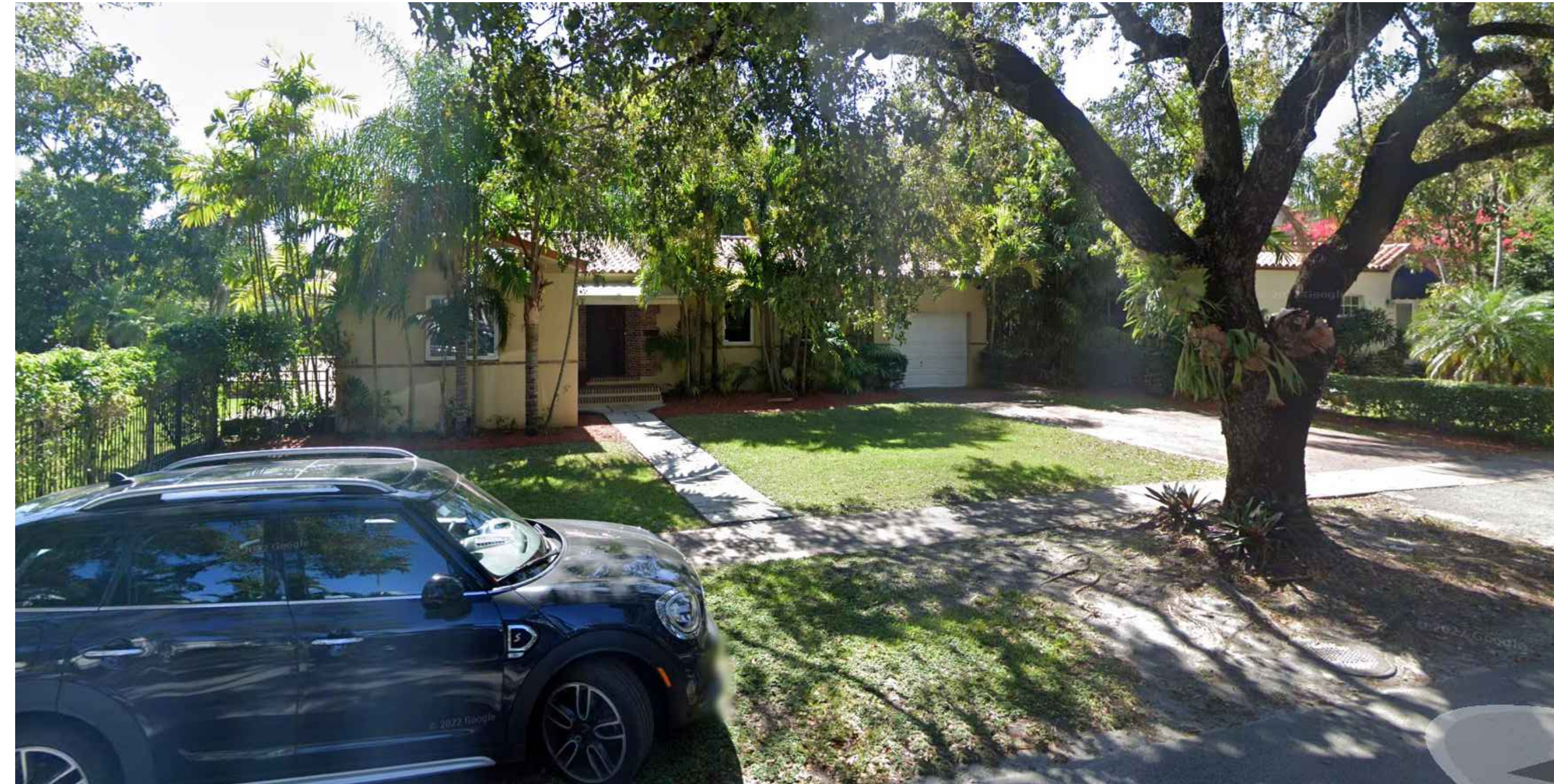
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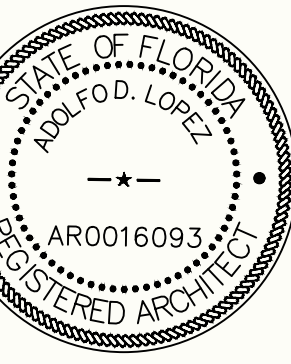




