

1

**APPLICATION REQUEST**

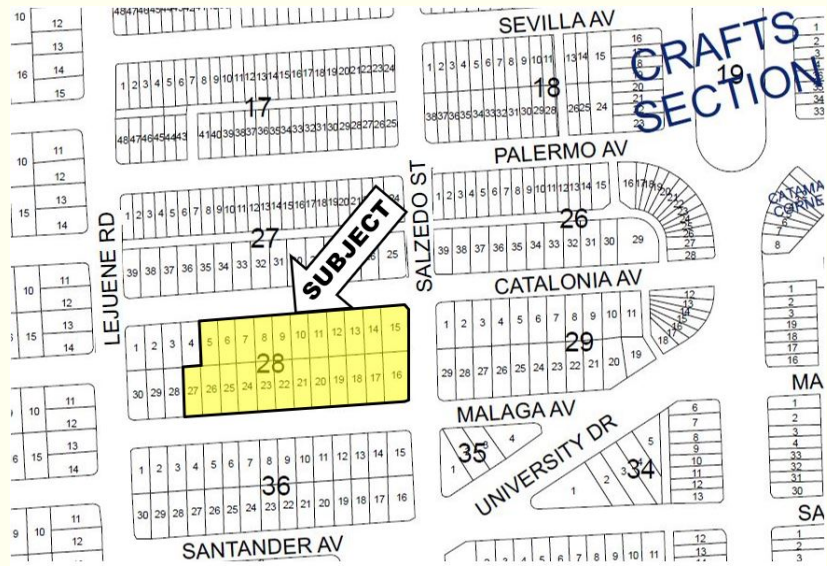
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1. PLANNED AREA DEVELOPMENT (PAD)