RENDERS



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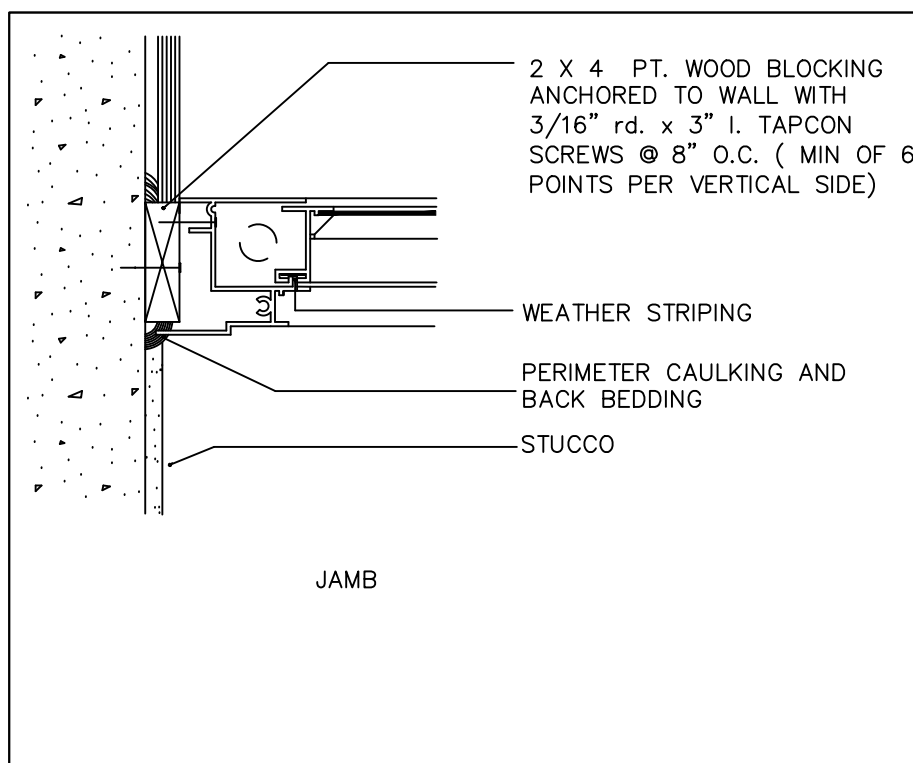
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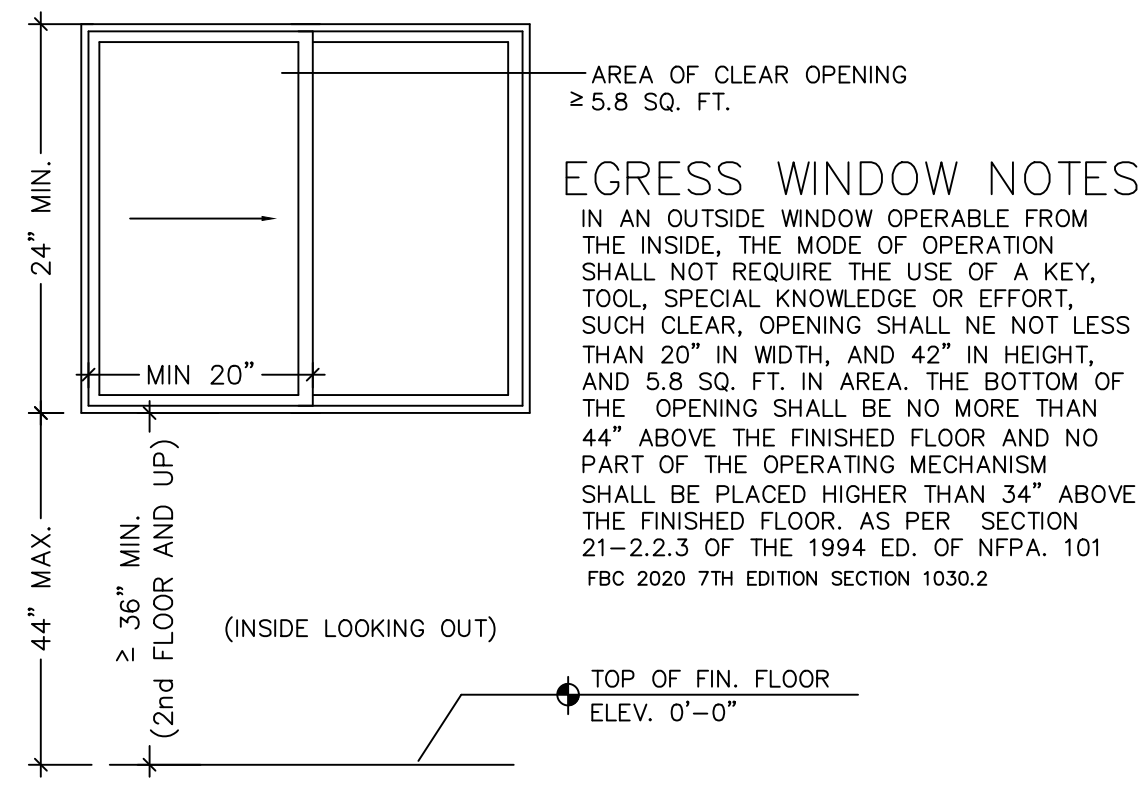
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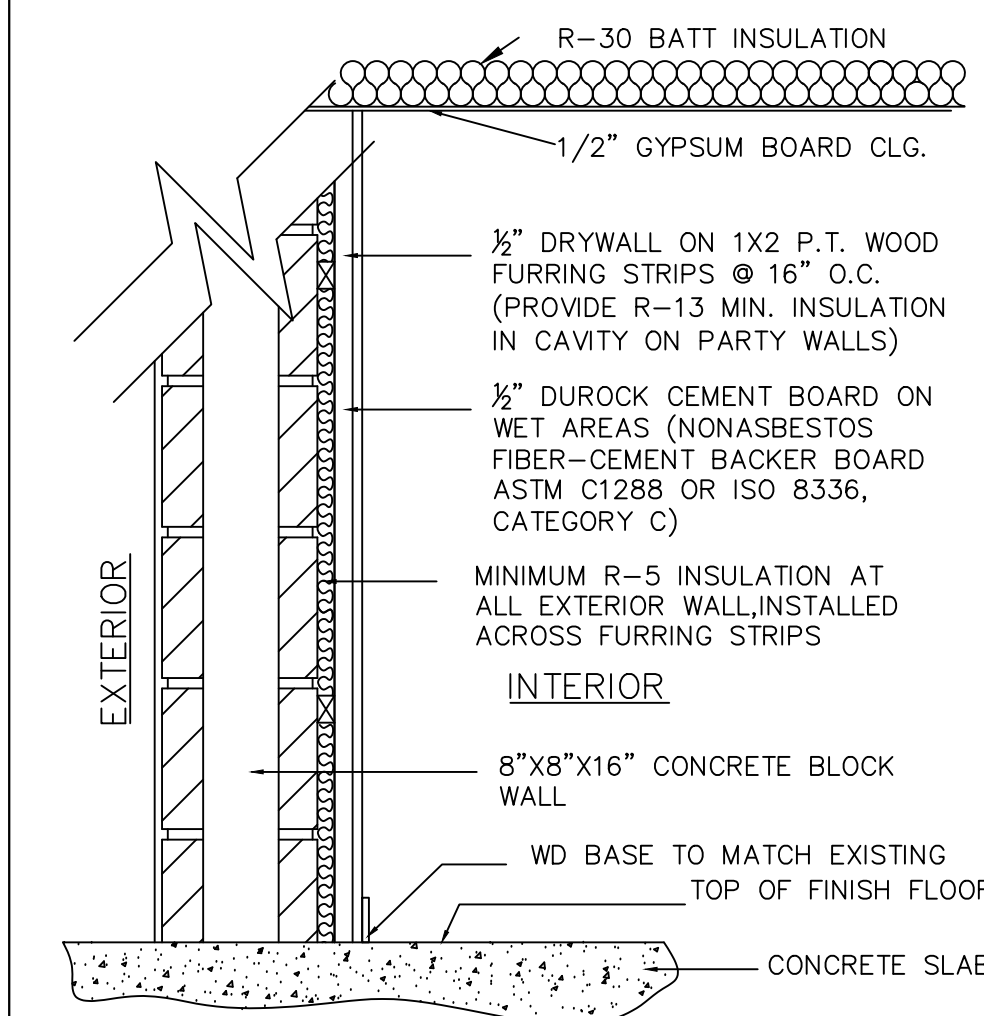
**CBS WINDOW DETAILS**  
NOT TO SCALE

**WINDOW NOTES:**  
CONTRACTOR SHALL EXERCISE CARE UPON INSTALLATION OF WINDOWS SO AS NOT TO SCRATCH OR DAMAGE GLASS OR FRAMES.  
ALL STOREFRONT FRAMES SHALL BE PROPERLY CAULKED WITH ACRYLIC CAULK IN A COLOR TO MATCH WINDOW FRAMES.  
ALL STOREFRONT FRAMES SHALL COMPLY WITH DADE COUNTY PRODUCT CONTROL DIVISION APPROVALS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS WITH REQUIRED ENGINEERING AND CALCULATIONS FOR REVIEW BY ARCHITECT, PRIOR TO MANUFACTURING OF UNITS.  
ALL STOREFRONT FRAMES SHALL BE SECURED TO THE STRUCTURE AS REQUIRED BY THE ENGINEERED, APPROVED SYSTEM.  
ALL NON-IMPACT STOREFRONT PANELS, WINDOWS AND LOUVERS SHALL BE PROTECTED BY A SHUTTER SYSTEM APPROVED BY PRODUCT CONTROL. SUBMIT SHOP DRAWINGS FOR REVIEW.  
CONTRACTOR SHALL SUBMIT DOCUMENTATION OF COMPLIANCE WITH FBC 2020 (7TH EDITION), REQUIREMENTS FOR SAFETY GLAZING IN ALL WINDOWS INSTALLED WITH A DROP OF MORE THAN 30" ON THE EXTERIOR. CONTRACTOR SHALL ALSO INSTALL A HORIZONTAL BAR 42" A.F.F. ON ALL SAID WINDOWS, IF REQUIRED.