2. CONDITIONAL USE FOR MIXED-USE SITE PLAN

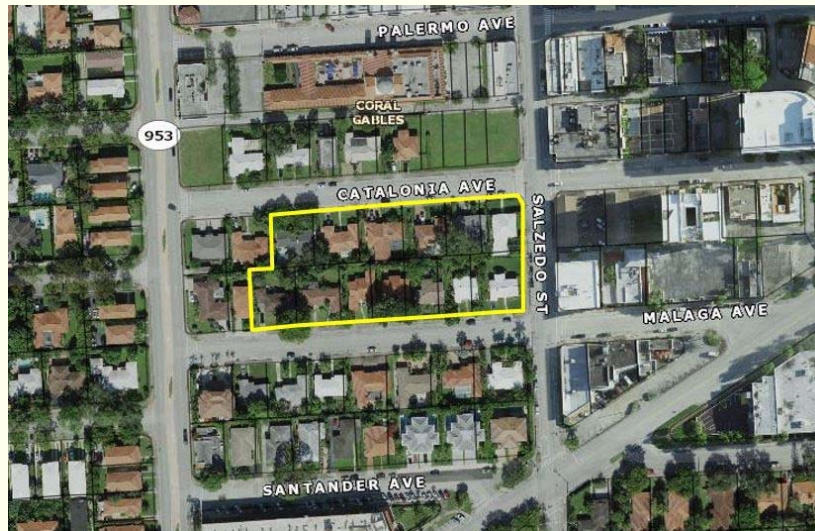
2

## LOCATION MAP



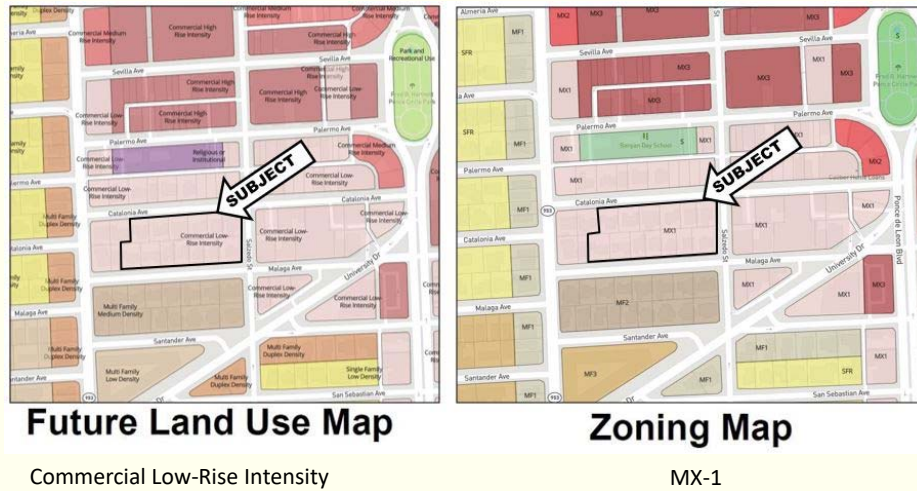
3

## AERIAL MAP



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## EXISTING DESIGNATIONS



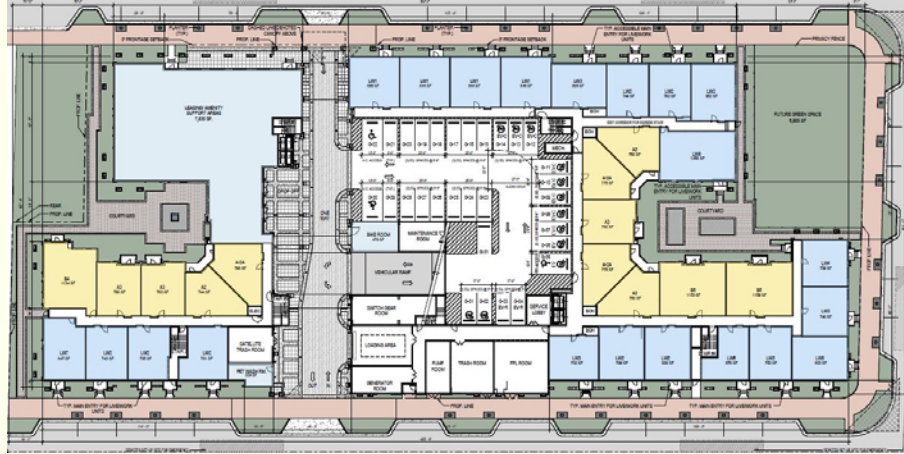
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## REQUEST NO. # 1 PLANNED AREA DEVELOPMENT (PAD)

- **MINIMUM SITE AREA ONE (1) ACRE**
- **MINIMUM LOT WIDTH 200 FEET**
- **MINIMUM LOT DEPTH 100 FEET**
- **LANDSCAPE OPEN SPACE 20%**
- **PROVIDES SUBSTANTIAL PUBLIC BENEFIT**
- **MAXIMUM HEIGHT 77 FEET, CONSISTENT WITH THE COMPREHENSIVE PLAN**
- **SEVEN (7) STORIES PER CITY ATTORNEY'S OPINION CAO 2019-029**

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**REQUEST NO. # 2**  
**CONDITIONAL USE REVIEW FOR MIXED-USE SITE PLAN**



**Site Area:** 2.11 acres (91,933 sq. ft.)  
**FAR:** 3.39 (311,352 sq. ft.)  
**Building Height:** 77 feet at 7-stories  
**Parking:** 364 parking spaces

**Program:**

- 22 live-work units on ground floor
- 263 residential units on upper floor

**Landscape Open Space:** 28.32% (26,036 sq. ft.)

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**SITE PLAN INFORMATION**

Type	Permitted	Proposed
Site area	Min 10,000 sq. ft. Min 1 acre for PAD	91,933 sq. ft. (2.11 acres)
Floor area ratio (FAR)	3.5 FAR	3.39 (311,352 sq. ft.)
Building height	77 feet at 6 stories	77 feet at 7 stories (PAD project)
<b>Proposed Uses</b>		
Residential	125 units per acre	263 units (125 units per acre)
Live-work and ground floor uses	24,908 sq. ft. (8%)	26,156 sq. ft. (8.4%)
Landscape open space	20%	28.32%
<b>Total on-site parking</b>	<b>357 spaces</b>	<b>364 spaces</b>

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## EXISTING CONDITION



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## CONCEPTUAL RENDERING (FACING CATALONIA)



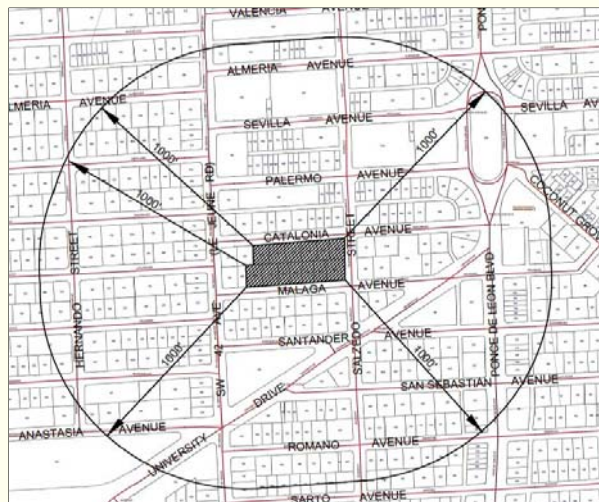
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## REVIEW TIMELINE

<b>1</b>	<b>DEVELOPMENT REVIEW COMMITTEE: 05.28.21</b>
<b>2</b>	<b>BOARD OF ARCHITECTS: 08.19.21, 11.18.21, 12.09.21</b>
<b>3</b>	<b>NEIGHBORHOOD MEETING: 12.26.21</b>
<b>4</b>	<b>PLANNING AND ZONING BOARD: 02.09.22</b>

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## LETTERS TO PROPERTY OWNERS (1,000 FT.)



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<b>PUBLIC NOTIFICATION</b>	
<b>2 TIMES</b>	<b>LETTERS TO PROPERTY OWNERS</b> NEIGHBORHOOD MEETING, PZB
<b>3 TIMES</b>	<b>PROPERTY POSTING</b> DRC, BOA, PZB
<b>3 TIMES</b>	<b>WEBSITE POSTING</b> DRC, BOA, PZB
<b>1 TIME</b>	<b>NEWSPAPER ADVERTISEMENT</b> PZB

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<b>APPLICATION REQUEST</b>
<p><b>1. PLANNED AREA DEVELOPMENT (PAD)</b></p> <p><b>2. CONDITIONAL USE FOR MIXED-USE SITE PLAN</b></p>
<b>STAFF RECOMMENDATION</b>
<p>❖ The Planning and Zoning Division based upon the complete Findings of Fact contained within this Report recommends <b><u>approval with conditions</u></b> enumerated in the staff report.</p>

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# *Alexan Crafts*

PLANNED AREA DEVELOPMENT (PAD)  
CONDITIONAL USE REVIEW FOR  
MIXED-USE SITE PLAN

330 CATALONIA AVENUE

CITY COMMISSION  
MARCH 8, 2022