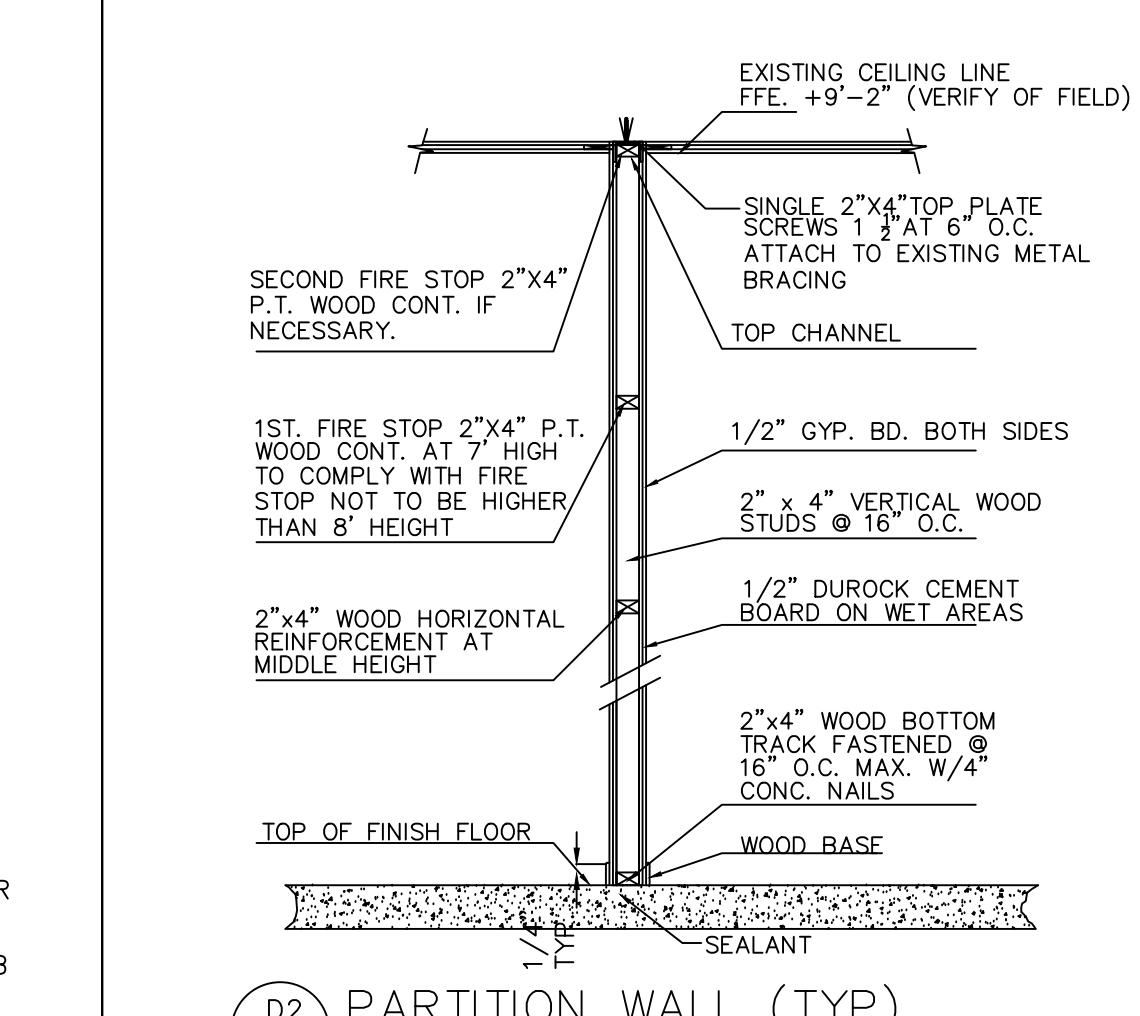
**GLAZING NOTES:**  
(FOR DOORS AND WINDOWS)  
IMPACT GLAZING AND SAFETY GLAZING SHALL COMPLY WITH FBC 2020 (7TH EDITION) AND DESIGN WIND PRESSURES INDICATED IN STRUCTURAL DRAWINGS.



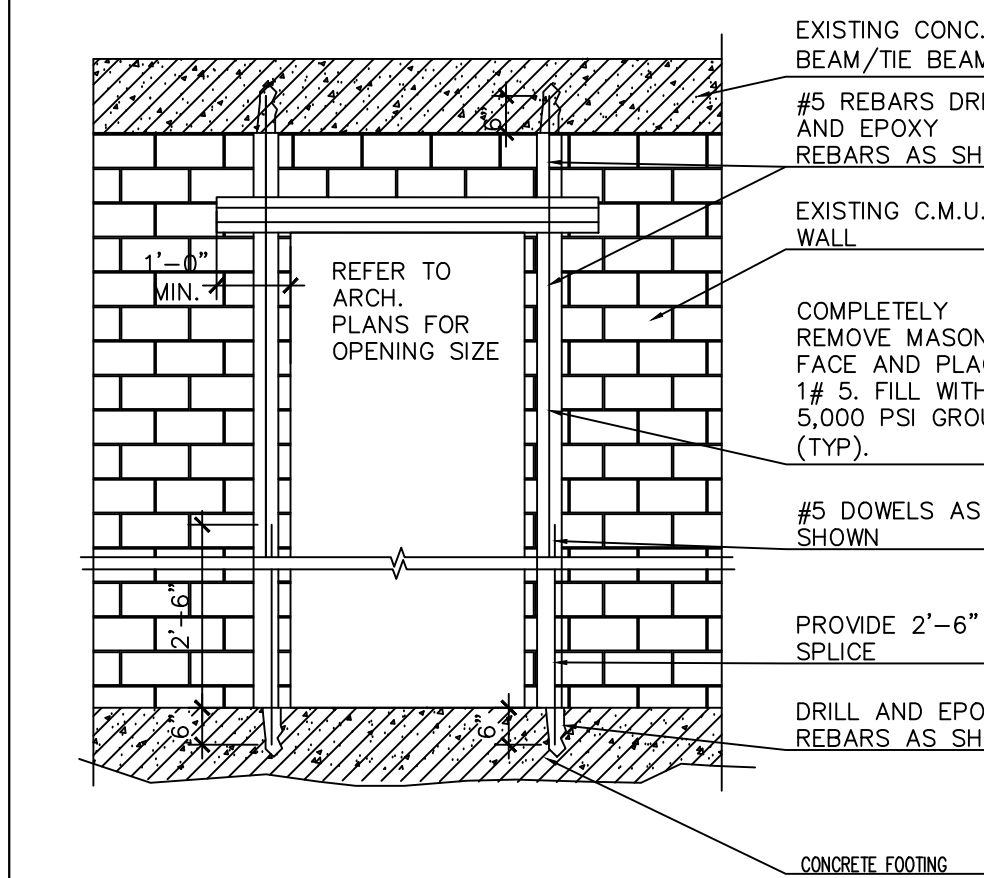
**EGRESS WINDOW DETAIL (HORIZONTAL SLIDING)**  
NOT TO SCALE



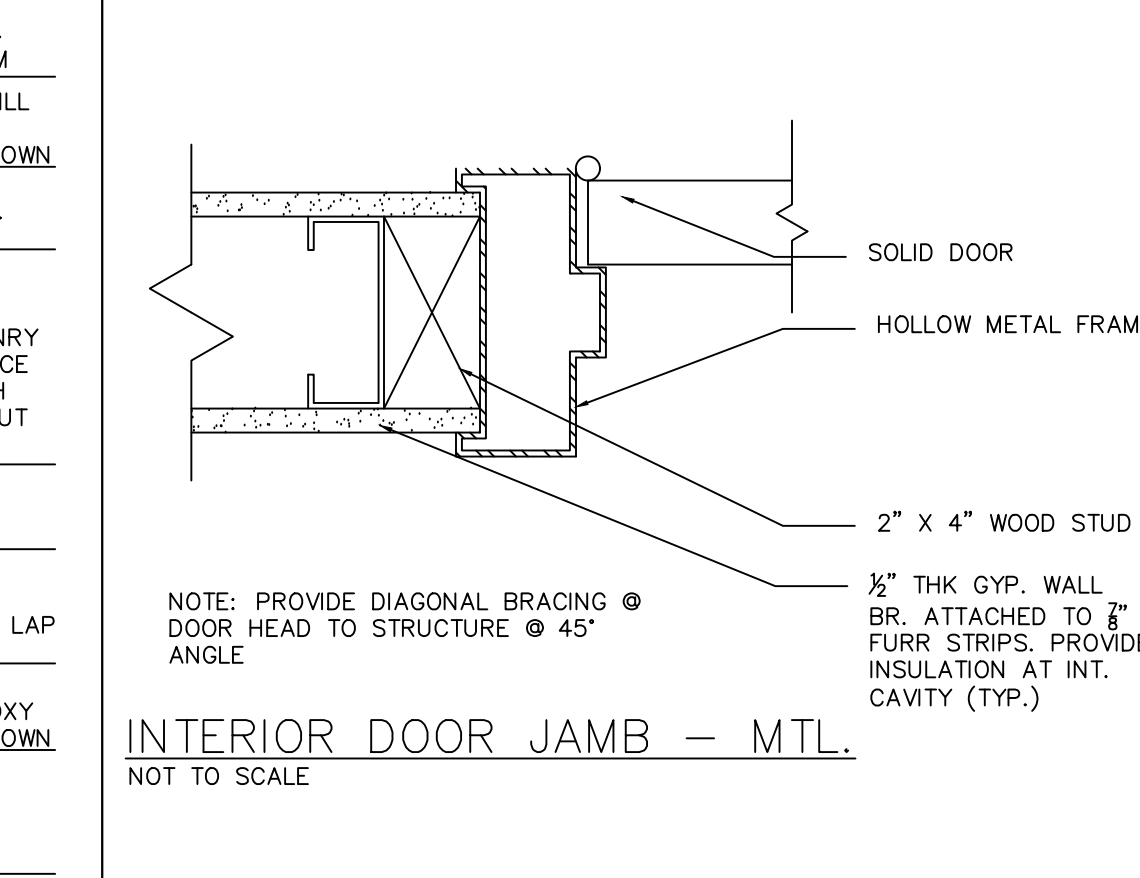
**D1 EXTERIOR WALL DETAIL (TYP.)**  
A201 NOT TO SCALE



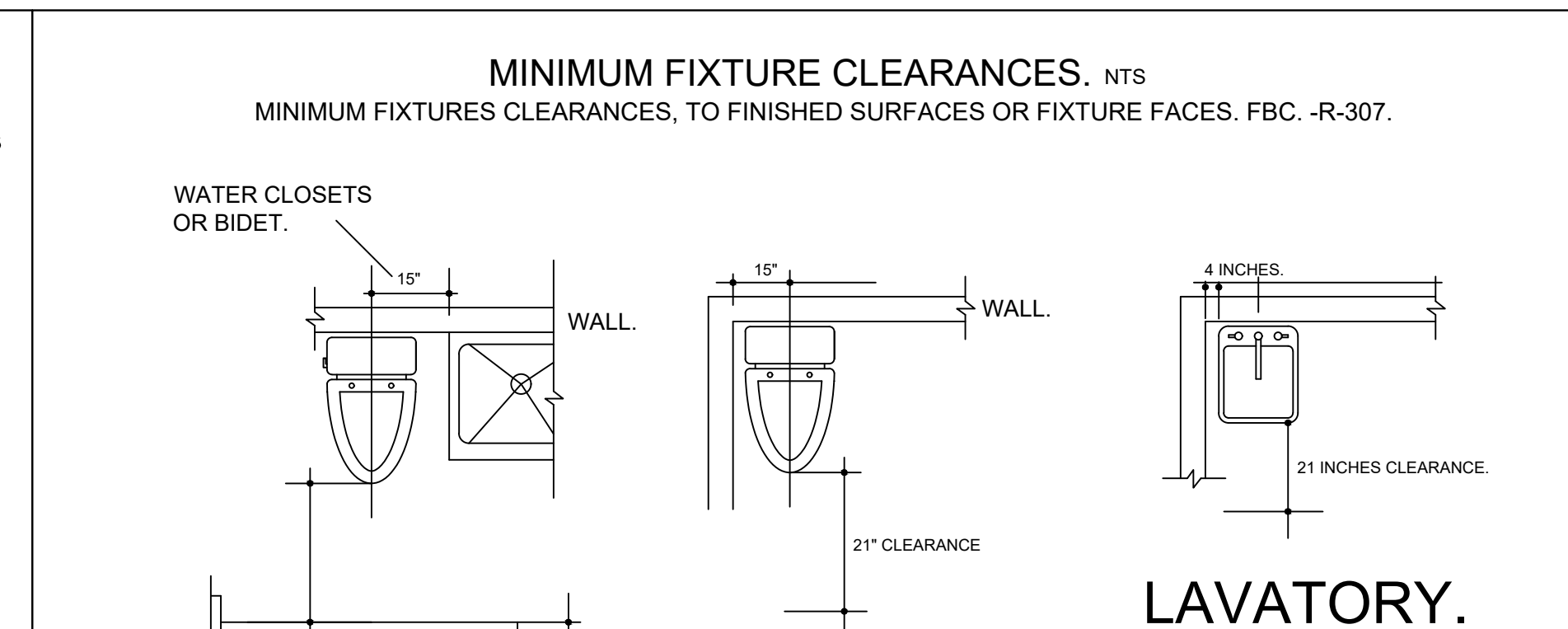
**D2 PARTITION WALL (TYP.)**  
A201 NOT TO SCALE



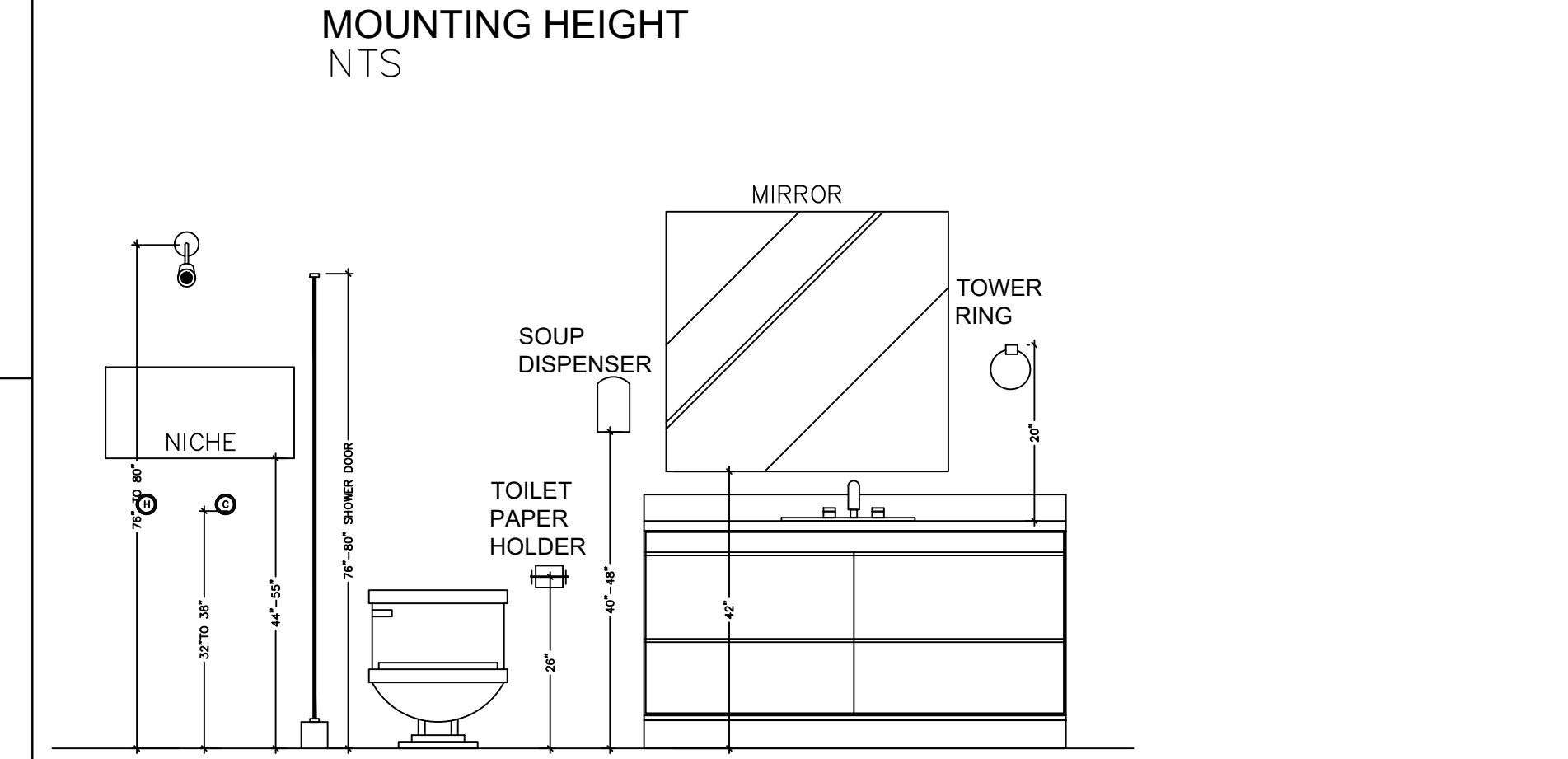
**D3 OPENING DETAIL**  
A201 NOT TO SCALE



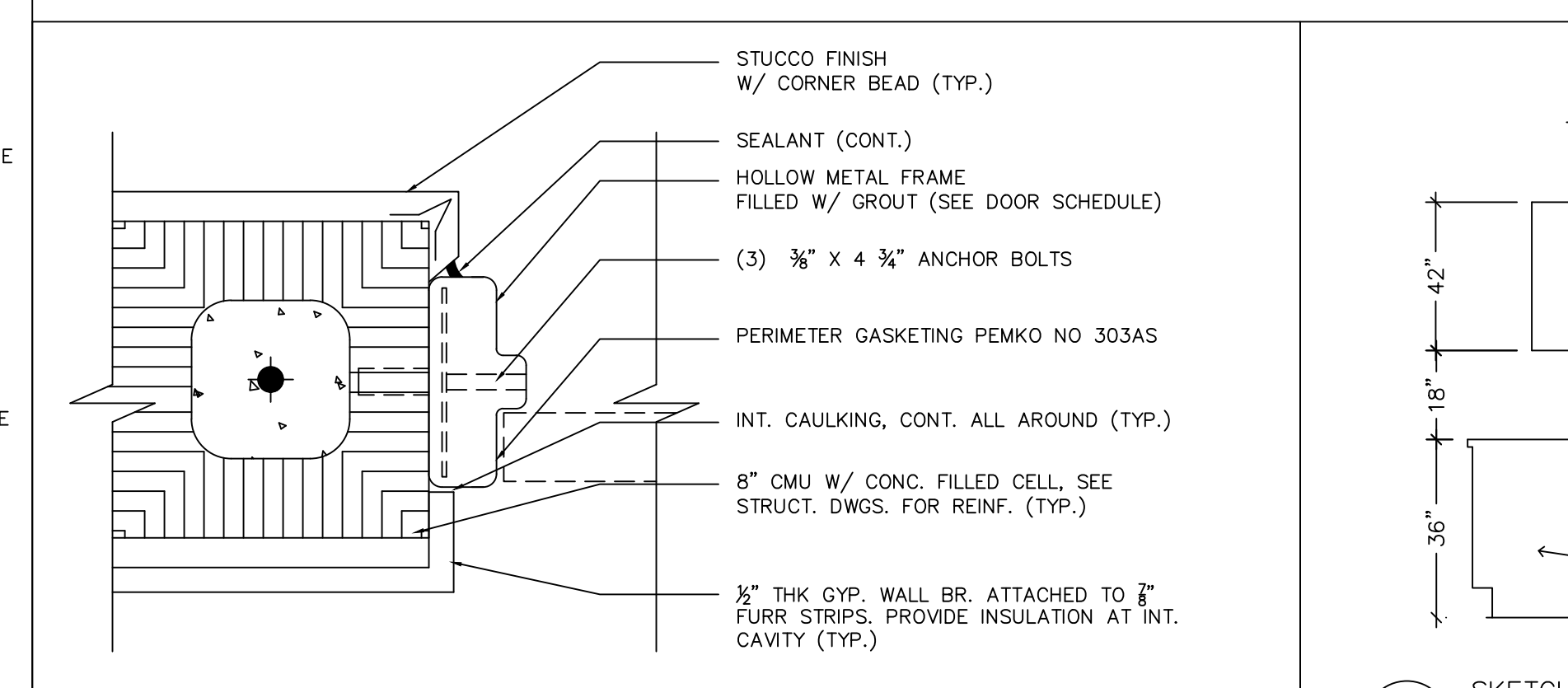
**INTERIOR DOOR JAMB - MTL.**  
NOT TO SCALE



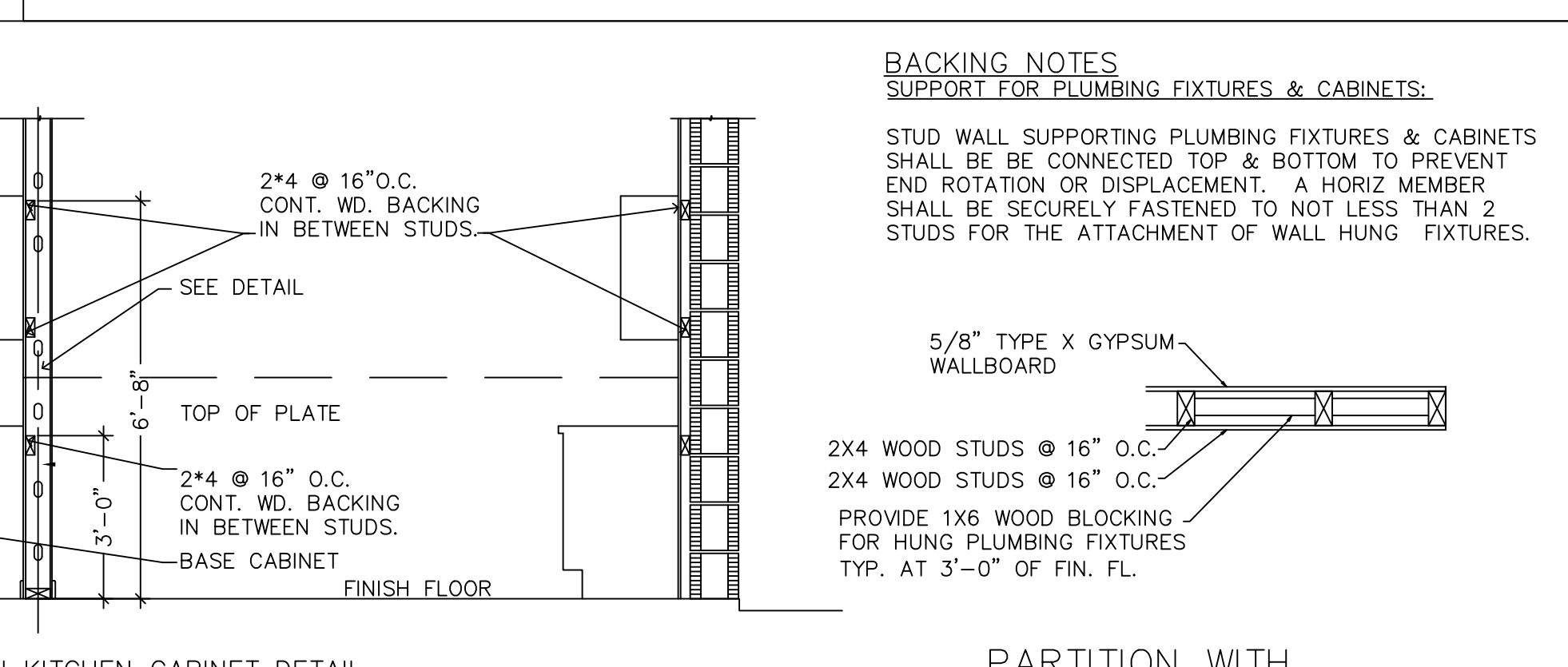
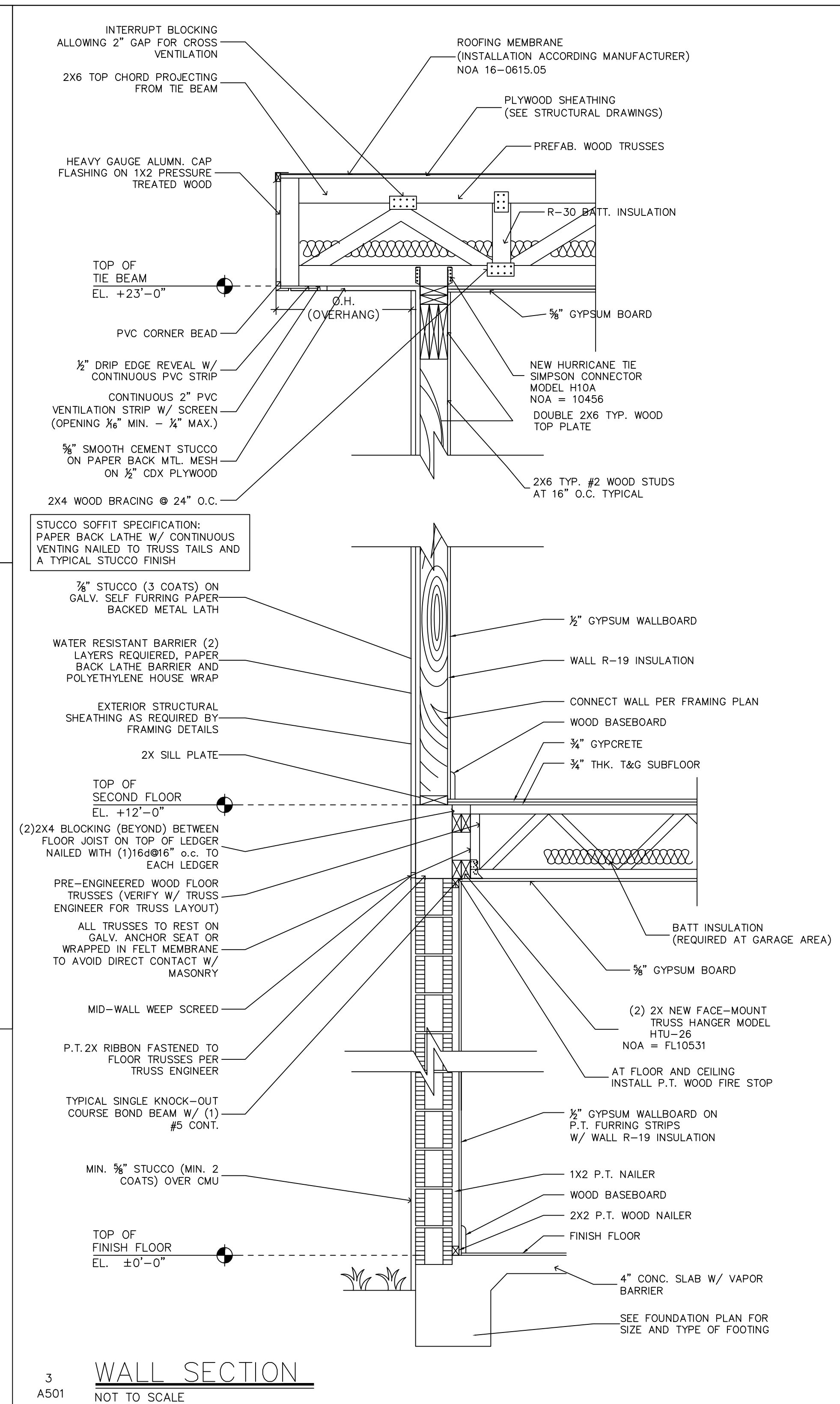
**LAVATORY.**



**WALL SECTION**



**EXTERIOR DOOR DETAIL (HEAD AND JAMB)**  
NOT TO SCALE



**SKETCH KITCHEN CABINET DETAIL**  
SCALE: NOT TO SCALE

**BACKING NOTES**  
SUPPORT FOR PLUMBING FIXTURES & CABINETS:

STUD WALL SUPPORTING PLUMBING FIXTURES & CABINETS SHALL BE CONNECTED TOP & BOTTOM TO PREVENT END ROTATION OR DISPLACEMENT. A HORIZ MEMBER SHALL BE SECURELY FASTENED TO NOT LESS THAN 2 STUDS FOR THE ATTACHMENT OF WALL HUNG FIXTURES.

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